

RESIDENTIAL GENERAL NOTES

SECTION 0100 GENERAL

1. MEANS AND METHODS AND SAFETY OF WORK: THE ARCHITECT SHALL NOT CONTROL OR SPECIFY ANY MEANS OR METHODS OF ANY WORK PERFORMED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR. ALL ISSUES OF JOBSITE SAFETY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, THE CONSTRUCTION MANAGER OR THE OWNER IF THE OWNER IS ACTING AS GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.

2. INSURANCE: ALL CONTRACTORS SHALL HAVE A MINIMUM OF ONE MILLION DOLLARS OF INSURANCE COVERAGE FOR PROPERTY AND PERSONAL LIABILITY INSURANCE FOR THE PERFORMANCE OF THE WORK AND TRANSPORTATION TO AND FROM THE JOBSITE. ALL CONTRACTORS EMPLOYING OTHERS SHALL HAVE WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF ILLINOIS. ALL CONTRACTORS SHALL SUPPLY THE OWNER WITH CURRENT CERTIFICATES OF INSURANCE THAT NAME THE OWNER AND THE ARCHITECT AS "ALSO INSURED". SUBMITTAL OF A BID SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS SUCH INSURANCE OR WILL PROVIDE SUCH INSURANCE. NOT SUBMITTING SUCH CERTIFICATES SHALL NOT CONSTITUTE WAIVING OF CONTRACTOR'S REQUIREMENT TO CARRY INSURANCE THROUGHOUT THE DURATION OF THE JOB. BIDDER AGREES THAT NON-SUBMITTAL OF AN INSURANCE CERTIFICATE IS GROUNDS FOR WITHHOLDING PAYMENT BY OWNER UNTIL CERTIFICATE IS FILED WITH THE OWNER.

3. ERRORS AND CONFLICTS ON THE DRAWINGS: THE GENERAL CONTRACTOR OR CONST. MANAGER SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ON THE DESIGN DRAWINGS AND ANY SHOP DRAWINGS. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR VERIFYING AND CHECKING THE LAYOUT AND CONSTRUCTION OF ALL SUBCONTRACTORS, AND HIS OWN WORK. THE ARCHITECT SHALL NOT BE LIABLE FOR CORRECTIVE WORK OR REMOVAL OF RESULTING FROM ERRORS OR CONFLICTS ON THE DESIGN DRAWINGS IF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER FAILS TO CHECK THE DRAWINGS OR THE LAYOUT FOR CONFORMANCE WITH THE OVERALL DESIGN CONCEPT. SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING THAT ANY EQUIPMENT OR FIXTURES SPECIFIED BY MODEL NUMBER ETC. IS THE APPROPER, WITH THE APPROPRIATE FITTINGS, ATTACHMENTS, TRIMS, ETC. FOR THE TYPE OF CONSTRUCTION INTO WHICH THE EQUIPMENT, DEVICE OR FIXTURE IS TO BE INSTALLED. THE ARCHITECT ASSUMES NO LIABILITY FOR CORRECTION OR REPLACEMENT OR RESTOCKING FEES FOR MATERIALS ORDERED BY ANY CONTRACTOR OR SUBCONTRACTOR WHO DOES NOT VERIFY MODEL NUMBERS AND CONTEXT OF THE INSTALLATION.

4. GENERAL CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND LIMITATIONS AFFECTING THE WORK. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.

5. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. CONTACT ARCHITECT FOR ANY CLARIFICATIONS

6. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES WHICH HAVE AUTHORITY OVER THIS PROJECT.

7. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS NECESSARY AND INCIDENTAL FOR HIS INSTALLATION.

8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TOOLS, DEBRIS AND GENERAL CLEAN-UP

9. GENERAL CONTRACTOR TO UNCONDITIONALLY GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK AND MATERIALS.

10. THE G.C. SHALL BUILD THE BUILDING IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL BUILDING CODES

11. G.C. TO COMPLY WITH FEDERAL OSHA STANDARDS

SECTION 0200 SITE

1. EXCAVATION: UNLESS NOTED OTHERWISE, ASSUMED BEARING CAPACITY FOR FOUNDATION DESIGN IS 3000 PSF. NOTIFY ARCHITECT IMMEDIATELY IF PROPER BEARING IS NOT EVIDENT. PROVIDE SOILS REPORT W/ FOOTING P.P. IF APPLIES

2. SITE CLEARING: DO NOT REMOVE ANY TREES OR VEGETATION OUTSIDE OF THE IMMEDIATE AREA OF THE HOUSE. OBTAIN OWNERS WRITTEN PERMISSION BEFORE REMOVING ANY TREE OVER 2" DIAMETER. STOCKPILE TOPSOIL AND REAPPLY TO FINISH GRADE AROUND HOUSE. FINISH GRADE SHALL BE +/- 1" OF GRADES SHOWN ON DRAWING. IF NO GRADES ARE INDICATED, GRADE FOR PROPER DRAINAGE AWAY FROM AND AROUND THE HOUSE. MAINTAIN GRADE MIN. 8" BELOW TOP OF FOUNDATION.

3. AREAS NOTED "UNEXCAVATED" AND ALL AREAS BELOW CONCRETE SLABS SHALL HAVE UNSUITABLE MATERIALS REMOVED AND BE PROPERLY COMPACTED BEFORE GRANULAR FILL IS PLACED AND COMPACTED

4. CALL "J.U.I.L.I.E." 1-800-892-0123 OR "DIGGER" 1-312-744-7000 AT LEAST 48 HOURS BEFORE YOU DIG. (TWO WORKING DAYS)

5. COMPLIANCE WITH UNDERGROUND AND OVERHEAD FACILITIES REGULATIONS MUST BE DONE BEFORE WORK BEGINS

SECTION 0300 CONCRETE

1. 4" DRAIN TILE: 4" PERFORATED PVC FOUNDATION DRAIN TILE ALL AROUND THE FOUNDATION CONNECTED TO SUMP PUMP. PROVIDE 2" MIN. WASHED STONE BED AND 12" MIN. STONE COVER. PROVIDE 4" DIA. VERTICAL PIPE FROM EACH WINDOW WELL DOWN TO DRAIN TILE. FILL W/ STONE. COVER DRAIN TILE WITH APPROVED FILTER MEMBRANE MATERIAL (DRAIN TILE IN A SOCK TYPE)

2. CONCRETE: USE 3000 PSI (AT 28 DAYS) COMPRESSIVE STRENGTH. TRANSIT MIXED CONCRETE ASTM 3000 UNLESS NOTED OTHERWISE. USE AIR ENTRAINING ADMIXTURE FOR ALL FLATWORK EXPOSED TO WEATHER. FITCH ALL EXTERIOR CONCRETE SLABS AND WALKS 1/8" AWAY FROM THE HOUSE.

3. ALL FOOTINGS TO BEAR NO LESS THAN 4"2" BELOW FINISHED GRADE/ON UNDISTURBED, INORGANIC SOIL, WITH AN ALLOWABLE BEARING CAPACITY OF 3,000 P.S.F.

4. ESCAPE LADDER IS REQUIRED FOR ESCAPE WINDOW. PROVIDE WINDOW WELL COVER ON ALL WINDOW WELLS.

5. SEALED SUMP PUMP PIT REQUIRED FOR PASSIVE RADON SYSTEM

SECTION 0400 MASONRY

1. MASONRY: USE GALVANIZED CORRUGATED BRICK TIES ATTACHED TO SHEATHING AND STUDS AT 16" O.C. HORZ (NOT TO EXCEED 24") AND 16" VERT. USE TYPE "M" MORTAR, NATURAL COLOR, LESS THAN 1% COLORED. OTHERWISE ON THE DRAWING, PROVIDE COTTON ROPE LOOPED BETWEEN EACH TWO ADJACENT WEEP HOLES. LOCATE WEEP HOLES 24" O.C. USE PVC BASE FLASHING AND PVC FLASHING AT WINDOW SILLS AND HEADS

SECTION 0500 METALS

1. ANCHOR BOLT: 1/4" WOOD BOLTS ANCHORED TO CONCRETE TO HAVE 1/2"x10" HOOKED BOLTS WITH 7" EMBEDMENT SPACED MAX. 6"-0" O.C. AND WITHIN 12" OF ALL CORNERS (MIN. 2 PER PLATE)

2. LALLY COLUMNS SPECIFIED ARE OUTSIDE DIAMETER OF STANDARD WEIGHT, UNLESS NOTED OTHERWISE. THEY SHALL BE FURNISHED WITH 6"x10"x3/4" BASE PLATES, AND 6"x10"x1/2" CAP PLATES, UNLESS NOTED. BASE PLATES AND CAP PLATES SHALL BE SECURED DIRECTLY TO FOUNDATIONS AND STEEL BEAMS WITH 2-1/2" DIAMETER BOLTS (MINIMUM)

SECTION 0600 WOOD

1. FRAMING MEMBER SPECIES AND BASE VALUES SHALL BE AS NOTED BELOW. U.N.O. RAFTERS, JOISTS, HEADERS AND BEAMS: #2 DOMESTIC HEM-FIR OR BETTER Fb= 850 PSI, Fv= 75 PSI, E= 1,300,000 PSI STUDS: 10'-0" AND LESS IN HEIGHT: STUD GRADE S-P-F OR BETTER Fb= 575 PSI, Fc= 600 PSI, E= 1,000,000 PSI GREATER THAN 10'-0" IN HEIGHT: S-P-F OR BETTER Fb= 750 PSI, Fc= 975 PSI, E= 1,100,000 PSI POSTS AND TREATED LUMBER: #2 SOUTHERN PINE OR BETTER Fb= PER NDS TABLES, Fv= 90 PSI, Fc= PER NDS TABLES, E= 1,600,000 PSI LAMINATED STRUCTURAL WOOD BEAMS Fv= 2,400 PSI, Fv= 165 PSI, E=1,800,000 ALL FRAMING MEMBERS DESIGNATED "ML" OR "MICROLAM" SHALL BE LSE MICROLAM LVL BY TRUS JOIST MACMILLAN OR BETTER Fv= 2,600 PSI, Fv= 285 PSI, E= 1,900,000

2. DOUBLE FRAMING MEMBERS (MINIMUM) AROUND OPENINGS IN ROOFS, FLOORS, CEILINGS, UNDER BATHTUBS AND SHOWERS AND UNDER PARTITIONS PARALLEL TO JOISTS.

3. ALL HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE

4. MINIMUM 2 CRIPPLE STUDS BELOW ALL OPENINGS 6'-0" AND WIDER

5. DESIGN LOADS AS FOLLOWS: CEILING/ATTIC DESIGN LIVE LOAD = 20 PSF ROOF DESIGN LIVE LOAD = 30 PSF WALL WIND LOAD, 0-20 FT. = 20 PSF FLOOR DESIGN LIVE LOAD = 40 PSF WALL WIND LOAD, 21-29 FT. = 25 PSF SLEEPING AREAS LIVE LOAD = 30 PSF WALL WIND LOAD, 30 FT. = 30 PSF

6. ALL WALL TOP PLATES ARE TO BE LAPPED AT ALL CORNERS

7. PROVIDE METAL JOISTS HANGERS AT STAIRS AND ALL FLUSH FRAMED MEMBERS

8. FIRESTOP SOFFITS AND TOP AND BOTTOM OF STAIR STRINGERS

9. PROVIDE MINIMUM 2" CLEARANCE BETWEEN FRAMING MEMBERS AND CHIMNEY

10. FIRESTOP CAVITIES BETWEEN CHIMNEY AND FRAMING LUMBER WITH NON-COMBUSTIBLE FILL

11. LUMBER: USE GRADED S4S LUMBER. ALL LUMBER SHALL BE KILN DRIED #2 OR BETTER. USE FHA APPROVED FRAMING DETAILS. USE MIN. TWO-2x12 HEADERS AT ALL OPENINGS UP TO 72" UNLESS NOTED OTHERWISE. USE HIP & VALLEY RAFTER MIN. 2" LARGER THAN RAFTER. USE 11 1/2" MICROLAM VALLEY FOR 2X12 RAFTERS. USE SAME DEPTH MICROLAM HIP & VALLEY FOR CATHEDRAL CEILINGS PROVIDE CROSS BRIDGING NOT TO EXCEED 8'-0" IN ALL FLOOR FRAMED W/ DIMENSIONAL LUMBER BRIDGING IS NOT REQUIRED FOR T&S SEE MANUFACTURER'S INSTRUCTIONS FOR CUTTING AND REINFORCING.

12. PLYWOOD: ALL PLYWOOD SHALL BE APA RATED-SEE PLAN FOR THICKNESS WATERBOARD: ALL WATER BOARD SHALL BE ORIENTED STRONG, NOT RANDOM. ROOF SHEATHING SHALL BE SPACED FOR EXPANSION WHEN INSTALLED PER APA STANDARDS TYPE 1.

13. EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING

SECTION 0700 THERMAL

1. GLAZING: ALL GLAZING WITHIN 24" OF A DOOR (IN CLOSED POSITION), OR WITHIN A DOOR, OR WITHIN 18" FROM FINISHED FLOOR OR WALKING SURFACE (WITHIN 36" OF GLAZING). SHALL BE TEMPERED GLASS OR OTHER APPROVED SAFETY GLAZING. MEET 2018 IRC R-308.4

2. ALL GLAZING TO FOLLOW 2018 INTERNATIONAL RESIDENTIAL CODE AS REQUIRED

3. PROVIDE TEMPERED SAFETY GLASS, AS NOTED, AT ALL WINDOWS OVER TUBS, AND AT WINDOWS WITH SILLS 18" OR LESS ABOVE THE FINISHED FLOOR

4. EXPOSED CRAFT PAPER OF INSULATION IN BASEMENT MUST HAVE A FUME SPREAD OF 25

5. FLASH OVER EXTERIOR DOORS AND WINDOWS, UNDER SILLS AND AT JUNCTIONS WITH DISSIMILAR MATERIALS

6. FLASHING AT TOP OF FOUNDATION TO CARRY 16" UP WALL

7. ALL ROOFING COUNTER FLASHING MUST BE BENT AND CUT INTO THE BRICK MORTAR JOINTS

8. BEDROOM WINDOW EGRESS - WINDOW MANUFACTURER TO SUPPLY WINDOWS FOR SLEEPING ROOMS WHICH MEET THE IRC 2018 CODE EMERGENCY EGRESS REQUIREMENTS. MIN. OPENABLE AREA OF 5.7 sq. FT. MIN. OPENABLE CLEAR HEIGHT OF 2'-0" AND A MIN. CLEAR WIDTH OF 1'-8" AND NOT MORE THAN 3'-4" ABOVE FINISHED FLOOR AND NO LESS THAN 24" ABOVE FINISHED FLOOR - 2018 IRC

SECTION 0800 DOORS

1. U.N.O. DOORS SHALL BE CENTERED IN OPENINGS OR MIN. 4" FROM FACE OF ADJACENT WALLS.

SECTION 0900 FINISHES

1. INTERIOR TRIM: FILL ALL VOIDS IN FRAMING OR AROUND PENETRATIONS IN CONSTRUCTION WITH EXPANDING FOAM. USE POLYSULFIDE, URETHANE, OR RUBBER SILICONE CAULK AT ALL OPENINGS, JOINTS, ETC. AS REQUIRED TO MAKE CONSTRUCTION WEATHER TIGHT.

2. FOR FLOOR CEILING HEIGHT REFER TO ELEVATIONS AND SECTIONS.

3. PROVIDE WATER RESISTIVE DRYWALL IN ALL BATHS, SHOWERS AND AREAS SUBJECT TO MOISTURE.

SECTION 1000 SPECIALTIES

1. STAIR NOTES: ALL STAIRS SHALL HAVE A MAX. RISE OF 7 3/4", A MIN. TREAD OF 10" CLEAR OF TREAD ABOVE, MINIMUM 1 1/8" NOSING, MINIMUM WIDTH OF 36" AND A CONT. CLEAR HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO A LINE PARALLEL WITH A STAIR RUN MIN. OF 6'-10"

2. HAND AND GUARD RAILS

3. A. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS TH FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

4. B. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL

5. C. HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2" OR A NON-CIRCULAR CROSS WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4"

6. D. STAIR NOSINGS SHALL BE NO LESS THAN 1 1/8"

7. E. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR SHALL HAVE GUARDRAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

8. F. GUARDRAILS ON OPEN SIDES OF

REVISIONS	DATE
1	
2	
3	

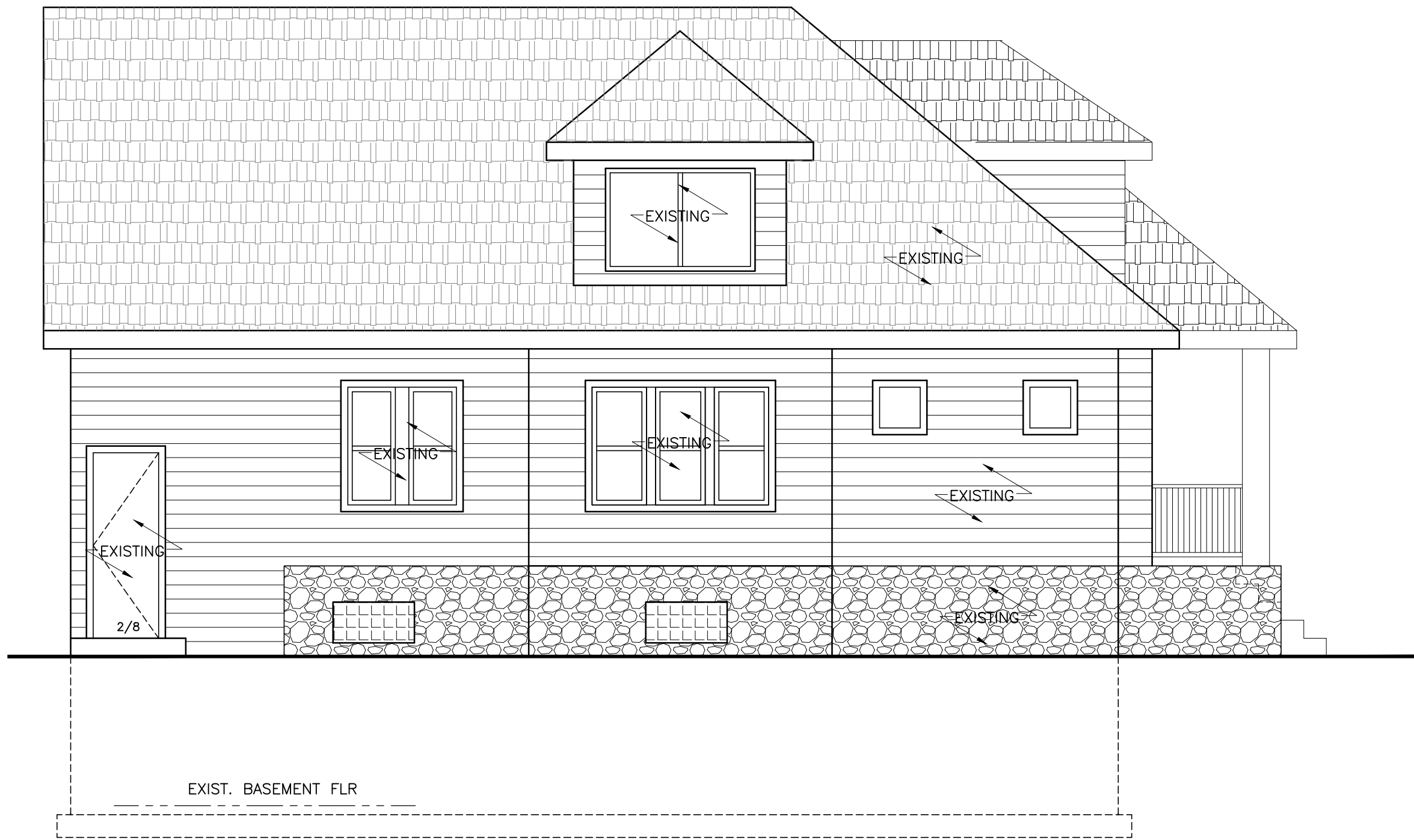
PROJECT: SECOND FLOOR ADDITION
7729 W HICKS STREET
WEST ALLIS, WI 53219

CLIENT: LIR INVESTMENTS LLC
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE 01-11-titesht.dwg
PLOT SCALE 1:1

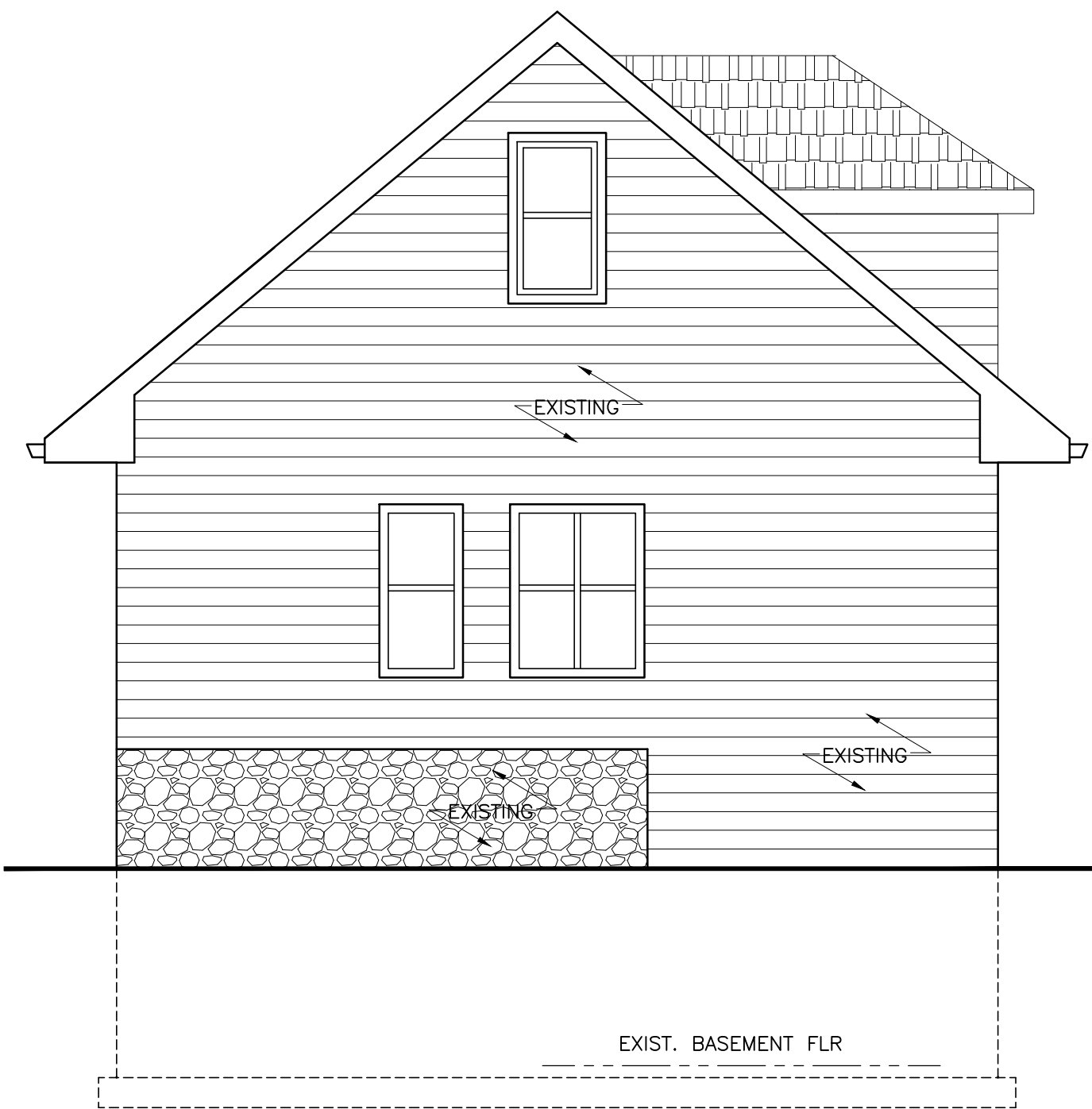
OWNER APPROVAL

SHEET NUMBER
T1



EXIST. LEFT SIDE ELEVATION - FOR REF. ONLY

SCALE: 1/4" = 1'-0"

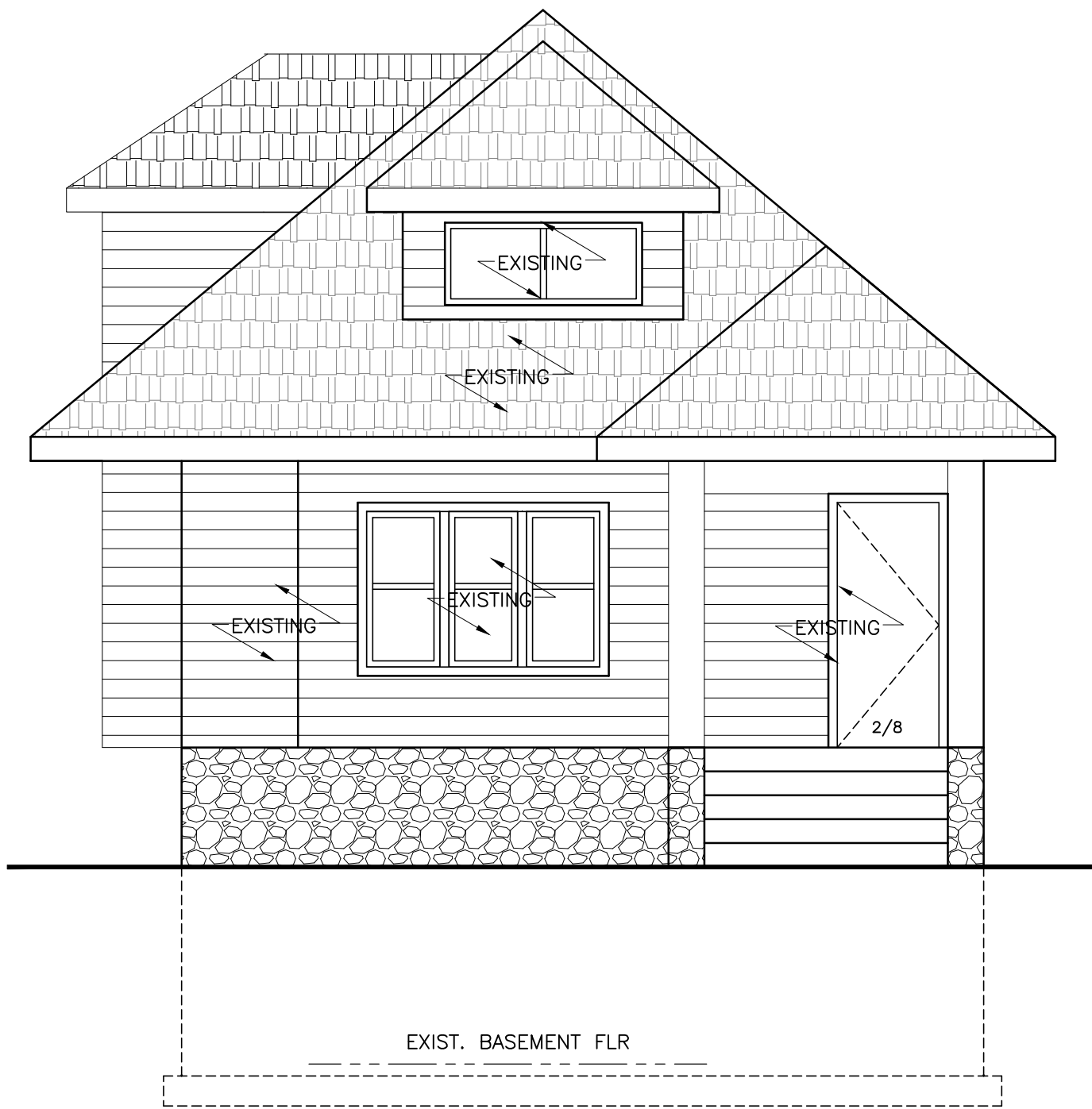


EXIST. REAR ELEVATION - FOR REF. ONLY

SCALE: 1/4" = 1'-0"

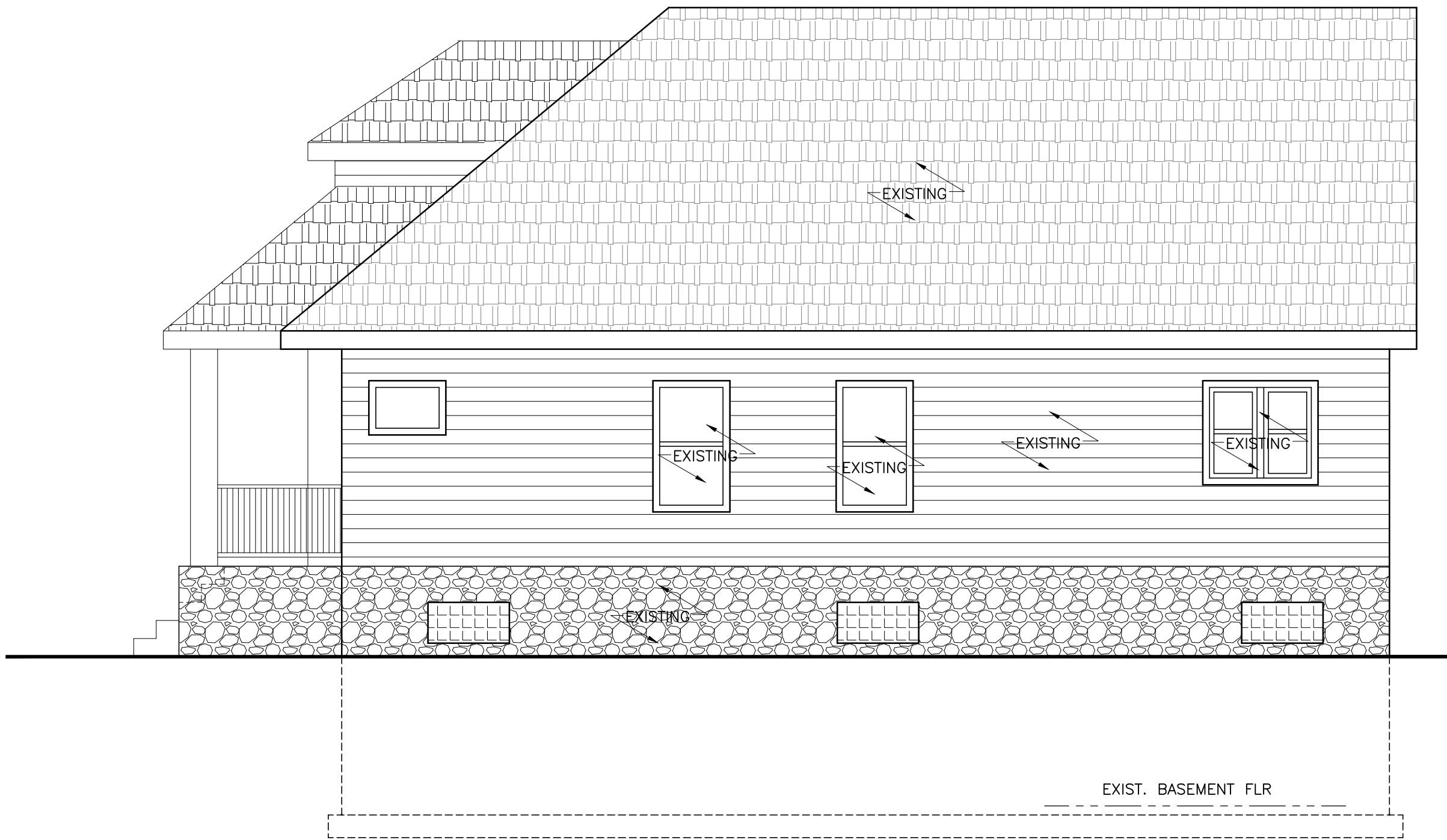
DEMOLITION NOTES:

- 1 DEMOLITION CONTRACTOR TO VERIFY ALL LOAD BEARING WALLS AND PROVIDE NECESSARY BRACING AS REQUIRED. ALL WORK SHOWN IS AN ESTIMATE OF THE EXISTING STRUCTURE.
- 2 DEMOLITION CONTRACTOR TO FOLLOW ALL CITY OF NAPERVILLE MUNICIPAL CODE
- 3 DEMOLITION CONTRACTOR TO VERIFY ALL EXISTING CONDITION PRIOR TO THE START OF THE WORK
- 4 DEMOLITION CONTRACTOR TO REMOVE ALL RUBBISH, DEBRIS, ETC. CAUSED BY HIS WORK AS FAST AS IT ACCUMULATES. PROVIDE ON SITE DUMPSTERS
- 5 DEMOLITION CONTRACTOR TO FOLLOW ALL SAFETY GUIDELINES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE SAFE EXECUTION OF ALL WORK
- 6 CONTRACTOR MUST COMPLY WITH THE INSURANCE / HOLD HARMLESS REQUIREMENTS
- 7 CONTRACTOR TO PROVIDE PROTECTION FROM WATER PENETRATION TO RESIDENCE DURING DEMOLITION



EXIST. FRONT ELEVATION - FOR REFERENCE ONLY

SCALE: 1/4" = 1'-0"



EXIST. RIGHT SIDE ELEVATION - FOR REF. ONLY

SCALE: 1/4" = 1'-0"

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: SECOND FLOOR ADDITION
7729 W HICKS STREET
WEST ALLIS , WI 53219
CLIENT: LIR INVESTMENTS LLC
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE
PLOT SCALE
OWNER APPROVAL

Signature
Date

SHEET TITLE

EXISTING ELEVATIONS
DEMOLITION NOTES

SHEET NUMBER
A1

DEMOLITION NOTES:

- DEMOLITION CONTRACTOR TO VERIFY ALL LOAD BEARING WALLS AND PROVIDE NECESSARY BRACING AS REQUIRED. ALL WORK SHOWN IS AN ESTIMATE OF THE EXISTING STRUCTURE.
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Round Hole Diameter [in]	2	3	4	5	6	6 1/2	7	8	8 1/2	9	10	11	12	13
Rectangular Hole Side [in]	-	-	-	-	-	-	2	3	5	5	6	8	9	10
Any 18" Joist	8	1'-0"	1'-1"	1'-2"	1'-2"	1'-3"	1'-3"	1'-3"	1'-7"	1'-11"	2'-0"	2'-5"	3'-2"	3'-7"
	12	1'-0"	1'-1"	1'-2"	1'-2"	1'-3"	1'-6"	1'-10"	2'-5"	3'-0"	3'-7"	4'-2"	4'-9"	5'-4"
	16	1'-0"	1'-1"	1'-2"	1'-2"	1'-8"	2'-1"	2'-6"	3'-3"	3'-11"	4'-0"	4'-10"	5'-7"	7'-2"
	20	1'-0"	1'-1"	1'-2"	1'-2"	2'-1"	2'-7"	3'-1"	4'-1"	4'-11"	5'-1"	6'-0"	7'-0"	8'-11"
	24	1'-0"	1'-1"	1'-2"	1'-4"	2'-6"	3'-1"	3'-9"	4'-11"	5'-11"	6'-1"	7'-3"	8'-5"	10'-8"

apply to the design conditions covered by tables elsewhere in this publication (maximum uniform PLF load). Use the BC CALC[®] software to check other hole sizes or holes under other design conditions. It may be possible to exceed the limitations of this table by analyzing a specific application with the BC CALC[®] software.

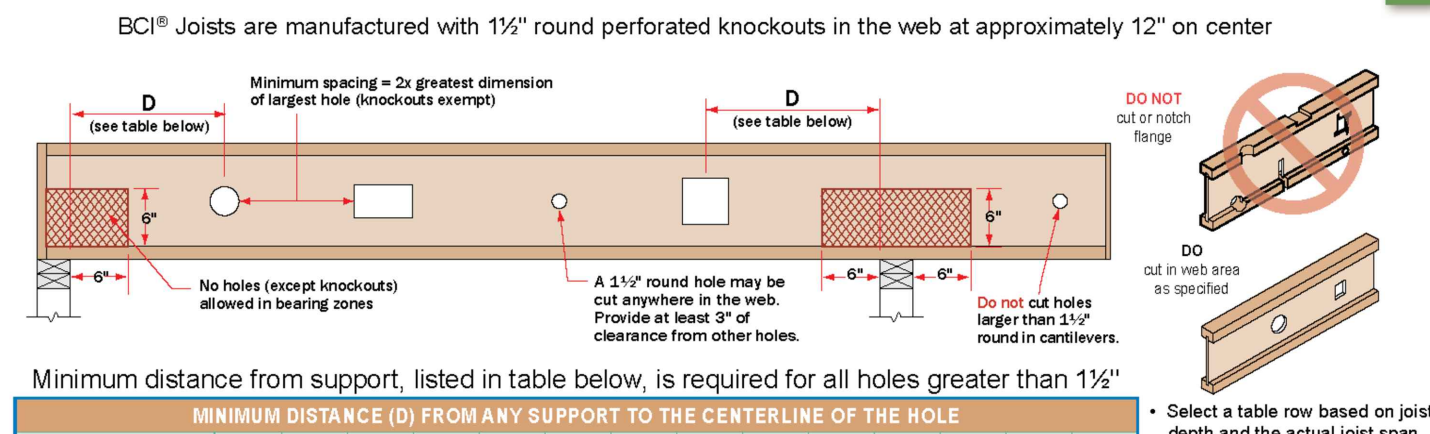
Large Rectangular Holes in BCI[®] Joists

Hole size table based on maximum uniform load of 40 psf live load and 10 psf dead load, at maximum spacing of 24" on-center.

Single Span Joist		Multiple Span Joist	
Joist Depth	Maximum Hole Size	Joist Depth	Maximum Hole Size
9 1/2"	6" x 14"	6" x 12"	
11 1/2"	6" x 16"	6" x 13"	
14"	8" x 18"	8" x 16"	
16"	11" x 18"	10" x 14"	

Notes:
Additional holes may be cut in the web provided they meet the specifications as shown in the hole distance chart shown above or as allowed using BC CALC[®] sizing software.
Source: Cascade EWP - Canadian Specifier Guide - 08/04/2015

BCI[®] Joist Hole Location & Sizing



NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- FOOTING SIZES REQ'D: 8" x 16" SUPPORTING FRAME 10" x 20" SUPPORTING BRICK VENEER DESIGN SOIL BEARING CAPACITY = 3000 PSF
- PROVIDE 1/2" OSB CORNER BRACING AND AT 20' INTERVALS MAX - OSB BRACING TO FOLLOW R602.10.2.1 AND R602.10.2.2
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL. CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2018 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS. SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2017 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2018 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2018 IRC E3902.11 OR 2017 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLES. - SEE ELECTRICAL DRAWINGS
- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24". MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2018 IRC
- INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 6 STUDS IN LIEU OF 2 x 4 STUDS.
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- WINDOW FALL PROTECTION: ALL WINDOWS TO FOLLOW 4312 OF HE 2018 IRC AS REQUIRED

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE #2 HEM - FIR (E = 1,200,000 MIN.) # 2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR , # 2 CANADIAN SPUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.

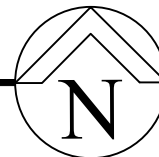
ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR,

2 CANADIAN SPRUCE PINE FIR OR BETTER.

PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.

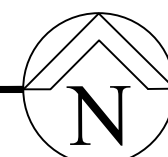
1ST FLOOR EXISTING PLAN

SCALE: 1/4" = 1'-0"



BASEMENT EXISTING PLAN

SCALE: 1/4" = 1'-0"



PROJECT: SECOND FLOOR ADDITION
7729 W HICKS STREET
WEST ALLIS , WI 53219

CLIENT: LIR INVESTMENTS LLC
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE 05-a4-first floor plan.dwg
PLOT SCALE 1:1

OWNER APPROVAL

Signature

Date

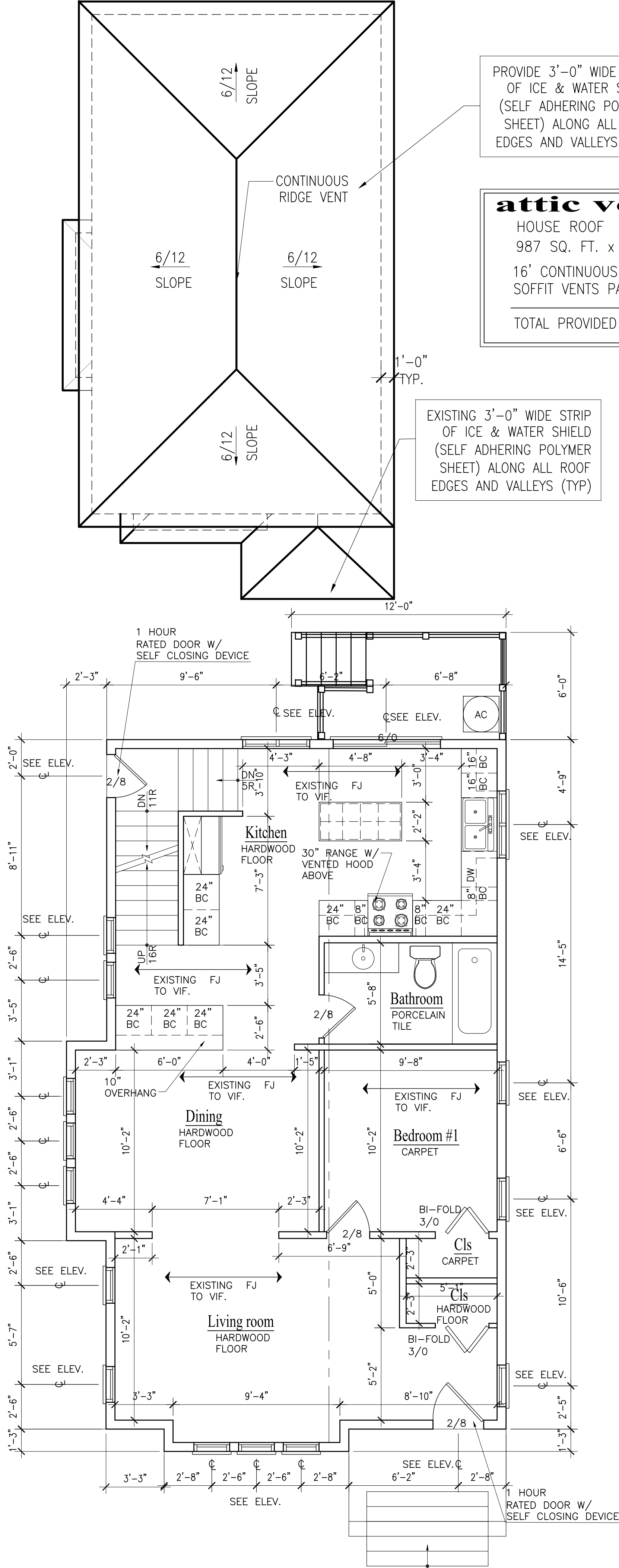
SHEET TITLE
EXISTING AND DEMOLITION
FLOOR PLANS

SHEET NUMBER

A2

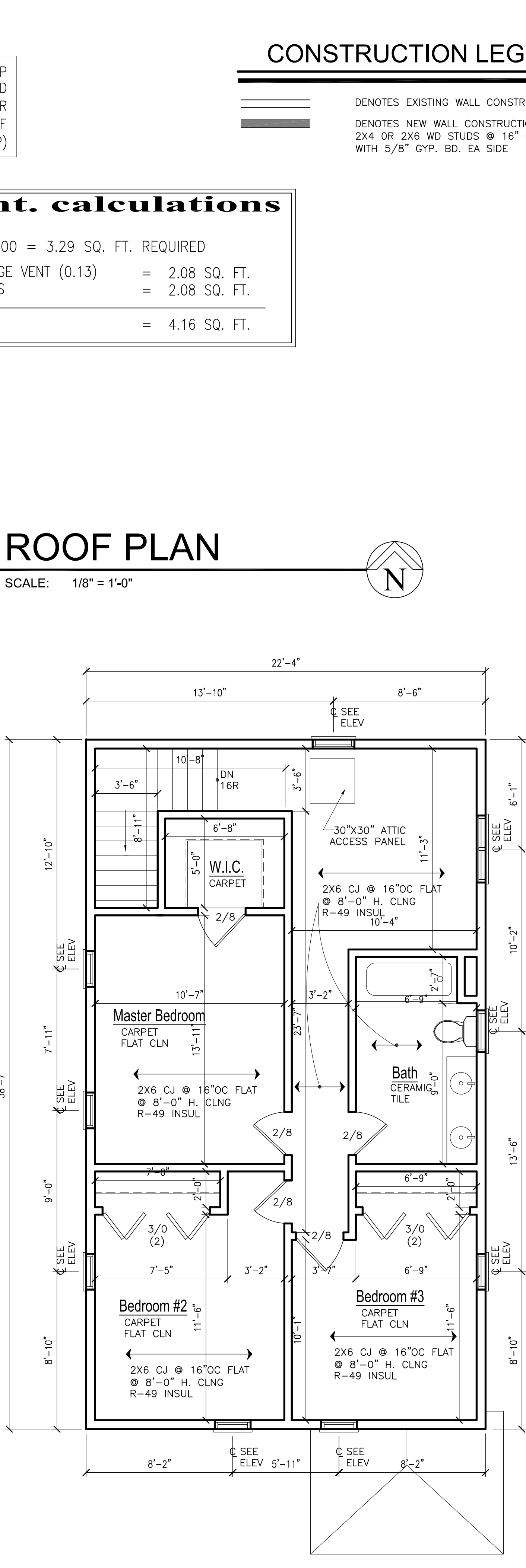
2018 ENERGY CODE NOTES

1. ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC AND MUST BE WEATHERSTRIPPED (SECTION R402.2.4)
2. SECTION R402.4.1 AND TABLE R402.4.1.1
THE BUILDING THERMAL ENVELOP SHALL BE DURABLE SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH A AIR BARRIER MATERIAL SUITABLE FILM OR SOLID MATERIAL; AND INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS:
A. AIR BARRIER AND THERMAL BARRIER
B. CEILING / ATTIC
C. WALLS
D. WINDOWS, SKYLIGHTS AND DOORS
E. RIM JOISTS
F. FLOOR (INCLUDING ABOVE GARAGE AND CANTILEVER FLOORS)
G. CRAWL SPACE WALLS
H. SHAFTS, PENETRATIONS
I. NARROW CAVITIES
J. GARAGE SEPARATION
K. RECESSED LIGHTING
L. PLUMBING AND WIRING
M. SHOWER/TUB ON EXTERIOR WALL
N. ELECTRICAL / PHONE BOX ON EXTERIOR WALL
O. HVAC REGISTER BOOTS
P. FIREPLACE
NOTE: REFER TO TABLE R402.4.1.1. FOR THE INSTALLATION CRITERIA FOR THE ABOVE BUILDING COMPONENTS
3. THE FIREPLACES SHALL HAVE GASKETED DOORS, TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR (SECTION R402.4.2)
4. WINDOWS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE. SWING DOORS LIMITED TO NO MORE THAN 0.5 CFM PER SQUARE FOOT. (SECTION 402.4.3)
5. RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL EBVELOP SHALL BE IC-RATED AND LABELED (SUITABLE FOR INSULATION CONTACT).
B. SEALED WITH A GASKET OR CAULK BETWEEN THE FIXTURE HOUSING AND CEILING. (SECTION R402.4.4)
6. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. AT LEAST ON THERMOSTAT SHALL BE PROGRAMABLE. (SECTION R403.1.1)
7. IN AN UNCONDITIONED SPACE, SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MIN. OF R-6 (SECTION R403.2.1)
8. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED AT ALL JOINTS AND SEAMS. DUCT TAPE OR ANY OTHER UNLISTED TAPE IS NOT PERMITTED. (SECTION R403.2.2)
9. BUILDING FRAMING CAVATIES SHALL BOT BE USED AS SUPPLY DUCTS. (SECTION R403.2.3.)
10. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES FAHRENHEIT SHALL BE INSULATED TO A MINIMUM OF R-3 (SECTION 403.3)
11. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MIN. OF R-3 WITH A READY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION 403.4.1 AND 403.4.2)
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVIT DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. (SECTION R403.5)
13. A MINIMUM OF 90 PERCENT (90%) OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICIENCY LAMPS(SECTION R404.1)
14. SECTION R402.4.1.2 TESTING:
BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCAL). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.
15. ALL RECESSED LUMINAIRES SHALL BE IC-RATED, LABELED AS HAVING A LEAKAGE RATE OF NOT MORE THAN 2.0 CFM@75 PA AND SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING.C402.5.8 RECESSED LIGHTING
16. R406.3 ENERGY RATING INDEX (NUMBER VALUE BASED LINEAR SCALE SUCH THAT THE ERI REFERENCE DESIGN HAS AN INDEX VALUE OF 100 AND A RESIDENTIAL BUILDING THAT HAS NET ZERO ANNUAL PURCHASED ENERGY HAS AN INDEX RATING OF 0. EACH INCREASE/DECREASE IN INDEX VALUE SHALL REPRESENT A 1% CHANGE IN TOTAL ANNUAL ENERGY USE OF THE RATED DESIGN RELATIVE TO THE ERI REFERENCE DESIGN) 100 X (REFERENCE BUILDING ANNUAL ENERGY COST – DESIGN BUILDING ANNUAL ENERGY COST) REFERENCE BUILDING ANNUAL ENERGY COST R406.3.1 ERI REFERENCE DESIGN (ERI REFERENCE
17. PER SECTION R40222 OF THE 2018 IECC, INSULATION IN VAULTED CEILINGS MAY BE REDUCED TO R-38 PROVIDED THAT THE AREA REDUCED INSULATION DOES NOT EXCEED 500 S.F. OR 20% OF THE TOTAL INSULATED AREA WHICHEVER IS LESS



1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION LEGEND

- DENOTES EXISTING WALL CONSTRUCTION
- DENOTES NEW WALL CONSTRUCTION
2X4 OR 2X6 WD STUDS @ 16" O.C.
WITH 5/8" GYP. BD. EA SIDE

attic vent. calculations

HOUSE ROOF
987 SQ. FT. x 1/300 = 3.29 SQ. FT. REQUIRED
16' CONTINUOUS RIDGE VENT (0.13) = 2.08 SQ. FT.
SOFFIT VENTS PANELS = 2.08 SQ. FT.
TOTAL PROVIDED = 4.16 SQ. FT.

ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTES

1. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
2. FOOTING SIZES REQ'D: 8" x 16" SUPPORTING FRAME 10" x 20" SUPPORTING BRICK VENEER DESIGN SOIL BEARING CAPACITY = 3000 PSF
3. PROVIDE 12" OSB CORNER BRACING AND AT 20' INTERVALS MAX - OSB BRACING TO FOLLOW R602.10.2.1 AND R602.10.2.2
4. FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
5. ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
6. DOUBLE ALL JOIST UNDER WHIRLPOOL
7. ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
8. STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
9. ALL GLAZING TO FOLLOW R308 OF THE 2018 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
10. ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2017 NEC
11. DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
12. A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
13. CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURERS SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
14. WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD REQUIREMENTS
15. HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
16. EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2018 IRC
17. PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
18. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2018 IRC E3902.11 OR 2017 NEC ARTICLE 210.12
19. ALL OUTLIES IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLES. - SEE ELECTRICAL DRAWINGS
20. ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2018 IRC
22. INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION
23. ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 4 STUDS IN LIEU OF 2 x 4 STUDS.
24. ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
25. WINDOW FALL PROTECTION: ALL WINDOWS TO FOLLOW 4312 OF HE 2018 IRC AS REQUIRED

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE # 2 HEM - FIR (E = 1,200,000 MIN.)
2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE # 2 HEM - FIR , # 2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.
ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, # 2 CANADIAN SPRUCE PINE FIR OR BETTER,
PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT:
SECOND FLOOR ADDITION
7729 W HICKS STREET
WEST ALLIS, WI 53219
CLIENT:
LIR INVESTMENTS LLC
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE 05-04-first floor plan.dwg
PLOT SCALE:1:1

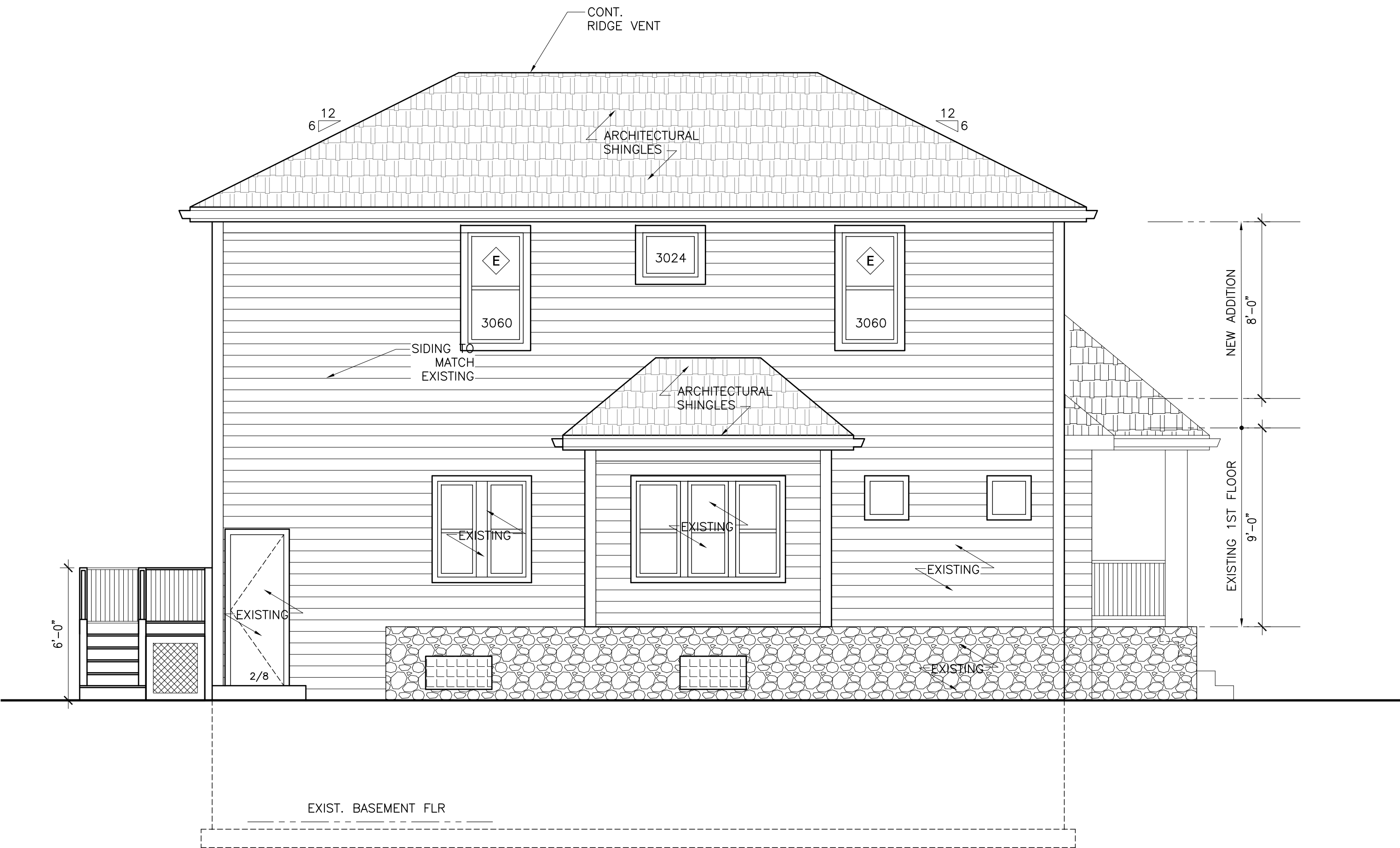
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
FIRST, SECOND FLOOR
AND ROOF PLAN

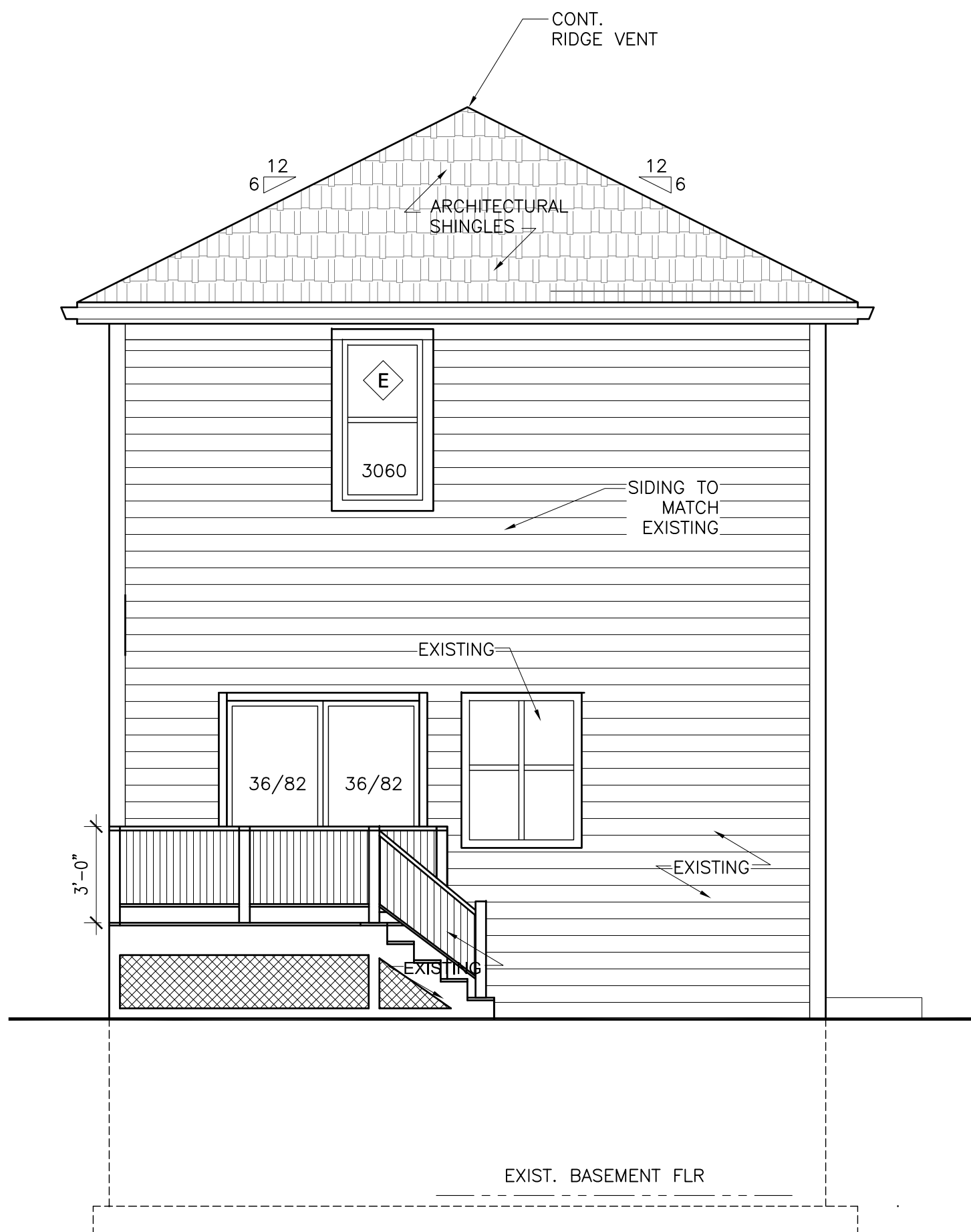
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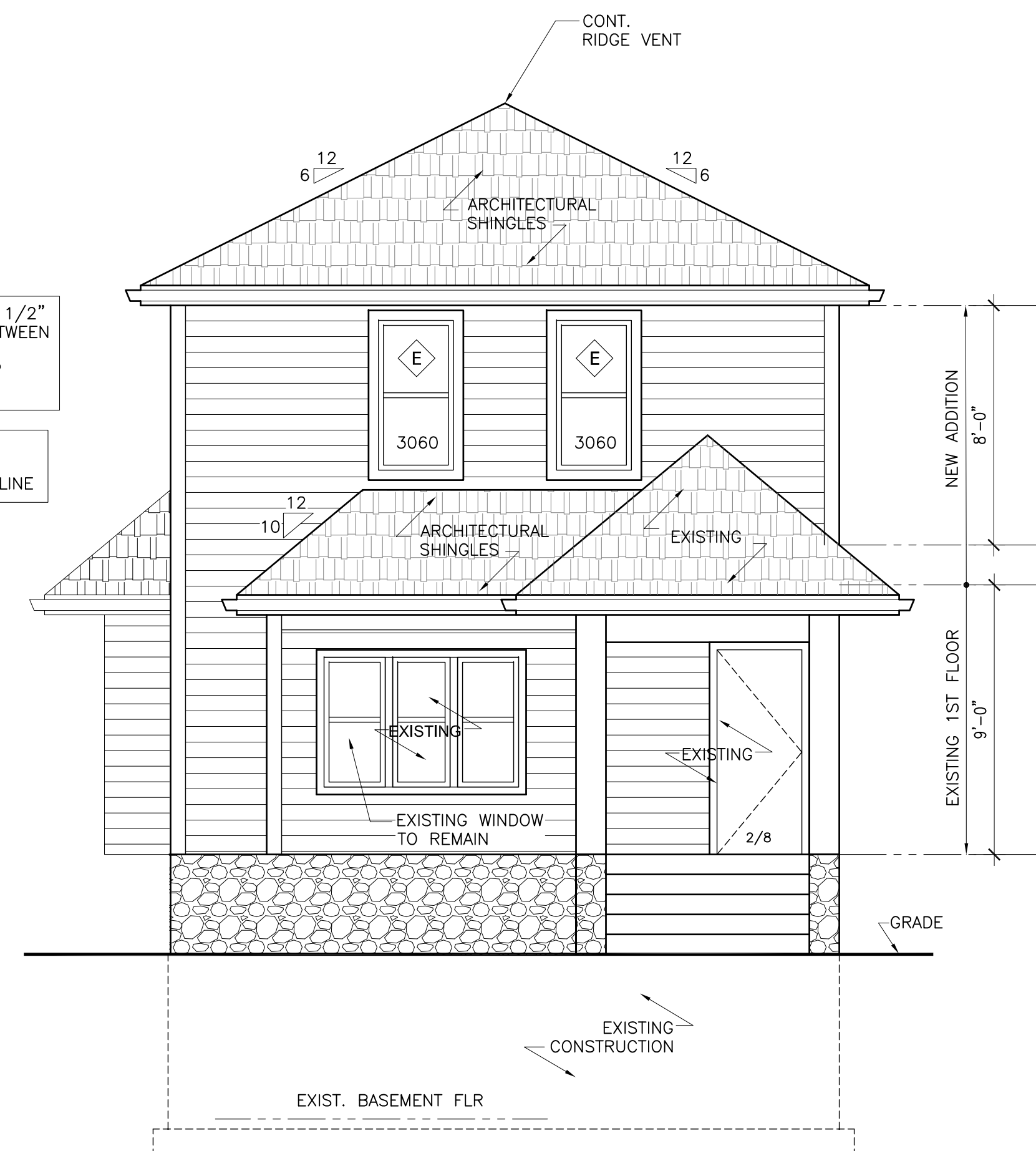
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



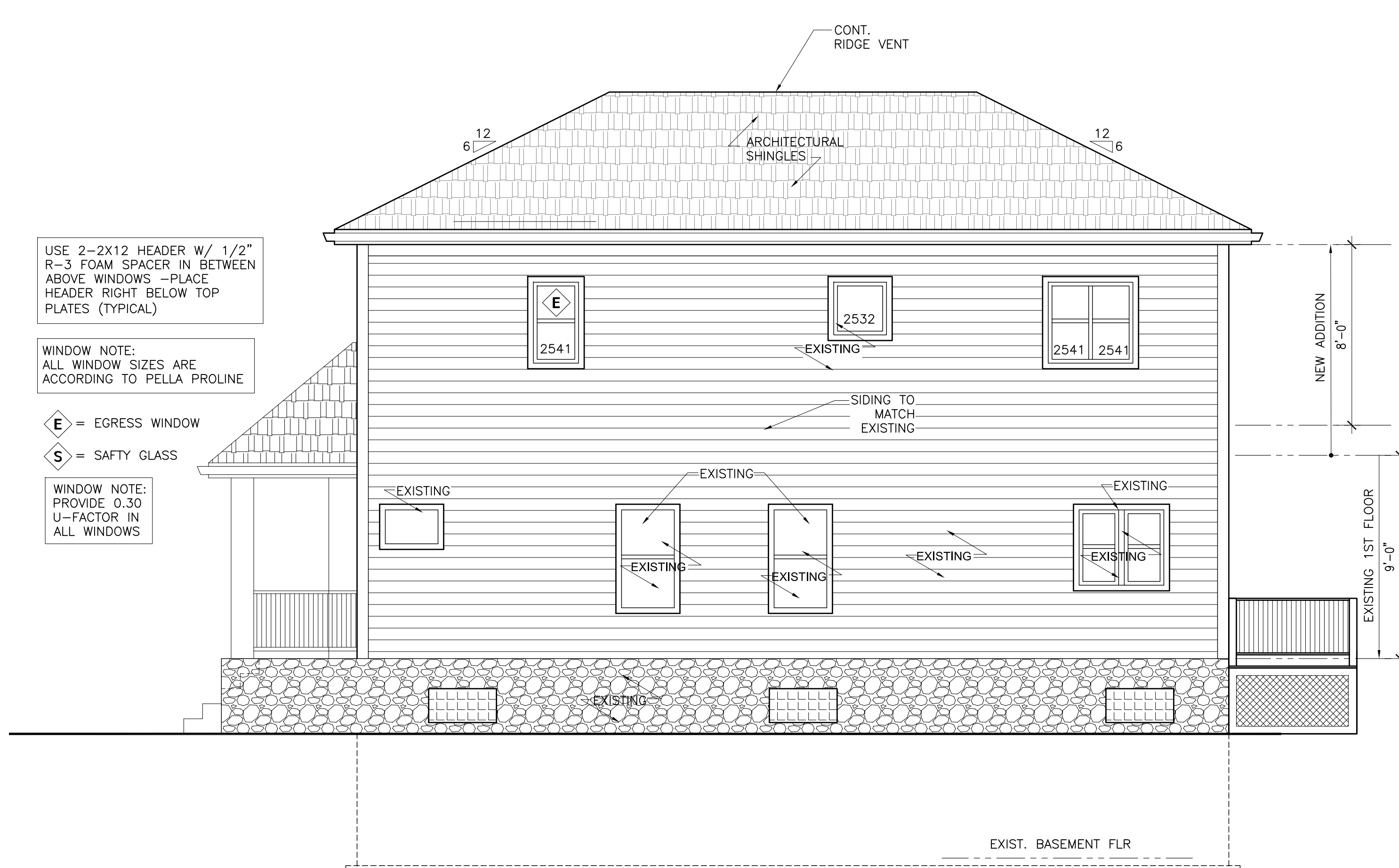
REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT: **SECOND FLOOR ADDITION**
7729 W HICKS STREET
WEST ALLIS, WI 53219
CLIENT: LIR INVESTMENTS LLC
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE
PLOT SCALE

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A4

PRESCRIPTIVE METHOD TO BE USED

INSULATION AND FENESTRATION REQUIEMENTS BY COMPONENT										
2018 IECC- TABLE R402.1.2										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FEN. SHGC	CEILING R-VALUE	WD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BSMNT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 AND MARINE 4	0.30	0.55	NR	49	20 OR 13+5	13/17	30	15/19	10 , 2 ft 15, Heated slab	15/19

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in Climate Zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. First value is cavity insulation, second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

ELECTRICAL CODE NOTES

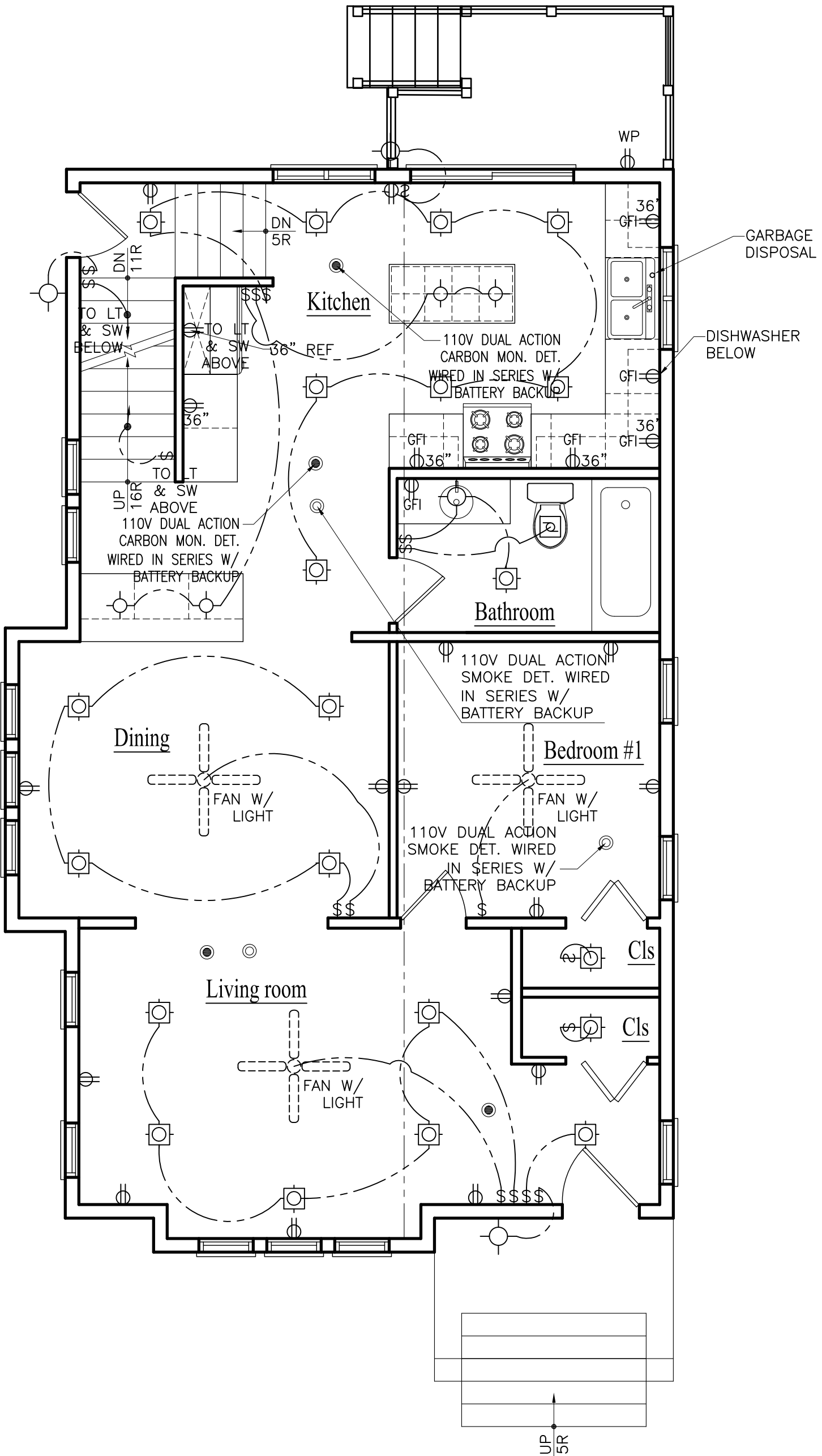
- A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
- EVERY 500 SF OF LIVING SPACE MUST BE SUPPLIED WITH A SEPARATE CIRCUIT
- RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO APPLIANCES RECEPTACLE BRANCH CIRCUITS MUST BE INSTALLED IN THE KITCHEN
- PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE (S)
- EVERY PANEL BOX MUST HAVE EACH CIRCUIT LABELED
- ARC-FAULT BRANCH CIRCUIT PROTECTION IS REQUIRED FOR ALL NON KITCHEN AREAS (LISTED IN 2014 NEC 210.12B)
- ELECTRICIAN TO REMOVE AND REPLACE ALL WIRING IN ACCORDANCE WITH CURRENT CURRENT CODE.
- NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL.
- RACEWAY SEAL REQUIRED FOR SERVICE ENTRANCE (NEC 2014 ART. 230.8 & 300.5)
- ALL OUTSIDE GFCI MUST BE PROTECTE BY A BULB DOOM COVER. (NEC 2014ART. 406.8(B)(1)
- ANY OUTLET IN LAUNDRY ROOM OPPOSITE TO LAUNDRY TUB MUST BE GFCI PROTECTED
- SMOKE DETETOR IN BASEMENT MUST BE LOCATED WITHIN 8' OF FURNACE AREA
- SMOKE DETECTORS IN DWELLING AREAS SHOULD BE LOCATED CLOSE TO DOOR OPENINGS
- MEANS OF DISCONNECT BOX MUST HAVE A BUILT IN GFCI OUTLET FOR SERVICING OF A.C. UNIT
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12 - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET
- TAMPERED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
- PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- UNDERGROUND ELECTRIC INSTALLATION GUIDELINES: NO EMT UNDERGROUND. USE SCHEDULE 80 PVC, RIGID METAL CONDUIT 90 OR ALL RIGID METAL ELECTRIC CONDUIT. INSTALL #12 MINIMUM EQUIPMENT GROUND WIRE WITH CIRCUITRY (EQUIPMENT GROUND SHALL MATCH CIRCUITRY WIRE SIZE) USE THWN WIRE

ELECTRIC KEY

	120 V. DUPLEX OUTLET		RECESSED LED
	220 V. OUTLET		CEILING INCAND.
	THERMOSTAT		PULL CHAIN
	DIMMER		FLUORESCENT
	DOOR BELL		WALL MOUNT INCAND.
	SINGLE POLE SWITCH		EXHAUST FAN
	SPEAKER OUTLET		SMOKE DETECTOR
	TELEPHONE OUTLET		LOCATION BY OWNER
	EXIT SIGN		EXISTING DEVICE
	TV ANTENNA OUTLET		REMOVE OF RELOCATE
	JUNCTION BOX		SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR		
	ETHERNET OUTLET		CAT OUTLET
	SPEAKER CONTROL		

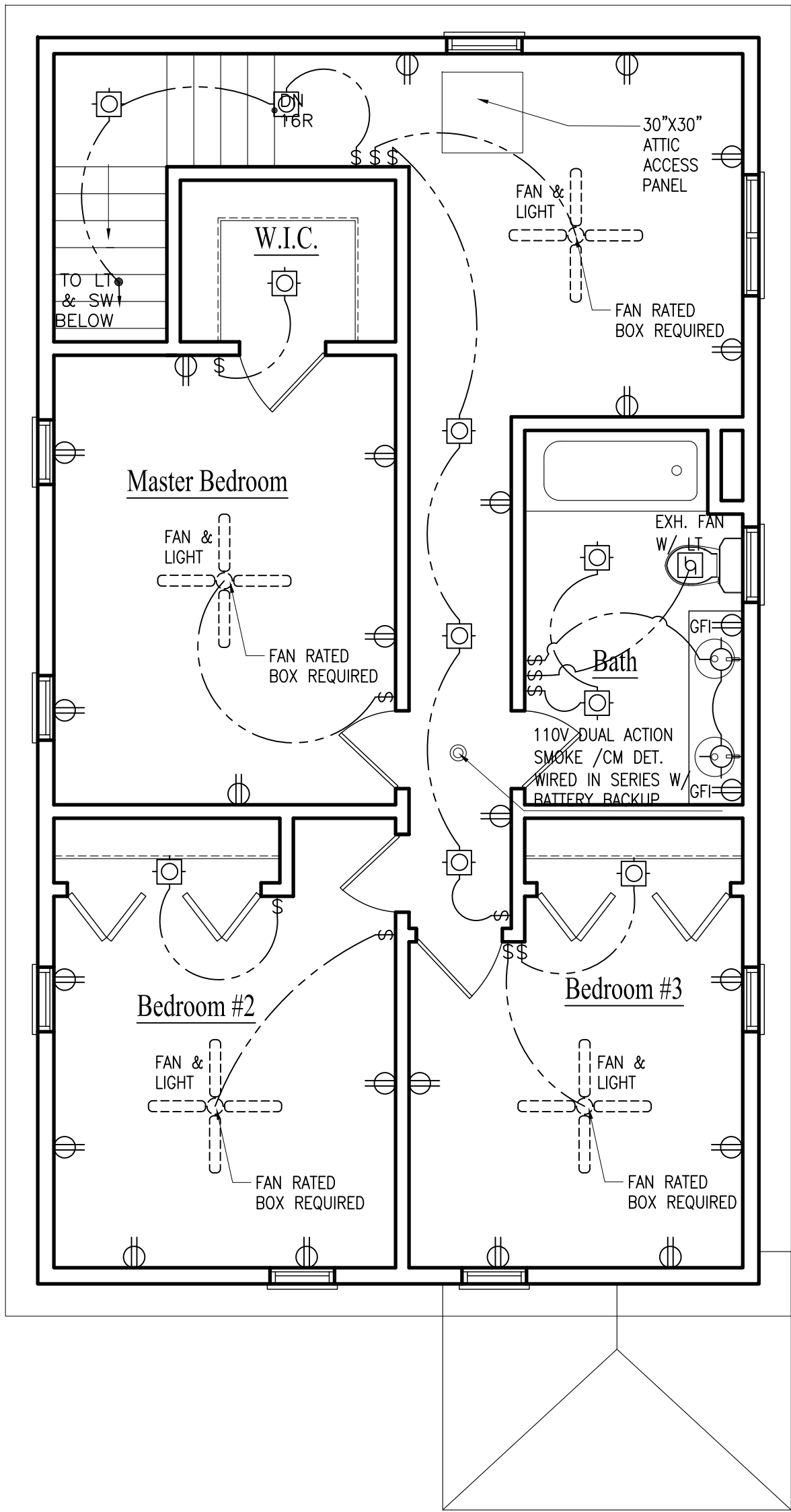
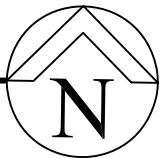
PROVIDE WALL SWITCH CONTROLLED LIGHT FIXTURE FLUORESCENTS IN ALL CLOSETS OVER 5 S.F. ALL

FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTUATION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN



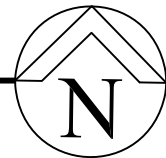
1ST FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



2ND FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: SECOND FLOOR ADDITION
7729 W HICKS STREET
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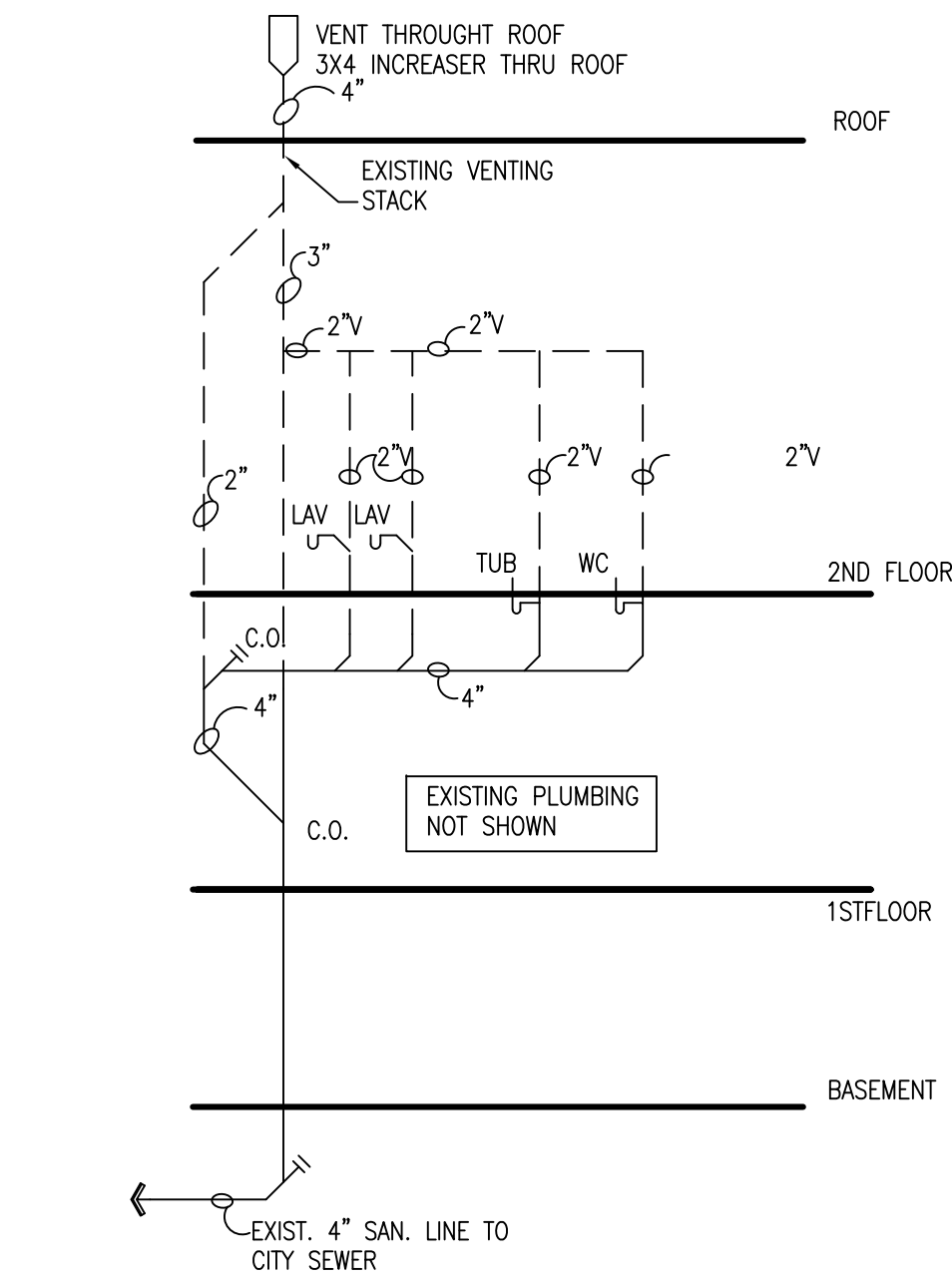
JOB NO. 20-083
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PLOT SCALE:1:1

OWNER APPROVAL

Signature _____
Date _____

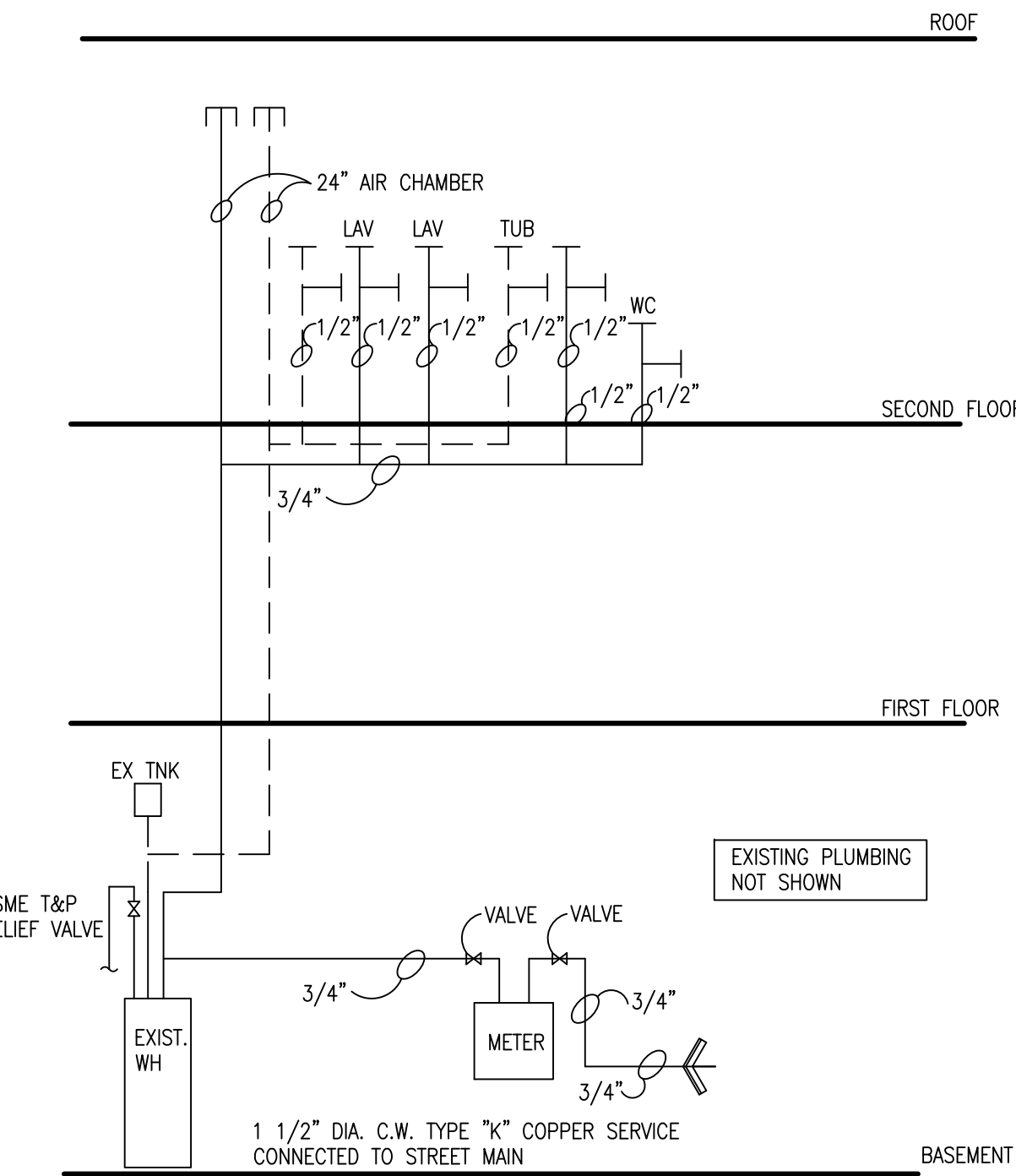
SHEET TITLE
BASEMENT, FIRST AND SECOND
FLOOR ELECTRICAL PLANS

SHEET NUMBER
A5



- ### PLUMBING GENERAL NOTES
- ALL PLUMBING, PIPING, VALVES, INSULATION AND INSTALLATION METHODS AND REQUIREMENTS: CONTRACTOR TO STRICTLY ADHERE TO CITY OF NAPERVILLE REQUIREMENTS AND INSTALLED PER APPLICABLE CODES. CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT FOR ANY DEVIATION.
 - ALL EXPOSED DOMESTIC WATER PIPING, HORIZONTAL STORM WATER PIPING SHALL BE INSULATED WITH AN APPROVED INSULATION.
 - DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER TUBING, WITH 95-5 SOLDER TIN ANTIMONY (NO LEAD) SOLDER JOINT CONNECTIONS. ALL FITTINGS WILL BE BRASS OR CASE BRONZE. INSULATE PIPING WITH 1/2" THICK INSULATION WITH ASJ JACKET
 - SANITARY, WASTE AND VENT PIPING SHALL BE APPROVED BY STATE CODES AND LOCAL AMENDMENTS AND BUILDING MANAGEMENT.
 - GATE VALVES AND CHECK VALVES SHALL BE BRONZE RATED AT 125 PSI WATER WORKING PRESSURE. INSULATION: PREMOLDED FIBERGLASS WITH VAPOR BARRIER. JACKET FOR HOT AND COLD WATER PIPING ONLY.
 - CONTRACTOR TO COMPLY WITH ALL STATE, LOCAL CODES ORDINANCES AND REGULATIONS
 - PLUMBING CONTRACTOR SHALL OBTAIN ANY INSPECTIONS, PERMITS REQUIRED DURING THIS CONTRACT.
 - PROVIDE FLOOR DRAIN ADJACENT TO WATER HEATER
 - ALL FIXTURES TO HAVE 12" AIR CHAMBERS TYP
 - ALL FIXTURES TO HAVE SHUT OFF VALVES
 - ALL LAVS TO HAVE 1 1/2" AIR GAP, SINKS TO HAVE 2 1/2" AIR GAP, TUBS TO HAV3" AIR GAP, WATER CLOSETS TO HAVE ANTISIPHON - TYPE WATER CLOSET FLUSH TANK BALL COCK
 - ALL SUPPLY PIPE TO BE COPPER OR COPPER-ALLOY TUBING(TYPE K, L OR M)

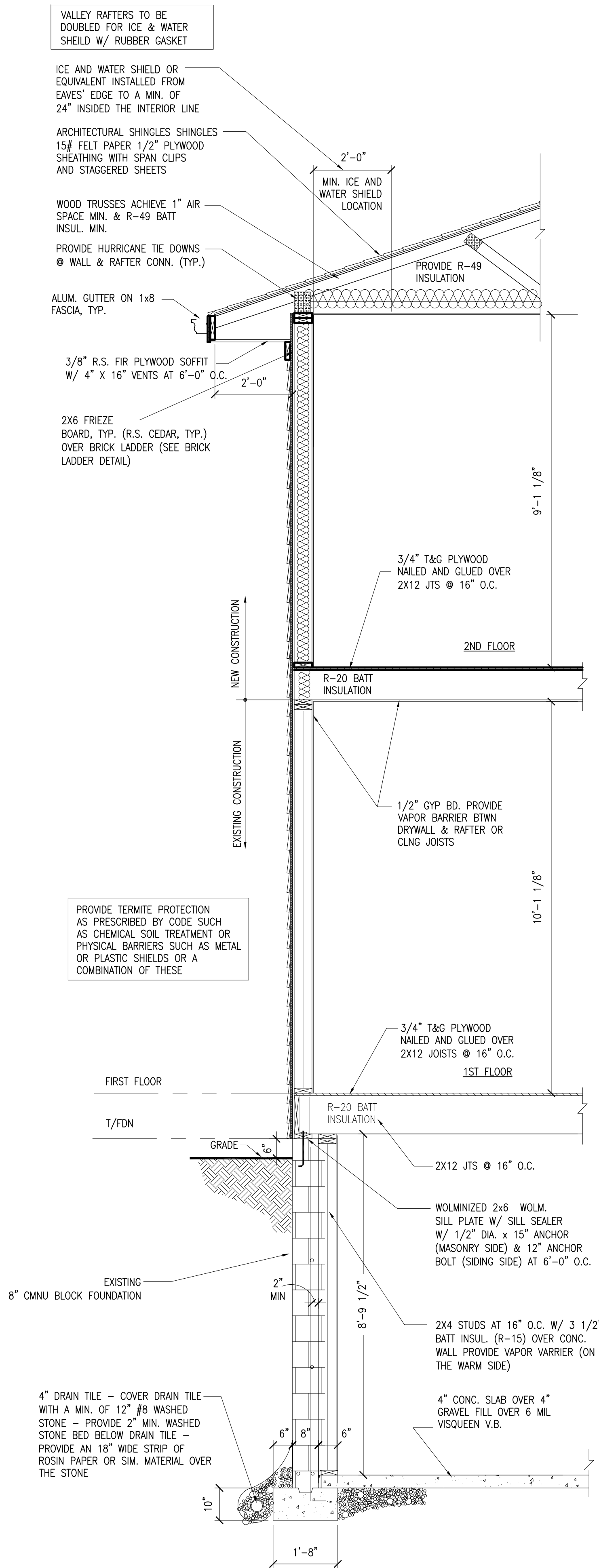
- ### PLUMBING CODE NOTES
- ALL WORK TO BE PERFORMED BY A LICENCED PLUMBER
 - REMOVE ILLIGAL PLUMBING MATERIALS, CONNECTIONS AND TERMINATIONS
 - REMOVE AND CAP PLUMBING CONNECTIONS TO ABANDONED BASEMENT KITCHEN - WATER SUPPLY SHALL BE CAPPED NO MORE THAN 2 FEET FROM CIRCULATING SUPPLY LINE. SANITARY SHALL BE ABANDONED NO MORE THAN 10 FEET FROM ACTIVE SANITARY LINE
 - REPLACE ALL "S" TYPE PLUMBING TRAPS WITH VENTED "P" TYPE PLUMBING TRAPS.



- PROVIDE 24" AIR CHAMBERS AT ALL RAISERS
- ALL SUPPLY PIPING TO BE HARD DRAWN COPPER ALL RISERS
- PROVIDE ANTI-SCALD VALES AT ALL TUB AND SHOWER LOCATIONS
- ALL FIXTURES TO HAVE 12" AIR CHAMBERS TYP.
- ALL FIXTURES SHALL HAVE SHUT VALVES
- ALL LAVS TO HAVE 1 1/2" AIR GAP, SINKS TO HAVE 2 1/2" AIR GAP, TUBS TO HAVE 3" AIR GAP, WATER CLOSETS TO HAVE ANTISIPHON-TYPE WATER CLOSET FLUSH TANK BALL COCK

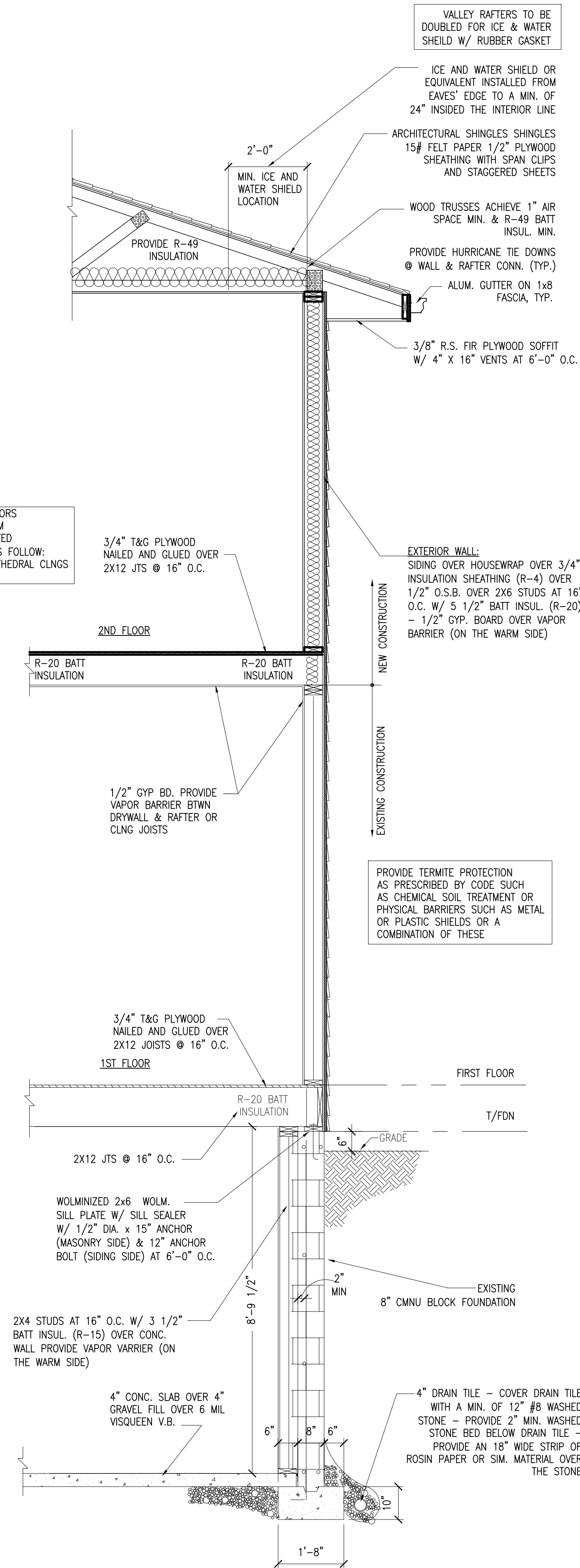
WATER SUPPLY DIAGRAM

SCALE: NTS



SECTION

SCALE: 1/2" = 1'-0"



ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: **SECOND FLOOR ADDITION**
7729 W HICKS STREET
WEST ALLIS , WI 53219
CLIENT: **LIR INVESTMENTS LLC**
262.271.5141

JOB NO. 20-083
DATE 03-11-21
FILE
PLOT SCALE

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
PLUMBING DIAGRAMS & SECTIONS

SHEET NUMBER
A6