



# City of West Allis

## Meeting Agenda

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

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Wednesday, April 23, 2025

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

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#### REGULAR MEETING

#### A. CALL TO ORDER

#### B. ROLL CALL

#### C. APPROVAL OF MINUTES

1. [25-0138](#) February 26, 2025

Attachments: [February 26, 2025 \(draft minutes\)](#)

#### D. NEW AND PREVIOUS MATTERS

- 2A. [25-0139](#) Conditional Use Permit for the Picklr, a proposed Instruction/Training (31 or more persons at one time), at 2550 S. 108th St.

- 2B. [25-0140](#) Site, Landscaping, and Architectural Conditional Use Permit for The Picklr, a proposed Instruction/Training (31 or more persons at one time), at 2550 S. 108th St.

Attachments: [\(CUP-SLA\) Picklr - 2550 S 108th St](#)

3. [25-0141](#) Site, Landscaping, and Architectural Design Review to convert a single-family home into a duplex, a proposed use, at 2001 S. 70th St (Tax Key No. 453-0926-000).

Attachments: [\(SLA\) 2001 S 70 St-SF to Duplex](#)

4. [25-0142](#) Site plan design review for proposed outdoor seating area for Aroma Cafe, an existing business located at 8100 W. National Ave. (Tax Key: 452-0341-001).

Attachments: [\(SLA\) Aroma Cafe - 8100 W. National Ave.](#)

5. [25-0143](#) Request for a six-month extension for conditional use permit to commence SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000) by Daniel Katt d/b/a Mandel Group, Inc.

Attachments: [\(EXT\) SoNa Lofts ext of time - 6600 W. Mitchell St.](#)

6. [25-0144](#) Creative Sign Plan for a Business Improvement District led public art project to be installed at Cook Specialty, an existing business located at 7321 W. Greenfield Ave. (Tax Key No. 453-0117-000).

**Attachments:** [\(SIGN\) Creative Sign - Cooks - 7321 W Greenfield Ave.](#)

7. [25-0145](#) Ordinance to amend limited use criteria for automotive uses

**Attachments:** [\(ORD\) Automotive uses](#)

8. [25-0146](#) Ordinance to rezone property in the 6900 block of W. Orchard St. from RC Residential to C-2 Commercial (Tax Key 453-0001-010).

**Attachments:** [\(Rezoning\) Iron Pig - 6900 block of W. Orchard St.](#)

## E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

### NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

### NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

### AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

### LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



# City of West Allis

## Meeting Minutes

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

---

Wednesday, February 26, 2025

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

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#### REGULAR MEETING (draft minutes)

#### A. CALL TO ORDER

#### B. ROLL CALL

**Present** 9 - Wayne Clark, Brian Frank, Eric Torkelson, Jessica Katzenmeyer, Brandon Reinke, Kathleen Dagenhardt, David Raschka, Lisa Coons, VACANCY

**Excused** 1 - Dan Devine

#### Others Attending

Mike Dean, Tierncy Gill, David Grunwaldt,  
Members of Academy of Excellence,  
Randy Melchert, Steve Lazarczyk, Tony Donovan, Jogpal Waraich

#### Staff

Steve Schaer, AICP, Manager of Planning and Zoning  
Jack Kovnesky, Planner

#### C. APPROVAL OF MINUTES

1. [25-0050](#) January 22, 2025

**Attachments:** [January 22, 2025 \(draft minutes\)](#)

Torkelson moved to approve this matter, Katzenmeyer seconded, motion carried.

#### D. NEW AND PREVIOUS MATTERS

- 2A. [25-0067](#) Conditional Use Permit for The Armory Hockey Development Center, a proposed Instruction/Training (31 or more persons at one time) use, at 11111 W. Greenfield Ave.

Raschka moved to approve this matter, Torkelson seconded, motion carried.

- 2B. [25-0068](#) Site, Landscaping, and Architectural Design Review for The Armory Hockey Development Center, a proposed Instruction/Training (31 or more persons at one time) use, at 11111 W. Greenfield Ave. (Tax Key No. 448-9993-006)

**Attachments:** [\(CUP-SLA\) The Armory Hockey Development Center](#)

Jack Kovnesky presented.

Items 2A & 2B were taken together.

Wayne Clark asked for further details on who would be making the decision of

*floor plan changes, and what the driving factor on this decision.*

*Tony Todd (applicant) stated the rink itself will stay the same size, the rapid shot turf area is what is being considered for expansion.*

**Recommendation:** *Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for The Armory Hockey Development Center, a proposed Instruction/Training (31 or more persons at one time) use, at 11111 W. Greenfield Ave. (Tax Key No. 448-9993-006) subject to the following conditions:*

*(Item 1 is required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)*

- 1. Common Council approval of the Conditional Use Permit (Scheduled for March 4th, 2025)*
- 2. Building permits being applied for with the Code Enforcement Department for review.*
- 3. Signage permits being applied for with the Planning & Zoning Department for review.*

**Raschka moved to approve this matter, Torkelson seconded, motion carried.**

**3A. [25-0069](#)**

Conditional Use Permit for Academy of Excellence, a proposed School use, at 6021 W. Lincoln Ave. and 2307-53 S 60 St.

**Raschka moved to approve this matter, Clark seconded, motion carried by the following vote:**

**Aye:** 7 - Clark, Frank, Torkelson, Katzenmeyer, Reinke, Raschka, Coons

**No:** 0

**Abstain:** 1 - Dagenhardt

**3B. [25-0070](#)**

Site, Landscaping, and Architectural Design for Academy of Excellence, a proposed School use, at 6021 W. Lincoln Ave. and 2307-53 S 60 St. (Tax Key No. 490-9001-000 & 490-9002-000).

**Attachments:** [\(CUP-SLA\) Academy of Excellence High School - 6021 W Lincoln Ave](#)

*Steve Schaer presented.*

*Items 3A & 3B were taken together.*

**Recommendation** *for Conditional Use Permit for Academy of Excellence, a proposed School use, and a Site, Landscaping, and Architectural Design Review for Academy of Excellence, a proposed School use, at 6021 W. Lincoln Ave. and 2307-53 S 60 St. (Tax Key No. 490-9001-000 & 490-9002-000). subject to the following conditions:*



1. *A revised Site, Landscaping, and Architectural Plan submitted to the Planning Office to show the following: (a) Access points to the property from adjacent streets, parking configuration internal traffic flow (overall school, church, kinder care), bus staging areas, note staff parking, student parking, student pickup and drop-off areas (no drop off on W. Lincoln Ave), ADA/accessible parking, existing landscaping/green space areas being shown; (b) removal of asphalt and perennial landscaping planting area being incorporated on either side of the S. 60 St. existing driveways along the east side of the property between the existing Lannon stone wall and sidewalk; (c) details of a 4-sided refuse enclosure and screening method being provided; (d) show bicycle racks on site - the provision of bicycle parking at a rate of 1 bicycle parking stall per classroom, as required by Sec. 19.44; (e) a floor plan inventory to identify and quantify areas of use within building.*
2. *Building permit review and Occupancy permit.*
  - a. *A plan outlining how/when the physical separation of school building and church building will occur to achieve code compliance - new walls, ratings, opening removal, opening protection, building modifications, etc. The plan will be a condition of the Common Council public hearing for Conditional use. A formal plan submittal and a building permit will be required prior for review and approval prior to the work commencing.*
  - b. *New owners/occupants of the school building will need to apply for a certificate of occupancy. All building modifications finalizing the separation/creation of two buildings on separate parcels must be completed prior to final approval for regular occupancy and use of the school.*
  - c. *If prior to alterations occurring to separate the buildings in accordance with the proposed plan, it is determined that the creation of separate buildings on separate parcels is no longer necessary, the CSM must be modified to remove the parcel separation and submitted to the City of West Allis for review and approval.*
3. *Coordination with the City Engineering Department to request redesignation of existing on-street parking restrictions.*
4. *Signage and lighting plans to be reviewed for compliance and subject to permitting.*
5. *Common Council approval of the Conditional Use Permit (Scheduled for March 18, 2025).*

**Raschka moved to approve this matter, Clark seconded, motion carried by the following vote:**

**Aye:** 7 - Clark, Frank, Torkelson, Katzenmeyer, Reinke, Raschka, Coons

**No:** 0

**Abstain:** 1 - Dagenhardt

4. [25-0071](#) Site, Landscaping, and Architectural Design Review for Mother of Perpetual Help Parish, an existing Religious Institution use, at 2322 S. 106th St. (Tax Key No. 485-0036-002)

**Attachments:** [\(SLA\) Mother of Perpetual Help - 2322 S 106 St.](#)

*Jack Kovnesky presented.*

***Recommendation:*** *Approval of the Site, Landscaping, and Architectural Design Review for Mother of Perpetual Help Parish, an existing Religious Institution use, at 2322 S. 106th St. (Tax Key No. 485-0036-002) subject to the following conditions:*

1. *Removal of the existing curb cut and full restoration of the curb*
2. *Street Excavation and Driveway Approach Permits being applied for with the Engineering Department for review.*

**Torkelson moved to approve this matter, Katzenmeyer seconded, motion carried.**

5. [25-0072](#) Site, Landscaping, and Architectural Design Review for EZ Mart, an proposed Neighborhood Retail use, at 6841 W. Beloit Rd. (Tax Key No. 489-0071-000)

**Attachments:** [\(SLA\) EZ Mart - 6841 W Beloit Rd.](#)

***Recommendation:*** *Common Council approval of the Site, Landscaping, and Architectural Design Review for EZ Mart, a proposed neighborhood retail use, at 6843 W. Beloit Rd. (Tax Key No. 489-0071-000) subject to the following conditions:*

1. *Common Council consideration of appropriate liquor licenses and extension of licensed premise associated with the proposed use.*
2. *A revised site, landscaping, and architectural plan being submitted to the City Planning Office to show the following: (a) additional landscaping areas and planting details along W. Beloit Rd. and within the east side of the parking lot area, (b) Indicate the nature of and location of proposed outdoor seating features on the site plan; (c) note on plan to reference pavement repair areas; (d) repair or replace the eastern fence adjacent to residential properties. If a replacement is necessary, a new 6-ft tall wood fence or composite fence (non-chain link) fence being indicated on plan; (e) note on plans to indicate repair to canopy sections disrepair due to nesting activity. Remove bird nesting in the canopy entrance of the building (f) exterior color painting details and repainting of existing exterior painted surfaces.*
3. *An exterior site lighting plan for the overall properties being provided to identify existing and proposed exterior lighting. Fixture details being provided. Replacement of flood lighting with full cut off fixtures (down-lighting) to avoid light splay beyond property limits.*

4. *Submit a signage plan for design review and permitting.*

Katzenmeyer moved to approve this matter, Dagenhardt seconded, motion carried.

6. [25-0073](#)

Project tracking.

This matter was Discussed.

## E. ADJOURNMENT

There being no other business, a motion was made by Katzenmeyer, seconded by Dagenhardt to adjourn at 6:41 p.m.



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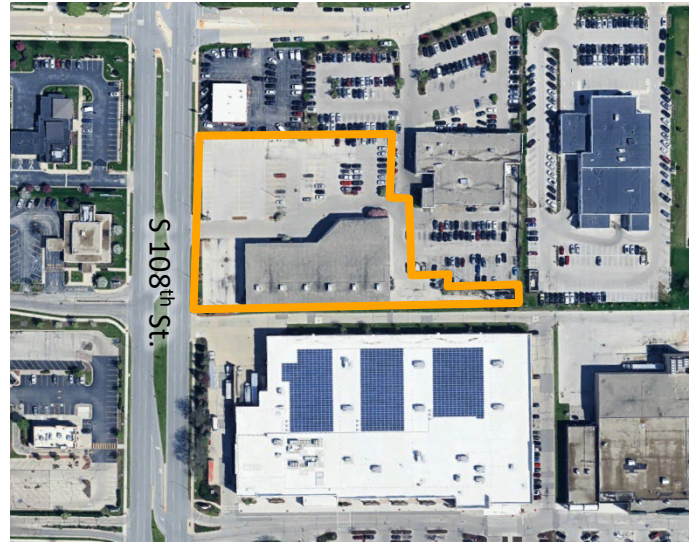


**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, April 23, 2025**  
**City Hall, Room 128**  
**6:00 PM**

- 2A. Conditional Use Permit for The Picklr, a proposed Instruction/Training (31 or more persons at one time) use, at 2550 S. 108th St.**
- 2B. Site, Landscaping, and Architectural plan for The Picklr, a proposed Instruction/Training (31 or more persons at one time) use, at 2550 S. 108th St. (Tax Key Parcel: 485-9990-016).**

**Overview & Zoning**

The proposal for The Picklr is located at the site of the former Dunham's Sports retail store (2.4 acre site with 30,000-sf building). The Picklr will be a pickleball facility that will feature 10 courts, all contained indoors. The business will also feature a full pro shop, grab and go food and drink options, and a private event space. Members of The Picklr will have access to unlimited open play, league play, and tournaments and an option to enroll in private and semi-private lessons and clinics by The Picklr's certified trainers. It will also include an enclosed community space, ideal for hosting corporate and celebratory events.



Staffing of the business will typically include two employees on site. The 10 courts may accommodate up to four players each. At times, Picklr will also utilize our community space for private parties, which could be between 25-50 additional people. The Picklr West Allis will be open to the public and offer monthly and annual memberships as well as daily passes. League events are part of our regular programming, and we would anticipate the same occupancy as a typical day as outlined above. We will likely host intraclub tournaments monthly and additional tournaments a few times a year that could potentially draw 150-200 people between players and spectators.

Demolition/renovation of the interior space for the Picklr will take approximately 10 weeks from permit issuance.

The property is zoned C-4. Instruction/Training (31 or more persons at one time) uses are considered conditional uses in the C-4 district. The proposed operations of business are 6 A.M. to 12:00 A.M. daily.

**Site Plan**

The proposal provided at the time of this staff report does not propose site changes. Per the applicant, there are plans for alterations to the existing site, however, they are waiting to begin more comprehensive work after a decision has been made on the Conditional Use Permit. Plan

Commission will be provided with the opportunity at a succeeding meeting to review and grant a decision upon these site changes.

Staff notes that the property is under an approved site and landscaping plan from 1994, and has recommended some site maintenance improvements in accordance with that plan. Other considerations for site alterations will be evaluated as part of Picklr's subsequent site plan submittal.

Pre-existing landscaping areas require replenishing and the site's existing refuse area, pavement condition in areas, and internal sidewalks, etc. should be evaluated. A scope of work is recommended to best coordinate overall improvements planned. This project is currently only seeking Conditional Use Permit review.

The former Dunham's site has an existing parking count of about 114 parking spaces.

Access to the site is primarily from S. 108 St., but there is also an existing shared cross access easement with IA Hyundai that will remain in place.



### **Floor Plan**

The proposed changes to the existing building show an overhaul to accommodate the new use. The primary entrance for the business is maintained in the same location as the previous tenant, located on a diagonal wall on the north side of the building. After entering patrons are met with a check-in desk and a pro shop. The majority of the building's interior is taken up by a total of 10 pickleball courts. Scattered along with these pickleball courts are small viewing areas for spectators. In the center of the building is a community room that can be utilized for events. Additionally, restrooms that also include changing rooms are located on the southeast corner of the building.





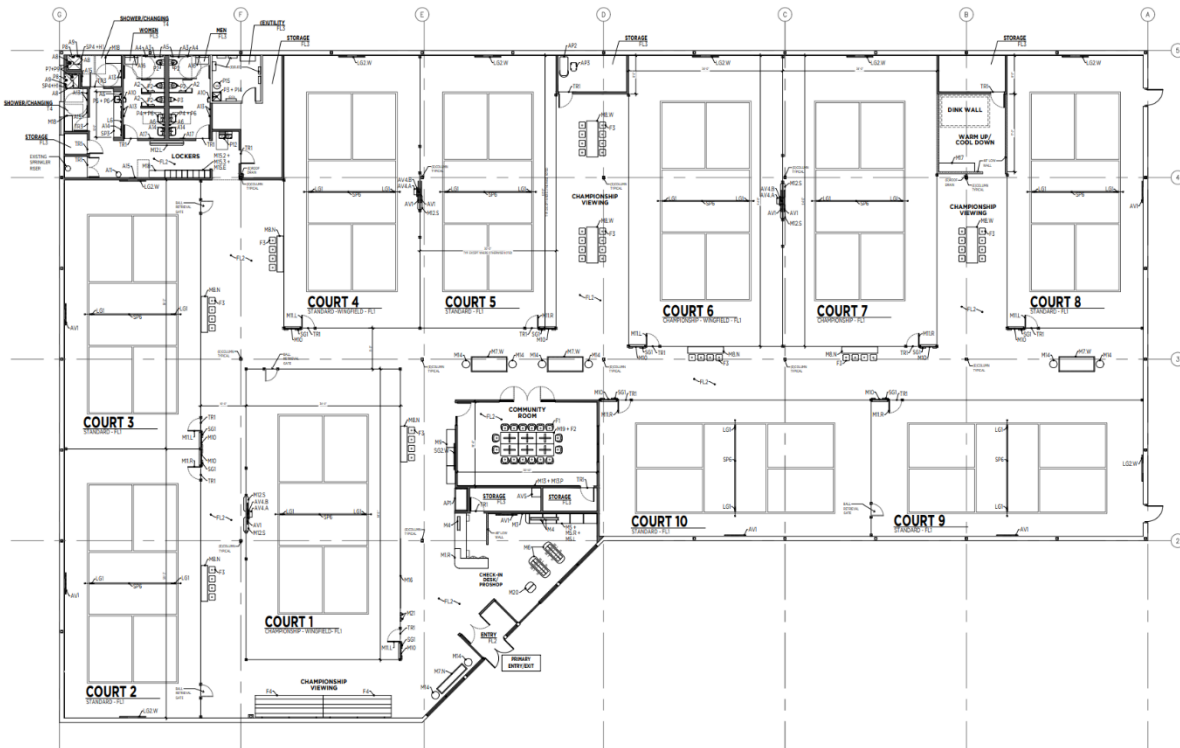
### Architectural Plan

The applicant is proposing exterior paint and signage updates to the existing building. After reviewing the Conditional Use Permit, the applicant will submit more comprehensive plans detailing architecture and site changes. However, given the existing nature of the building, architectural changes are anticipated to be only minor.



### Design Review Guidelines:

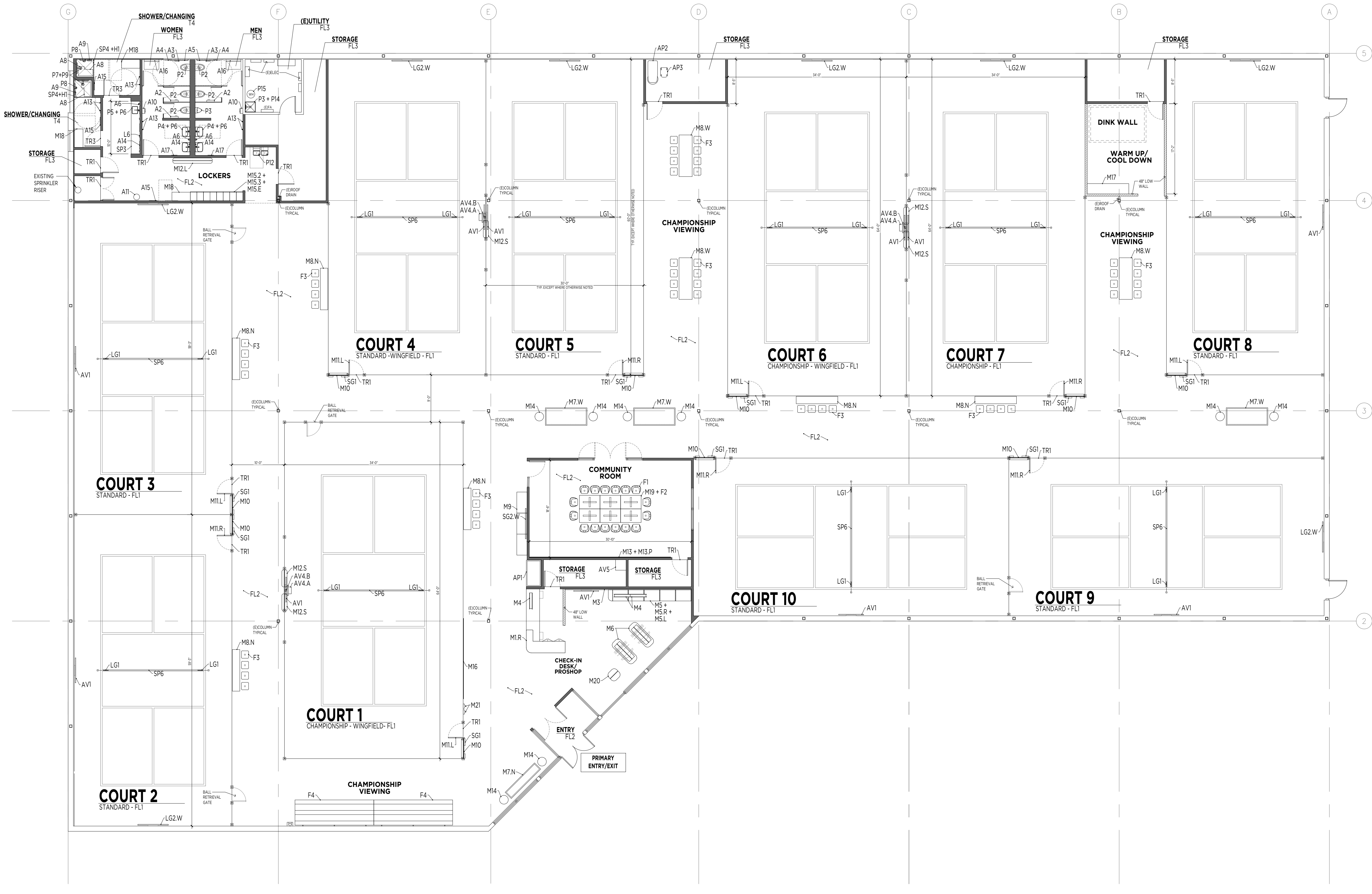
At this time design review guidelines will not be required due to only the use being considered for approval. However, Design Review Guidelines will be considered for the Site, Landscaping, and Architectural review guidelines that are to follow at a succeeding Plan Commission meeting.



**Recommendation:** Approve the Site, Landscaping, and Architectural plans for The Picklr, a proposed Instruction/Training (31 or more persons at one time) use, at 2550 S. 108th St. (Tax Key Parcel: 485-9990-016).

(Items 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (May 6, 2025)
2. A Site, Landscaping, Architectural Plan being submitted to Planning & Zoning to show: (a) a scope of work being prepared and submitted to the Planning and Zoning Office to identify required property site/landscaping maintenance and exterior updates to the building: provide exterior paint color details, pavement and walkway repair, identifying the refuse pick-up area and replacing the 4-sided enclosure fencing, replacing and adding landscaping (plants and trees) within pre-existing areas on site in accordance with the approved plan from 1994; (b) any proposed additional site alterations to be shown on a site/landscaping plan (c) bicycle parking in accordance with Chapter 19.44 of the Zoning Code (d) any lighting updates or improvements to ensure compliance with West Allis Municipal Code.



- GENERAL NOTES:**
- LARC DOCUMENTS ARE BASED ON PROVIDED AS-BUILTS; VERIFY ALL DIMENSIONS IN FIELD, INCLUDING CEILING HEIGHTS & (E) UTILITIES.
  - LAYOUT REPRESENT BRAND GUIDELINE DESIGN INTENT; SUBJECT TO CODE REVIEW, ENGINEERING & SPECIFIC FIELD CONDITIONS.
  - CALLOUTS & TAGS REPRESENT BRAND GUIDELINE DESIGN INTENT; SEE SPECIFICATIONS.
  - NOT SHOWN: EMERGENCY LIGHTING, MECHANICAL SYSTEMS, FIRE PROTECTION PIPING & SPRINKLERS.
  - MILLWORK & FURNITURE QUANTITIES SHOWN REPRESENT FULL UTILIZATION OF SPECIFIC LOCATION LAYOUT.
- QUANTITIES MAYBE ADJUSTED PER BUDGET AND PREFERENCE  
-- SEE BRANDING BUDGET COST MATRIX IN THE PICKLR LIBRARY FOR QUANTITIES USED TO ESTABLISH PER COURT COST.
6. NOT EVERY ITEM IN LEGEND IS SHOWN ON DRAWINGS, NOR INCLUDED.

- SHEET NOTES:**
- ALL NEW WALLS SHOWN PER LEGEND AT A UNIFORM WIDTH. IF DIMENSIONED, TO FINISH. AOR TO DETERMINE ACTUAL DIMENSION PER SPECIFIC FINISH, ROUGH UTILITY & STRUCTURAL REQUIREMENTS.
  - PROVIDE 2' X 6' ACCESS PANEL WITH CENTER AT 60" AFF. IN THE WALL DIRECTLY BEHIND THE ILLUMINATED HERO SIGN FOR ELECTRICAL CONNECTION.
  - PROVIDE POWER & DATA CABLE TO ALL CENTER COURT PORTALS WITH AV EQUIPMENT AS LOCATED ON PLAN. SEE A-HD GUIDELINE & PICKLR LIBRARY FOR SPECIFICATION. CABLING CAN BE DROPPED FROM ABOVE OR ALONG FENCE FROM PERIMETER WALL.
  - LOW WALLS TO HAVE WOOD OR SOLID SURFACE CAP, COLOR TO MATCH WALL PAINT.

LEGENDS:		MILLWORK (QUANTITY)	
<b>PAINT</b>		<b>PAINT</b>	
P1	WHITE	M1.R	DESK - RIGHT RETURN (1)
P2	BLACK	M1.L	DESK - LEFT RETURN (0)
P3	DARK GREY	M2	BACK BAR CABINET - OPTIONAL (0)
P4	LIGHT GREY	M3	SLATWALL (6)
P5	DARK BLUE	M4	PADDLE RACK DISPLAY (3)
P6	LIGHT BLUE	M5	SLATWALL LOWER CAB - CENTRAL (4)
<b>FLOOR</b>		M5.R	SLATWALL LOWER CAB - RIGHT END (0)
FL1	COURT SURFACE & SURROUND	M5.L	SLATWALL LOWER CAB - LEFT END (1)
FL2	LVP	M6	ISLAND DISPLAY W/ CAP - (2)
FL3	CONCRETE	M6.C	ISLAND CAP ONLY
FL4	WALK OFF MAT	M7.W	LOUNGE - WIDE (3)
<b>BASE</b>		M7.N	LOUNGE - NARROW (1)
B1	RUBBER BASE	M8.W	BAR - WIDE (3)
<b>TILE</b>		M8.N	BAR - NARROW (6)
T1	WALL TILE - FULL HEIGHT	M9	PODIUM SET (1)
T2	WALL TILE - WAINSCOT	M10	COURT ENTRY PANEL - TYP (10)
T3	WALL TILE - CHANGING RM/SHOWER	M10.H	COURT ENTRY PANEL - HALF-PANEL (0)
T4	FLOOR TILE - SMALL	M11	COURT ENTRY GATE - LEFT HINGE (5)
T5	FLOOR TILE - LARGE	M11.R	COURT ENTRY GATE - RIGHT HINGE (5)
<b>TRIM</b>		M12.L	BENCH - LONG (1)
TR1	LVP TRANSITION	M12.S	BENCH - SHORT (5)
TR2	TILE TRANSITION AT WALL	M13	WAINSCOT (4)
TR3	TILE + LVP AT FLOOR	M13.P	WAINSCOT WITH PADDLE (1)
<b>SPECIALTY</b>		M14	END TABLE (8)
SP1	AED	M15.2	LOCKERS - 2 DOOR (4)
SP2	FRP	M15.3	LOCKERS - 3 DOOR (4)
SP3	SOLID SURFACE	M15.E	LOCKERS - END PANEL (1)
SP4	GLASS	M16	SLOGAN FENCE PANEL (1)
SP5	FENCING	M17	CUBBY STORAGE (1)
SP6	COURT NETTING	M18	ADA BENCH SLAB (3)
SP7	COURT WALL PROTECTION	M19	TABLE TOP (6)
SP8	GUARDRAIL	M20	PARTNER DISPLAY (1)
SP9	SUSPENDED CLOUD	M21	PADDLE UP (2)
SP10	HANDRAIL	<b>FURNITURE (QUANTITY)</b>	
SP11	OVERHEAD ROLL-UP DOOR	F1	CHAIR (16)
<b>PLUMBING</b>		F2	TABLE BASE (6)
P1	TOILET - FLOOR MOUNT	F3	BAR STOOL (48)
P2	TOILET - WALL HUNG	F4	PORTABLE BLEACHERS - OPTIONAL (2)
P3	URINAL	<b>LIGHTING</b>	
P4	SINK - WALL MOUNT	L1	SUSPENDED HIGH BAY
P5	SINK - UNDERMOUNT	L2	SUSPENDED DOWNLIGHT
P6	FAUCET - TOILET & BEAUTY BAR	L3	CIRCULAR PENDANT
P7	SHOWERHEAD - FIXED	L4	SUSPENDED DOWNLIGHT
P8	SHOWERHEAD - HANDHELD	L5	WALL SCONCE
P9	SHOWER CONTROL	L6	RECESSED CAN - BEAUTY BAR
P10	SHOWER PAN (ALT OPTION)	L7	RECESSED CAN - SMALL
P11	SHOWER DRAIN COVER	L8	RECESSED CAN - LARGE
P12	DRINKING FOUNTAIN	L9	LINEAR DOWNLIGHT
P13	MOP SINK	L10	EXHAUST FAN/LIGHT COMBO
P14	MOP SINK FAUCET	L11	PENDANT
P15	WATER HEATER	L12	WAFER DOWNLIGHT
P16	FAUCET - KITCHENETTE	L13	SUSPENDED CYLINDER
<b>ACCESSORY</b>		L14	EMERGENCY LIGHT
A1	TOILET PARTITIONS	L15	EXIT LIGHT
A2	TOILET PAPER & SEAT COVER COMBO	L16	EXHAUST FAN
A3	TOILET PAPER HOLDER	<b>AUDIO-VISUAL</b>	
A4	TOILET SEAT COVER	AV1	TV
A5	GRAB BAR	AV2	SPEAKER
A6	SOAP DISPENSER - GENERAL	AV3	SECURITY CAMERA
A7	TOWEL DISPENSER - WALL MOUNTED	AV4.A	AI WINGFIELD UNIT - NET BOX
A8	SHOWER TRANSFER SEAT	AV4.B	AI WINGFIELD UNIT - CAMERA
A9	SOAP DISPENSER - SHOWER	AV5	AV RACK
A10	SANITARY PRODUCT DISPENSER	<b>APPLIANCE</b>	
A10.R	SANITARY PRODUCT DISPENSER - RECESSED	AP1	DISPLAY GRAB N' GO
A11	WASTE BIN - FREESTANDING	AP2	COURT CLEANING MACHINE
A12	WASTE BIN - WALL MOUNTED	AP3	BALL MACHINE
A13	WALL HOOKS	<b>GRAPHICS</b>	
A14	MIRROR - COUNTER	GR1	BRANDED WINDOW VINYL
A15	MIRROR - FULL HEIGHT	<b>LOGO (QUANTITY)</b>	
A16	BABY CHANGING STATION	LG1	LOGO - NET (2 SETS PER COURT)
A17	TOWEL DISPENSER & WASTE BIN - RECESSED	LG2.B	LOGO - XL @ COURT WALL - BLACK (0)
<b>DOOR HARDWARE</b>		LG2.W	LOGO - XL @ COURT WALL - WHITE (8)
H1	SHOWER DOOR HINGE	LG3	LOGO - FRONT COUNTER/DESK (1)
H2	SHOWER DOOR PULL	<b>SIGNAGE</b>	
H3	DOOR PULL	SG1	COURT MARKER NUMBER
<b>WALL TYPES:</b>		SG2.B	ILLUMINATED HERO SIGN - BLACK (0)
(E) WALL		SG2.W	ILLUMINATED HERO SIGN - WHITE (1)
(N) WALL - FULL HEIGHT		<b>FENCING ELEMENTS (QUANTITY)</b>	
(N) WALL - HEIGHT AS NOTED ON PLAN OR PER CEILING HEIGHT.		ENTRY PORTAL	(10)
		CENTER PORTAL - OPEN	(3)
		CENTER PORTAL - CLOSED	(0)
		BALL RETRIEVAL GATE	(4)
		* QUANTITIES PER CONCEPT PLAN. TO BE VERIFIED WITH FINAL CONSTRUCTION DRAWINGS	

THE PICKLR ® | WEST ALLIS, WI  
S. 108TH & W. ARTHUR AVE, WEST ALLIS, WI 98406

A101 - draft  
FINAL CONCEPT PLAN  
03.26.2025



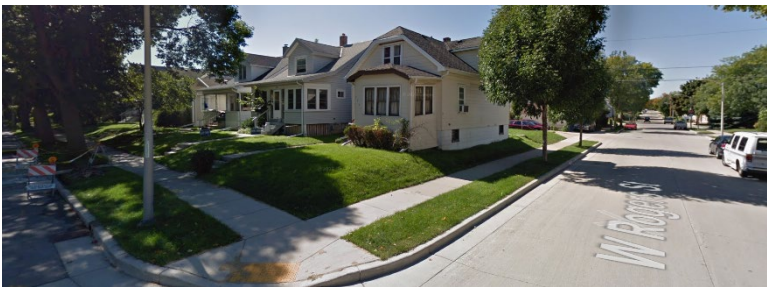


**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, April 23<sup>rd</sup> 2025**  
**6:00 PM**

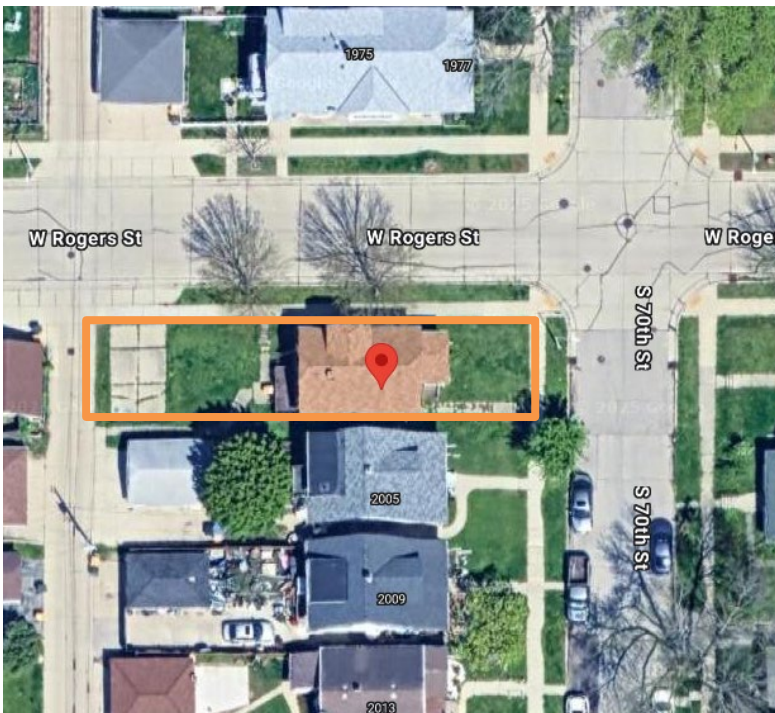
3. **Site, Landscaping, and Architectural Design Review to convert a single-family home into a duplex, a proposed use, at 2001 S. 70th St (Tax Key No. 453-0926-000).**

**Overview & Zoning**

The applicant for the property at 2001 S. 70th St. is proposing to convert the existing single-family home into a two-unit dwelling. This conversion will occur through an addition that will be attached to the rear of the building. The building fronts S. 70 St. and also an alley access, however access to



the existing off-street paved surface/parking pad behind the home is accessible via an existing driveway from W. Rogers St.



The property is zoned RB — “intended for traditional neighborhoods with a diverse array of housing types on small lots.” Two-unit dwellings are considered permitted uses in the RB zoning district, provided that the proposed addition meets the buildout regulations outlined in Section 19.41 of the West Allis Municipal Code for the district. Conversations with the architect for this project have revealed that this is not the

first iteration of this project. The final design of this single-family home conversion was intentionally selected to maintain the original look of the home while seamlessly incorporating an addition to the back of the building to match other existing homes in the neighborhood.

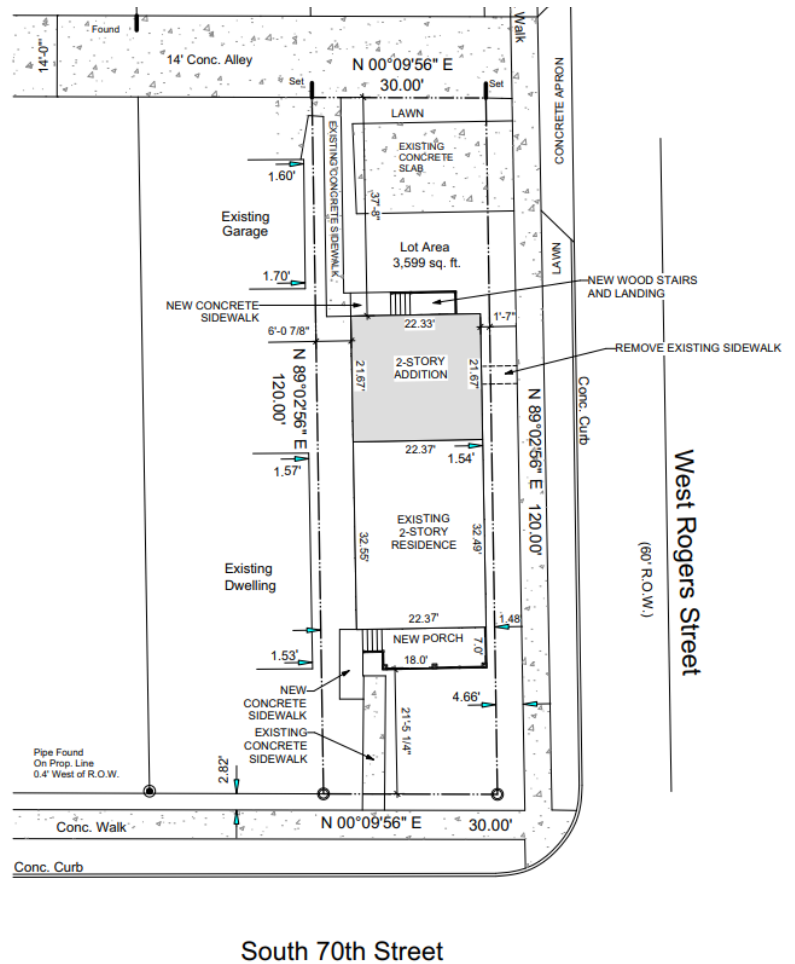
## Site Plan

The property is located at the corner of S. 70th St. and W. Rogers St. An alley that runs north to south, opposite S. 70th St., abuts the property and leads to an existing concrete slab that provides two parking spaces. Toward the front of the lot, facing S. 70th St., there is an existing two-story residential home. A new porch extension is proposed at the front of this home will equal in total 126 sq. ft. and is compliant with the City's front setback requirements in the RB district.

A two-story, 22' x 21' addition is proposed at the rear of the existing building, featuring a new set of wooden stairs and a landing. The addition will follow the existing buildout lines of the original residence. As such, it will remain compliant with all lot line regulations **except** for the requirement that structures be located at least 3 feet from the side lot line.

- The proposed addition, consistent with the form of the original residence's footprint/buildout, is planned to be 1'7" from the side lot line. Therefore, a variance from the zoning ordinances will be required for this project.
- As part of the staff recommendation, before the applicant may obtain a building permit, Board of Appeals consideration and approval will be required.

Lots within the RB district are also subject to a maximum lot coverage requirement of 60%. Out of a total lot area of 3,599 sq. ft., approximately 1,211 sq. ft. will be developed, resulting in a lot coverage of 34%. Even with the proposed addition, the home remains compliant with the City's lot coverage requirement.



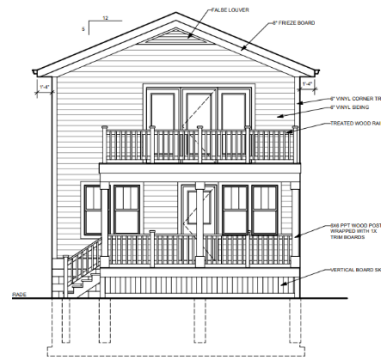
## Architectural Plan

Minor architectural changes are proposed to the existing building, with the architectural features of the addition designed to match the existing appearance and materials of the original home. The existing 6" vinyl siding will be extended around the entire building, including the new addition to create a seamless look for the building. The traditional bungalow-style clipped gable roof will be replaced with a standard gable roof featuring a false louver.

Several notable changes are proposed for the east-facing front elevation, including the replacement and expansion of the existing porch with a wood-post porch beneath a mirrored porch on the second floor. On the west elevation at the rear of the building, the existing porch will be relocated from the right side of the entryway to the left. The proposed height of the renovated home will be approximately 26 feet.



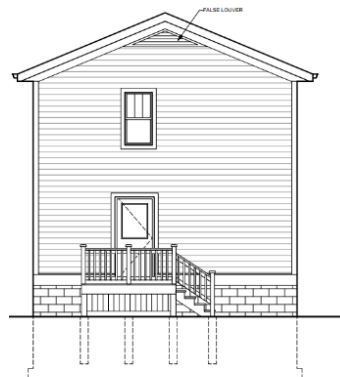
① EXISTING FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



① PROPOSED FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



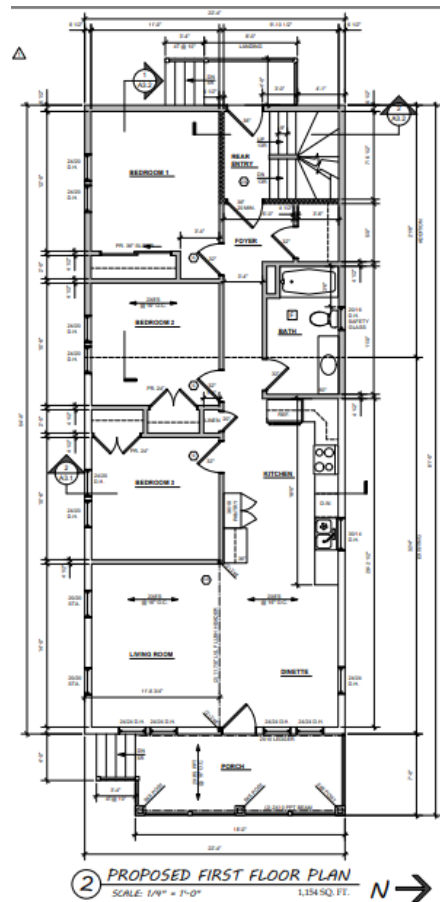
③ EXISTING REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



③ PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"

## Floor Plan

The applicant submitted a floor plan for the basement, first floor, and second floor of both the existing property as well as the property with the proposed addition. The initial floor plans show no



features in the basement, one bedroom, a dining and living space, and one restroom on the first floor. The second floor indicates a large, open space. Many changes are indicated in the proposed addition floor plans. The basement level will be separated into two distinct spaces. The first floor of the property will support a porch extension, a living room, kitchen, dining space, three bedrooms in total, and one restroom. The changes proposed for the second-floor mirror that of the first, aside from the addition of a deck on the second floor, allowing this 2-unit residence to facilitate a total of 6 bedrooms and two bathrooms with full kitchens and living quarters.

## Design Guidelines

The proposal is considered a minor redevelopment; guidelines may be used as a framework but are not a requirement for approval.

- Consideration of a clipped gable roof features on east and west elevations.
- Color and finish details of the building exterior siding, trim, and porch/deck railings is recommended.

**Recommendation:** Approval of the Site, Landscaping, and Architectural Design Review to convert a single-family home into a duplex, a proposed use, at 2001 S. 70th St (Tax Key No. 453-0926-000) subject to an application submitted to the Board of Appeals for an area variance to allow a side lot setback of 1'7" instead of the current standard of 3'.

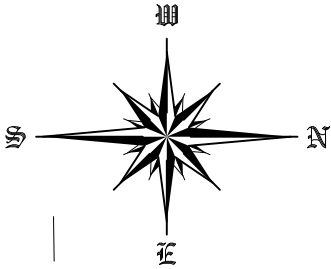
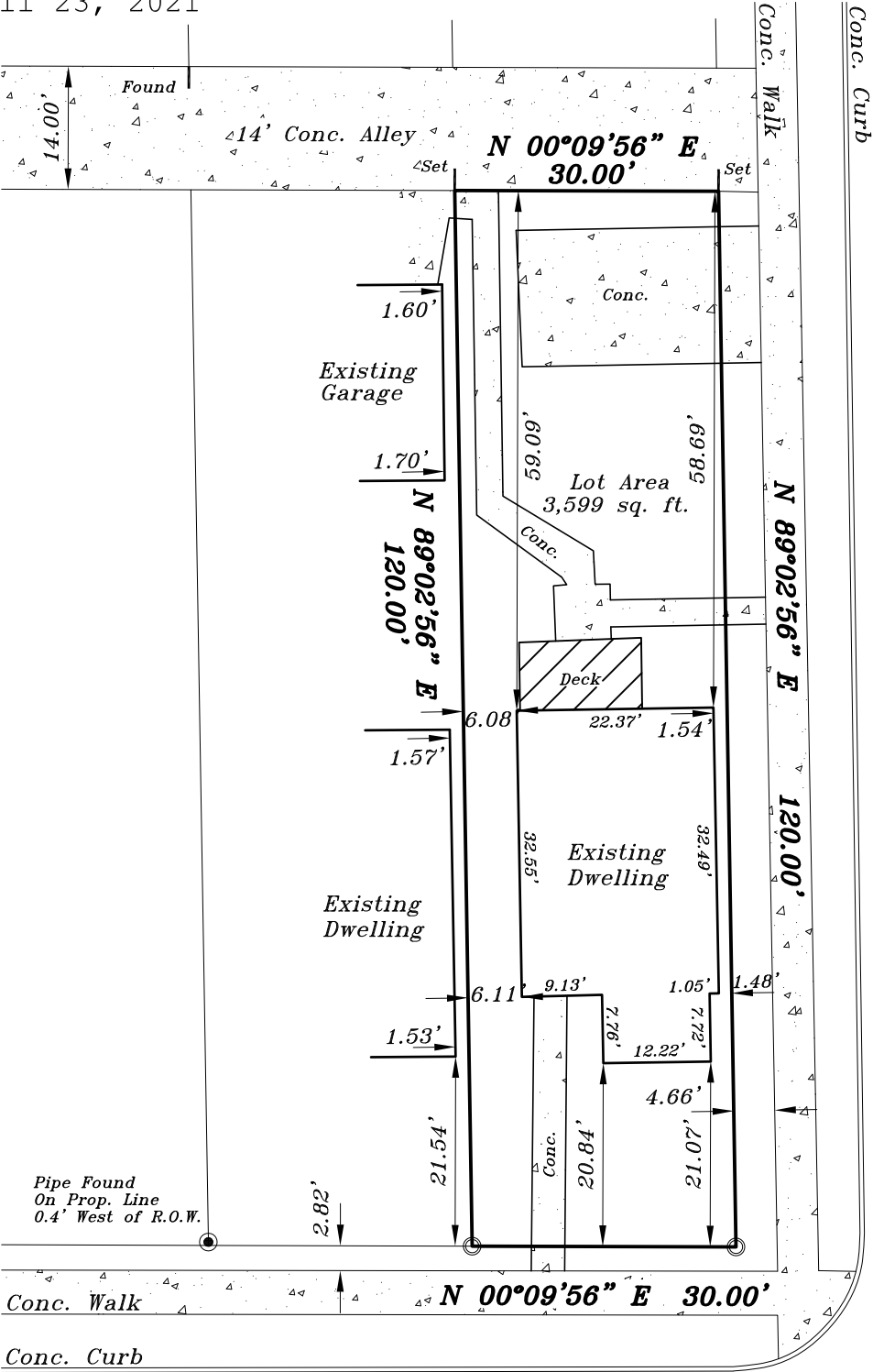
PLAT OF SURVEY

LOCATION: 2001 South 70th Street, West Allis, Wisconsin

LEGAL DESCRIPTION: Lot 1 in Block 18 in GROSS WEST ALLIS ADDITION, in the West 1/2 of Section 3, in the Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

April 23, 2021

Survey No. 112463

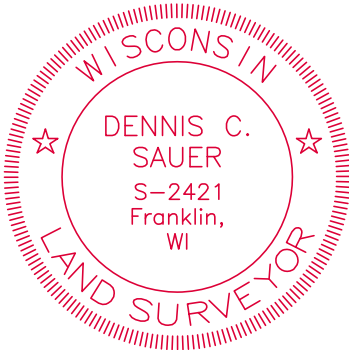
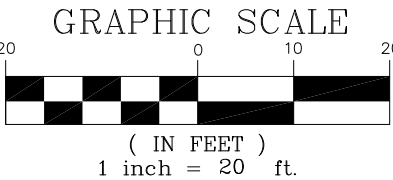


West Rogers Street

(60' R.O.W.)

South 70th Street

(60' R.O.W.)



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS  
9415 West Forest Home Avenue, Suite 202  
Hales Corners, Wisconsin 53130  
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survey@metropolitansurvey.com  
www.metropolitansurvey.com



- — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set
- | — Denotes Cut Notch

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

*Dennis C. Sauer*

Dennis C. Sauer  
Professional Land Surveyor S-2421




1. THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR'S SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE MEANS OR METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
3. CONTRACTORS SHALL COMPLY WITH THE LATEST (OSHA) OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
4. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, BRACING, SCAFFOLDING, FORMWORK ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
5. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT/ENGINEER IS OBTAINED.
6. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
7. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
8. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
9. ARCHITECT / ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT / ENGINEER WILL BE ALLOWED AT THE JOB SITE.
10. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, INSERTS, FLOOR FINISHES AND OTHER EMBEDDED ITEMS.
11. UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.
12. ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.
13. THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.
14. FIELD VERIFY ALL EXISTING CONDITIONS TO MATCH NEW INTERIOR FINISHES TO EXISTING INTERIOR FINISHES AS CLOSE AS POSSIBLE.
15. FIELD VERIFY ALL EXISTING EXTERIOR CONDITIONS TO MATCH NEW EXTERIOR FINISHES AND DETAILS AS CLOSE AS POSSIBLE.
16. WINDOW DESIGNATIONS GIVEN ARE FOR GLASS SIZE NOTED IN INCHES (WIDTH X HEIGHT) PER SASH. MATCH WINDOW SIZES AS CLOSELY AS POSSIBLE TO SELECTED WINDOW MANUFACTURER'S STANDARD SIZES.
17. CONTRACTOR SHALL OBTAIN AND VERIFY ROUGH OPENING SIZES FOR ALL WINDOWS AND DOORS FROM MANUFACTURER.
18. FIELD VERIFY ALL EXISTING WINDOWS SHALL MEET THE CODE REQUIREMENT FOR LIGHT (8%) VENTILATION (3.5%) IN ALL HABITABLE ROOMS; MEET EGRESS REQUIREMENTS FOR CLEAR OPENING OF 20" X 24" (EITHER WIDTH X HEIGHT OR HEIGHT X WIDTH).
19. NEW WINDOWS INSTALLED IN ANY OF THE LOCATIONS LISTED IN SPS 321.05 SHALL BE PROVIDED WITH SAFETY GLAZING.
20. NEW WINDOWS SHALL MEET CODE REQUIREMENTS FOR LIGHT (8%) AND VENTILATION (3.5%) IN ALL HABITABLE ROOMS; MEET EGRESS REQUIREMENTS FOR CLEAR OPENING OF 20" X 24" (EITHER WIDTH X HEIGHT OR HEIGHT X WIDTH).
21. INSTALL SMOKE ALARMS; INTERCONNECTED AND DIRECTLY WIRED TO THE DWELLING'S ELECTRICAL SERVICE WITH A BACK-UP BATTERY SUPPLY.
22. INSTALL COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM; INTERCONNECTED AND DIRECTLY WIRED TO THE DWELLING'S ELECTRICAL SERVICE WITH A BACK-UP BATTERY SUPPLY.
23. THIS PROJECT INVOLVES INSTALLATION OF NEW ROOF TRUSSES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE TRUSS BEARING CONDITIONS, TRUSS LENGTH AND ROOF PITCH (WHEN MATCHING EXISTING ROOF PROFILES) PRIOR TO ORDERING AND INSTALLING THE NEW ROOF TRUSSES.

1. ARCHITECT & CONTRACTOR SHALL DETAIL & CONSTRUCT BUILDING FINISHES TO ACCOMMODATE AN EXPECTED BUILDING SHRINKAGE OF APPROXIMATELY 3/16" TO 3/8" PER FLOOR OF WOOD CONSTRUCTION. PROPER CARE SHALL BE TAKEN TO PREVENT STORED & INSTALLED LUMBER FROM THE ELEMENTS. DO NOT ALLOW LUMBER TO REST IN STANDING WATER.
2. **FRAMING MEMBERS**  
VERTICAL MEMBERS: SPRUCE/PINE/FIR #2 OR BETTER, MOISTURE CONTENT SHALL BE BETWEEN 15% AND 19%  
  
JOISTS: 2x No 1 / No 2 SPF, UNO  
SIZE & SPACING PER PLANS  
NO 2 TREATED SOUTHERN YELLOW  
PINE (EXTERIOR), UNO  
  
POSTS: NO 2 SPF (INTERIOR), UNO  
NO 2 TREATED SOUTHERN YELLOW  
PINE (EXTERIOR), UNO
3. BOTTOM PLATES OF STUD WALLS TO BE SAME GRADE AS STUDS. BOTTOM PLATE IN CONTACT w/ CONCRETE SHALL BE TREATED SOUTHERN YELLOW PINE. TOP PLATES OF STUD WALLS TO BE SAME GRADE AS STUDS.
4. FLOOR SHEATHING SHALL BE 3/4" APA RATED, T&G SHEATHING, GLUED & NAILED TO FLOOR FRAMING w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES.
5. ROOF SHEATHING SHALL BE 1/2" APA RATED OSB SHEATHING ATTACHED TO THE ROOF FRAMING MEMBERS w/ 8d COMMON OR BOX NAILS @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS. STAGGER PANEL EDGES.  
(1" MINIMUM EMBEDMENT INTO FRAMING MEMBER).
6. EXTERIOR WALLS SHALL BE SHEATHED WITH 7/16" APA RATED SHEATHING. ATTACH DIRECTLY TO THE OUTSIDE FACE OF EXTERIOR STUD WALLS WITH 16 GAGE, 1 1/2" STAPLES @ 6" OC ALONG EDGES AND 12" OC ALONG INTERMEDIATE MEMBERS, UNO.
7. DESIGN UPLIFT ON ROOF TRUSSES AS INDICATED IN THE DESIGN CRITERIA. PROVIDE TIE DOWN CLIP AT EACH TRUSS, AT EVERY POINT OF BEARING.
8. TYPICAL TRUSS SPACING = 2'-0" EXCEPT WHERE SPECIFICALLY NOTED.
9. COORDINATE WALL STUD LOCATIONS TO ALIGN WITH TRUSS BEARING LOCATIONS @ ALL WALLS.
10. PROVIDE EQUIVALENT SIZE SOLID BLOCKING & VERTICAL MEMBERS THROUGH UNDERLYING FLOORS / WALLS BELOW MULTIPLE MEMBERS OR POSTS CARRYING CONCENTRATED LOADS.
11. COLUMN SIZES SHOWN ARE MIN. CONTRACTOR MAY USE LARGER SECTION IF REQ'D TO FULLY SUPPORT MEMBERS.
12. WHERE BUILT-UP SECTIONS OF DIMENSIONAL LUMBER ARE INDICATED, FASTENING SHALL BE IN ACCORDANCE WITH NDS 15.3.3. MULTI-PLY LVL SECTIONS SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
13. USE JOIST HANGERS DESIGNED FOR GIVEN MEMBER SIZE TO SUPPORT ALL JOISTS/HEADERS FRAMING INTO SIDES OF OTHER MEMBERS.
14. PROVIDE CROSS BRIDGING/BLOCKING BETWEEN FLOOR JOISTS PER NATIONAL DESIGN SPECIFICATION 4.4.1.
15. DO NOT CUT, NOTCH, OR DRILL HOLES IN MIRCOLAM LVL OR JOISTS WITHOUT DESIGNER APPROVAL.

<u>REINFORCING STEEL STRENGTHS</u>	
BARS - ASTM A615, GRADE 60	Fy = 60,000 psi
WWF - ASTM A165	Fy = 65,000 psi
<u>BOLT STRENGTHS</u>	
ANCHOR BOLTS - ASTM A307 OR A36	
HIGH STRENGTH BOLTS - ASTM A325N	
EXPANSION BOLTS - WEDGE TYPE	
<u>CAST-IN-PLACE CONCRETE STRENGTHS</u>	
FOOTINGS	f <sub>c</sub> = 3,000 psi
WALLS	f <sub>c</sub> = 3,000 psi
SLAB ON GRADE	f <sub>c</sub> = 4,000 psi

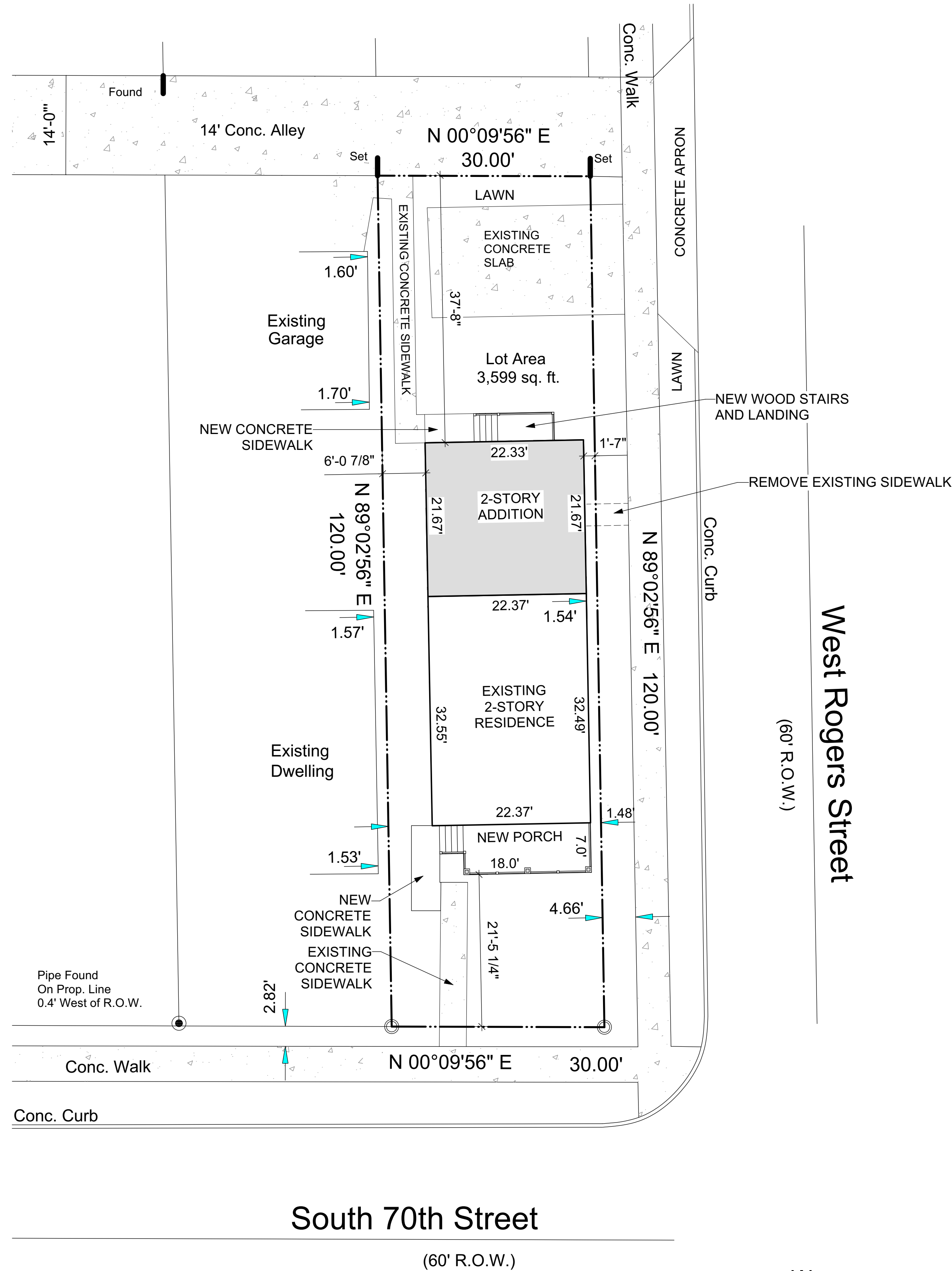
T1.0	TITLE SHEET
C1.1	PROPOSED SITE PLAN
A1.0	EXISTING FLOOR PLANS
A1.1	PROPOSED FLOOR PLANS
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS
A3.1	WALL SECTIONS AND GENERAL NOTES
A3.2	PARTIAL BUILDING SECTION AND STAIR SECTION
A3.3	DECK DETAILS
A3.4	DECK DETAILS
S1.1	PROPOSED WALL BRACING PLANS

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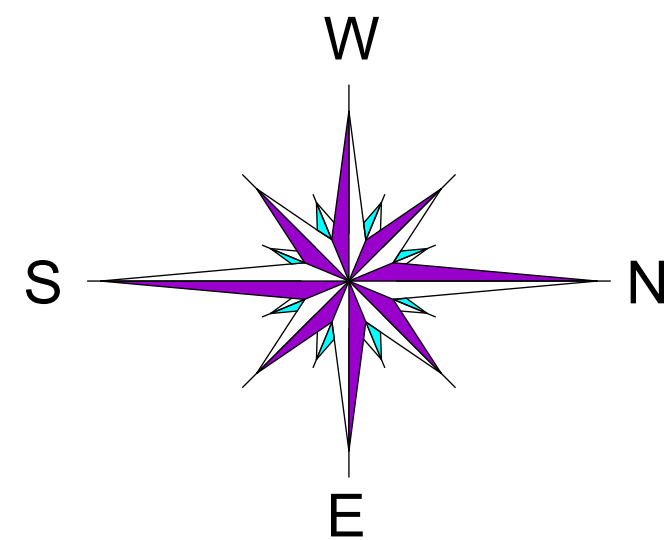
David J. Koscielniak AIA  
12310 West Watford Avenue  
Greenfield, Wisconsin 53228

Cell: (414) 303-8450  
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1 PROPOSED SITE PLAN  
SCALE: 1" = 20'



PLAN EXAM SET 7/10/2024

Project 2-FAMILY CONVERSION AND  
INTERIOR ALTERATIONS OF THE  
EXISTING RESIDENCE

Sheet Title  
PROPOSED SITE PLAN

Revisions  
--/--/----

Date: 7/10/2024

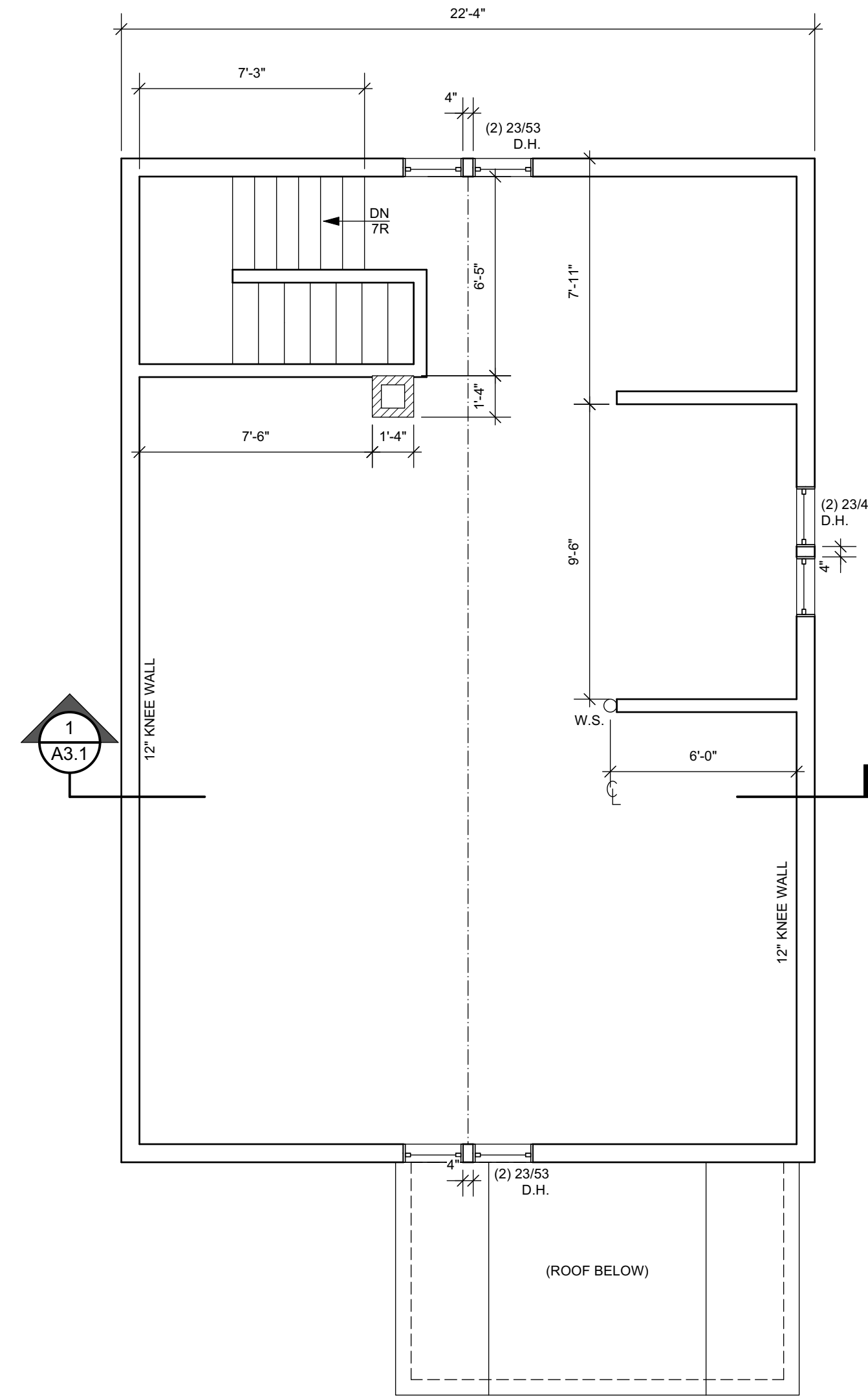
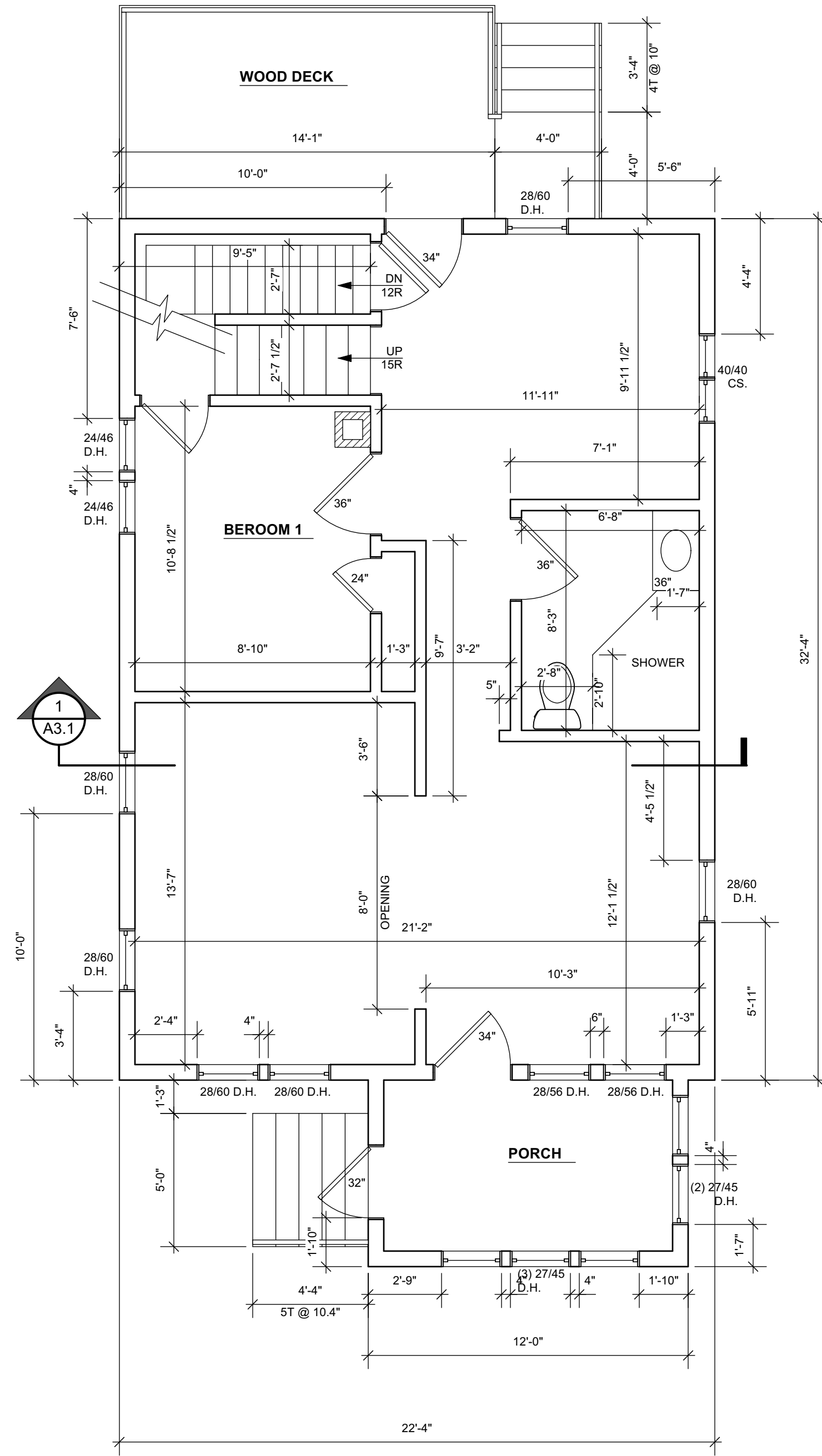
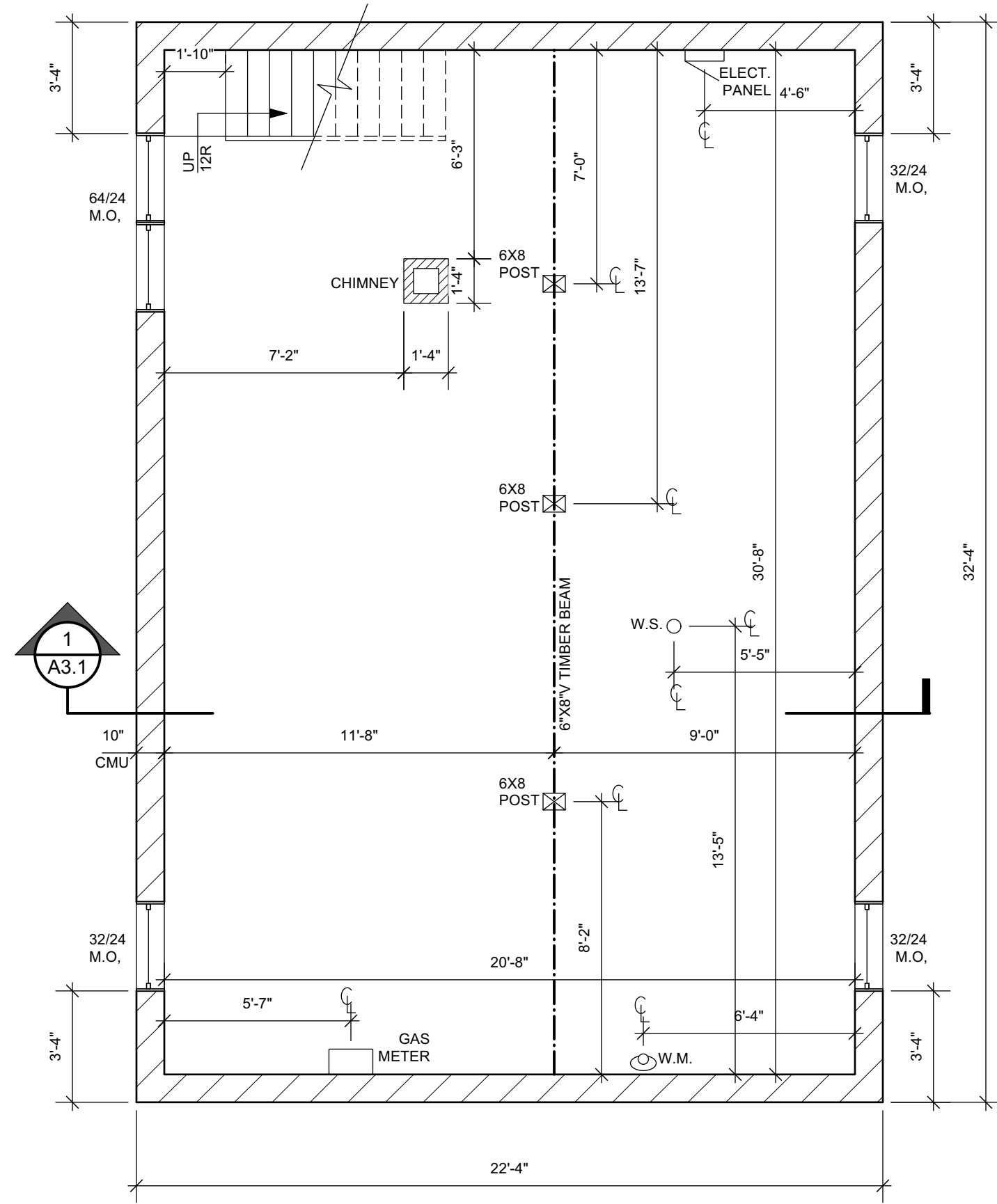
Job NO.: 18-165

Sheet No.

C1.1

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*It's not simply Architecture, it's Koz+i+tec+ture*  
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PLAN EXAM SET 7/10/2024

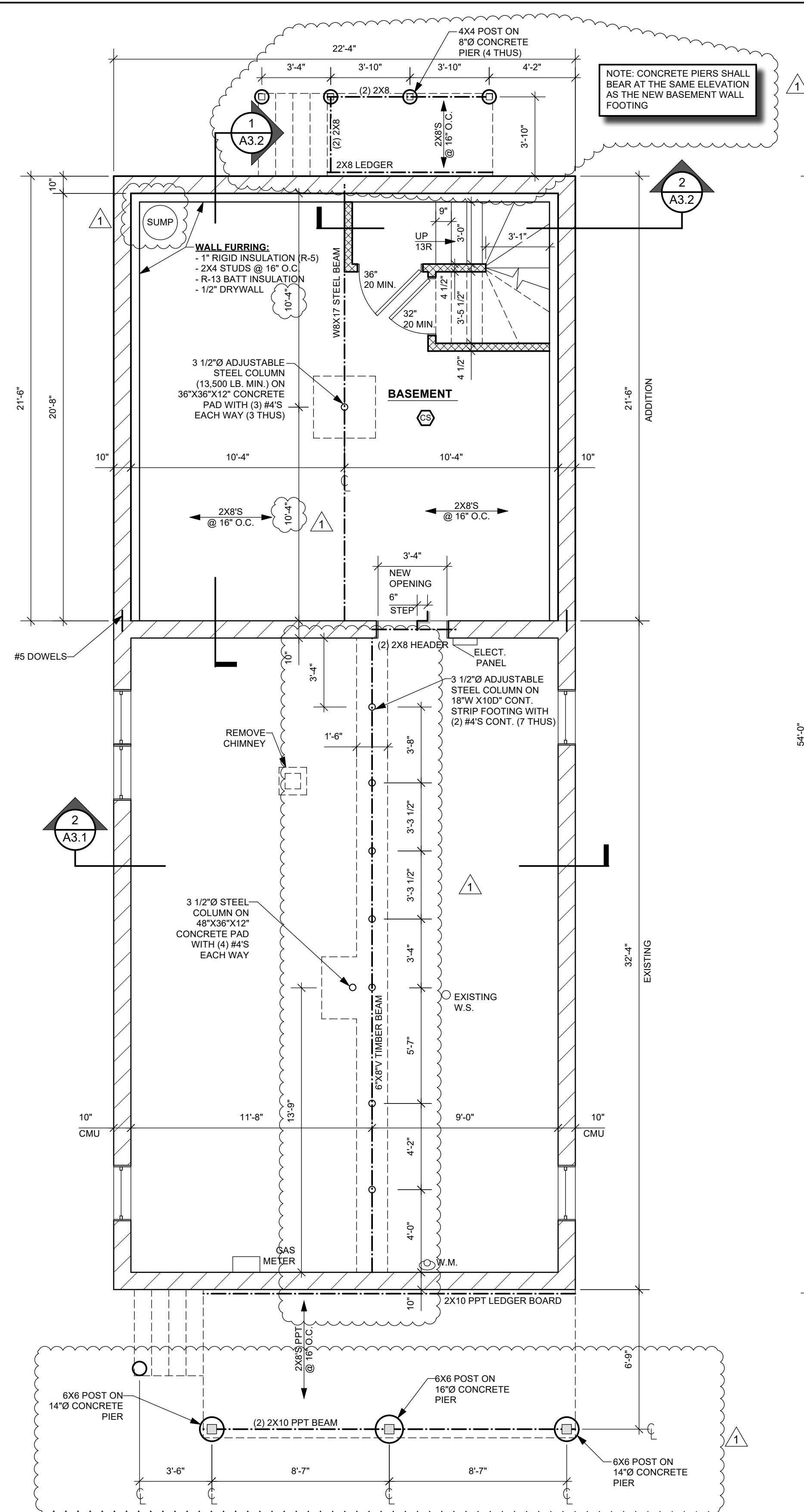
Sheet Title	
EXISTING FLOOR PLANS	
Revisions	
--/--/----	
Date:	7/10/2024
Job NO.:	18-165
Sheet No.	

Project **2-FAMILY CONVERSION AND INTERIOR ALTERATIONS OF THE EXISTING RESIDENCE**

2001 S 70TH STREET  
WEST ALLIS, WI 53219







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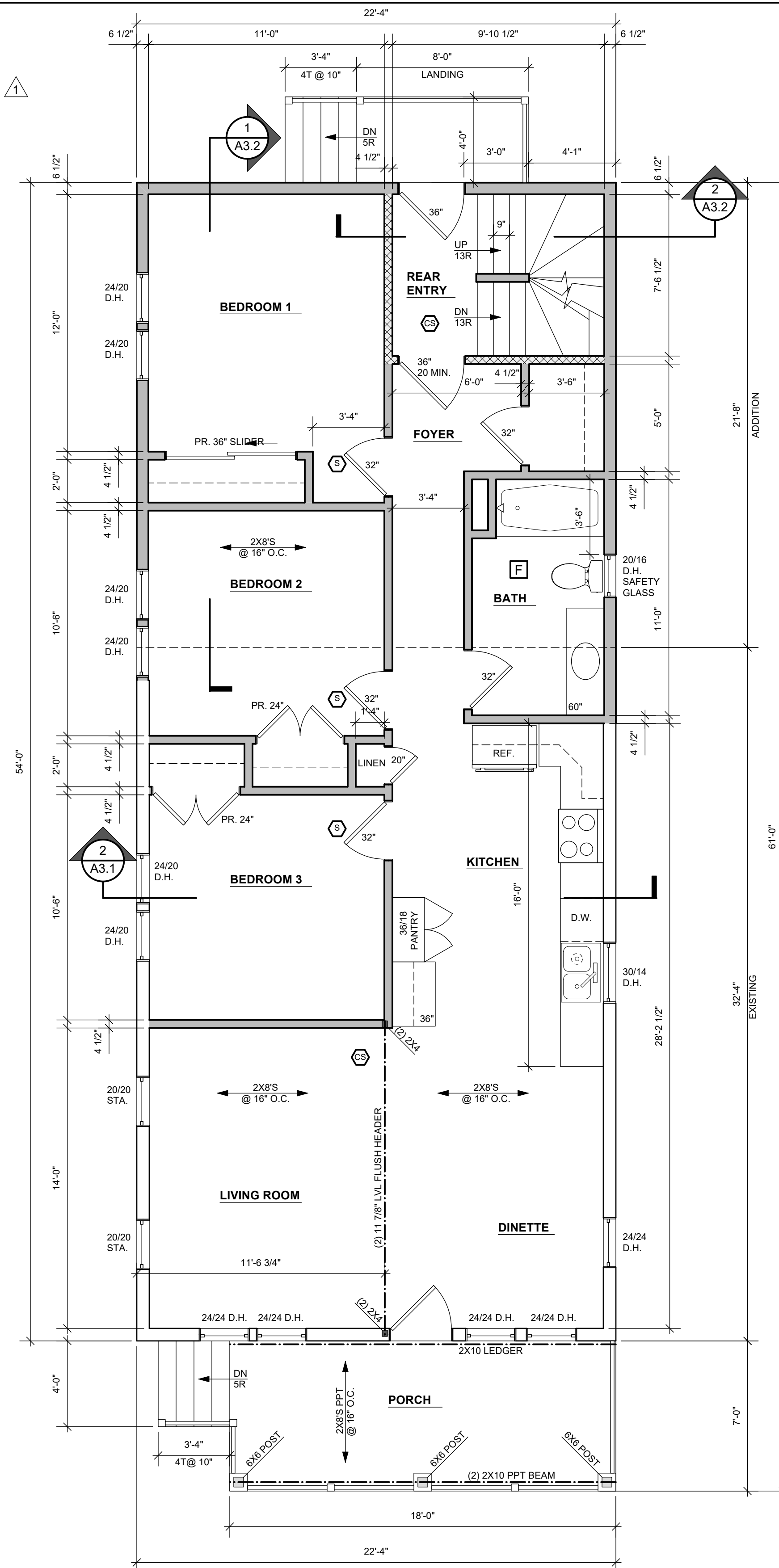
**7 PROPOSED BASEMENT PLAN**  
SCALE: 1/4" = 1'-0" 1,202 SQ. FT.

**LEGEND:**

-  = COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
-  = SMOKE DETECTOR
-  = EXHAUST FAN
-  = EXISTING WALLS TO REMAIN
-  = NEW WALLS
-  = 1-HOUR FIRE RATED WALLS:  
ONE LAYER 5/8" FIRE RATED TYPE X GYPSUM BOARD EACH SIDE; 2X4 WOOD STUDS AT 16" O.C.;  
UL DESIGN U305, U314

ALL WOOD DECK AND PORCH  
FRAMING LUMBER SHALL BE  
PRESSURE PRESERVATIVE  
TREATED (PPT)

NOTE: DECK JOIST, BEAM, COLUMN, AND FOOTING SIZES SHALL BE BASED ON SPS APPENDIX B REQUIREMENTS



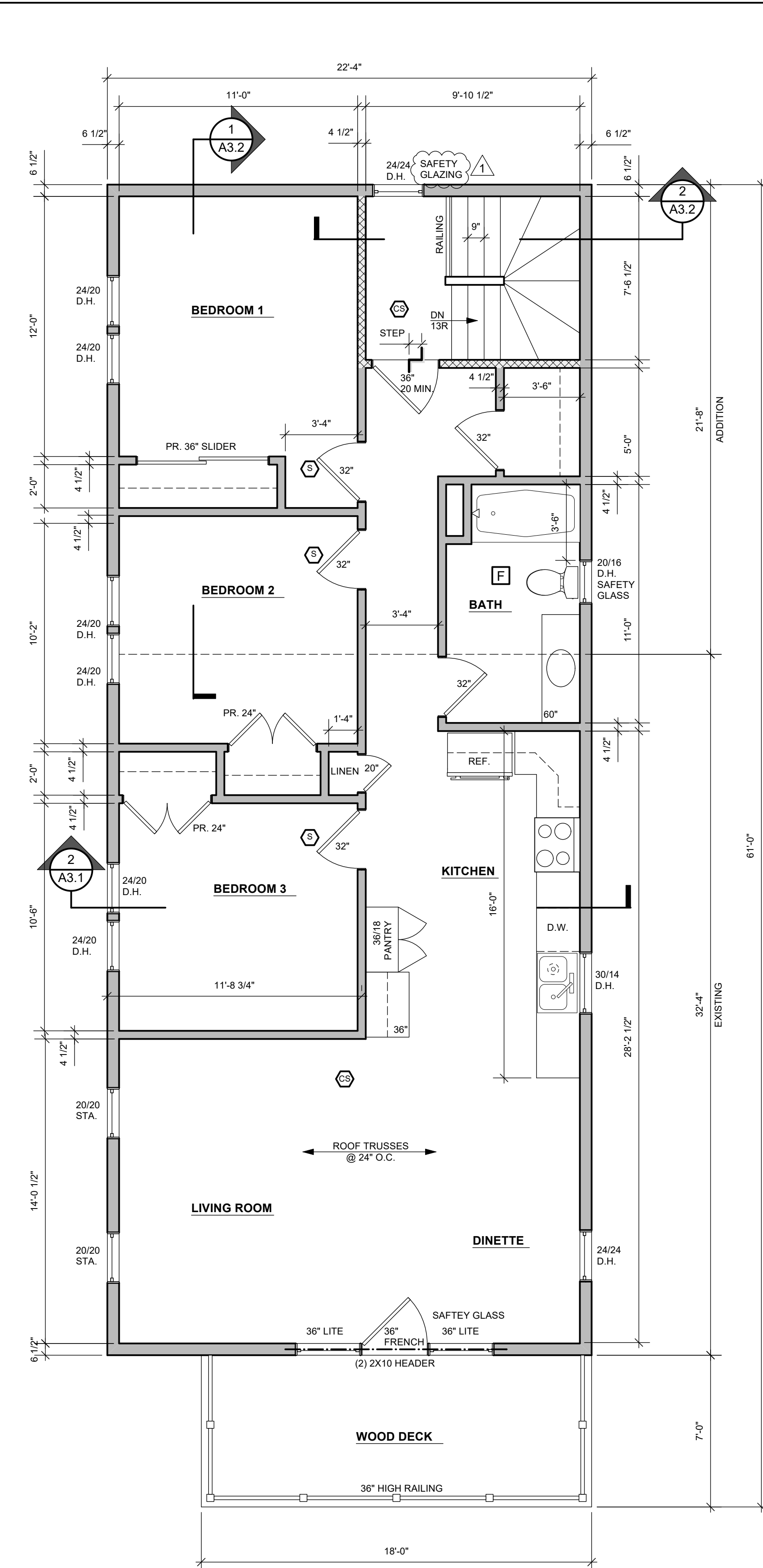
2 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0" 1,154 SQ. FT.

LIGHT AND VENTILATION CALCULATIONS:

BEDROOM 1=	140.00 SQ. FT.
8% LIGHT REQUIRED=	11.20 SQ. FT.
LIGHT PROVIDED=	13.33 SQ. FT.
3.5% VENTILATION REQUIRED=	4.90 SQ. FT.
VENTILATION PROVIDED=	6.30 SQ. FT.

BEDROOM 2=	115.00 SQ. FT.
8% LIGHT REQUIRED=	9.20 SQ. FT.
LIGHT PROVIDED=	13.33 SQ. FT.
3.5% VENTILATION REQUIRED=	4.03 SQ. FT.
VENTILATION PROVIDED=	6.30 SQ. FT.

BEDROOM 3=	115.00 SQ. FT.
8% LIGHT REQUIRED=	9.20 SQ. FT.
LIGHT PROVIDED=	13.33 SQ. FT.
3.5% VENTILATION REQUIRED=	4.03 SQ. FT.
VENTILATION PROVIDED=	6.30 SQ. FT.



3 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0" 1,154 SQ. FT.

NOTE: WINDOW DESIGNATIONS GIVEN ARE FOR GLASS SIZE NOTED IN INCHES (WIDTH X HEIGHT) PER SASH. SEE GENERAL NOTE #16 ON SHEET A3.1.

LIGHT AND VENTILATION CALCULATIONS:	
BEDROOM 1=	140.00 SQ. FT.
8% LIGHT REQUIRED=	11.20 SQ. FT.
LIGHT PROVIDED=	13.33 SQ. FT.
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VENTILATION PROVIDED=	6.30 SQ. FT.

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VENTILATION PROVIDED=	6.30 SQ. FT

PLAN EXAM SET 7/10/2024

Sheet Title

## PROPOSED FLOOR PLANS

Revisions

1 12/4/24- PLAN REVIEW  
COMMENTS

Date: 7/10/2024

Job NO.:	18-165
----------	--------

Sheet No.

### A1.1

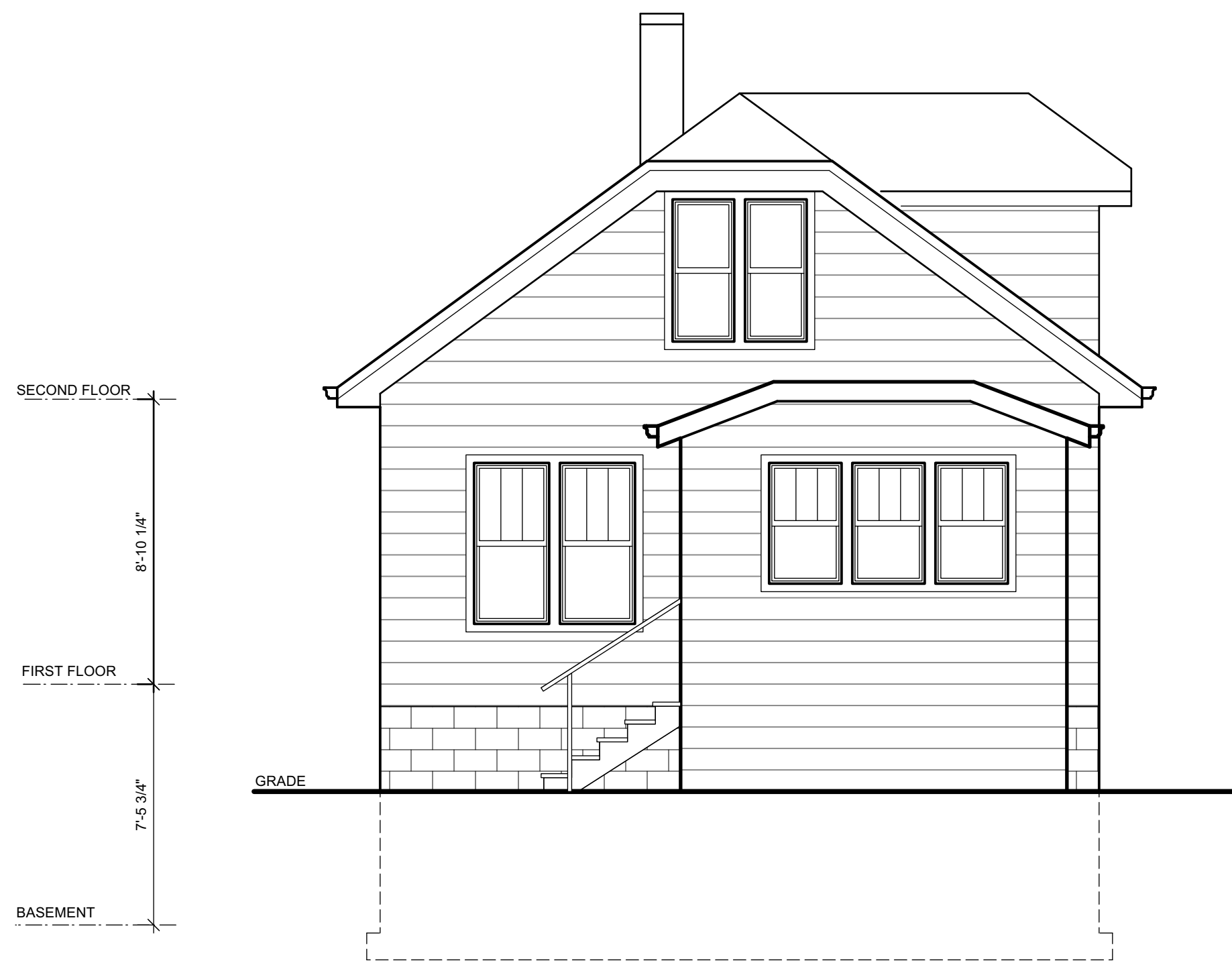
## **2-FAMILY CONVERSION AND INTERIOR ALTERATIONS OF THE EXISTING RESIDENCE**

2001 S 70TH STREET  
WEST ALLIS, WI 53219

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1 EXISTING FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXISTING REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

PLAN EXAM SET 7/10/2024

Project **2-FAMILY CONVERSION AND  
INTERIOR ALTERATIONS OF THE  
EXISTING RESIDENCE**

2001 S 70TH STREET  
WEST ALLIS, WI 53219

Sheet Title  
EXISTING  
ELEVATIONS

Revisions  
---/--/--

Date: 7/10/2024

Job NO.: 18-165

Sheet No.

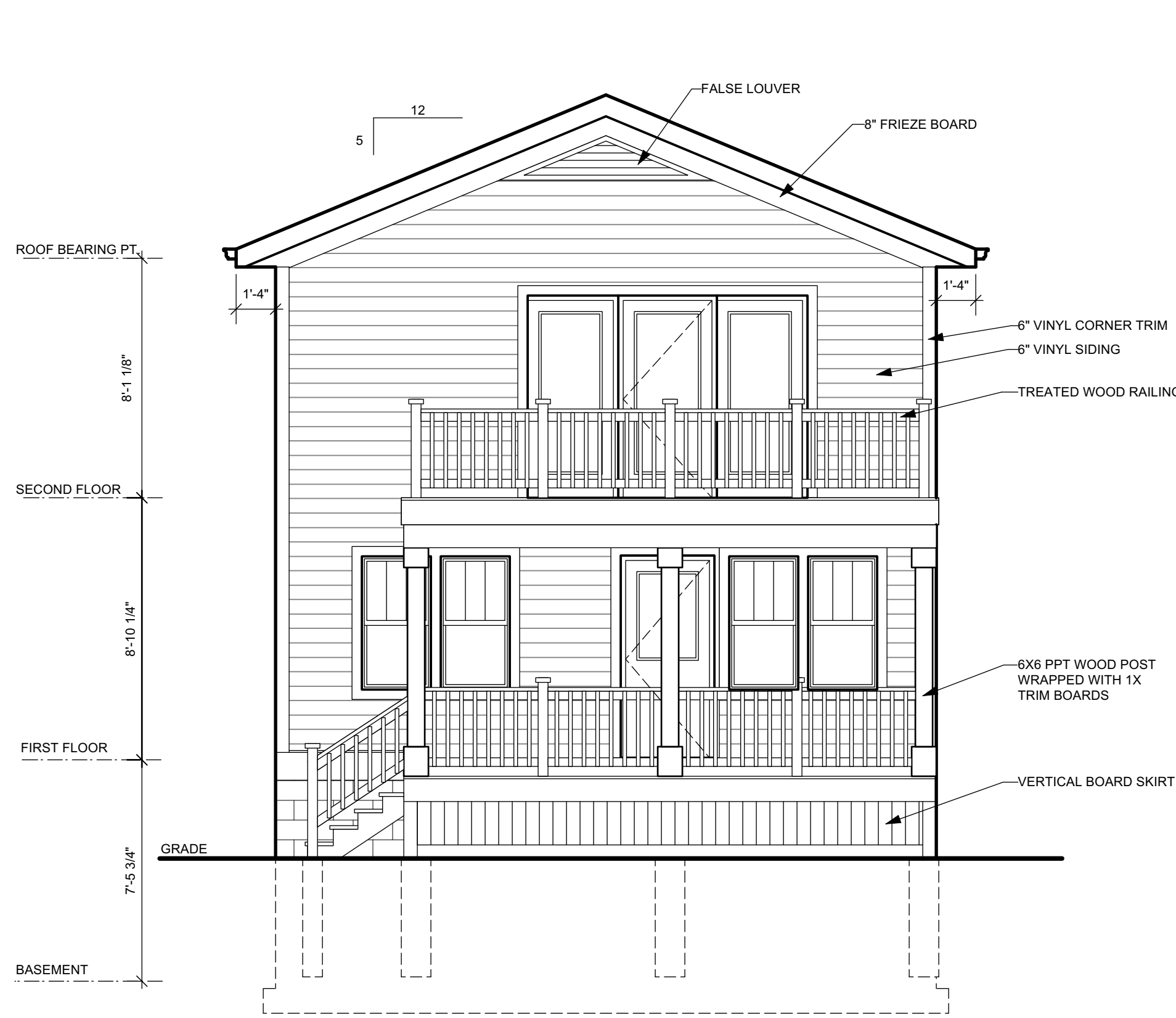
A2.0

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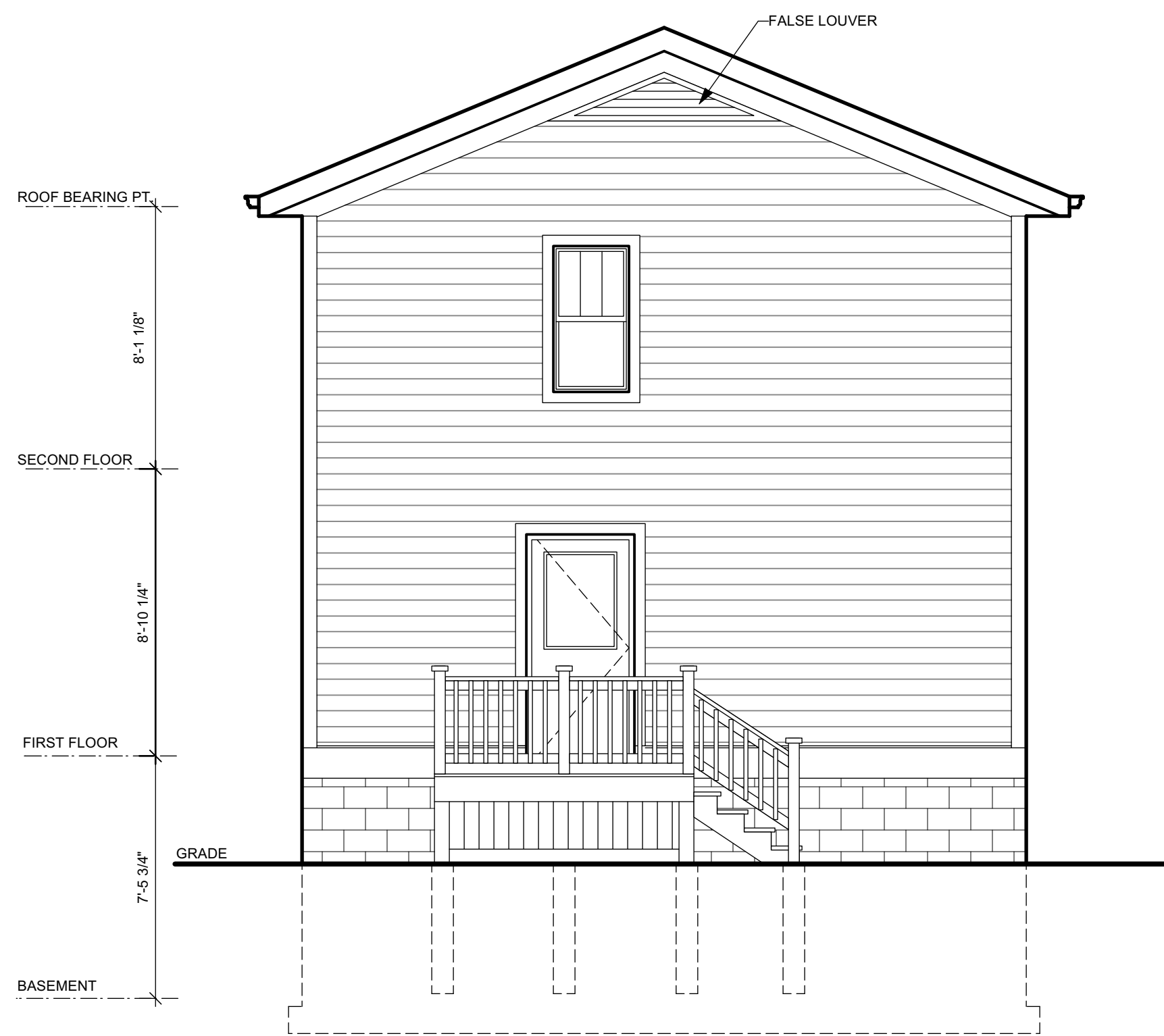
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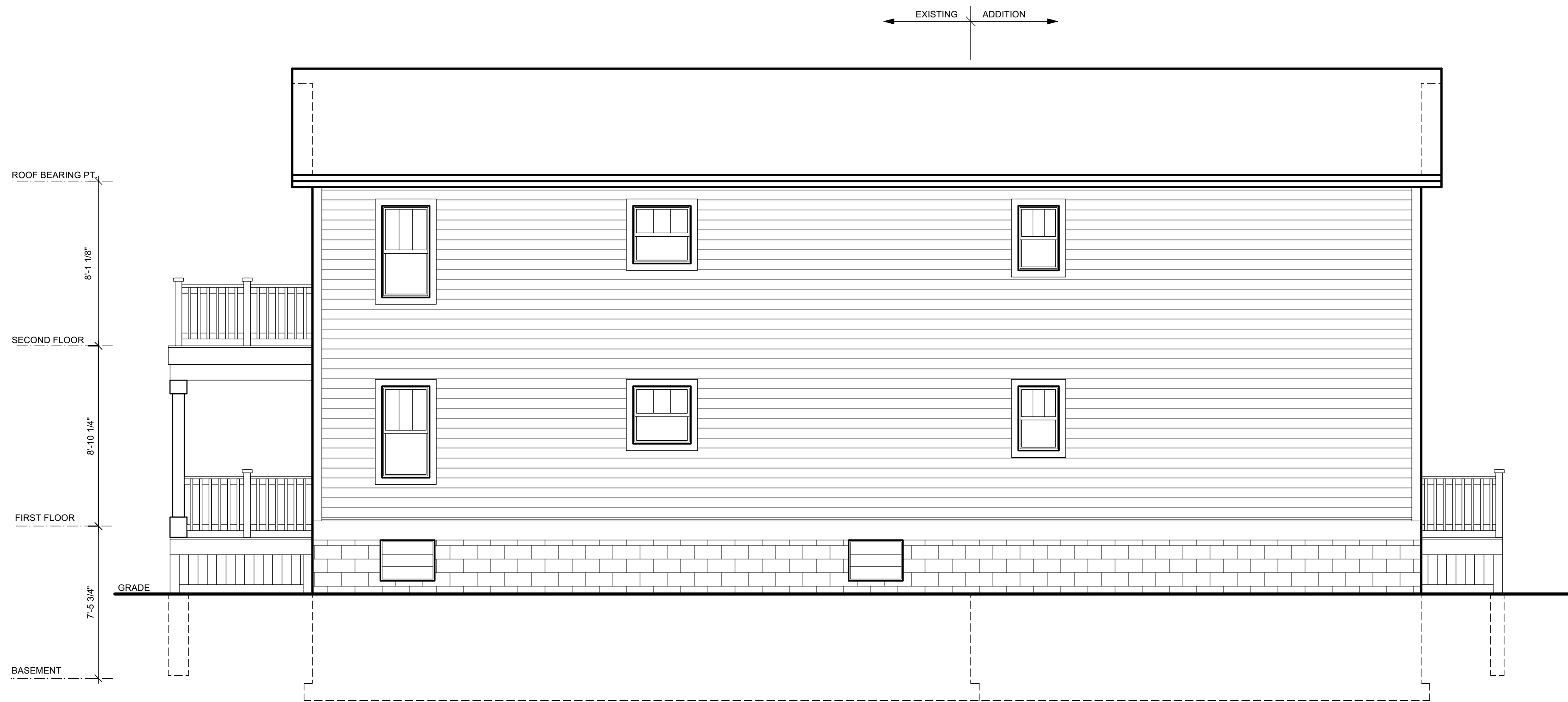
**1** PROPOSED FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



**3** PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



**4** PROPOSED SIDE (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

PLAN EXAM SET 7/10/2024

Project **2-FAMILY CONVERSION AND  
INTERIOR ALTERATIONS OF THE  
EXISTING RESIDENCE**

Sheet Title  
PROPOSED  
ELEVATIONS

Revisions  
---/--/---

Date: 7/10/2024

Job NO.: 18-165

Sheet No.

**A2.1**

2001 S 70TH STREET  
WEST ALLIS, WI 53219

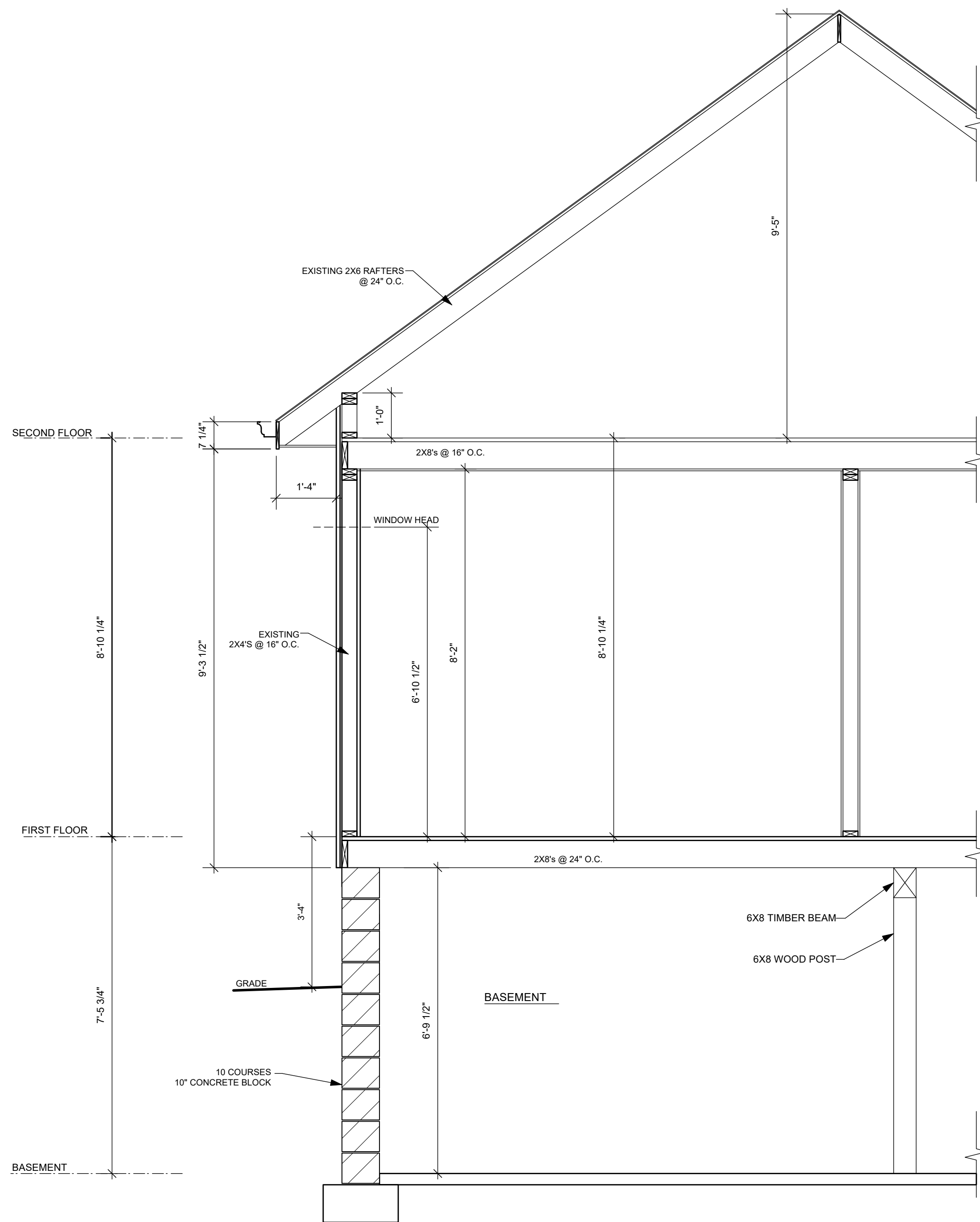
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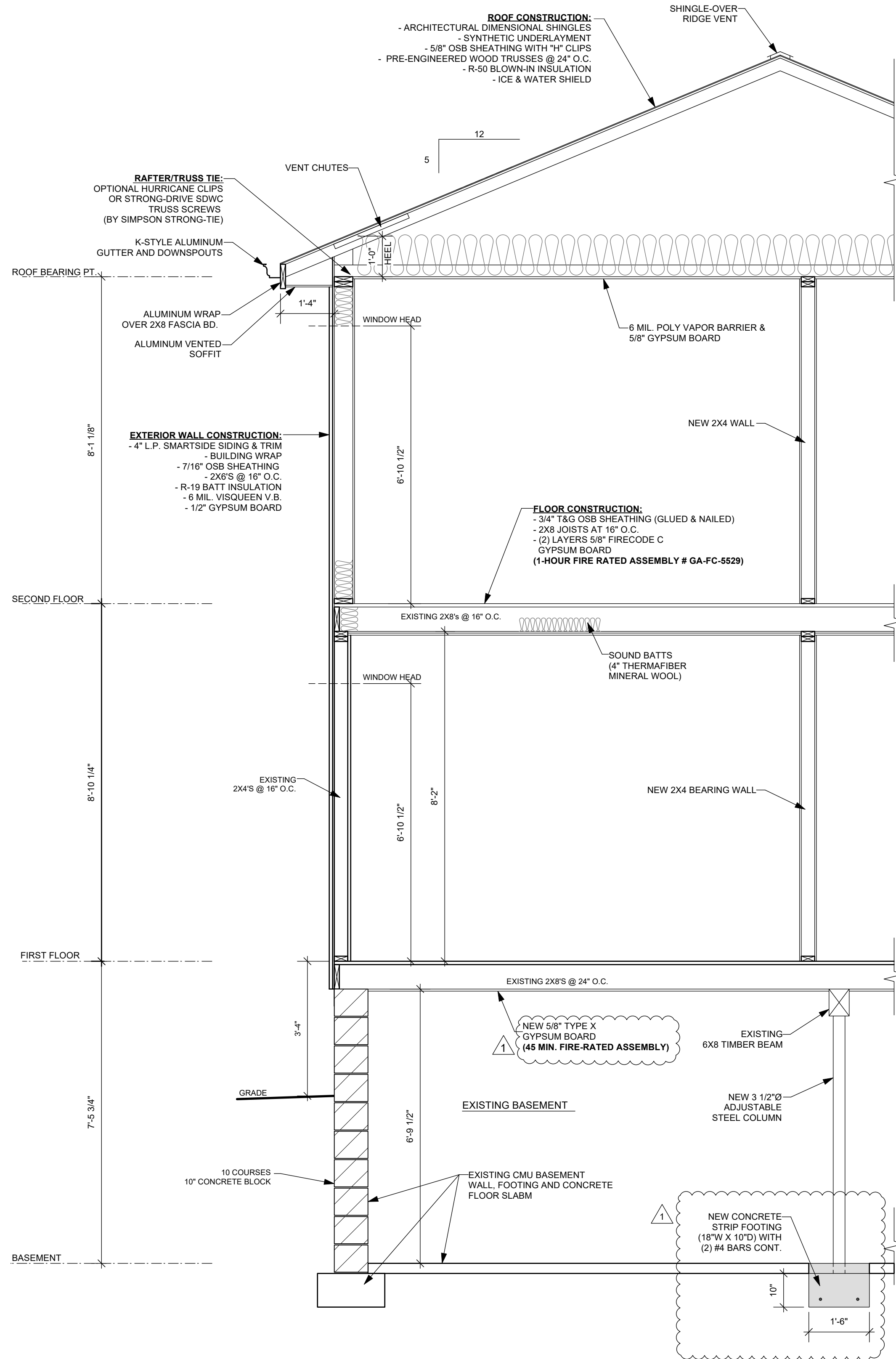
- LEGEND:**
- = COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
  - = SMOKE DETECTOR

**GENERAL NOTES:**

- THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE MEANS OR METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE JOB SITE.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- CONTRACTORS SHALL COMPLY WITH THE LATEST (OSHA) OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, BRACING, SCAFFOLDING, FORMWORK ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT/ENGINEER IS OBTAINED.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
- DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
- ARCHITECT / ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT / ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, INSERTS, FLOOR FINISHES AND OTHER EMBEDDED ITEMS.
- UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.
- THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL AND PLUMBING. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.
- FIELD VERIFY ALL EXISTING CONDITIONS TO MATCH NEW INTERIOR FINISHES TO EXISTING INTERIOR FINISHES AS CLOSE AS POSSIBLE.
- FIELD VERIFY ALL EXISTING EXTERIOR CONDITIONS TO MATCH NEW EXTERIOR FINISHES AND DETAILS AS CLOSE AS POSSIBLE.
- WINDOW DESIGNATIONS GIVEN ARE FOR GLASS SIZE NOTED IN INCHES (WIDTH X HEIGHT) PER SASH. MATCH WINDOW SIZES AS CLOSELY AS POSSIBLE TO SELECTED WINDOW MANUFACTURER'S STANDARD SIZES.
- CONTRACTOR SHALL OBTAIN AND VERIFY ROUGH OPENING SIZES FOR ALL WINDOWS AND DOORS FROM MANUFACTURER.
- FIELD VERIFY ALL EXISTING WINDOWS SHALL MEET THE CODE REQUIREMENT FOR LIGHT (8%) VENTILATION (3.5%) IN ALL HABITABLE ROOMS; MEET EGRESS REQUIREMENTS FOR CLEAR OPENING OF 20" X 24" (EITHER WIDTH X HEIGHT OR HEIGHT X WIDTH).
- NEW WINDOWS SHALL MEET CODE REQUIREMENTS FOR LIGHT (8%) AND VENTILATION (3.5%) IN ALL HABITABLE ROOMS; MEET EGRESS REQUIREMENTS FOR CLEAR OPENING OF 20" X 24" (EITHER WIDTH X HEIGHT OR HEIGHT X WIDTH).
- INSTALL SMOKE ALARMS WITH A BACK-UP BATTERY SUPPLY.
- INSTALL COMBINATION SMOKE ALARM/CARBON MONOXIDE ALARM WITH A BACK-UP BATTERY SUPPLY.
- THIS PROJECT INVOLVES INSTALLATION OF NEW ROOF TRUSSES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE TRUSS BEARING CONDITIONS, TRUSS LENGTH AND ROOF PITCH (WHEN MATCHING EXISTING ROOF PROFILES) PRIOR TO ORDERING AND INSTALLING THE NEW ROOF TRUSSES.



**1 EXISTING WALL SECTION**  
SCALE: 1/2" = 1'-0"



**2 PROPOSED WALL SECTION**  
SCALE: 1/2" = 1'-0"

PLAN EXAM SET 7/10/2024

Project

**2-FAMILY CONVERSION AND  
INTERIOR ALTERATIONS OF THE  
EXISTING RESIDENCE**

Sheet Title

GENERAL NOTES,  
EXISTING WALL  
SECTION, & PROPOSED  
WALL SECTION

Revisions

12/4/24- PLAN REVIEW  
COMMENTS

Date: 7/10/2024

Job NO.: 18-165

Sheet No.

**A3.1**

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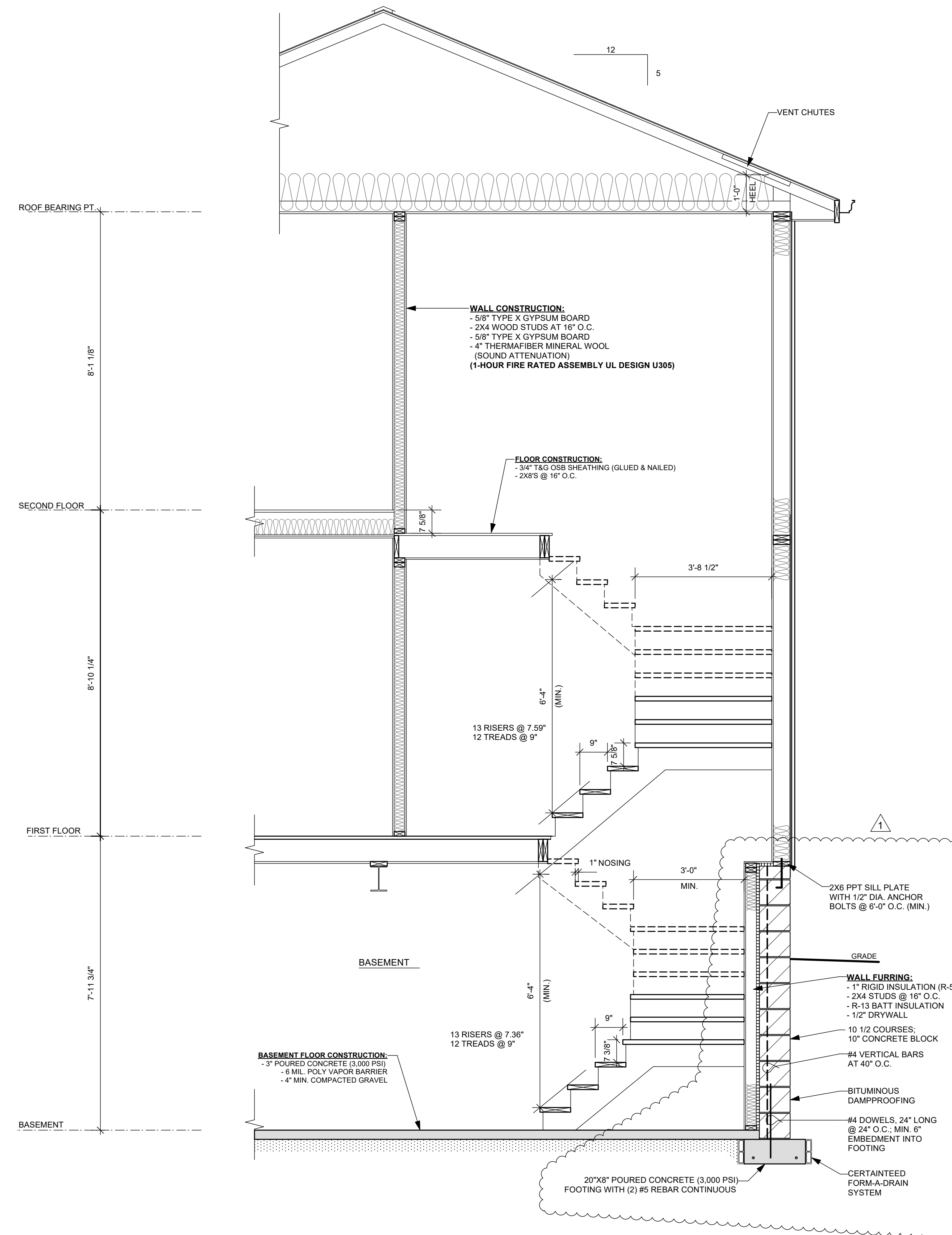
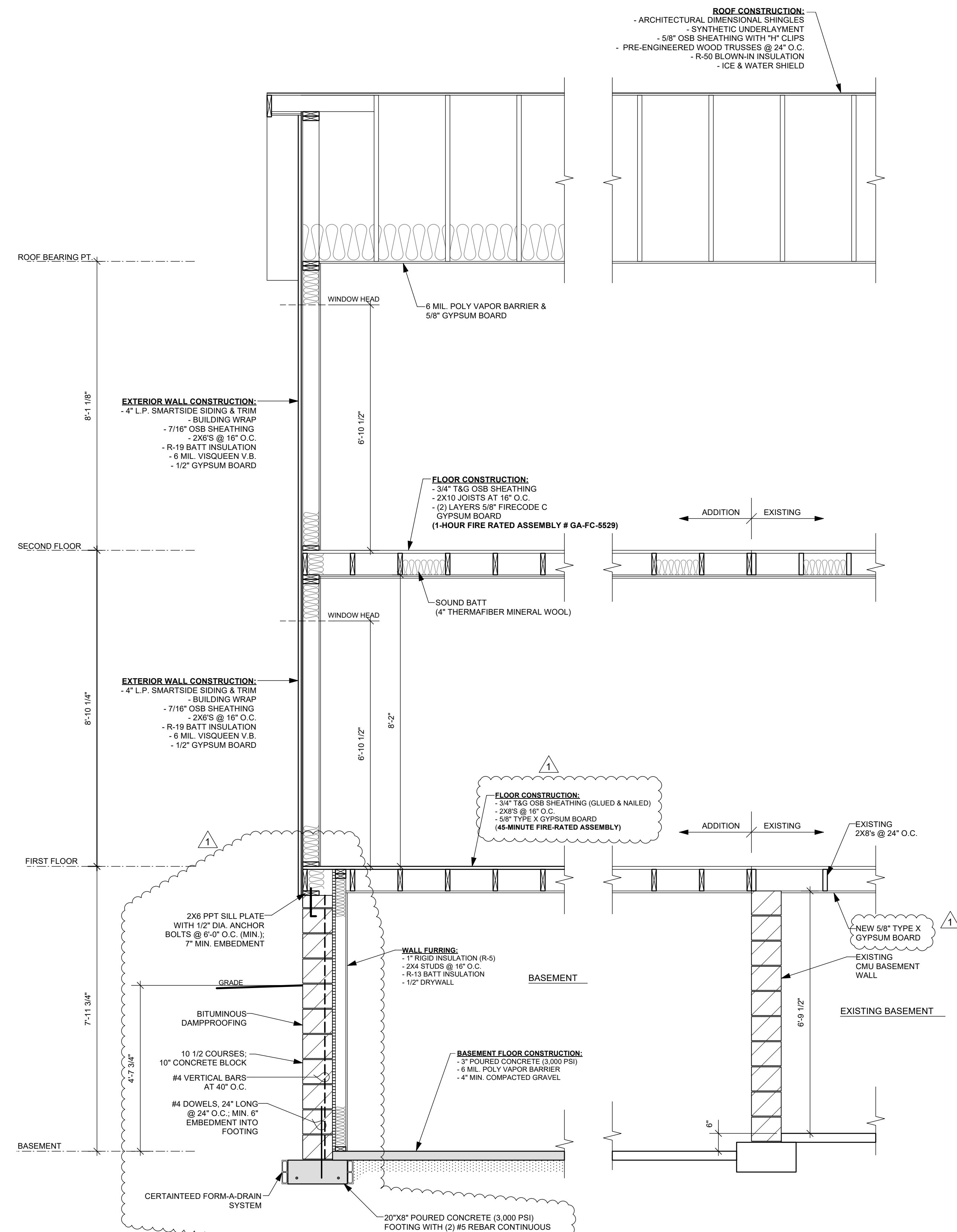
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WEST ALLIS, WI 53219





PLAN EXAM SET 7/10/2024



Sheet Title

PROPOSED PARTIAL  
BUILDING SECTION &  
PROPOSED STAIR  
SECTION

## Revisions

1 12/4/24- PLAN REVIEW  
COMMENTS

Date: 7/10/2024

Job NO.: 18-165

Sheet No.

### A3.2

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Project **2-FAMILY CONVERSION AND INTERIOR ALTERATIONS OF THE EXISTING RESIDENCE**

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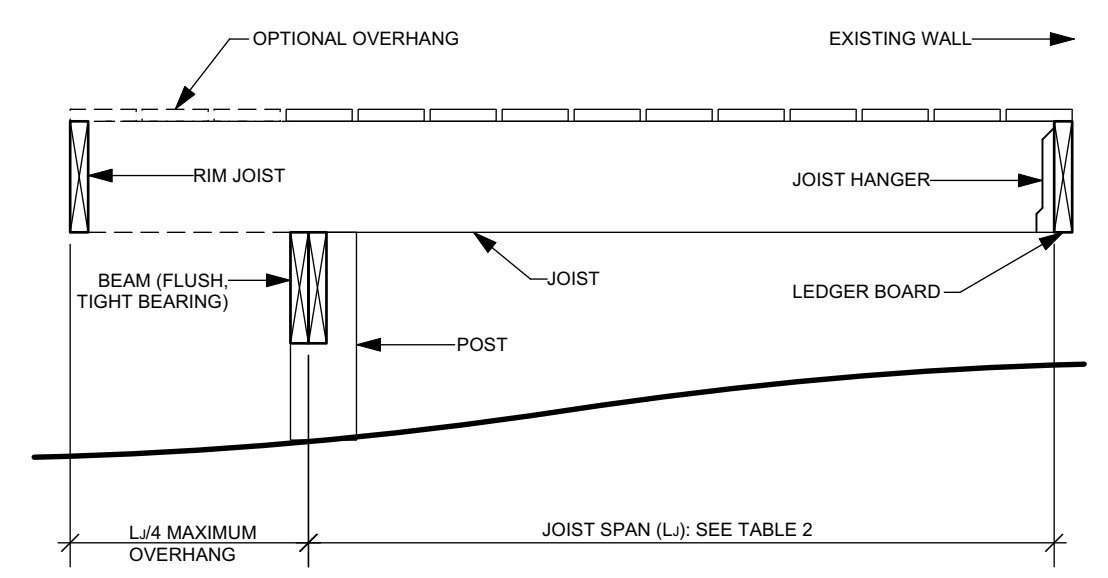
Sheet Title  
**DECK DETAILS**

Revisions

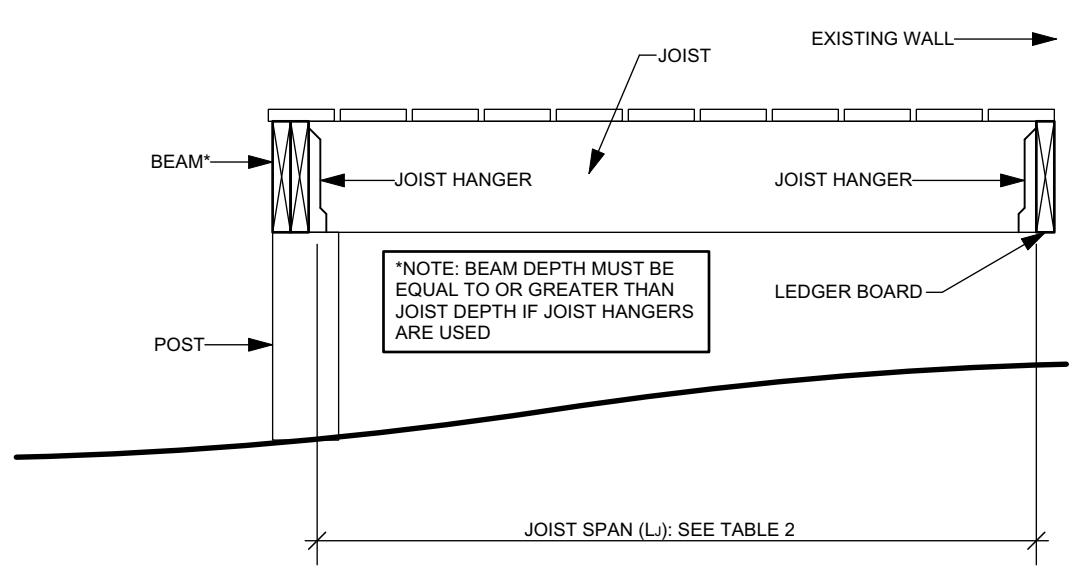
Date: 7/10/2024  
Job NO.: 18-165  
Sheet No.

**A3.3**

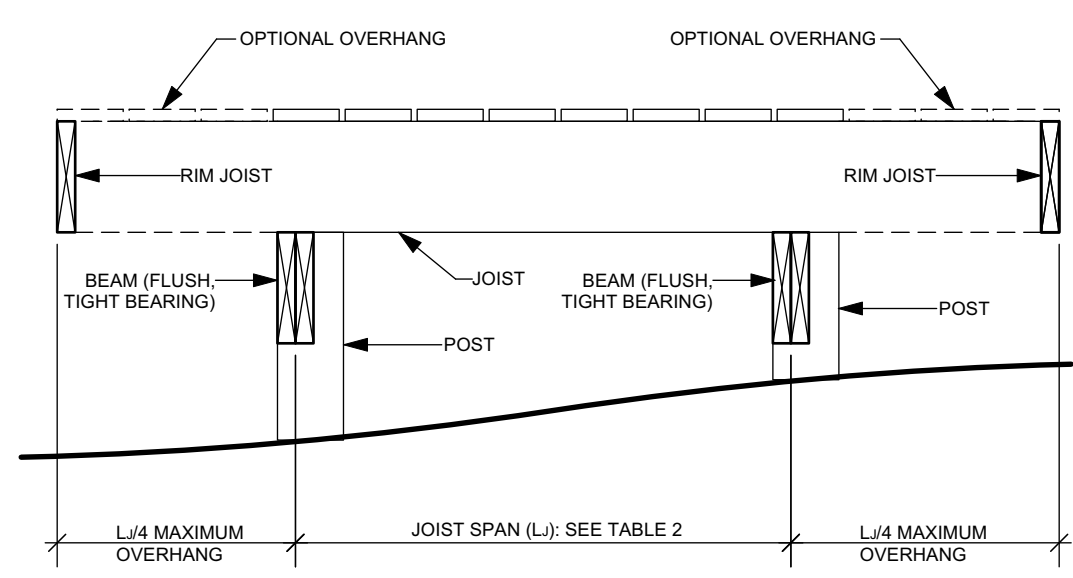
PLAN EXAM SET 7/10/2024



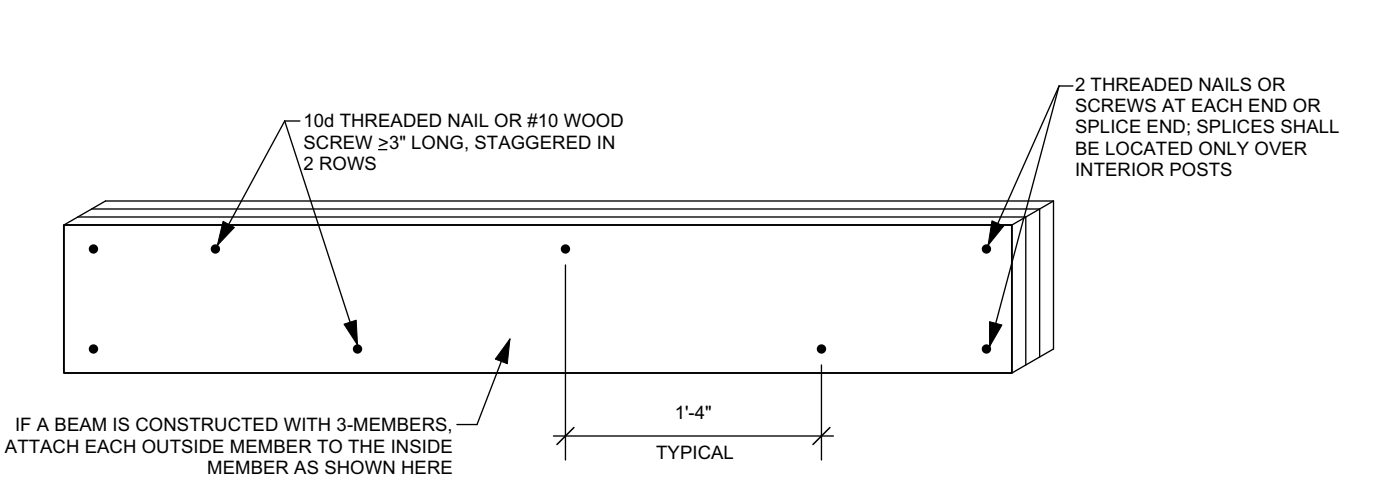
**1 DECK ATTACHED AT HOUSE & BEARING OVER BEAM**  
SCALE: 3/4" = 1'-0"



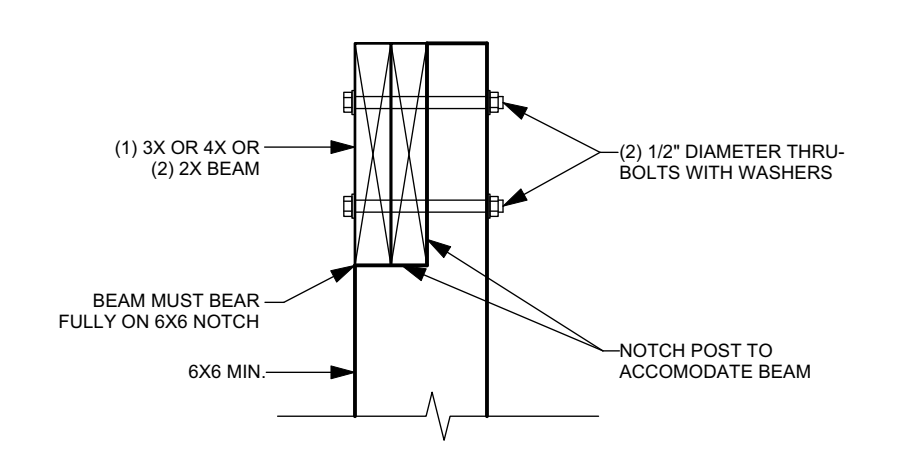
**2 DECK ATTACHED AT HOUSE & TO SIDE OF BEAM**  
SCALE: 3/4" = 1'-0"



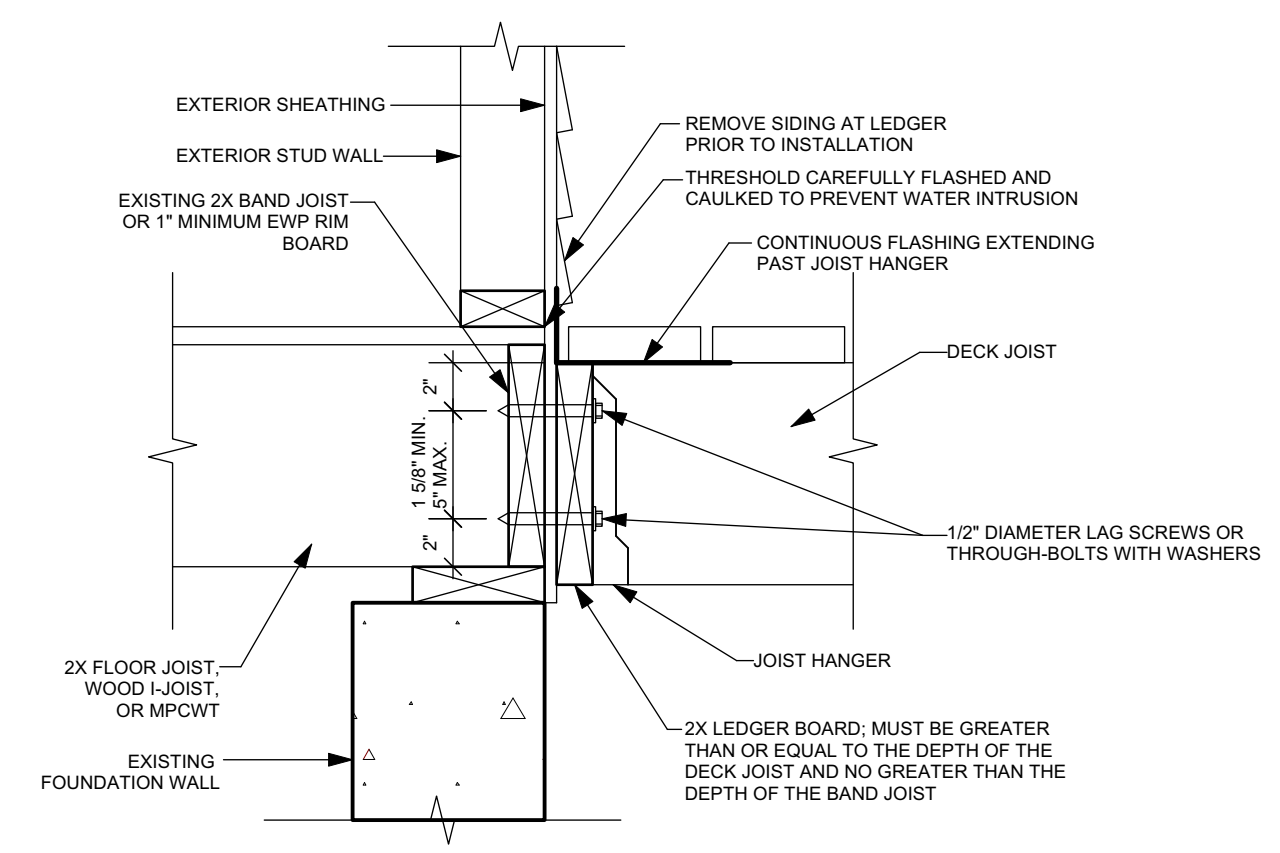
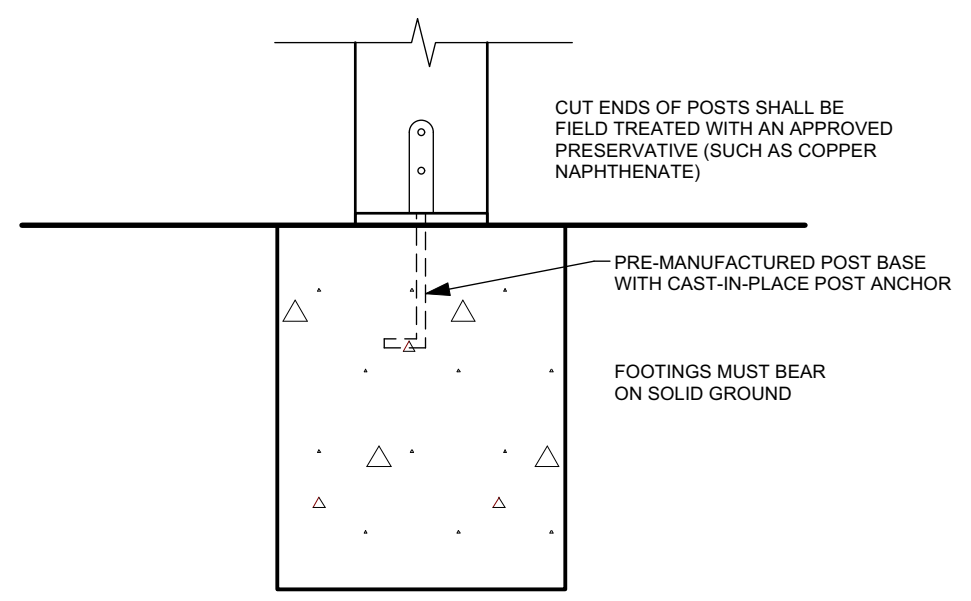
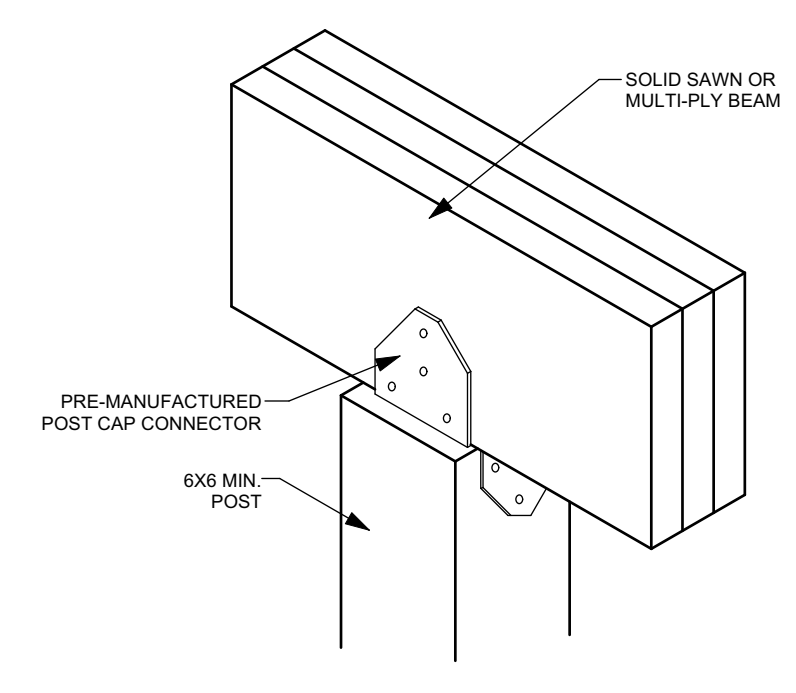
**3 FREE STANDING DECK**  
SCALE: 3/4" = 1'-0"



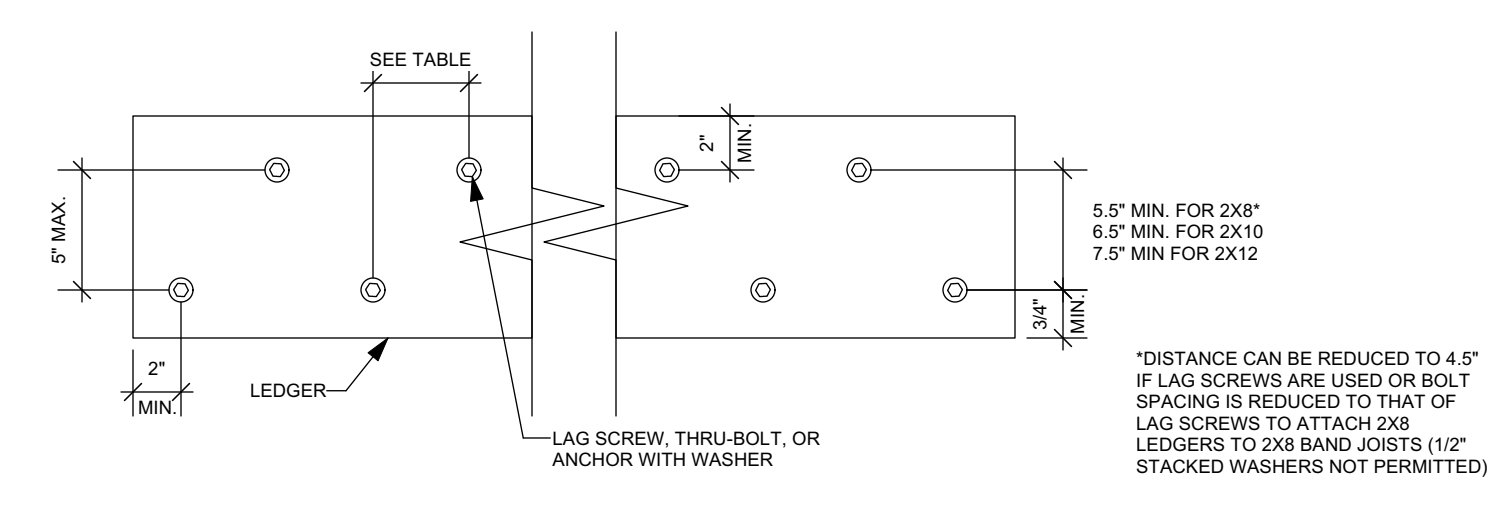
**4 BEAM ASSEMBLY DETAIL**  
SCALE: 1" = 1'-0"



**5 POST TO BEAM ATTACHMENT**  
SCALE: 1 1/2" = 1'-0"



**8 GENERAL ATTACHMENT OF LEDGER BOARD TO BAND JOIST OR RIM BOARD**  
SCALE: 1 1/2" = 1'-0"

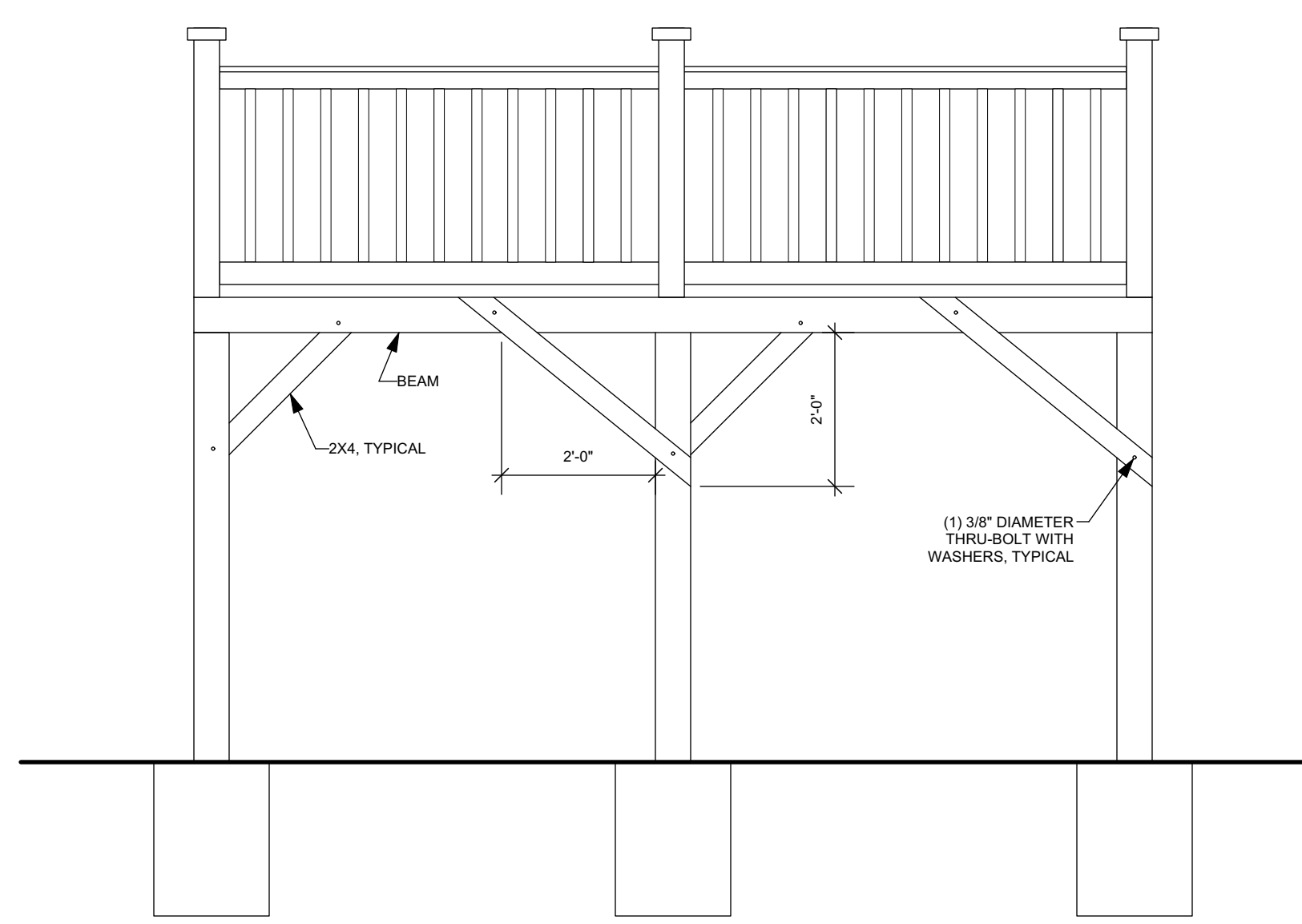


**FASTENER SPACING FOR A SOUTHERN PINE, DOUGLAS FIR-LARCH, OR HEM-FIR DECK LEDGER AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST OR EWP RIM BOARD**  
(DECK LIVE LOAD = 40 PSF, DECK DEAD LOAD = 10 PSF)

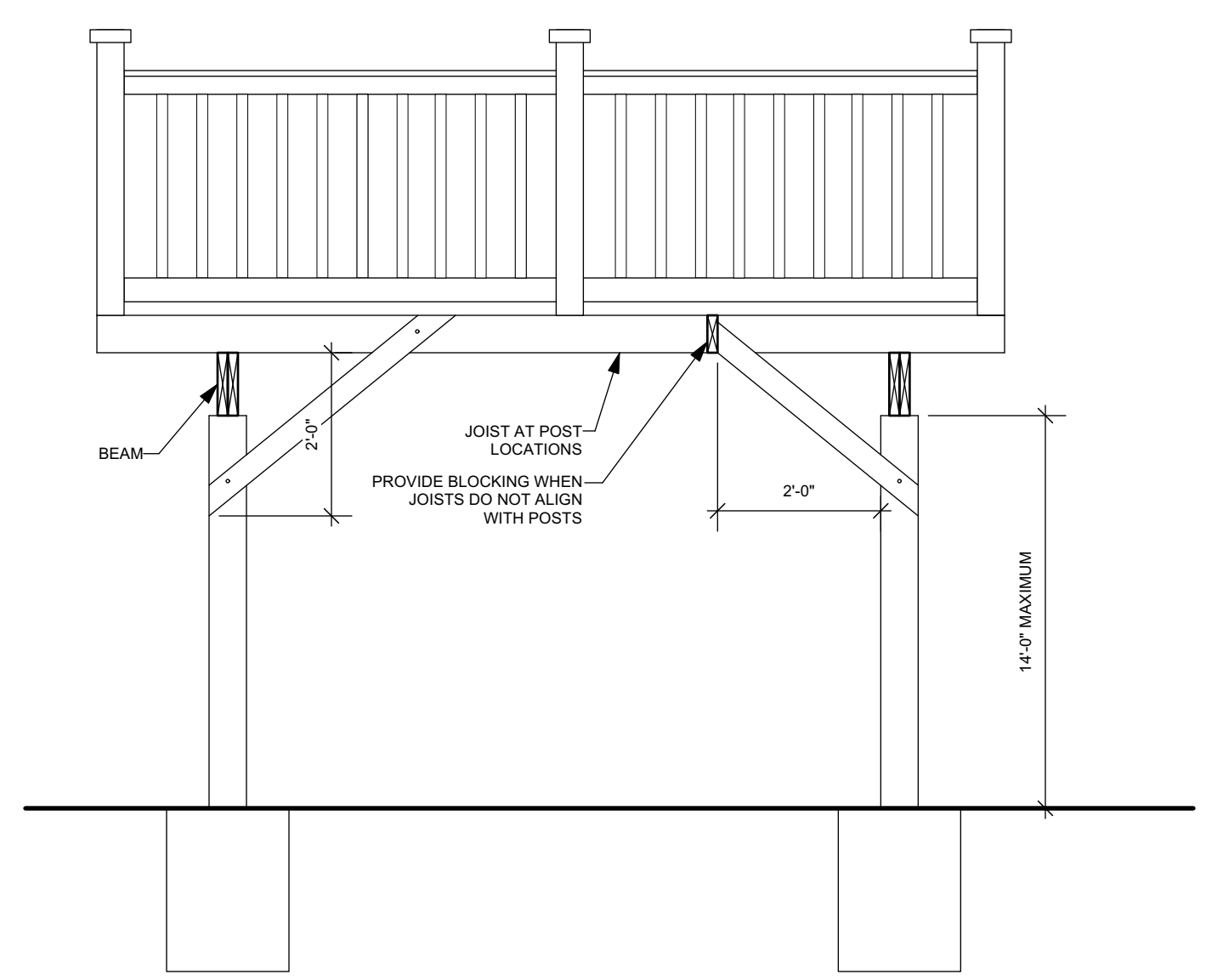
JOIST SPAN	RIM BOARD OR BAND JOIST	6'-0" AND LESS	6'-1" TO 8'-0"	8'-1" TO 10'-0"	10'-1" TO 12'-0"	12'-1" TO 14'-0"	14'-1" TO 16'-0"	16'-1" TO 18'-0"
1/2" DIAMETER LAG SCREW 1 WITH 15/32" MAXIMUM SHEATHING	1" EWP 1-1/2" LUMBER	24" 28"	18" 21"	14" 16"	12" 14"	10" 12"	8" 10"	8" 10"
1/2" DIAMETER BOLT WITH 15/32" MAXIMUM SHEATHING	1" EWP 1-1/2" LUMBER	24" 28"	18" 21"	14" 16"	12" 14"	10" 12"	8" 10"	8" 10"
1/2" DIAMETER BOLT WITH 15/32" MAXIMUM SHEATHING AND 12" STACKED WASHERS 2 1	1-1/2" LUMBER	36"	36"	29"	24"	21"	18"	16"

1 THE TIP OF THE LAG SCREW SHALL FULLY EXTEND BEYOND THE INSIDE FACE OF THE BAND JOIST.  
2 THE MAXIMUM GAP BETWEEN THE FACE OF THE LEDGER BOARD AND FACE OF THE WALL SHEATHING SHALL BE 1/2".  
3 LEDGERS SHALL BE FLASHED OR CAULKED TO PREVENT WATER FROM CONTACTING THE HOUSE BAND JOIST.  
4 LAG SCREWS AND BOLTS SHALL BE STAGGERED PER DETAIL 9.  
5 DECK LEDGERS SHALL BE MINIMUM 2X8 PRESSURE-PRESERVATIVE-TREATED NO. 2 GRADE LUMBER, OR OTHER APPROVED MATERIALS AS ESTABLISHED BY STANDARD ENGINEERING PRACTICE.  
6 WHEN SOLID-SAWN PRESSURE-PRESERVATIVE-TREATED DECK LEDGERS ARE ATTACHED TO ENGINEERED WOOD PRODUCTS (MINIMUM 1" THICK WOOD STRUCTURAL PANEL BAND JOIST OR STRUCTURAL COMPOSITE LUMBER INCLUDING LAMINATED VENEER LUMBER), THE LEDGER ATTACHMENT SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. TABULATED VALUES BASED ON 300 LBS AND 350 LBS FOR 1" AND 1-1/8" EWP RIM BOARD, RESPECTIVELY.  
7 WOOD STRUCTURAL PANEL SHEATHING, GYPSUM BOARD SHEATHING, OR FOAM SHEATHING NOT EXCEEDING 1" THICKNESS SHALL BE PERMITTED. THE MAXIMUM DISTANCE BETWEEN THE FACE OF THE LEDGER BOARD AND THE FACE OF THE BAND JOIST SHALL BE 1/2".  
8 FASTENER SPACING ALSO APPLIES TO SOUTHERN PINE, DOUGLAS FIR-LARCH, AND HEM-FIR BAND JOISTS.

**9 LEDGER BOARD FASTENER SPACING AND CLEARANCES**  
SCALE: 1 1/2" = 1'-0"



BRACING PARALLEL TO BEAM

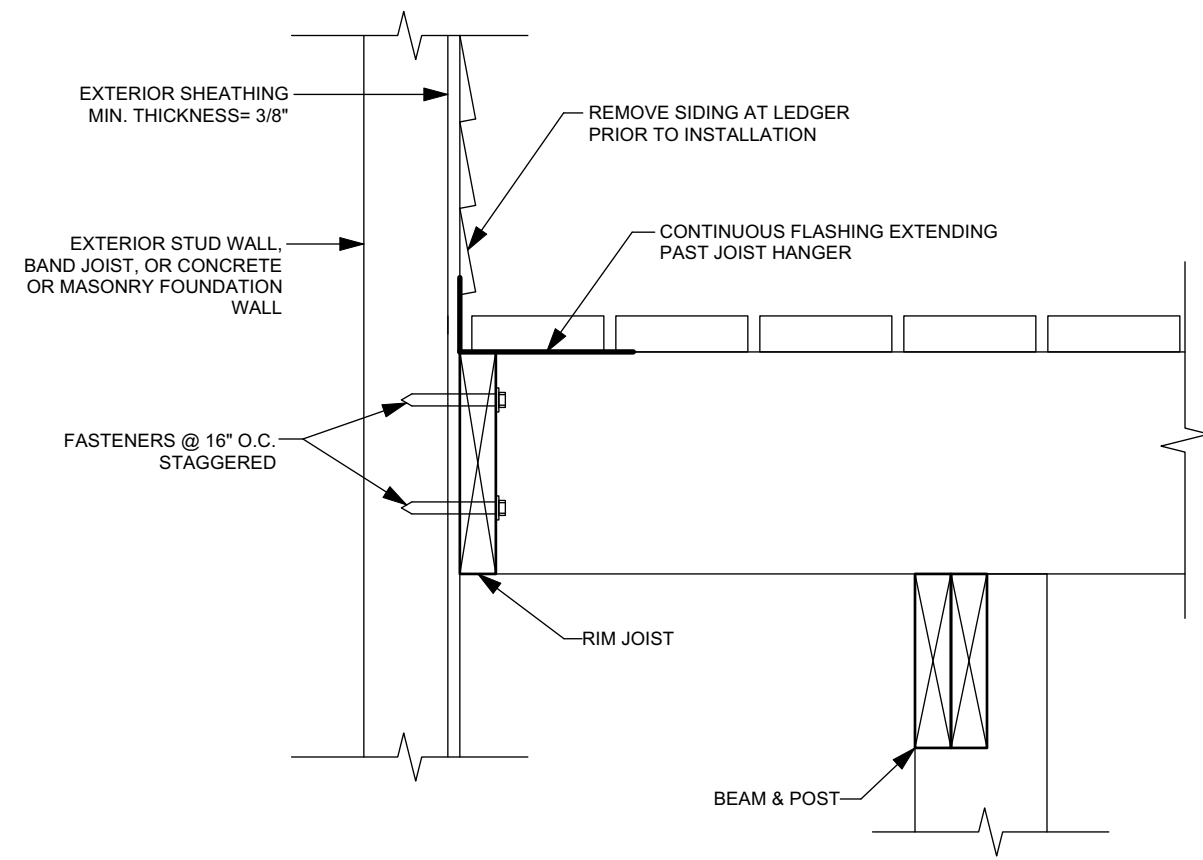


BRACING PERPENDICULAR TO BEAM

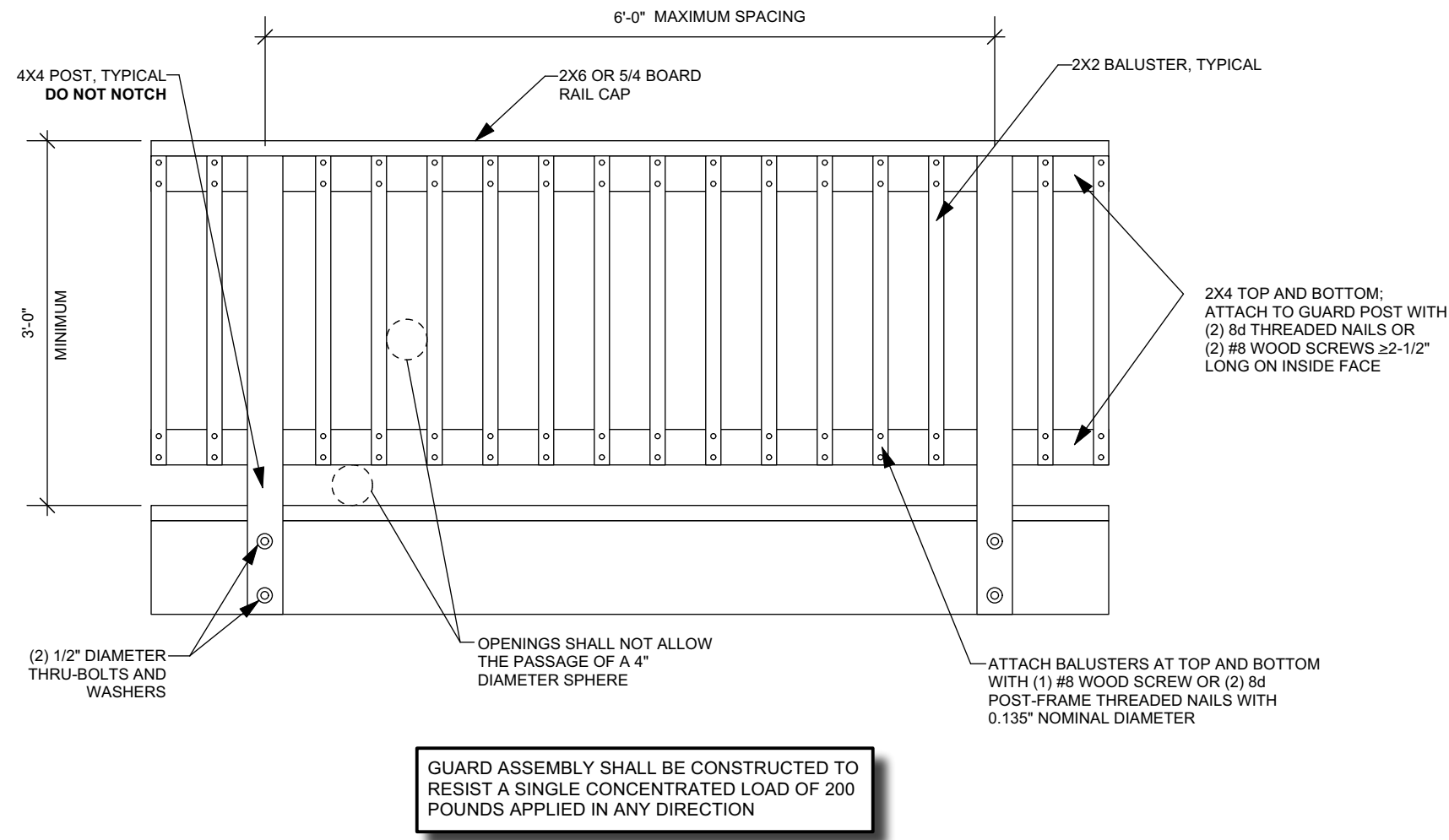
**10 DIAGONAL BRACING REQUIREMENTS**  
SCALE: 1/2" = 1'-0"

NOTE: DECKS GREATER THAN 2 FEET ABOVE GRADE SHALL BE PROVIDED WITH DIAGONAL BRACING

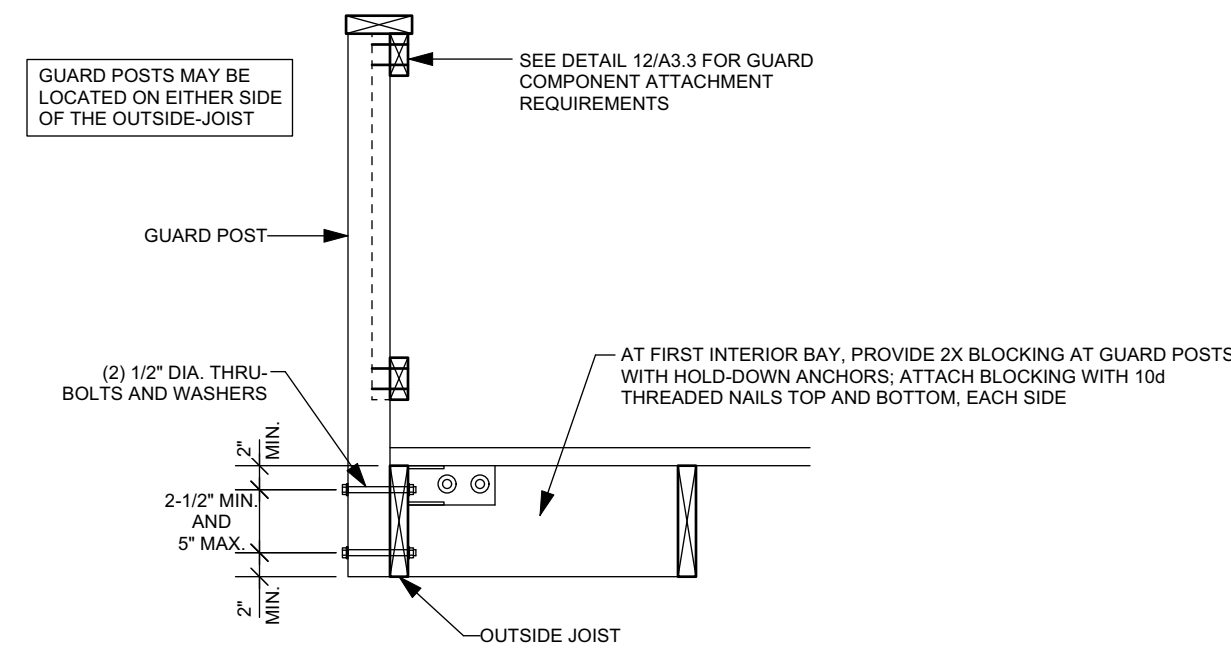




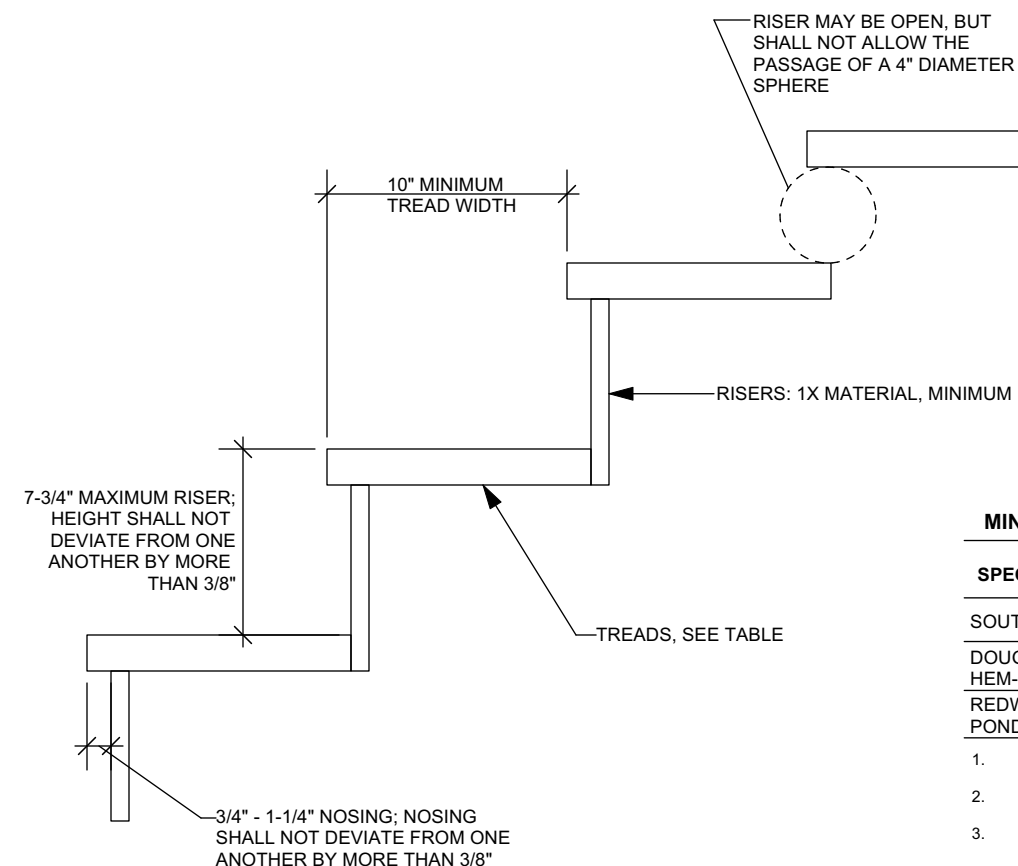
11 ATTACHMENT OF FREE-STANDING DECK TO HOUSE FOR DECK STABILITY  
SCALE: 1 1/2" = 1'-0"



12 EXAMPLE GUARD DETAIL  
SCALE: 3/4" = 1'-0"

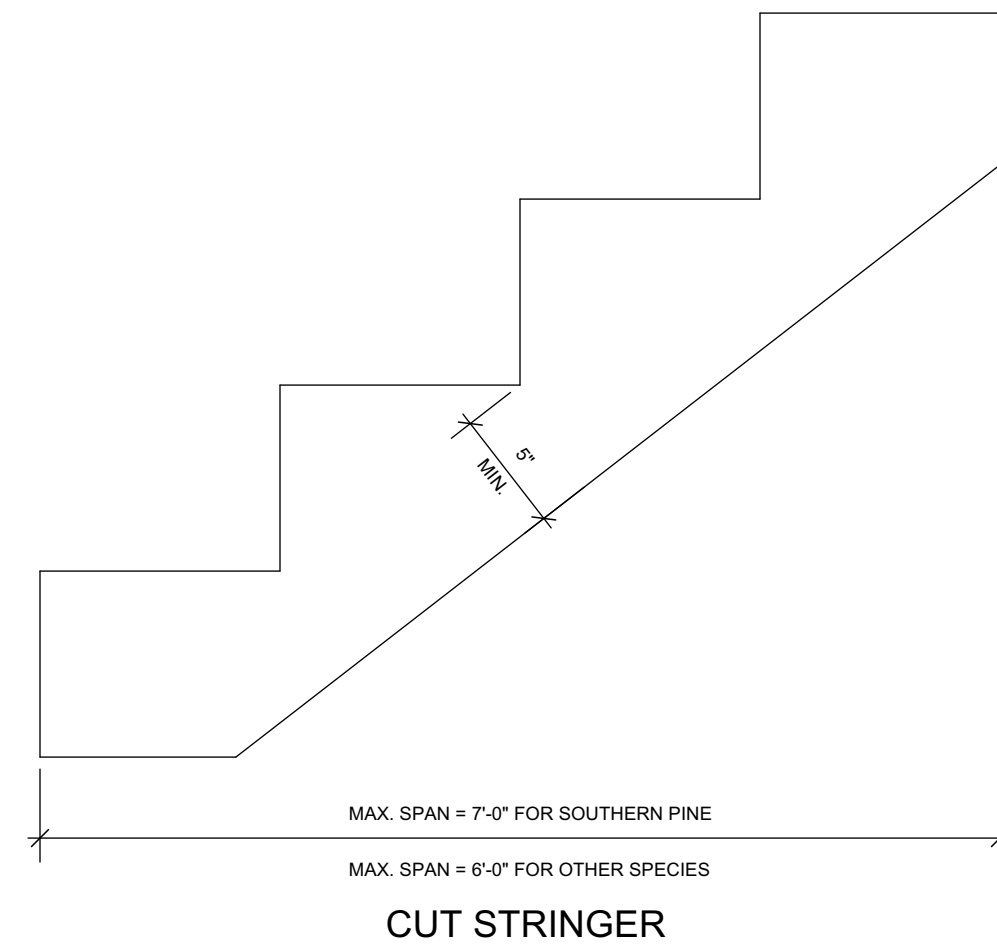


13 GUARD POST TO OUTSIDE JOIST EXAMPLE  
SCALE: 3/4" = 1'-0"

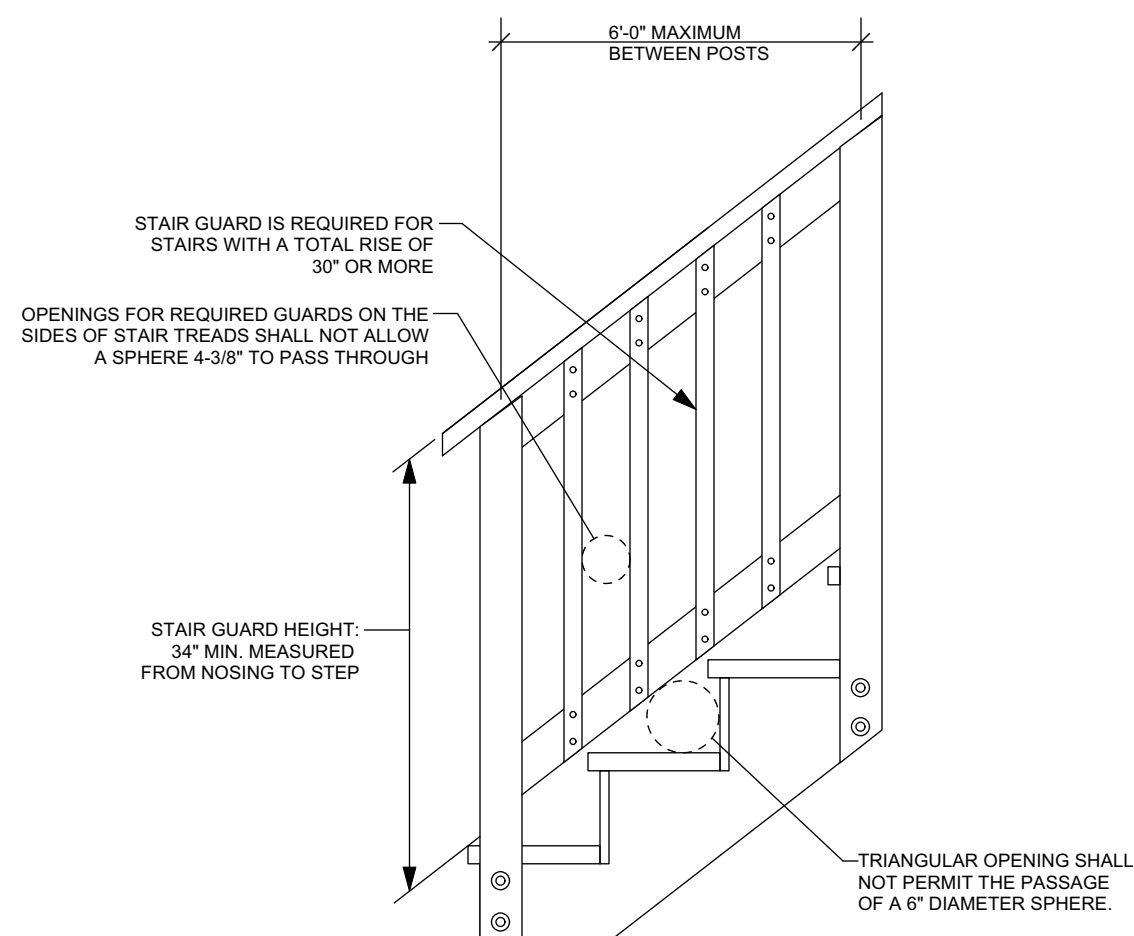
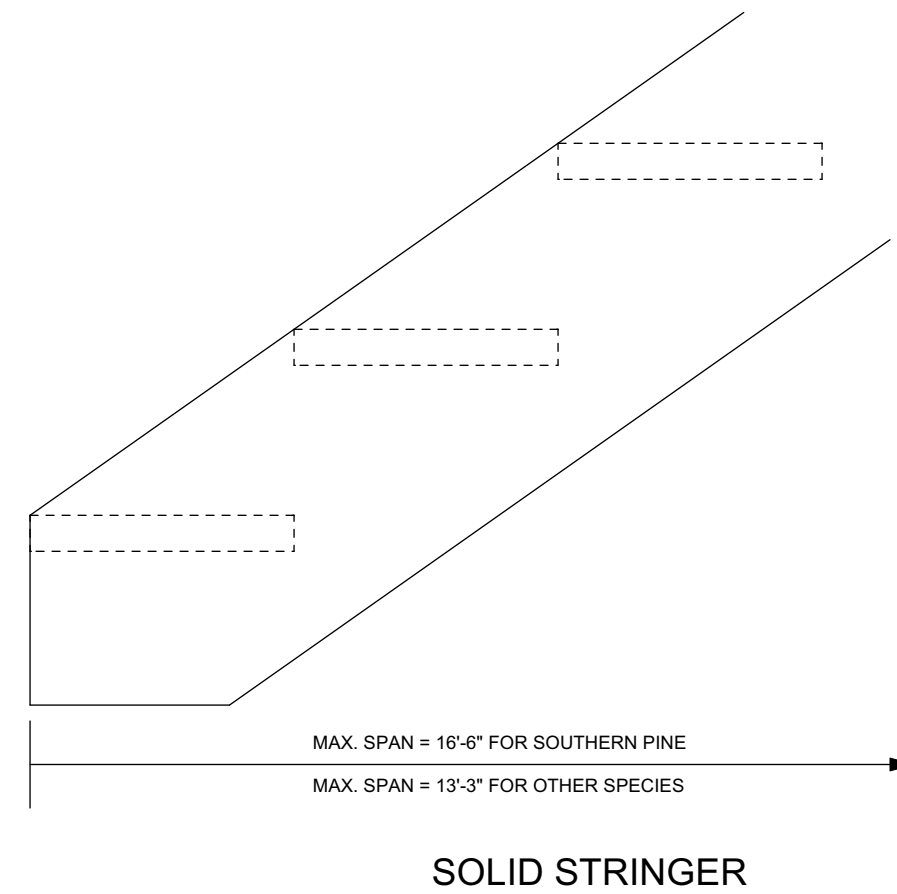


MINIMUM TREAD SIZE FOR CUT AND SOLID STRINGERS <sup>1</sup>		
SPECIES	CUT STRINGER	SOLID STRINGER
SOUTHERN PINE	2X4 OR 5/4	2X6
DOUGLAS FIR LARCH, HEM-FIR, SPF <sup>2</sup>	2X4 OR 5/4	2X8 OR 3X4
REDWOOD, WESTERN CEDARS, PONDEROSA PINE <sup>3</sup> , RED PINE <sup>3</sup>	2X4 OR 5/4	2X8 OR 3X4

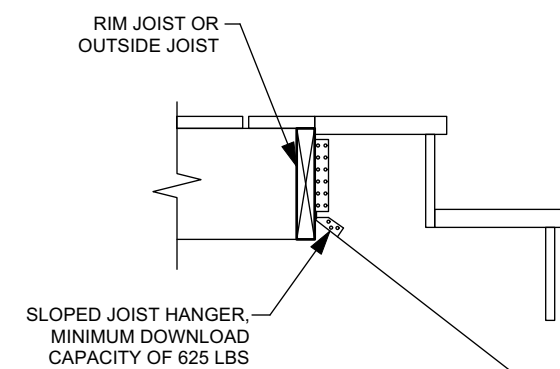
1. ASSUMES 300 LB CONCENTRATED LOAD, L/288 DEFLECTION LIMIT, NO. 2 GRADE, AND WET SERVICE CONDITIONS  
2. NOSING ASSUMED FOR REFRACTORY SPECIES INCLUDING DOUGLAS FIR LARCH, HEM-FIR, AND SPRUCE-PINE-FIR  
3. DESIGN VALUES BASED ON NORTHERN SPECIES WITH NO NOSING ASSUMED



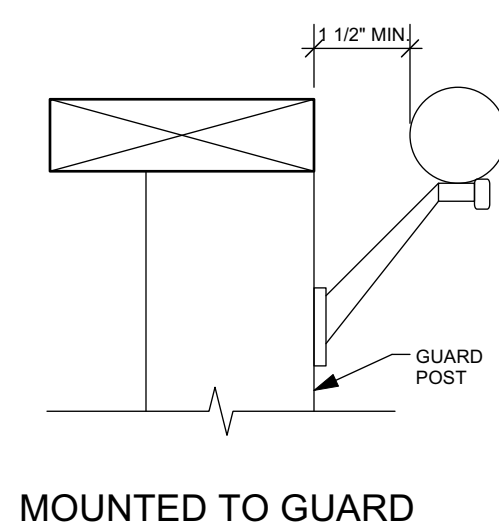
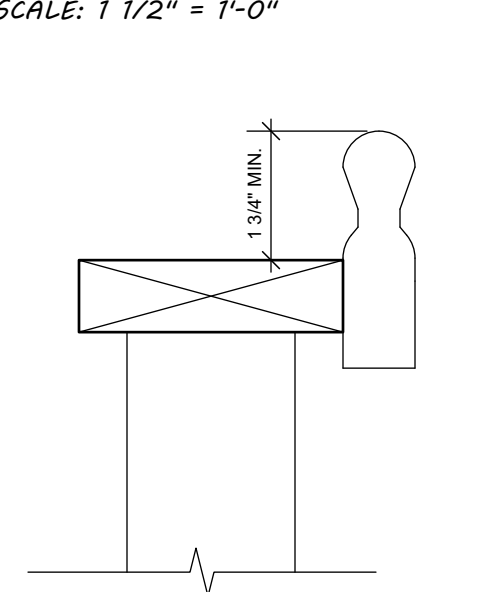
15 STAIR STRINGER REQUIREMENTS  
SCALE: 1 1/2" = 1'-0"



16 STAIR GUARD REQUIREMENTS  
SCALE: 3/4" = 1'-0"



17 STAIR STRINGER ATTACHMENT DETAIL  
SCALE: 3/4" = 1'-0"



18 HANDRAIL MOUNTING EXAMPLES  
SCALE: 3" = 1'-0"

Project 2-FAMILY CONVERSION AND INTERIOR ALTERATIONS OF THE EXISTING RESIDENCE

Sheet Title  
DECK DETAILS

Revisions

Date: 7/10/2024

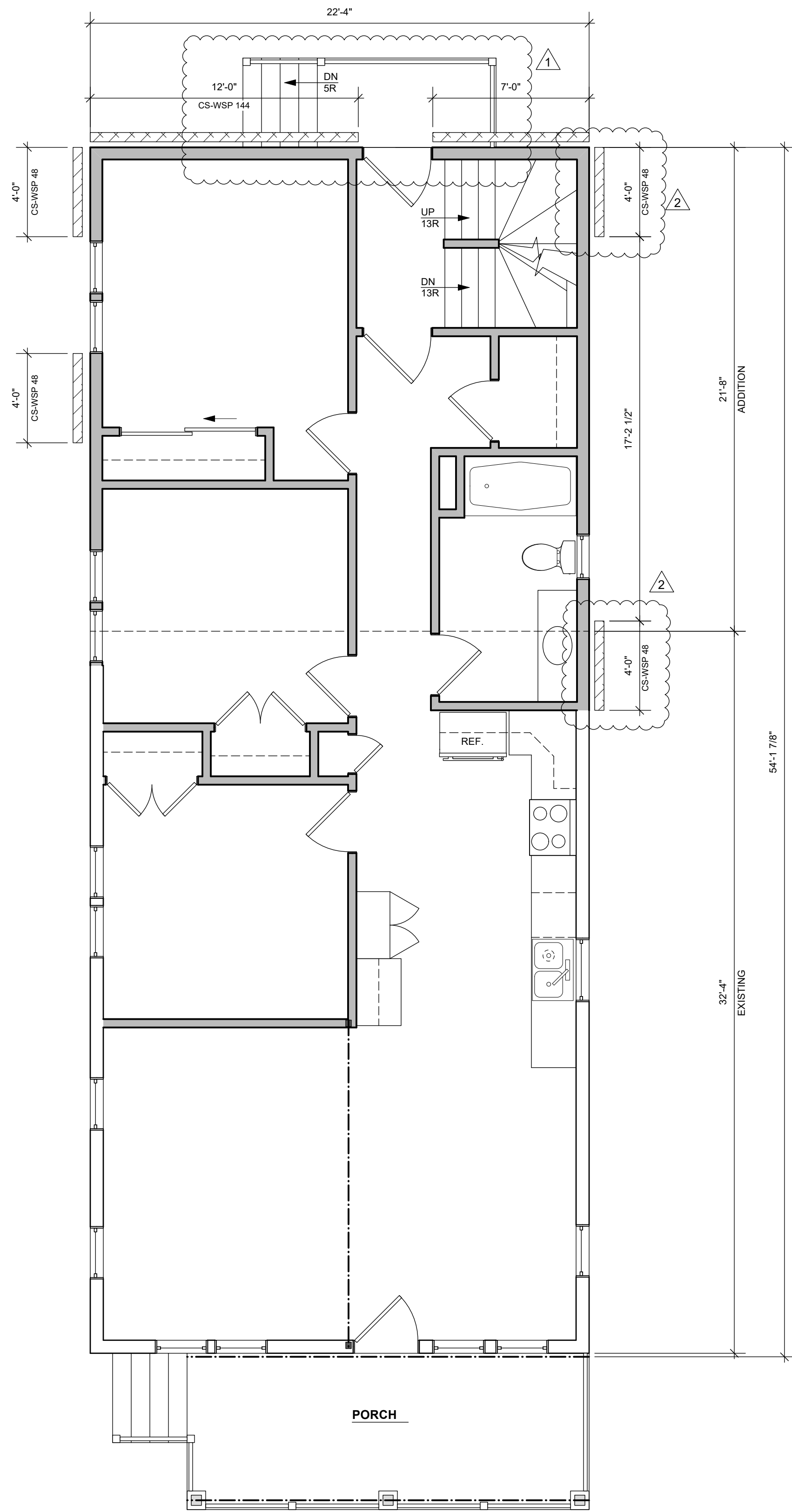
Job NO.: 18-165

Sheet No.

A3.4

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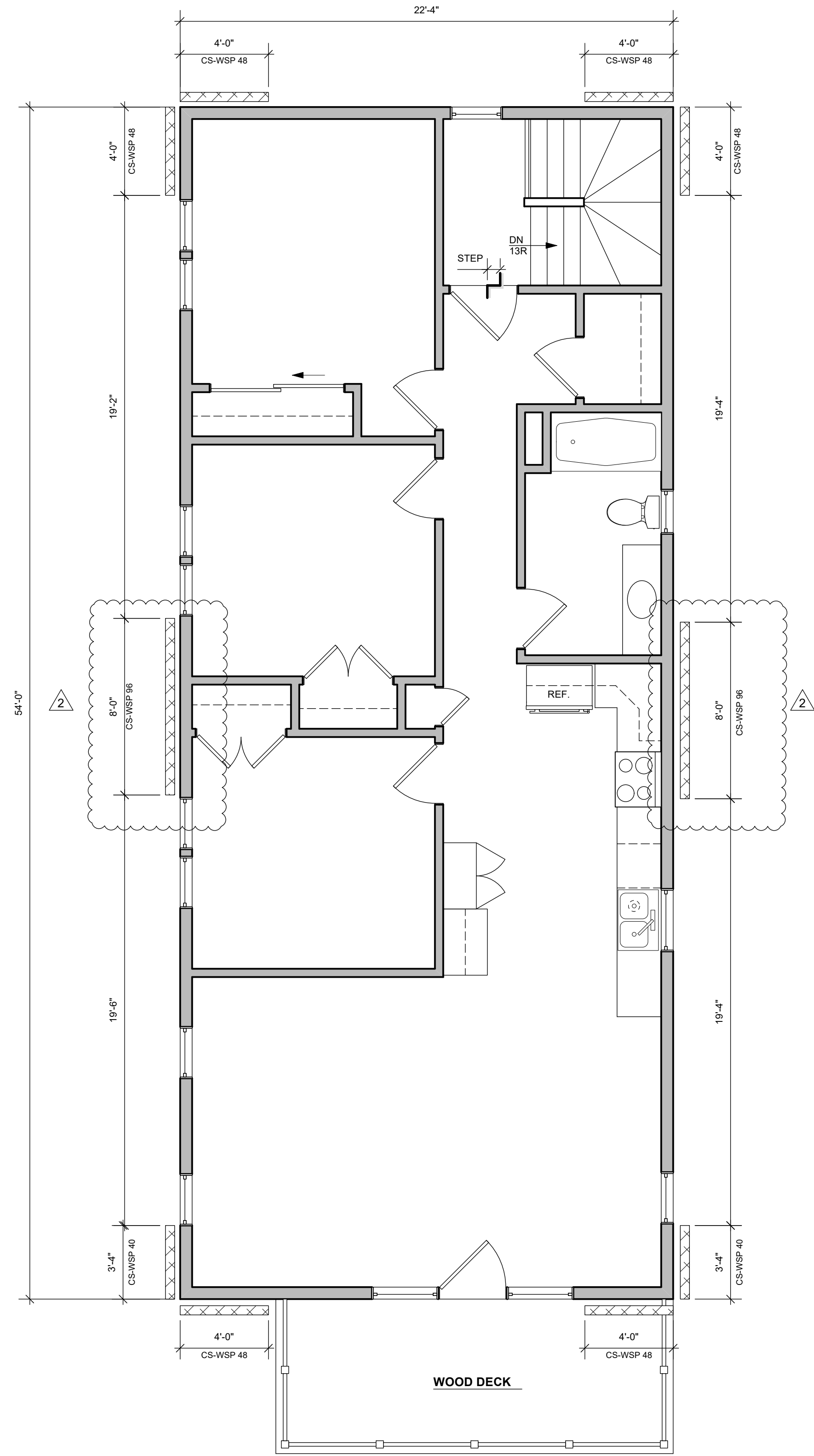
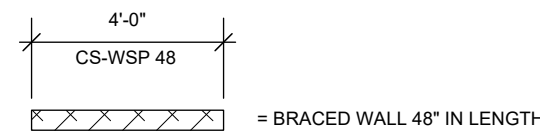


**1** PROPOSED FIRST FLOOR WALL BRACING PLAN  
SCALE: 1/4" = 1'-0" N →

**SHEAR WALL NOTES:**

- CS-WSP: CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL**
- WOOD STRUCTURAL PANEL SHEATHING NOT LESS THAN 3/8" THICK FOR 16-INCH STUD SPACING AND NOT LESS THAN 7/16 INCH THICK FOR 24-INCH STUD SPACING. FASTEN TO FRAMING OR BLOCKING WITH 6d COMMON NAIL OR 8d BOX NAIL. (2-1/2" LONG X 0.113" DIAMETER) SPACED AT 6" ALONG EDGES AND 12" IN THE FIELD OR 7/16" CROWN 16 GAGE STAPLES, 1-1/4" LONG SPACED AT 3" ALONG EDGES AND 6" FIELD.
  - SHEATHING SHALL BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING AREAS ABOVE, BELOW AND BETWEEN OPENINGS.
  - THE INTERIOR SIDE OF ALL EXTERIOR WALLS SHALL BE SHEATHED WITH MINIMUM 1/2" GYPSUM WALL BOARD, EXCEPT GARAGE EXTERIOR WALLS. ALL EDGES SHALL BE ATTACHED TO FRAMING OR BLOCKING.

**SHEAR WALL LEGEND:**



**2** PROPOSED SECOND FLOOR WALL BRACING PLAN  
SCALE: 1/4" = 1'-0" N →

PLAN EXAM SET 7/10/2024

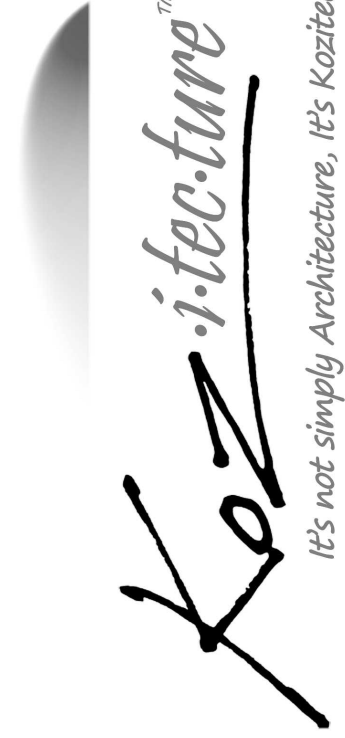
Project **2-FAMILY CONVERSION AND  
INTERIOR ALTERATIONS OF THE  
EXISTING RESIDENCE**

Sheet Title  
**PROPOSED WALL  
BRACING PLANS**

- Revisions**
- 12/4/24- PLAN REVIEW COMMENTS
  - 1/9/25- PLAN REVIEW COMMENTS

Date: 7/10/2024  
Job NO.: 18-165  
Sheet No.

**S1.1**



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**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, April 23rd, 2025  
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**4. Site, Landscaping, and Architectural Amendment for a patio addition for Aroma Cafe, an existing Restaurant (limited), at 8100 W. National Ave. (Tax Key No. 452-0341-001)**

**Overview and Zoning**

Aroma Café is a more recent addition to the National Avenue corridor, providing coffee, teas, and bakery items. The business is proposing to include outdoor seating as an option for patrons.

Hours of Operation:

Monday – Friday: 7 a.m. to 4 p.m.

Saturday: 10 a.m. to 3 p.m.

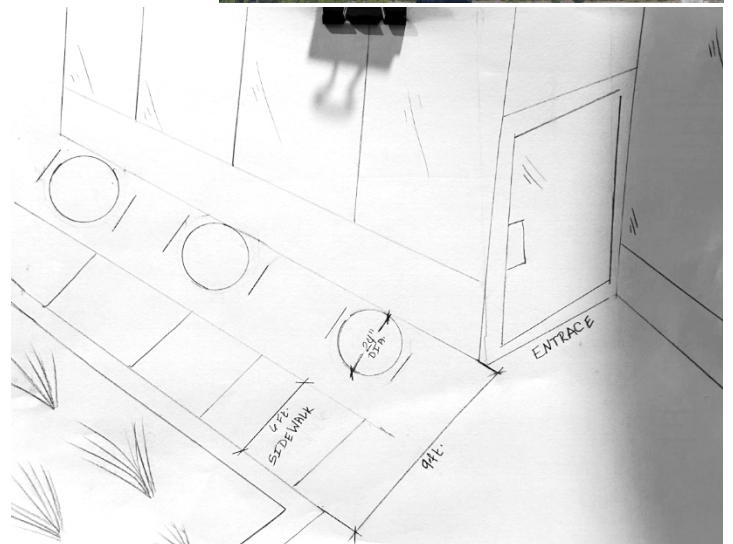
Sunday: Closed

8100 W. National Ave. is zoned C-2. Restaurants under 2,000 sq ft are considered a Limited Use in the C-2 zoning district.

**Site Plan**

The applicant is proposing a small number of tables and chairs to be located on the south side of the existing business. The National Ave. reconstruction in the late 2010's has provided additional sidewalk space to accommodate more flexibility in uses such as outdoor seating. The tables and chairs would be located upon city right-of-way. As a result, a grant of privilege will be required. All items encroaching onto city right-of-way must maintain ADA accessibility. This requires the sidewalk space to be 6ft more.

**Recommendation:** Approve the Site, Landscaping, and Architectural Amendment for a patio addition for Aroma Cafe, an existing Restaurant (limited), at 8100 W. National Ave. (Tax Key No. 452-0341-001) subject to a City Engineering determination of a grant of privilege if deemed to encroach into the city right-of-way.





**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, April 23rd, 2025  
6:00 PM**

5. **Request for a six-month extension for conditional use permit to commence SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000) by Daniel Katt d/b/a Mandel Group, Inc.**

**Overview and Zoning**

A 6 month extension of time was approved last fall, and Mandel Group is seeking another extension so their 2023 conditional use permit to construct Sona II/Lot 4 doesn't expire requiring the need to start over through the design review and conditional use/public hearing process again.

The October of 2023 staff report explaining the scope of the project is included for background.

**Recommendation:** Approve a six-nine-month extension for conditional use permit to commence SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000) by Daniel Katt d/b/a Mandel Group, Inc.



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, October 25, 2023**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 2A. Conditional Use Permit for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St.**
- 2B. Site, Landscaping, and Architectural Design Review for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000)**

**Overview and Zoning**

The site of National Salvage's former warehouse building has been vacant for nearly two decades until the development of SoNa Lofts and Maker's Row. The Southwest corner of the site is currently undeveloped. Mandel Group is proposing a new, 51-unit apartment building at the site.

Mandel Group anticipates starting construction in Q4 2023 / Q1 2024 with a 15-month project timeline. Apartments are expected to begin leasing in Q1 / Q2 2025

6600 W. Mitchell St. is zoned C-3. 5+ Unit Dwellings require Conditional Use Permits in the C-3 zoning district.

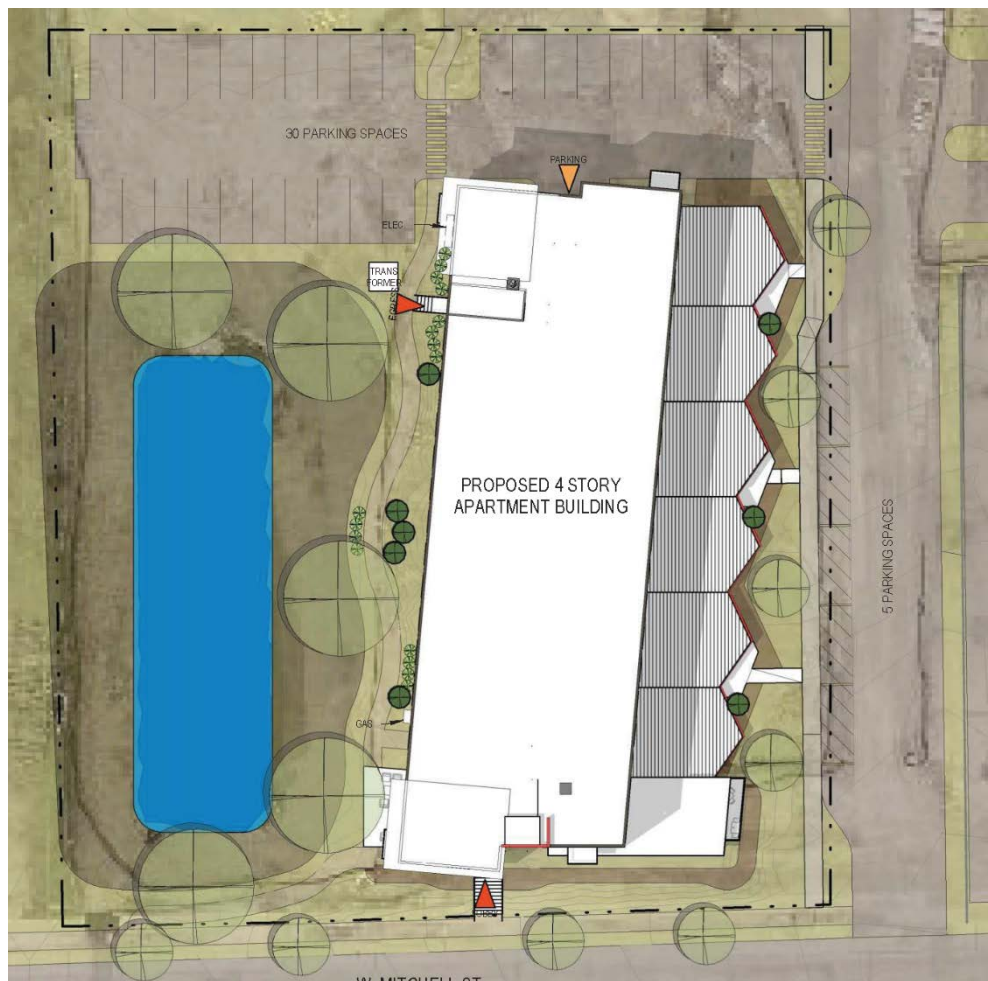
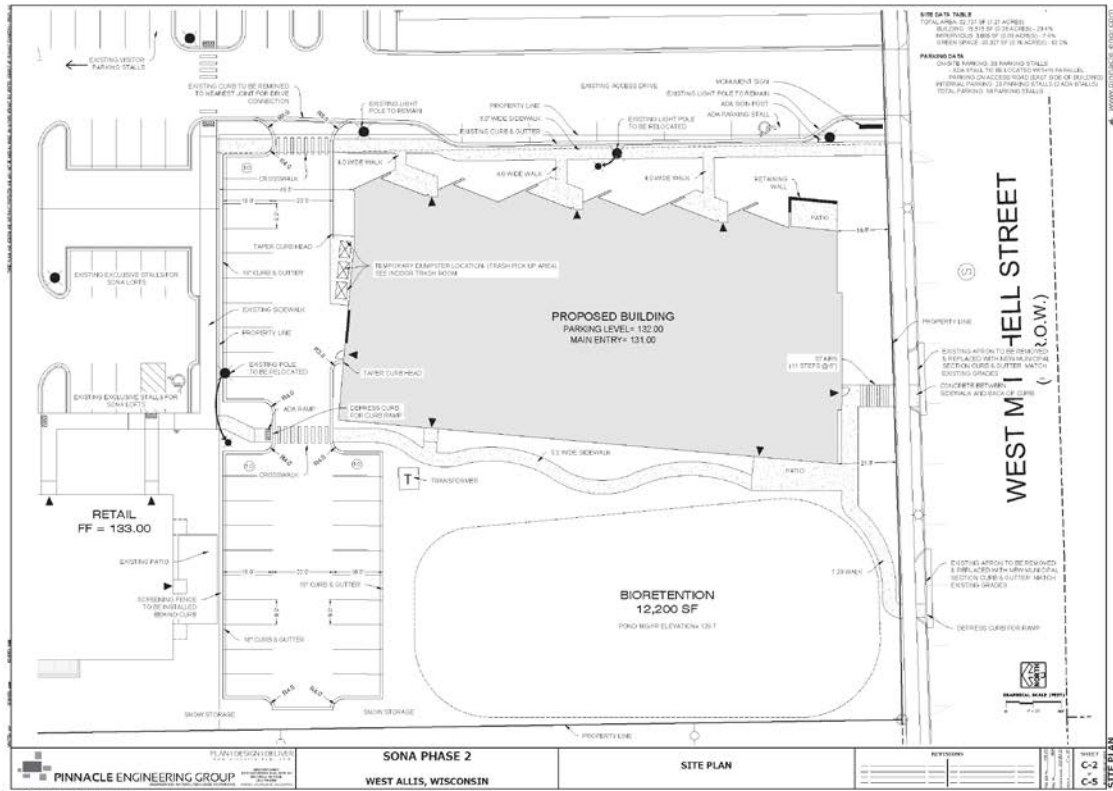
**Site Plan**

The existing site is serviced by a private drive that connects SoNa Lofts and Maker's Row. This private drive will provide access to a surface parking lot and underground parking for SoNa Lofts Phase 2.



The proposed apartment building will take up most of the site. The building is designed to face W. Mitchell St. and will be situated within the 20' maximum setback along this frontage. A driveway leading to the building's visitor parking and indoor tenant parking will be located on the northern portion of the site, directly south of the existing parking for SoNa Lofts. A bioretention pond is located directly west of the proposed building. A pedestrian pathway will meander in between the proposed building and bioretention pond providing a natural amenity and a connection between visitor parking and the entrance on W. Mitchell St.





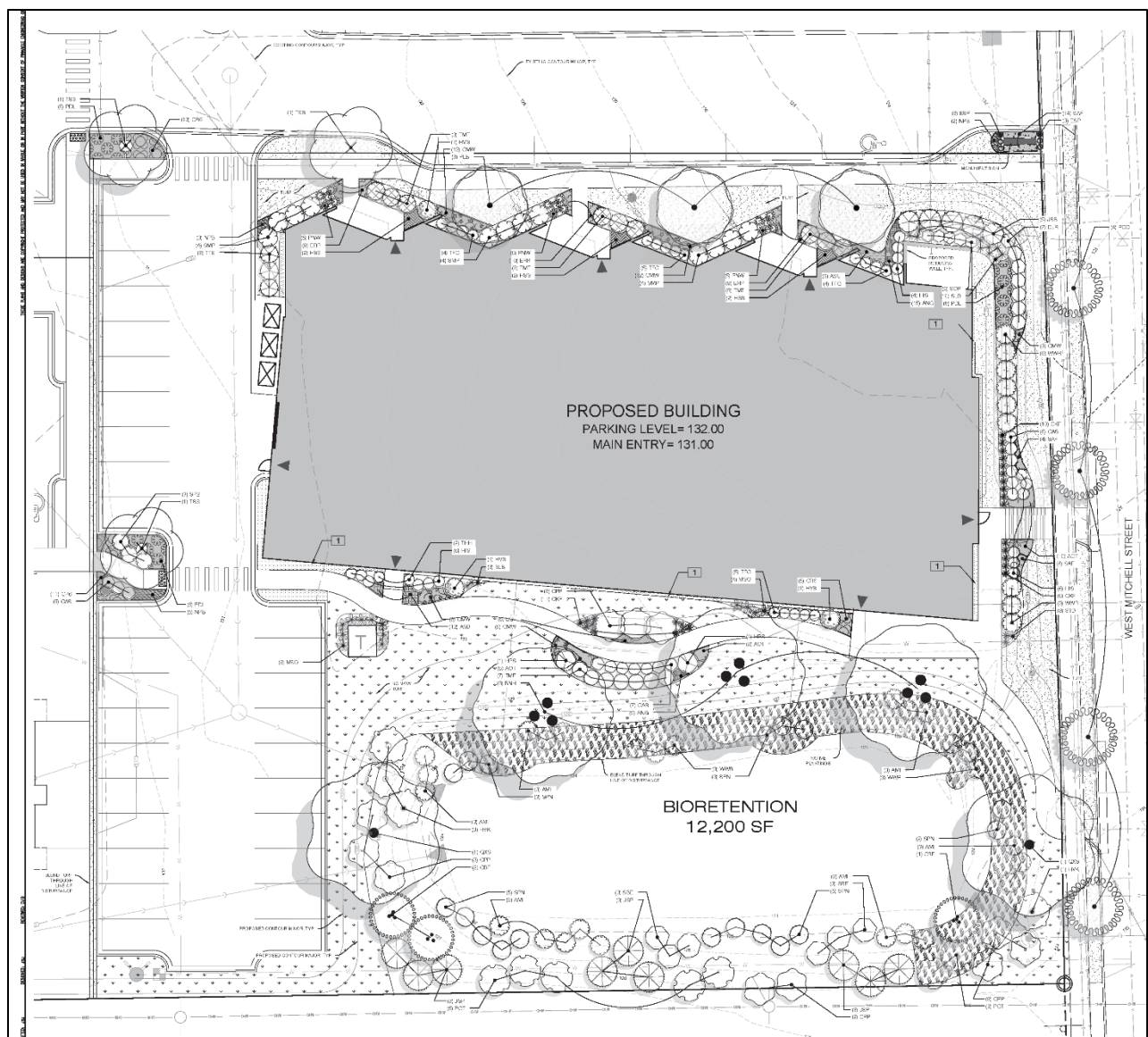
## Landscaping Plan

The proposed development will include quality landscaping that highlight the natural features provided by the bioretention pond.

The site will be densely landscaped along the building. A variety of deciduous and evergreen shrubs will line the perimeter of the building. Flowering trees, ornamental grasses, and perennials will create a visual buffer between private, patio entrances for townhome units on the east side of the proposed building and the private drive and sidewalks.

A mix of grasses and shrubs will also provide a buffer between the public sidewalk on W. Mitchell St. and the southern side of the building.

Trees, shrubs, and native grasses will wrap around the bioretention pond providing visual appeal for the pedestrian pathway and west facing units.





### Architectural Plan

The proposed 51-unit apartment building will comprise of one primary building that has two masses visually pulled in opposite directions. The eastern side of the building holds the ground-level townhome units. These units are divided into 6 red, geometric forms that ring the east side of the building. The upper floors are of a sleek finish with many windows, contrasting with the more dynamic ground floor.



The building will be 4-stories tall. The entrance of the building is located along W. Mitchell St. The entrance is visually appealing with the two masses appearing offset, providing for a unique visual with an emphasis on vertical lines and depth. Balconies are provided for units on the south façade.



The west façade

includes a proposed mural on the exposed first-story. Lining the west façade's upper floors are a collection of windows for the apartment units. End units include balconies. The design of this façade is sleek and contemporary, while also intending to honor the historical legacy of industry. Staff is

recommending revisions to this façade that still honor the industrial legacy yet create additional visual interest. This may include vertical features to break up the façade, inseting/offsetting to create depth, ornamental overhangs, etc.



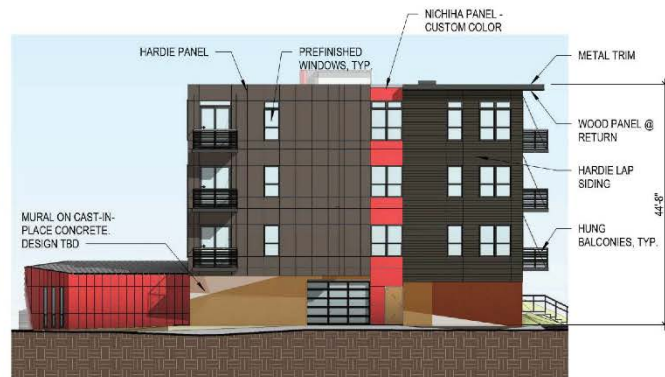
The north façade includes units with balconies. Visually, the north façade will be dotted with windows in between a variation of dark grey, red accents, and black exterior materials.

The architect and developer chose a suite of high-quality materials for the building. The façade will primarily be a mix of fiber-cement Hardie Paneling and Hardie Lap siding in a dark grey/black color. [Nichiha panels](#) will be utilized for red accenting on the building. [Cast in-place concrete](#) will line the first story of the building on the north and west facades. Wood paneling will run vertically up a portion of the south façade and will also be present in on the story. A metal trim will line the southwest and northwest corners, crowning the structure. (See next page for details)





2 SOUTH ELEV.  
SCALE: 1/16" = 1'-0"



1 NORTH ELEV.  
SCALE: 1/16" = 1'-0"



2 WEST ELEV.  
SCALE: 1/16" = 1'-0"



1 EAST ELEV.  
SCALE: 1/16" = 1'-0"

NOTE:  
1. ALL HARDIE  
COLORS TO B  
COLLECTION I



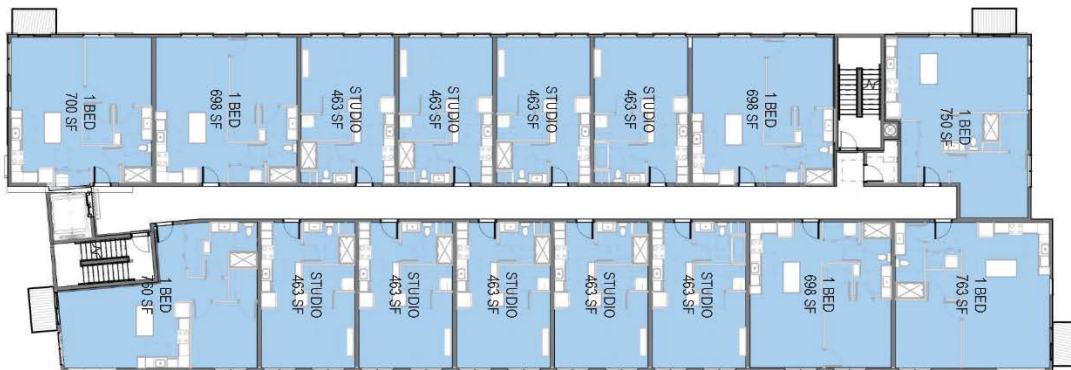
## Floor Plans

Underground parking makes up the first story of the building. Drivers will access this parking garage by an entrance from the garage on the Northern side of the building.

The first floor will include 3 townhomes on the East side of the building fronting the private drive. The majority of the first floor will be parking. The main entrance on the South end of the property will include a lobby, club room, and a fitness center. The upper floors will consist of a mix of apartment units.



*First floor plan*



*Second floor plan*

### **Unit Mix**

The 51 units include:

- 27 studios
- 24 1-beds
- 3 3-beds

### **Parking**

SoNa Lofts Phase 2 will include 63 total parking stalls, a ratio of 1.23 stalls per unit. This parking ratio is inline with other apartment developments within the City. This is below the maximum requirement of 102 stalls (2 per unit).

The underground parking level will include 28 stalls. The surface parking lot will include 30 stalls. 5 street stalls are shown on the private drive on the East side of the property. One accessible stall is shown on the exterior, located on the private drive. Code Enforcement and Engineering departments are requesting a passageway from the accessible parking stall to the entrance door. Two additional accessible stalls are included in the underground parking.

### **Design Guidelines**

Compliance with the design guidelines is mandatory for new development. The proposed project satisfies all applicable guideline requirements. Highlights include:

1. Context
  - a. Neighbor: Higher density scale is appropriate for site in major area. Material and style references to historic industrial area. Strong focus on pedestrian connectivity through and around site, improves access for an area with history of poor pedestrian design.
2. Public Realm
  - a. Active Ground Floor: strong blending of public and private realm and activating public realm with townhome private entries/patios along the private drive. Townhomes and mural prevent blank first floor walls.
  - b. Build for People: Pedestrian pathways and internal connections are provided next to a natural feature, a rarity in the direct neighborhood.
  - c. Mitigate Impacts: vehicle parking primarily enclosed within building, also shielded from public realm.
3. Quality
  - a. Building: high-quality building with compelling design, quality material palette, and unique points of emphasis.
  - b. Environment: focus on integrating natural features. Reduction in impervious surfaces and inclusion of a bioretention pond. Increased density promotes reductions in energy use per capita.

See attached Plan Commission checklist.


**Recommendation:** Approve the Site, Landscaping, and Architectural Design Review for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000) subject to the following conditions:

1. Revised Site, Landscaping, and Architectural plans submitted to show the following: a) at least 1 outdoor bicycle parking spaces and 10 indoor bicycle parking spaces to comply with Sec. 19.44 Vehicle Parking; b) show passageway from accessible parking stall to entrance door; c) additional design elements on the west façade for enhanced visual interest
2. A surety bond or other form of security as required under Sec. 12.13(14) of the Revised Municipal Code in the amount of 125% of landscaping and screening shall be executed by the applicant prior to the issuing of a building permit.
3. Common Council approval of the Conditional Use permit.

# PLAN COMMISSION CHECKLIST


1.

**Goal:**  
**Context**

Objective	Criteria		Notes
a. Neighbor	i. Street wall	<input type="radio"/>	
	ii. Scale	<input type="radio"/>	
	iii. Historic neighbors	<input type="radio"/>	
	iv. Connectivity	<input type="radio"/>	
b. Site	i. Orientation	<input type="radio"/>	
	ii. Unique features	<input type="radio"/>	
	iii. Historic elements	<input type="radio"/>	
	iv. Additions	<input type="radio"/>	


2.

**Goal:**  
**Public Realm**

Objective	Criteria		Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="radio"/>	
	ii. Street edge	<input type="radio"/>	
	iii. Active uses	<input type="radio"/>	
	iv. No blank walls	<input type="radio"/>	
b. Build for People	i. Engaging spaces	<input type="radio"/>	
	ii. Accessible spaces	<input type="radio"/>	
	iii. Built-out site	<input type="radio"/>	
	iv. Pedestrian connections	<input type="radio"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="radio"/>	
	ii. Utilities and services	<input type="radio"/>	
	iii. Lighting	<input type="radio"/>	
	iv. Fencing	<input type="radio"/>	

3.

**Goal:**  
**Quality**

Objective	Criteria		Notes
a. Building	i. Quality materials	<input type="radio"/>	
	ii. Ground floor	<input type="radio"/>	
	iii. Exterior features	<input type="radio"/>	
	iv. Quality design	<input type="radio"/>	
b. Environment	i. Natural features	<input type="radio"/>	
	ii. Manage stormwater	<input type="radio"/>	
	iii. Reduce impervious surface	<input type="radio"/>	
	iv. Embody sustainability	<input type="radio"/>	





**Staff Report**  
**West Allis Plan Commission**  
**Wednesday, April 23<sup>rd</sup> 2025**  
**6:00 PM**

**Room 128 – City Hall – 7525 W. Greenfield Ave.**

**Watch: <https://www.youtube.com/user/westalliscitychannel>**

6. **Creative Sign Plan for a Business Improvement District led public art project to be installed at Cook Specialty, an existing business located at 7321 W. Greenfield Ave. (Tax Key No. 453-0117-000).**

The West Allis Business Improvement District, Dianne Eineichner, applied on behalf of Cook's to create an inviting and innovative sign for their storefront at 7321 W. Greenfield Ave. The proposed sign equals 32 sq. ft. and will be created during West Allis A La Carte in 2025. The art design will be drawn on a 4' x 8' piece of polytab material. The sheet will then be cut into 4" by 4" squares for community members to purchase and paint individually at A La Carte. Then, each individual painted polytab tile will be mounted onto a 4' by 8' piece of dibond and sealed with a nova gel. To enclose the signage, a 1' frame made of composite decking materials will border the edges of the sign. Finally, the entire project will be mounted on the front of the building using concrete anchors.



[Section 13.21\(13\)](#) of the sign code outlines the requirements for creative signs. Design quality, context, and architectural criteria must be met in order to approve this type of signage. Based on the requirements outlined, it appears that the proposed signage will meet all three criteria. With a

unique design and strong graphic character, the visual impact on the Downtown BID businesses is notable. Additionally, the signage meets the contextual criteria by creating symbology representative of the business inside. Lastly, the signage will enhance the architecture of the building through its logical placement and added composition to the building's façade.

Overall, this proposal presents a fresh update to Cook's store frontage while offering an opportunity for the community to directly contribute to a unique project. It is compliant within the City's Creative Signage ordinances and will contribute positively to the character of the Downtown BID.

i. Design quality. The sign shall:

- (1) Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area.
- (2) Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
- (3) Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.

ii. Contextual criteria. The sign shall contain at least one (1) of the following elements:

- (1) Classic historic design style;
- (2) Creative image reflecting current or historic character of the City;
- (3) Symbols or imagery relating to the entertainment or design industry; or
- (4) Inventive representation of the use, name or logo of the structure or business.

iii. Architectural criteria. The sign shall:

- (1) Utilize and/or enhance the architectural elements of the building.
- (2) Be placed in a logical location in relation to the overall composition of the building's facade and not cover any key architectural features/details of the facade.

**Recommendation:** Approve the Creative Sign Plan for a Business Improvement District led public art project to be installed at Cook Specialty, an existing business located at 7321 W. Greenfield Ave. (Tax Key No. 453-0117-000) subject to a signage permit being approved and issued by the Code Enforcement Department.



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, April 23, 2025**  
**City Hall, Room 128**  
**6:00 PM**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

**7. Ordinance to amend limited use criteria for automotive uses.**

**Overview & Zoning**

An ordinance amendment for Council consideration relative to automotive uses. The change is summarized as creating a new use classification of “Light Vehicle Services (limited)” and a new definition for such uses. Such uses would be allowed as limited uses without the requirement to be separated from residential districts, but subject to site, landscaping, and architectural design review.

**Definition** include a new definition to offer distinction

Current (to remain)	Light Motor Vehicle Service	The maintenance, repair, or enhancement of motor vehicles having a gross vehicle weight rating of 10,000 pounds or less for compensation
Proposed (new)	Light Motor Vehicle Service (limited)	Auto glass services including glass repair, replacement, or tint enhancement for motor vehicles having a gross weight rating of 10,000 pounds or less for compensation

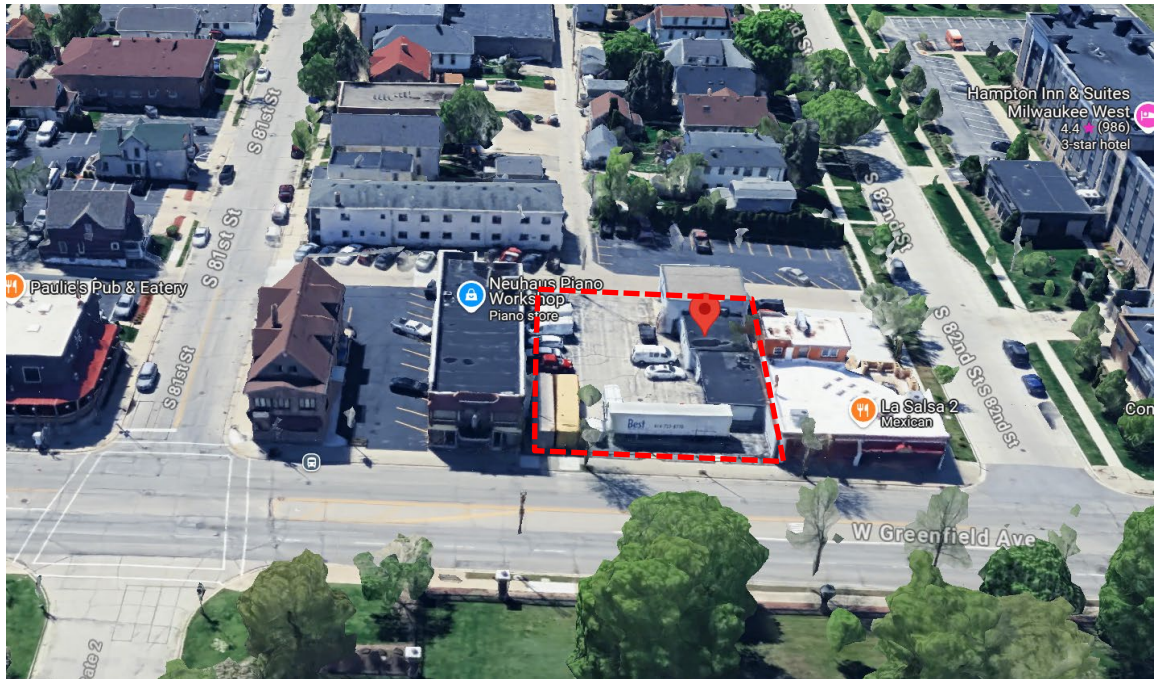
New use and definition

A summary of the existing ordinance regulations and some additional data is shared in the bullet points below. A proposed ordinance amendment option is also shared for your consideration at the end of this report.





The Common Council was introduced to the ordinance amendment at the April 15 Council meeting and directed staff to refer the matter to Plan Commission.



Here are some current background facts of the existing ordinance:

- [Light motor vehicle services](#) are considered [conditional uses](#) in all of our commercial (except C-1) and industrial districts.
- The [conditional use criteria](#) require that no conditional use permit may be issued when adjacent to a lot zoned residential or used as residential. It's common for zoning district lines run down the centerline of streets and alleys.
- 64% of all commercial properties in the city are directly abutting residential or abutting but separated by an alley. The other 36% of commercial properties in the city don't abut residential.
- There are approximately 66 light motor vehicle services in West Allis (services/repair shops). Some of these properties were established prior to the current zoning ordinance and therefore considered legal non-conforming uses.
- Legal non-conforming (legacy) uses that are in business may continue to operate. If those places go out of business, another similar use (example another light motor vehicle service use) may take their place as long as it's done within 12 months. After a lapse in that term, the property would need to be used in accordance with the zoning ordinance.

Catalyst – David Gonzalez of Dynamic Auto Glass and Tint Service, recently approached the City with interest in leasing commercial property at 8123 W Greenfield Ave. (an 11,000-sf ~ 0.25 acre site with approx.. 2,500-sf building). The lot is zoned C-2, but the conditional use criteria restrict light vehicle service uses as the commercial lot abuts a residential zoning district. The business has reached their alderpersons to seek Common Council consideration of a zoning ordinance text amendment.



While this is one property, ordinance amendments should be considered within the balance of the city overall. A draft ordinance will be prepared for further consideration and action before the City Plan Commission and Common Council (which requires a public hearing).

The building and site at 8123 W. Greenfield Ave. is currently being used as storage and was previously Best Electric. As part of the ordinance amendment language (text amendment), the property will be subject to a site, landscaping, and architectural design review. This will require the following:

1. Business operational plan indicating the type of business, hours, number of vehicles on site, customer drop off pick up procedure, how long vehicles stay on site, typical business operations on site or within the community.
2. Site plan of the overall property and any proposed improvements (for example the plan indicating removal of the trailer and bollards along W. Greenfield Ave., proposed landscaping improvements along the frontage of the site, parking lot striping, refuse location on site or within building, any exterior improvements to the building like exterior paint updates, window openings...). If you have a basic floor plan of the building and how it will function this will help in understanding the use as well.





**Recommendation:** Common Council approval of an ordinance to amend limited use criteria for automotive uses.

(Items 1-3 are required as part of the occupancy permit process):

1. Business operational plan indicating the type of business, hours, number of vehicles on site, customer drop off pick up procedure, how long vehicles stay on site, typical business operations on site or within the community.
2. A Site, Landscaping, Architectural Plan being submitted to Planning & Zoning to show: (a) removal of the trailer from the property, (b) a site and landscaping plan to show proposed site alterations (indicating removal of the trailer and bollards along W. Greenfield Ave., proposed landscaping improvements along the frontage of the site, parking lot striping, refuse location on site or within building, any exterior improvements to the building like exterior paint updates, window openings, lighting and signage). (c) a floor plan of the building and how it will function.
3. A signage and lighting plan permit requirement in compliance with West Allis Municipal Code.

# Definition include a new definition to offer distinction

Current  
(to remain)

Light Motor Vehicle  
Service

The maintenance, repair, or enhancement of motor vehicles having a gross vehicle weight rating of 10,000 pounds or less for compensation

Proposed  
(new)

Light Motor Vehicle  
Service (limited)

Auto glass services including glass repair, replacement, or tint enhancement for motor vehicles having a gross weight rating of 10,000 pounds or less for compensation

New use and definition



# Ordinance update consideration (Automotive Uses)

## Existing Principal Use Table

Automotive	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4	I-1	I-2	P	SF
Automobile Parts Sales								P	P	P	P		
Car Wash Service									C	C	L		
Fuel Sales							C	C	C	C	C		
Heavy Motor Vehicle Sales										C	P		
Heavy Motor Vehicle Service											C		
Light Motor Vehicle Sales (indoor)								C	C	C	P		
Light Motor Vehicle Sales									C	C	P		
Light Motor Vehicle Service							C	C	C	C	C		

## Existing Limited Use Criteria

### 8. Automotive

Principal Use	District(s)	Criteria
Car Wash Service	I-2	Permitted if not located on a lot which shares a lot line with a lot zoned residential

## Proposed Principal Use Table

Automotive	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4	I-1	I-2	P	SF
Automobile Parts Sales								P	P	P	P		
Car Wash Service									C	C	L		
Fuel Sales							C	C	C	C	C		
Heavy Motor Vehicle Sales										C	P		
Heavy Motor Vehicle Service											C		
Light Motor Vehicle Sales (indoor)								C	C	C	P		
Light Motor Vehicle Sales									C	C	P		
Light Motor Vehicle Service							C	C	C	C	C		
Light Motor Vehicle Service (limited)							L	L	L	L	L		

New limited use classification

## Proposed Limited Use Criteria

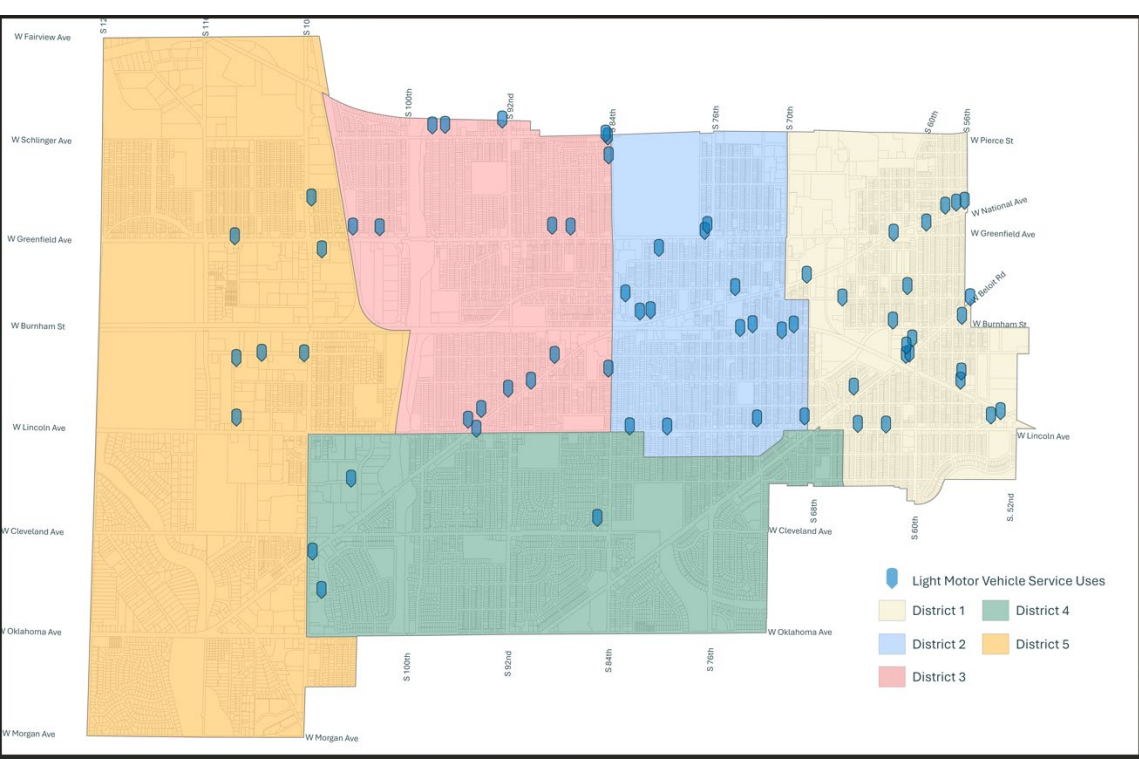
### 8. Automotive

Principal Use	District(s)	Criteria
Car Wash Service	I-2	Permitted if not located on a lot which shares a lot line with a lot zoned residential
Light Motor Vehicle Service (limited)	C-2,C-3, C-4, I-1, I-2	Permitted when on-site services are performed indoors. Site plan subject to design review.

New limited use criteria



Auto Service Business	Location	District
1 Allis Automotive Repair	6205 W Lincoln Ave	1
2 Auto Body Specialists	6024 W Mitchell St	1
3 Bamrah Motors	5538 W National Ave	1
4 Dunhams Transmissions	6047 W Beloit Rd	1
5 El Patron	5330 W Lincoln Ave	1
6 Expert Car Care Inc	6803 W National Ave	1
7 Fairview Motors	1965 S 60 St	1
8 Fremuts Garage	6500 W Beloit Rd	1
9 K&K Autobody	6125 W Burnham St	1
10 Kwik Finish Colors Autobody	1361 S 59 St	1
11 Magic Aut Repairs	1230 S 60 St	1
12 Mission Auto Body	1412 S 62 St	1
13 Mr G's Consumer Car Care	6023 Beloit Rd	1
14 Quinn Auto Body	5710 W National Ave	1
15 R&D Auto Repair	5630 W Mobile St	1
16 R&R Auto Service	5525 W Beloit Rd	1
17 Reyes Auto Body	6607 W Mitchell St	1
18 Richlen & Sons Inc	6808 W Lincoln Ave	1
19 Richlen Garage	6427 W Lincoln Ave	1
20 RSR Services	6036 W Beloit Rd	1
21 Ruiz Auto Repair	5237 W Electric Ave	1
22 Super Speed Auto Body	5612 W National Ave	1
23 Uncle Willie's Auto Service	5606 W Burnham St	1
24 Upham Auto Care	2081 S 56 St	1
25 A-1 Motors	7623 W Greenfield Ave	2
26 Big Boyz Mufflers and More	8108 W National Ave	2
27 Buds Transmissions (out of business?)	1462 S 81 St	2
28 CM Best Mufflers & Brakes	8205 W Lincoln Ave	2
29 D&R Automotive	8200 W National Ave	2
30 Fleet Auto Services	7400 W National Ave	2
31 Gallegos Automotive	7606 W Greenfield Ave	2
32 Lincoln Auto Service & Tires	7202 W Lincoln Ave	2
33 Mid Coast Automotive	1904 S 74 St	2
34 Miller Auto	1910 S 73 St	2
35 Motor Service & Machine	1903 S 69 St	2
36 Precision Auto Body	1645 S 83 St	2
37 Sunbusters Glass Tinting	1927 S 70th St	2
38 Total Auto Repair	7905 W Lincoln Ave	2
39 ABC Auto & Tire	8704 W Greenfield Ave	3
40 Alarmtronix	855 S 84 St	3
41 Amplified Audio and Remote Start	729 S 84 St	3
42 Brownell Quality Collision	10414 W Greenfield Ave	3
43 Concurs	9508 W National Ave	3
44 Fairview Sales & Services	8400 W Becher St	3
45 J&S Accel Auto and Truck Repair	662 S 93 St	3
46 Komptech Automotive Services	8832 W Greenfield Ave	3
47 Llc	9400 W National Ave	3
48 Mufflers Plus	9200 W National Ave	3
49 Otto's Automotive	9802 W Schlinger Ave	3
50 Superior Window Tinting	723 S 84 St	3
51 West Allis Auto Body	8808 W National Ave	3
52 West Allis Auto Repair	9009 W National Ave	3
53 West Allis Car Care	10204 W Greenfield Ave	3
54 Your Auto Repair	9706 W Schlinger Ave	3
55 Auto Repair Shop (in business?)	8440 W Cleveland Ave	4
56 The Mechanics	9435 W Lincoln Ave	4
57 Goodyear Auto Service	10757 W National Ave	4
58 International Auto Collision Center	10221 W Arthur Ave	4
59 A&W Auto Service	1212 S 108 St	5
60 Caliber	11330 W Lincoln Ave	5
61 Montez Auto Repair	11321 W Greenfield Ave	5
62 Prestige	11133 W Rogers St	5
63 Safelite Auto Glass	10708 W Orchard St	5
64 Scott's Automotive	2042 S 114th St	5
65 Southtown Tire and Auto	2906 S 108 St	5
66 Ziebart of West Allis	2021 S 108 St	5











**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, April 23, 2025**  
**City Hall, Room 128**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**8. Ordinance to rezone property in the 6900 block of W. Orchard St. from RC Residential to C-2 Commercial (Tax Key 453-0001-010).**

**Overview & Zoning**

The subject property is a 3,600-sf lot (approx. 30-ft x 120-ft), located east of Tanner Paull Post #120 of the American Legion Memorial (property owner), and east of an existing public alley. The subject lot is zoned residential (RC, dense residential district), and the existing land use is Commercial. Surrounding uses are multi-unit residential (an apartment to the north, a senior apartment to the north and east, an apartment south of Orchard St., and both residential and commercial uses to the west of S. 70 St.

Leon Schwartz d/b/a the [Iron Pig](#) is proposing to operate a food/BBQ trailer from the lot. He has permission from the landowner Tanner Paul. Food would be stored and readied for smoking within the Tanner Paul kitchen at 6922 W Orchard St. The food process involves taking out the raw foods, cooking them in the smoker, and bringing them back inside the Tanner Paul establishment for further processing.



In order to operate a commercial business from the land, it will need to be rezoned to commercial, by the City Council. This process involves Plan Commission and Common Council public hearing for land use consideration. Property owners within 200-ft will be notified as part of the rezoning process.

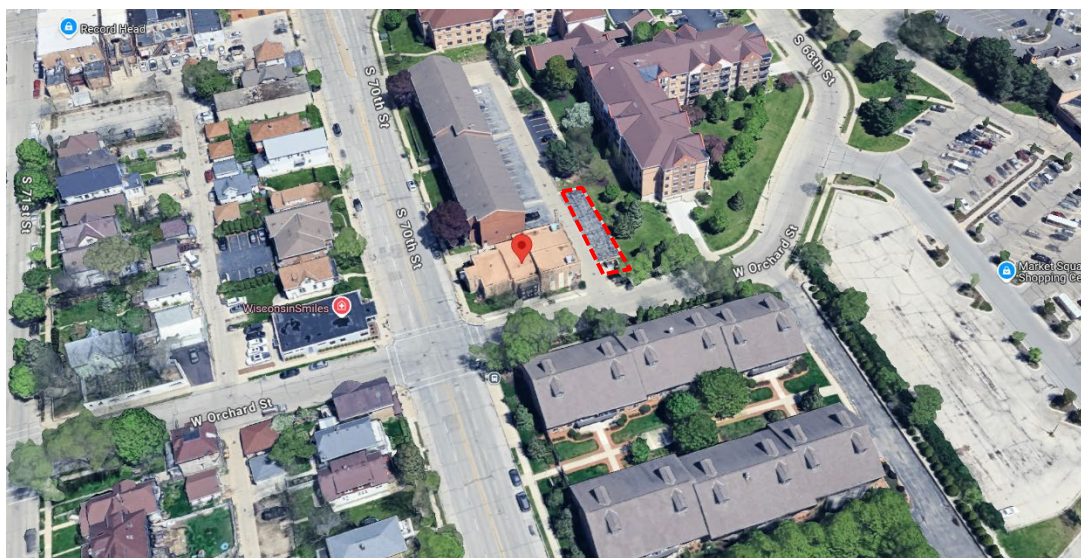
On April 15 the Common Council directed Planning staff to proceed with referring to the zoning map amendment to City Plan Commission. This includes staff preparing an ordinance and scheduling a Common Council public hearing May 20 as the first available

The screenshot shows a web-based map interface. The background is an aerial photograph overlaid with semi-transparent colored polygons representing different land parcels or lots. These polygons are labeled with street addresses and lot numbers. A yellow rectangular box highlights a specific parcel located at the intersection of 69\*\* W ORCHARD ST and 70 ST. This highlighted parcel is also labeled with the code "RC".

An information popup window is displayed over the highlighted parcel. The window has a title bar with a close button (X) and contains the following details:

- Address:** 69\*\* W ORCHARD ST
- Property Address:** 69\*\* W ORCHARD ST
- Tax Key:** 453-0001-010
- Parcel Information:**
  - Zoning Code:** RC
  - Existing Land Use:** Commercial
  - Future Land Use:** Commercial Mixed
- Actions:** There is a "Zoom to" link and a three-dot menu icon.

Other visible labels on the map include various street names like S 70 ST, S 71 ST, S 72 ST, S 73 ST, S 74 ST, S 75 ST, S 76 ST, S 77 ST, S 78 ST, S 79 ST, S 80 ST, S 81 ST, S 82 ST, S 83 ST, S 84 ST, S 85 ST, S 86 ST, S 87 ST, S 88 ST, S 89 ST, S 90 ST, S 91 ST, S 92 ST, S 93 ST, S 94 ST, S 95 ST, S 96 ST, S 97 ST, S 98 ST, S 99 ST, S 100 ST, S 101 ST, S 102 ST, S 103 ST, S 104 ST, S 105 ST, S 106 ST, S 107 ST, S 108 ST, S 109 ST, S 110 ST, S 111 ST, S 112 ST, S 113 ST, S 114 ST, S 115 ST, S 116 ST, S 117 ST, S 118 ST, S 119 ST, S 120 ST, S 121 ST, S 122 ST, S 123 ST, S 124 ST, S 125 ST, S 126 ST, S 127 ST, S 128 ST, S 129 ST, S 130 ST, S 131 ST, S 132 ST, S 133 ST, S 134 ST, S 135 ST, S 136 ST, S 137 ST, S 138 ST, S 139 ST, S 140 ST, S 141 ST, S 142 ST, S 143 ST, S 144 ST, S 145 ST, S 146 ST, S 147 ST, S 148 ST, S 149 ST, S 150 ST, S 151 ST, S 152 ST, S 153 ST, S 154 ST, S 155 ST, S 156 ST, S 157 ST, S 158 ST, S 159 ST, S 160 ST, S 161 ST, S 162 ST, S 163 ST, S 164 ST, S 165 ST, S 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**Recommendation:** Common Council approval ordinance to rezone property in the 6900 block of W. Orchard St. from RC Residential to C-2 Commercial (Tax Key 453-0001-010).

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1. A Site, Landscaping, Architectural Plan being submitted to Planning & Zoning to show: (a) proposed site alterations including but not limited to location of smoker, type of smoker unit (specifications, power source, exhaust/emission filter/scrubber, paving, fencing, lighting, electrical updates, refuse area improvements, parking modifications, landscaping and screening); (b) bicycle parking on the Tanner Paul site accordance with Chapter 19.44 of the Zoning Code; (c) any lighting updates or improvements to ensure compliance with West Allis Municipal Code.
2. Details/specifications of the smoker unit (if a structure, if a trailer, or truck(s)), details should include size, exhaust emission filtration, fencing, lighting, power/electrical needs.
3. Coordination with Health Department. Contact Amy Goettmann Environmentalist Coordinator, Southwest Suburban Health Department.