



**PLAN COMMISSION STAFF REPORT
WEDNESDAY, 10-22-25 @ 6PM
WEST ALLIS CITY HALL, ROOM 128
7525 W. GREENFIELD AVE.**

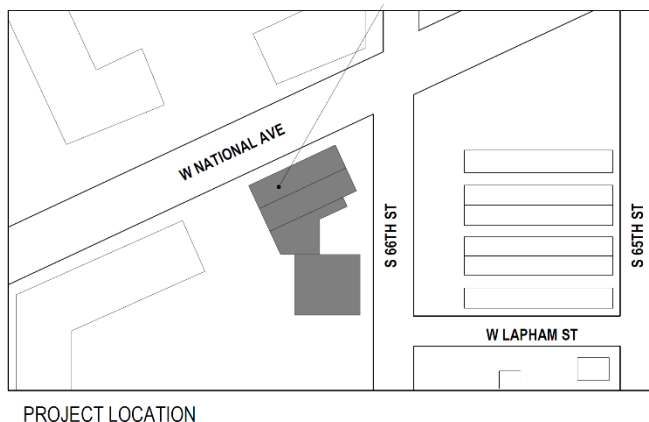
3A. Conditional Use Permit for Fork Farms, proposed Production use, at 6601 W National Ave.

3B. Site, Landscaping, and Architectural Design Review for Fork Farms, a proposed Production use, at 6601 W National Ave (Tax Key No. 454-0653-001).

Overview and Zoning



Construction of Makers Row was substantially completed in 2023, the building consists of about 11,400 sq. ft. of newly constructed gray box commercial space. The property owner/developer of Makers Row is Bob Monat/Mandel Group who has marketed the property for food-centric commercial space



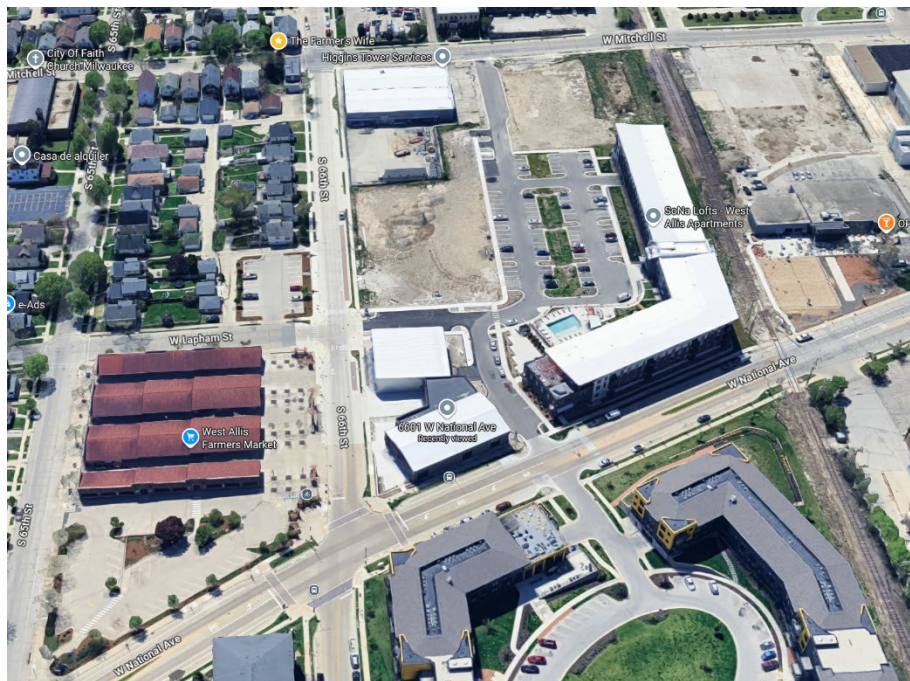
to the adjacent broader mixed-use development of SoNa Lofts (a 110-unit residential and commercial mixed use building to the west, and the West Living to the north). The West Allis Farmers Market is located directly across S. 66 St. and east of Makers Row. This location will help amplify the regional value of the West Allis Farmer's Market and create cross-marketing with high-draw, creative food venues. It will also make the area more attractive to residents who want more things to do within walking distance of their neighborhood. In other words, to keep people in the neighborhood longer to enjoy the local amenities and business that the area has to offer.

The developer/property owner has received letters of intent from tenants and is working with the prospective tenants that include include restaurants, catering, food

producers, and event space. Scope of work, cost estimates, and bank financing are in process. The emphasis of filling the available space at Makers Row has been to attract local and new businesses from the region looking to make their mark on the industry (creative destinations), not necessarily national chains.

Tenant – [Hydroponic Farming Food Producer](#). The subject property, 6601 W. National Ave., is zoned C-3. The intended tenant is a proposed indoor hydroponic farming use that would also include educational conference and business office area within their intended 5,000-sf space.

The businesses mission is to have more schools, companies and communities join the table to provide fresh food to everyone, everywhere, with the power of hydroponic growing. The farm will be home to rows of leafy greens and



lettuces, grown indoors with Fork Farms’ hydroponic technology. When fully up and running in 2026, the farm will produce up to 34,000 pounds of food every year, making it one of the largest sources of fresh, locally grown greens in the area.

This is more than just a farm. Fork Farms will also open its Milwaukee-area headquarters and hydroponic showroom within Makers Row, a hub dedicated to supporting Wisconsin-based, food-focused businesses. Together, the partnership creates a powerful model for how neighborhoods can bring food production back home—strengthening the local food system, creating jobs, and offering new ways for people to connect with where their food comes from.

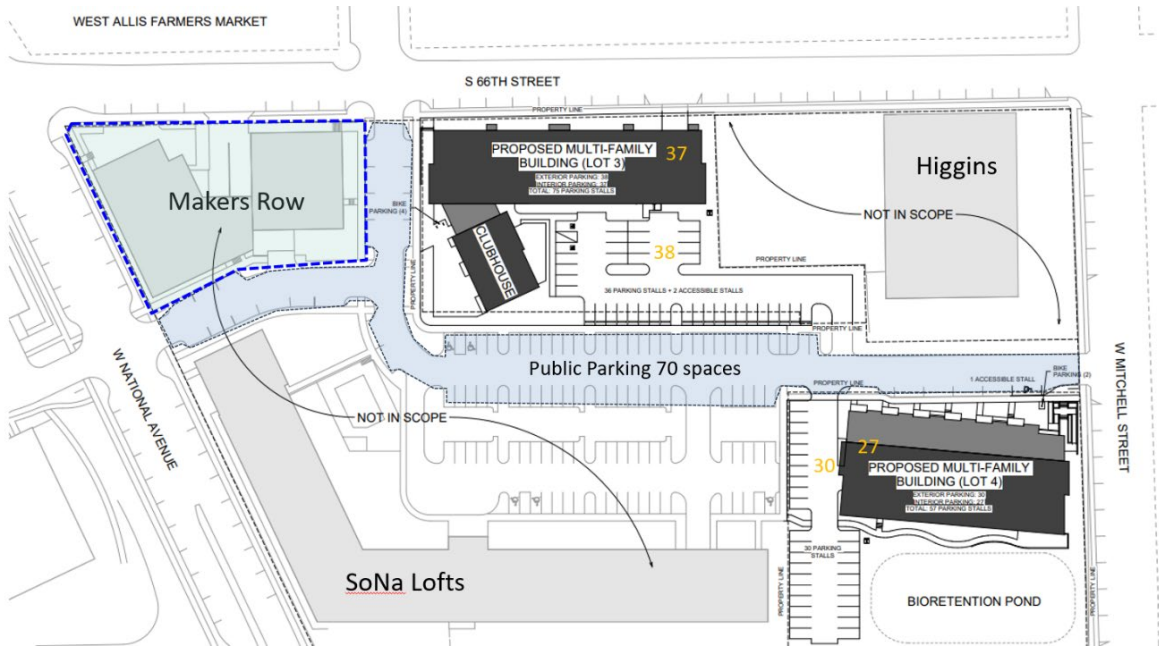
Expected hours of operation are 6am – 10pm daily.

A public hearing has not yet been scheduled to come before the Common Council, but is being brought before Plan Commission for consideration of the use and tenant and landlord improvements.



Site and Landscaping Plan

The site and landscaping plan for Makers Row was previously approved in 2020, then built/developed in 2023, and designed to concentrate activity along street frontages closest to the Farmer’s Market and offer parking and building services within the interior of the site.



The existing buildings are located along the North and East edges of the lot. The floor plan shown below shows outdoor dining.

Parking and building services are located along the west side of the building, and also available within a shared parking area offering about 70 parking spaces west of lot 3 (the SoNa Phase 2 site). A service court directly behind the buildings will house trash collection and space for loading and delivery vehicles. Additional off-street parking is available within the neighborhood (meaning a short walk). Parking will be open to the public, including for the Farmer's Market.



The overall development area including SoNa Lofts, SoNa Phase two (lots 3 and 4), and Makers Row site is accessed by existing driveway openings along S. 66



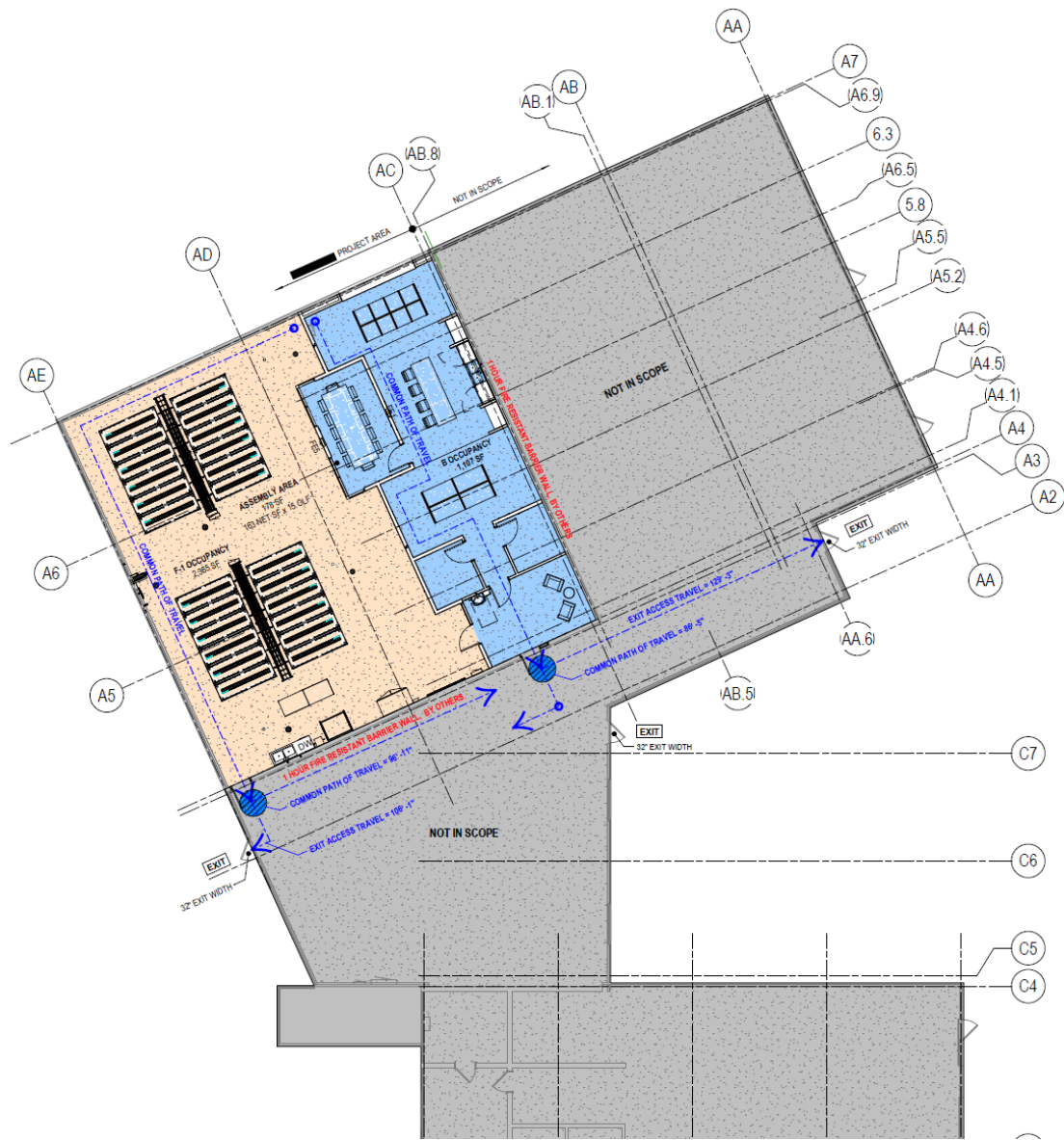
St., W. National Ave, and W. Mitchell St. Pedestrian walkways connect each property and all connect to city Right-of-Way/public sidewalks to improve walkability as common place for West Allis neighborhoods. While a landscaping plan was previously approved, staff is recommending that those details or any changes be refreshed and submitted in the form of an updated plan set.

Architectural Plan

The existing 1-story building will be divided into potentially 4 tenant spaces, each with a different – but complementary tenant. The existing building includes a pre-engineered metal building. The work on the construction of the core and shell is

approximately 90% complete. The remaining balance will be completed prior to occupancy of each tenant space.

Clear, storefront-style glass is used prominently on the North and East façades.



Floor Plan

This is an existing gray box space at the Makers Row Development and will include buildout of approximately 5,000 square feet and will include hydroponic farming production area, workspace, a kitchenette/educational area, office and conference room areas.

Recommendation: Common Council approval of the Conditional Use Permit for Fork Farms, proposed Production use, at 6601 W National Ave. and Site, Landscaping, and Architectural Design plans (Tax Key No. 454-0653-001), subject to the following conditions:

(Item 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Schedule to be determined)
2. A revised site and landscaping plan being submitted to show the following: (a) details of the exterior building shell improvements, (b) site and landscaping plan details and changes/improvements (landscaping elements such as planter boxes, trellis', patio/seating details, walkways, or other features on the site); (c) refuse location and screening plan; (d) location of an outdoor bicycle racks in accordance with [WAMC 19.44](#).
3. Building permits being applied for with the Code Enforcement Department for review.
4. Signage and Lighting plan being submitted for permitting.

5. Signage and lighting plans being submitted for permit review.

Fork Farms to bring hydroponic farm, Milwaukee-area headquarters to Makers Row in West Allis



Adrienne Davis

Milwaukee Journal Sentinel

Aug. 26, 2025, 4:58 p.m. CT



Gil Shaw, a partner in Fork Farms, makes a slight adjustment to a vertical hydroponics unit at Butte des Morts Elementary School in Menasha. Fork Farms is entering into a partnership with Makers Row in West Allis to bring one of the largest hydroponic farms to the area. *Mark Hoffman / Milwaukee Journal Sentinel*

Autodesk Docs: // - Maker's Row/20250210_A25_GRAEF.rvt
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- MAKER'S ROW
6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

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G-001 TITLE SHEET

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A-103 REFLECTED CEILING PLAN
A-201 INTERIOR ELEVATIONS
A-301 SECTIONS
A-501 DETAILS
A-601 SCHEDULES
A-701 SPECIFICATIONS

ELECTRICAL (FOR REFERENCE ONLY)

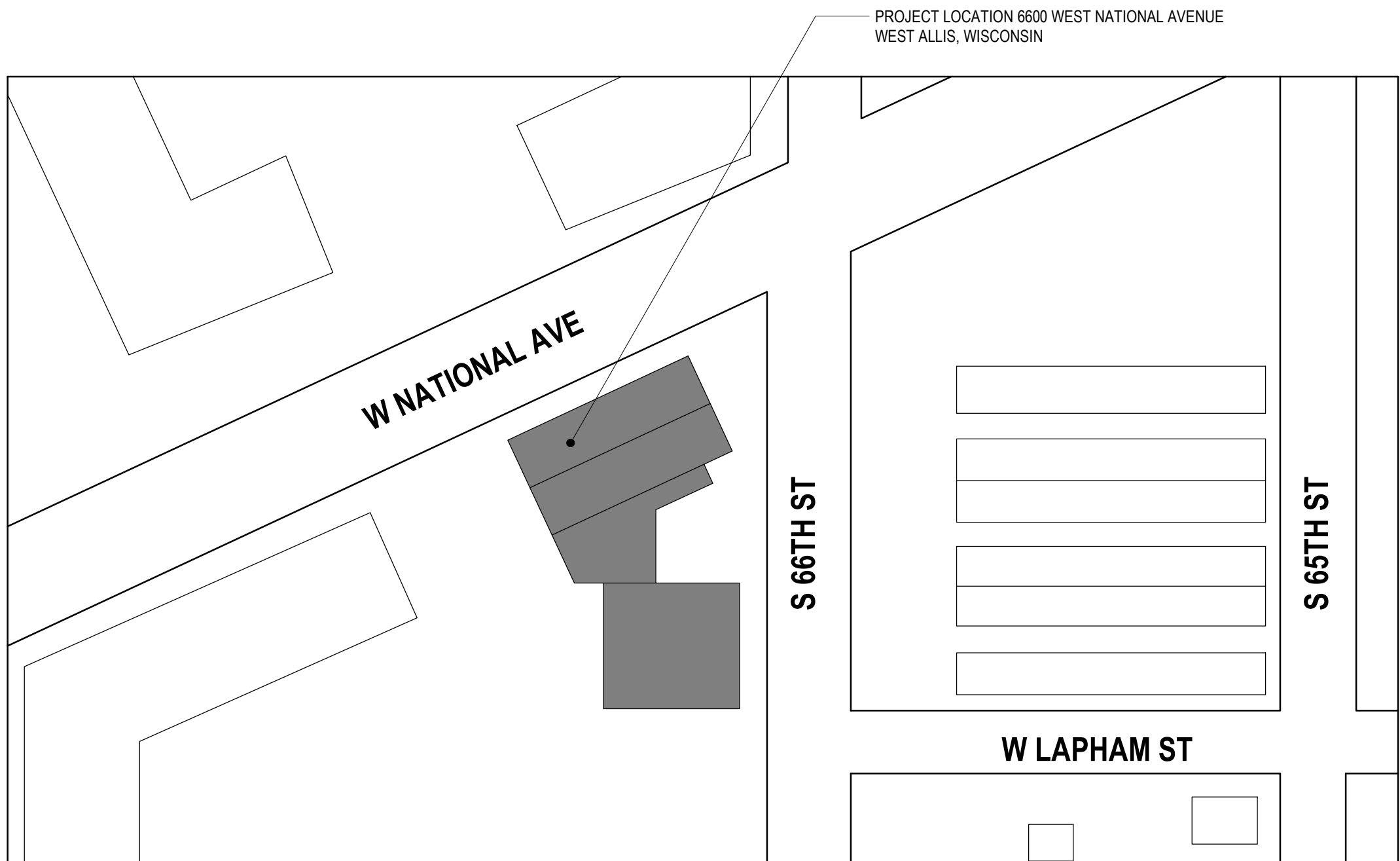
E-001 ELECTRIC COVER SHEET
E-101 ELECTRIC LIGHTING PLAN
E-201 ELECTRIC POWER PLAN
E-202 ELECTRIC POWER PLAN - ROOF
E-301 ELECTRIC POWER - DETAILS
E-302 ELECTRIC POWER - SINGLE LINE
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E-401 ELECTRIC SPECIFICATIONS
E-501 ELECTRIC ENERGY COMPLIANCE

MECHANICAL

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M-101 MECHANICAL DUCTWORK FLOOR PLAN
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M-301 MECHANICAL - DETAILS
M-302 MECHANICAL - SCHEDULES
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P-302 PLUMBING SCHEDULES
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PROJECT LOCATION

ELECTRONIC FILE TRANSFER DISCLAIMER

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EXISTING PROJECT CONDITIONS

INFORMATION PERTAINING TO EXISTING PROJECT CONDITIONS, SUCH AS LOCATIONS OF ARCHITECTURAL AND STRUCTURAL BUILDING COMPONENTS, MECHANICAL AND ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ROUGHINS AND OTHER MISCELLANEOUS CONSTRUCTION, APPEARS ON PROJECT DRAWINGS. THIS INFORMATION IS BASED ON AVAILABLE RECORDS AS WELL AS INFORMATION COLLECTED WITH REASONABLE CARE AT THE PROJECT SITE. CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR VERIFYING DIMENSIONS AND RELATED INFORMATION AT THE PROJECT SITE PRIOR TO PROCURING ANY MATERIALS, PRODUCTS OR EQUIPMENT TO PERFORM THEIR WORK.

ARCHITECTURAL

MECHANICAL



275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:



PROJECT TITLE:

- MAKER'S ROW

6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

ISSUE:

1 09/26/2025 PERMIT REVIEW SET

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0210.00

DATE: 08/22/2025

DRAWN BY: BAD

CHECKED BY: RRJ

APPROVED BY: CWH

SCALE: AS NOTED

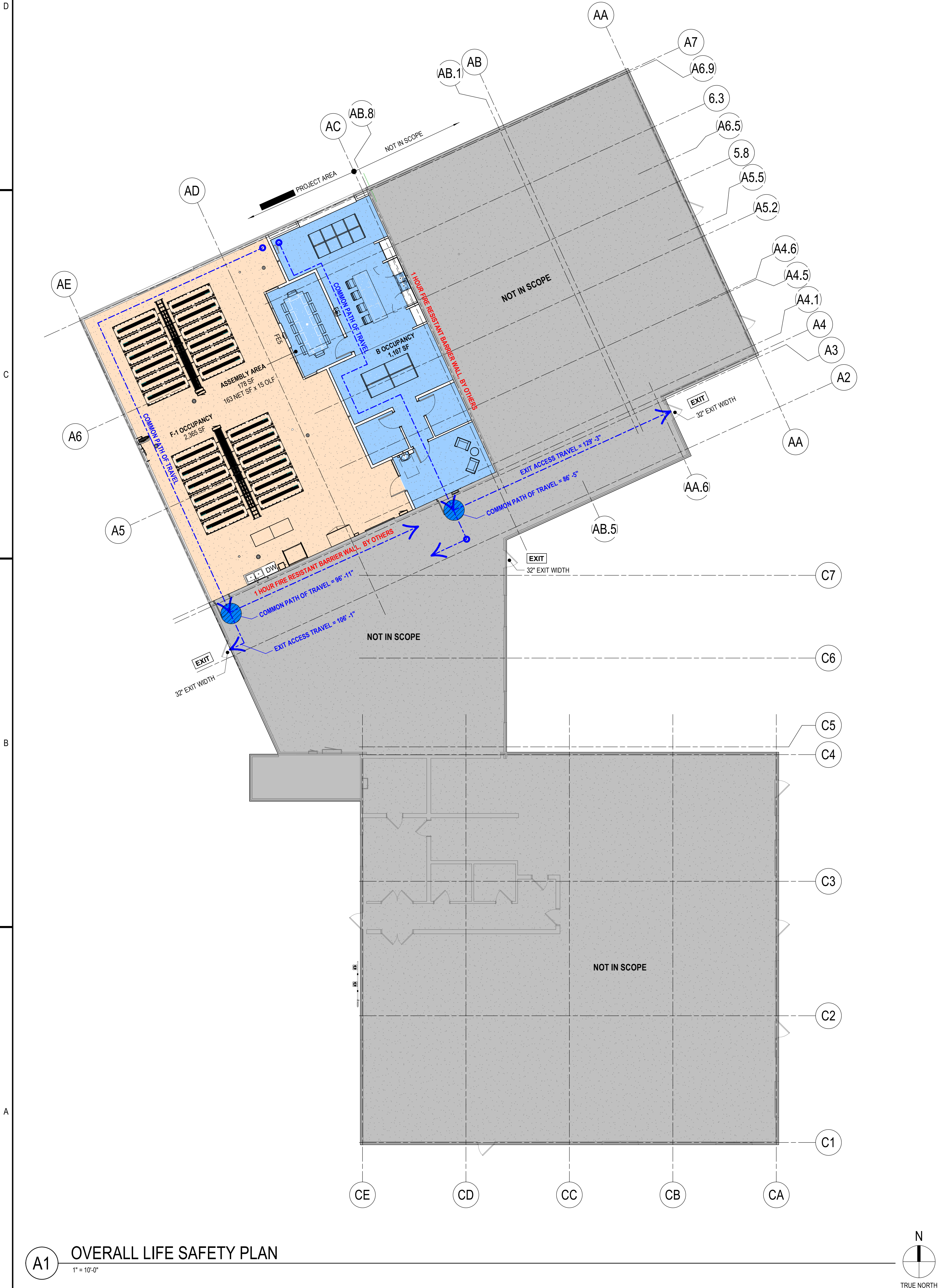
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TITLE SHEET

SHEET NUMBER:

G-001

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FIRE EXTINGUISHER KEY

- FOR FIRE EXTINGUISHERS LESS THAN 40LBS:
A. TOP OF FIRE EXTINGUISHER SHALL NOT EXCEED 5'-0" ABOVE FINISH FLOOR.
B. BOTTOM OF FIRE EXTINGUISHER SHALL BE 4" MINIMUM ABOVE FINISH FLOOR.
- FOR FIRE EXTINGUISHERS GREATER THAN OR EQUAL TO 40LBS:
A. TOP OF FIRE EXTINGUISHER SHALL NOT EXCEED 3'-6" ABOVE FINISH FLOOR.
B. BOTTOM OF FIRE EXTINGUISHER SHALL BE 4" MINIMUM ABOVE FINISH FLOOR.
- FOR FIRE EXTINGUISHER CABINETS AND ADA COMPLIANCE:
A. CENTER CABINET PULL MAXIMUM 48" ABOVE FINISH FLOOR.
B. MAXIMUM 4" PROJECTION FOR SEMI-RECESSED WALL CABINETS.

REFER TO ICC A117.1-2009, OSHA 29 CFR 1910.157 AND NFPA-10 FOR ADDITIONAL INFORMATION.

PORTABLE FIRE EXTINGUISHERS

- FE1 CLASS A TYPE (ORDINARY COMBUSTIBLES) SEMI-RECESSED FIRE EXTINGUISHER.
- FE2 **NOT APPLICABLE**
CLASS A, B TYPE (ORDINARY COMBUSTIBLES AND FLAMMABLE LIQUIDS) FIRE EXTINGUISHER.
- FE3 **NOT APPLICABLE**
CLASS A, C TYPE (ORDINARY COMBUSTIBLES AND ELECTRICAL EQUIPMENT) FIRE EXTINGUISHER.
- FE4 **NOT APPLICABLE**
CLASS B, C TYPE (FLAMMABLE LIQUIDS AND ELECTRICAL EQUIPMENT) FIRE EXTINGUISHER.
- FE5 CLASS A, B, C TYPE (ORDINARY COMBUSTIBLES, FLAMMABLE LIQUIDS AND ELECTRICAL EQUIPMENT) SEMI-RECESSED FIRE EXTINGUISHER.
- FE6 **NOT APPLICABLE**
CLASS K TYPE (COOKING MEDIA) FIRE EXTINGUISHER.
- FE7 **NOT APPLICABLE**
CLASS A, K TYPE (ORDINARY COMBUSTIBLES AND COOKING MEDIA) FIRE EXTINGUISHER.
- FE8 **NOT APPLICABLE**
CLASS D TYPE (COMBUSTIBLE METALS) FIRE EXTINGUISHER.

FIRE EXTINGUISHER CALCULATIONS

NFPA 13: OCCUPANCY HAZARD CLASSIFICATION

LIGHT HAZARD OCCUPANCY:
WORKSPACE, CONFERENCE, KITCHENETTE, Huddle, ENTRY WAITING, VESTIBULE

ORDINARY HAZARD OCCUPANCY:

ACRE CONNECT FARM AREA

EXTRA HAZARD OCCUPANCY:

NOT APPLICABLE

NFPA 10: CLASSIFICATION OF FIRE

CLASS A TYPE (ORDINARY COMBUSTIBLES)

LOCATION: ACRE CONNECT FARM AREA, WORKSPACE, CONFERENCE, KITCHENETTE, Huddle, ENTRY WAITING, VESTIBULE

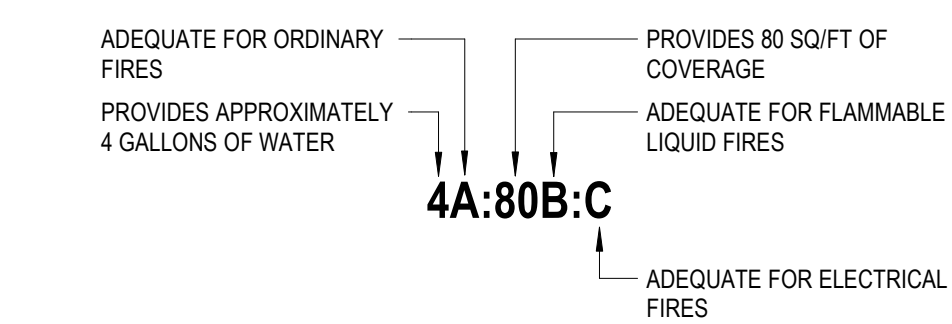
FIRE EXTINGUISHER DISTRIBUTION

KITCHENETTE: LIGHT HAZARD
(1) FE1 = 4A FIRE EXTINGUISHER
11,250 SQUARE FEET COVERAGE PER FIRE EXTINGUISHER.
75'-0" MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.

ACRE CONNECT FARM AREA, ORDINARY HAZARD

(1) FE5 = 4A:10B:C FIRE EXTINGUISHER
6,000 SQUARE FEET COVERAGE PER FIRE EXTINGUISHER.
75'-0" MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.

CLASS ABC FIRE EXTINGUISHER KEY



PARTITION LEGEND

1. MATERIAL

- A. ACOUSTIC WALL (METAL STUD)
C. CONCRETE
G. GYPSUM BOARD (METAL STUD)
GW. GYPSUM BOARD (WOOD STUD)
L. LEAD LINED GYPSUM (METAL STUD)
M. CONCRETE MASONRY UNIT (CMU)
MP. METAL PANEL
P. PRECAST CONCRETE

2. FIRE RATED ASSEMBLY

THIS CHARACTER DENOTES THE CONSTRUCTION MATERIAL FOR THE WALL ASSEMBLY.

3. MATERIAL SIZE

THIS CHARACTER DENOTES THE CONSTRUCTION MATERIALS SIZE WITH THE NUMBER USUALLY CORRELATING WITH THE MATERIAL'S WIDTH.

4. ASSEMBLY SERIES

THIS CHARACTER DENOTES THE ASSEMBLY SERIES FOR THAT MATERIAL TO WHICH THE WALL BELONGS.

5. HOURLY RATING (MASONRY ONLY)

INDICATES HOURLY FIRE RATING AT MASONRY WALL ASSEMBLY ONLY.

PARTITION KEY

1. MATERIAL

- STANDARD WALLS
A. ACOUSTIC WALL (METAL STUD)
C. CONCRETE
G. GYPSUM BOARD (METAL STUD)
GW. GYPSUM BOARD (WOOD STUD)
L. LEAD LINED GYPSUM (METAL STUD)
M. CONCRETE MASONRY UNIT (CMU)
MP. METAL PANEL
P. PRECAST CONCRETE

2. FIRE RATED ASSEMBLY

THIS CHARACTER DENOTES THE CONSTRUCTION MATERIAL FOR THE WALL ASSEMBLY.

3. MATERIAL SIZE

THIS CHARACTER DENOTES THE CONSTRUCTION MATERIALS SIZE WITH THE NUMBER USUALLY CORRELATING WITH THE MATERIAL'S WIDTH.

4. ASSEMBLY SERIES

THIS CHARACTER DENOTES THE ASSEMBLY SERIES FOR THAT MATERIAL TO WHICH THE WALL BELONGS.

5. HOURLY RATING (MASONRY ONLY)

INDICATES HOURLY FIRE RATING AT MASONRY WALL ASSEMBLY ONLY.

BUILDING CODE DATA

APPLICABLE CODE RESOURCE: WISCONSIN COMMERCIAL BUILDING CODE (BASED ON 2015 IBC)

MIX USE OCCUPANCY: IBC chapter 3 MAIN OCCUPANCY: GROUP F-1 EXISTING TYPE OF CONSTRUCTION: IBC chapter 6	OCCUPANT LOAD: IBC section 1004 SQUARE FOOTAGE BASED ON FUNCTION OF SPACE (SEE NOTE 2) OCCUPANCY: A-3 AREA: 163 SF SF / OLF: 15/SF OCCUPANTS: 10.86 B 1,107 SF 100/SF 11.07 F-1 2,365 SF 100/SF 23.65 TOTAL: 3,635 SF (SEE NOTE 3) TOTAL OCCUPANTS: 46 COMMON PATH OF EGRESS: IBC section 1006.2.1 GROUP B AND F-1 100' - 0"	PURPOSE FOR PROJECT: THE CLIENT WILL BE LEASING A PORTION OF THE EXISTING MAKER'S ROW BUILDING FOR THEIR OPERATIONS. THE SPACE WILL CONSIST OF A PRODUCTION SPACE WITH SUPPORT AREAS. NOTES: 1. THE TENANT SPACE SQUARE FOOTAGE WAS CALCULATED FROM THE OUTSIDE FACE OF THE EXTERIOR WALLS, TO THE CENTER OF THE EXISTING FIRE RATED DEMISING WALLS. THIS SQUARE FOOTAGE SHALL NOT BE CONSIDERED THE TENANT'S USABLE FLOOR AREA, NOR SHALL IT BE CONSIDERED THE TENANT'S RENTABLE SQUARE FOOTAGE. 2. PER 2015 IBC SECTION 303.1.2, THE CONFERENCE ROOM (ASSEMBLY SPACE) SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY. HOWEVER IN DETERMINING THE OCCUPANT LOAD, THE OCCUPANT LOAD FACTOR ON TABLE 1004.1.2 IS USED. 3. THE OCCUPANT LOAD CALCULATIONS ARE BASED ON THE FUNCTION OF THE SPACE AND IS CALCULATED ACCORDING TO THE GROSS SQUARE FOOTAGE OR THE NET SQUARE FOOTAGE OF THE SPACE AS DEFINED ON TABLE 1004.1.2. THE TOTAL SQUARE FOOTAGE USED TO CALCULATE THE OCCUPANT LOAD WILL DIFFER FROM THE TENANT SPACE'S TOTAL SQUARE FOOTAGE. 4. PER SECTION 1005.3.2, EXCEPTION 1 OF THE 2015 IBC, THE EXIT WIDTH CAPACITY FACTOR MAY BE REDUCED TO 0.15 INCHES WHEN THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM. 5. THE TOTAL NUMBER OF PLUMBING FIXTURES FOR THIS TENANT SPACE IS CALCULATED BASED ON THE OCCUPANT LOADS FOR EACH FUNCTION OF SPACE. ALL REQUIRED PLUMBING FIXTURES SHALL BE PROVIDED BY THE OWNER AND SHALL BE ACCESSIBLE TO THE TENANT AS REQUIRED PER THE WISCONSIN BUILDING CODES.
FIRE-RESISTANT RATING REQUIRED: IBC section 601 PRIMARY STRUCTURE: 0 HOUR EXTERIOR BEARING WALLS: 0 HOUR INTERIOR BEARING WALLS: 0 HOUR EXTERIOR NON-BEARING WALLS: 0 HOUR INTERIOR NON-BEARING WALLS: 0 HOUR FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR	SEPARATION OF OCCUPANCIES REQUIRED: IBC section 508.4 GROUP B GROUP F-1 Most Restrictive 250' - 0" FIRE WALL SEPARATION PROVIDED TO CREATE SEPARATE BUILDINGS: NO YES FIRE WALL(S) REQUIRED: IBC section 706 NO YES FIRE BARRIER(S) REQUIRED: IBC section 707 NO YES SHAFT ENCLOSURE(S) REQUIRED: IBC section 713 NO YES	MAXIMUM EXIT DISTANCE ALLOWED: IBC section 1017.2 GROUP B GROUP F-1 Most Restrictive 250' - 0" MAXIMUM EXIT DISTANCE PROVIDED: GROUP B GROUP F-1 129' - 3" 108' - 1" AGGREGATE EXIT WIDTH REQUIRED: IBC section 1005 46 x 15" = 6.9" AGGREGATE EXIT WIDTH PROVIDED: 3 Existing Egress Doors x 32" = 96" (SEE NOTE 4) MINIMUM EXITS REQUIRED: IBC section 1006.3.1 2 EXITS PROVIDED: 3 SANITARY REQUIREMENTS: IBC Section 2901 MAXIMUM TOILET FACILITY TRAVEL DISTANCE ALLOWED: IBC Section 2902.3.2 500' - 0" PLUMBING FIXTURES REQUIRED: IBC Section 2902.1 PER OCCUPANCY OCCUPANT LOAD A-3 OCCUPANCY CLASSIFICATION 10.86 OCCUPANT LOAD MALE (6) FEMALE (6) B OCCUPANCY CLASSIFICATION 11.07 OCCUPANT LOAD MALE (6) FEMALE (6) F-1 OCCUPANCY CLASSIFICATION 23.65 OCCUPANT LOAD MALE (12) FEMALE (12) TOTAL REQUIRED MALE 3 FEMALE 3 WATERCLOSETS 3 LAVATORIES 3 PLUMBING FIXTURES PROVIDED: SEE NOTE 5

OCCUPANCY CLASIFICATION KEY

- GROUP B (BUSINESS OCCUPANCY)
- GROUP F-1: MODERATE HAZARD (FACTORY INDUSTRIAL OCCUPANCY)
- EXISTING MIXED USE OCCUPANCIES (GROUPS A, B, F AND S)

LIFE SAFETY WALL RATINGS LEGEND

- STANDARD NON-RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 1 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 2 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 3 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 4 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** STANDARD NON-RATED CMU WALL
- NOT APPLICABLE:** 1 HOUR FIRE-RESISTANT RATED CMU WALL
- NOT APPLICABLE:** 2 HOUR FIRE-RESISTANT RATED CMU WALL
- NOT APPLICABLE:** 3 HOUR FIRE-RESISTANT RATED CMU WALL
- NOT APPLICABLE:** 4 HOUR FIRE-RESISTANT RATED CMU WALL

WALL RATINGS LEGEND

- STANDARD NON-RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 1 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 2 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
- NOT APPLICABLE:** 3 HOUR FIRE-RESISTANT RATED GYPSUM BOARD WALL
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- NOT APPLICABLE:** 3 HOUR FIRE-RESISTANT RATED CMU WALL
- NOT APPLICABLE:** 4 HOUR FIRE-RESISTANT RATED CMU WALL

GRAEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:

DEMAIN
Building Tomorrow

PROJECT TITLE:

- MAKER'S ROW

6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

ISSUE:

1 09/26/2025 PERMIT REVIEW SET

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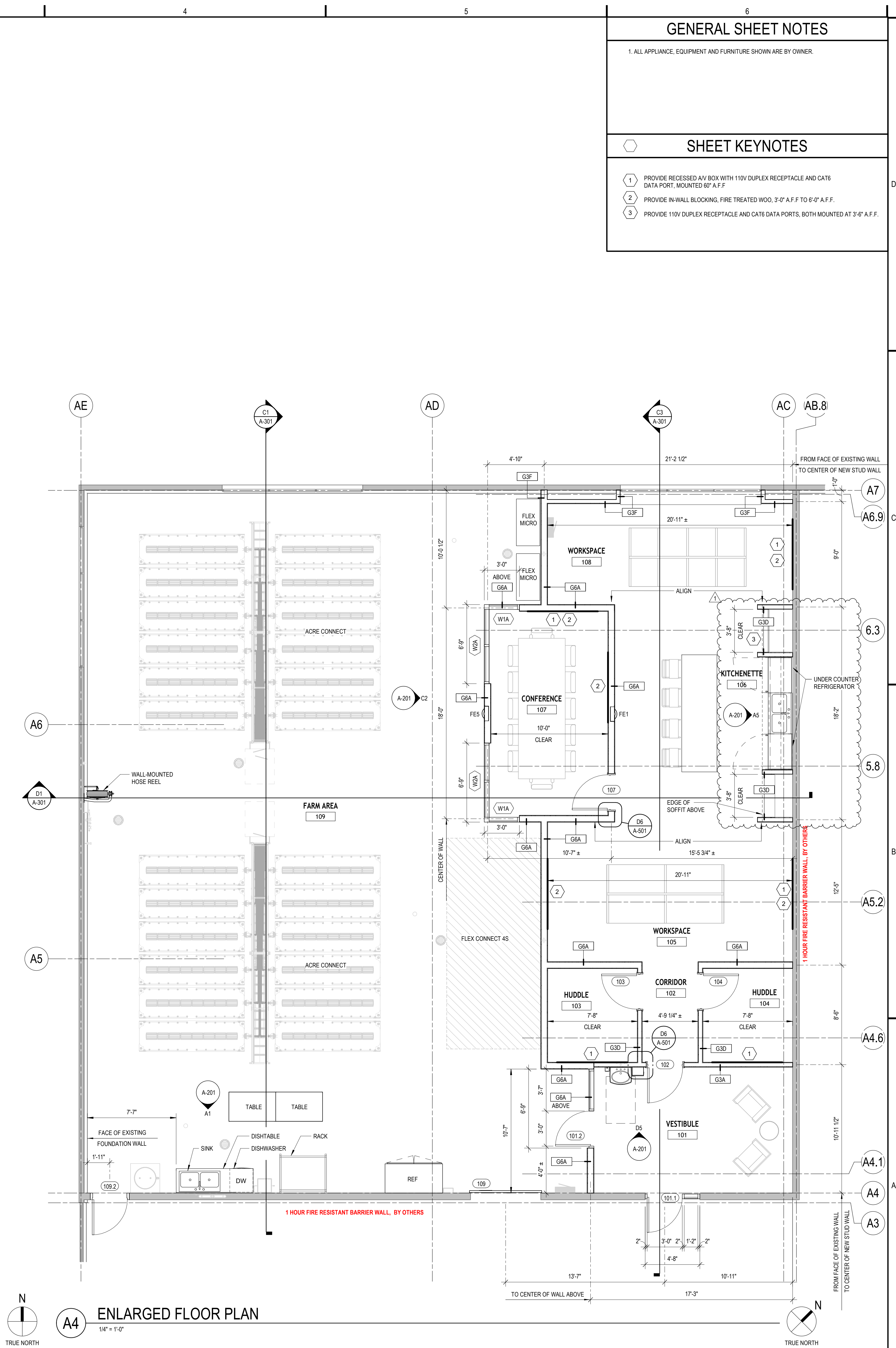
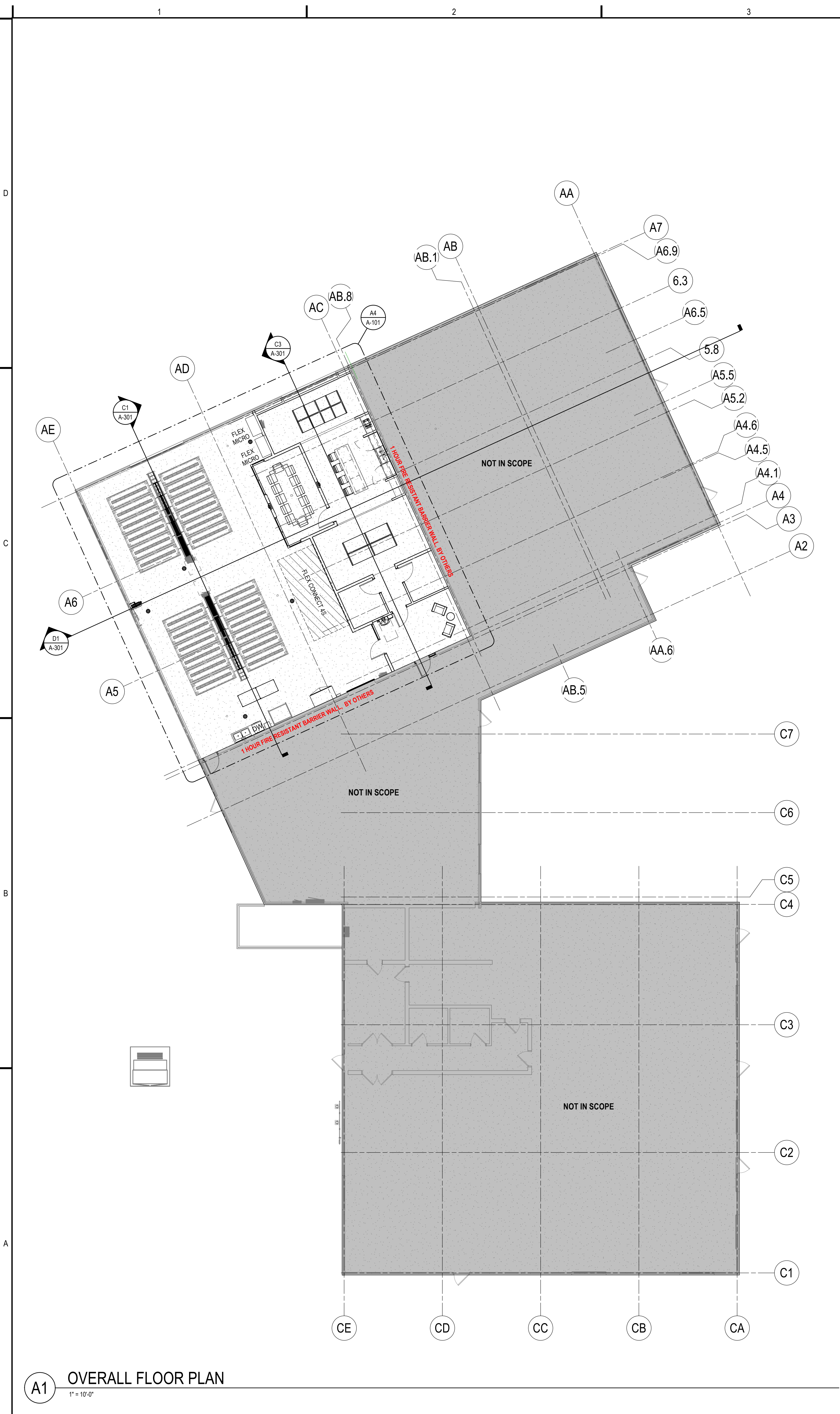
SHEET TITLE:

LIFE SAFETY AND BUILDING CODE

SHEET NUMBER:

A-003

Autodesk Docs: // - Maker's Row 20250210_A25_GRAEF.rvt
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GENERAL SHEET NOTES

1. ALL APPLIANCE, EQUIPMENT AND FURNITURE SHOWN ARE BY OWNER.

SHEET KEYNOTES

- 1 PROVIDE RECESSED A/V BOX WITH 110V DUPLEX RECEPTACLE AND CAT6 DATA PORT, MOUNTED 60" A.F.F.
- 2 PROVIDE IN-WALL BLOCKING, FIRE TREATED WOO, 3'-0" A.F.F. TO 6'-0" A.F.F.
- 3 PROVIDE 110V DUPLEX RECEPTACLE AND CAT6 DATA PORTS, BOTH MOUNTED AT 3'-6" A.F.F.

GRAEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:

DEMAIN
Building Tomorrow

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SCALE: AS NOTED

SHEET TITLE:

OVERALL AND ENLARGED PLANS

SHEET NUMBER:

A-101

Autodesk Docs:// - Maker's Row/20250210_A25_GRAEF.rvt
9/26/2025 5:24:23 PM

GENERAL SHEET NOTES

1. CENTER ALL CLOUDS IN ROOM

GRAEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:

DEMAIN
Building Tomorrow

PROJECT TITLE:

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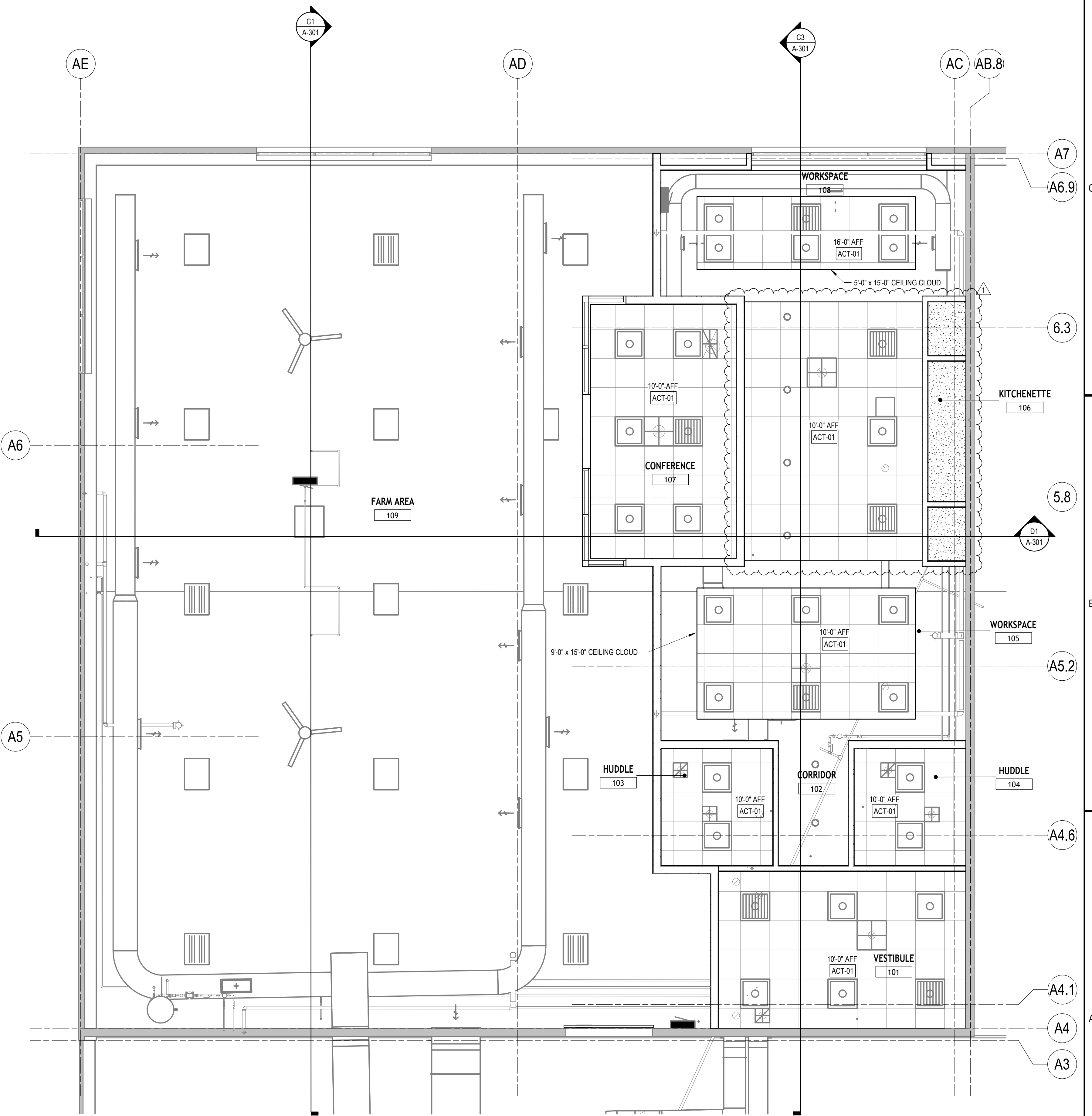
SCALE: AS NOTED

SHEET TITLE:

REFLECTED CEILING PLAN

SHEET NUMBER:

A-103



A4 ENLARGED REFLECTED CEILING PLAN

1/4" = 1'-0"

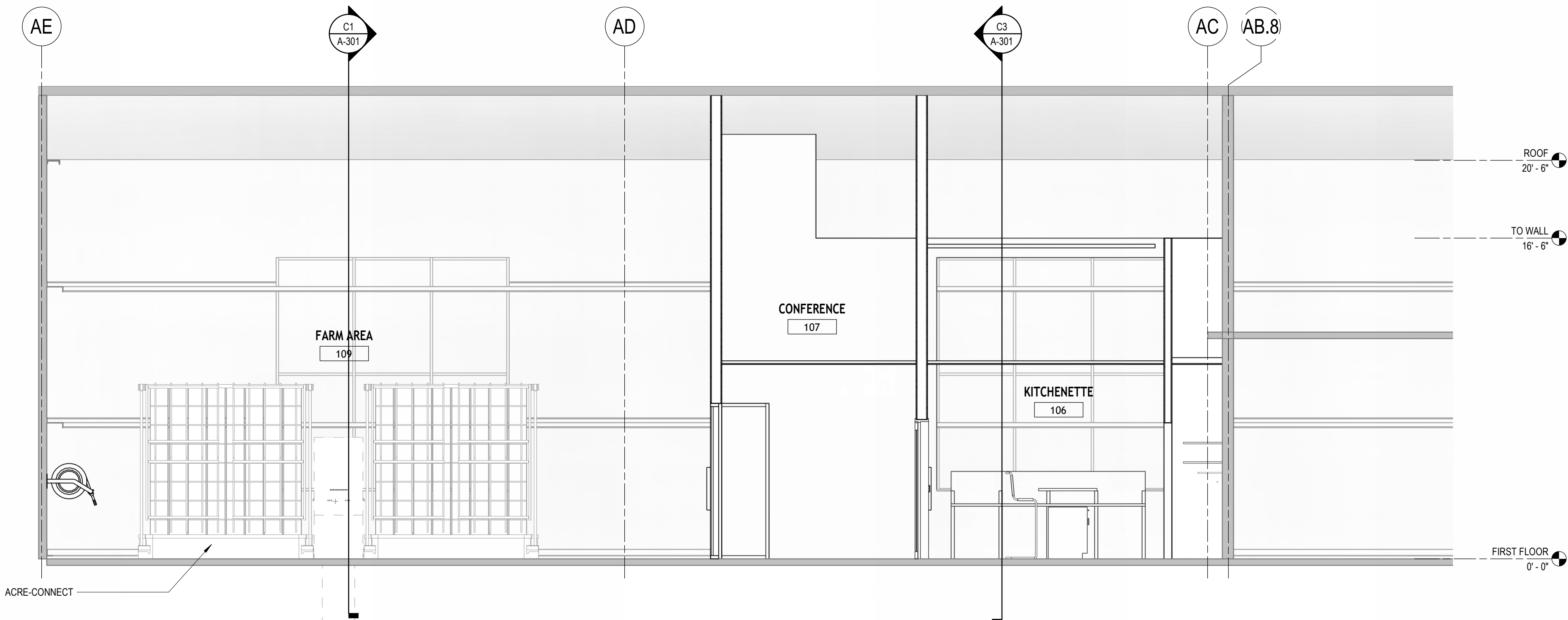
D5 — 1/2" = 1'-0"

(C2) $\frac{C2}{1/2'' = 1'-0''}$

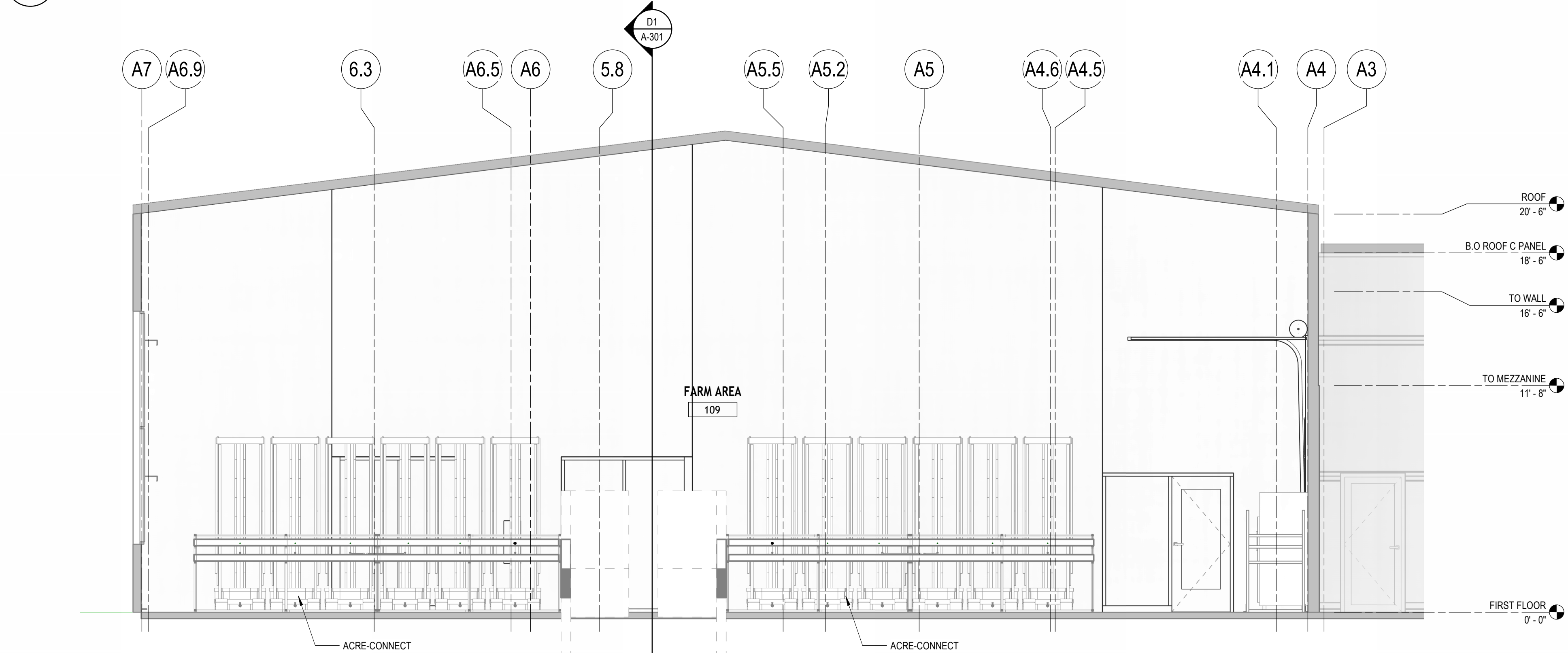
A1 $1/2'' = 1'-0''$

A5 $1/2" = 1'-0"$

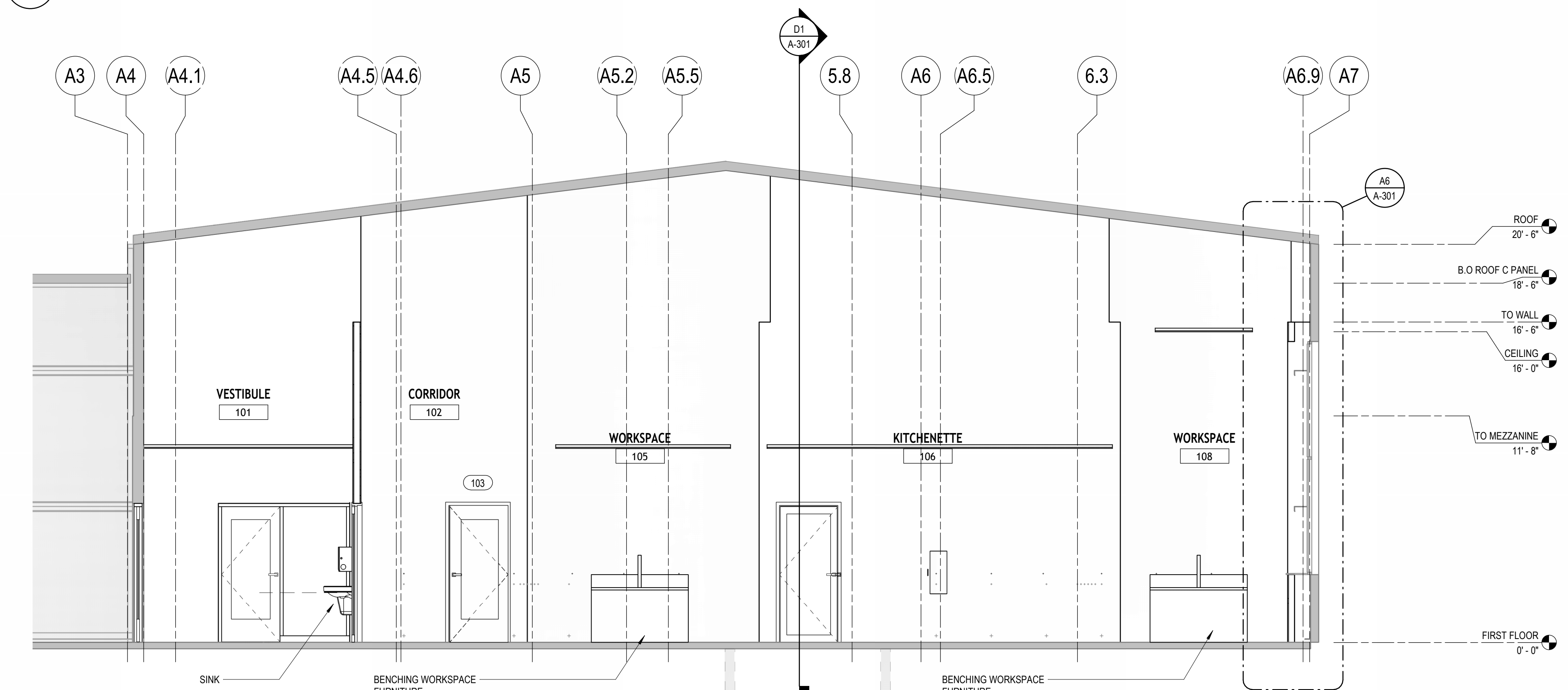
Autodesk Docs: / - Maker's Row/20250210_A25_GRAEF.rvt
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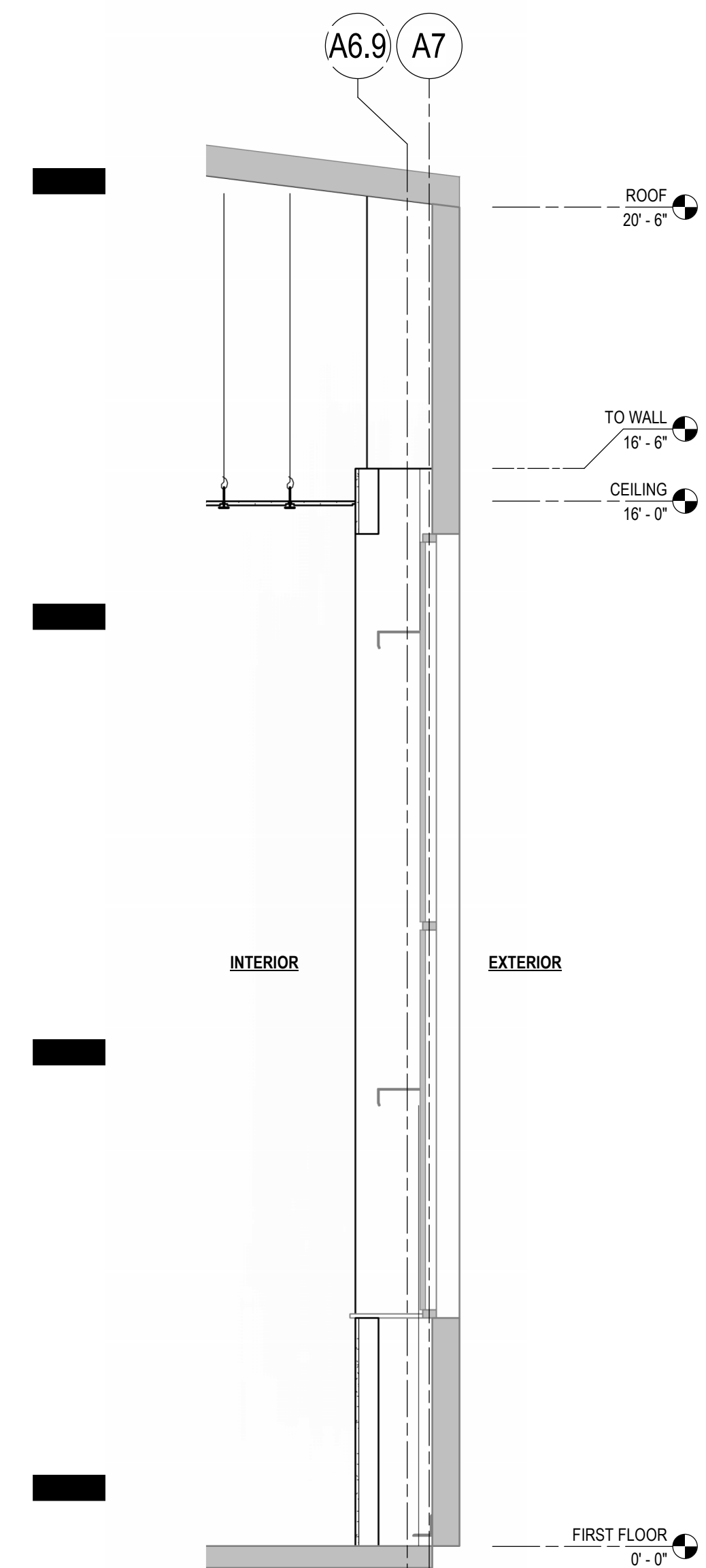
D1 EASTWEST - SECTION
1/4" = 1'-0"



C1 FARM AREA - SECTION
1/4" = 1'-0"



C3 OFFICE AREA - SECTION
1/4" = 1'-0"



A6 WALL SECTION
1/2" = 1'-0"

GR̄aEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414.960.4500

www.graef-usa.com

CLIENT:

DEMAIN
Building Tomorrow

PROJECT TITLE:

- MAKER'S ROW

6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

ISSUE:

1 09/26/2025 PERMIT REVIEW SET

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0210.00

DATE: 08/22/2025

DRAWN BY: BAD

CHECKED BY: RRJ

APPROVED BY: CWH

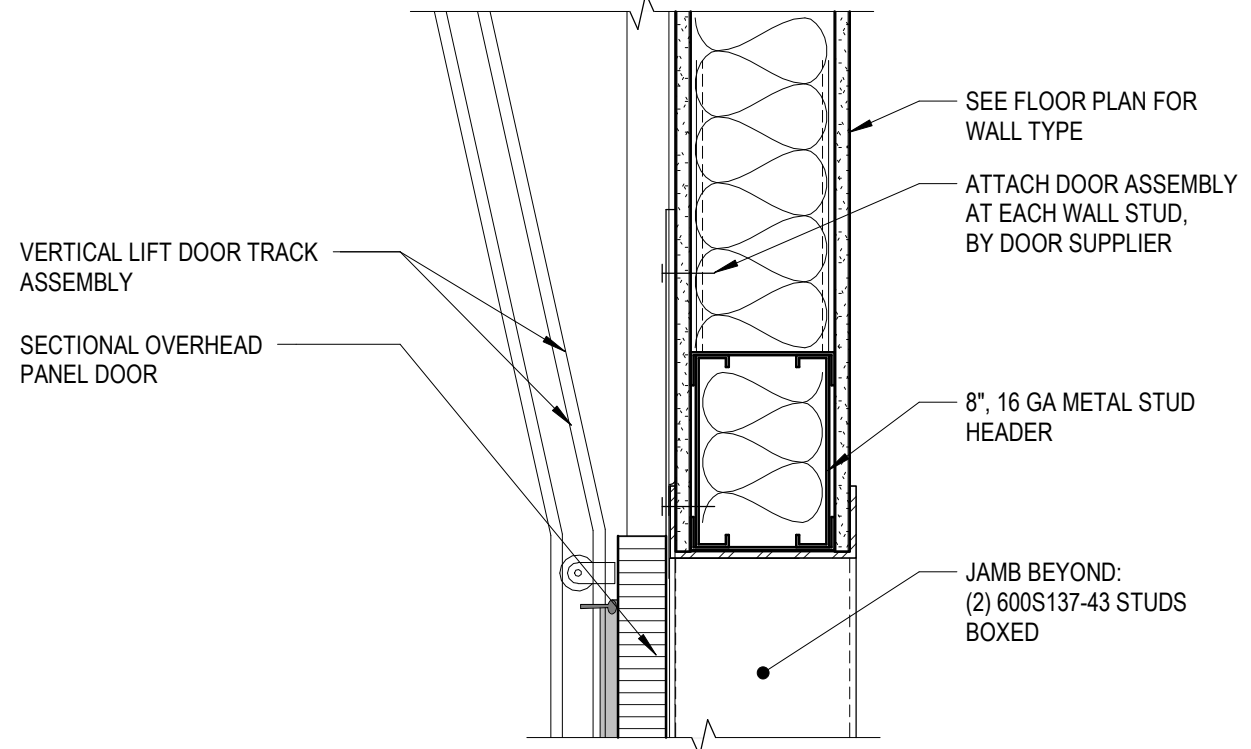
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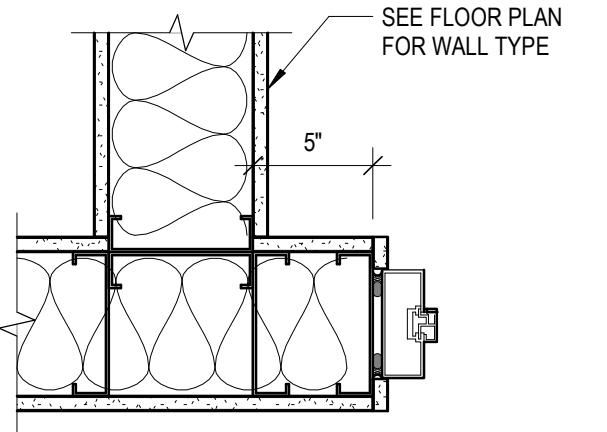
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SHEET NUMBER:

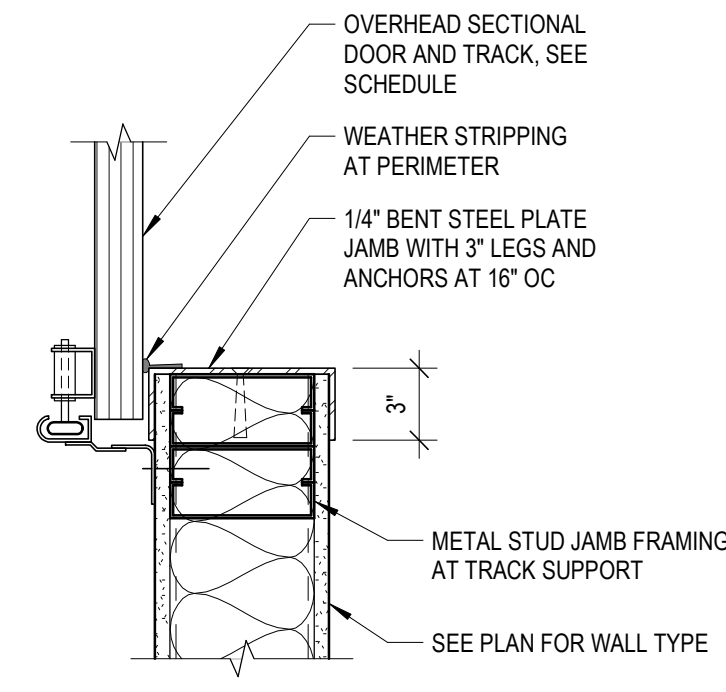
A-301



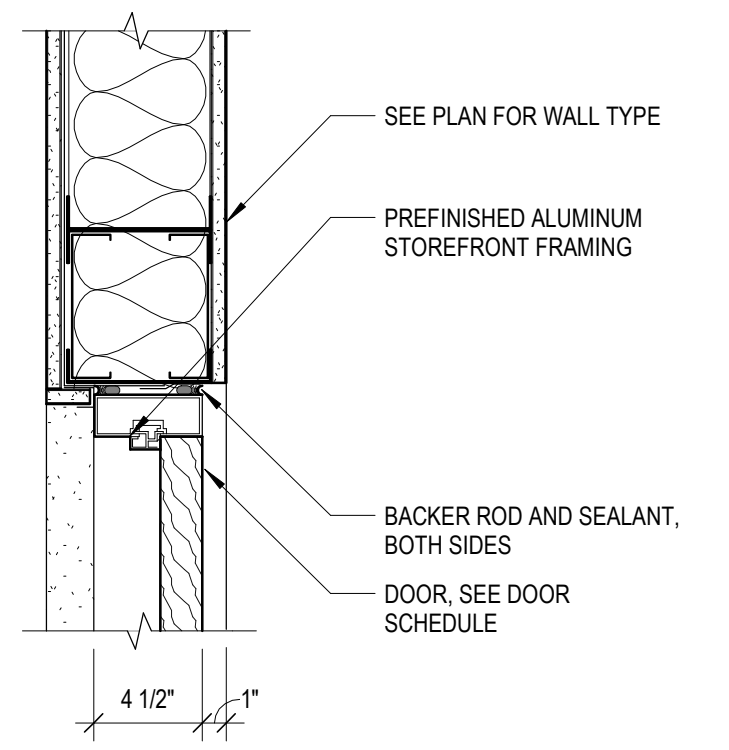
D5 OVERHEAD SECTIONAL DOOR HEAD
1 1/2" = 1'-0"



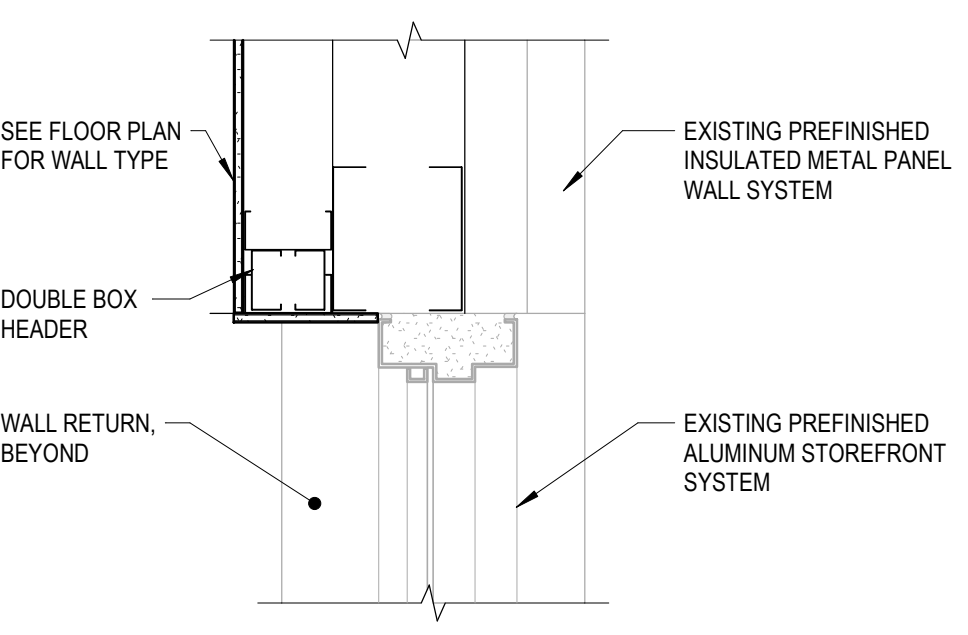
D6 DOOR PLACEMENT DETAIL AT STUD WALL
1 1/2" = 1'-0"



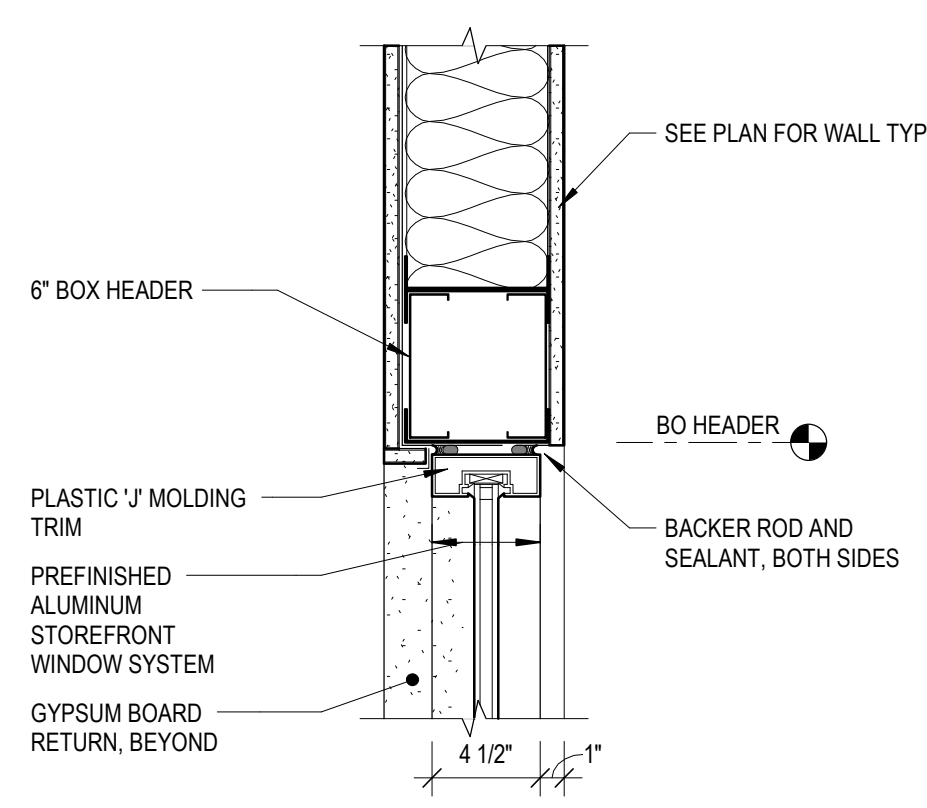
C5 OVERHEAD COILING DOOR JAMB
1 1/2" = 1'-0"



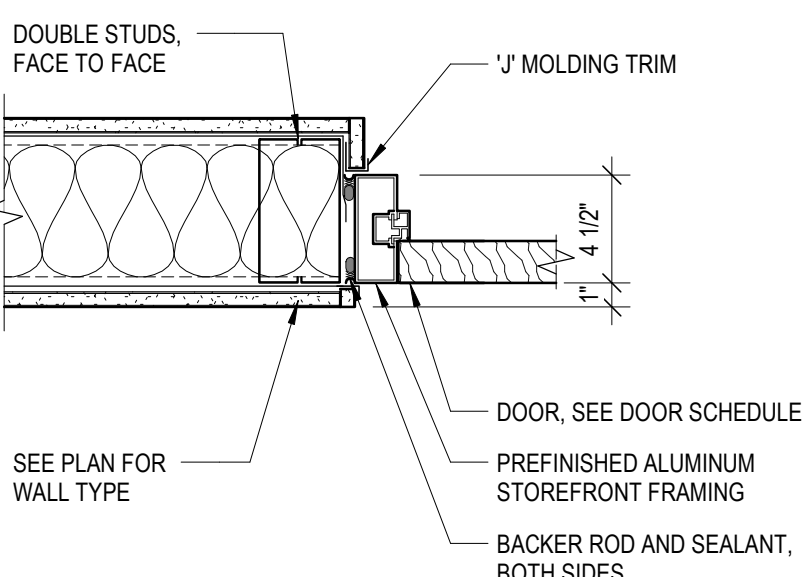
C6 DOOR HEAD AT STUD WALL
1 1/2" = 1'-0"



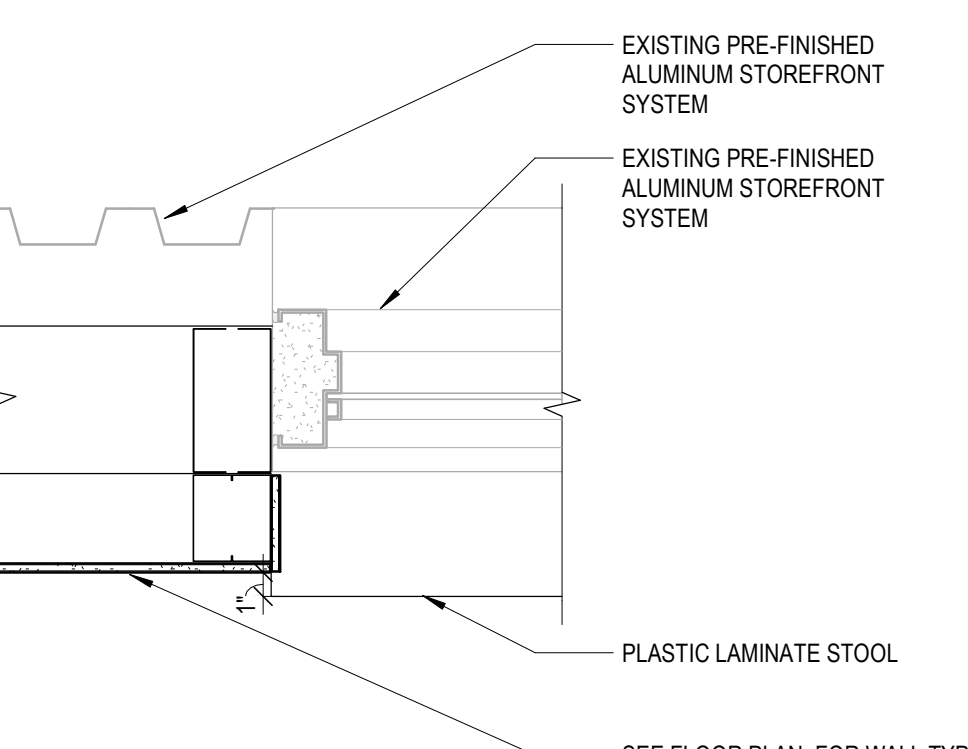
B4 WINDOW INFILL - HEAD DETAIL
1 1/2" = 1'-0"



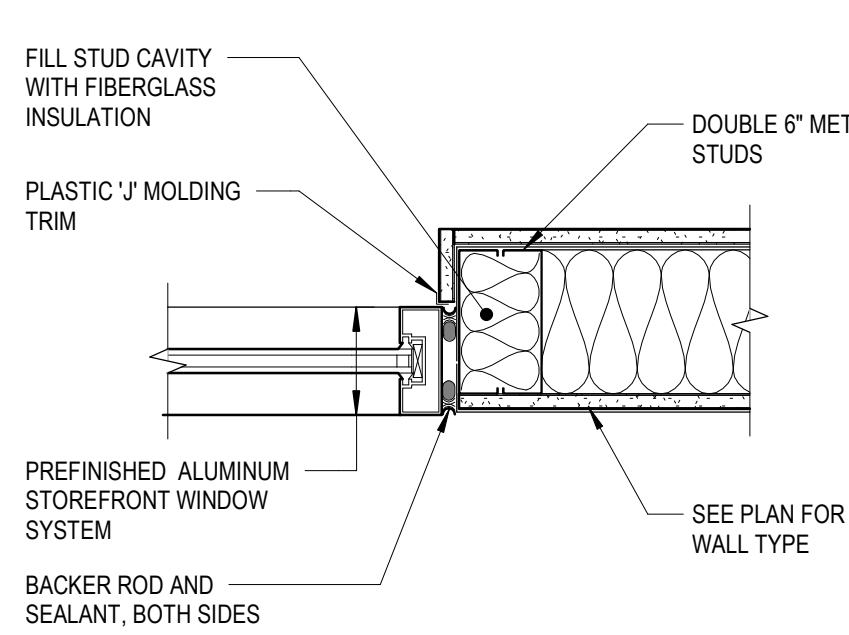
B5 ALUMINUM STOREFRONT HEAD DETAIL
1 1/2" = 1'-0"



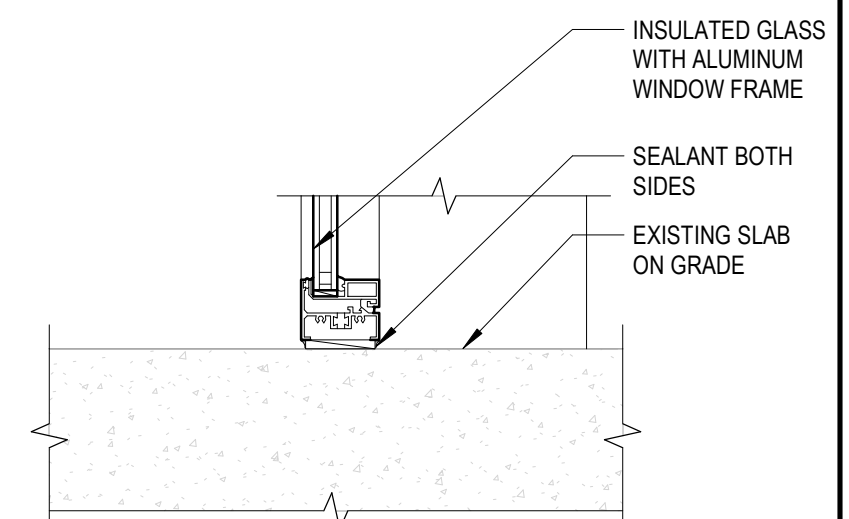
B6 DOOR JAMB AT STUD WALL
1 1/2" = 1'-0"



A4 WINDOW INFILL JAMB DETAIL
1 1/2" = 1'-0"



A5 ALUMINUM STOREFRONT JAMB DETAIL
1 1/2" = 1'-0"



A6 ALUMINUM WINDOW SILL AT SIDE LITE
1 1/2" = 1'-0"

D

C

B

A

Autodesk Docs - Maker's Row 20250210_A25_GRAEF.rvt
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DOOR, FRAME, AND HARDWARE SCHEDULE

DOOR NO	ASSOCIATED ROOM	DOOR														FRAME														HARDWARE														REMARKS
		PANEL DIMENSIONS				SPECIFICATION				SPECIFICATION				DETAIL				BOLTS				PLATES				MISCELLANEOUS				WEATHER STRIP														
		PRIMARY	SECONDARY	HEIGHT	THICKNESS	TYPE	GLAZING	MATL	FINISH	TYPE	MATL	FINISH	HEAD	JAMB	SILL	PRE RATING LABEL	SET	HINGES	CLOSER	STOP	AUTOMATIC	FOOT	HEAD	ARMOR	KICK	PULL	PUSH	ACOUSTIC SEAL	ASTRAGAL		RAIN DRIP	SMOKE SEAL	SNEEP	THRESHOLD										
101.1	VESTIBULE	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	03	ALUM	PF	OB/A-501	B6/A-501	A6/A-501	45 MIN																			CARD READER									
101.2	VESTIBULE	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	04	ALUM	PF	OB/A-501	B6/A-501	A6/A-501																			CARD READER										
102	CORRIDOR	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	01	ALUM	PF	OB/A-501	B6/A-501																														
103	HUDDLE	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	01	ALUM	PF	OB/A-501	B6/A-501																														
104	HUDDLE	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	01	ALUM	PF	OB/A-501	B6/A-501																														
107	CONFERENCE	3'-0"		7'-0"	1 3/4"	FG	YES	WD	S&V	01	ALUM	PF	OB/A-501	B6/A-501																														
109	FARM AREA	6'-0"		10'-0"	2"	OSG1	YES	WD	S&V	10	ALUM	PF	DS/A-501	CS/A-501		45 MIN																												
109.2	FARM AREA	3'-0"		7'-0"	1 3/4"	N	YES	WD	S&V	01	ALUM	PF	OB/A-501	B6/A-501																														

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR	BASE	WALLS								CEILING		NOTES
				NORTH		EAST		SOUTH		WEST		MATL	HEIGHT	
				MATL	FINISH	MATL	FINISH	MATL	FINISH	MATL	FINISH			
101	VESTIBULE	LVT-01	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"	
102	CORRIDOR	LVT-01	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"	
103	HUDDLE	CPT-02	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"	
104	HUDDLE	CPT-02	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"	
105	WORKSPACE	CPT-01	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACTIES	10'-0"	
106	KITCHENETTE	LVT-01	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACTIES	10'-0"	
107	CONFERENCE	CPT-02	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACT	10'-0"	
108	WORKSPACE	CPT-01	VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ACTIES	16'-0"	
109	FARM AREA	CONC	CONC/VB-1	GB	PT	GB	PT	GB	PT	GB	PT	ES		TROWEL AND SEAL CONCRETE SLAB

WINDOW TYPES

FRAME TYPES

DOOR TYPES

DOOR TYPES: SINGLE LEAF

DOOR TYPES: OVERHEAD DOOR

DOOR HARDWARE KEY

HINGES				
DESCRIPTION / FINISH	HAGER	MCKINNEY	STANLEY	IVES
H1 STANDARD (626)	BB1276	FB8179	T4271	5881
H2 HEAVY (626)	BB1168	T433786	FB8168	5881HW
H3 STANDARD (630)	BB1191	T42314	FB8191	5881 SS
H4 HEAVY (630)	BB1199	T43336	FB8199	5881HW SS
DOOR LOCKS				
DESCRIPTION / FINISH	HAGER	MCKINNEY	PEMKO	SELECT
H5 CONTINUOUS HEAVY DUTY	780 224HD	MCK 29HD	CFMHD	SL 24HD
LOCKSETS				
DESCRIPTION / FINISH	BEST 9K SERIES	SARGENT 10 LINE	SCHLAGE ND SERIES (RHO)	
LS1 ENTRANCE (626)	(AB) F109	10G05	ND3PD	
LS2 STOREROOM (626)	(D) F86	10G04	ND8PD	
LS3 CLASSROOM (626)	(R) F84	10G37	ND7PD	
LS4 PRIVACY (626)	(L) F76	10U65	ND40S	
LS5 EXIT (626)	(Y)	10G17	ND82PD	
LS6 PASSAGE (626)	(N) F76	10U15	ND10S	
LS7 RIM CYLINDER (626)	1E-72	34 SERIES	20-022	
LS8 MORTISE CYLINDER (626)	1E-74	40 SERIES	20-001	
LS9 DEADLOCK (626)	83T SERIES	480 SERIES	B660P	
LS10 DUMMY TRIM (626)	(1DT)			
EXIT DEVICES				
DESCRIPTION / FINISH	SARGENT	VONDUPRIN		
ED1 RIM - EXIT ONLY (626)	8810	99EO	33EO	
ED2 RIM - LEVER (626)	8813 ETL	8400 Series	99Lx99L	33Lx36L
ED3 SURF. RODS - LEVER (626)	8713 ETL		9927Lx99L	3327Lx36L
ED4 CON. RODS - LEVER (626)	8613 ETL		9947Lx99L	3347Lx36L
When a cylinder lockset is scheduled with an exit device, trim w/ cylinder should be provided. If no cylinder lockset is scheduled, trim shall be blank escutcheon (unless specified otherwise).				
CLOSERS				
DESCRIPTION / FINISH	LCN	NORTON	SARGENT	
CL1 PULL SIDE REG. (689)	4011	7501	351 O	
CL2 PULL SIDE HOLD-OPEN (689)	4011 H	7501 H	351 H	
CL3 PUSH SIDE REG. (689)	4111 EDA	PR7501	351 P10	
CL4 PUSH SIDE w/ STOP (689)	4111 CLUSH PA	CLP7501	351 PS	
CL5 PUSH SIDE HOLD-OPEN (689)	4111 H-CUSH	CLP7501H	351 PSH	
CL6 PUSH SIDE EXT. DOORS (689)	4111 S-CUSH	UNIT7501	351 CPS	
CL7 DROP PLATE (689)	4110-18	7788	351-D	
STOPS				
DESCRIPTION / FINISH	HAGER	IVES	ROCKWOOD	
ST1 FLOOR MTD. (626)	241F	FS436	441	
ST2 WALL MTD. (626)	230W	WS407CCV	409	
OVERHEAD STOPS				
DESCRIPTION / FINISH	GLYNN-JOHNSON	RIXSON	SARGENT	
ST3 HD SURFACE MTD. (630)	90 Series	9 Series	590	
ST4 HD CONCEALED (630)	100 Series	1 Series	690	
ST5 STD. SURFACE MTD. (630)	410 Series	5 Series	1530	
ST6 STD. CONCEALED (630)	450 Series	55 Series	1540	
PUSH-PULL / KICKPLATES				
DESCRIPTION / FINISH	HAGER	IVES	ROCKWOOD	
PP1 PUSH PLATE (630)	30S	8200 4"x16"	70C	
PP2 PULL w/ PLATE (630)	33S	8302	106x70C	
PP3 PUSH-PULL BAR (630)	1600	9190-12	BF15847	
KP1 KICKPLATE 8"x2"L/DW (630)	190S	8400	K1050	
KP2 ARMOR PLATE 36"x34" (630)	220S	8400	K1125	
WEATHERSTRIP, SWEEPS, AND THRESHOLDS				
DESCRIPTION	NATIONAL GUARD	PEMKO	REESE	
T1 THRESHOLD	8424	25x2 FG	S282A	
S1H SWEEP	200NA	192VA	234AV	772
WS1 WEATHERSTRIP	192VA	234AV	DS106C	
WS2 SMOKE SEAL	5050B	888	797B	
MISC. HARDWARE				
DESCRIPTION	IVES	MCKINNEY	ROCKWOOD	
CO1 COORDINATOR (626)	COR SERIES	CSM SERIES	1600 SERIES	
FB1 AUTO - METAL (626)	FB31P	FB06M	1842	
FB2 AUTO - WOOD (626)	FB41P	FB10W	1942	
FB3 MANUAL - METAL (626)	FB45S	FB01M	555	
FB4 MANUAL - WOOD (626)	FB35S	FB02W	557	
RL1 ROLLER LATCH (630)	RL32	RL1B	592	
ES1 AT RIM EXIT DEVICE (630)	HEIS	SECURITRON	VONDUPRIN	
ES2 AT STD. LOCKSET (630)	7000 Series	N/A	6111	
BM1 COORDINATOR (626)	4500 Series	UNL	6211	
	SARGENT	VONDUPRIN		
	L990	KR4954		
	NATIONAL GUARD	PEMKO	REESE	
AB1 AUTOMATIC BUTTON	320V	420VL	S282A	
METAL FINISH KEY				
ANSI/BHMA CODE	DESCRIPTION	BASE MATERIAL		
605	BRIGHT BRASS, CLEAR COATED	BRASS		
606	SATIN BRASS, CLEAR COATED	BRASS		
611	BRIGHT BRONZE, CLEAR COATED	BRONZE		
612	SATINE BRONZE, CLEAR COATED	BRONZE		
618	BRIGHT NICKEL PLATED, CLEAR COATED	BRASS, BRONZE		
619	SATIN NICKEL PLATED, CLEAR COATED	BRASS, BRONZE		
625	BRIGHT CHROMIUM PLATED	BRASS, BRONZE		
628	SATIN CHROMIUM PLATED	BRASS, BRONZE		
627	SATIN ALUMINUM, CLEAR COATED	ALUMINUM		
628	SATIN ALUMINUM, CLEAR ANODIZED	ALUMINUM		
629	BRIGHT STAINLESS STEEL	STAINLESS STEEL 300 SERIES		
630	SATIN STAINLESS STEEL	STAINLESS STEEL 300 SERIES		
632	BRIGHT BRASS PLATED, CLEAR COATED	STEEL		
633	SATIN BRASS PLATED, CLEAR COATED	STEEL		
637	BRIGHT BRONZE PLATED, CLEAR COATED	STEEL		
639	SATIN BRONZE PLATED, CLEAR COATED	STEEL		
645	BRIGHT NICKEL PLATED, CLEAR COATED	STEEL		
646	SATIN NICKEL PLATED, CLEAR COATED	STEEL		
651	BRIGHT CHROMIUM PLATED	STEEL		
652	SATIN CHROMIUM PLATED	STEEL		
653	BRIGHT STAINLESS STEEL	STAINLESS STEEL 400 SERIES		
654	SATIN STAINLESS STEEL	STAINLESS STEEL 400 SERIES		
663	ZINC PLATED WITH CLEAR CHROMATE SEAL	STEEL		
673	ALUMINUM CLEAR COATED	ALUMINUM		
686	BLACK CHROME, BRIGHT	STEEL		
687	BLACK CHROME, SATIN	STEEL		

GRAEF

275 West Wisconsin Avenue,
Suite 300
Milwaukee, WI 53203
414 / 259 1500

www.graef-usa.com

CLIENT:

DEMAIN
Building Tomorrow

PROJECT TITLE:

- MAKER'S ROW

ISSUE:

1 09/26/2025 PERMIT REVIEW SET

6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

PROJECT INFORMATION:

PROJECT NUMBER: 2025-0210.00

DATE: 08/22/2025

DRAWN BY: BAD

CHECKED BY: RRJ

APPROVED BY: CWH

SCALE: AS NOTED

SHEET TITLE:

SCHEDULES

SHEET NUMBER:

A-601

Autodesk Docs: Milwaukee, WI 53203
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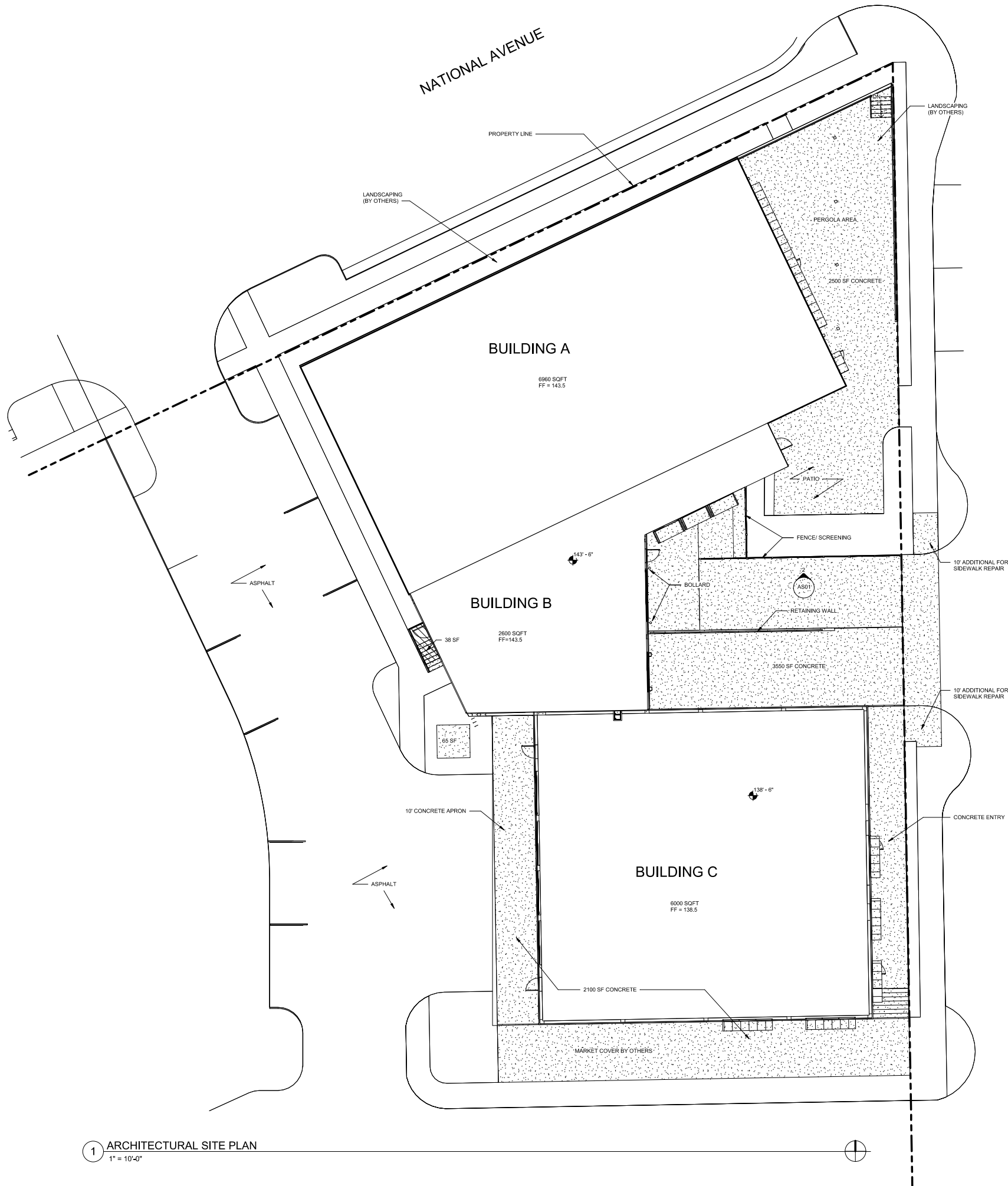
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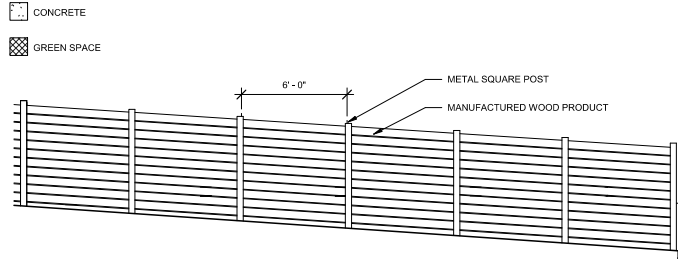
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Site, Landscaping, Architectural 2020 Plans----->>



ZONING	
ZONED:	C-3 West Allis Community Commercial District
MIN. BUILDING SETBACKS (FT):	FRONT & STREET YARD: NONE INTERIOR SIDE YARD: 10' REAR YARD: 10'



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

PRELIMINARY NOT FOR CONSTRUCTION

ANDERSON-ASHTON, INC. DESIGN / BUILD
2748 South 166th Street
New Berlin, WI 53151
WWW.ANDERSONASHTON.COM

PROPOSED (ADDITION, REMODEL, NEW) BUILDING FOR:
Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

DRAFTED BY: Author

DESIGNER: 11/6/20 10:27

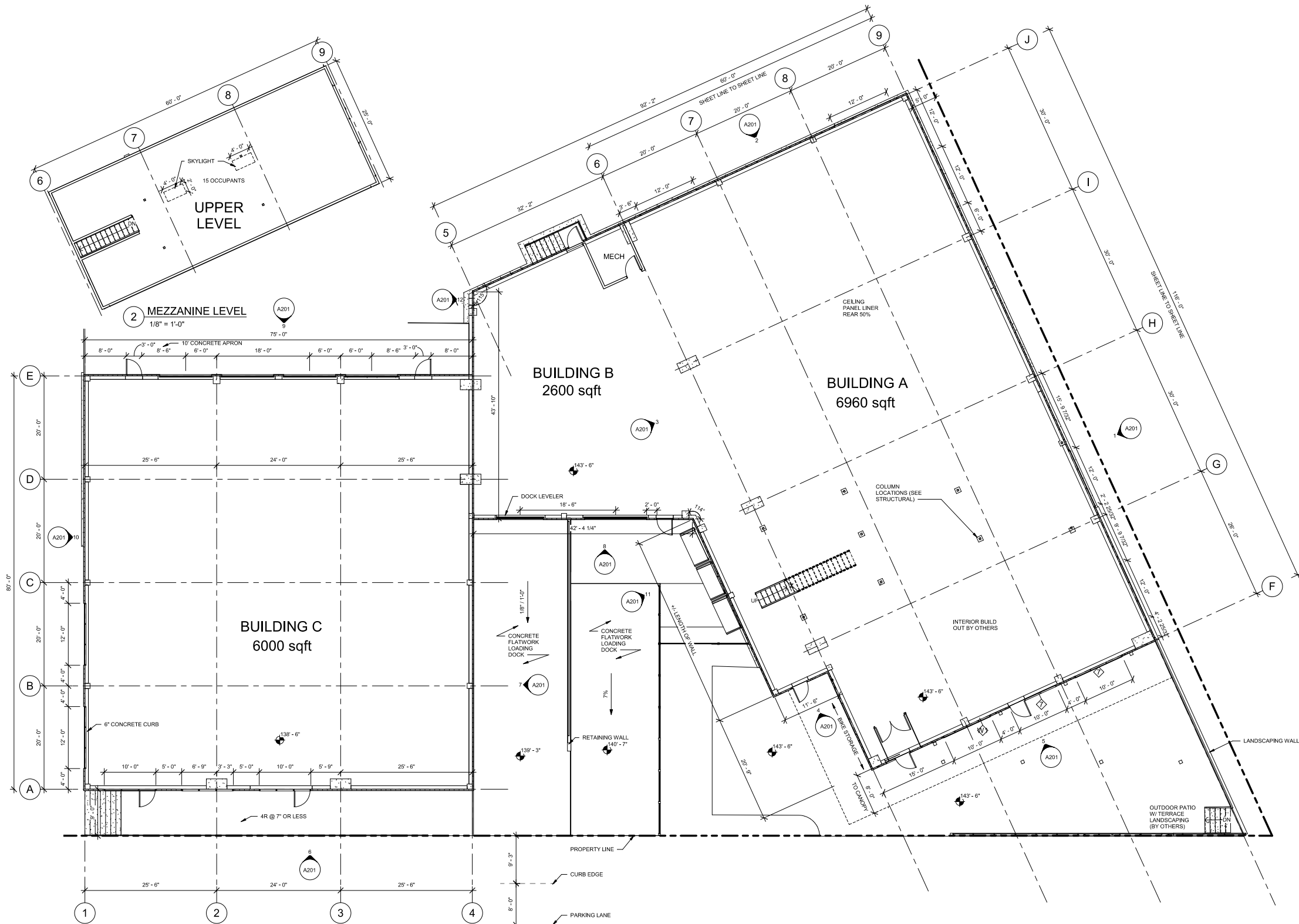
ISSUE: 11/6

SUBMITTAL DATE: 11/6

DESIGN NO.

CONSTRUCTION NO.

AS01



1 FLOOR PLAN
1/8" = 1'-0"

REVISIONS

PRELIMINARY NOT FOR CONSTRUCTION

ANDERSON-
ASHTON, INC.
DESIGN / BUILD
2748 South 166th Street
New Berlin, WI 53151
WWW.ANDERSONASHTON.COM

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DRAFTED BY: Author

DESIGNER:

ISSUE: 11/6/20 10:27

SUBMITTAL DATE: 11/6

DESIGN NO.

CONSTRUCTION NO. #####

A101

ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
1 METAL WALL PANEL (BLDG A)	7.2 INSUL RIB METL-SPAN METAL PANEL	DARK GREY METALLIC
2 METAL WALL PANEL (BLDG B)	FLAT METAL PANEL METL-SPAN	COR-TEN AZP RAW
3 METAL WALL PANEL (BLDG C)	VERTICAL MINIWAVE METAL PANEL	SILVER METALLIC
4 METAL WALL PANEL (BLDG A ACCENT)	7.2 INSUL RIB METL-SPAN METAL PANEL	DARK BROWN METALLIC
5 METAL WALL PANEL (BLDG C ACCENT)	VERTICAL MINIWAVE METAL PANEL	TBD
6 METAL COPING & CANOPIES	METAL	TO MATCH ASSOCIATED BUILDING
7 GLAZING	ALUMINUM STOREFRONT	TBD
8 ALZN (SILVER) FINISH (BLDG A & C)	BUTLER MR-24 ROOF	SILVER METALLIC

REVISIONS

PRELIMINARY NOT FOR CONSTRUCTION

ANDERSON-
ASHTON INC.
DESIGN / BUILD
2748 South 166th Street
New Berlin, WI 53151
(262) 788-4400
WWW.ANDERSONASHTON.COM



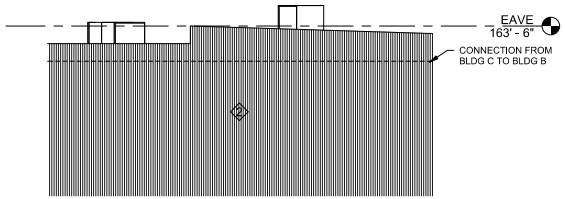
PROPOSED (ADDITION, REMODEL, NEW) BUILDING FOR:

Mandel - Maker's Row

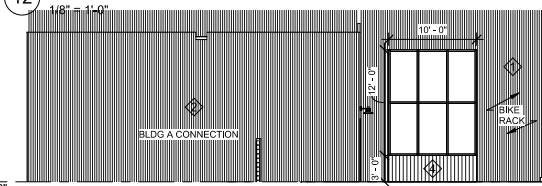
6600 W. NATIONAL AVE. WEST ALLIS, WI

DRAFTED BY: JWN
DESIGNER:
ISSUE: 11/6/20 10:27
SUBMITTAL DATE: 11/6
DESIGN NO.
CONSTRUCTION NO. 3893

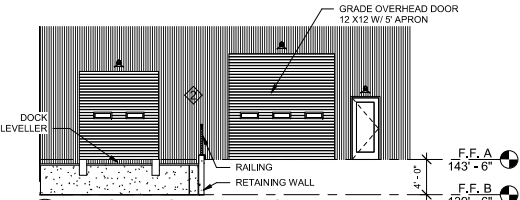
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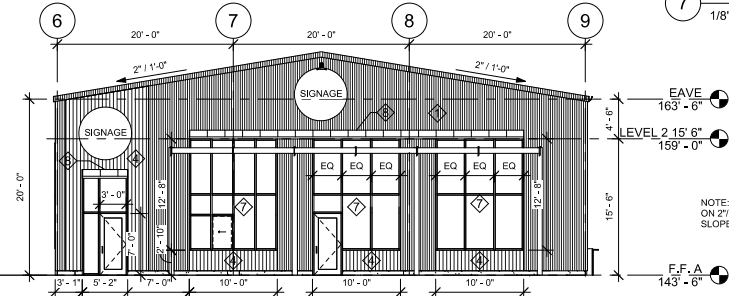
12 BLDG B SOUTH ELEVATION



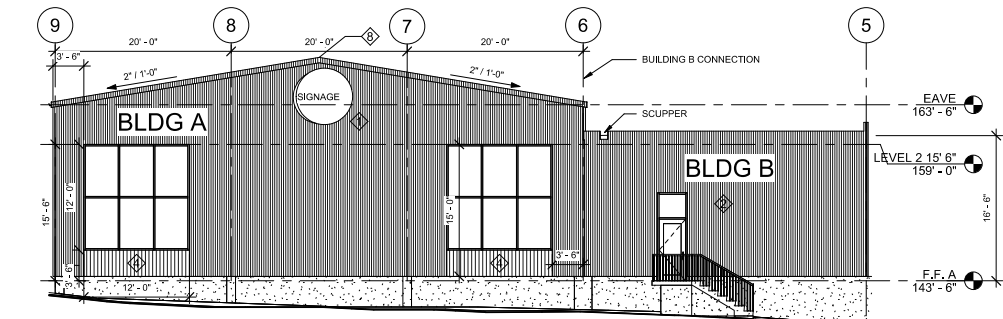
11 BLDG B SE ELEVATION



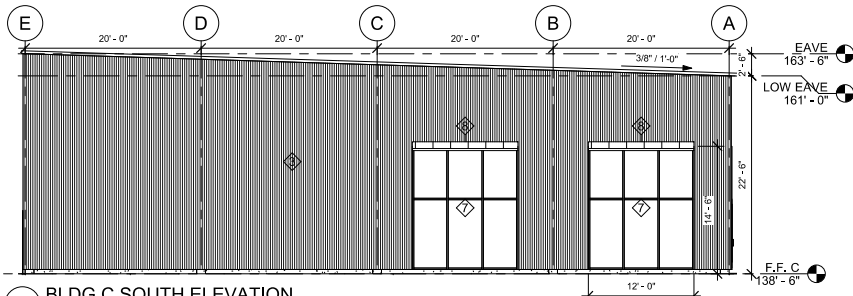
8 BLDG B EAST ELEVATION



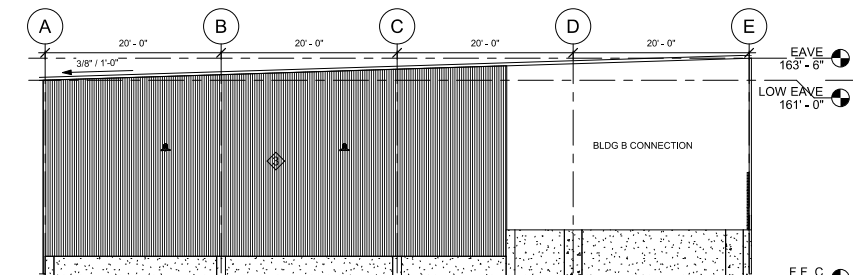
5 BLDG A EAST ELEVATION



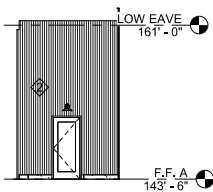
2 BLDG A & BLDG B WEST ELEVATION



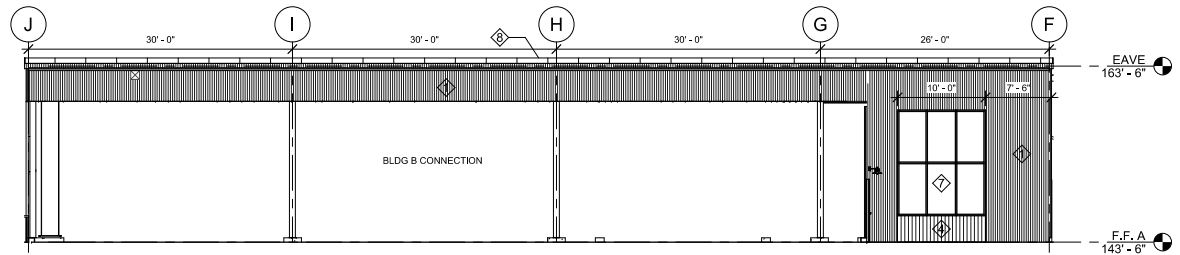
10 BLDG C SOUTH ELEVATION



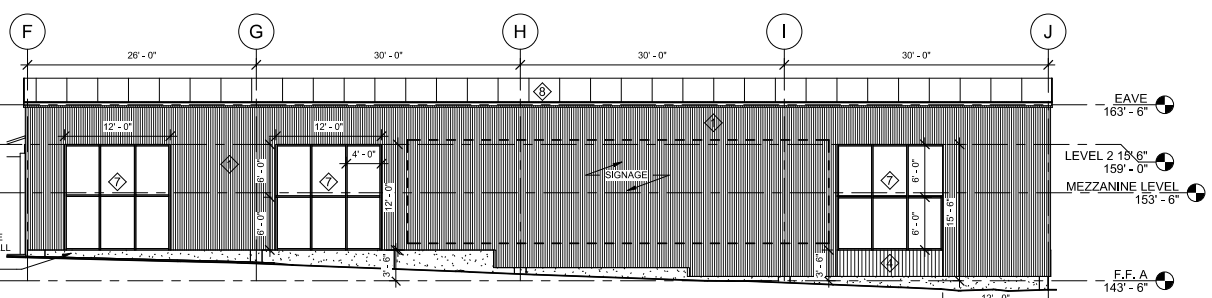
7 BLDG C NORTH ELEVATION



4 BLDG B NE ELEVATION

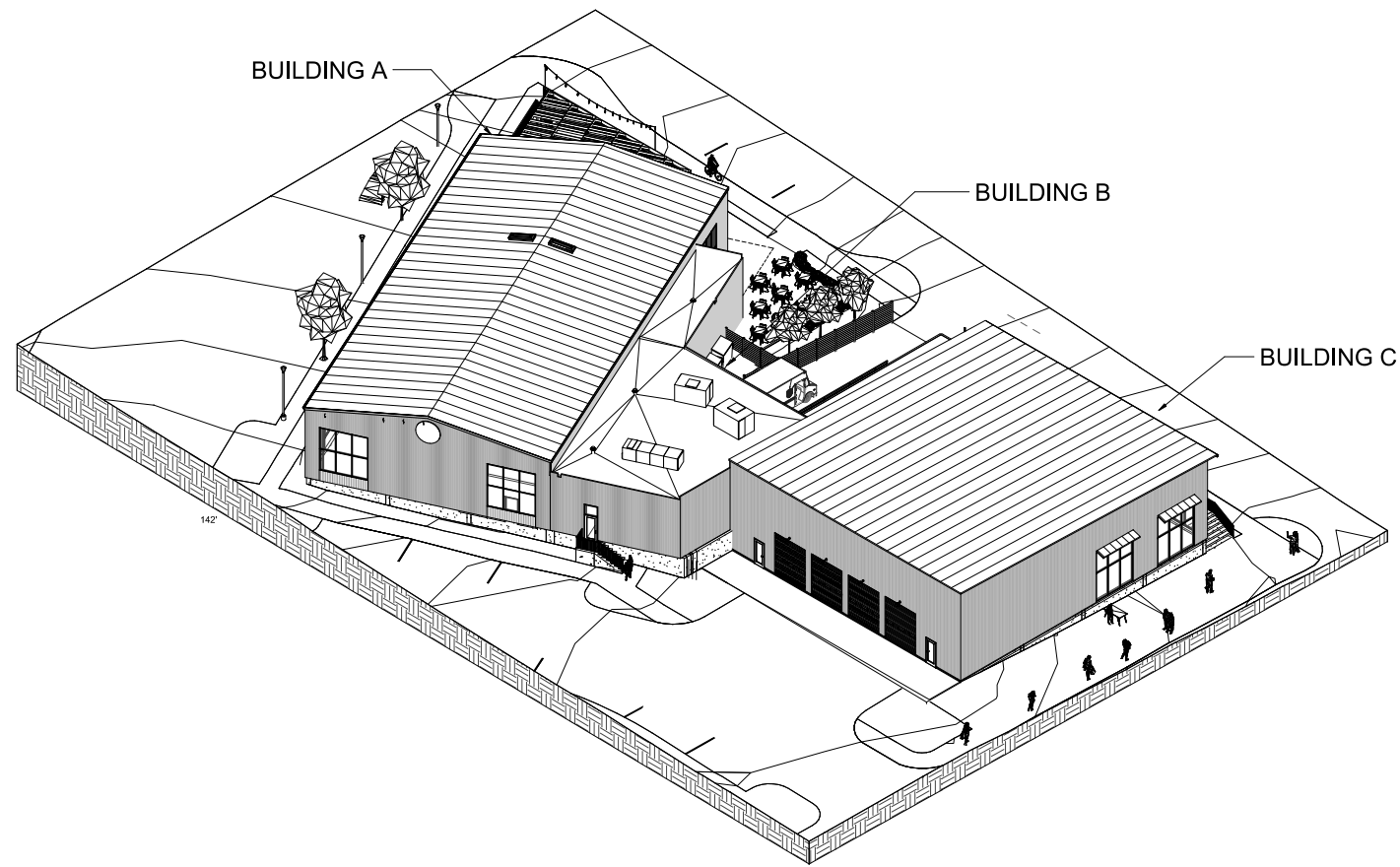


3 BLDG A SOUTH ELEVATION

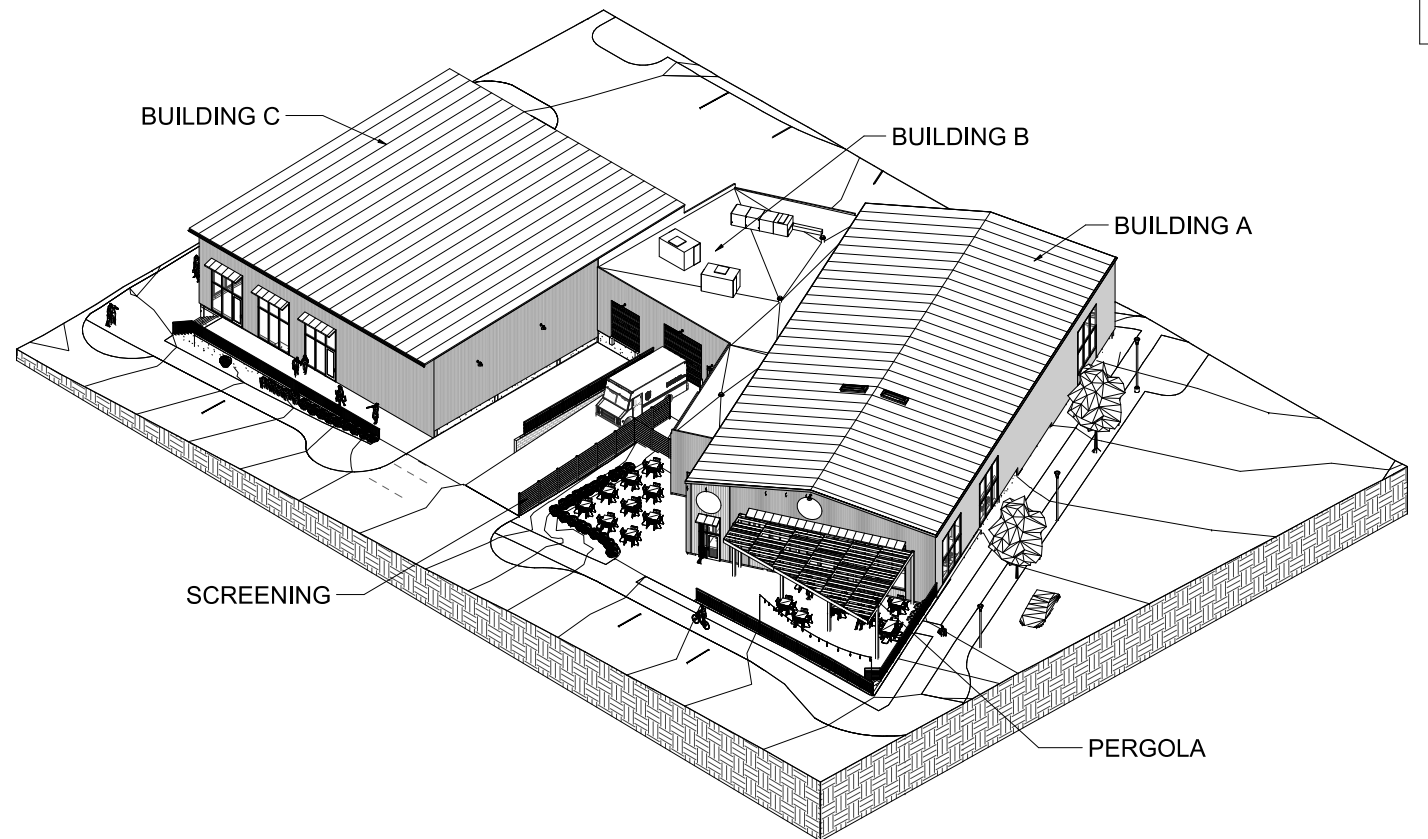


1 BLDG A NORTH ELEVATION





2 OVERALL AXON REAR



1 OVERALL AXON

REVISIONS

PRELIMINARY NOT FOR CONSTRUCTION

ANDERSON-ASHTON, INC.
DESIGN / BUILD
2748 South 166th Street
New Berlin, WI 53151
TEL: (262) 788-4500
WWW.ANDERSONASHTON.COM

IA

Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

DRAFTED BY: Author
DESIGNER:
ISSUE: 11/6/20 10:27
SUBMITTAL DATE: 11/6
DESIGN NO.
CONSTRUCTION NO.

A901

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DAN BEYER ARCHITECTS

VIEW FROM NATIONAL AVE. & S 66TH ST



VIEW FROM W. LAPHAM ST & S 66TH ST



VIEW FROM NATIONAL AVE

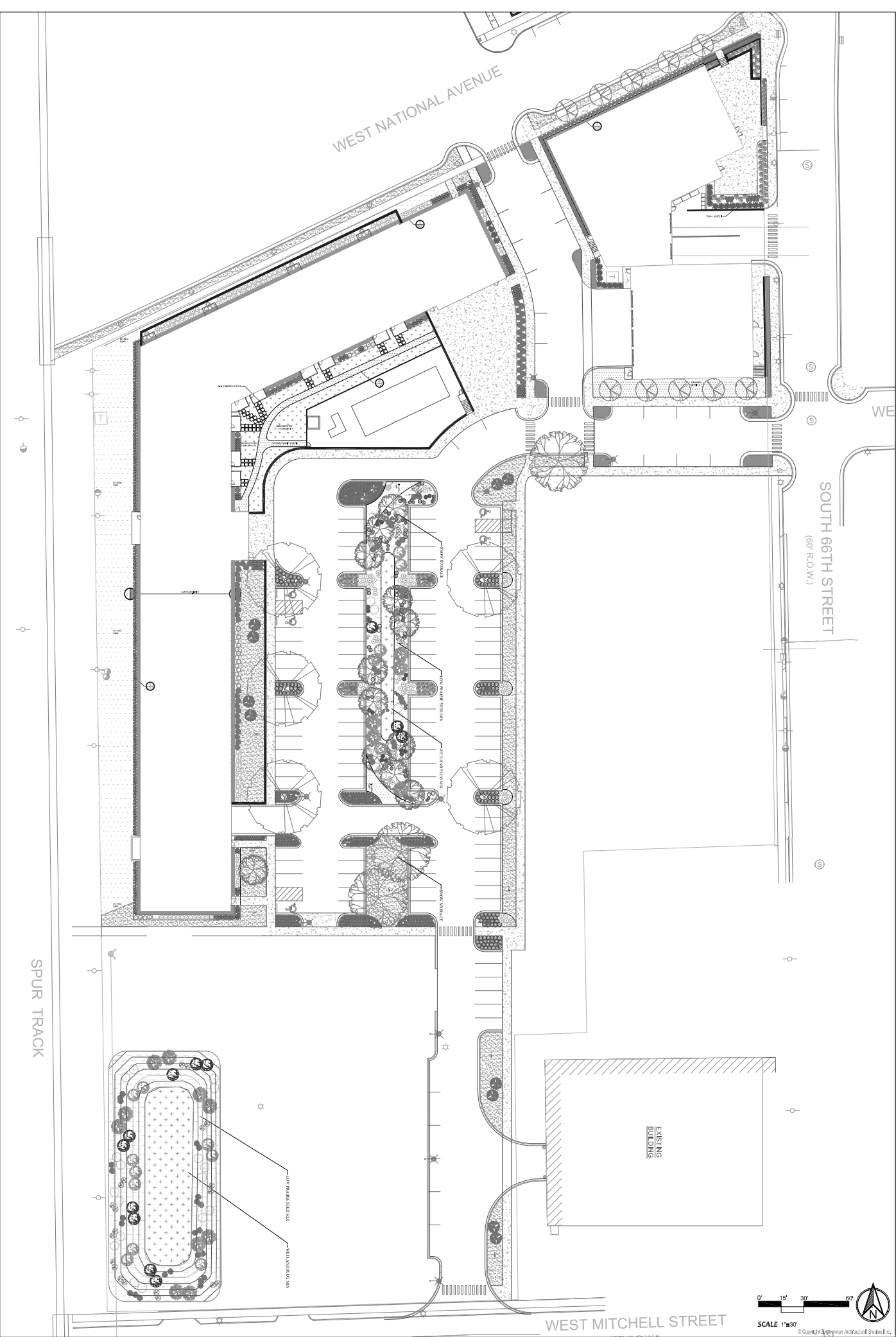
PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	BR	Betula nigra	River Birch	2" Cal.	B&B	3
	BW	Betula populifolia "Wattlespire"	Wattlespire Birch	2" Cal.	B&B	12
	C3	Carpinus caroliniana "J.N. Updight" TM	Flarefire American Hornbeam	2" Cal.	B&B	12
	QB	Quercus bicolor	Swamp White Oak	2" Cal.	B&B	5
	QR3	Quercus robur x alba "Cliffman Spire"	Cliffman Spire Oak	2" Cal.	B&B	10
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	JC3	Juniperus chinensis "Spartan"	Spartan Juniper	6" Ht.	B&B	27
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ah	Amaranthus hybridus	Arkansas Queenstar	1 gal.	Pot	135
	AS4	Asclepias syriaca	Common Milkweed	1 gal.	B&B	13
	Am8	Aster macrophyllus	Broadleaf Aster	1 gal.	Pot	13
	CA2	Ceanothus americanus	New Jersey Tea	1 gal.	Pot	27
	EY	Eryngium yuccifolium	Rattlesnake Master	1 gal.	Pot	28
	EP2	Eupatorium purpureum "Little Joe"	Dwarf Joe-Pye Weed	1 gal.	Pot	17
	IV2	Iris virginica shrevei	Shreve's Iris	1 gal.	Pot	21
	NM	Nepeta mustrum "Walker's Low"	Walker's Low Catmint	1 gal.	Pot	421
	SR3	Solidago rugosa "Fireworks"	Windleaf Goldenrod	1 gal.	Pot	22
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Am7	Aronia melanocarpa	Black Chokeberry	1.5" Ht.	B&B	62
	AM	Aronia melanocarpa "Morton" TM	Iroquois Beauty Black Chokeberry	1.5" Ht.	B&B	34
	CO2	Cephalanthus occidentalis	Buttonbush	1.5" Ht.	B,R	25
	CT2	Cornus pumila	Dwarf Red-Tipped Dogwood	1.5" Ht.	B&B	39
	CG	Cornus racemosa	Gray Dogwood	1.5" Ht.	B&B	15
	Fx	Fothergilla x "Mount Airy"	Mount Airy Fothergilla	1.5" Ht.	Pot	126
	HK	Hypericum kalmianum	St. John's Wort	1.5" Ht.	Pot	96
	PO5	Physocarpus opulifolius "Dart's Gold"	Yellow Ninebark	1.5" Ht.	B&B	15
	PO2	Physocarpus opulifolius "Daiho"	Daiho Ninebark	1.5" Ht.	B&B	12
	SP	Salix purpurea "Nana"	Dwarf Arctic Willow	1.5" Ht.	Pot	103
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cm2	Carex muskingumensis	Palm Sedge	1 gal.	Pot	8
	PV3	Panicum virgatum "North Wind"	Northwind Switch Grass	1 gal.	Pot	142
	Sa	Sedum autumnale	Autumn Moor Grass	1 gal.	Pot	632
	SH	Sporobolus heterodepsis	Prairie Dropseed	1 gal.	Pot	869

LANDSCAPE NOTES

- The contractor is required to notify Diggers Hotline (811 or 800-242-8511) to have site marked at least 2 business days prior to digging.
- Contractor is required to confirm all plant quantities shown on Plant & Material List and landscape planting symbols and list any inconsistencies/concerns to General Contractor.
- Plantings must comply with standards as defined in American Standard of Nursery Stock - Z60.1 ANSI. The Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, and diseased, improperly transported, installed incorrectly or damaged. Any potential plant substitutions that are "B Grade" or "Park Grade" plant material must be approved by Landscape Architect.
- Plantings must be planted as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any deviations to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Plantings are to be watered comprehensively at the time of planting, through construction and upon completion of project as required. See planting specifications for clarifications.
- Topsoil ought to be placed to within 3" of finish grade by general / grading contractor during rough grading procedures. All parking lot islands if (applicable) to be backfilled with topsoil to a minimum depth of 18" and crown all planting islands and beds a minimum of 6" to allow proper drainage (unless otherwise specified).
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of shredded hardwood bark mulch.
- Mulching: perennial planting areas shall receive a 3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch.
- Manual Edging: All planting beds will be bordered with a 3" deep spade edge using a flat landscape spade or a mechanical edger. A clean definition between landscape beds and lawn is required. Bed lines are to be cut crisp, smooth.
- Aluminum Edging: to be placed in maintenance strip beds. For material and installation see plantings specification.
- Stone maintenance strip to be installed 3 inches deep above weed material with (aluminum) edging. Contractor to install maintenance strip 2-feet wide along building edge, where indicated and in compliance to plantings specification.
- Plant bed amendment composition: All perennial, groundcover and annual areas are required to receive a blend of soil amendments before installation. For mixtures and installation see plantings specification.
- Seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Formulate the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Erosion control actions are to be used in swales and on slopes in excess of 1:3 and where applicable. Means of installation may differ and are at the discretion of the Landscape Contractor on his/her responsibility to establish and warranty a smooth, uniform, quality turf.
- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Nursery 608-296-3679) or approved comparable mix from a reputable seed mix provider with landscape architect endorsement. Prepare seed bed and soil as specified in plantings specification.
- Native Low Prairie Seed Mix / Wetland Plug Mix: seed mixes as listed on the Plant and Material List or other seeding schedules outlined in naturalized seed spec. Prepare soil and seed bed as in item #12 above.
- The Landscape Contractor is accountable for the watering and maintenance of all landscape areas for a period of 90 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed. Work also includes weeding, edging, mulching, fertilizing, and trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is accountable to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative.

SPUR TRACK



zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE (414) 476.9500
FACSIMILE (414) 476.8682

Developer/Owner:

Consultant:

Project:

SoNa Lofts

Location:
W. National Avenue
West Allis, WI 53214

Key Plan:

Sheet:

OVERALL
LANDSCAPE PLAN

Phase:

Planning Commission Submittal

Scale: 1"=30'

Revisions:

No.	Date	Description
1	11/06/20	Planning Commission Submittal

Date:

11/06/20

Project No:

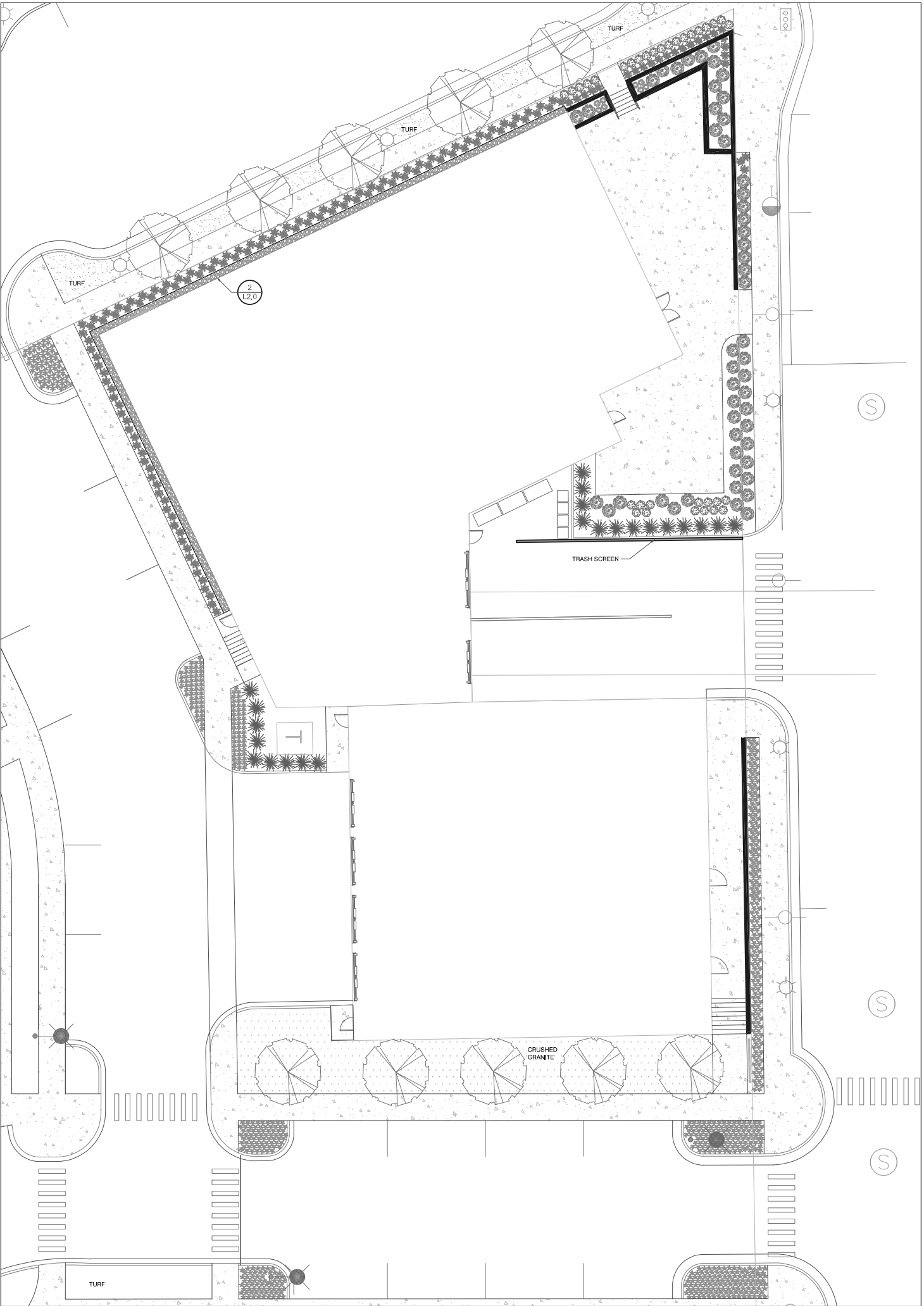
200054_00

Sheet No:

L1.0

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	QR3	Quercus robur x alba "Crimson Spire"	Crimson Spire Oak	2,7' Cal.	B&B	10
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	JC3	Juniperus chinensis "Spartan"	Spartan Juniper	6' HT.	B&B	22
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	NM	Nepeta mussini "Walker's Low"	Walker's Low Catmint	1 gal.	Pot	33
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	HK	Hypericum adpressum	St. John's Wort	1,5' HT.	Pot	52
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cm2	Carex muskingumensis	Palm Sedge	1 gal.	Pot	8
	PV3	Panicum virgatum "North Wind"	Northwind Switch Grass	1 gal.	Pot	141
	SH	Sporobolus heterodactylus	Prarie Dropseed	1 gal.	Pot	737



zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstudioinc.com
TELEPHONE (414) 476.9500
FACSIMILE (414) 476.8552

Developer/Owner:

Consultant:

Project:

SoNa Lofts

Location:
W. National Avenue
West Allis, WI 53214

Key Plan:



Sheet:

VALENTINE COFFEE

Phase:

Planning Commission Submittal

Scale: 1"=10'

Revisions:

No.	Date	Description
1	11/06/20	Planning Commission Submittal

Date:

11/06/20

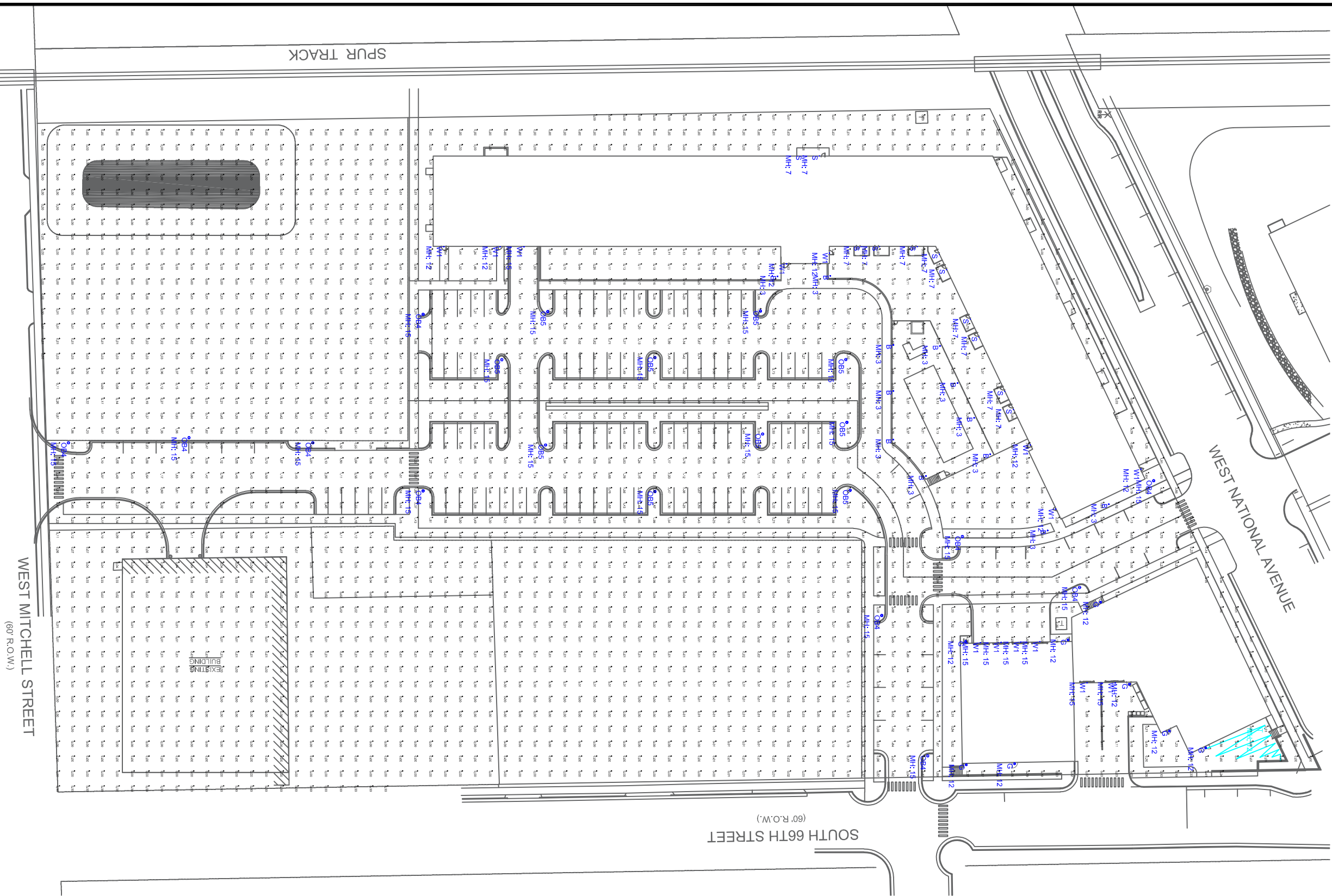
Project No:

200054.00

Sheet No:

SCALE 1"=10'
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L1.1



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	illuminance	Fc	0,51	4,64	0,00	N.A.	N.A.
PARKING AREA	illuminance	Fc	1,34	4,0	0,2	6,70	20,00

Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
12	B	SINGLE	0.950	KUZCO	EB3036-xx	11	132	562
8	G	SINGLE	0.950	BASELITE	W516-53-E1-14W LED-xK	12,9792	103,8336	1019
10	OB4	SINGLE	0.950	LITHONIA	RADPT P3 xxK ASY (13FT POLE 2FT BASE)	53,6184	536,184	6918
10	OB5	SINGLE	0.900	LITHONIA	RADPT P3 xxK SYM (13FT POLE 3FT BASE)	53,6184	536,184	7302
11	S	SINGLE	0.950	KUZCO	EW35404-BK	11,6	127,6	243
1	T	SINGLE	0,010	TIVOLI	LITESPHERE	11,6	11,6	243
14	W1	SINGLE	0.950	LITHONIA	WPX1 LED P1 xxK Mvolt	11,47	160.58	1568

[illegible]

DRAWN BY : AD
DATE : NOV 5, 2020
SCALE : 1" = 70'- 0"

SONA
WEST ALLIS, WISCONSIN
LIGHTING LAYOUT

