



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, October 23, 2024**  
**City Hall, Room 128**  
**6:00 PM**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

**5. Revised Site and Landscaping Plan design review for new gas station and neighborhood retail use at 8404 W. Greenfield Ave. (Tax Key No. 442-9001-000)**

**Overview & Zoning**

The property is about ½-acre in area and is zoned C-2 Neighborhood Commercial District. The conditional use and site, landscaping, and architectural plan was



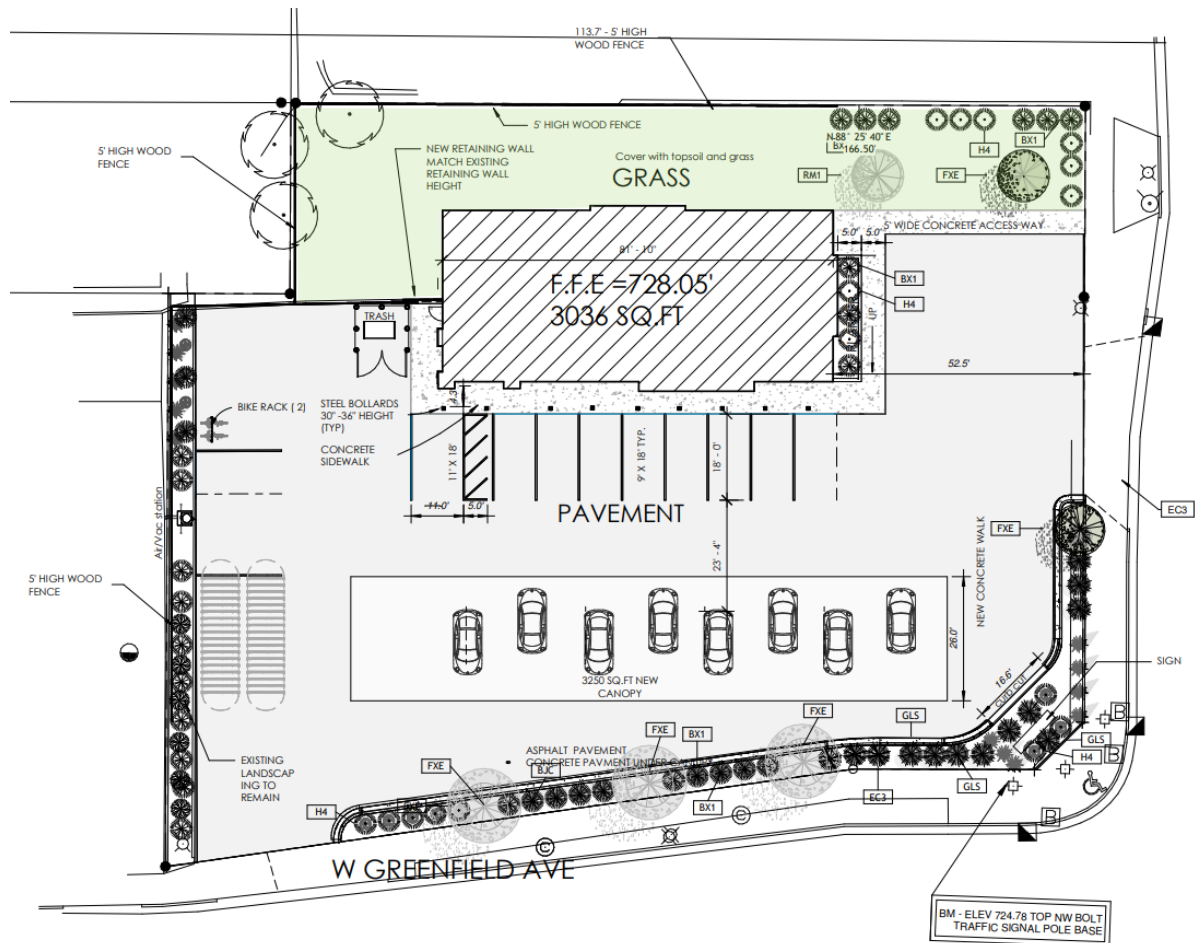
approved by Plan Commission and the Common Council earlier this spring (April-May). A new gas station and convenience store called Mian Market is currently under construction. The property owner recently met with Planning and would like to make some changes to the site plan. The site plan amendments require design review before Plan Commission.

**Site and Landscaping Plan**

Approved site plan

Surrounding land uses include an apartment to the west, and lower density homes to the north. Commercial development to the south and State Fair Park to the east. There currently isn't any buffer to the apartment building located west of the existing site, but the new plan calls for a 5-ft wide landscaping bed and plantings to help soften the edges of the property and provide some screening.

New paving is planned for the overall surface of the property (excepting new landscaping areas). A new 4-sided refuse enclosure is planned on the west side of the building. A double-sided wood fence is recommended along the west and north sides of the property. A new retaining wall will be installed along the northwest side of the building to replace the existing retaining wall.



#### Proposed amendment

- The owner would like to add additional pavement in the approved grass/greenspace area behind (greenspace area to the north of the building) for parking employee vehicles.
- Change the fence type from wood to chain-link with brown privacy slats.

This area north of the building consists of a 22-ft wide area between the new building and the north property line. A residence is located directly north. Greenspace and a new 5-ft high wood fence was approved by the Plan Commission in April. A pedestrian walkway was also approved by the Plan Commission and connects the front door of the business to S. 84 St.

The additional pavement is requested to allow two or three employees to park behind the building.

There are currently eight parking spaces shown on the site plan. Staff notes there is additional space on the approved site plan to accommodate at least additional vehicles without exceeding the parking limit.

Parking requirements - 3,100-sf building area @ 1 space/300-sf = a maximum of 10 parking stalls are allowed per zoning. Eight (8) parking stalls are provided on site (including ADA).

#### **Design Review Guidelines:**

Staff recommends that amendments to the plan comply with applicable design review guideline requirements for landscaping and screening design. Chain-link fencing is not allowed per the technical standards of our Design Guidelines. Parking supply should also be consistent with maximum parking limits in the zoning code.

**Recommendation:** Staff is satisfied with the plan approved by the Plan Commission in April (included within this report), but the property owner would like for Plan Commission to consider their desired site and landscaping plan amendments described in this report. Applicants will be available at the Plan Commission meeting for discussion.

# ETn ENGINEERING

ARCHITECTURAL . STRUCTURAL . CIVIL ENGINEERING

emadnadi@etnengineering.com

Milwaukee WI 53221

414. 324.4129

---

Monday, April 1, 2024

Subject: Proposal for New Convenience Store located at 8404 W Greenfield Ave

Dear Plan Commission Members,

I am writing to propose the construction of a new convenience store in the City of West Allis. This project aims to meet the growing demand for convenient shopping options, enhance community access to essential goods, and contribute to the economic development of our city.

## Project Overview:

The proposed convenience store, to be named Mian's Market, will be a modern and well-equipped facility located at 8404 W Greenfield Ave. The store will have a total area of approximately 3036 square feet, and five fueling pumps for customer convenience.

## Objectives:

The primary objectives of this project are as follows: a) Provide convenient access to essential goods and services for the residents of Milwaukee, particularly in underserved areas. b) Enhance the overall retail landscape of the city, providing healthy competition and fostering consumer choice. c) Generate employment opportunities for residents and contribute to the economic growth of the community. d) Implement sustainable practices to minimize the store's environmental impact. e) Engage in community outreach initiatives to promote community involvement and support local initiatives.

## Benefits:

The proposed convenience store will bring several benefits to the City of Milwaukee: a) Convenience: Residents will have access to a wide range of essential products in a convenient location, reducing travel time and improving accessibility for all. b) Job Creation: The project will create numerous job opportunities, providing employment to both full-time and part-time workers from within the community. c) Economic Growth: The store will contribute to the local economy by generating tax revenue and supporting other local businesses through increased foot traffic. d) Community Support: We will actively engage with the local community by participating in community events, supporting local initiatives, and contributing to local charitable organizations. e) Sustainable Practices: Our store will prioritize sustainable practices, such as energy-efficient lighting, waste management, and environmentally friendly packaging options.

## Key Features:

1. **Traffic Impact and Parking:** The store will be operating of the new convenience store will not cause significant disruptions in traffic flow. Adequate parking spaces will be provided to accommodate customers and minimize any potential parking issues.
2. **Design and Aesthetics:** The proposed convenience store will feature a modern and aesthetically pleasing design that blends harmoniously with the surrounding environment. We will comply with all relevant zoning and building regulations and seek to enhance the visual appeal of the neighborhood.

# ETn ENGINEERING

ARCHITECTURAL . STRUCTURAL. CIVIL ENGINEERING

emadnadi@etnengineering.com

Milwaukee WI 53221

414. 324.4129

---

3. Community Engagement: We value community input and are committed to actively engaging with the residents and stakeholders. We will conduct public meetings to gather feedback, address concerns, and incorporate community suggestions into our plans. Additionally, we will establish an ongoing community liaison program to ensure open lines of communication between the store and the community.
4. Operation hours : 24 hours
5. Deliveries : Fuel Trucks weekly

Yours sincerely,

**Emad Nadi, PE**

(414).324.4129

[emadnadi@etnengineering.com](mailto:emadnadi@etnengineering.com)



GENERAL NOTES:  
PROJECT SCOPE CONSISTS OF DEMOLISHING THE EXISTING BUILDING AND THE CONSTRUCTION OF 3036 S.F. BUILDING TO BE USED AS A RETAIL. Additionally , 3250 SQ.FT WILL BE CONSTRUCTED WITH A SEPARATED PERMIT APPLICATION  
REMOVE THE EXITING PAVMENT AND CONSTRUCT A NEW 8" CONCRETE PAVEMENT

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:  
CLASS A: FLAME SPREAD INDEX 0-25;  
SMOKE-DEVELOPED INDEX 0-450  
CLASS B: FLAME SPREAD INDEX 26-75  
SMOKE-DEVELOPED INDEX 0-450  
CLASS C: FLAME SPREAD INDEX 76-200  
SMOKE-DEVELOPED INDEX 0-450  
INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.9 WITH A MINIMUM RATING OF CLASS C.  
INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC FF-1 "PILL TEST".  
CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY IN THE FIELD ALL SIZES AND DIMENSIONS INVOLVING THE EXISTING STRUCTURE AND COORDINATE WITH NEW CONSTRUCTION  
THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.  
THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.  
THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MFG. DEVIATION OF THE FOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.  
ALL WALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS. (I.E. 8" CMU= 7 5/8"). DIMENSIONS FOR FRAMED WALLS ARE SHOWN TO FACE OF STUDS AND/OR FACE OF BLOCK.  
FIRE EXTINGUISHERS WITH A MINIMUM 2-A RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHER SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.  
UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.  
ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.  
CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES. THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS.  
EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION.  
INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.  
DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS  
UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.

ALL WORK TO BE IN ACCORDANCE WITH SPS 361.05., ANSI A117.1 AND CITY OF MILWAUKEE ORDINANCES CH 290 & CH 295

CODE INFORMATION :

REFERENCED CODES ARE:  
IBC 2015; IBC 2015; ICC/ANSI A117.1-2003  
DCF 251  
OCCUPANCY CLASSIFICATION:  
M

TYPE OF CONSTRUCTION:  
TYPE VB (CHAPTER 6); MASONRY BRICK EXTERIOR WITH FRAMING

CLASSIFICATION OF WORK  
NEW CONSTRUCTION

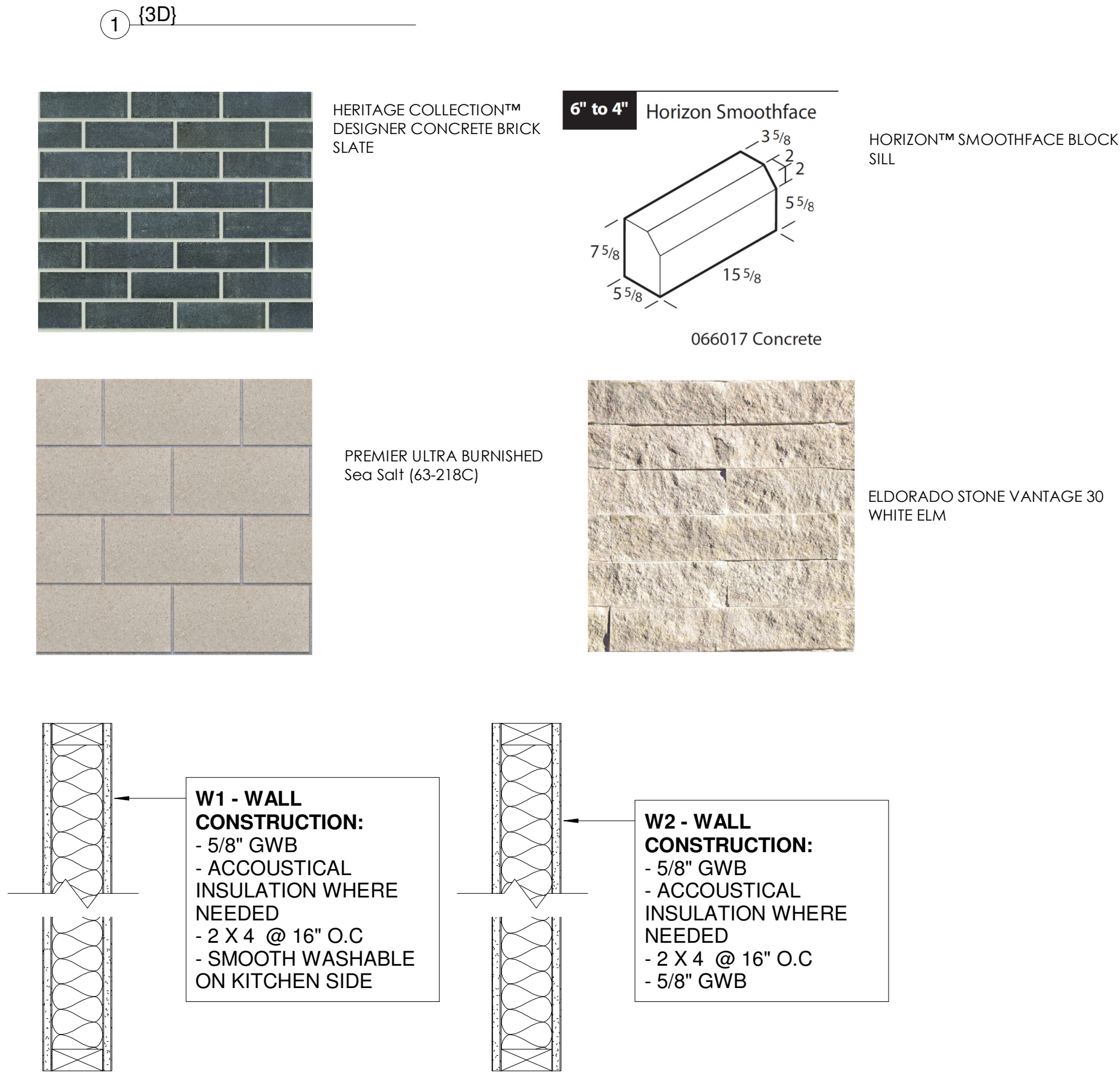
ACTUAL BUILDING FLOOR AREA:  
GRADE LEVEL NEW FLOOR AREA = 3082 SQ.FT.  
ENTIRE BUILDING TOTAL GROSS 3082 SQ. FT .  
BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13)  
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503): 55 FEET  
OCCUPANCY GROUP M , 1 STORY, FLOOR AREA PER STORY, BUILDING HEIGHT PROVIDED 16 FEET  
FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601 & 602).  
PRIMARY STRUCTURAL FRAME 0 HOUR RATING  
BEARING WALLS (EXTERIOR) 2 HOUR RATING  
BEARING WALLS (INTERIOR) 0 HOUR RATING  
NONBEARING WALLS & PARTITIONS (EXTERIOR)  
FIRE SEPARATION DISTANCE 0-5 FT 2 HOUR RATING  
FIRE SEPARATION DISTANCE 5-10 FT, 1 HOUR RATING  
FIRE SEPARATION DISTANCE 10-30 FT, NINE  
FIRE SEPARATION DISTANCE > 30 FT, 0 HOUR RATING  
NONBEARING WALLS & PARTITIONS (INTERIOR) ~ 0 HOUR RATING  
FLOOR CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING  
ROOF CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING

OCCUPANT LOAD / PROPOSED TENANT AREA OF 3036 SQ.FT):  
MERCANTILE AREA 3082 SQ.FT @40 SQ. FT PER OCCUPANCY = 51 OCCUPANTS ( IBC 1004.3)

SPRINKLER SYSTEM IS NOT REQUIRED

MEANS OF EGRESS:  
OCCUPANCY LOAD: TABLE 1004.1.2  
EXIT WIDTH REQUIRED: 51 @ 0.2 INCHES = 10")  
EXIT WIDTH PROVIDED: 72' + 36" = 108" INCHES

PLUMBING FIXTURE REQUIREMENTS: 51 OCCUPANTS  
TOILETS :  
WATER CLOSETS REQUIRED: 1 PER 500, THEREFORE 1 REQUIRED  
WATER CLOSETS PROVIDED: 1 WATER CLOSET  
LAVATORIES:  
LAVATORIES REQUIRED: 1 PER 750, THEREFORE 1 REQUIRED  
LAVATORIES PROVIDED: 1 LAVATORY  
SERVICE SINKS:  
SERVICE SINKS REQUIRED: 1 SINK  
SERVICE SINKS PROVIDED: 1 SINK  
FIRE PROTECTION CONSTRUCTION:  
903.2.1.3 GROUP M OCCUPANCY, SPRINKLER SYSTEM IS NOT PROVIDED



② INTERIOR WALL SECTIONS  
1 1/2" = 1'-0"



③ AERIAL  
1" = 30'-0"

OWNER  
MIAN'S OIL COR.  
8404 W GREENFIELD WI  
MILWAUKEE , WI

CONTRACTOR  
KHALEK BUILDING SERVICES  
3834 E Puetz Rd.  
Oak Creek, WI 53154  
moe@ampnd.com  
414.666.2222

PROFESSIONAL SERVICES  
ETn ENGINEERING  
EMAD NADI, PE  
2504 W BRIDGE ST  
MILWAUKEE, WI 53221  
emadnadi@etnengineering.com  
414.324.4129

INDEX	
Sheet Name	Sheet Number
GENERAL PLAN	A100
SITE & LANDSCAPING	A101
SITE DETAILS	A101.1
ARCHITECTURAL LAYOUT	A102
Architctural Plan	A102.1
INTERIOR DETAILS	A102.2
SCHEDULES	A102.3
Elevations	A103
Elevtions	A103.1
CONSTRUCTION DETAILS	A103.2
BUILDING SECTIONS	A104
SITE DEMO	C1
GRADING & EROSION	C2
STRUCTURAL PLAN	S1
STRUCTURAL NOTES	S1.1
STRUCTURAL DETAILS	S3
STRUCRAL DETAILS	S4

Building

This plan has been

CONDITIONALLY APPROVED

City of West Allis Code Enforcement Department



06/11/2024

ETn engineering  
Architectural. Structural. Civil Engineering  
Milwaukee  
Wisconsin 53221  
Phone: 414-324-4129  
EMADNADI@ETNENGINEERING.COM

Revision Schedule		
No.	Revision	Date

MIAN'S OIL FUEL STATION  
New Building  
8404 W GREENFIELD  
WEST ALLIS WI

SCALE  
VARIES



GENERAL PLAN

A100



Revision Schedule		
No.	Revision	Date

MIAN'S OIL FUEL STATION  
New Building  
8404 W GREENFIELD  
WEST ALLIS WI

SCALE  
VARIES



SITE &  
LANDSCAPING

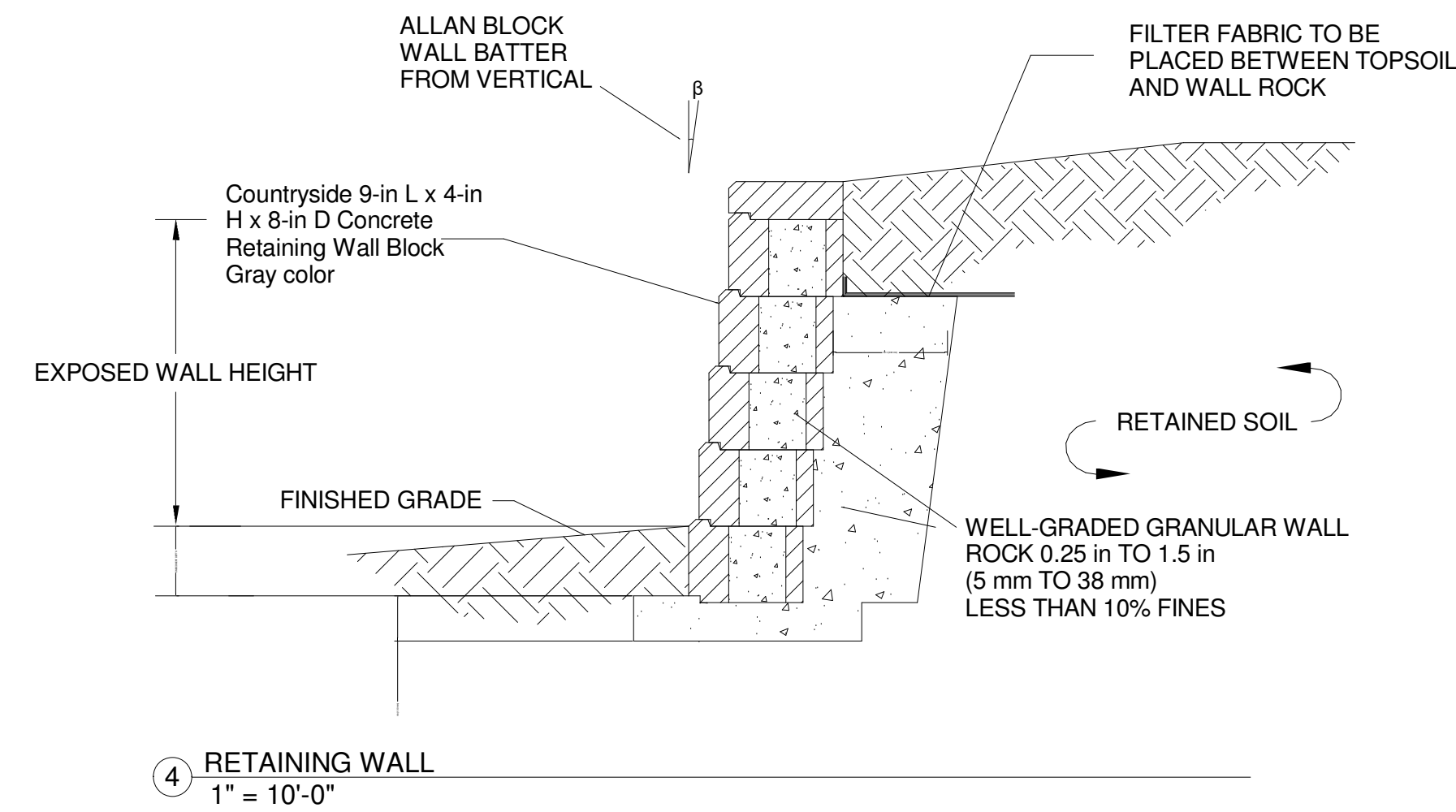
A101

**SITE DATA :**

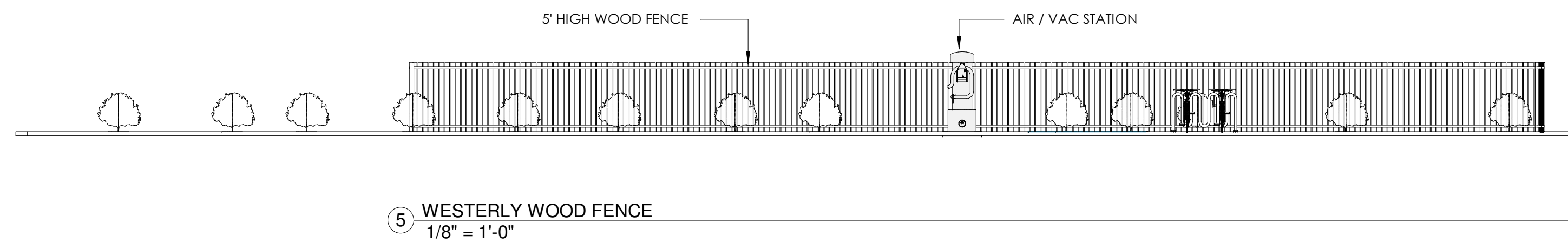
ASPHALT PARKING AREA = 7365 SQ.FT  
CONCRETE AREA UNDER CANOPY : 3311 SQ.FT  
SIDEWALK AREA : 736 SQ.FT  
BUILDING AREA : 3036 SQ.FT  
BUILDING HEIGHT 18' -26'  
CANOPY CLEAR HEIGHT = 15'  
CANOPY OVERALL HEIGHT = 18'  
PARKING SPACES = 10

**Planting Schedule**

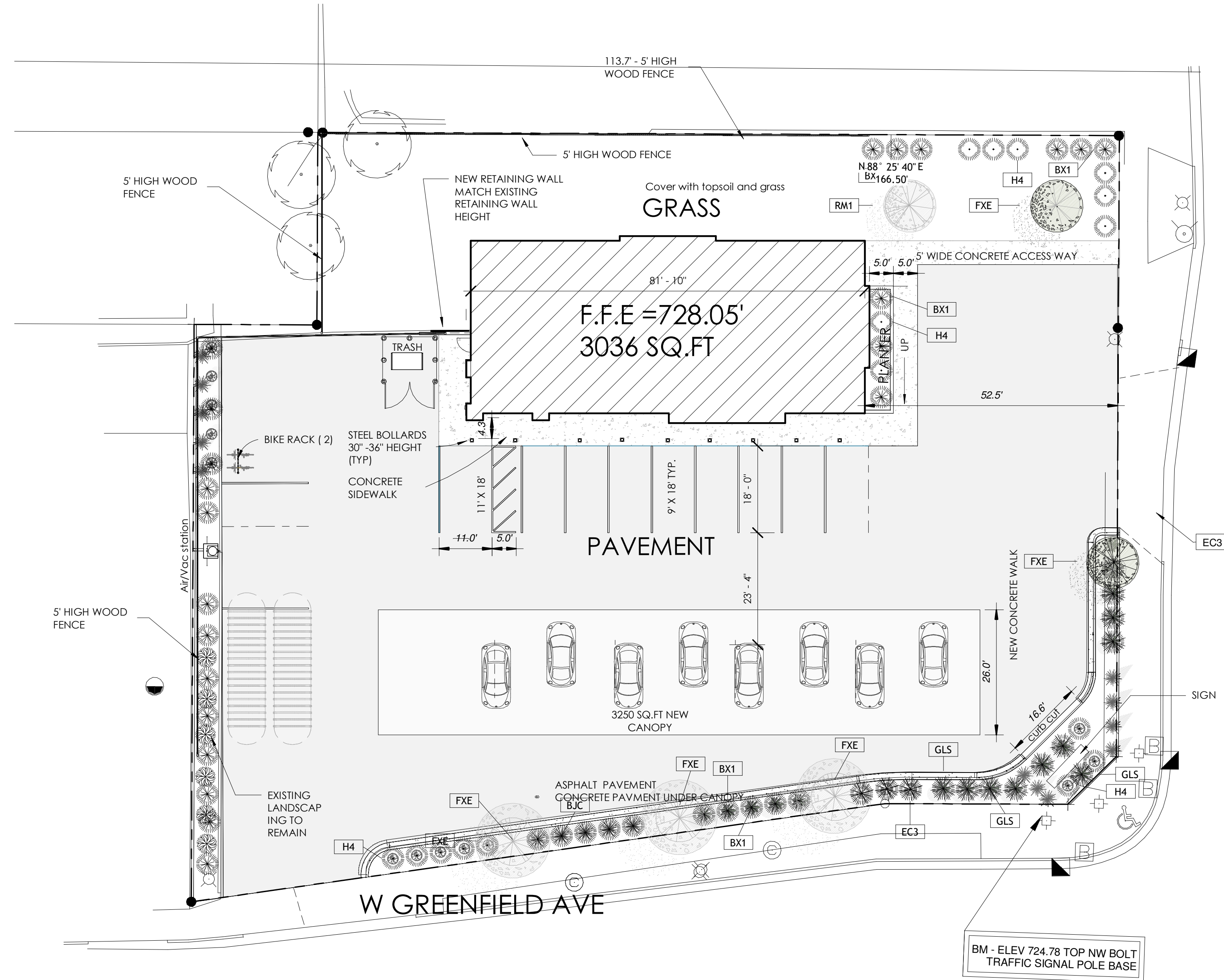
Type Mark	Count	Common Name	BOTANICAL NAME	Description	Comments	Cost
BJC	5	Kallay Compact Pfizer	Juniperus chinensis 'Kallays Compact'			
BX1	14	Boxwood 2'-9"	Boxwood			
DF1	13	Daphne 3'-0"	Daphne			
EC3	3	Ruby Star Coneflower	Echinacea purpurea 'Ruby S			
FXE	5	Frontier Elm	Ulmus x 'Frontier'			
GLS	11	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low			
H4	16	Happy Returns Dayli	Hemerocallis x 'Happy Returns			
KCE	1	Espresso Kentucky Coffeet	Gymnocladus dioica 'Espresso			
RM1	1	Red Maple	Acer rubrum			



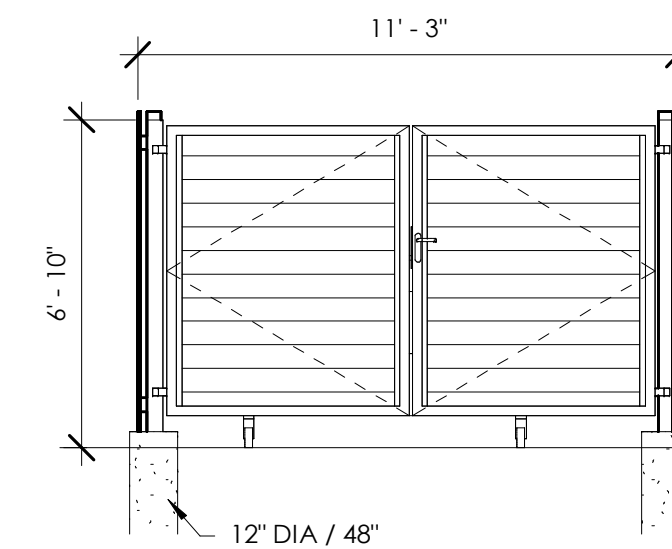
④ RETAINING WALL  
1" = 10'-0"



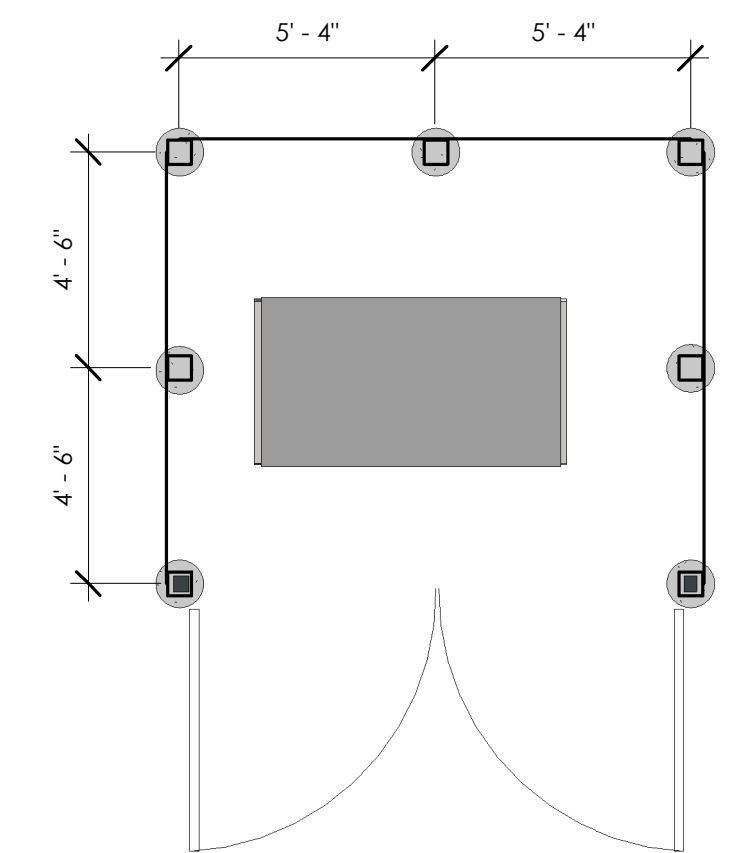
⑤ WESTERLY WOOD FENCE  
1/8" = 1'-0"



① SITE PLAN - N  
1/16" = 1'-0"



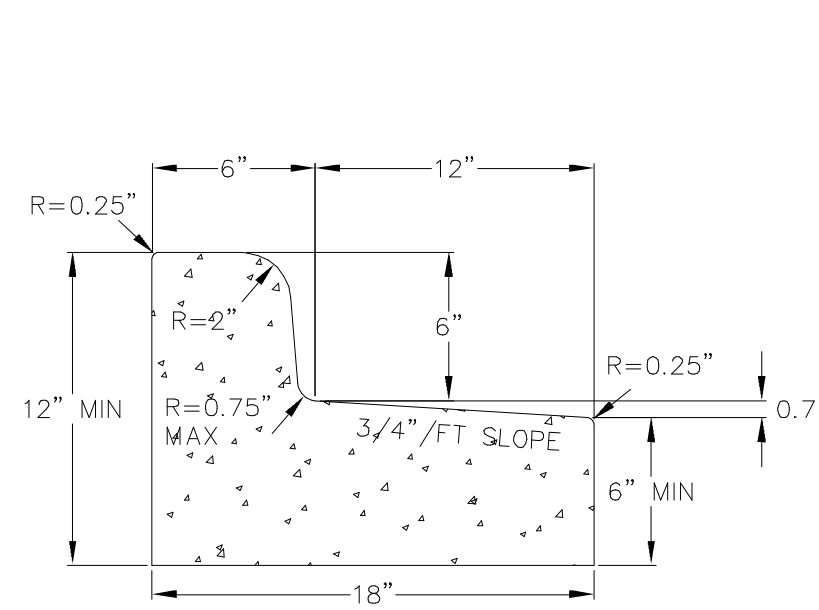
② TRASH ENCLOSURE  
1/4" = 1'-0"



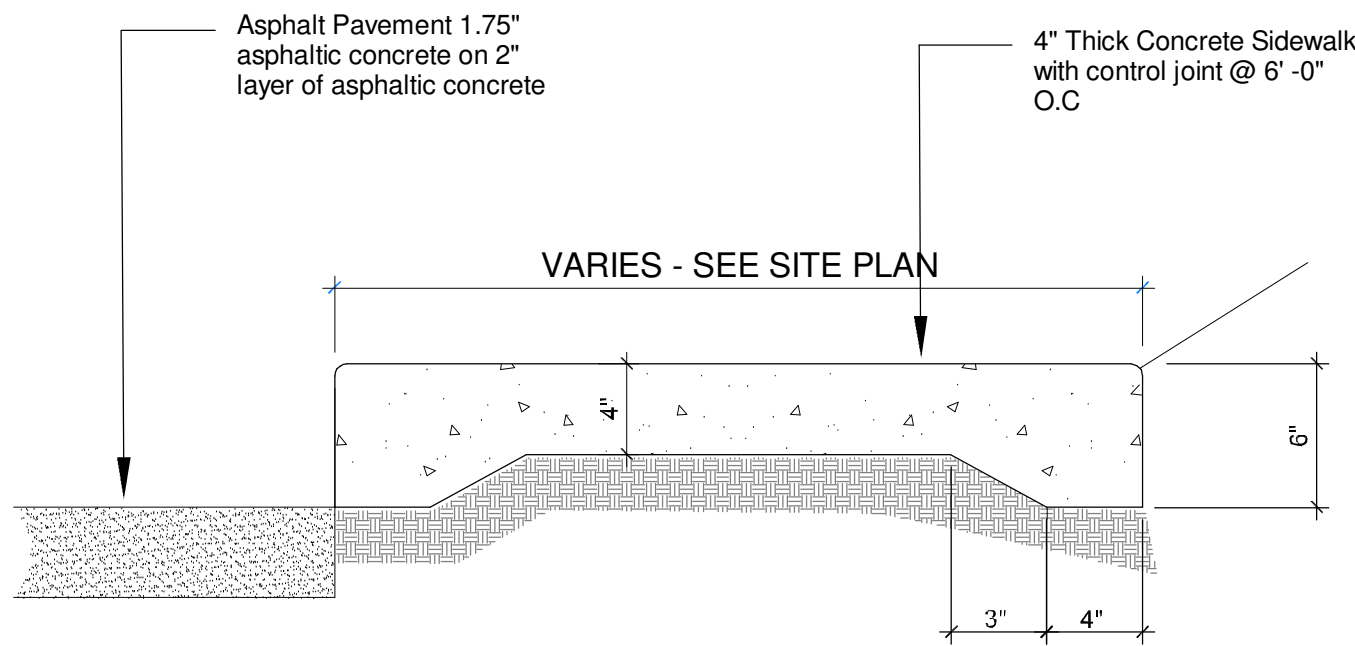
③ TRASH ENCLOSURE LAYOUT  
1/4" = 1'-0"



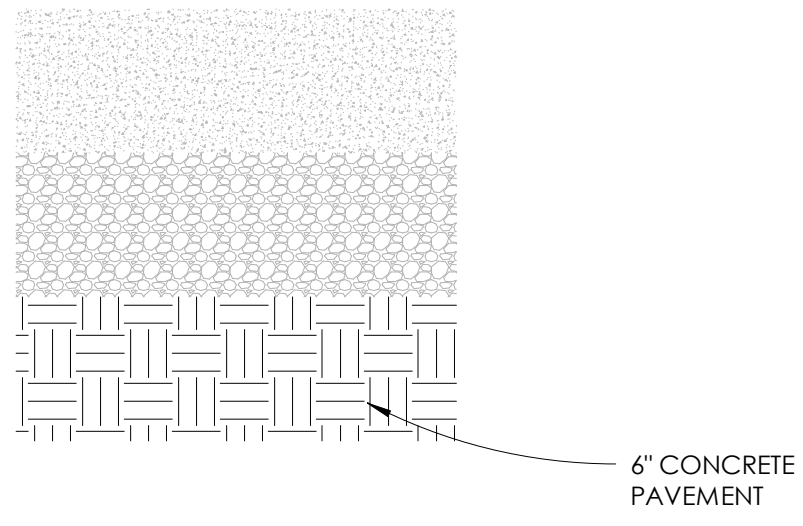
Revision Schedule		
No.	Revision	Date



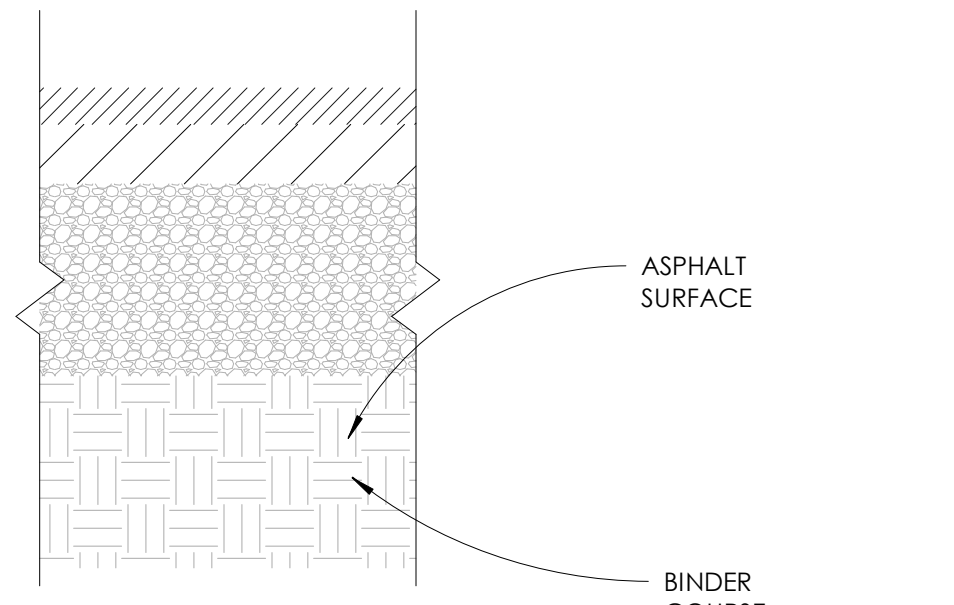
12" CURB AND GUTTER



CONCRETE SIDEWALK

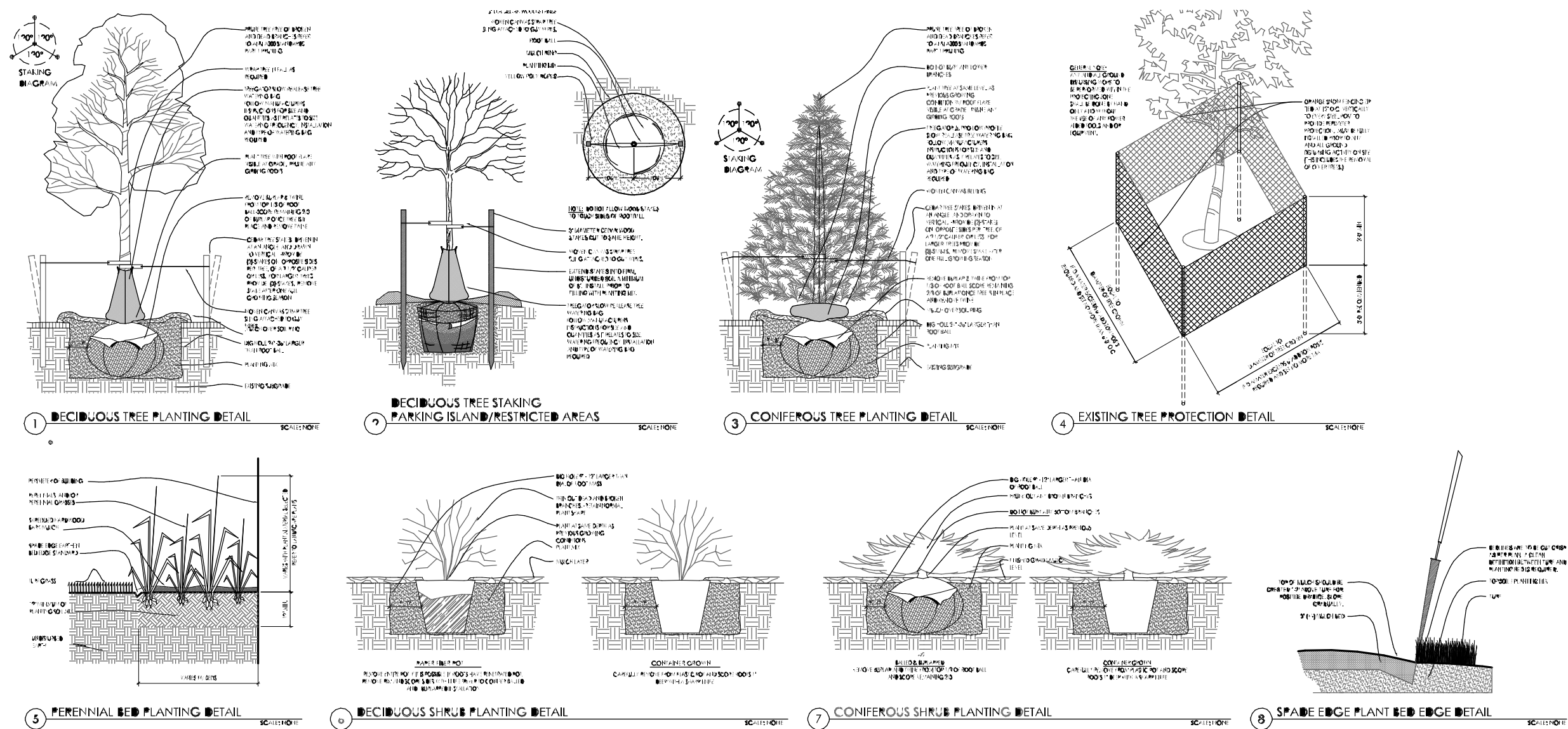


CONCRETE PAVEMENT

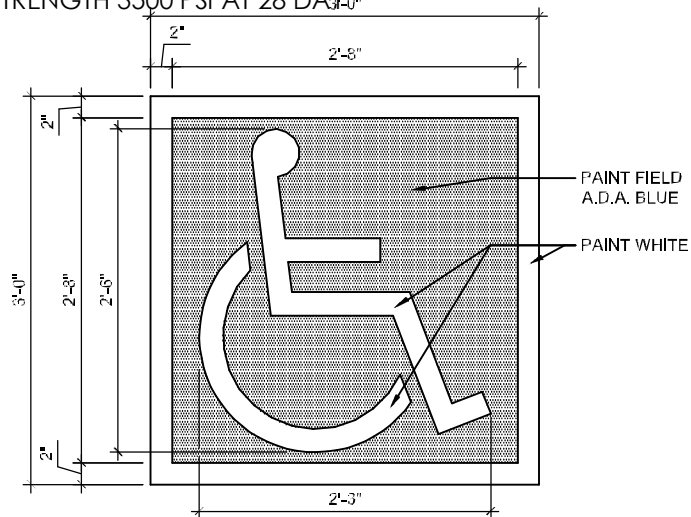


ASPHALT PAVEMENT

2 SITE DETAILS  
1 1/2" = 1'-0"

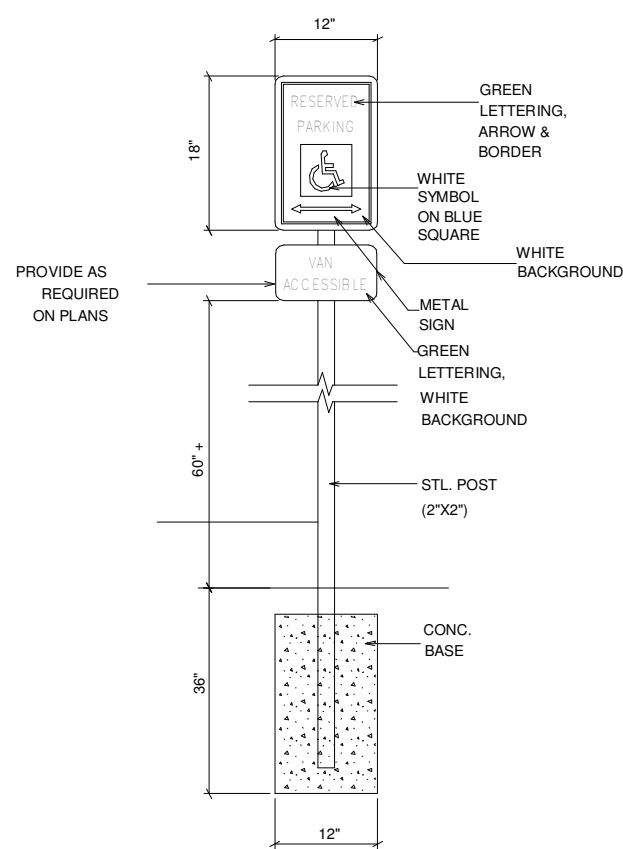


CONTRACTOR TO PROVIDE EXPANSION JOINT EVERY 100 FEET  
SAWCUT CONTROL JOINT IN THE SLAB NOT EXCEED 10 FEET IN LENGTH  
CONCRETE STRENGTH 3500 PSI AT 28 DAYS



ADA DETAILS - NTS

Symbol shall be painted with white color and blue background



MIAN'S OIL FUEL STATION  
New Building  
8404 W GREENFIELD  
WEST ALLIS WI

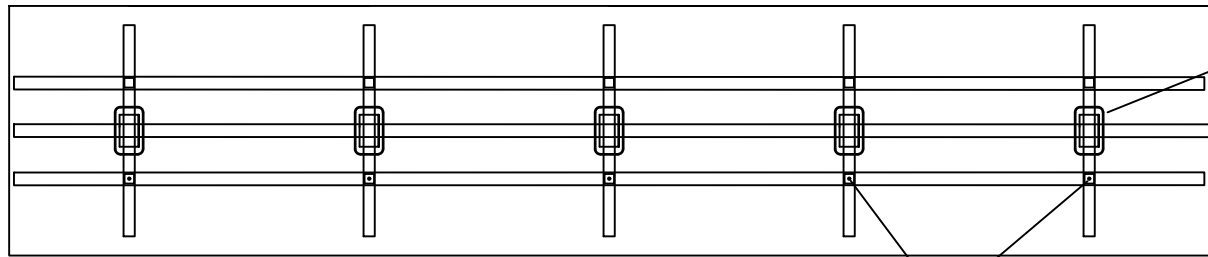
SCALE  
VARIES



SITE DETAILS

A101.1

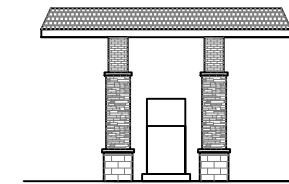




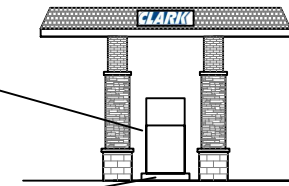
TOP VIEW

Dispenser islands under canopy

3" PVC pipe drains in (5) canopy columns connected to storm drain underground.



WEST ELEVATION



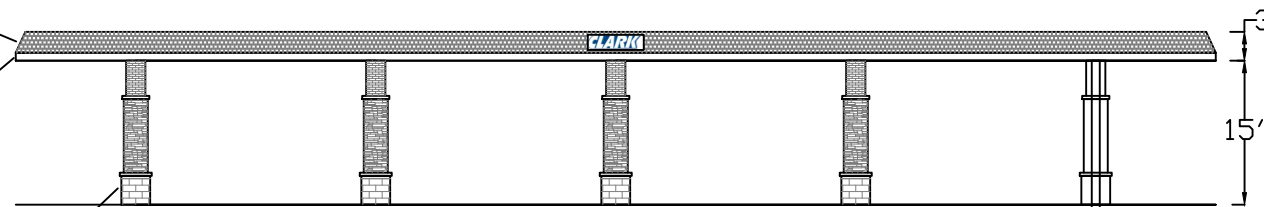
EAST ELEVATION

Fuel Dispenser

3' x 5' concrete island base with stainless steel border.

- Asphalt shingles on angled fascia area.
- Galvanized steel braces and frame.
- 1/2" plywood backing, #15 roofing felt, and architectural shingles.

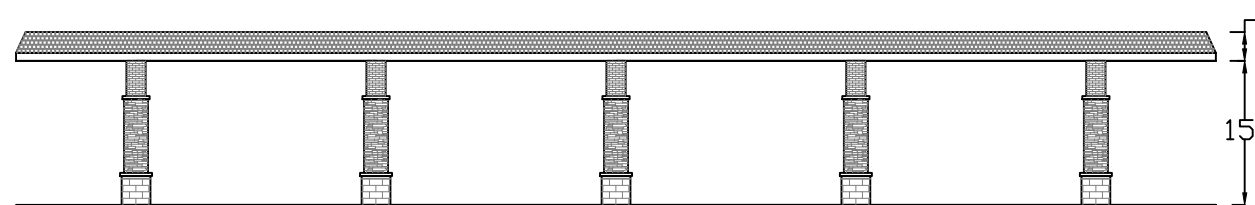
Steel fascia border trim.



SOUTH ELEVATION

Brick work around columns to match main building materials.

4' x 4' x 5' footings, 12" below grade. See canopy engineered drawings for additional details.



NORTH ELEVATION



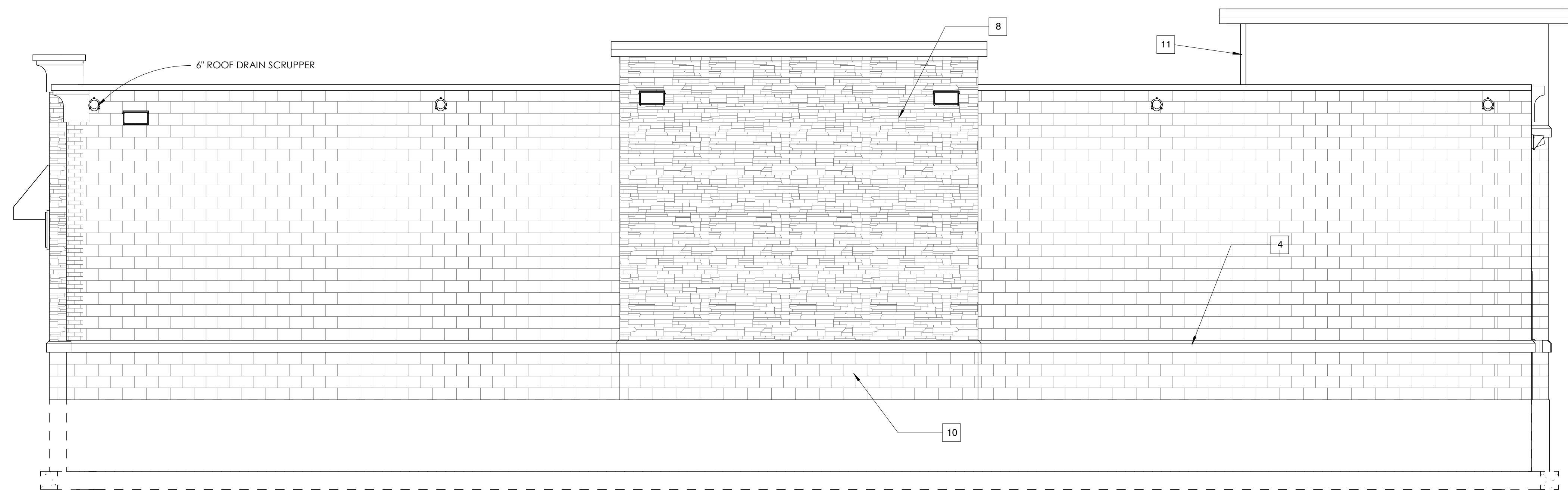
Ctn:	CONTRACTOR ID: 240951 WALT'S PETROLEUM SERVICE INC. 5207 E. JELINEK AVE. SCHOFIELD, WI 54476
	OWNER ID: 0000000 8404 W GREENFIELD AV WEST ALLIS, WI 53214
	FACILITY ID: 8404 W GREENFIELD AV WEST ALLIS, WI 53214

DRAWN BY: NRE
DATE 06-21-24:
SCALE: 1" = 20'
SHEET: 1
SHEET: 1 OF 1

Revision Schedule		
No.	Revision	Date



① Front Elevation  
1/4" = 1'-0"



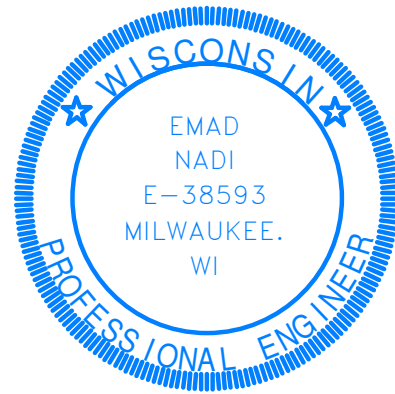
② Back Elevation  
1/4" = 1'-0"

## Notes

Label Number	Notes
1	THERMALLY Y-BROCKEN ANODIZED ALUMINUM STOREFRONT. 1" LOW-E INSULATING GLAZING.
2	THERMALLY Y-BROCKEN ANODIZED ALUMINUM WINDOW. 1" LOW-E INSULATING GLAZING.
3	EIFS CROWN
4	<varies>
5	Heritage Collection™ Designer Concrete Brick SLATE
6	FABRIC AWNING
7	ALUMINUM AWNING
8	<varies>
9	Prefinished aluminum coping
10	SPLITFACE
11	2" EIFS - DARK GREY
12	Premier Ultra Burnished Sea Salt (63-218C)

# MIAN'S OIL FUEL STATION New Building 8404 W GREENFIELD WEST ALLIS WI

SCALE  
VARIES

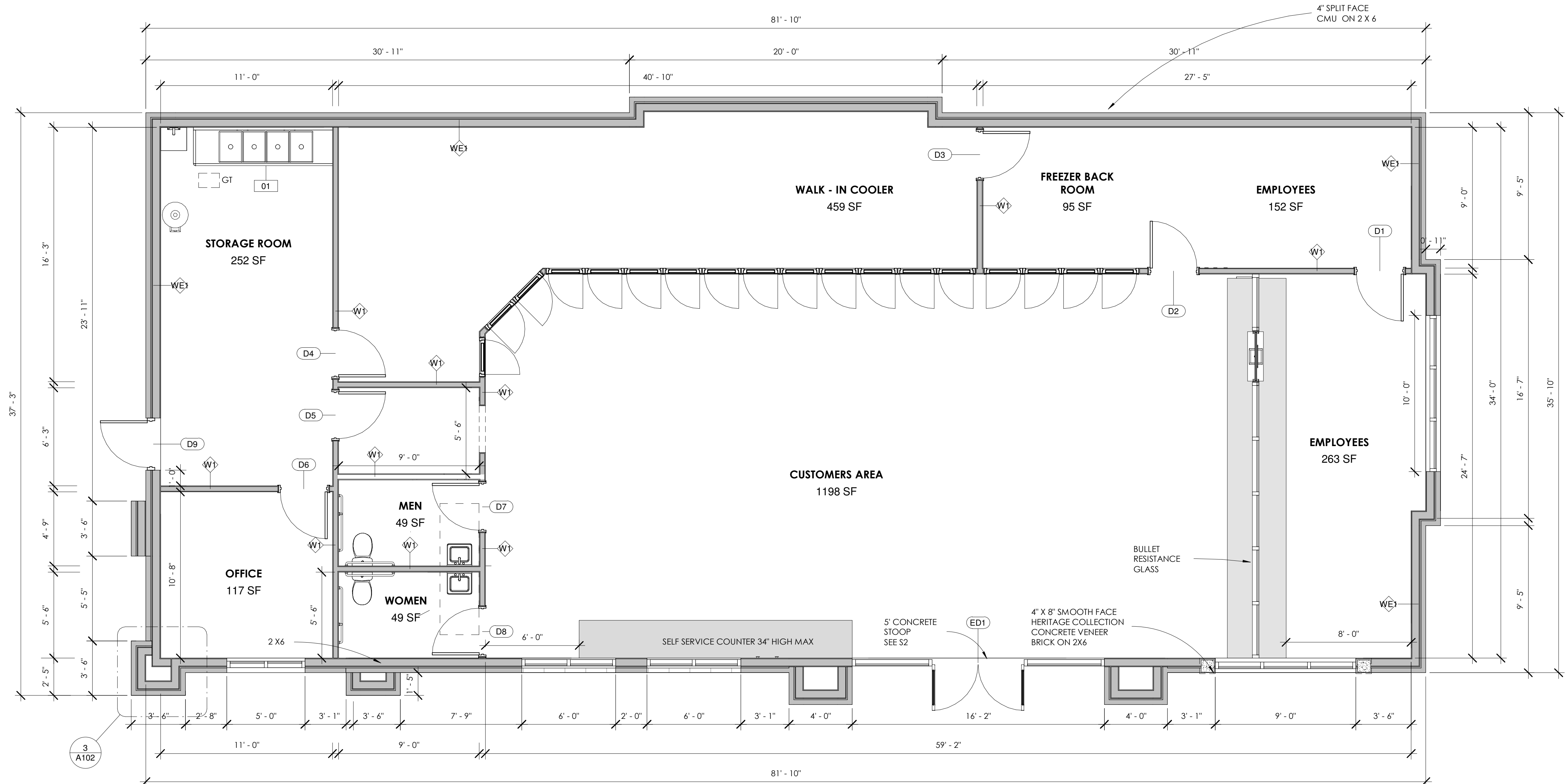


Elevations

A103



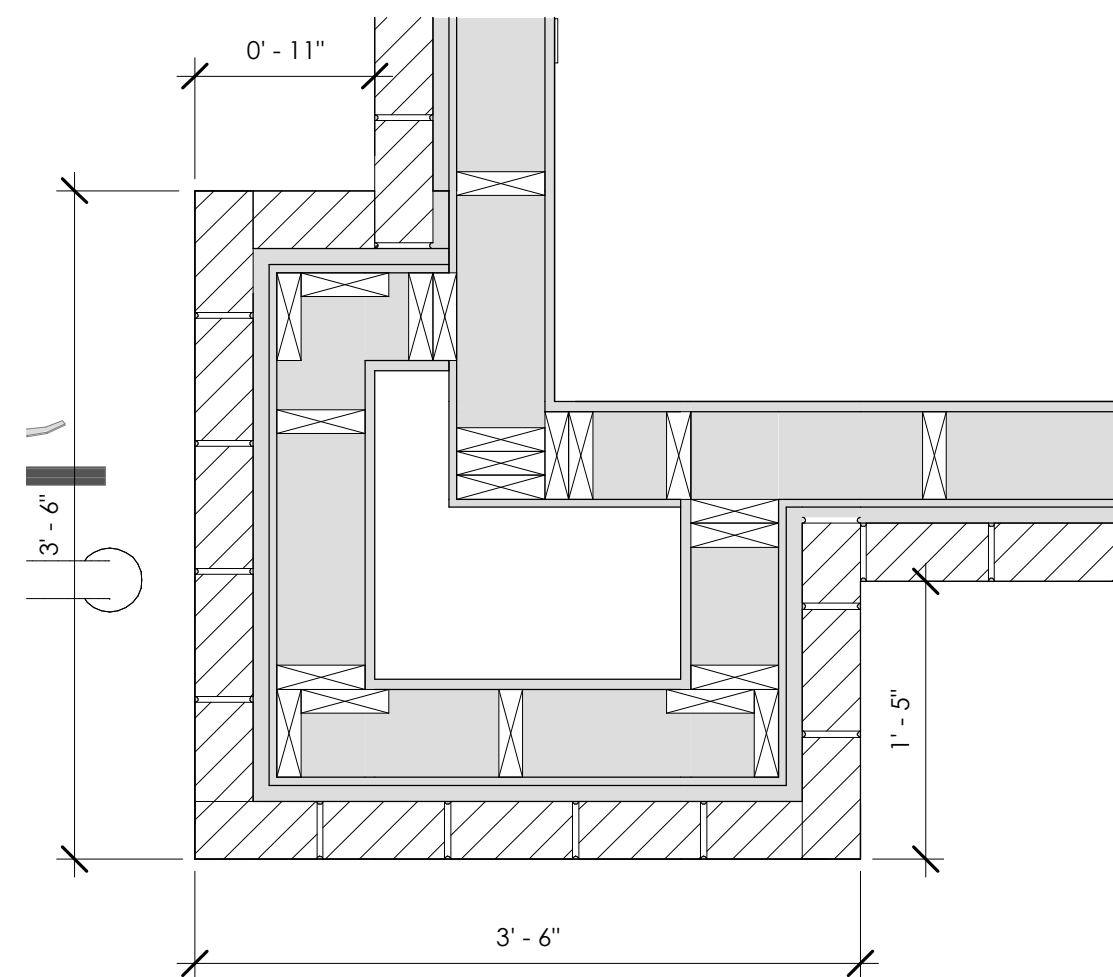
Revision Schedule		
No.	Revision	Date



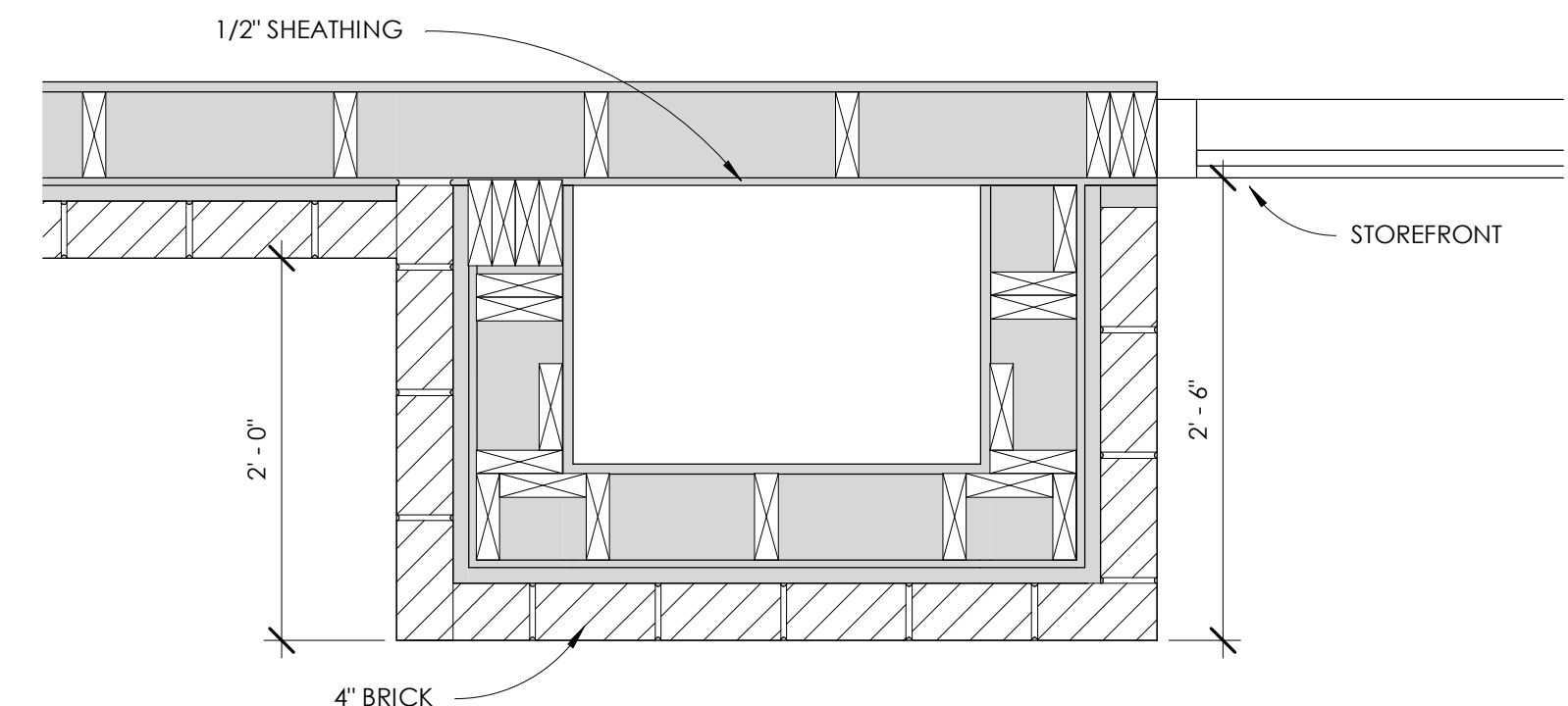
② Level 1 - LAYOUT  
1/4" = 1'-0"

Room Schedule

Room Name	Area	Floor Finish	Wall Finish	Ceiling Finish	Ceiling Height
CUSTOMERS AREA	1198 SF	LAMINATE	GYB		12' - 0"
EMPLOYEES	152 SF	LAMINATE	GYB		9' - 0"
FREEZER BACK ROOM	95 SF	LAMINATE	PER INSTALLER		8' - 0"
WALK - IN COOLER	459 SF	PER INSTALLER	PER INSTALLER		8' - 0"
STORAGE ROOM	252 SF	LAMINATE	GYB+FRP		9' - 0"
OFFICE	117 SF	LAMINATE	GYB		8' - 0"
WOMEN	49 SF	QUARRY TILES	GYB+TILES		8' - 0"
MEN	49 SF	QUARRY TILES	GYB+TILES		8' - 0"
EMPLOYEES	263 SF	LAMINATE	GYB		12' - 0"



③ CORNER WALL DETAILS  
1" = 1'-0"



① ENTRANCE FRAMING DETAILS  
1" = 1'-0"

MIAN'S OIL FUEL STATION  
New Building  
8404 W GREENFIELD  
WEST ALLIS WI

SCALE  
VARIES



ARCHITECTURAL  
LAYOUT

A102

Revision Schedule

No.	Revision	Date
-----	----------	------

MIAN'S OIL FUEL STATION  
New Building  
8404 W GREENFIELD  
WEST ALLIS WI

SCALE

VARIES

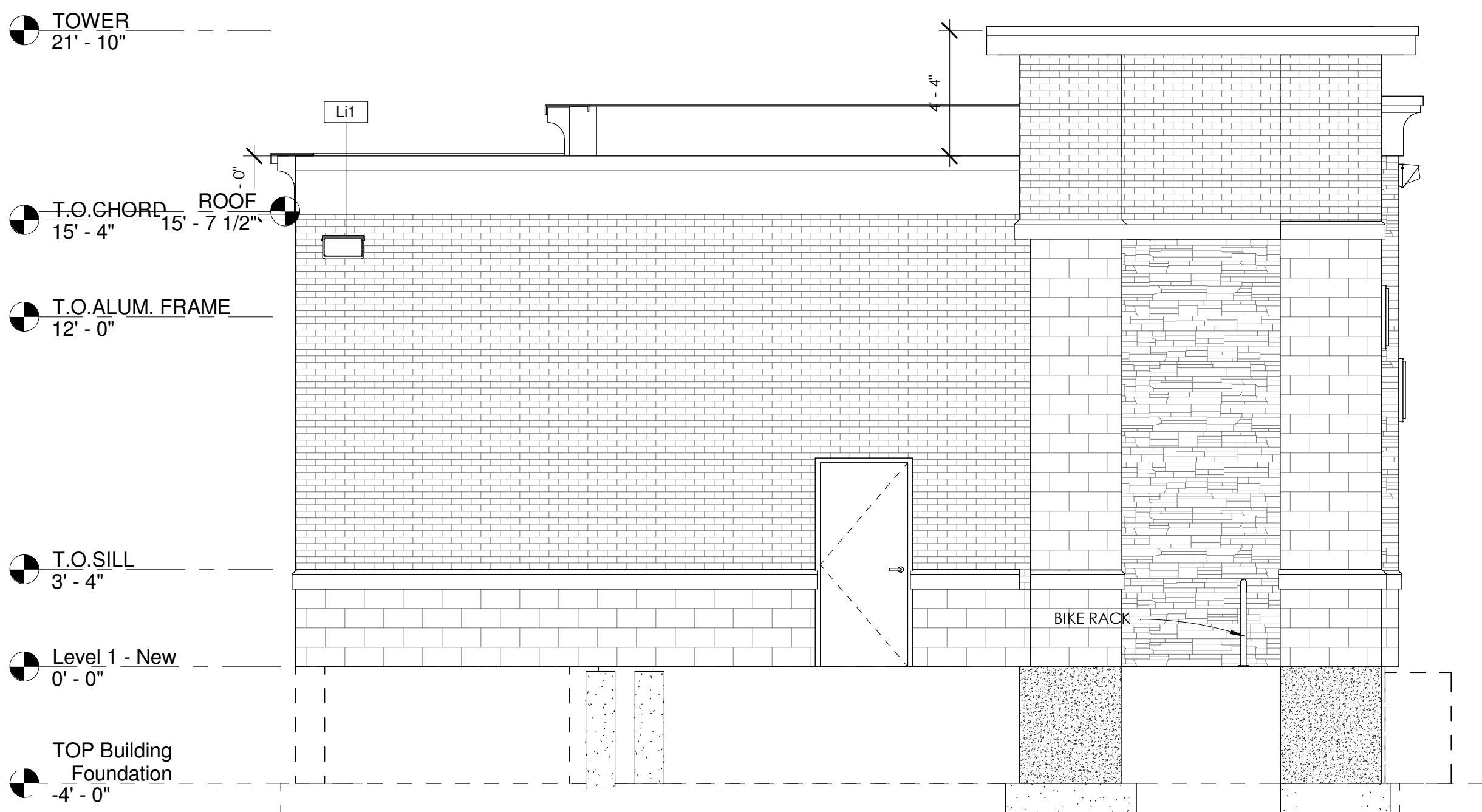


Elevtions

A103.1

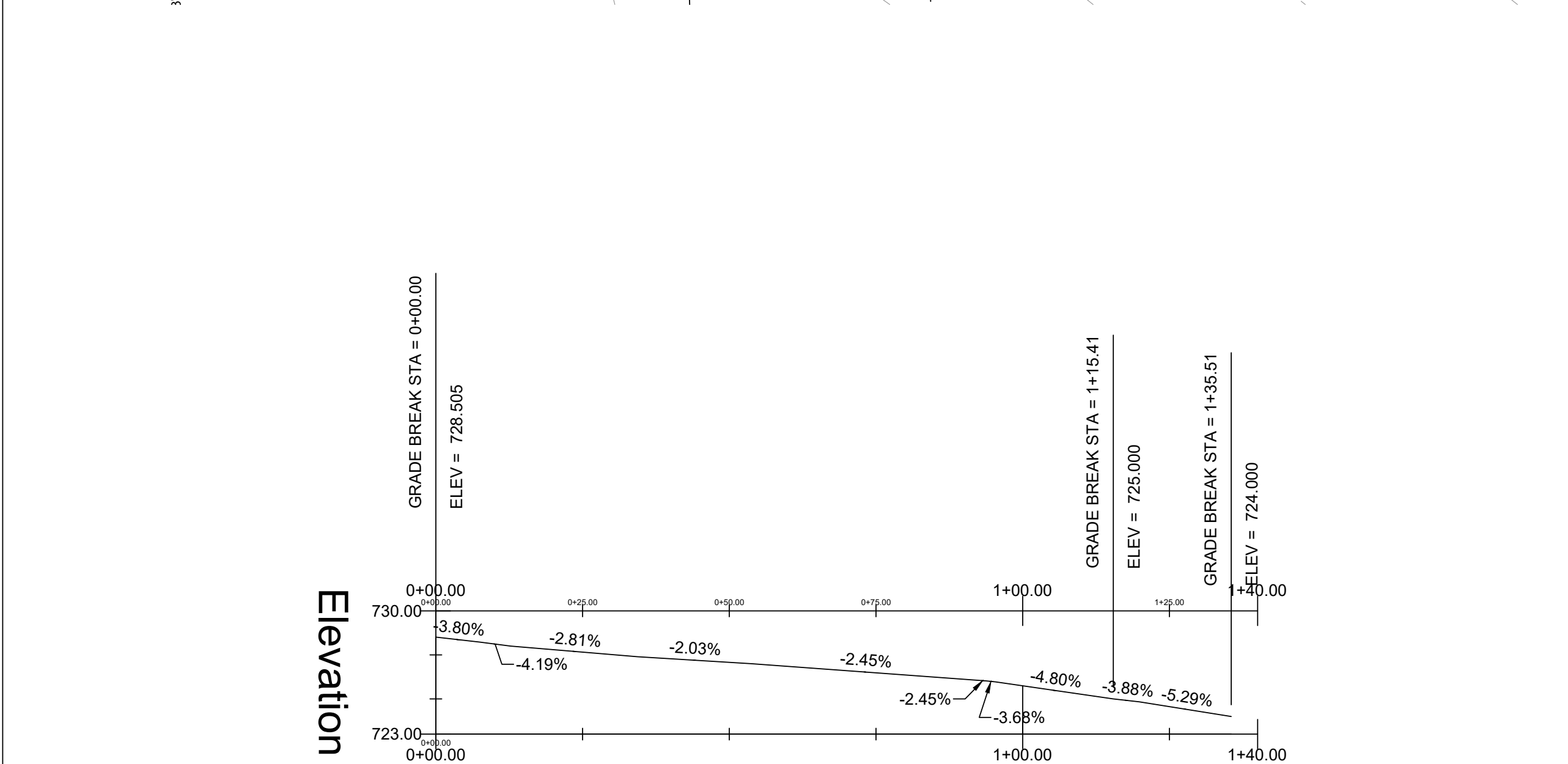
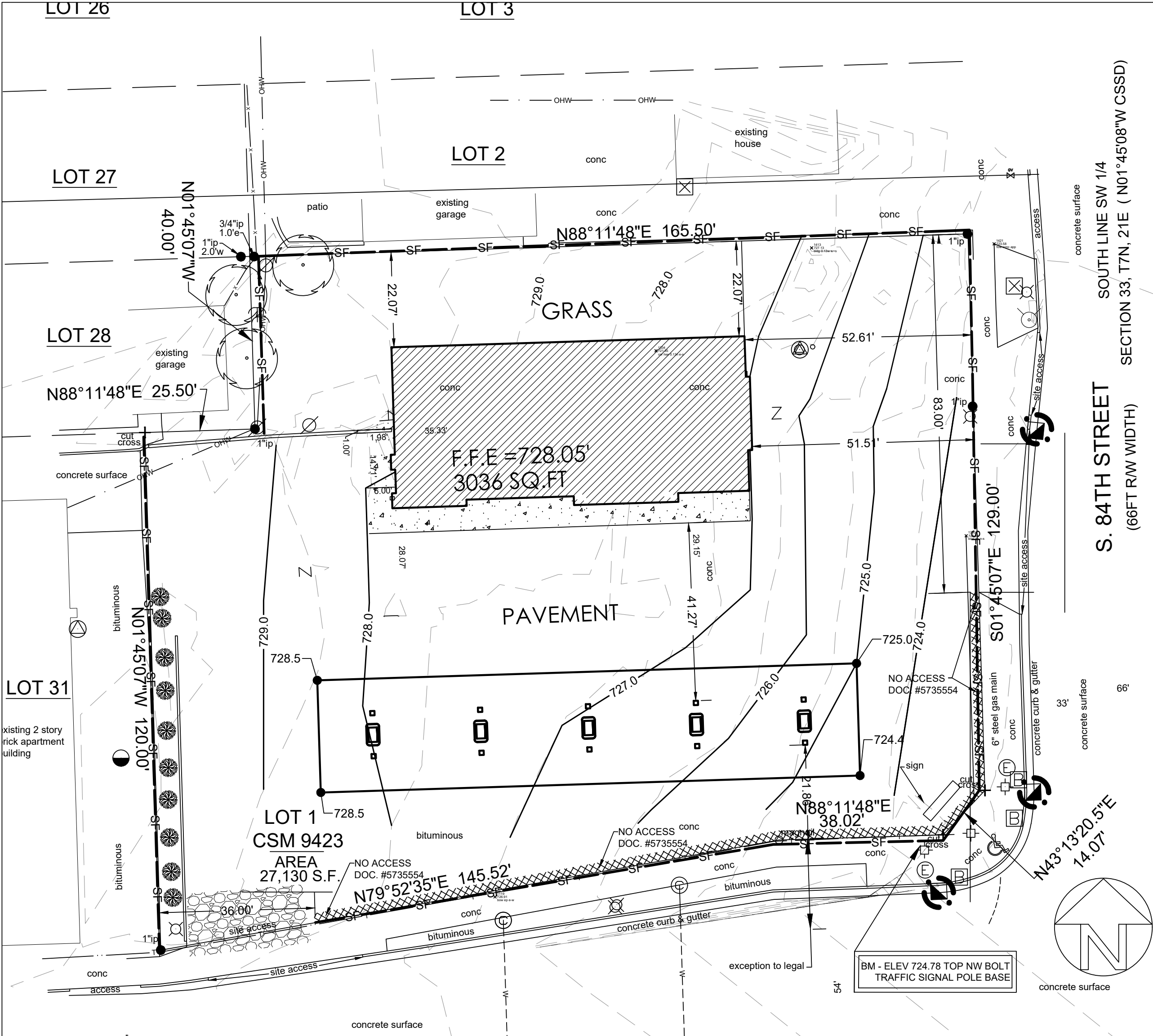


① EAST Elevation  
1/4" = 1'-0"



② WEST ELEVATION  
1/4" = 1'-0"

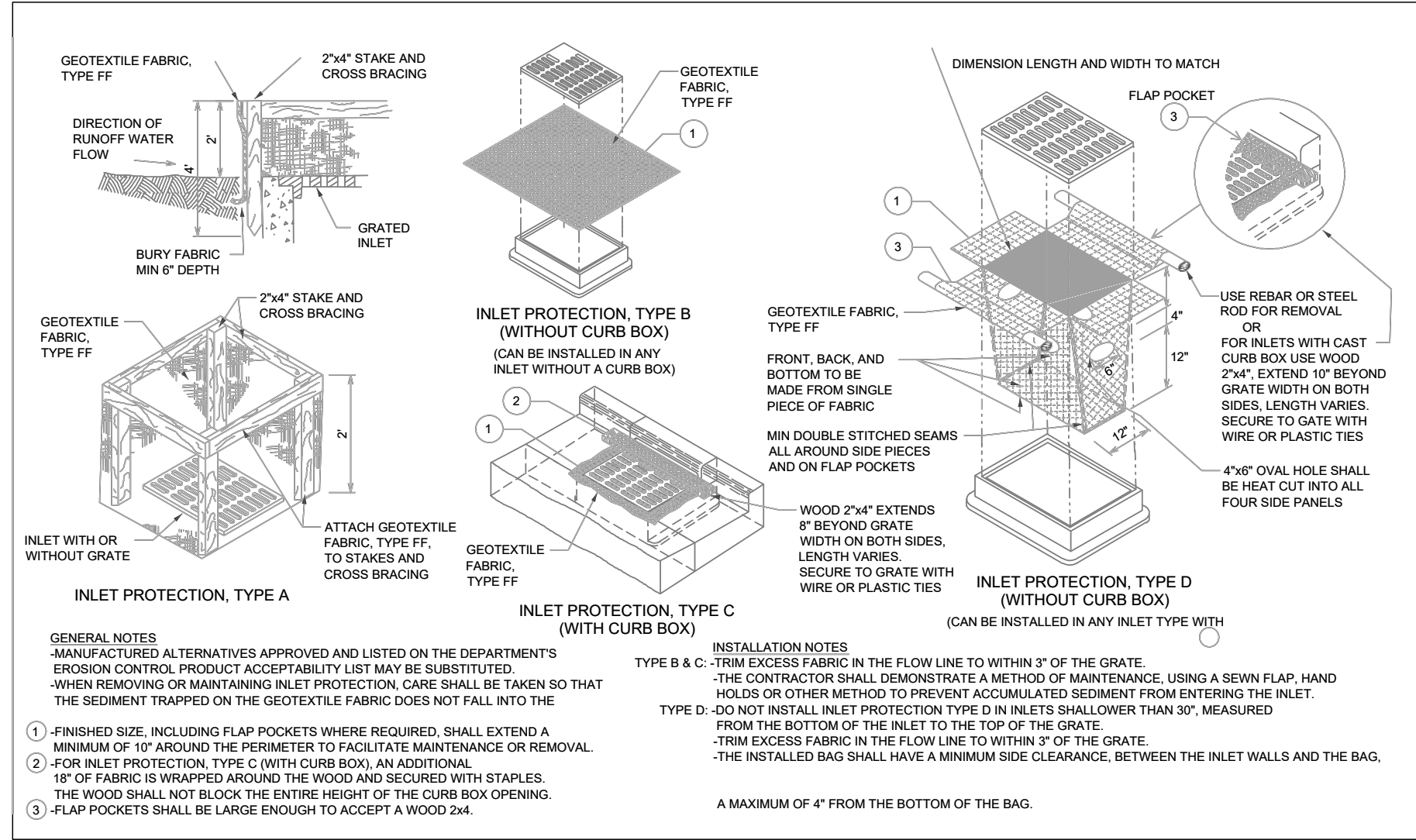
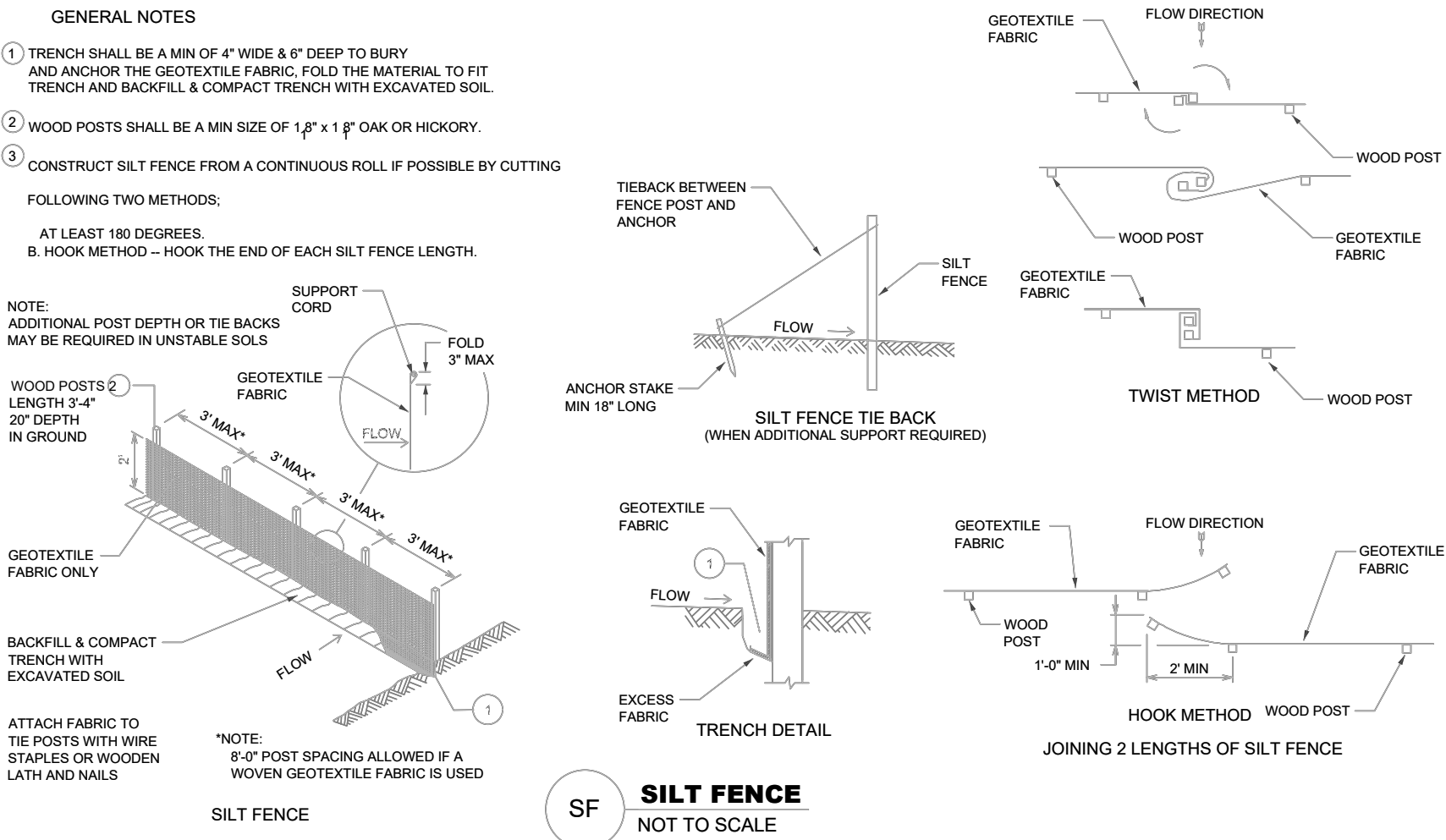
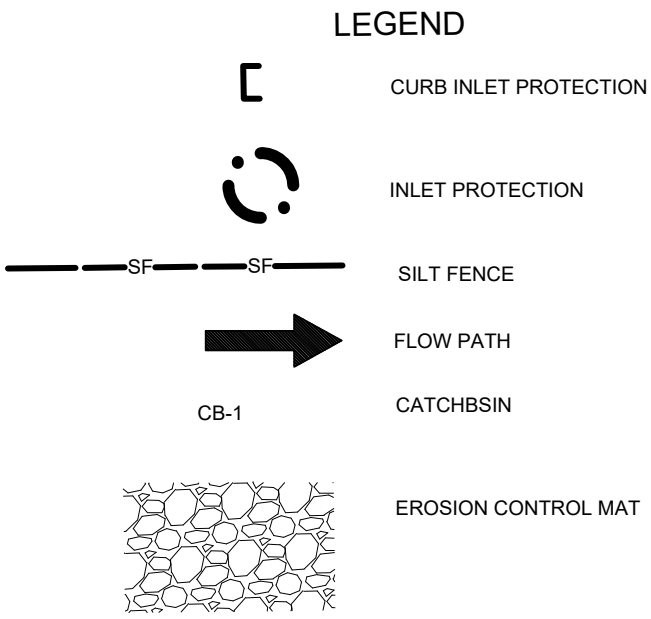
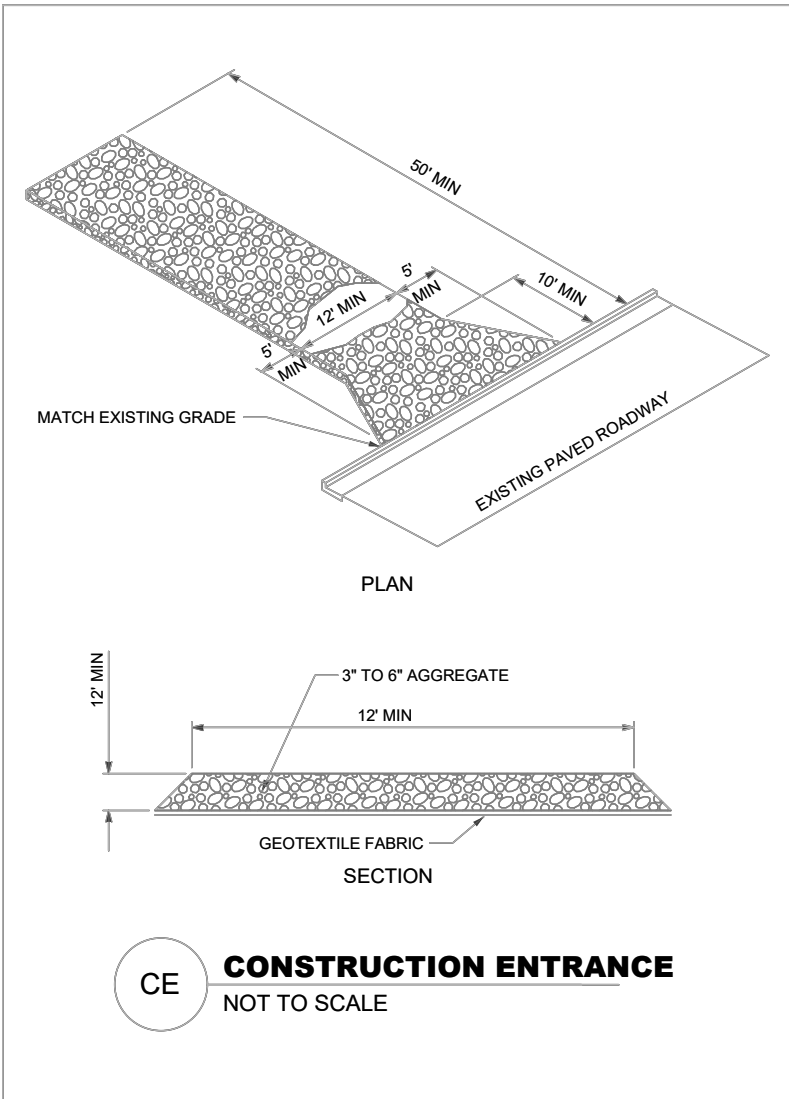




Station  
Profile View of Grade of Concrete Slab Under the Canopy

1. Obtain plan approval and other applicable permits.
2. Sawcut pavement line and remove enough pavement to install silt fence around the anticipated disturbed area.
3. Install construction exit
4. Install inlet protection around the existing storm inlet
5. Continue rough grading for proposed improvement
6. Demo the existing buildings
7. Construct the new building
8. Install site utilities
9. Install base course
10. Complete first lift of asphalt, sidewalk and all proposed curb and gutter if any
11. Final grade, topsoil, planting, sodding and seeding
12. Any exposed soil areas not disturbed for more than 7 days will be restored with seed and mulch
13. Estimated time to complete the project is 2.5 months

1. All erosion control practices will inspected for functionality following every ½ " rain event and at least once a week.
2. All seeded areas will be watered, fertilized, mulched and re-seeded as needed
3. All sediments reached public roads will be cleaned and removed before the end of each day to prevent sediments entering city sewer system



NO STOCKPILES ARE NECESSARY . ALL  
EXCAVATED MATERIAL OR HAULED IN  
MATERIALS WILL BE USED THE SAME DAY

THE CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY IN THE FIELD ALL SIZES AND DIMENSIONS INVOLVING THE EXISTING STRUCTURE AND COORDINATE WITH NEW CONSTRUCTION

2. THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS.
3. THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
4. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, BRING ANY DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS
5. HVAC CONTRACTOR 15 RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS. HVAC DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.
6. ELECTRICAL CONTRACTOR 18 RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT AND RELATED SYSTEMS INCLUDING EMERGENCY LIGHTING. ELECTRICAL DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED
7. FOR APPROVALS AND PERMITS.
8. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF ALL PLUMBING EQUIPMENT AND RELATED SYSTEM, PLUMBING DESIGNER WILL SUBMIT ALL PLANS AND CALCS TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.
9. FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CODE COMPLIANCE AND INSTALLATION OF A L SPRINKLER EQUIPMENT AND RELATED SYSTEMS. FIRE PROTECTION DESIGNER WILL SUBMIT ALL PLANS AND CALCULATIONS 5 TO STATE AND LOCAL OFFICIALS AS REQUIRED FOR APPROVALS AND PERMITS.

**DIGGERS!HOTLINE**  
Dial 811 or (800) 242-8511  
www.DiggersHotline.com

**ETn ENGINEERING**  
ARCHITECTURE. STRUCTURAL.CIVIL ENGINEERING DESIGN

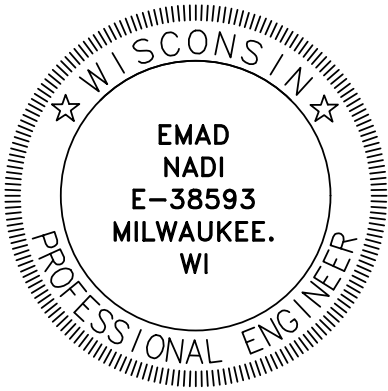
ETn Engineering  
2504 W Bridge Street  
Milwaukee  
Wisconsin 53221

Phone: 414-324-4129  
EMADNADI@ETNENGINEERING.COM

DRAWN	ETN	DATE	09/30/19
CHECKED		DATE	
APPROVED		DATE	
PROJECT MANAGER		DATE	

MIAN'S OIL COR. FUEL STATION  
New Building  
8404 W GREENFIELD AVE  
WEST ALLIS WI

SCALE  
1" = 40'



GRADING  
&  
EROSION

C2



