



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, October 23, 2024
City Hall, Room 128
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

5. **Revised Site and Landscaping Plan design review for new gas station and neighborhood retail use at 8404 W. Greenfield Ave. (Tax Key No. 442-9001-000)**

Overview & Zoning

The property is about $\frac{1}{2}$ -acre in area and is zoned C-2 Neighborhood Commercial District. The conditional use and site, landscaping, and architectural plan was



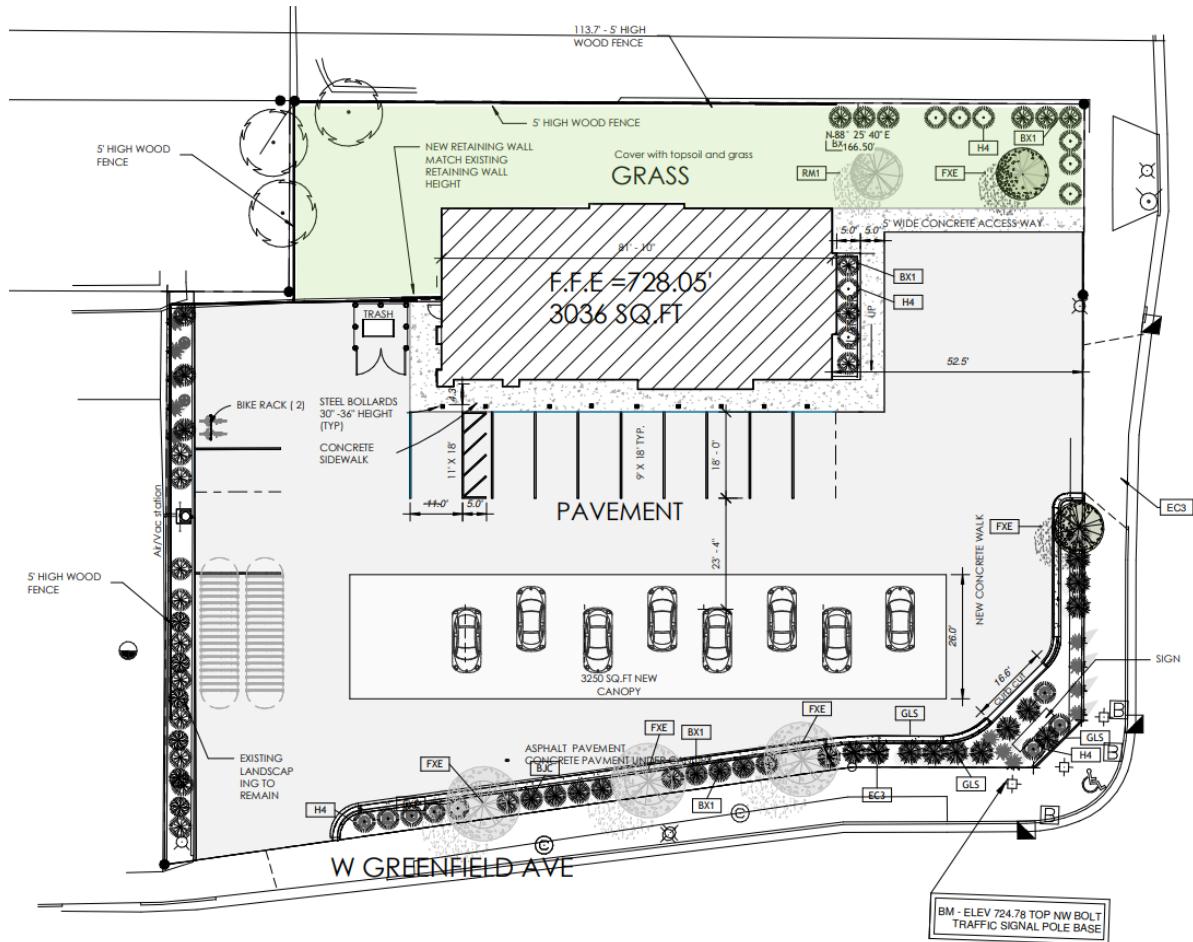
approved by Plan Commission and the Common Council earlier this spring (April-May). A new gas station and convenience store called Mian Market is currently under construction. The property owner recently met with Planning and would like to make some changes to the site plan. The site plan amendments require design review before Plan Commission.

Site and Landscaping Plan

Approved site plan

Surrounding land uses include an apartment to the west, and lower density homes to the north. Commercial development to the south and State Fair Park to the east. There currently isn't any buffer to the apartment building located west of the existing site, but the new plan calls for a 5-ft wide landscaping bed and plantings to help soften the edges of the property and provide some screening.

New paving is planned for the overall surface of the property (excepting new landscaping areas). A new 4-sided refuse enclosure is planned on the west side of the building. A double-sided wood fence is recommended along the west and north sides of the property. A new retaining wall will be installed along the northwest side of the building to replace the existing retaining wall.



Proposed amendment

- The owner would like to add additional pavement in the approved grass/greenspace area behind (greenspace area to the north of the building) for parking employee vehicles.
- Change the fence type from wood to chain-link with brown privacy slats.

This area north of the building consists of a 22-ft wide area between the new building and the north property line. A residence is located directly north. Greenspace and a new 5-ft high wood fence was approved by the Plan Commission in April. A pedestrian walkway was also approved by the Plan Commission and connects the front door of the business to S. 84 St.

The additional pavement is requested to allow two or three employees to park behind the building.

There are currently eight parking spaces shown on the site plan. Staff notes there is additional space on the approved site plan to accommodate at least additional vehicles without exceeding the parking limit.

Parking requirements - 3,100-sf building area @ 1 space/300-sf = a maximum of 10 parking stalls are allowed per zoning. Eight (8) parking stalls are provided on site (including ADA).

Design Review Guidelines:

Staff recommends that amendments to the plan comply with applicable design review guideline requirements for landscaping and screening design. Chain-link fencing is not allowed per the technical standards of our Design Guidelines. Parking supply should also be consistent with maximum parking limits in the zoning code.

Recommendation: Staff is satisfied with the plan approved by the Plan Commission in April (included within this report), but the property owner would like for Plan Commission to consider their desired site and landscaping plan amendments described in this report. Applicants will be available at the Plan Commission meeting for discussion.



ARCHITECTURAL . STRUCTURAL. CIVIL ENGINEERING

emadnadi@etnengineering.com

Milwaukee WI 53221

414. 324.4129

Monday, April 1, 2024

Subject: Proposal for New Convenience Store located at 8404 W Greenfield Ave

Dear Plan Commission Members,

I am writing to propose the construction of a new convenience store in the City of West Allis. This project aims to meet the growing demand for convenient shopping options, enhance community access to essential goods, and contribute to the economic development of our city.

Project Overview:

The proposed convenience store, to be named Mian's Market, will be a modern and well-equipped facility located at 8404 W Greenfield Ave. The store will have a total area of approximately 3036 square feet, and five fueling pumps for customer convenience.

Objectives:

The primary objectives of this project are as follows: a) Provide convenient access to essential goods and services for the residents of Milwaukee, particularly in underserved areas. b) Enhance the overall retail landscape of the city, providing healthy competition and fostering consumer choice. c) Generate employment opportunities for residents and contribute to the economic growth of the community. d) Implement sustainable practices to minimize the store's environmental impact. e) Engage in community outreach initiatives to promote community involvement and support local initiatives.

Benefits:

The proposed convenience store will bring several benefits to the City of Milwaukee: a) Convenience: Residents will have access to a wide range of essential products in a convenient location, reducing travel time and improving accessibility for all. b) Job Creation: The project will create numerous job opportunities, providing employment to both full-time and part-time workers from within the community. c) Economic Growth: The store will contribute to the local economy by generating tax revenue and supporting other local businesses through increased foot traffic. d) Community Support: We will actively engage with the local community by participating in community events, supporting local initiatives, and contributing to local charitable organizations. e) Sustainable Practices: Our store will prioritize sustainable practices, such as energy-efficient lighting, waste management, and environmentally friendly packaging options.

Key Features:

1. **Traffic Impact and Parking:** The store will be operating of the new convenience store will not cause significant disruptions in traffic flow. Adequate parking spaces will be provided to accommodate customers and minimize any potential parking issues.
2. **Design and Aesthetics:** The proposed convenience store will feature a modern and aesthetically pleasing design that blends harmoniously with the surrounding environment. We will comply with all relevant zoning and building regulations and seek to enhance the visual appeal of the neighborhood.



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3. Community Engagement: We value community input and are committed to actively engaging with the residents and stakeholders. We will conduct public meetings to gather feedback, address concerns, and incorporate community suggestions into our plans. Additionally, we will establish an ongoing community liaison program to ensure open lines of communication between the store and the community.
4. Operation hours : 24 hours
5. Deliveries : Fuel Trucks weekly

Yours sincerely,

Emad Nadi, PE

(414).324.4129

emadnadi@etnengineering.com

GENERAL NOTES:
 PROJECT SCOPE CONSISTS OF DEMOLISHING THE EXISTING BUILDING AND THE CONSTRUCTION OF 3036 S.F. BUILDING TO BE USED AS A RETAIL. Additionally, 3250 SQ.FT WILL BE CONSTRUCTED WITH A SEPARATED PERMIT APPLICATION.
 REMOVE THE EXISTING PAVEMENT AND CONSTRUCT A NEW 8" CONCRETE PAVEMENT

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:

CLASS A: FLAME SPREAD INDEX 0-25;
 SMOKE-DEVELOPED INDEX 0-25;
 CLASS B: FLAME SPREAD INDEX 26-75;
 SMOKE-DEVELOPED INDEX 0-45;
 CLASS C: FLAME SPREAD INDEX 76-200;
 SMOKE-DEVELOPED INDEX 0-45;

INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.9 WITH A MINIMUM RATING OF CLASS C.
 INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOCUMENT "PILL TEST".

CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY IN THE FIELD ALL SIZES AND DIMENSIONS INVOLVING THE EXISTING STRUCTURE AND COORDINATE WITH NEW CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.

THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MFG. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

ALL WALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS. (I.E. 8" CMU= 7 5/8"). DIMENSIONS FOR FRAMED WALLS ARE SHOWN TO FACE OF STUDS AND/OR FACE OF BLOCK.

FIRE EXTINGUISHERS WITH A MINIMUM 2-A RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHER SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.

ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.

CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES. THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL, HVAC, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS.

EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFACING, CONTROL AND COORDINATION.

PROJECT CONSTRUCTION SCHEDULE:
 DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.

UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.

ALL WORK TO BE IN ACCORDANCE WITH SPS 361.05, ANSI A117.1 AND CITY OF MILWAUKEE ORDINANCES CH 290 & CH 295

CODE INFORMATION:

REFERENCED CODES ARE:
 IBC 2015; IBC 2015; ICC/ANSI A117.1-2003
 DCF 251

OCCUPANCY CLASSIFICATION:
 M

TYPE OF CONSTRUCTION:
 TYPE VB (CHAPTER 6): MASONRY BRICK EXTERIOR WITH FRAMING

CLASSIFICATION OF WORK
 NEW CONSTRUCTION

ACTUAL BUILDING FLOOR AREA:

GRADE LEVEL NEW FLOOR AREA = 3082 SQ.FT.
 ENTIRE BUILDING TOTAL GROSS 3082 SQ. FT.
 BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13)

ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 303): 55 FEET
 OCCUPANT GROUP M, 1 STORY, FLOOR AREA PER STORY, BUILDING HEIGHT PROVIDED 14' 0"

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601 & 602).

PRIMARY STRUCTURAL FRAME 0 HOUR RATING

BEARING WALLS (EXTERIOR) 2 HOUR RATING

BEARING WALLS (INTERIOR) 0 HOUR RATING

NONBEARING WALLS & PARTITIONS (EXTERIOR)

FIRE SEPARATION DISTANCE 0.5 FT 1 HOUR RATING

FIRE SEPARATION DISTANCE 5-10 FT 1 HOUR RATING

FIRE SEPARATION DISTANCE 10-30 FT. NINE

FIRE SEPARATION DISTANCE > 30 FT 0 HOUR RATING

NONBEARING WALLS & PARTITIONS (INTERIOR) -- 0 HOUR RATING

FLOOR CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING

ROOF CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING

OCCUPANT LOAD (PROPOSED TENANT AREA OF 3036 SQ.FT):
 MERCANTILE AREA 3082 SQ.FT @ 60 SQ. FT PER OCCUPANCY = 51 OCCUPANTS (IBC 1004.3)

SPRINKLER SYSTEM IS NOT REQUIRED

MEANS OF EGRESS:

OCCUPANCY LOAD: TABLE 1004.1.2
 EXIT WIDTH REQUIRED: 51 @ 0.2 INCHES = 10"
 EXIT WIDTH PROVIDED: 72" + 36" = 108" INCHES

PLUMBING FIXTURE REQUIREMENTS: 51 OCCUPANTS

TOILETS:
 WATER CLOSETS REQUIRED: 1 PER 500, THEREFORE 1 REQUIRED
 WATER CLOSETS PROVIDED: 1 WATER CLOSET

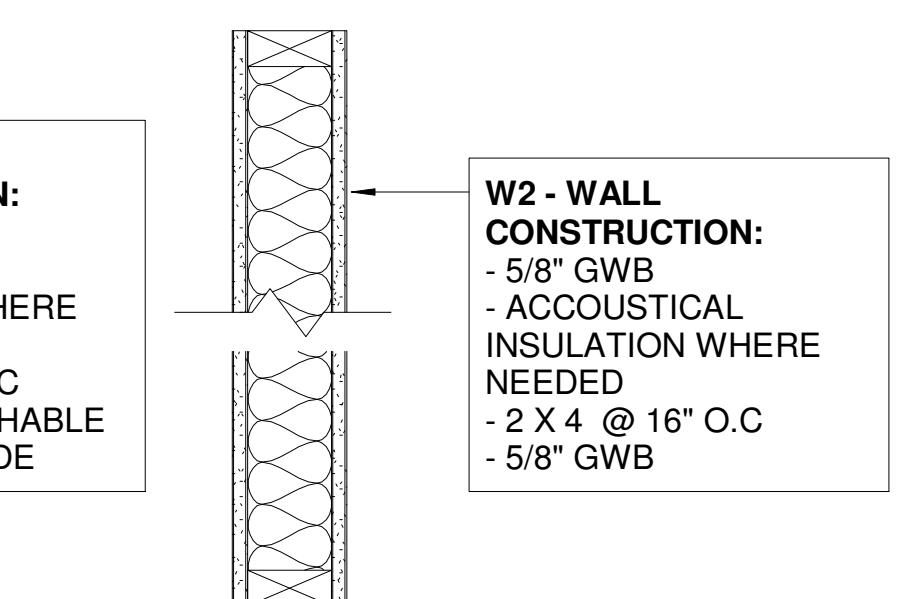
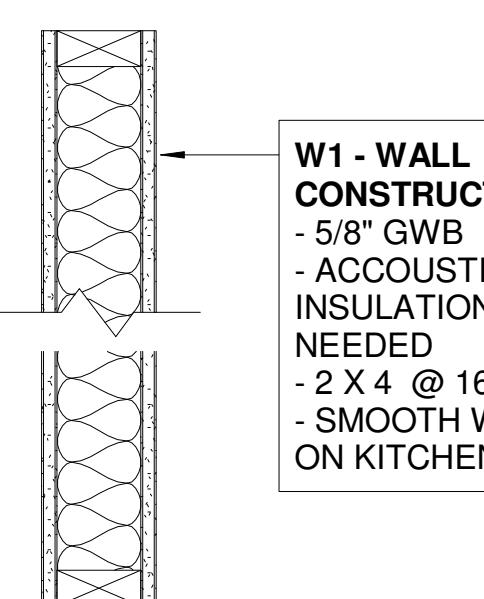
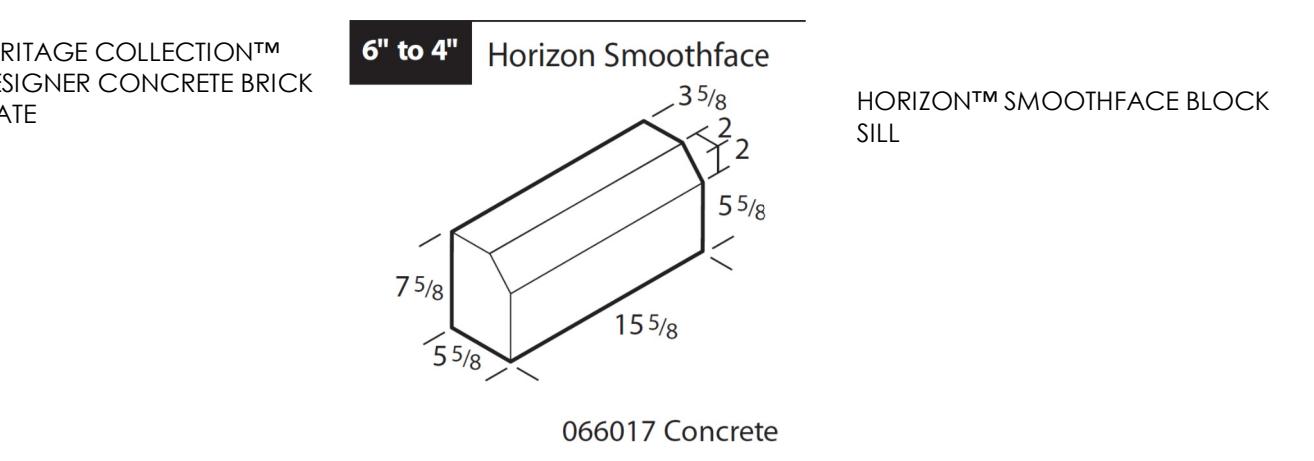
LAVATORIES:
 LAVATORIES REQUIRED: 1 PER 750, THEREFORE 1 REQUIRED

LAVATORIES PROVIDED: 1 LAVATORY

SERVICE SINKS:
 SERVICE SINKS REQUIRED: 1 SINK

SERVICE SINKS PROVIDED: 1 SINK

FIRE PROTECTION CONSTRUCTION:
 903.2.1.3 GROUP M OCCUPANCY. SPRINKLER SYSTEM IS NOT PROVIDED



(2) INTERIOR WALL SECTIONS
 1 1/2" = 1'-0"



OWNER
MIAN'S OIL COR.
 8404 W GREENFIELD WI
 MILWAUKEE , WI

CONTRACTOR
KHALEK BUILDING SERVICES

3834 E Puetz Rd.
 Oak Creek, WI 53154
 moe@ampnd.com
 414.666.2222

PROFESSIONAL SERVICES
ETn ENGINEERING

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 2504 W BRIDGE ST
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 emadnadi@etnengineering.com
 414.324.4129

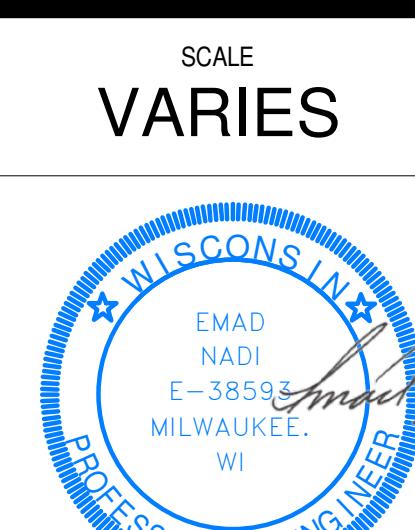
INDEX

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Building

This plan has been
CONDITIONALLY APPROVED
 City of West Allis Code Enforcement Department
 06/11/2024

A100



Revision Schedule

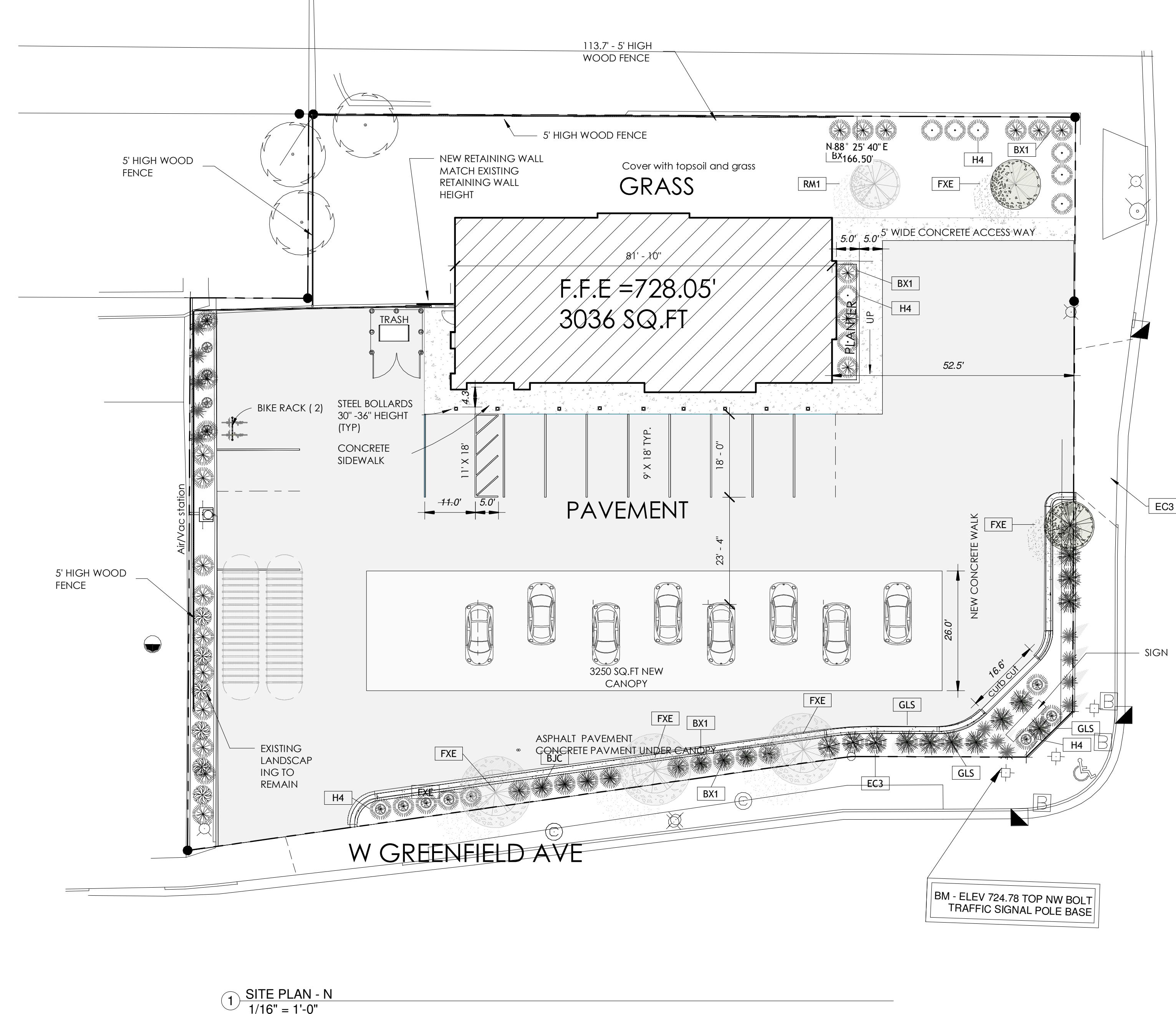
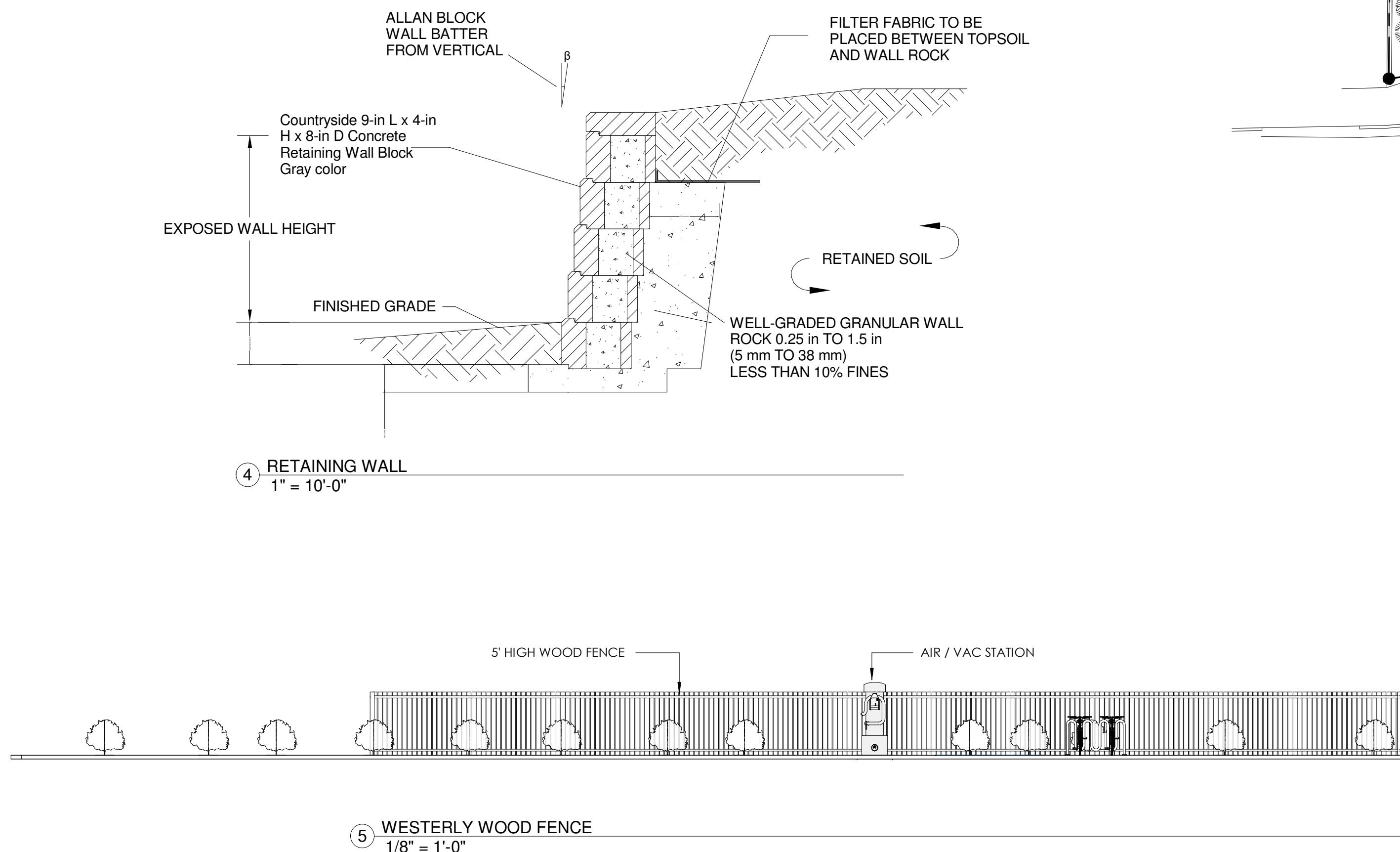
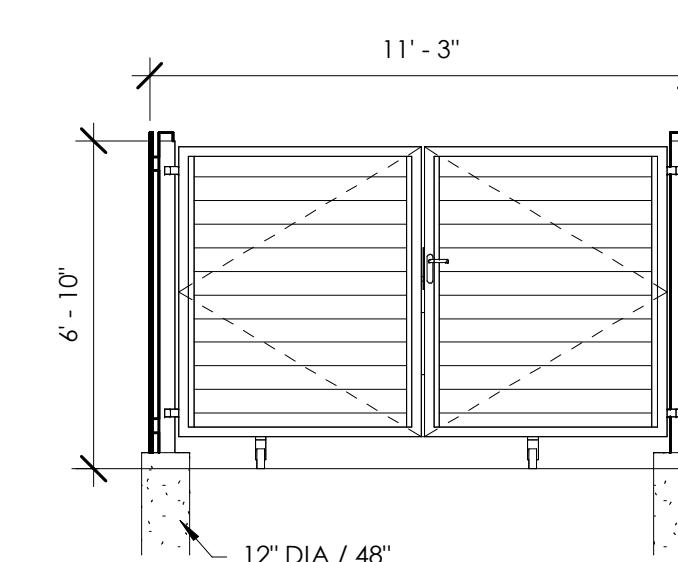
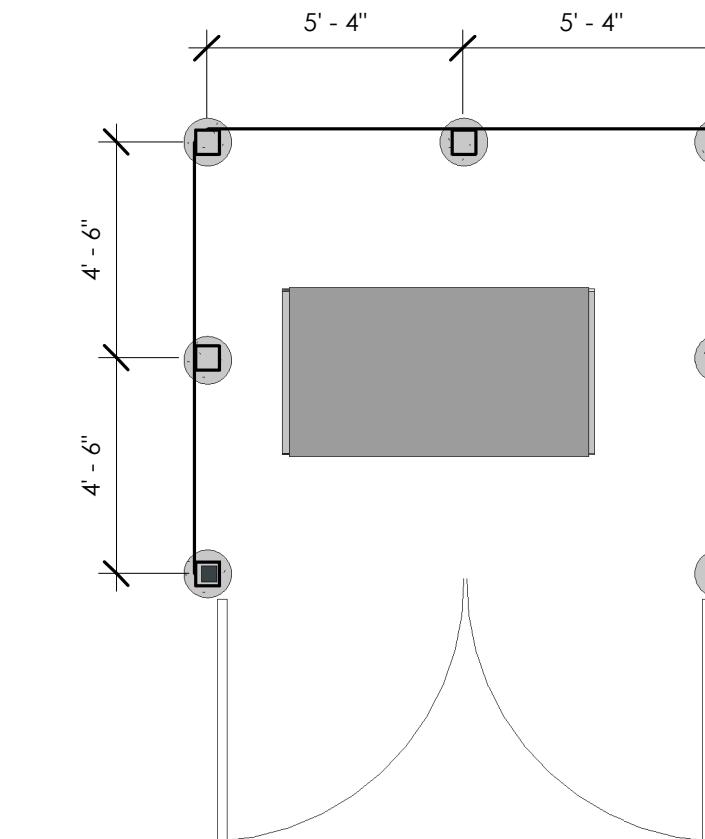
No.	Revision	Date

SITE DATA :

ASPHALT PARKING AREA = 7365 SQ.FT
 CONCRETE AREA UNDER CANOPY : 3311 SQ.FT
 SIDEWALK AREA : 736 SQ.FT
 BUILDING AREA : 3036 SQ.FT
 BUILDING HEIGHT 18' -26'
 CANOPY CLEAR HEIGHT = 15'
 CANOPY OVERALL HEIGHT = 18'
 PARKING SPACES = 10

Planting Schedule

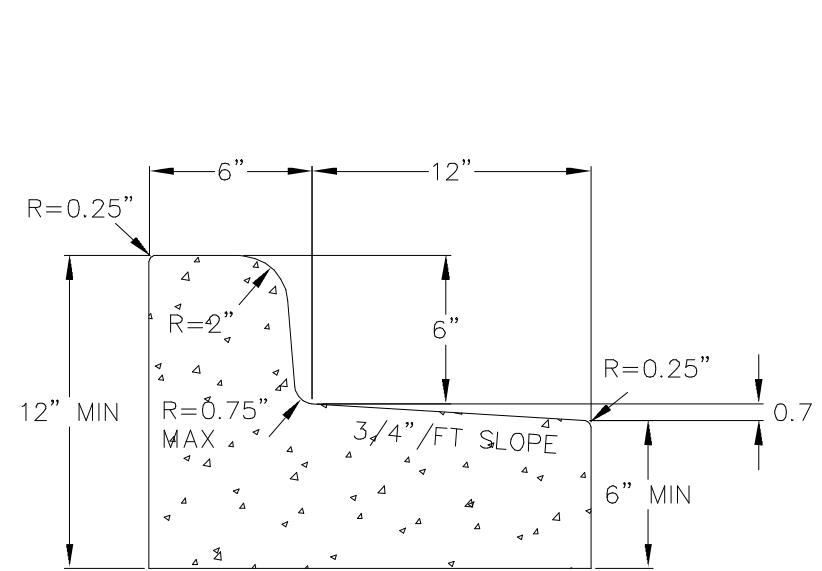
Type	Mark	Count	Common Name	BOTANICAL NAME	Description	Comments	Cost
BJC	5	Kallay Compact Pfitzer	Juniperus chinensis 'Kallays Compact'				
BX1	14	Boxwood 2'-9"	Boxwood				
DF1	13	Daphne 3'-0"	Daphne				
EC3	3	Ruby Star Coneflower	Echinacea purpurea 'Ruby S				
FXE	5	Frontier Elm	Ulmus x 'Frontier'				
GLS	11	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'				
H4	16	Happy Returns Dayl	Hemerocallis x 'Happy Returns				
KCE	1	Espresso Kentucky Coffeet	Gymnocladus dioica 'Espresso'				
RM1	1	Red Maple	Acer rubrum				

① SITE PLAN - N
1/16" = 1'-0"② TRASH ENCLOSURE
1/4" = 1'-0"③ TRASH ENCLOSURE LAYOUT
1/4" = 1'-0"

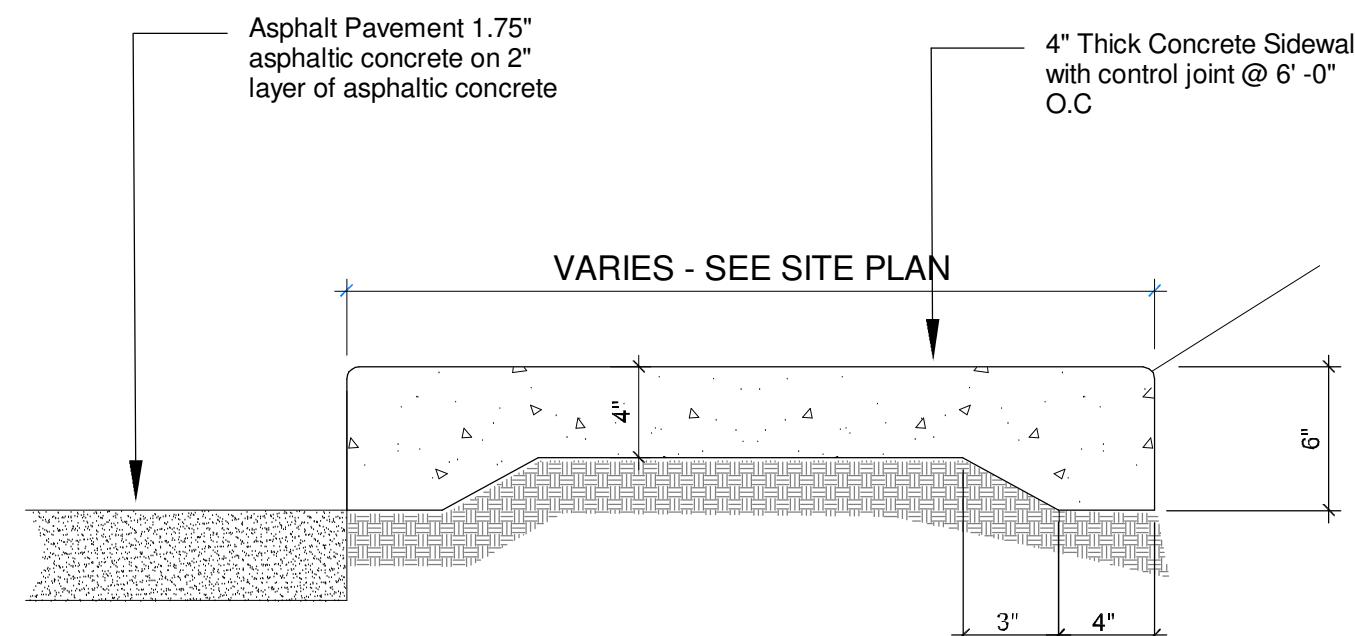
MIAN'S OIL FUEL STATION
New Building
 8404 W GREENFIELD
 WEST ALLIS WI

SCALE
VARIESSITE &
LANDSCAPING

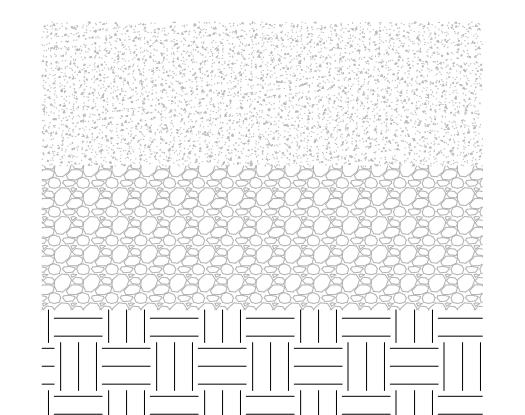
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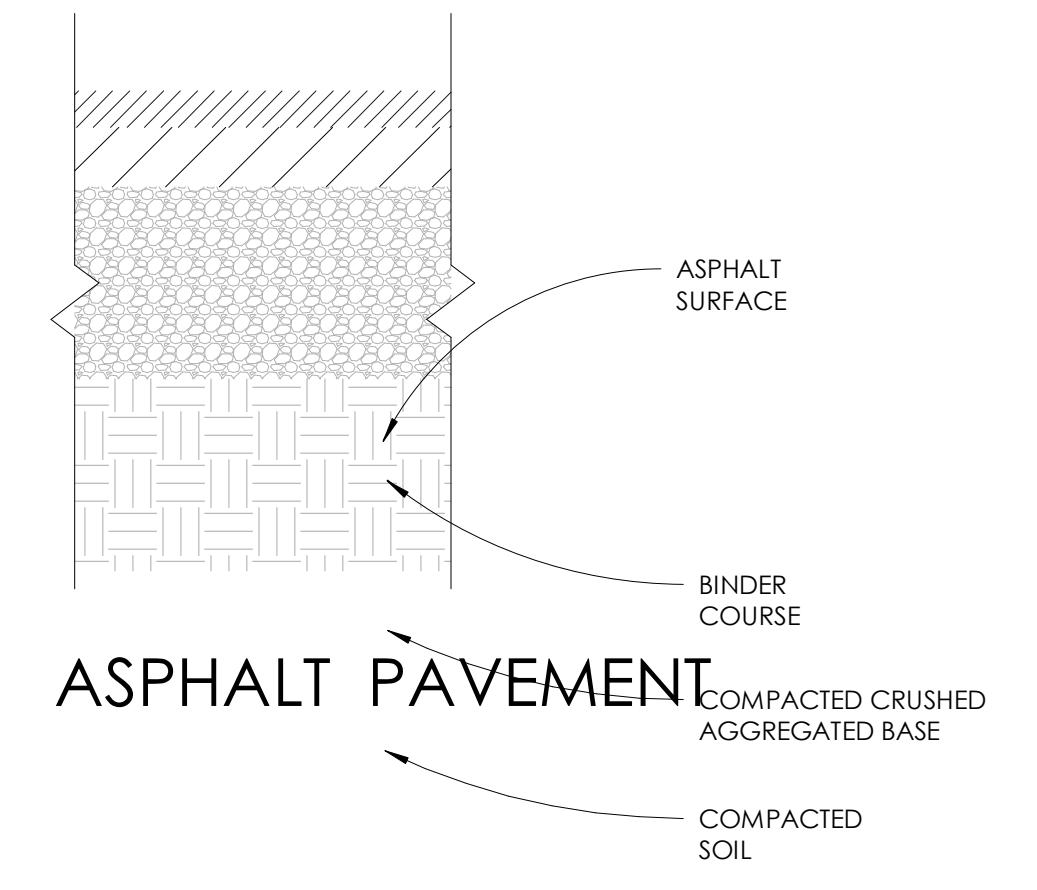
12" CURB AND GUTTER



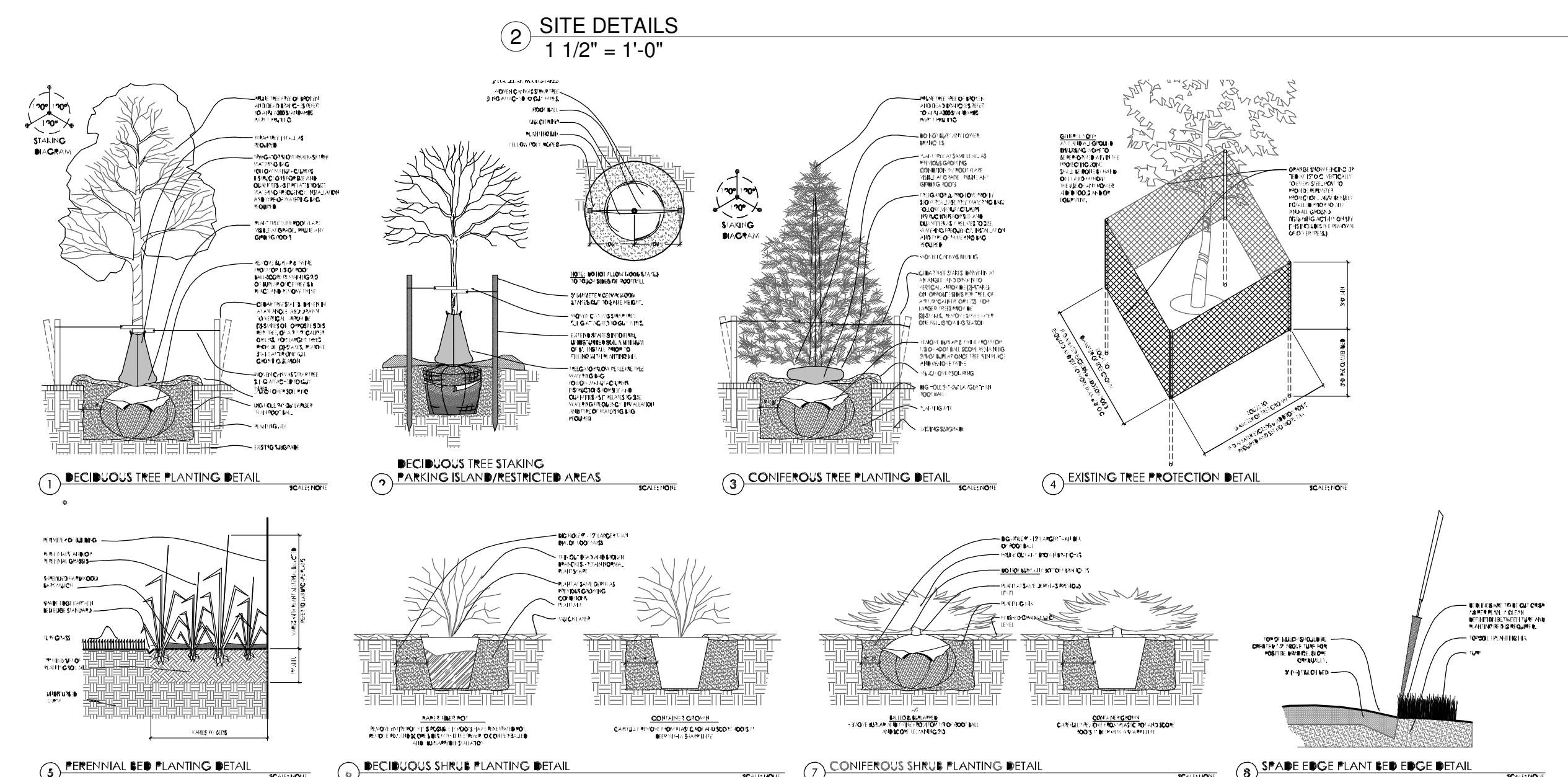
CONCRETE SIDEWALK



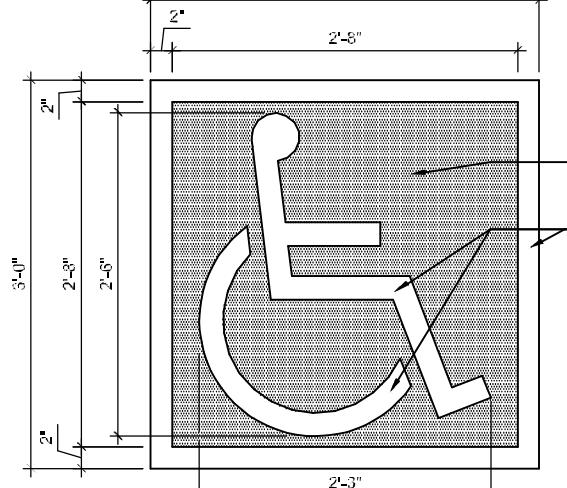
CONCRETE PAVEMENT



ASPHALT PAVEMENT

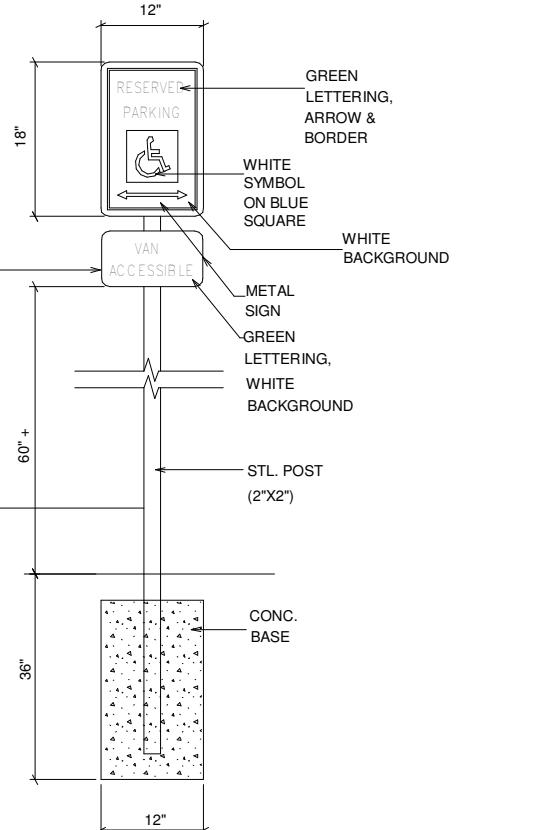


CONTRACTOR TO PROVIDE EXPANSION JOINT EVERY 100 FEET
SAWCUT CONTROL JOINT IN THE SLAB NOT EXCEED 6 FEET IN LENGTH
CONCRETE STRENGTH 3500 PSI AT 28 DAY^r



ADA DETAILS - NTS

Symbol shall be painted with white color and blue background



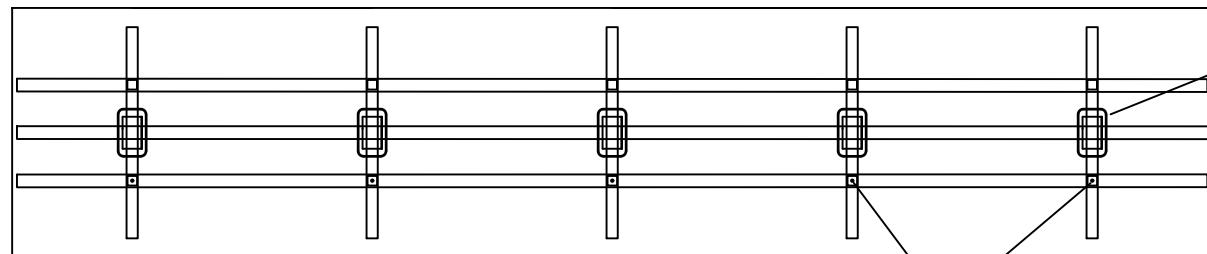
MIAN'S OIL FUEL STATION
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SCALE
VARIES



SITE DETAILS

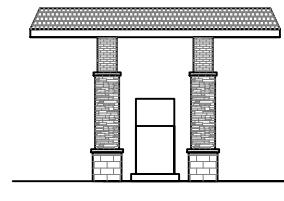
A101.1



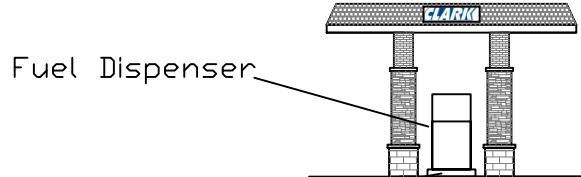
TOP VIEW

3" PVC pipe drains in (5) canopy columns connected to storm drain underground.

Dispenser islands under canopy



WEST ELEVATION



EAST ELEVATION

3' x 5' concrete island base with stainless steel border.

-Ashpalt shingles on angled fascia area.
-Galvanized steel braces and frame.
-1/2" plywood backing, #15 roofing felt, and architectural shingles.

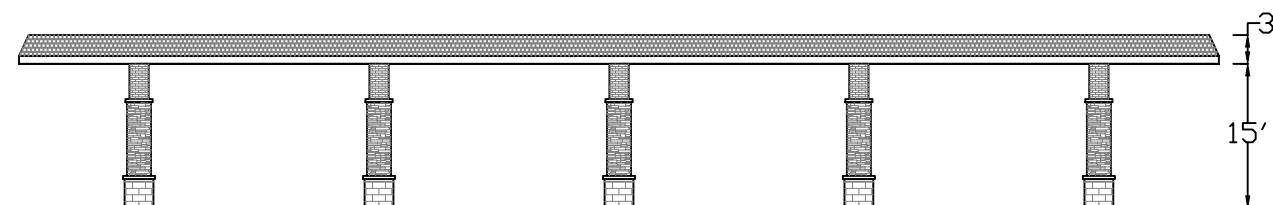
Steel fascia border trim.

Brick work around columns to match main building materials.

SOUTH ELEVATION

3'
15'

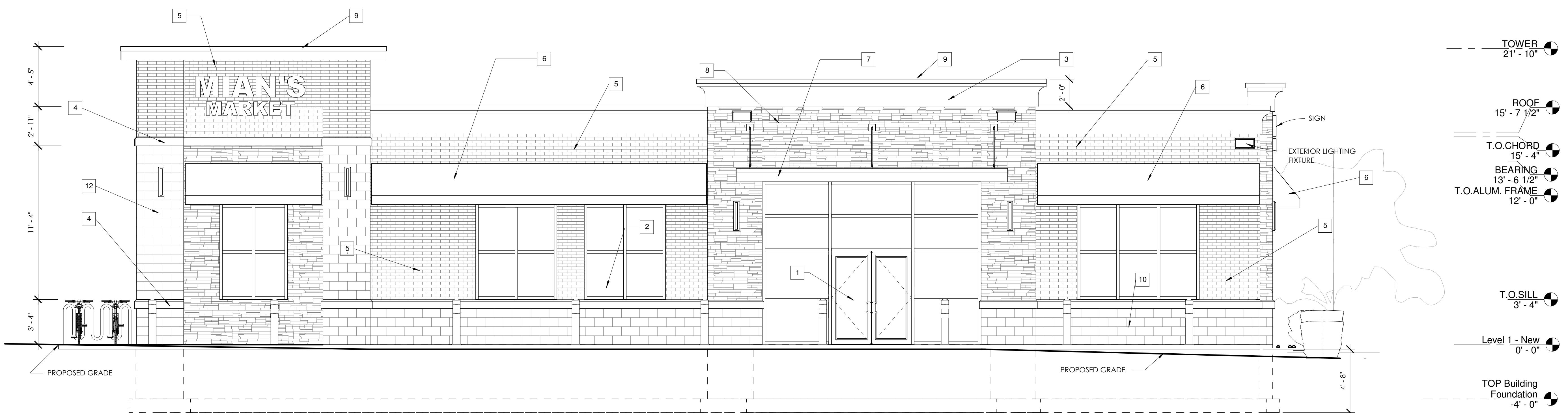
4' x 4' x 5' footings, 12" below grade. See canopy engineered drawings for additional details.



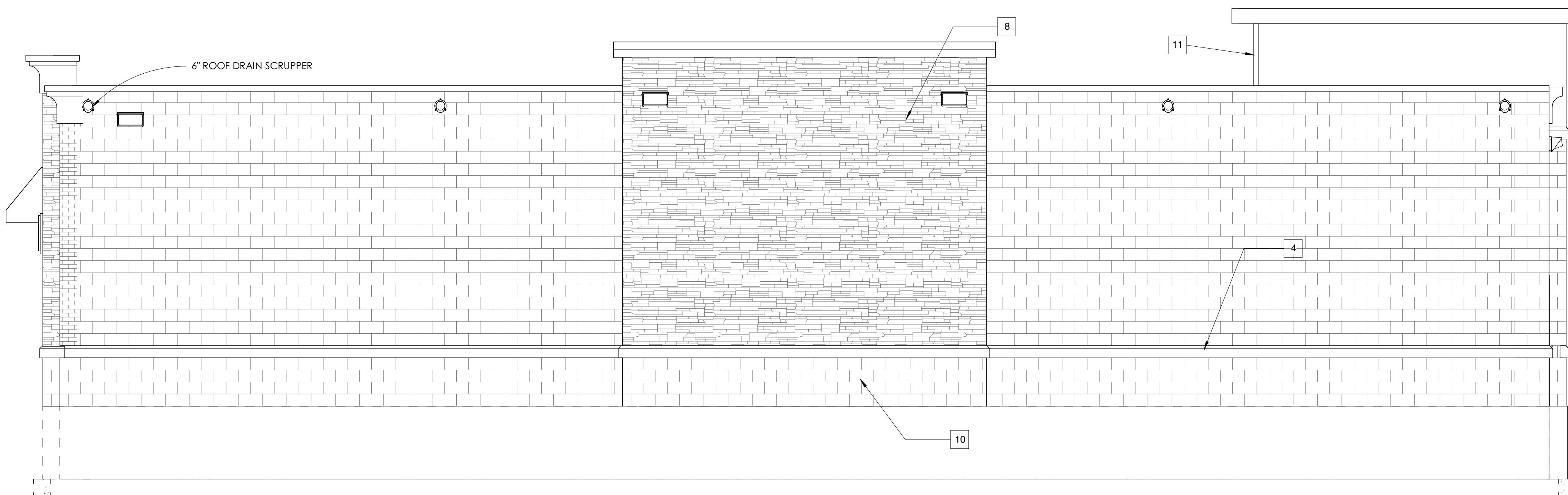
NORTH ELEVATION

Ctrn:	Facility ID:	Owner ID: 0000000	Contractor ID: 240951
	8404 W GREENFIELD AVE	W GREENFIELD AVE	WALT'S PETROLEUM SERVICE INC.
	WEST ALLIS, WI	WEST ALLIS, WI	5207 E. JELLINE AVE.
	53214	53214	SCHOFIELD, WI 54476

Drawn By: NRE
Date 06-21-24
Scale: 1" = 20'
Sheet: 1
Sheet: 1 of 1



① Front Elevation
1/4" = 1'-0"



② Back Elevation
1/4" = 1'-0"

MIAN'S OIL FUEL STATION

New Building

8404 W GREENFIELD
WEST ALLIS WI

Notes

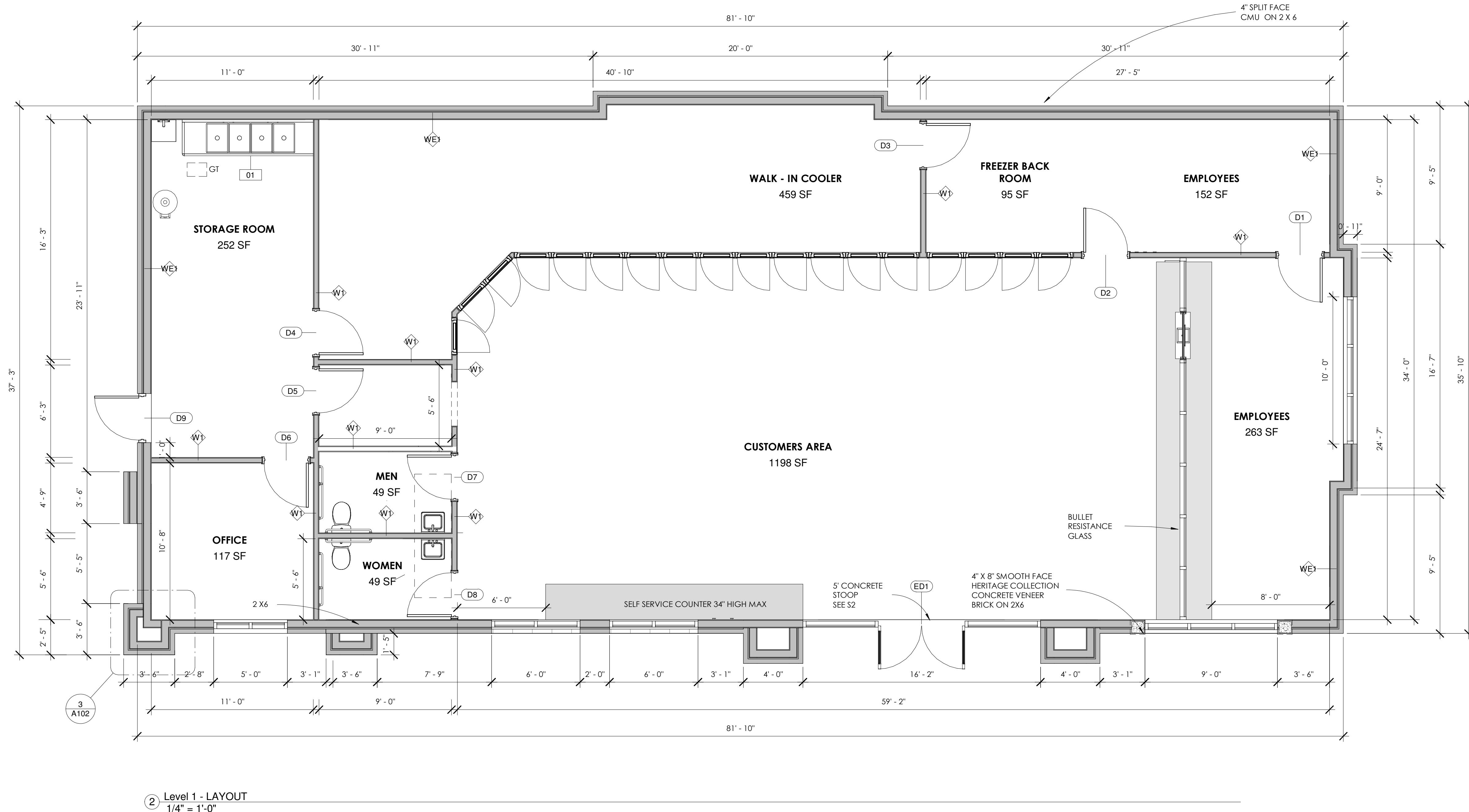
Label Number	Notes
1	THERMALLY Y-BROCKEN ANODIZED ALUMINUM STOREFRONT, 1" LOW-E INSULATING GLAZING.
2	THERMALLY Y-BROCKEN ANODIZED ALUMINUM WINDOW, 1" LOW-E INSULATING GLAZING.
3	EIFS CROWN
4	<varies>
5	Heritage Collection™ Designer Concrete Brick SLATE
6	FABRIC AWNING
7	ALUMINUM AWNING
8	<varies>
9	Prefinished aluminum coping
10	SPLITFACE
11	2" EIFS - DARK GREY
12	Premier Ultra Burnished Sea Salt (63-218C)

SCALE
VARIES



Elevations

A103



MIAN'S OIL FUEL STATION

New Building

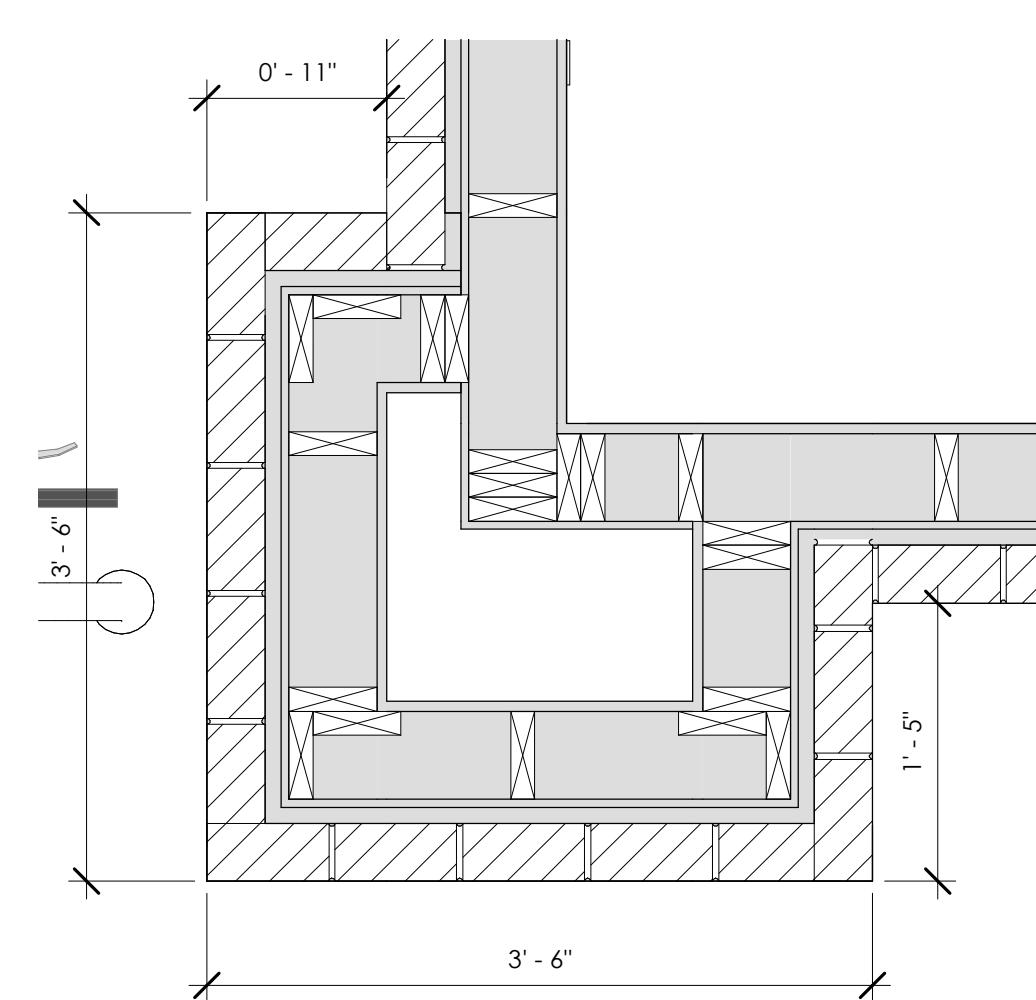
8404 W GREENFIELD
WEST ALLIS WI

SCALE
VARIES

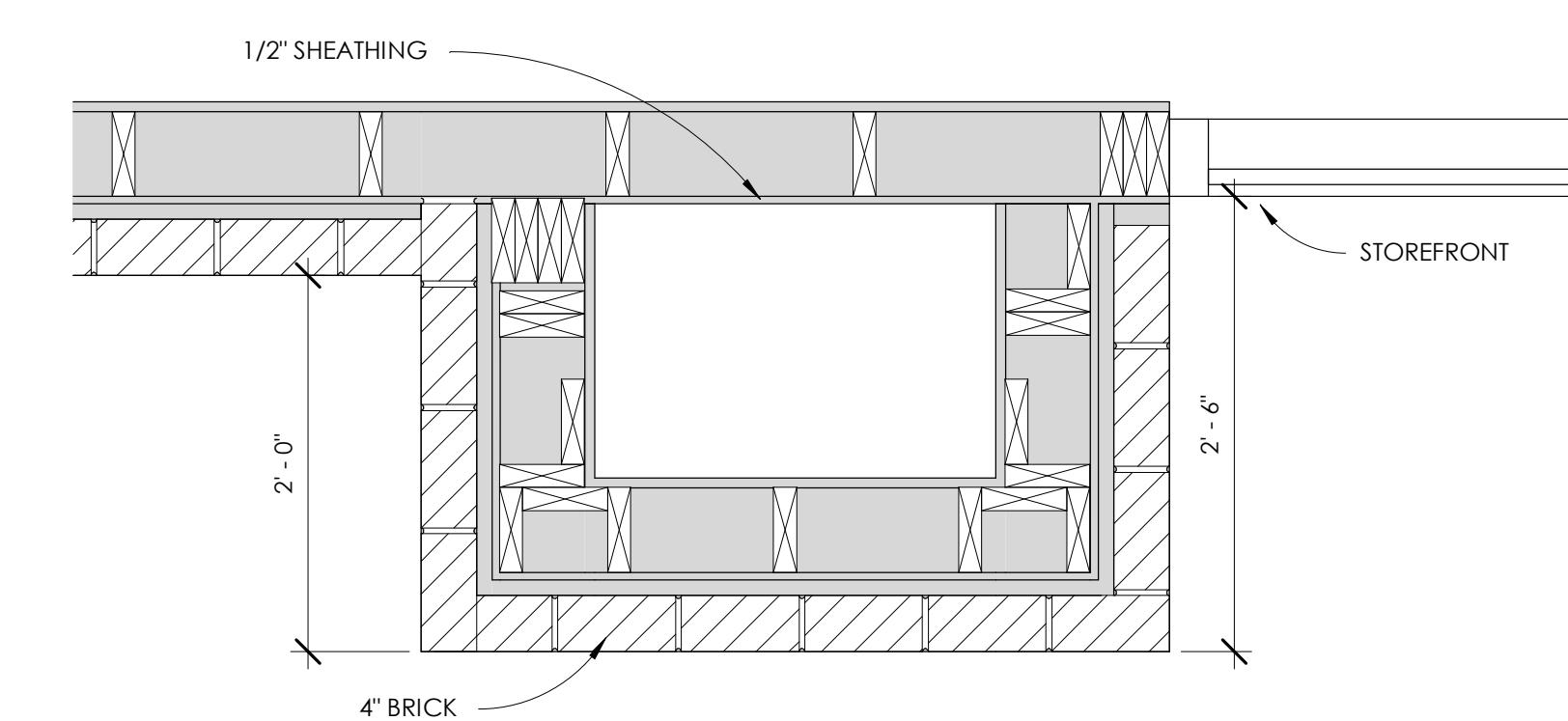


ARCHITECTURAL
LAYOUT

Room Name	Area	Floor Finish	Wall Finish	Ceiling Finish	Ceiling Height
CUSTOMERS AREA	1198 SF	LAMINATE	GYB		12' - 0"
EMPLOYEES	152 SF	LAMINATE	GYB		9' - 0"
FREEZER BACK ROOM	95 SF	LAMINATE	PER INSTALLER		8' - 0"
WALK - IN COOLER	459 SF	PER INSTALLER	PER INSTALLER		8' - 0"
STORAGE ROOM	252 SF	LAMINATE	GYB+FRP		9' - 0"
OFFICE	117 SF	LAMINATE	GYB		8' - 0"
WOMEN	49 SF	QUARRY TILES	GYB+TILES		8' - 0"
MEN	49 SF	QUARRY TILES	GYB+TILES		8' - 0"
EMPLOYEES	263 SF	LAMINATE	GYB		12' - 0"

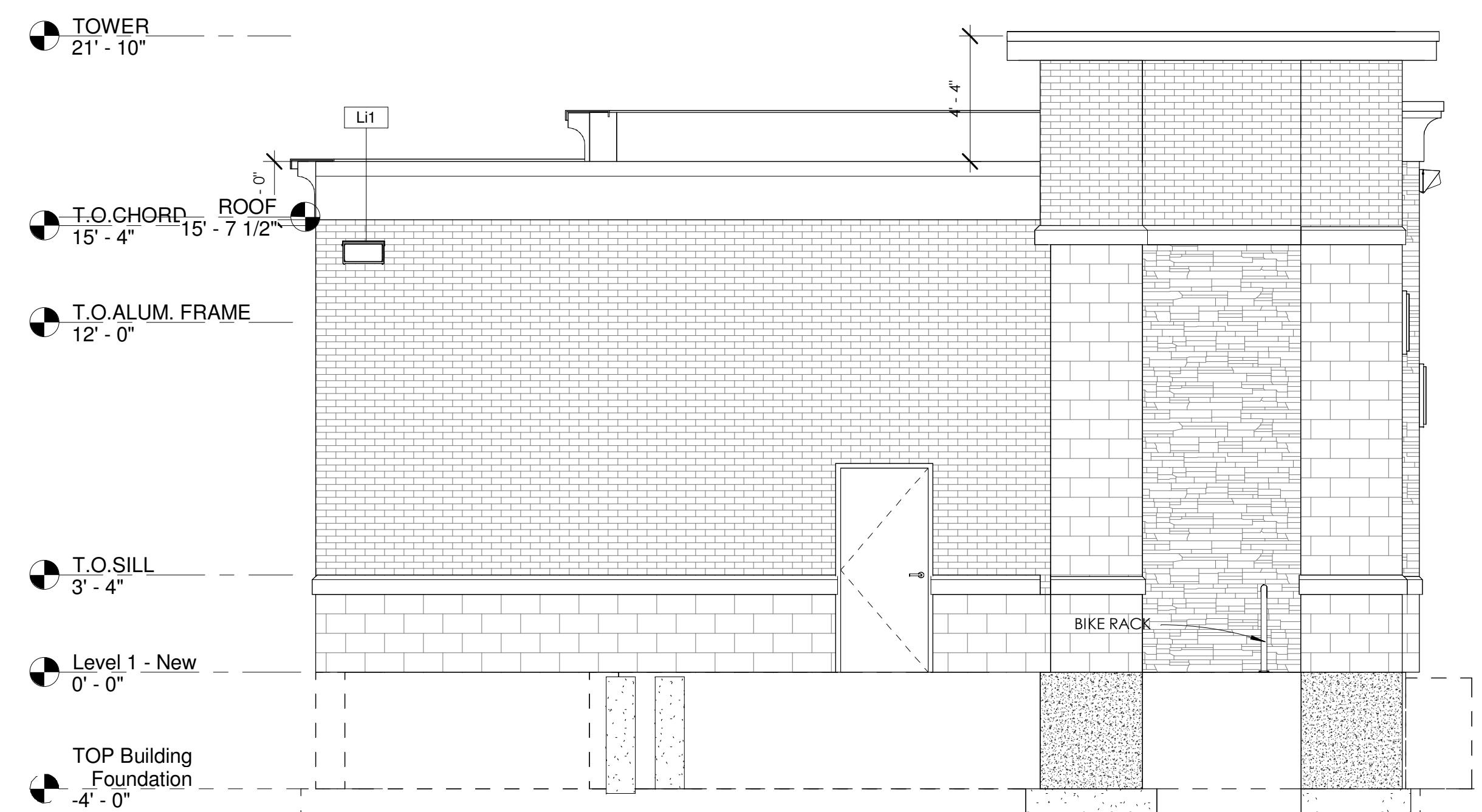


③ CORNER WALL DETAILS
1" = 1'-0"



① ENTRANCE FRAMING DETAILS
1" = 1'-0"

A102

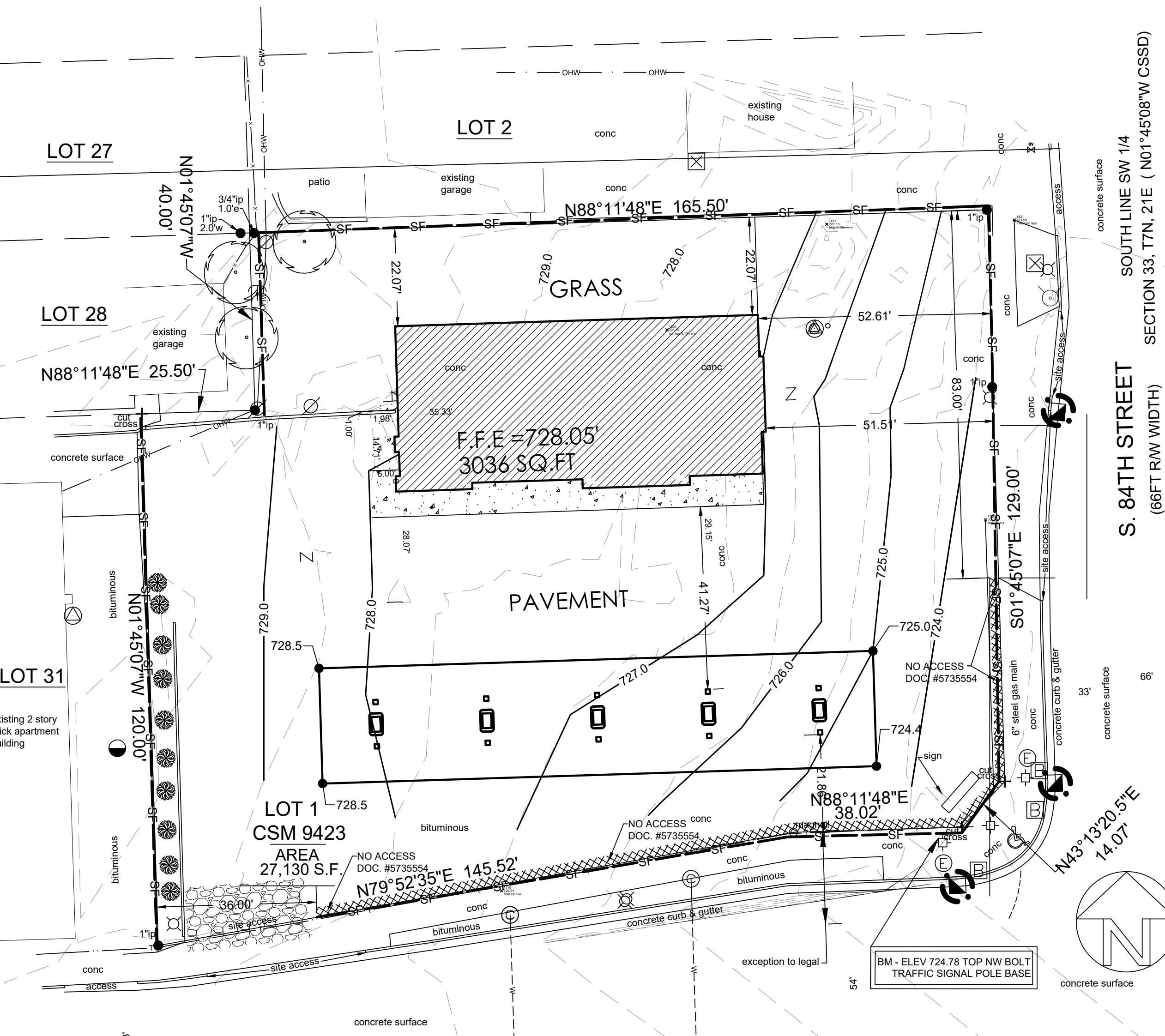

 ① EAST Elevation
 1/4" = 1'-0"

 ② WEST ELEVATION
 1/4" = 1'-0"

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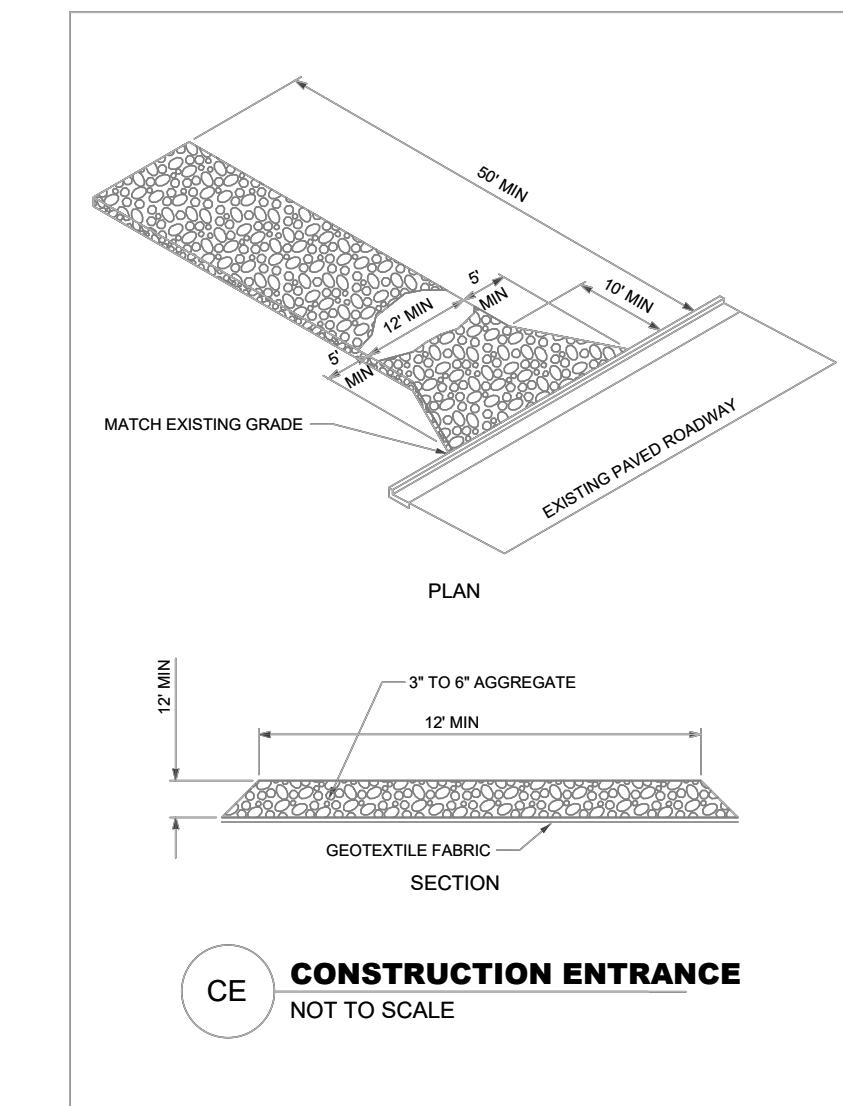


Elevations

A103.1

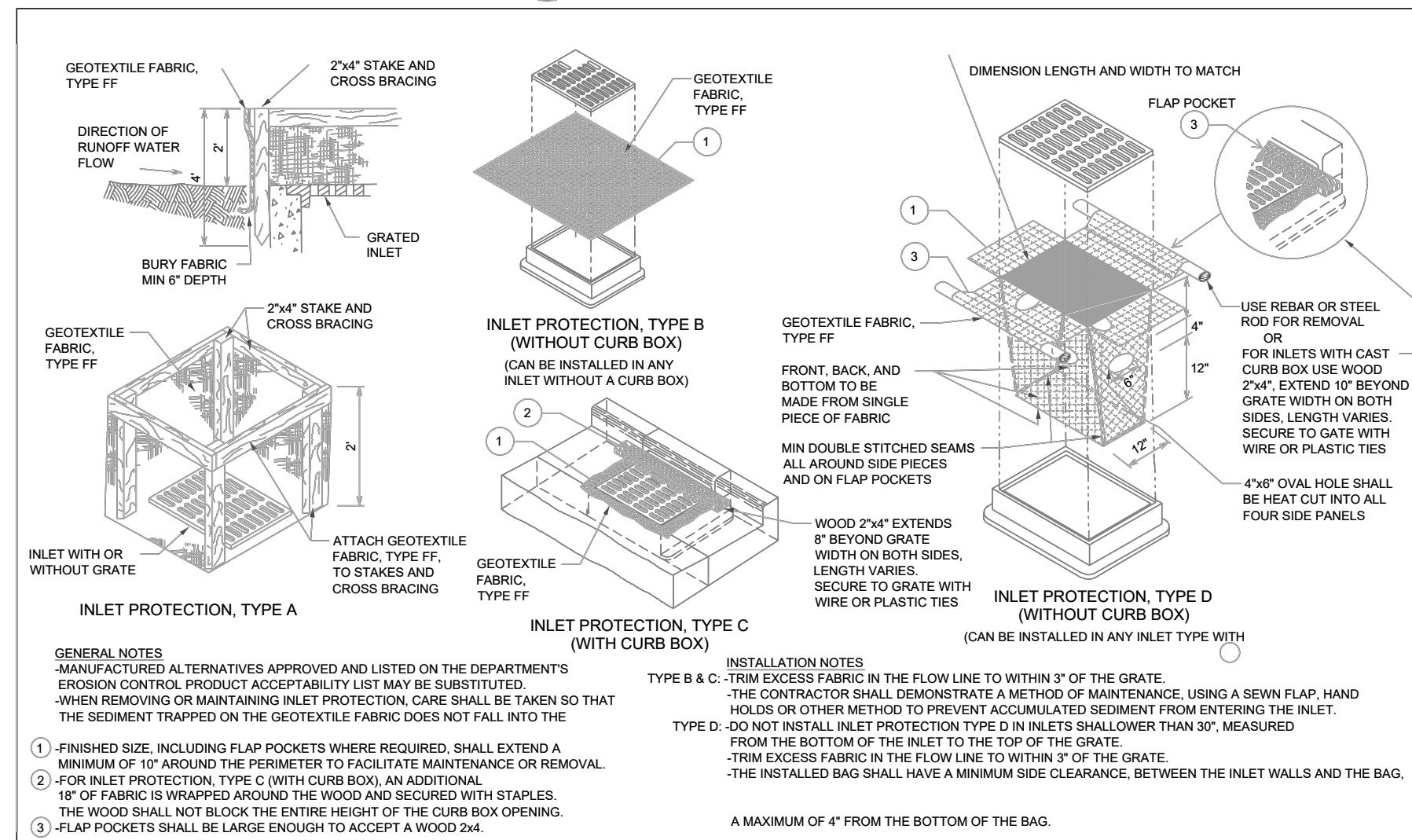
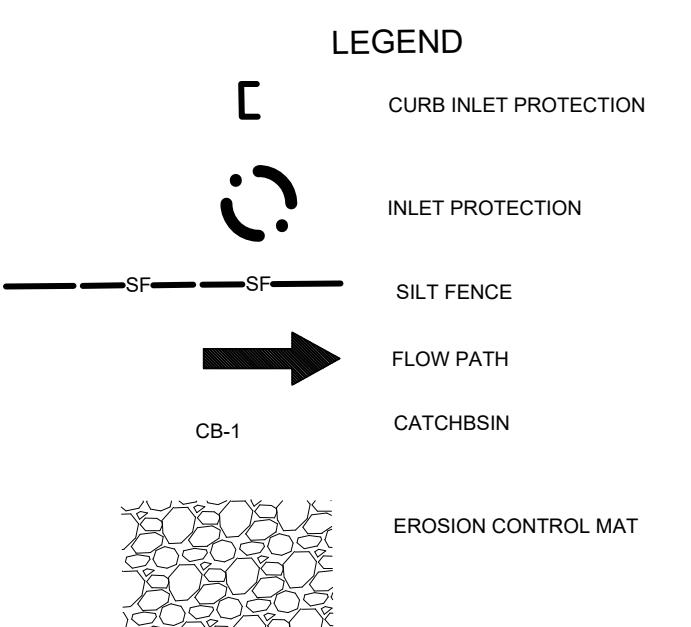
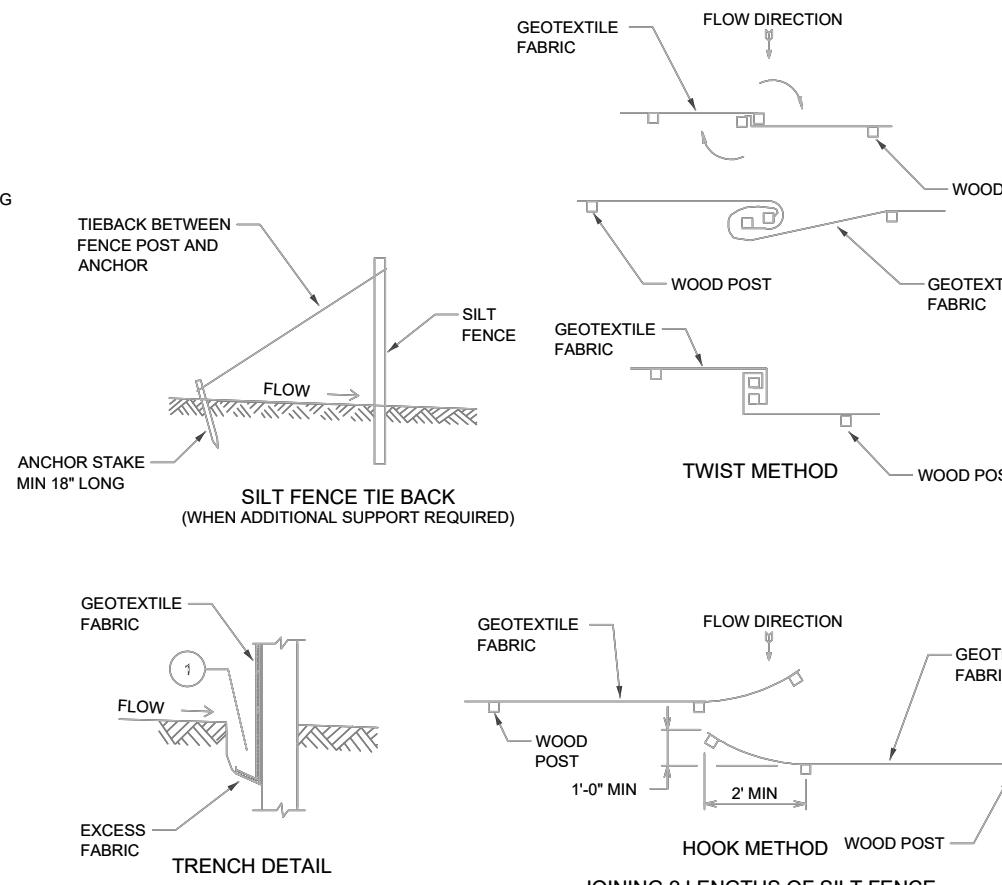


SOUTH LINE SW 1/4 SECTION 33, T7N, R21E (N01°45'08"W C5SSD)

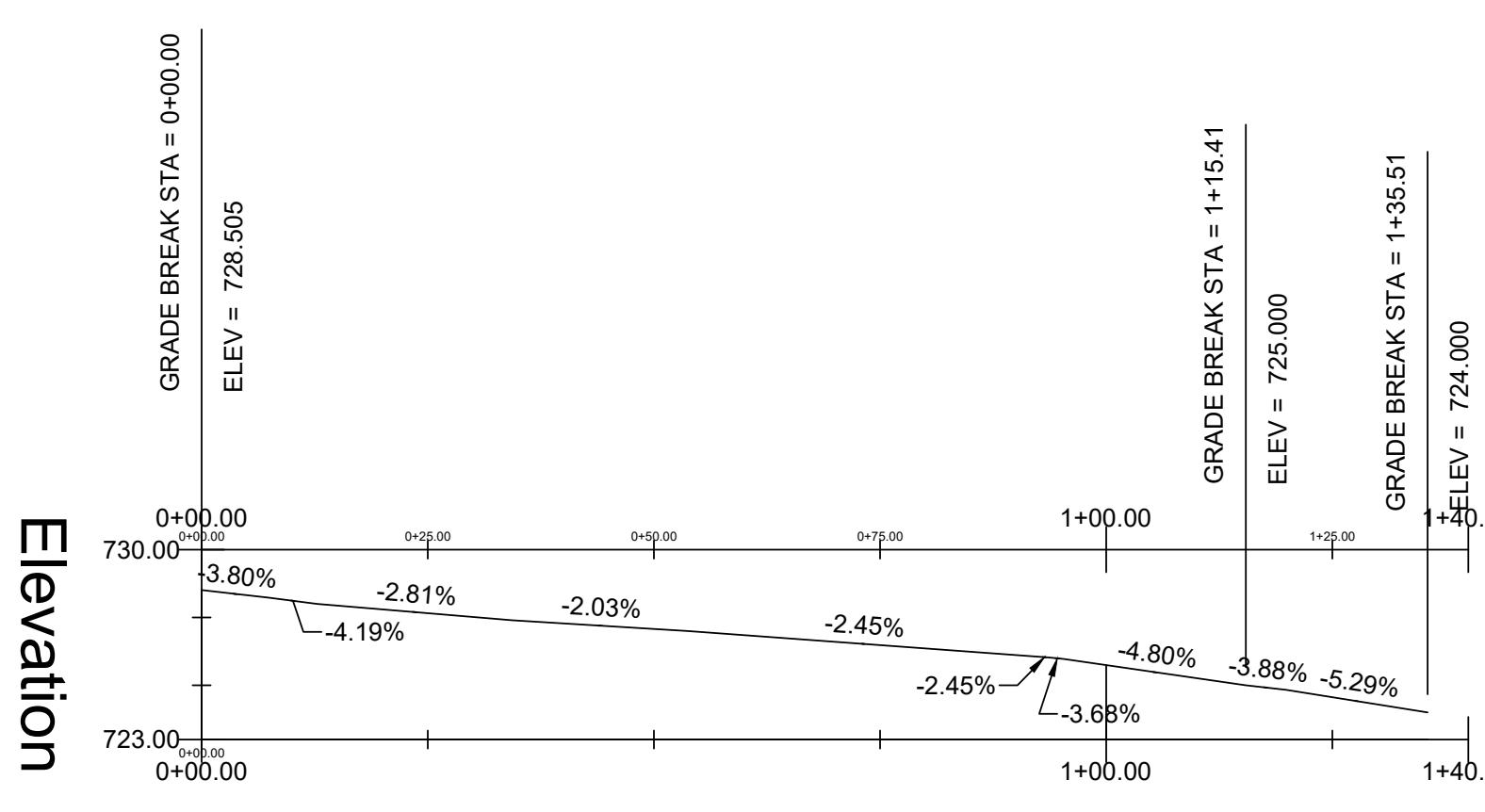
S. 84TH STREET
(66FT RW WIDTH)CONSTRUCTION ENTRANCE
NOT TO SCALE

GENERAL NOTES
 ① TRENCH SHALL BE A MIN OF 4' WIDE & 6' DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC, FOLD THE MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
 ② WOOD POSTS SHALL BE A MIN SIZE OF 1 1/2" x 1 1/2" OAK OR HICKORY.
 ③ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING FOLLOWING TWO METHODS:
 A. AT LEAST 180 DEGREES.
 B. HOOK METHOD - HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS
 WOOD POSTS 2" x 2" DEPTHS IN GROUND
 GEOTEXTILE FABRIC ONLY
 BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL
 ATTACH FENCE TO POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS
 *NOTE: 8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED

INLET PROTECTION
NOT TO SCALE

NO STOCKPILES ARE NECESSARY. ALL EXCAVATED MATERIAL OR HAULED IN MATERIALS WILL BE USED THE SAME DAY



Profile View of Grade of Concrete Slab Under the Canopy

1. Obtain plan approval and other applicable permits.
2. Sawcut pavement line and remove enough pavement to install silt fence around the anticipated disturbed area.
3. Install construction exit
4. Install inlet protection around the existing storm inlet
5. Continue rough grading for proposed improvement
6. Demo the existing buildings
7. Construct the new building
8. Install site utilities
9. Install base course
10. Complete first lift of asphalt, sidewalk and all proposed curb and gutter if any
11. Final grade, topsoil, planting, sodding and seeding
12. Any exposed soil areas not disturbed for more than 7 days will be restored with seed and mulch
13. Estimated time to complete the project is 2.5 months

1. All erosion control practices will be inspected for functionality following every 1/2" rain event and at least once a week.
2. All seeded areas will be watered, fertilized, mulched and re-seeded as needed
3. All sediments reaching public roads will be cleaned and removed before the end of each day to prevent sediments entering city sewer system

THE CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY IN THE FIELD ALL SIZES AND DIMENSIONS INVOLVING THE EXISTING STRUCTURE AND COORDINATE WITH NEW CONSTRUCTION.
 2. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
 3. THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
 4. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
 5. HVAC CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS. HVAC DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.
 6. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT AND RELATED SYSTEMS INCLUDING EMERGENCY LIGHTING. ELECTRICAL DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED.
 7. FOR APPROVALS AND PERMITS.
 8. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL PLUMBING EQUIPMENT AND RELATED SYSTEM. PLUMBING DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.
 9. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF A SPRINKLER EQUIPMENT AND RELATED SYSTEMS. FIRE PROTECTION DESIGNER WILL SUBMIT ALL PLANS AND CALCULATIONS TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.

All information shown on the plan regarding underground and overhead utility facilities are not guaranteed to be accurate. Contractor must coordinate all construction activities with a call to Diggers Hotline or a direct call to the utilities that have facilities in the area. Use caution to ensure the integrity of underground facilities and maintain code clearance from overhead facilities at all times. Adjustments in the location of certain described items may be necessary, as directed by the engineer when it becomes evident that a utility conflict could occur.

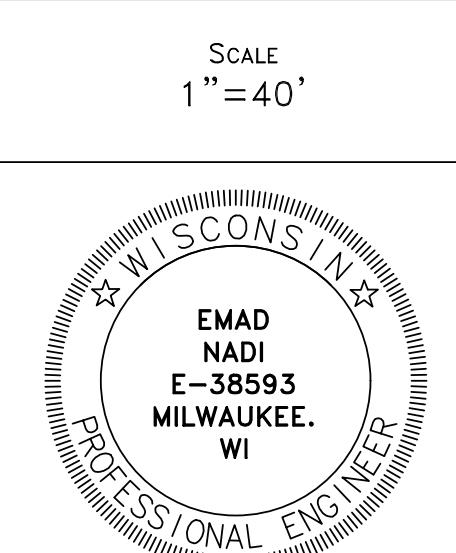
DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
www.DiggersHotline.com

GRADING & EROSION

C2

PROJECT MANAGER	APPROVED	CHECKED	DRAWN	ETN	DATE	DATE	DATE
					09/30/19		

MIAN'S OIL COR. FUEL STATION
 New Building
 8404 W GREENFIELD AVE
 WEST ALLIS WI



SNOW LOADS
GROUND SNOW LOAD: 35.00 PSF
FLAT-ROOF SNOW LOAD: 29.40 PSF
SNOW EXPOSURE FACTOR: 1.00
SNOW IMPORTANCE FACTOR: 1.00
THERMAL FACTOR: 1.20
DRIFT SURCHARGE LOAD: 0.00 PSF
WIDTH OF SNOW DRIFT: 0.00 FT

WIND LOADS
DESIGN WIND SPEED: 115.00 MPH
RISK CATEGORY: II
WIND EXPOSURE: B
MWFRS Wind Calculations
MWFRS loads are calculated using the provisions of ASCE 7-10 Chapter 28. Loads are first calculated on the structure as a whole, for transmission to shear walls.

Common Values
The following values are common for the entire structure:
 $V = 115.00$ mph (basic wind speed, as entered by user)
 $K_f = 0.85$ (wind directionality factor, from Table 26.6-1, for Main Wind Force Resisting System)
 $K_t = 1.00$ (topography factor, as entered by user, from Table 26.8-1)
 $K = 0.70$ (velocity pressure coefficient, from Table 28.3-1 Note 1, evaluated at roof mean height)
Common Velocity Pressure
Velocity pressure at roof mean height (q_{rf}). Equation 28.3-1 evaluated at roof mean height per 28.4.1:
 $q = h \cdot 0.00256k = zkrfdv^2/0.00256 \cdot 0.70 \cdot 1.00 \cdot 0.85 \cdot 115.00 \text{ mph}^2 = 24.76 \text{ psf}$

Force on Roof
Wind pressures on the roof are calculated here and will be used later when distributing load to the loadbearing walls that support the roof.

GC_f Coefficient Determination

Values from Figure 28.4-1 for roof zones, taking worst case of Load Case A and B:

$GC_{f1} = 1.07$ (Windward surface, edge zone)

$GC_{f2} = 0.69$ (Windward surface, field zone)

$GC_{f3} = 0.53$ (Leeward surface, edge zone)

$GC_{f4} = 0.37$ (Leeward surface, field zone)

Design Pressure

Pressure values from Equation 28.4-1:

$p = q_{\text{rf}} (GC_{f1} - GC_f) = (20.16 \text{ psf})(1.07 - 0.18) = -25.20 \text{ psf}$ (Windward surface, edge zone)

$p = q_{\text{rf}} (GC_{f2} - GC_f) = (20.16 \text{ psf})(0.69 - 0.18) = -17.54 \text{ psf}$ (Windward surface, field zone)

$p = q_{\text{rf}} (GC_{f3} - GC_f) = (20.16 \text{ psf})(0.53 - 0.18) = -14.31 \text{ psf}$ (Leeward surface, edge zone)

$p = q_{\text{rf}} (GC_{f4} - GC_f) = (20.16 \text{ psf})(0.37 - 0.18) = -11.09 \text{ psf}$ (Leeward surface, field zone)

These pressures are applied normal to the roof. For sloped roofs, only the vertical component will be taken when distributing pressures to walls.

GRAVITY LOADS
ROOF LIVE LOAD: 25.00 PSF
FLOOR LIVE LOAD: 100.00 PSF
SNOW LOAD: 30 PSF

EARTHQUAKE LOADS
RISK CATEGORY: II
CLASS: B
SEISMIC IMPORTANCE FACTOR: 1.00
MAPPED 0.2 SECOND SPECTRAL RESPONSE ACCELERATION: 0.200
MAPPED 1.0 SECOND SPECTRAL RESPONSE ACCELERATION: 0.050
DESIGN 0.2 SECOND SPECTRAL RESPONSE ACCELERATION: 0.160
DESIGN 1.0 SECOND SPECTRAL RESPONSE ACCELERATION: 0.040
SEISMIC DESIGN CATEGORY: A
LATERAL FORCE RESISTING SYSTEM: ORDINARY REINFORCED MASONRY SHEAR WALLS
DESIGN BASE SHEAR: 4.22 K
SEISMIC RESPONSE COEFFICIENT: 0.08
RESPONSE MODIFICATION FACTOR: 2.00
SEISMIC ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE METHOD

SOIL CAPACITY : ASSUMED 3000 PSF

MASONRY DESIGN CRITERIA
DESIGN STANDARD: TMS 402-13
SPECIFIED COMPRESSIVE STRENGTH OF MASONRY (FM): 2,000.00 PSI
GRADE OF REINFORCEMENT (FY): 60,000.00 PSI
MASONRY UNIT: 8 IN CMU
CMU DENSITY: NORMALWEIGHT
MASONRY MORTAR TYPE: TYPE S PORTLAND CEMENT/LIME

CONCRETE
DESIGN STANDARD: AISCE
SLAB ON GRADE: $f_c = 4000$ psi
FOOTING: $f_c = 3000$ psi

STEEL
WIDE FLANGE "W SHAPE": A992
PLATES AND OTHER: A36
BOLTS: A325

WELDS:
WELDED CONNECTIONS
ELECTRODES: 70 KSI



Fire-retardant-treated wood framing and sheathing complying with Section 2303.2 shall be permitted within exterior wall assemblies of a 2-hour rating or less.

STRUCTURAL ROOF WOOD JOIST						
Length	Type	Count	Elevation at Bottom	Depth	TL DEF	LL DEF
33' - 11 1/2"	Open Web Wood Joist	35	13' - 6 1/2"	VARIABLES : 22" MIN, 32" MAX	1/180	1/240
36' - 3 1/2"	Open Web Wood Joist	8	13' - 6 1/2"	VARIABLES : 22" MIN, 32" MAX	1/180	1/240

Walls:	Field	Windward	23.08	GENERAL NOTES:
	Edge	Windward	-25.31	1. ROOF TRUSS SCHEDULE DENOTES TRUSS SPACING, DEPTH, BEARING CONDITIONS AND LOADING.
	Edge	Leeward	23.08	INDIVIDUAL TRUSS LENGTHS TO BE VERIFIED BY TRUSS MANUFACTURER.
	Edge	Leeward	-28.33	2. SEE PLANS FOR VARIATIONS IN TRUSS BEARING CONDITIONS.
	Zone 1 (Field)	Windward	9.41	3. CONCENTRATED LOADS DUE TO DOOR / WINDOW JAMBS ARE NOT EXPLICITLY PROVIDED AND SHALL BE CALCULATED BY TRUSS DESIGNER.
	Zone 1 (Field)	Leeward	-26.74	4. TRUSS MANUFACTURER TO DESIGN ALL TRUSSES BASED ON GIVEN LOADING.
	Zone 2 (Edge)	Windward	9.41	5. ALL TRUSSES TO HAVE PITCHED TOP CHORDS & FLAT BOTTOM CHORDS.
	Zone 2 (Edge)	Leeward	-31.7	6. SEE ARCHITECTURAL DRAWINGS FOR SECTIONS SHOWING TRUSS PROFILES, BEARING ELEVATIONS, AND PITCH.
	Zone 3 (Corner)	Windward	9.41	
	Zone 3 (Corner)	Leeward	-31.7	

Overhang:	Roof Edge	Roof Corner	-27.24 (total, both surfaces)	GENERAL NOTES:
			-19.81	1. ROOF TRUSS SCHEDULE DENOTES TRUSS SPACING, DEPTH, BEARING CONDITIONS AND LOADING.

Parapet	Windward side (case A)	Wall Field	47.01	1. TRUSS MANUFACTURER MAY NOT DEVIATE FROM THE FRAMING PLANS UNLESS PRIOR.
	Leeward side (case B)	Wall Edge	42.84	APPROVAL FROM THE STRUCTURAL ENGINEER HAS BEEN GIVEN. IT IS THE TRUSS MANUFACTURER'S RESPONSIBILITY TO SEEK SUCH APPROVAL PRIOR TO MANUFACTURE AND INSTALLATION OF FRAMING MEMBERS.

ALL BEAMS SHALL HAVE A MINIMUM OF 6' BEARING LENGTH
(3) : INDICATES 3 PLY
Sheath roof with 3/4" APA rated PLY (Grade 32/16) w/ 10d nails @ 3" o/c edges, 12" o/c field. Minimum the values in the table above
DEFLECTION LIMITS: LIVE LOAD L/360 TOTAL LOAD L/240 (MAX TOTAL 1")
LOADS: ROOF DEAD LOAD SEE TRUSS SCHEDULE

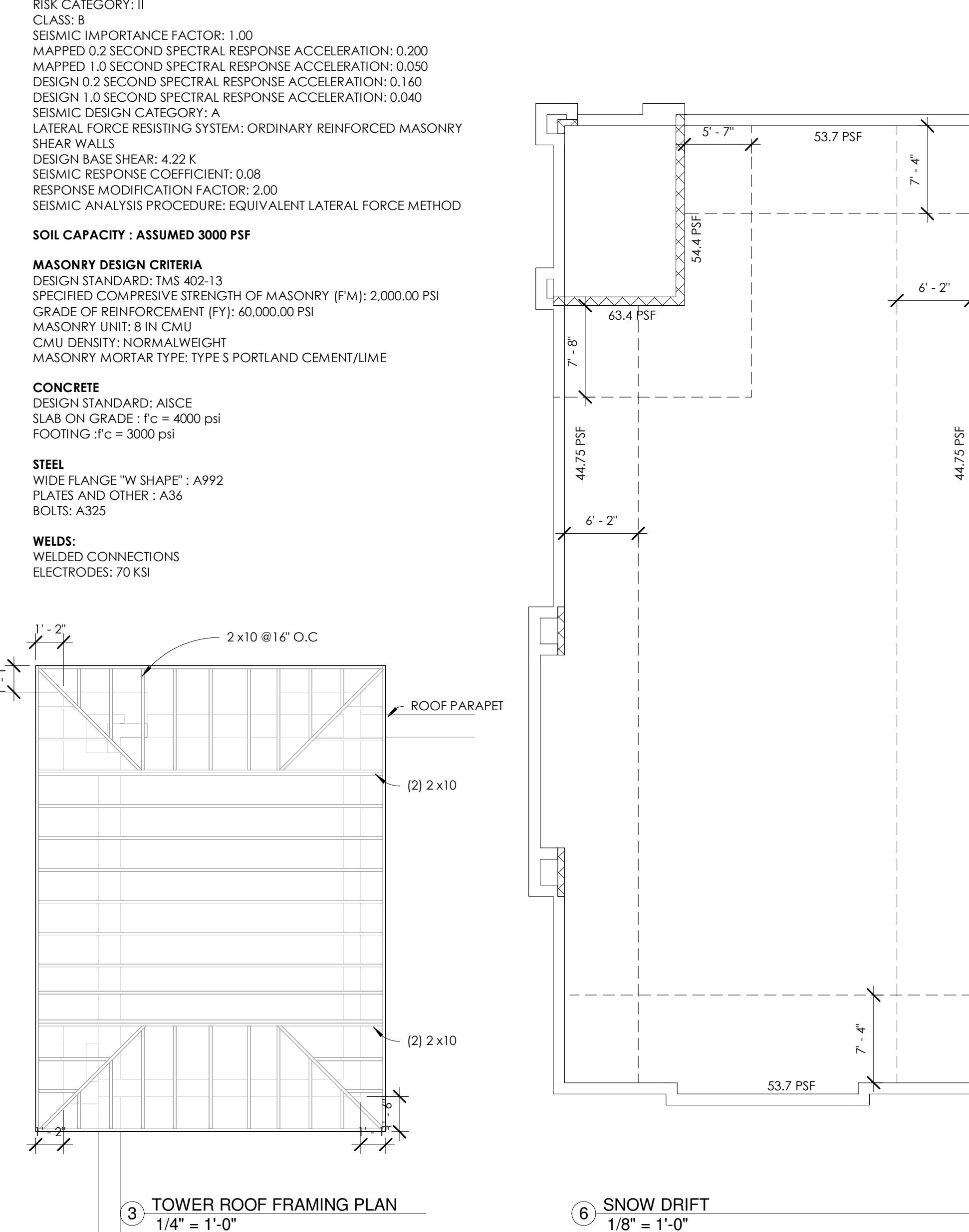
ROOF WIND LOAD (ALSO SEE DESIGN DATA FOR ADDITIONAL WIND LOADS)
DESIGN/BALANCED SNOW LOAD (Ps) SEE DESIGN DATA

Beams Structural Schedule					
Type	Count	Length	Mark	Comments	Elevation at Bottom
(3) 3/4x11 7/8 - 2.1E	1	11' - 0"	L-1	BEAM ABOVE WINDOW	10' - 4 1/32"
(3) 3/4x14 - 2.1E	1	10' - 0"	L-2	BEAM ABOVE STOREFRONT	10' - 4 1/8"
Precast Concrete Lintel Beam	1	8' - 0 3/4"	L-3	BEAM ABOVE ENTRANCE	12' - 1 1/2"
(3) 3/4x14 - 2.1E	1	17' - 4"	L-4	BEAM ABOVE STOREFRONT	12' - 1 1/2"
(3) 4x11 7/8 - 2.1E	1	7' - 0"	L-5	LINTEL ABOVE WINDOW	10' - 7"
Precast Concrete Lintel Beam	1	8' - 0 3/4"	L-5A	10' - 4"	
(3) 4x11 7/8 - 2.1E	1	7' - 0"	L-6	LINTEL ABOVE WINDOW	10' - 7"
Precast Concrete Lintel Beam	1	8' - 0 3/4"	L-6A	10' - 4"	
(3) 4x11 7/8 - 2.1E	1	6' - 0"	L-7	LINTEL ABOVE WINDOW	10' - 7"
L5X5/8	1	10' - 4"	L-7A	LINTEL ABOVE WINDOW	14' - 7 5/8"

HOLDOWN SCHEDULE

MARK	TYPE	ANCHOR BOLT SIZE	MIN END POST
HD-1	HDU8-SDS2.5	1"	(3) 2x6 SPF No.1/No.2

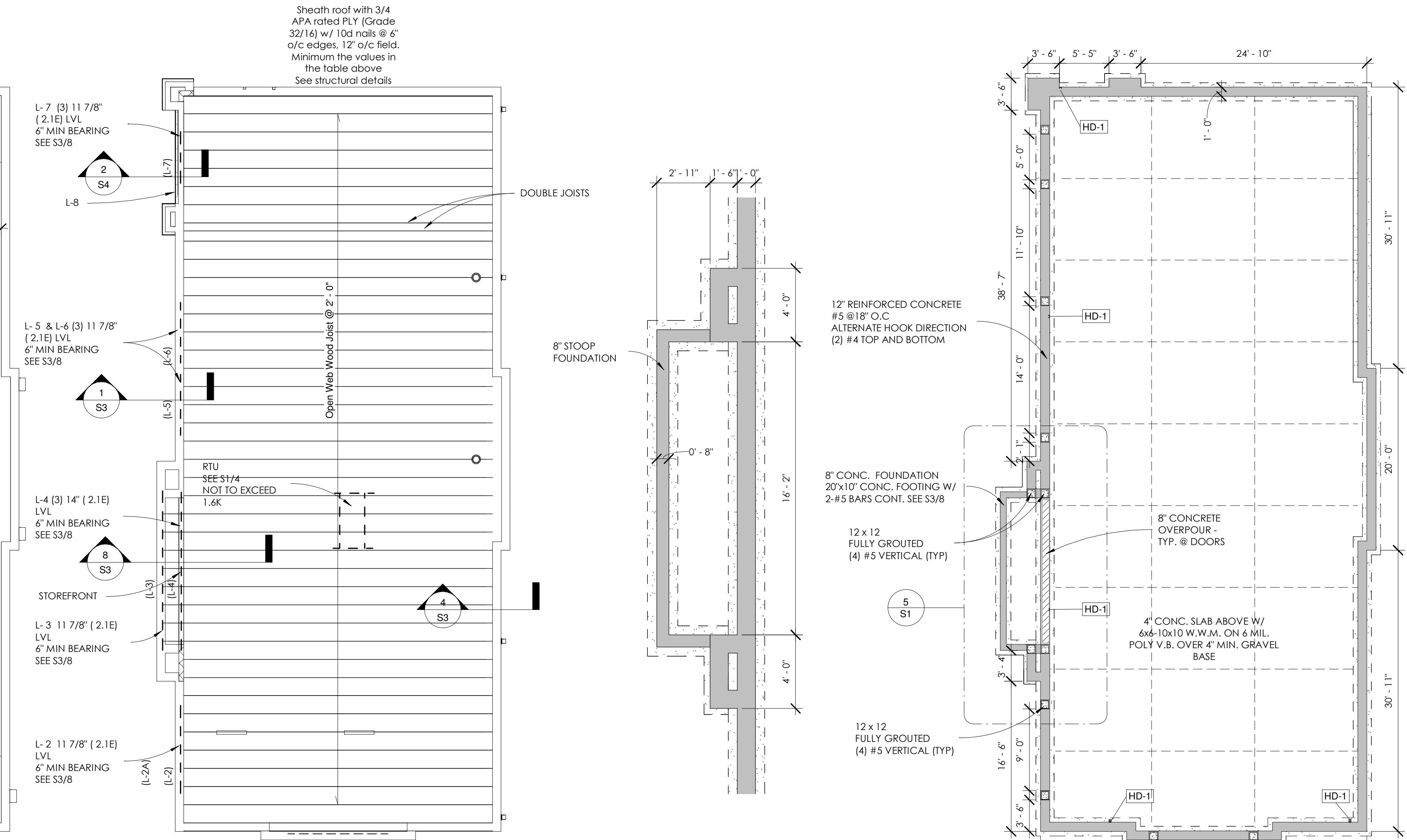
④ HOLDOWN SCHEDULE
1 1/2" = 1'-0"



① ROOF FRAMING
1/8" = 1'-0"

⑤ STOOP FOUNDATION DETAILS
1/4" = 1'-0"

② TOP Building Foundation
1/8" = 1'-0"



S1

MIAN'S OIL FUEL STATION</b