

PROPOSED ALTERATIONS FOR:
LOUNGE 6500
WEST ALLIS, WISCONSIN

GENERAL NOTES :

THE FOLLOWING GENERAL AND SPECIFIC NOTES SHALL APPLY EQUALLY TO ALL CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS ENGAGED IN THE EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. THESE NOTES SUPPLEMENT, AND ARE MADE PART OF, THE CONTRACT DOCUMENTS.

ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE WITH DRAWINGS AND NOTES, STATE OF WISCONSIN BUILDING AND SAFETY CODES, AND COVERING LOCAL AND MUNICIPAL CODES. ALL CONTRACTORS SHALL INSURE FAMILIARITY WITH THE ABOVE ITEMS.

PLUMBING, HVAC, AND ELECTRICAL DESIGNS ARE NOT INCLUDED IN THIS SET. THIS DRAWING SET IS CONSIDERED TO BE DESIGN-BUILD, AND ANY REFERENCES TO MECHANICAL SYSTEMS OR LIGHTING LAYOUTS IS CONSIDERED TO BE A GUIDE ONLY. SUBMIT DESIGN LAYOUTS TO ARCHITECT AND OWNER FOR REVIEW.

PLUMBING, HVAC, AND ELECTRICAL CONTRACTORS SHALL SUBMIT DOCUMENTATION, CALCULATIONS, AND DATA TO THE STATE AND LOCAL AUTHORITIES FOR APPROVAL. PAY ALL FEES AND SECURE ALL PERMITS AND LICENSES APPLICABLE. SUBMIT PLUMBING, HVAC, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS TO THE ARCHITECT FOR REVIEW. PLUMBING, HVAC, AND ELECTRICAL DESIGN MUST PROVIDE A COMPLETE WORKING SYSTEM INCLUDING ALL FIXTURES AND EQUIPMENT AS SHOWN ON ARCHITECTURAL PLANS.

ELECTRICAL CONTRACTOR SHALL HAVE LIGHTING DESIGNER SUBMIT A LIGHTING PLAN FOR EMERGENCY EGRESS AND ENERGY CONSERVATION COMPLIANCE.

ALL CONTRACTORS SHALL INSPECT THE JOB SITE AND VERIFY ALL DATA PERTAINING TO THE BUILDING AND ITS RELATION TO THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTORS SHALL VERIFY DOCUMENTATION AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. CONTRACTORS SHALL CROSS CHECK DIMENSIONS AND ELEVATIONS BETWEEN ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. IF DISCREPANCIES EXIST IN DOCUMENTATION, THE BIDDER SHALL ASSUME THE GREATER QUANTITY, BETTER QUALITY, LARGER CAPACITIES, ETC., AND SHALL INCLUDE SAME IN THE BID PROPOSAL.

INFORMATION PREPARED BY OTHERS :

ARCHITECTS / PLANNERS SITE SURVEY INFORMATION, INCLUDING EXISTING GRADES, ELEVATIONS, UTILITIES, LOCATIONS OF EXISTING STRUCTURES, ROAD, WALKS, CURBS, ETC. ARE BASED ON SURVEY INFORMATION PREPARED BY OTHERS. ARCHITECTS/PLANNERS ACCEPTS NO RESPONSIBILITY FOR THE USE OF INFORMATION PREPARED BY OTHERS. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.

EACH CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND MAN-MADE STRUCTURES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES OR MAN-MADE STRUCTURES.

TEMPORARY PROTECTION :

PORTIONS OF THE EXISTING STRUCTURES WHERE EXISTING WORK IS TO BE REMOVED AND WHERE NEW WORK IS TO BE DONE SHALL BE TEMPORARILY PROTECTED. TEMPORARY PROTECTION SHALL BE SUCH THAT THE INTERIOR OF EXISTING STRUCTURES WILL AT ALL TIMES BE PROTECTED FROM DUST AND WEATHER INCLEMANCY. TEMPORARY OPENINGS IN EXTERIOR WALLS SHALL BE PROTECTED BY TEMPORARY WEATHERPROOF CLOSURES.

CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURES OR THEIR CONTENTS BY REASON OF THE INSUFFICIENCY OF SUCH PROTECTION.

PATCHING :

THE CONTRACTOR RESPONSIBLE FOR SUCH MATERIALS SHALL PATCH ALL SURFACES WITH PERSONS SKILLED IN SUCH WORK. PATCHING SHALL CONSIST OF REBUILDING THE AREA WITH THE SAME MATERIALS AS THE SURROUNDING SURFACES AND SHALL INCLUDE CLOSING OF EXISTING HOLES, OPENINGS, ETC., CAUSED BY THE REMOVAL OR RELOCATION OF EXISTING PIPING, DUCTS, CONDUIT, OR EQUIPMENT.

CONTRACTOR BUILDING A SURFACE PATCHES FOR ALL TRADES PENETRATING THAT SURFACE. ALL NEW AND DISTURBED SURFACES SHALL BE PAINTED, UNLESS PREFINISHED. FOR PATCHED SURFACES, EXTEND NEW PAINTED AREA TO NEAREST ADJACENT WALL.

CLEANING :

ALL ADJACENT PROPERTY AND AREAS SHALL BE PROTECTED AND IF DAMAGED SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER.

ALL CONTRACTORS SHALL DAILY CLEAN ALL DEBRIS AND LEAVE THE CONSTRUCTION AREA AND SURROUNDING AREA IN SUCH A CONDITION AS TO ELIMINATE INTERFERENCE AND HAZARD.

CLEAN ANY DRIPS, SPILLS, OR OVER SPRAY.

DEMOLITION :

INCLUDE THE DEMOITION AND REMOVAL OF EXISTING STRUCTURES AS INDICATED ON THE DRAWINGS AND AS REQUIRED. PROMPTLY REPAIR ALL DAMAGES TO THE EXISTING UTILITIES CAUSED BY THE WORK OR AS DIRECTED BY THE ARCHITECT AND AT NO COST TO THE OWNER

ALL EQUIPMENT AND MATERIALS AND ALL DEBRIS RESULTING FROM THE DEMOLITION AND REMOVAL WORK SHALL BE COMPLETELY REMOVED FROM THE SITE. SUCH REMOVAL SHALL BE DONE FROM TIME TO TIME AS DEMED NECESSARY OR AS DIRECTED TO KEEP THE PREMISES IN A NEAT, ORDERLY AND SAFE CONDITION SO AS NOT TO INTERFERE WITH THE PROGRESS OF THE WORK OR THE SAFETY OF WORKERS OR OTHERS.

LANDSCAPING :

PROVIDE LANDSCAPING AS INDICATED ON THE DRAWINGS, INCLUDING THE SPREADING AND GRADING OF TOPSOIL, LAWN AND GROUND COVER, AND PLANTING OF TREES AND SHRUBS. CREATE MULCH BEDS AT SHRUB AREAS.

MULCH: PROVIDE MINIMUM 3" DEPTH OF WOOD CHIPS 3/4"-1 1/2" IN SIZE OVER A GEO-TEXTILE POROUS FABRIC WEED BARRIER AT PLANTING BEDS.

SHRUBS SHALL BE BALLED AND BURLAPED; SIZES AS INDICATED ON DRAWINGS.

GUARANTEE: LANDSCAPE WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE.

WATER ALL LANDSCAPING UNTIL OCCUPANCY BY OWNER.

FOUNDATION NOTES :

ALL FOOTINGS AND CONCRETE SLABS SHALL REST ON FIRM UNDISTURBED SOIL WITHOUT ORGANIC MATERIAL OR ON APPROVED ENGINEERED FILL COMPACTED TO 95% OF MAXIMUM OPTIMUM DENSITY. VERIFY SOIL BEARING PRESSURE AND REPORT TO THE ARCHITECT BEFORE PAVING FOOTINGS. IF EXCAVATION SHOULD INDICATE A SAFE SOIL BEARING CAPACITY OF LESS THAN THE DESIGN VALUES AT FOOTING DEPTH INDICATED ON THE DRAWINGS, THE ARCHITECT AND/OR SOILS ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND THE FOUNDATION REVISED TO MEET THIS CONDITION.

THE COMPACTED FILL MATERIALS SHALL BE FREE OF DELETERIOUS, ORGANIC, OR FROZEN MATTER, SHALL CONTAIN NO CHEMICALS THAT MAY RESULT IN THE MATERIAL BEING CLASSIFIED AS "CONTAMINATED", AND SHALL BE LOW-EXPANSIVE WITH A MAXIMUM LIQUID LIMIT (ASTM D 423) AND PLASTICITY INDEX (ASTM D 424) OF 30 AND 15, RESPECTIVELY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP 12 INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM 3 INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM 6 INCH DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D 2487).

INSPECTION OF ALL FOOTING EXCAVATION AND FILL OPERATIONS BY SOILS ENGINEER SHALL BE PAID FOR BY OWNER. OVERDIGGING AND STRUCTURAL FILL AS REQUIRED SHALL BE PERFORMED AT DIRECTION OF SOILS ENGINEER AND ARCHITECT. EXCAVATION AND FOUNDATION CONTRACTOR SHALL PROVIDE UNIT PRICES FOR SUCH WORK.

WHERE FILL IS REQUIRED ON (2) SIDES OF FOUNDATION WALLS, IT SHALL BE PLACED SIMULTANEOUSLY. ALL ORGANIC TOP SOIL AREAS MUST BE REMOVED FOR SLABS ON GRADE AND REPLACED WITH CRUSHED STONE OR WELL ROLLED BANK RUN GRAVEL FILL COMPACTED IN 6" LAYERS.

GRANULAR FILL :

THE SELECT GRANULAR FILL USED TO RAISE GRADES SHALL CONFORM TO SECTION 209

GRAD NO. 2, WITH THE EXCEPTION THAT THE MAXIMUM SIZE OF ANY GRAVEL, CRUSHED STONE OR OTHER FRAGMENTED MATERIAL SHALL BE OF SUCH SIZE THAT 100% PASSES THE #3 SIEVE.

THE MATERIAL USED AS GRANULAR FILL MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER. THE DEPTH, PLACEMENT, AND COMPACTION MUST ALSO BE VERIFIED DURING CONSTRUCTION BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER.

CONCRETE :

WHERE SANITARY AND STORM SEWERS RUN BELOW THE LEVEL OF THE FOOTINGS THEY SHALL BE PROTECTED BY A 6" THICK CONCRETE ENVELOPE. CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL UNLESS OTHERWISE NOTED. REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES", LATEST EDITION. REINFORCING STEEL SHALL BE OF ASTM GRADE REQUIRED IN SECTION 1 WITH DEFORMATIONS COMPLYING WITH ASTM A 305, LATEST EDITION.

MINIMUM STEEL COVERAGE: 1" FROM BOTTOM AND TOP OF INTERIOR SLABS: 3" FROM BOTTOM AND SIDES OF ALL FOOTINGS: 2" CLEAR FROM THE SIDES IN ALL CONCRETE BEAMS. WHERE REINFORCING IS CALLED FOR IN A CERTAIN PORTION OF THE BUILDING, IT SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

SLABS ON GRADE SHALL HAVE MINIMUM 6 X 6, W1.4 X W1.4 W.W.F. REINFORCING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF 6". PROVIDE SAW CUT CONTROL JOINTS AT 12' O/C. PROVIDE ISOLATION JOINTS AT STRUCTURAL STEEL COLUMNS.

ASPHALT FIBERGLASS SHINGLES :

FURNISH AND INSTALL 30 YEAR CLASS A RATED TABLESS ARCHITECTURAL SHINGLES WITH A LAYER OF 15# ASPHALT IMPREGNATED FELT. PROVIDE (2) ROWS OF GRACE ICE AND WATER SHIELD AT EAVES AND VALLEYS. INSTALL A BOSTON RIDGE WITH PROTECTED NAILING.

2nd FLOOR WINDOWS :

WINDOW AND PATIO DOOR DESIGNATIONS ON THE DRAWINGS REFER TO CLAD PRODUCTS WITH DOUBLE GLAZING AND LOW E COATINGS WITH A MINIMUM U-FACTOR OF .32. ANDERSEN SERIES 400 OR APPROVED EQUAL FINISHES AND COLORS AS SELECTED BY OWNER.

WOOD AND PLASTICS :

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. CARPENTER CONTRACTOR TO PROVIDE WOOD BLOCKING FOR ATTACHMENT OF CABINETS, COUNTERS, CASEWORK, H.V.A.C., BASE AND SIMILAR ITEMS - VERIFY ALL REQUIREMENTS WITH MILLSHOP, MECHANICAL & ELECTRICAL CONTRACTORS, INTERIOR DESIGN FIRM AND OTHERS.

WOOD DOORS SHALL HAVE PLAIN SLICED RED OAK VENEERS.

THERMAL, MOISTURE & ACOUSTIC PROTECTION

PERIMETER FOUNDATION INSULATION - 2" EXTRUDED POLYSTYRENE.

ROOF INSULATION - SEE WALL SECTION

EXTERIOR WALL INSULATION - SEE WALL SECTIONS

PROVIDE 3 1/2" "NOISE BARRIER" SOUND BATT INSULATION WHERE INDICATED, AND AT TOILET ROOM PARTITIONS.

PROVIDE 6 MIL. VAPOR BARRIER AT UNDERSIDE OF ALL INTERIOR FLOOR SLABS

HARDWARE :

COORDINATE THE KEY AND LOCK SCHEDULE WITH THE OWNER. ALL HARDWARE SHALL BE ADA ACCESSIBLE. (LEVER HANDLES) COORDINATE HARDWARE COLORS AND FINISHES WITH THE OWNER.

FINISHES :

ALL DRYWALL SHALL RECEIVE CORNER BEADS, EDGE CAPS, TRIM PIECES, ETC.. SURFACES SHALL BE TAPED, FILLED AND SANDED AND SHALL RECEIVE SPRAYED SAND COAT PRIMER. MINIMUM OF (2) COATS PAINT FINISH WHERE PAINT FINISH IS INDICATED.

PROVIDE U.S.G. BRAND "DUROCK" INTERIOR CEMENT BOARD AS CERAMIC TILE WALL SUBSTRATE. PROVIDE TYPE "X" DRYWALL AT FIRE RATED PARTITIONS.

SPECIALTIES :

PROVIDE FIRE EXTINGUISHERS THROUGHOUT AS PER SECTION 906 OF THE INTERNATIONAL FIRE CODE. TOILET PARTITIONS SHALL BE FLOOR MOUNTED OVERHEAD BRACED 20 GAGE BONDERIZED GALVANIZED STEEL PANELS WITH 22 GAGE DOORS, COMPLETED WITH HINGES, STOPS, KEEPERS, COAT HOOKS AND PAPER HOLDERS. FINISH TO BE BAKED ENAMEL.

PROVIDE ADA APPROVED TOILET ACCESSORIES.

ALL CLOSETS SHALL HAVE (1) ROD AND (1) SHELF EACH UNLESS NOTED OTHERWISE.

EQUIPMENT :

VERIFY EXACT LOCATION & COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS. ALL SERVICE EQUIPMENT, HOISTS, ETC. ARE BY OWNER.

FOOD PREPARATION AREAS:

THE TENANT IS RESPONSIBLE FOR HEALTH DEPARTMENT SUBMITTALS AND APPROVALS. FOOD PREPARATION AREA PLANS SHALL BE REVIEWED BY THE LOCAL OR STATE HEALTH DEPARTMENTS FOR LOCATION OF SINKS, AND SANITARY FLOOR AND WALL SURFACES. SUBMITTALS MAY INCLUDE FLOOR PLAN, EQUIPMENT CUT SHEETS, AND EXAMPLE MENU. NO WORK SHOULD BE STARTED PRIOR TO HEALTH DEPARTMENT APPROVAL.

SERVICE COUNTER: 36" MAX. HEIGHT X 36" MIN. LENGTH.

EXHAUST HOOD SHALL BE SEPARATED FROM COMBUSTIBLE MATERIALS WITHIN 18" OF ALL SIDES. PROVIDE A SMOOTH, CLEANABLE AND NONABSORBENT SURFACE BETWEEN HOOD AND DRYWALL BACKER SURFACES.

EXHAUST HOOD AND WATER HEATER DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR APPROVAL.

ALL WALLS AT PREP AREAS AND SINKS SHALL BE FRP OR EQUIVALENT.

ALL HAND SINKS SHALL BE OTHER THAN HAND OPERATED - USE WRIST BLADES OR ELECTRONIC EYES.

ALL STORAGE SHELVES SHALL BE NSF APPROVED WIRE RACK SHELVING.

NO WORK SHOULD BE STARTED PRIOR TO HEALTH DEPT. APPROVAL.

WOOD FRAME LATERAL BRACING:

COMPLY WITH THE WALL BRACING REQUIREMENTS PER THE WISCONSIN UDC COMM SECTION 21.25 (8) USING 1/2" OSB STRUCTURAL PANELS OR LET-IN BRACING WITH STUDS AT 16" O/C IN ACCORDANCE WITH THE MINIMUM FASTENER SCHEDULE TABLE IN THE APPENDIX AND FIGURE 21.25-G FOR CORNER DETAILS.

SHEET INDEX :

- 1 COVER SHEET, INDEX, SPECIFICATIONS, DATA, VICINITY MAP
- 2 SITE PLAN
- 3 1st & 2nd FLOOR DEMO PLANS
- 4 1st & 2nd FLOOR PLANS
- 5 1st & 2nd FURNITURE PLANS
- 6 BASEMENT & ATTIC PLANS
- 7 EXTERIOR ELEVATIONS
- 8 WALL SECTIONS

SITE & BUILDING DATA: 2015 IBC

PROJECT DESCRIPTION: REMODEL 1ST FLOOR A-2 ASSEMBLY OCCUPANCY, TO INCLUDE NEW FIRE RATED STAIR ENCLOSURE, ADA TOILETS, AND ACCESSIBILITY RAMP, AND CONVERT EXISTING 2ND FLOOR ROOMING HOUSE TO A UDC SINGLE DWELLING UNIT IN COMBINATION WITH A SINGLE BUSINESS TENANT PER UDC COMMENTARY 320.04(6).

SITE AREA: 5399.7 S.F. (.12 ACRES)

BUILDING AREA: 2060 BAS + 2060 FLR1 + 2060 FLR2 = 6180 S.F. TOTAL

REMODELED AREA: 144 x 4 ADDITION + 1100 FLR1 REMODEL + 2060 FLR2 REMODEL = 3736 S.F.

ADA DISPROPORTIONALITY IMPROVEMENTS: FLR1 TOILETS & RAMP

ALTERATION LEVEL:

LEVEL 3 - ALTERATIONS INVOLVING MORE THAN 50% OF THE AGGREGATE BUILDING AREA.

TYPE OF CONSTRUCTION: TYPE VB - WOOD FRAME

ALLOWABLE AREA: NO CHANGE

OCCUPANCY SEPARATION PER TABLE 508.4 - GROUP A TO GROUP R NONSPRINKLERED - 2 HOUR

RATED ENCLOSURES: 2 HOUR RATED STAIR ENCLOSURE SERVING 4 LEVELS

1ST FLOOR - ASSEMBLY GROUP A-2

SPRINKLER ANALYSIS PER IBC 903.2

- < 5000 S.F., < 100 PERSONS, AT DISCHARGE LEVEL - SPRINKLER NOT REQUIRED

OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-2

ASSEMBLY AREA POSTED MAXIMUM OCCUPANT LOAD PER 1004.3: 99 PERSONS

OCCUPANT LOAD WORKSHEET DATA:

KITCHEN: 219/200 = 1.09

ASSEMBLY: 1000/15 66.66

TOTAL OCCUPANTS: 68 PERSONS (ACTUAL POSTED AT 99)

REQUIRED EGRESS WIDTH: 99 x .2 = 19.8 INCHES (ACTUAL = 72 INCHES)

EGRESS DISTANCE: 200' PER TABLE 1017.2

SANITARY WORKSHEET DATA PER TABLE 2902.1 - GOOD FOR 150 TOTAL PERSONS

SERVICE SINK - IN KITCHEN

DRINKING WATER - WATER SERVED

MEN - 1 WC, 1 URINAL, 1 LAV.

WOMEN - 1 WC, 1 LAV.

FIRE EXTINGUISHERS: 75' MAX. DISTANCE

ASSEMBLY - (1) 2A PER 3000 S.F.

ASSEMBLY SEATED DINING: PROVIDE DINING SURFACE AT 28" TO 34" HGT. & 30" X 40" CLEAR

FLOOR SPACE WITH 27" HIGH KNEE & 9" TOE CLEARANCES FOR FORWARD APPROACH.

2ND FLOOR - UDC DWELLING UNIT

SPRINKLER ANALYSIS: SPRINKLER NOT REQUIRED FOR UDC UNIT

SPS 321.03(2)B EGRESS WINDOWS MAY BE PROVIDED IN EACH BEDROOM AS 2ND EXIT

ALLOWABLE DESIGN STRESSES & PRESSURES

SOIL PRESSURE (PRESUMED) Pt = 2,000 PSF

CONCRETE (28 DAYS) Fc = 3,000 PSI

FLATWORK (28 DAYS) Fc = 4,000 PSI

REINFORCING STEEL (A 615-60) Fy = 60,000 PSI

FRAMING LUMBER

PTW SOUTHERN PINE NO. 2 E = 1,600,000 PSI

2 x 6 Fb = 1,440 PSI

2 x 8 Fb = 1,380 PSI

2 x 10 Fb = 1,210 PSI

LV L BEAMS ----- E = 2,000,000 PSI

Fb = 3,100 PSI

ROOF LOADS :

LIVE LOAD 30 PSF

DEAD LOAD 10 PSF

COLLATERAL LOAD 3 PSF

TOTAL LOAD 43 PSF

2ND FLOOR & ATTIC FLOOR

LIVE LOAD 40 PSF

DEAD LOAD 10 PSF

COLLATERAL LOAD 3 PSF

TOTAL LOAD 53 PSF

proposed alterations for:

LOUNGE 6500
6500 W. GREENFIELD AVE.
WEST ALLIS, WISCONSIN

ARCHITECTS/PLANNERS, S.C.

8414 W. LAPHAM ST.
West Allis, Wisconsin 53214
(414) 258-9995

REVISIONS

DRAWN
JEH
DATE
8-12-22
JOB NO.
22012
SHEET

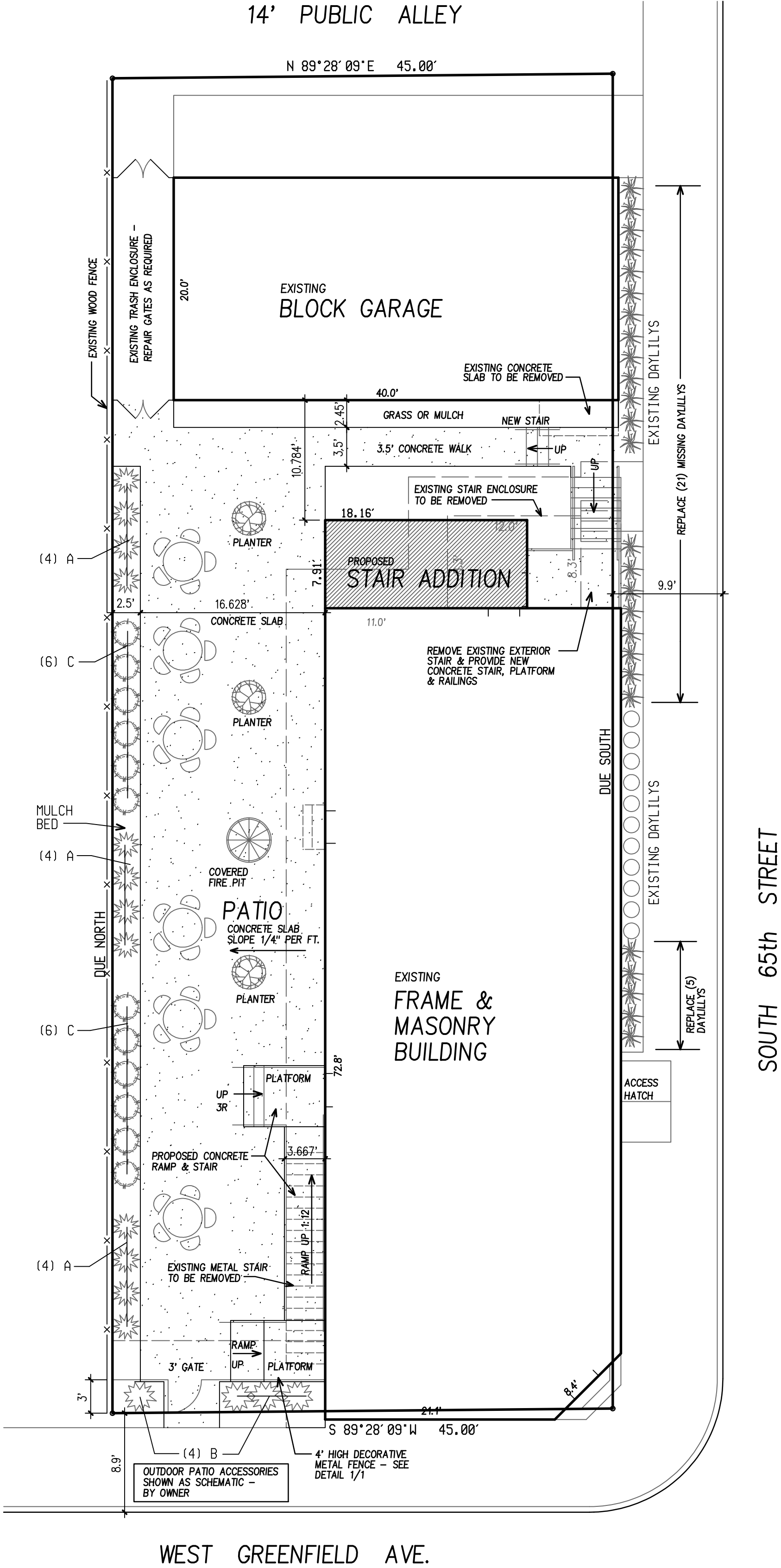
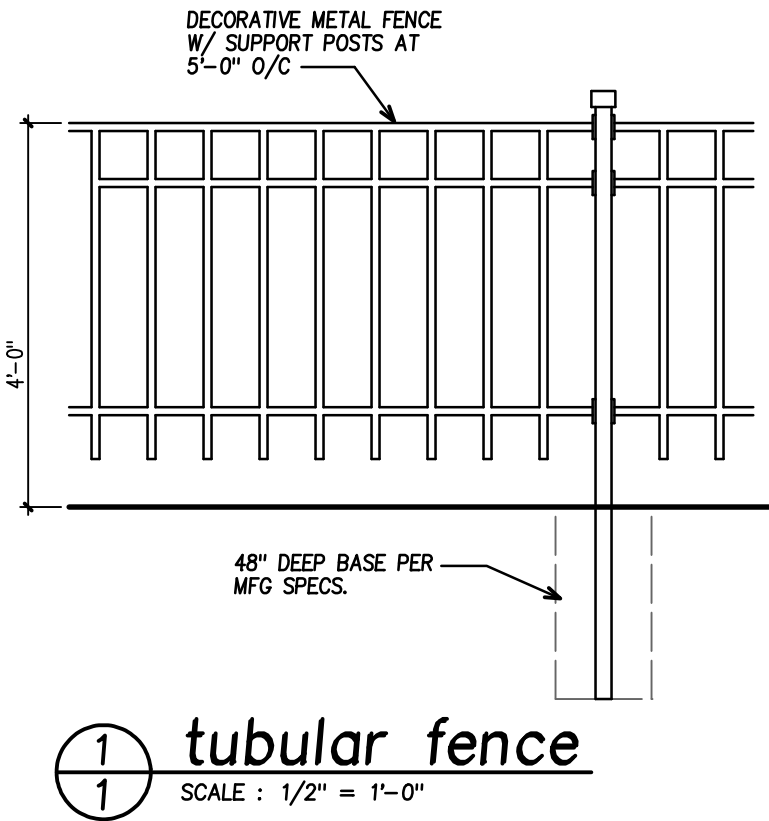
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landscape schedule

MARK	BOTANICAL / COMMON NAME	SIZE	ROOT	CONDITION	QTY.	UNIT COST	TOTAL COST
A	KARL FOERSTER FEATHER REED GRASS / <i>Calamagrostis acutiflora</i> 'Karl Foerster'	2 GAL	POT	NEW	12	\$35	\$420
B	BOBO HYDRANGEA paniculata 'Ivobo'	24"	POT	NEW	12	\$50	\$600
C	LITTLE LIME HYDRANGEA paniculata 'little lime'	24"	POT	NEW	4	\$45	\$180
D	DAYLILY 'STELLA D'ORO' Hemerocallis	2 GAL	POT	NEW	26	\$25	\$650
TOTAL TREES & SHRUBS							\$1850

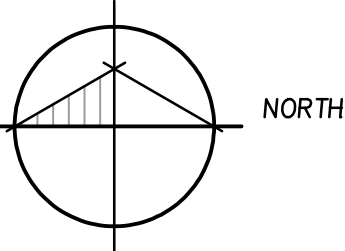
preliminary site improvements cost schedule

MATERIALS	QUANTITY	UNIT	UNIT COST	TOTAL
SHRUBS	PER SCHEDULE			\$1850
INSTALLATION LABOR / PLANT			\$20 x 54	\$1080
FENCING (6' HIGH - DECORATIVE METAL = \$40/L.F.)	-	20 L.F.	\$40	\$800
BARK MULCH (3" AT SHRUB AREAS)	-	4 C.Y.	\$47.00	\$188
SUBTOTAL				\$3918
GENERAL CONDITIONS @ 7.5 %				\$294
OVERHEAD & PROFIT @ 20 %				\$784
GRAND TOTAL				\$4996
CITY BOND: 1.25 X 4996 =				\$6245.00



site plan

SCALE: 1/8" = 1'-0"

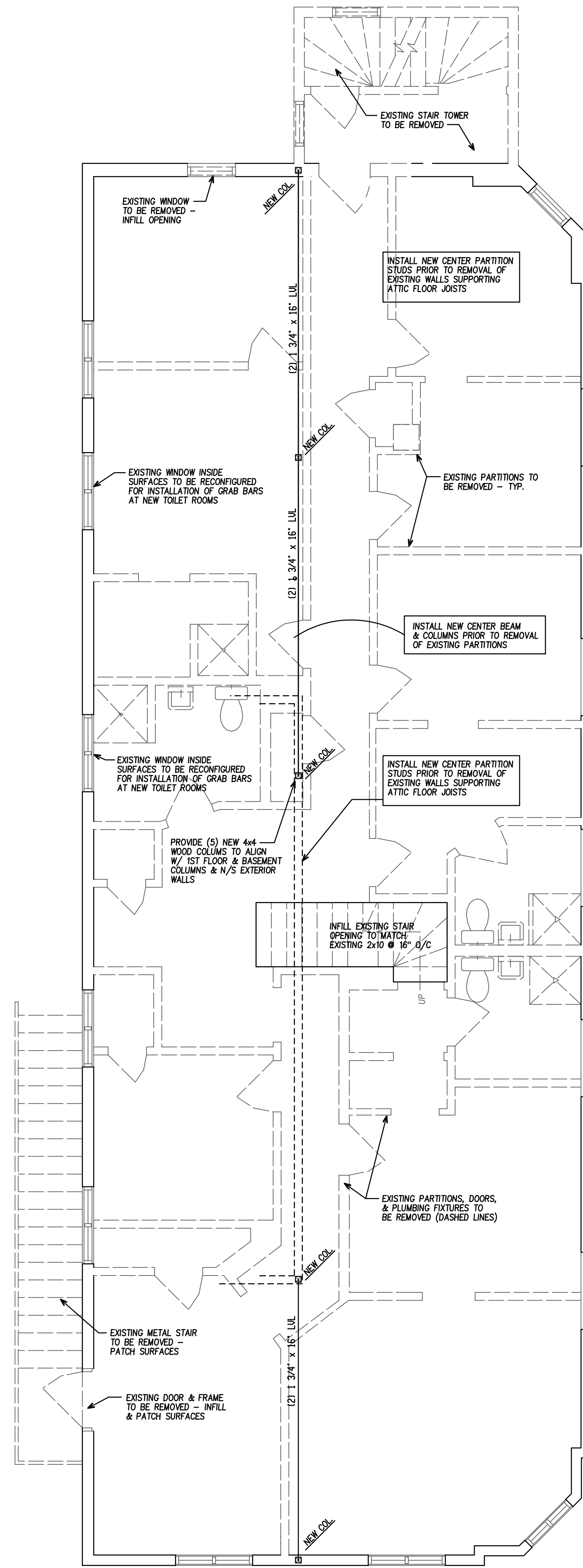


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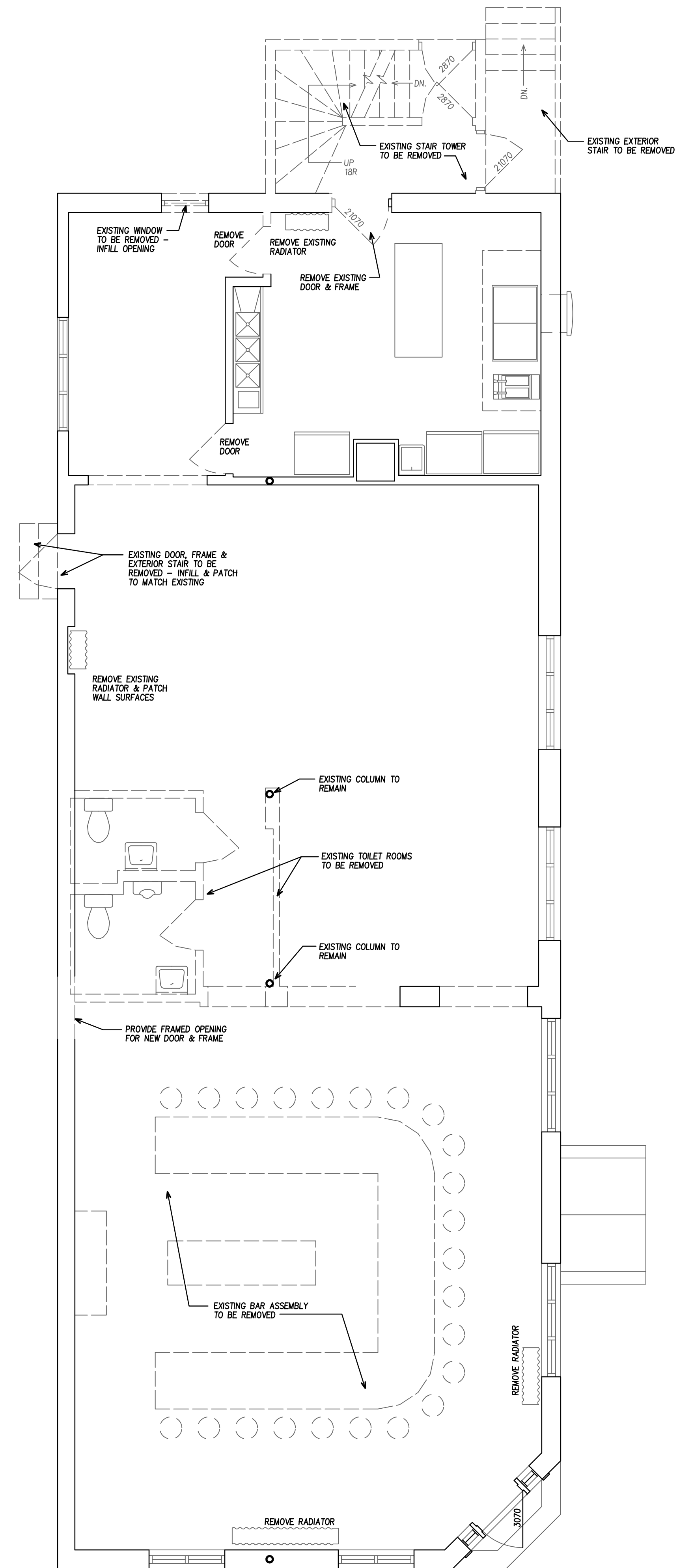
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REVISIONS



2nd floor demo plan

SCALE: 1/4" = 1'-0"



1st floor demo plan

SCALE: 1/4" = 1'-0"



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3

room finish schedule

MK.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HGT.	REMARKS
100	STAIR					VARIABLES	-
101	MEN	CERAMIC T.	4" C.T.	W.R.D.W.	VINYL ROCK	8'	-
102	WOMEN	CERAMIC T.	4" C.T.	W.R.D.W.	VINYL ROCK	8'	-
201	KITCHEN	VCT	4" VINYL	D.W.	DRYWALL	9'-2"	-
202	DINING	VCT	4" VINYL	D.W.	DRYWALL	9'-2"	-
203	LIVING ROOM	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
204	BEDROOM 1	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
205	BEDROOM 2	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
206	M. BEDROOM	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
207	M. BATH	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
208	CLOSET	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
209	CORRIDOR	CARPET	4" VINYL	D.W.	DRYWALL	9'-2"	-
210	BATH	CERAMIC T.	4" C.T.	D.W.	DRYWALL	9'-2"	-
211	POWDER	CERAMIC T.	4" C.T.	D.W.	DRYWALL	9'-2"	-

WALLS WITHIN 2' OF URINALS AND WATER CLOSETS TO A HEIGHT OF 4' SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE (WATER RESISTANT DRYWALL W/ SATIN ENAMEL FINISH)
PROVIDE ALLOWANCE FOR TOILET ROOM ACCESSORIES.

door schedule

ALL NEW HARDWARE SHALL BE ADA COMPLIANT

MK.	SIZE	MATERIAL	FINISH	FRAME	LABEL	REMARKS
B1	3'-0" x 7'-0" x 1 3/4"	H.M.	PAINT	H.M.	'B'	PASSAGE SET, CLOSER
01	3'-0" x 7'-0" x 1 3/4"	H.M.	PAINT	H.M.	'B'	LOCKSET, CLOSER
02	3'-0" x 7'-0" x 1 3/4"	H.M.	PAINT	H.M.		LOCKSET, CLOSER, WEATHERSTRIPPING, THRESHOLD
03	3'-0" x 7'-0" x 1 3/4"	ALUM.	ANODIZED	ALUM.		LOCKSET, CLOSER, WEATHERSTRIPPING, THRESHOLD
04	3'-0" x 7'-0" x 1 3/4"	WOOD	ST. & V.	H.M.		PUSH/PULL, CLOSER, ADA SIGNAGE
05	3'-0" x 7'-0" x 1 3/4"	WOOD	ST. & V.	H.M.		PUSH/PULL, CLOSER, ADA SIGNAGE
06	3'-0" x 7'-0"	PLASTIC	PREF.	H.M.		DOUBLE SWING IMPACT DOOR
20	3'-0" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	H.M.	'B'	LOCKSET, CLOSER
21	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PRIVACY LOCK
22	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PRIVACY LOCK
23	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PASSAGE SET
24	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PASSAGE SET
25	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PRIVACY LOCK
26	2'-8" x 6'-8" x 1 3/4"	S.C. WOOD	ST. & V.	WOOD		PRIVACY LOCK

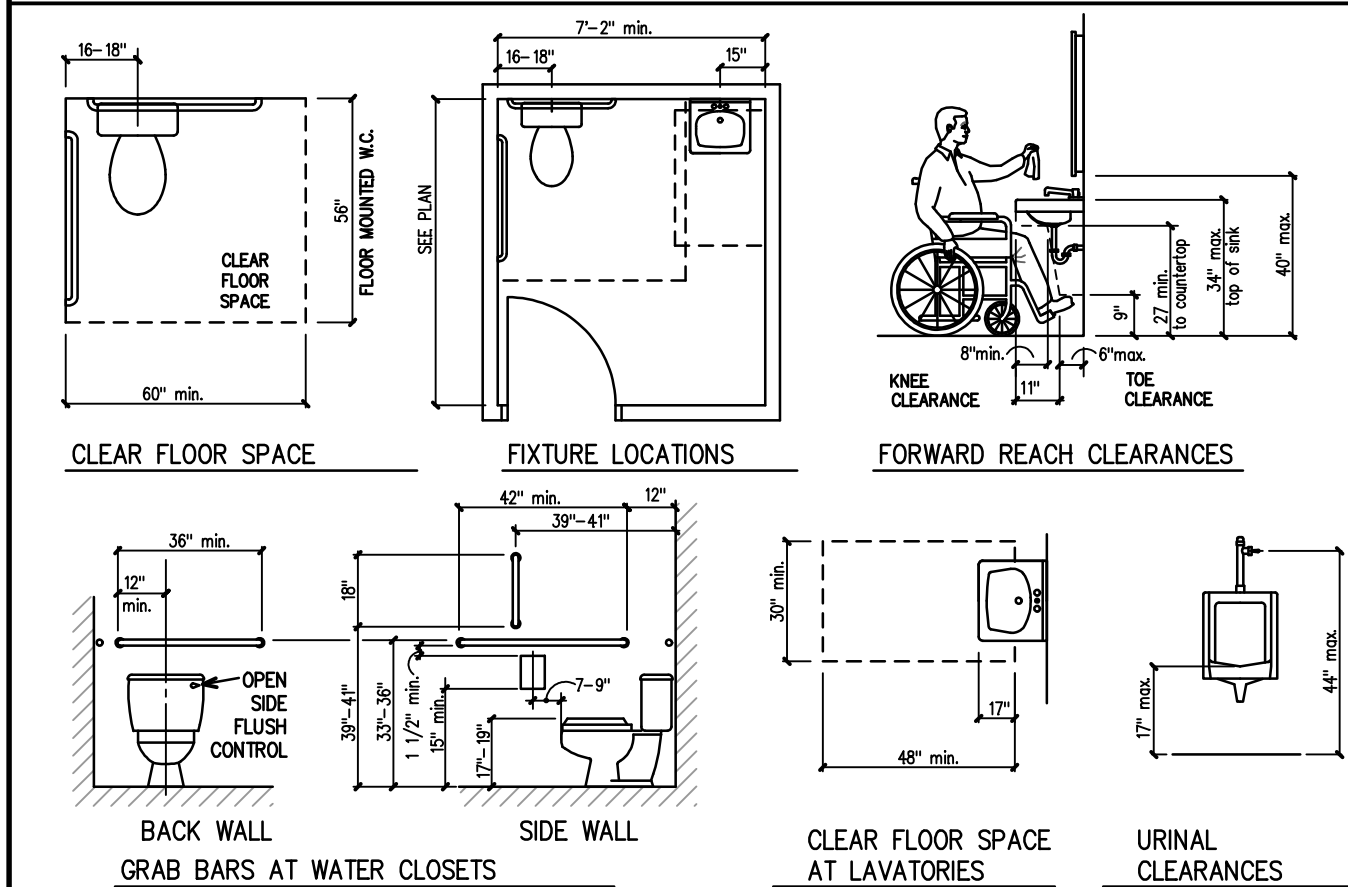
plan legend

- NEW DOOR
EXISTING DOOR TO REMAIN
EXISTING PARTITION TO REMAIN
EXISTING PARTITION OR DOOR TO BE REMOVED
NEW PARTITIONS -
STD. PARTITION
HALF WALL
WET WALL
2 HOUR WALL
- 2 X 4 WOOD STUDS AT 16" O/C W/ 5/8" DRYWALL EACH SIDE TO UNDERSIDE OF CEILING JOISTS
2 X 4 WOOD STUDS AT 16" O/C W/ 5/8" DRYWALL EACH SIDE TO 42" A.F.F. - PROVIDE TOP OAK PLATE & TRIM
2 X 6 WOOD STUDS AT 16" O/C W/ 5/8" W.R. DRYWALL EACH SIDE TO UNDERSIDE OF CEILING JOISTS
2 X 4 WOOD STUDS AT 16" O/C W/ (2) LAYERS 5/8" TYPE 'X' DRYWALL EACH SIDE - 2 HOUR RATED PARTITION PER FM WP 360
- PROVIDE WATER RESISTANT DRYWALL AT WET TOILET AREAS
-PROVIDE SOUND BATT INSULATION AT TOILET ROOM WALLS
-FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS
-PROVIDE TOILET ROOM ACCESSORIES, TO INCLUDE GRAB BARS, PAPER HOLDERS, 24" X 36 MIRROR, TOWEL DISPENSER, AND SOAP DISPENSER.

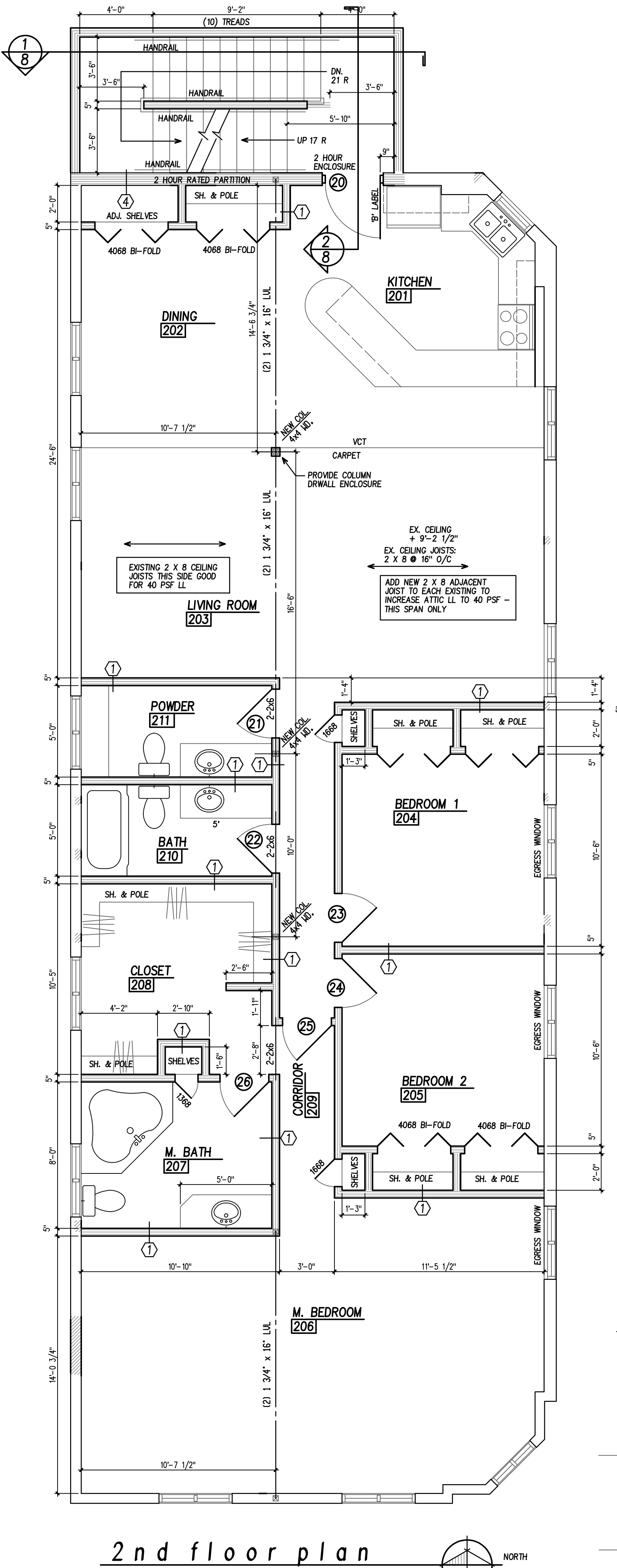
disproportionality

- WOMEN 101 - NEW ADA ACCESSIBLE TOILET
- MEN 102 - NEW ADA ACCESSIBLE TOILET
- NEW EXTERIOR ADA ACCESSIBLE RAMP

ada standards

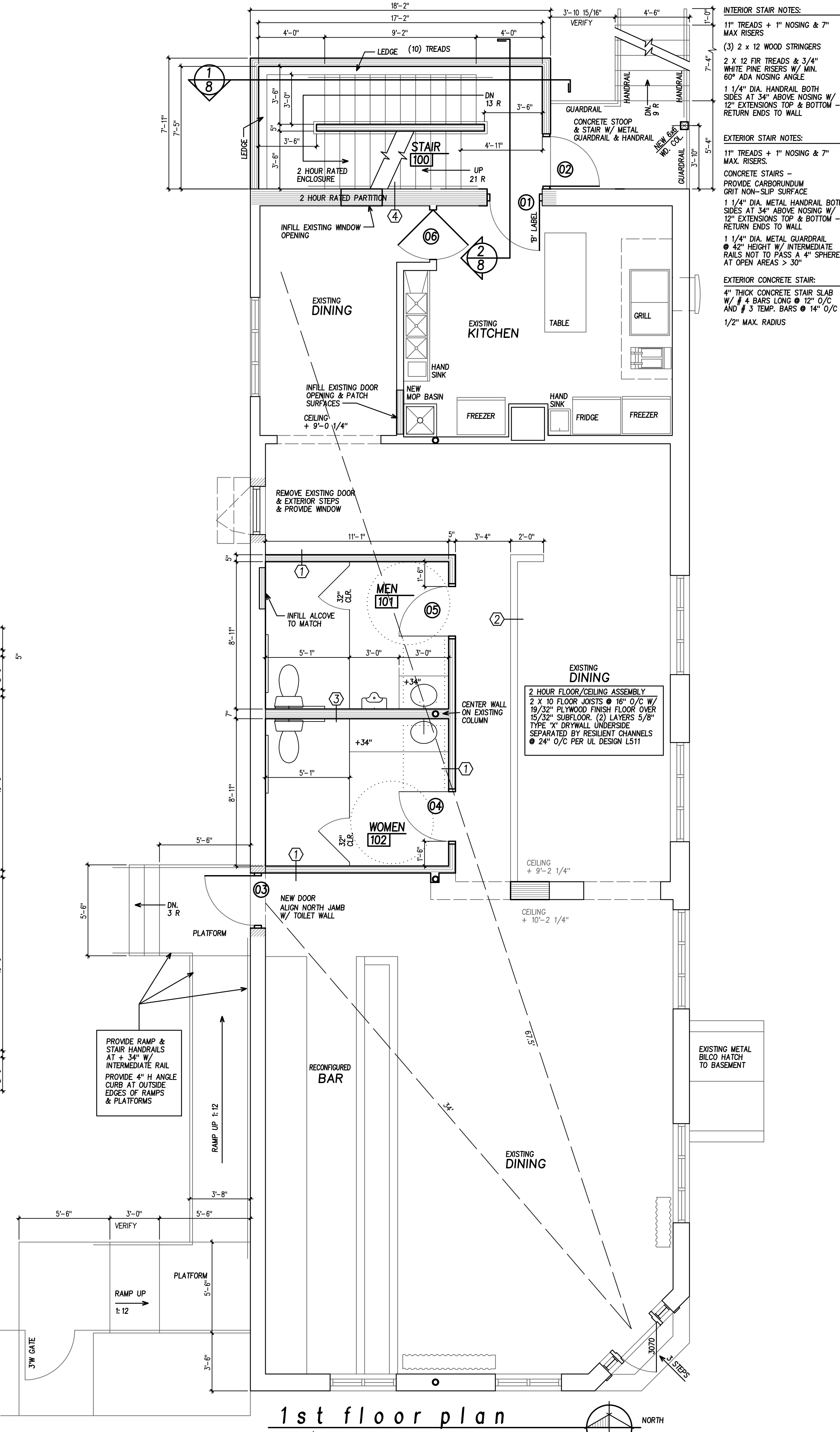


- GENERAL NOTES:
- ACCESSIBLE WATER CLOSETS SHALL HAVE A HEIGHT BETWEEN 17"-19" ABOVE THE FLOOR AND THE CENTER OF ACCESSIBLE WATER CLOSET MUST BE 17" FROM THE SIDE WALL.
 - THE ACCESSIBLE WATER CLOSET SHALL HAVE FLUSH CONTROL MOUNTED ON THE WIDE SIDE OF STALL NO MORE THAN 44" A.F.F.
 - GRAB BARS SHALL BE MOUNTED BETWEEN 33"-36" ABOVE THE FLOOR
 - ACCESSIBLE WATER CLOSET'S REAR GRAB BAR SHALL BE 36" MINIMUM IN LENGTH
 - ACCESSIBLE WATER CLOSET REAR GRAB BAR SHALL BEGIN NO MORE THAN 6" FROM THE SIDE WALL
 - ACCESSIBLE WATER CLOSET'S SIDE GRAB BAR SHALL BE 42" MINIMUM IN LENGTH AND EXTEND AT LEAST TO 54" FROM THE REAR WALL
 - ACCESSIBLE WATER CLOSET'S SIDE GRAB BAR SHALL BEGIN NO FARTHER THAN 12" FROM THE REAR WALL
 - ACCESSIBLE URINALS SHALL HAVE A MINIMUM 30"x48" CLEAR FLOOR SPACE IN FRONT
 - ACCESSIBLE URINALS SHALL HAVE AN ELONGATED RIM AT A MAXIMUM OF 17" A.F.F. & CONTROL AT 44" MAX A.F.F.
 - ACCESSIBLE LAVATORIES SHALL EXTEND AT LEAST 17" FROM THE REAR WALL
 - ACCESSIBLE LAVATORIES SHALL HAVE A MAXIMUM HEIGHT OF 34" ABOVE THE FLOOR AND KNEE CLEARANCE OF 29" MINIMUM. SINK SHALL NOT BE GREATER THAN 6 1/2" DEEP MAXIMUM.
 - HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 - ALL PERMANENT SIGNAGE SHALL HAVE LETTERS AND NUMERALS RAISED 1/32" MINIMUM AND SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.
 - DOOR HARDWARE AND CONTROLS FOR ACCESSIBLE PLUMBING FIXTURES SHALL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
 - DOOR THRESHOLD HEIGHTS SHALL NOT EXCEED 1/2"
 - THE HIGHEST OPERABLE PART OF CONTROLS, DISPENSERS & RECEPTACLES SHALL BE 48" MAX. A.F.F.
 - TOILET ROOMS SHALL HAVE ADA APPROVED SIGNAGE MOUNTED ON WALL ADJACENT TO LATCH SIDE OF DOOR WITH CENTERLINE AT 60" A.F.F.. STANDARD LETTERING SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE.



2nd floor plan

SCALE: 1/4" = 1'-0"



1st floor plan

SCALE: 1/4" = 1'-0"



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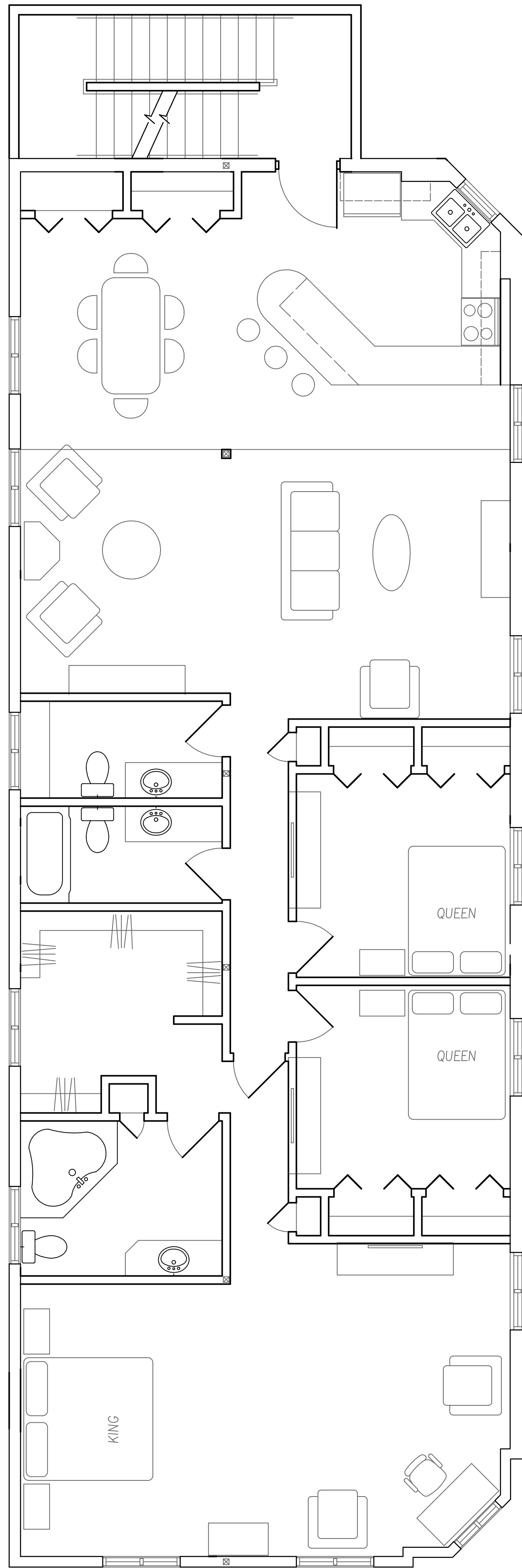
REVISIONS

proposed alterations for:

LOUNGE 6500
6500 WEST GREENFIELD AVE.
WEST ALLIS, WISCONSIN

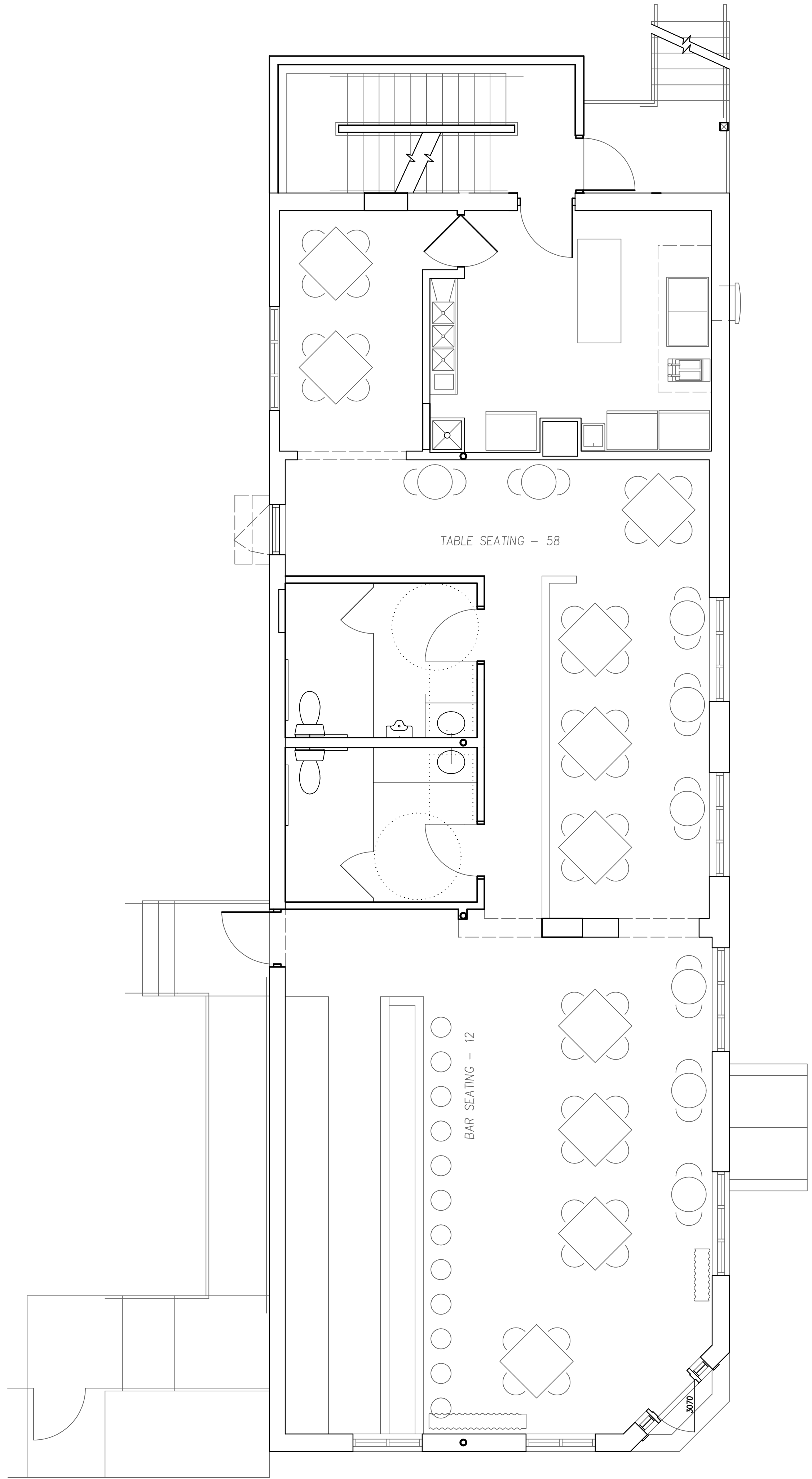
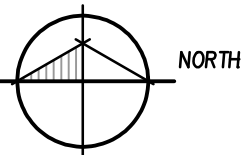
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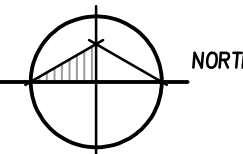
2nd floor furniture plan

SCALE: 1/4" = 1'-0"



1st floor furniture plan

SCALE: 1/4" = 1'-0"



proposed alterations for:

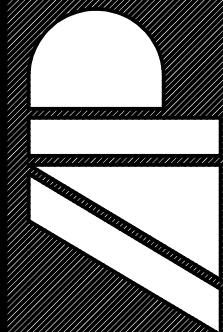
LOUNGE 6500
6500 WEST GREENFIELD AVE.
WEST ALLIS, WISCONSIN

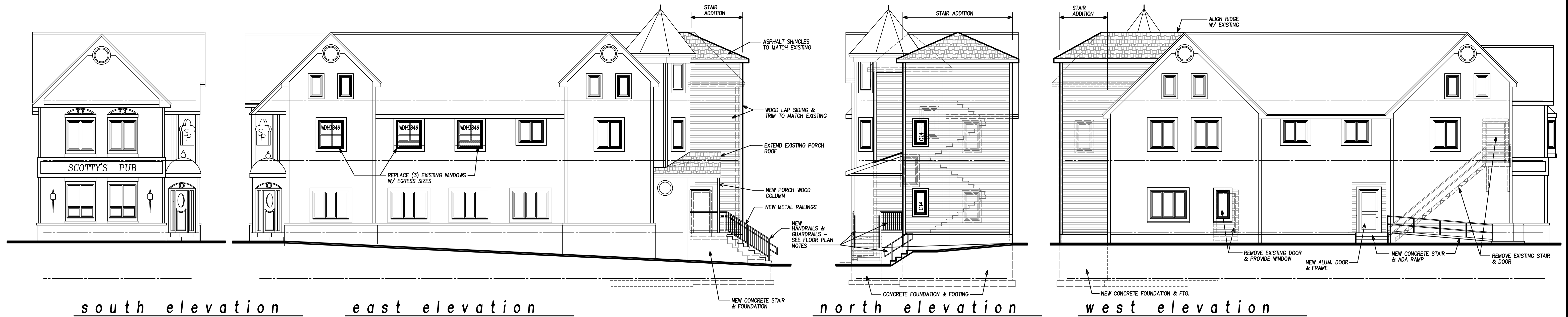
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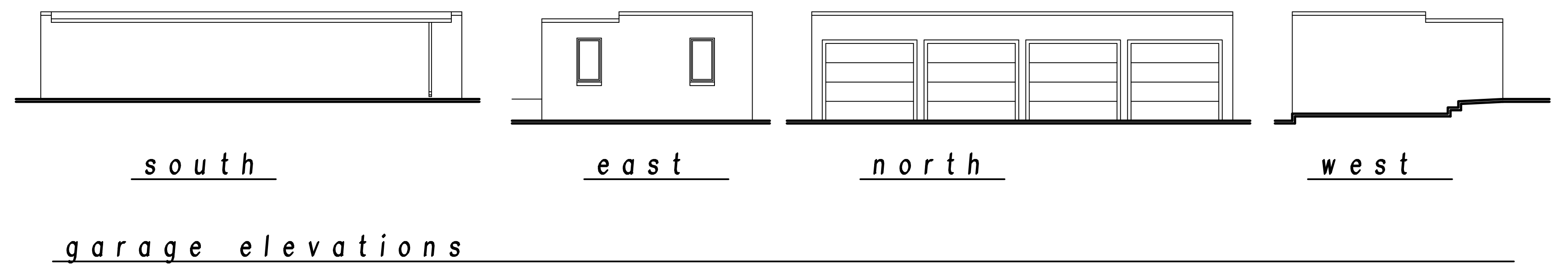
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proposed elevations
SCALE: 1/8" = 1'-0"



garage elevations



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