



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, December 11, 2024**  
**Room 128, West Allis City Hall**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**5. Site, Landscaping, and Architectural Design Review for a self-service laundry, within a portion of the existing mixed-use building at 6328 W. Mitchell St. (Tax Key No. 454-0500-000).**

**Overview and Zoning**

The 30x120-ft mixed use property is zoned C-2 Commercial and involves the conversion of a vacant 800-sf ground floor commercial space to a self-service laundromat which is considered a permitted use in commercial zoning districts. Aside from the commercial space, there are also 3 apartments within the building.

The ground floor commercial space will be used for a laundromat for an estimated 20 total machines, 10 each washer and dryers. Space to be laid out with dryers on the east wall. The exhaust will be located 10+ft from all windows. Washers and vending to be laid out according to floor plan. Bathroom to be remodeled for ADA accessibility and use.

Estimated Window Completion and interior buildout and Laundromat buildout – Estimated December 2024- March 2024.

Operations: This will be a non-attended laundromat for the estimated daily hours of 9am to 9pm Sunday thru Saturday. Doors auto open and auto lock. Full camera system, interior and exterior. Daily janitorial services. Anticipated usage: Project estimates majority of usage from people within 0.5-mile radius of the location which includes only 1 other laundromat within that 0.5-mile radius and an additional 2 laundromats within a 1-mile radius. There are more than 11,000 living units within a 1-mile radius and more than 50% of those are renters. Industry averages estimate that is more than \$1M in laundromat sales within that 1-mile radius to be split between all laundromats. Laundromat will be a combination of both coin operated laundry and card purchase/use.

All parking shall be existing street parking as currently available within the neighborhood. There are three parking spaces on site for residential tenants.

**Site, Landscaping, and Architectural Plans**

The scope of work proposed includes mainly interior improvements to renovate the space for a laundromat. As part of the plan new storefront windows will be installed on the south and east sides of the building. The main door to the commercial space is an existing recessed entryway off W. Mitchell St.



The property is built to the property line and abuts public sidewalks on the south and west sides. There is an existing refuse area behind the building, and it's enclosed within a fenced area off the alley. The plan is for continued commercial hauler pickup on a weekly basis.

**Staff Comments**

Engineering – While a ramp is not proposed, if a ramp into the business is required, a privilege permit and a street excavation permit would be required. Also, if scaffolding is required for exterior renovations, a Temporary Street Occupancy permit is needed.

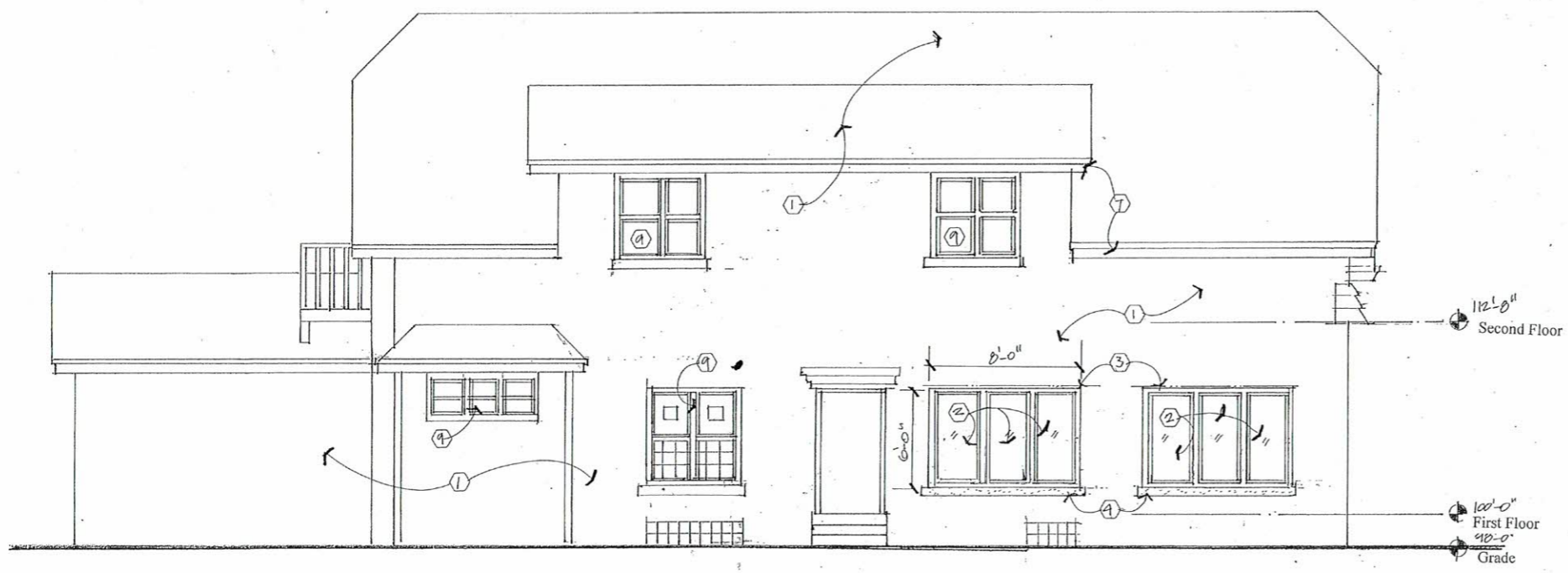
Code Enforcement – Follow code requirements for any venting on east side of building

Planning – Maintain the refuse location within a 4-sided enclosure. Ensure the screen enclosure is large enough for commercial and residential tenants. The new windows on the storefront are a welcome improvement.

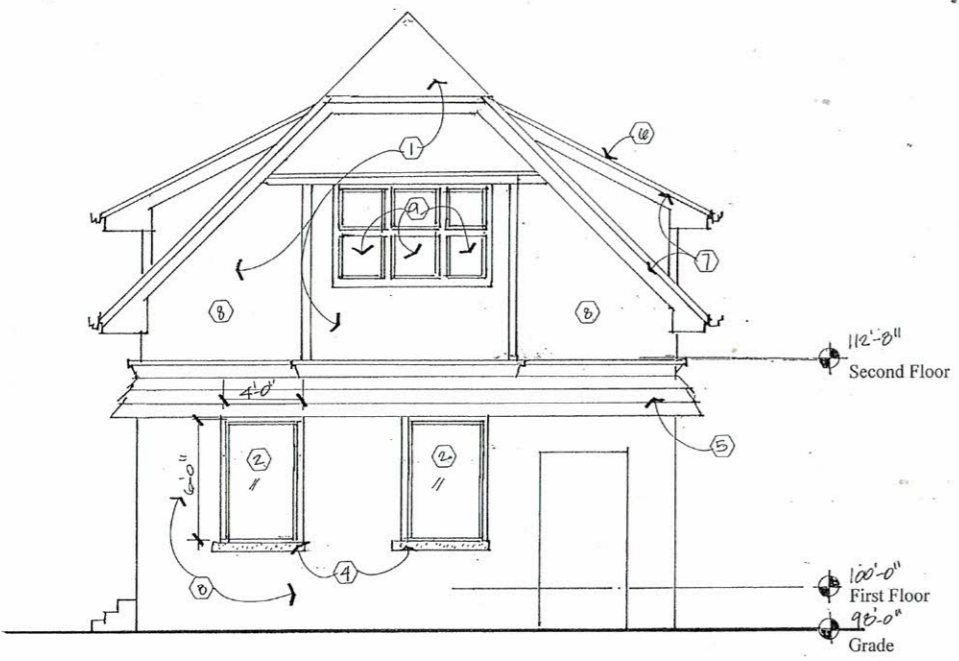


**Recommendation:** approval of the site, landscaping, and architectural design review for a self-service laundry, within a portion of the existing mixed-use building at 6328 W. Mitchell St. (Tax Key No. 454-0500-000).

Project:  
**Retail Renovation**  
6328 West Mitchell Street  
Milwaukee, WI. 53215



**West Elevation**  
1/4"



**South Elevation**  
1/4"

**Construction Notes**

- ① Existing siding, masonry, roof to remain
- ② New fixed windows
- ③ New steel lintels
- ④ New precast window sills
- ⑤ Existing metal shake roof to remain
- ⑥ Existing roof to remain
- ⑦ Existing fascia to remain
- ⑧ Existing masonry to remain
- ⑨ Existing windows to remain

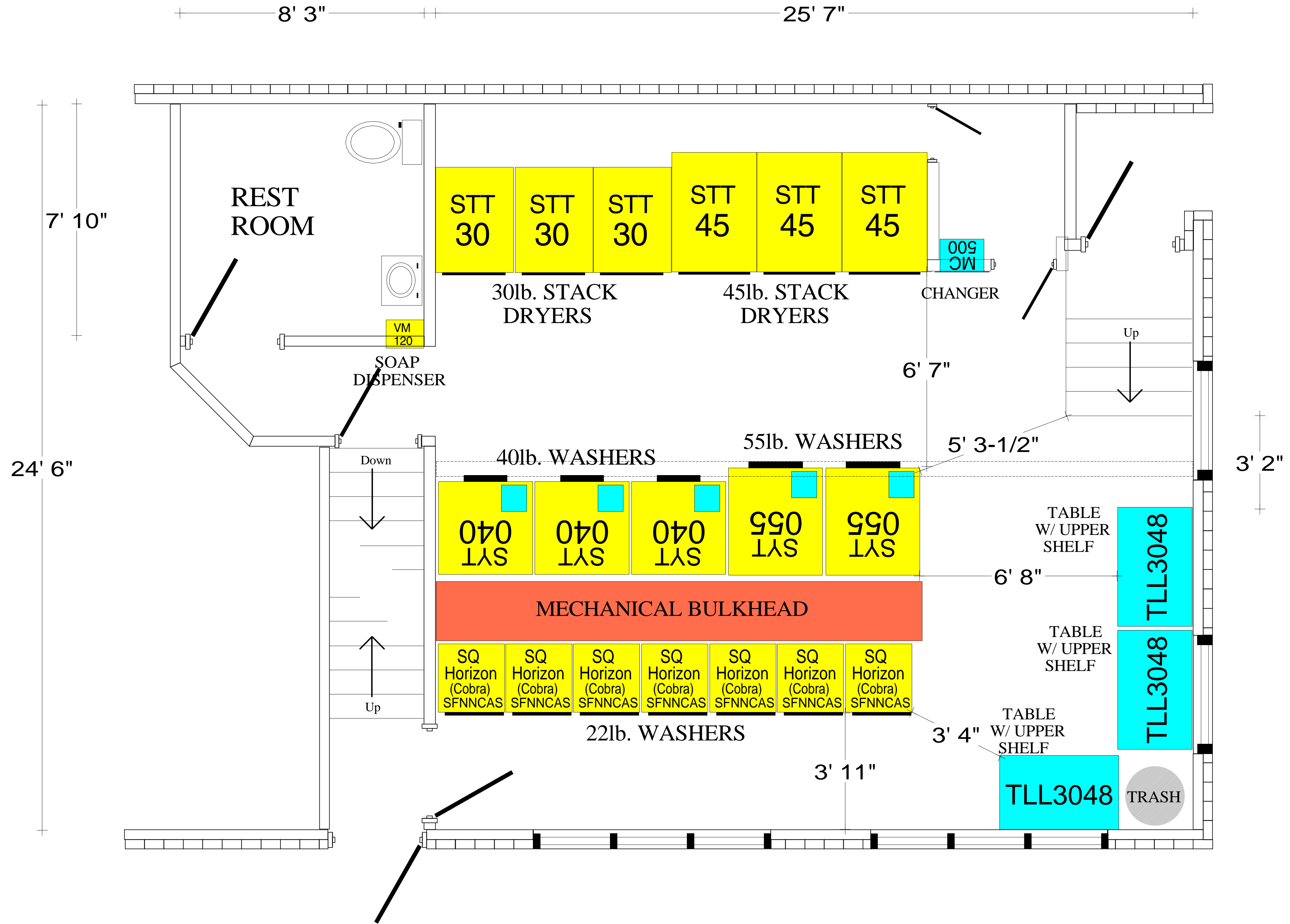
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Revisions:

Date	Number	Description

Sheet Title: \_\_\_\_\_

Project No.: **24.15A**  
Date: \_\_\_\_\_  
Sheet No.: \_\_\_\_\_



All Dimensions Are Approximate

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**Mitchell St  
Speed Queen Laundry**  
6328 W Mitchell Street  
West Allis, WI 53214

Owner: **Chris Lake**  
Scale: 1/2" = 1'-0"  
26'-6" x 25'-10" = 663 sf  
+ 8'-7" x 8'-10" = 76 sf  
739 sf

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Drawn by:  
Bill Doerner 11/22/24  
Revisions:

Equipment Layout Option 4  
**A1.4**



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