



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 24, 2024
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 2A. Site, Landscaping, and Architectural Design Review for City of West Allis Department of Public Works Facility, a proposed Light Industrial use, at 52** W. Burnham St. & 5032 W. Rogers St. (Tax Key Nos. 474-0002-001 & 474-0003-000).**
- 2B. Ordinance to rezone property located at 5032 W. Rogers St. from I-2 to I-1 Industrial (tax key no. 474-0003-000).**
- 2C. Certified Survey Map to combine properties located at 52** W. Burnham St. & 5032 W. Rogers St. (Tax Key Nos. 474-0002-001 & 474-0003-000), submitted by the City Engineering Department.**

Items 2A, 2B, and 2C may be considered together.

Overview and Zoning

The City of West Allis will be constructing a new public works facility to house their current and future DPW, Engineering, and IT operations and administration function. The site selected/acquired last year is the former Teledyne property located on the eastern gateway to the City of West Allis on the southeast corner of W. Burnham St. and S. 53 St. (8.96-acres), and the former Waste Transfer station at 5032 W. Burnham St. (1.07-acres). Total site area when combined being 10.03-acres. The Teledyne parcel was

previously developed with a 300,000 square feet industrial building that has since been

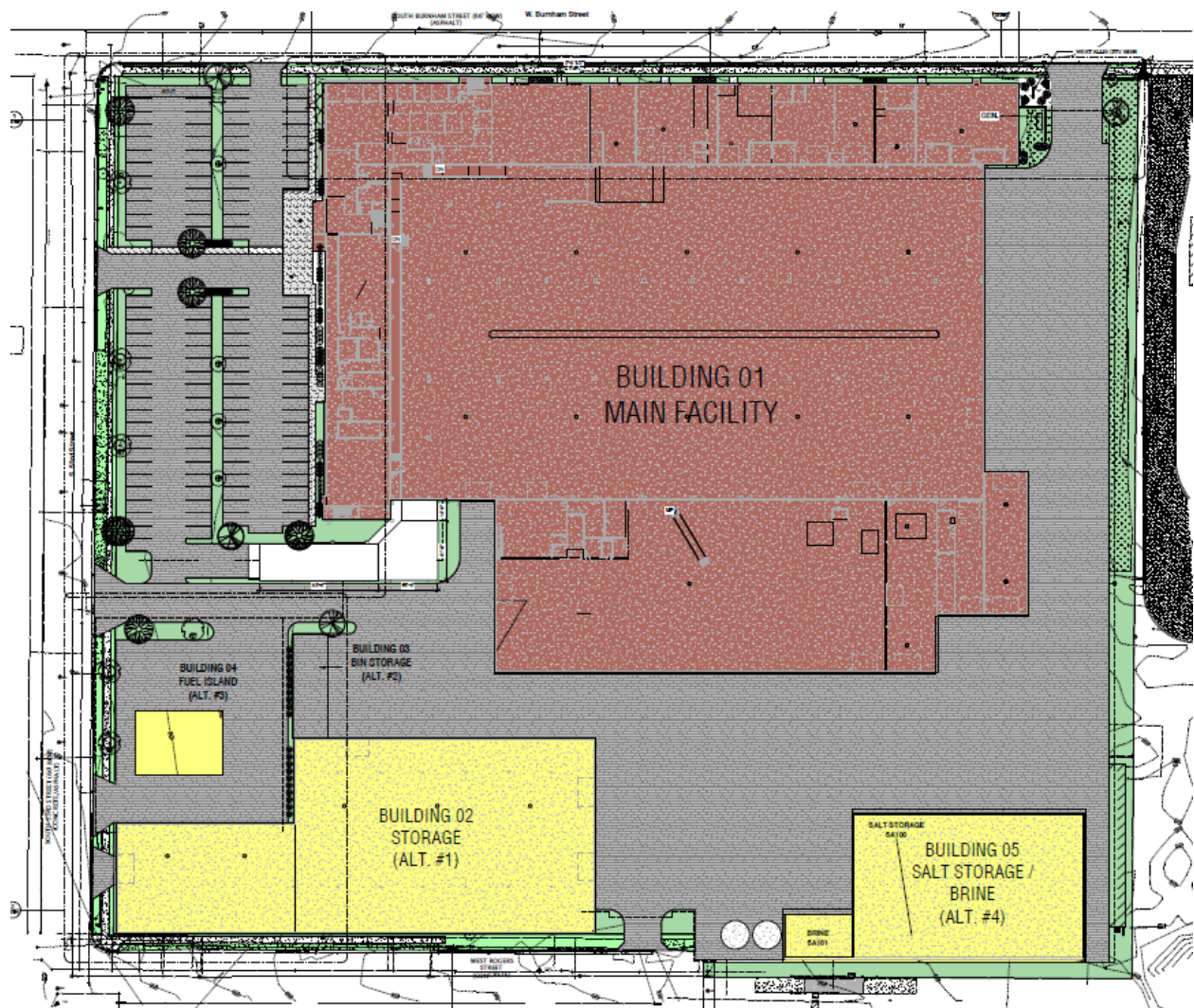


CONCEPT RENDERING - 53RD AND BURNHAM ENTRANCE

demolished. Environmental clean-up and additional site preparation work will be performed in advance of construction.

Site, Landscaping, and Architectural Plans

The proposed new facility will consist of office, shop spaces, vehicle parking on two levels, repair and fabrication bays, wash bays, and mezzanine storage. The project will also consist of a detached cold storage building, an exterior material bin storage lean-to structure, a fuel island (SW corner of property), and a salt and brine storage building (SE corner of property). The new construction will utilize, but is not limited to precast concrete panels, brick finish precast panels, steel structure, membrane roofing, curtain wall and storefront window systems, and precast concrete vehicle parking structure. The project will also include site work containing new asphalt parking lot and drives, new curb and gutter on the site, site fencing, site lighting, landscaping, and security access and monitoring. The staff recommendation reflects recommended clarifications being submitted.



1 LANDSCAPE PLAN - OVERALL

1" = 30'-0"

SITE AREAS

TOTAL SITE AREA - 437,484 SQ/FT
 TOTAL GREEN SPACE - 28,546
 MAIN BUILDING #1 FOOT PRINT - 180,415 SQ/FT
 MEZZANINE - 23,194 SQ/FT
 MAIN BUILDING SECOND FLOOR - 120,800 SQ/FT
 BUILDING #2 FOOT PRINT - 38,560 SQ/FT
 BUILDING #3 FOOT PRINT - 1,775 SQ/FT
 BUILDING #4 FOOT PRINT - 2,745 SQ/FT
 BUILDING #5 FOOT PRINT - 38,560 SQ/FT
 BUILDING #6 FOOT PRINT - 19,300 SQ/FT
 TOTAL PAVEMENT - 125,583 SQ/FT

LANDSCAPE SCHEDULE

Type	Key	Botanical Name	Common Name	Planting Size	Comments	QTY
GRASSES	SSG	Panicum Virgatum 'Shenandoah'	Shenandoah Switch Grass	#1 Cont.		104
GRASSES	TPD	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	#1 Cont.		68
SHRUB	SO	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#5 Cont.		18
SHRUB	WB	Buxus sinica var. insularis 'Wintergreen'	Wintergreen Boxwood Shrub	#5 Cont.		15
SHRUB	KDR	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	#3 Cont.		18
SHRUB	CP	Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	#3 Cont.		7
TREE	CM	Acer x freemanii 'Celebration'	Celebration Maple	(Height) 5'-0" - 6'-0"		5
TREE	IH	Gleditsia triacanthos f. inermis 'Impcole'	Imperial Honeycreeper	(Height) 5'-0" - 6'-0"		6
TREE	BHS	Picea Glauca Var. densata	Black Hills Spruce	(Height) 5'-0" - 6'-0"		10
TREE	JL	Syringa reticulata	Japanese Tree Lilac	(Height) 4'-0" - 5'-0"		4
TREE	RB	Betula Nigra	River Birch	(Height) 4'-0" - 5'-0"		5

Staff Comments – recommended items bulleted and noted in staff recommendation (last page). Detailed plan submittal has been included in your packet.

Site & Landscaping

Access to the property is provided on two places along W. Burnham St. The general parking area on the NW side of the site will feature a driveway and a second larger driveway restricted to DPW vehicles on the NE side of the site. A new decorative fence w/ automatic gate will be setback from the W. Burnham St. frontage on the restricted drive ingress/egress to allow truck staging. A new gateway sign will also be located in this area. Three (3) driveways are proposed along S. 53 St and one driveway planned on W. Rogers St. New fencing will be added to separate public vs. restricted areas. More decorative/ornamental variety of fence is planned on street facing sides, while an 8-ft tall chain-link style of fence is planned in less visible portions of the site.

- Recommend fence types and locations being delineated on plans.

The proposed landscaping areas are shown in green and landscaping plantings and species schedule to correspond with plans is recommended.

- Additional landscaping on the SE and E side of the site in otherwise void areas has been recommended.
- Additional infill landscaping at the recommendation of the City Forester.

Architectural and Exterior Lighting Staff has worked with the Architect and City team to deliver what we believe to be an attractive building in alignment with zoning and the Design Review Guidelines. Staff are recommending more detail on exterior lighting around the buildings and on site.

- Recommend a photometric plan being submitted. Full cut-off fixtures and light directed downward to avoid splay beyond property limits.

Building Size and Location

For zoning purposes, the front yard is considered S. 53 St. While W. Burnham St. and W. Rogers St. are considered side yards areas and the rear yard being the east side/east city limit. The building conforms to the building size and location requirements in [sec. 19.41](#) (when consolidated via CSM).

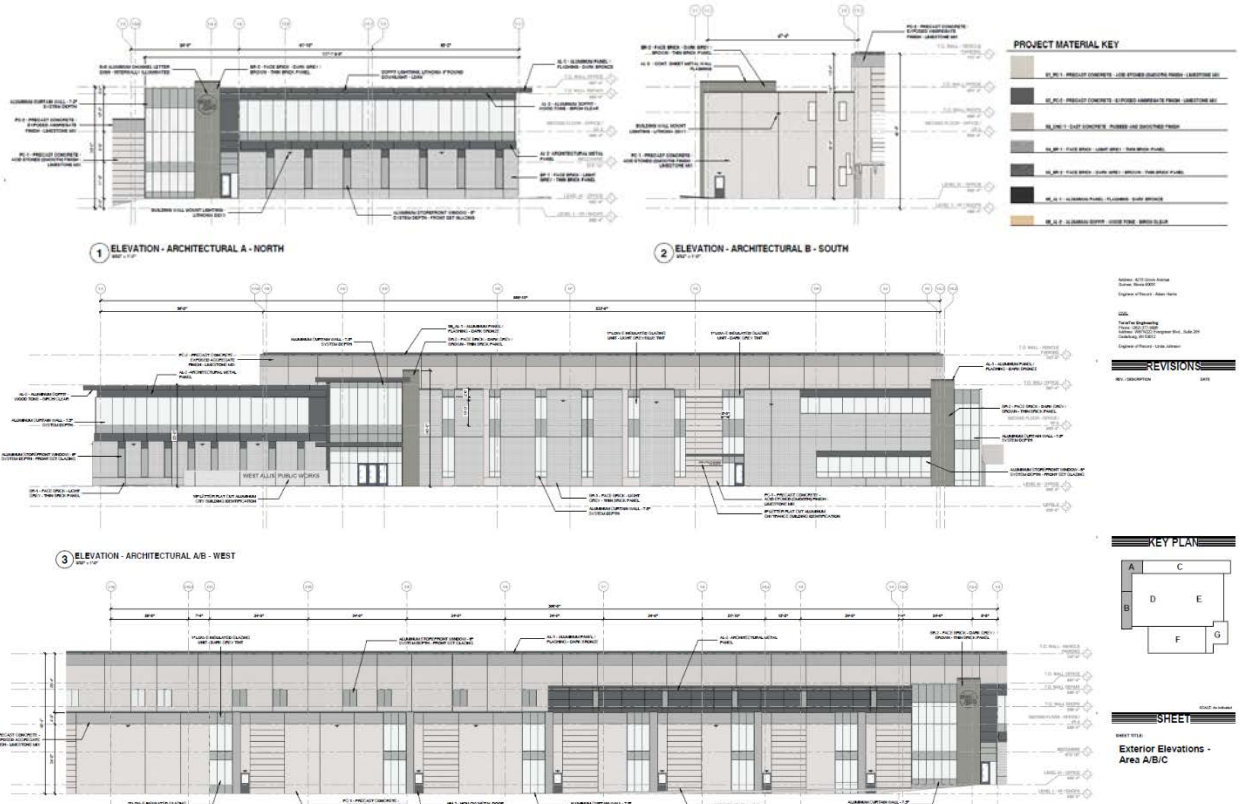
Parking

Parking for 159 spaces will be provided on site and consist of 119 outdoor spaces (includes 4 ADA) and 40 indoor parking spaces. There are currently about 168 employees in the DPW, 17 in Engineering and 10 in the IT Department. Bicycle parking will also be provided on site.

Storm water Management

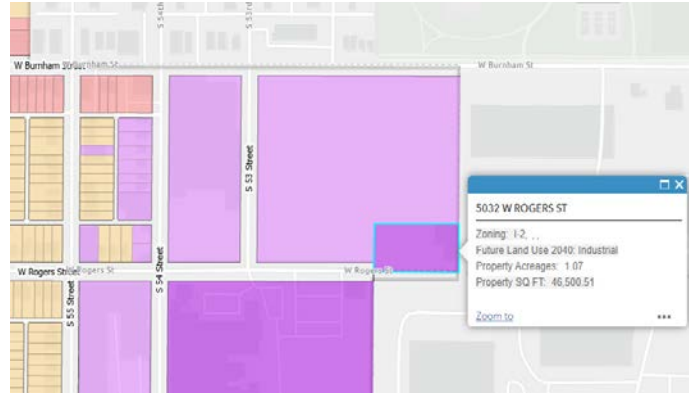
A storm water management plan is being prepared and will be submitted for review. The new underground retention system will be placed under the paved parking areas (NW side of site). The storm water plans will also likely include bio-filtration system within green areas of the parking lot. Stormwater plans are reviewed by AECOM for compliance with MMSD (Milwaukee Metro Sewerage District) and WDNR water quality regulations.

- Recommend stormwater management ordinance compliance.



CONCEPT RENDERING - NORTHEAST BURNHAM ENTRANCE

Ordinance to Rezone (2B) – The former Waste Transfer station property at 5032 W. Rogers St. is zoned I-2 Industrial and the 52** W. Burnham St. property (former Teledyne) is zoned I-1, Industrial. Staff advises Plan Commission to recommend Common Council approve a rezoning the 5032 W. Rogers St. property to be consistent with the larger 8.96-acre property. Rezoning would also support zoning consistency between sites, and the Comprehensive plan. Rezoning is recommended in advance or along with the CSM. A rezoning application to the Common Council would then be scheduled for public hearing and consideration.



Certified Survey Map (2C) – Consolidation of properties is planned, and the Engineering Department is preparing a Certified Survey Map that will be submitted for staff and Milwaukee County technical review.



The consolidation of lots will provide conformance with the zoning code and comprehensive plan. Completion of any technical corrections to the CSM, then the Common Council will consider the CSM.

Recommendation (2A): Approve the Site, Landscaping, and Architectural Design Review for City of West Allis Department of Public Works Facility, a proposed Light Industrial use, at 52** W. Burnham St. & 5032 W. Rogers St. (Tax Key Nos. 474-0002-001 & 474-0003-000), subject to the following conditions:

1. Revised Site, Landscaping, and Architectural plans being submitted to the Planning and Zoning Office to show the following: (a) delineate fencing (material types, height and location) on plans: (b) Additional landscaping on the SE and E side of the site. Additional infill landscaping within proposed green spaces per City Forester recommendation; (c) a photometric plan being submitted. Full cut-off fixtures and light directed downward to avoid splay beyond property limits: (d) canopy elevation being provided.
2. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City.

Recommendation (2B): Council approval of an Ordinance to rezone property located at 5032 W. Burnham St. from I-2 to I-1 Industrial (Tax Key No. 474-0003-000).

Recommendation (2C): Council approval of a certified survey map to combine 52** W. Burnham St. & 5032 W. Rogers St. (Tax Key Nos. 474-0002-001 & 474-0003-000), subject to submittal and technical corrections.

Architectural Design Review – Letter of Intent

PROJECT: West Allis Public Works

Public Works Facility
53rd & W Burnham Street, West Allis WI, 53219

1. Purpose of Request

- a. The City of West Allis will be constructing a new facility to house their current and future operations and administration function. The facility will consist of new administration office, shop spaces, vehicle parking on two levels, repair and fabrication bays, wash bays, and mezzanine storage. The project will also consist of a cold storage building, exterior material bin storage lean-to structure, fuel island, and salt and brine storage building. The new construction will utilize, but is not limited to precast concrete panels, brick finish precast panels, steel structure, membrane roofing, curtain wall and storefront window systems, and precast concrete vehicle parking structure. The project will also include site work containing new asphalt parking lot and drives, new curb and gutter on the site, site fencing, site lighting, landscaping, and security access and monitoring.

2. Construction Schedule

- a. Start Construction April 01, 2024
- b. Target Substantial Completion / Target Occupancy May 01, 2025

3. Project Team

- a. Architect (Kueny Architects) “KA”
 - i. Jon P. Wallenkamp – Architect, AIA / ALA
 1. Email: jonw@kuenyarch.com
 2. Phone: 262.857.8101
 - ii. John Schmidbauer – Structural Engineer, P.E.
 - iii. Lee S. Anderson – Job Captain
- b. Civil / Engineer (Terra Tec)
 - i. Linda Johnson
- c. Mechanical (ROOT Engineering)
 - i. Adam Harris, P.E., LEED A.P.

4. Business Description

The Department of Public Works is a multi-functional department charged with the responsibility of providing a variety of services to the public as well as maintaining the City’s multi-million dollar infrastructure.

Services provided by the Department of Public Works include:

- a. Maintenance and repair of the City’s buildings and street signs by the Building and Sign Division
- b. Maintenance of the City’s street lighting and traffic control signals by the



- Electrical Division
- c. Maintenance of the City's street trees and public grounds by the Forestry Division
- d. Garbage and recyclables collection and disposal by the Sanitation Section
- e. Maintenance of the City's streets, alleys, sidewalks and sewer systems by the Street and Sewer Section
- f. Provision of safe and sufficient drinking water and water for fire protection by the Water Division

5. Hours of Operation

Friday	7:15 AM–3 PM
Saturday	8 AM–3:30 PM
Sunday	Closed
Monday	7:15 AM–3 PM
Tuesday	7:15 AM–3 PM
Wednesday	7:15 AM–5 PM
Thursday	7:15 AM–3 PM

6. Site Area

- a. Total site area - 437,484 sq/ft
- b. Total green space - 28,546
- c. Total pavement - 125,583 sq/ft

- d. Main building #1 foot print - 180,415 sq/ft
- e. Main building second floor - 120,800 sq/ft

- f. Building #2 foot print - 38,560 sq/ft
- g. Building #3 foot print - 1,775 sq/ft
- h. Building #4 foot print - 2,745 sq/ft
- i. Building #5 foot print - 38,560 sq/ft
- j. Building #6 foot print - 19,300 sq/ft



GENERAL NOTES

1. All concrete to test 4000 psi in 28 days.
2. Verify all dimensions, access, utilities and working conditions in the field.
3. Conform to all applicable codes, ordinances and safety standards.
4. Obtain and pay for all required permits and fees.
5. Notify Architect immediately if work cannot proceed as shown on Drawings or as described in the Specifications.
6. No concrete to be poured without Architect's prior review.
7. All Contractor's to co-operate with all trades, Owner's and Architect's representatives.
8. Leave site clean, neat and free of debris at all times.
9. Each Prime and Sub-contractor is responsible for having read each page of the Specifications, Drawings, Addenda and Change Orders.
10. Guard against interfering with Owner's operations.
11. These Drawings contain no provisions or procedures for on-site safety. Each Contractor and their employees are responsible to follow all laws and ordinances and provide their own engineering to provide a safe work place.
12. The locations of existing underground utilities, shown on these Drawings, are shown in an approximate way only and have not been independently verified by the Owner or its representatives. The Contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
13. Services perform for this project have been conducted in a manner consistent with the level of care and skill ordinarily exercised by members of the profession currently practicing in this area under similar budget and time constraints. No warranty, expressed or implied, is made.

PROJECT INFO

City of West Allis
Public Works Facility

December 29, 2023

SITE INFORMATION:

TOTAL SITE AREA - 437,464 SQ/FT
TOTAL GREEN SPACE - 28,549
TOTAL PAVEMENT - 125,583 SQ/FT

MAIN BUILDING #1 FOOT PRINT - 180,415 SQ/FT
MAIN BUILDING SECOND FLOOR - 120,800 SQ/FT

BUILDING #2 FOOT PRINT - 38,560 SQ/FT

BUILDING #3 FOOT PRINT - 1,775 SQ/FT

BUILDING #4 FOOT PRINT - 2,745 SQ/FT

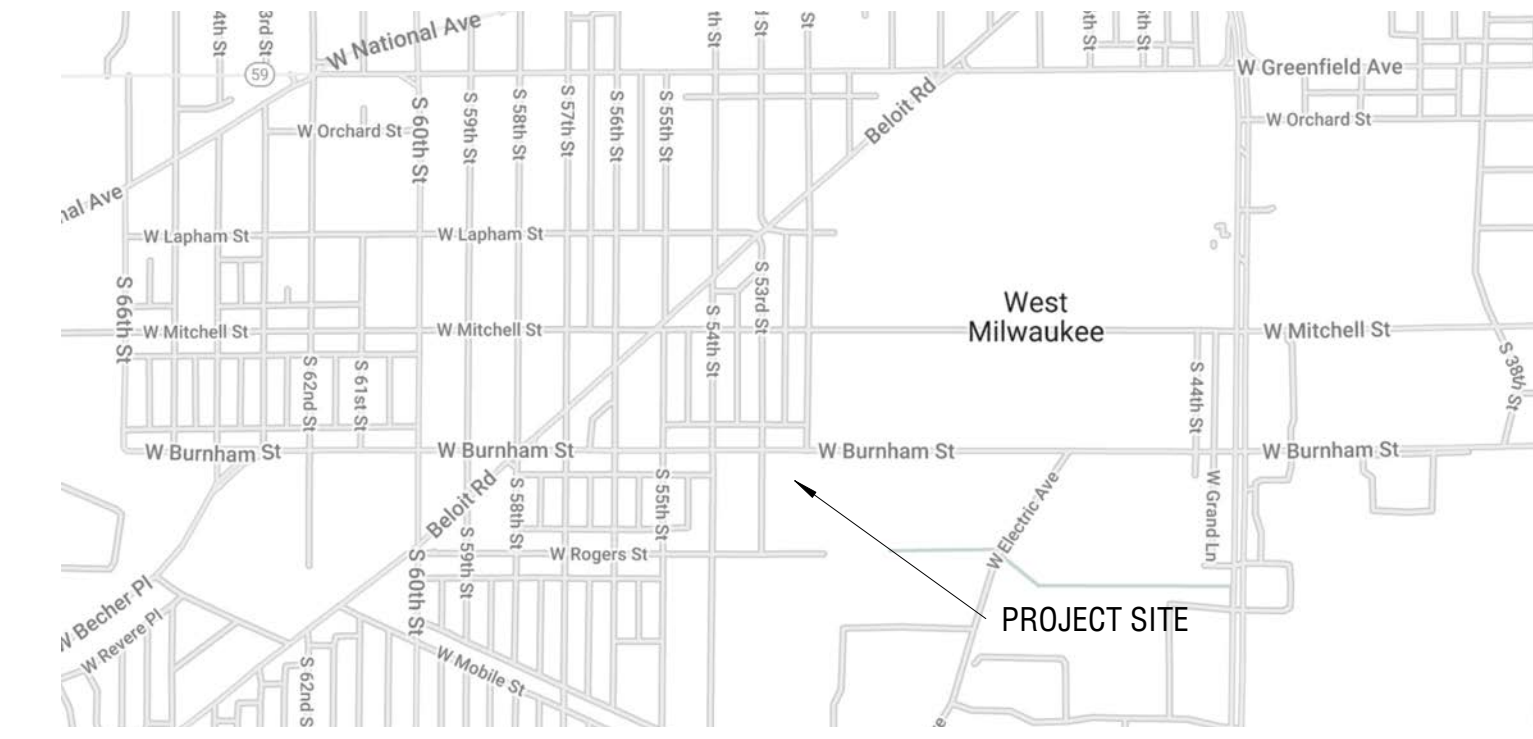
BUILDING #5 FOOT PRINT - 38,560 SQ/FT

BUILDING #6 FOOT PRINT - 19,300 SQ/FT

CONSULTANTS

ARCHITECT	Kueny Architects (262) 557-8101 Architect of Record - Jon P. Wallenkamp	10505 Corporate Drive, Suite 100 Pleasant Prairie, Wisconsin 53158
CIVIL	TerraTec Engineering (262) 377-9905 Project Manager - Linda Johnson	W67N222 Evergreen Blvd., Suite 205 Cedarburg, WI 53012
PLUMBING	Root Engineering Services, P.C. (847) 249-8398 Project Manager - Adam Harris	4215 Grove Avenue Gurnee, Illinois 60031
MECHANICAL	Root Engineering Services, P.C. (847) 249-8398 Project Manager - Adam Harris	4215 Grove Avenue Gurnee, Illinois 60031
ELECTRICAL	Root Engineering Services, P.C. (847) 249-8398 Project Manager - Adam Harris	4215 Grove Avenue Gurnee, Illinois 60031

SITE MAP



CERTIFICATION

ARCHITECT
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Wisconsin.

Printed or typed name: **Jon P. Wallenkamp**
License number:
My license expiration date is:
Pages or sheets covered by this seal:

MECHANICAL ENGINEER
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Wisconsin.

Printed or typed name: **Adam Harris**
License number:
My license expiration date is:
Pages or sheets covered by this seal:

STRUCTURAL ENGINEER
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Wisconsin.

Printed or typed name: **John F. Schmidbauer**
License number:
My license expiration date is:
Pages or sheets covered by this seal:

CIVIL ENGINEER
I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Wisconsin.

Printed or typed name: **Linda Johnson**
License number:
My license expiration date is:
Pages or sheets covered by this seal:

SHEET INDEX

TITLE
01 Title Sheet

ARCHITECTURAL SITE

1A101 Architectural Site Plan
1A102 Landscape Plan
1A103 Landscape Enlarged Plans
1A104 Site Details and Standards

ARCHITECTURAL

1A200 Floor Plan - Overall Floor / VP-1
1A208 Floor Plan - Mezzanine
1A209 Floor Plan - Overall Second Floor Office / VP-2
2A201 Building 02 - Floor Plan - Overall Plan
3A201 Building 03 - Floor Plan - Overall - Bin Storage
5A201 Floor Plan - Overall Plan - Salt Storage / Brine

PC210 Exterior Elevations - Area A/B/C
PC211 Exterior Elevations - Area C/E/G
PC212 Exterior Elevations - Area G/F
PC213 Exterior Elevations - Building 02/03
PC214 Exterior Elevations - Building 05

R100 Exterior Rendering - North Burnham Entrance
R101 Exterior Rendering - Northeast Burnham Entrance



CONCEPT RENDERING - 53RD AND BURNHAM ENTRANCE

Public Works Facility

City of West Allis



**53rd & W Burnham Street
West Allis WI, 53219**

**SITE, LANDSCAPING, AND
ARCHITECTURAL DESIGN REVIEW
DECEMBER 29, 2023**

KUENY ARCHITECTS, LLC

10505 CORPORATE DRIVE - SUITE 100 PLEASANT PRAIRIE, WI 53158

10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.857.8101 web: www.kuenyarch.com
©2023 Kueny Architects L.L.C. - All Rights Reserved

01

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

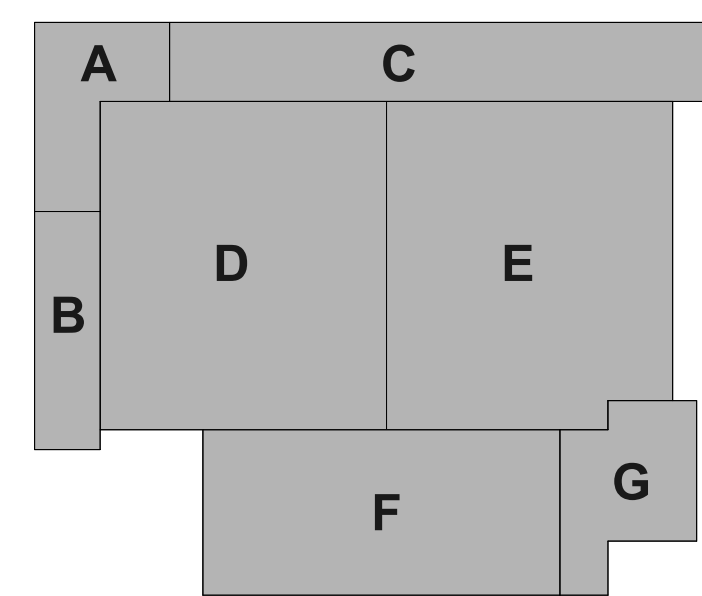
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE

KEY PLAN



PLAN NORTH
SCALE: As Indicated

SHEET

SHEET TITLE:
Architectural Site Plan

1A101

Project Status

SITE PLAN LEGEND

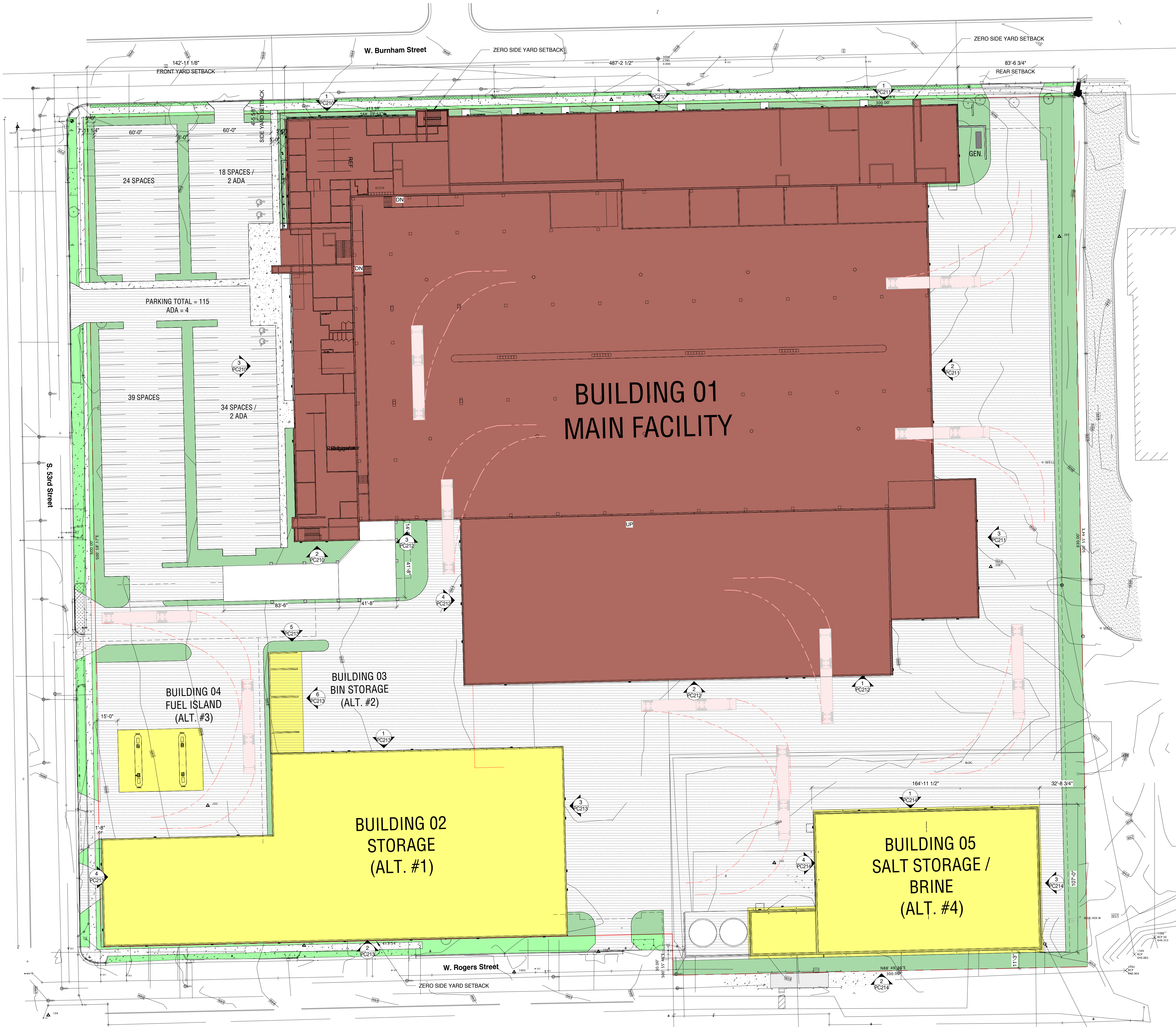
SITE ELEMENTS:

- PROPERTY LINES ————
- EXISTING GRADES ———— ELEV.
- PROPOSED GRADES ———— ELEV.
- WATER ————
- SANITARY ————
- STORM ————
- STORM ————
- SILT FENCE ————
- CHAIN LINK FENCING ————
- ORNAMENTAL FENCING ————

- GRASS AREAS [Green Box]
- MULCH AREAS [Cross-hatch Box]
- ASPHALT PAVING [Grey Box]
- LANDSCAPE STONE [Patterned Box]
- CONCRETE [White Box]
- BLG. BLOCKS [Red Box]

SITE AREAS

TOTAL SITE AREA - 437,484 SQFT
TOTAL GREEN SPACE - 28,546
MAIN BUILDING #1 FOOT PRINT - 180,415 SQFT
MEZZANINE - 23,194 SQFT
MAIN BUILDING SECOND FLOOR - 120,800 SQFT
BUILDING #2 FOOT PRINT - 38,560 SQFT
BUILDING #3 FOOT PRINT - 1,775 SQFT
BUILDING #4 FOOT PRINT - 2,745 SQFT
BUILDING #5 FOOT PRINT - 38,560 SQFT
BUILDING #6 FOOT PRINT - 19,300 SQFT
TOTAL PAVEMENT - 125,583 SQFT



NOT FOR CONSTRUCTION

1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

12/29/2023 3:26:51 PM

CB 1100 RIM=658.11 S IE (8')=653.17
CB 1084 RIM=655.92 S IE (8')=653.17
CB 1083 RIM=656.66 N IE (8')=652.01 S IE (12')=651.63

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

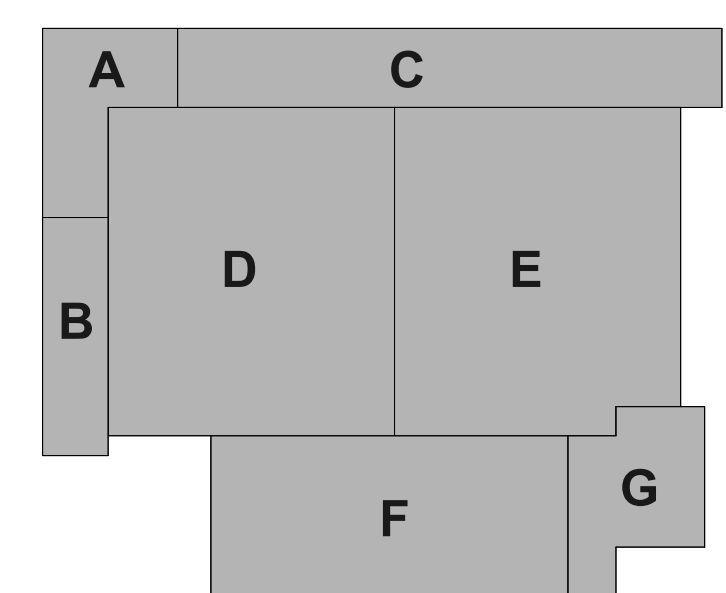
MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031
Engineer of Record - Adam Harris

CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN



SHEET

SHEET TITLE:
Landscape Plan

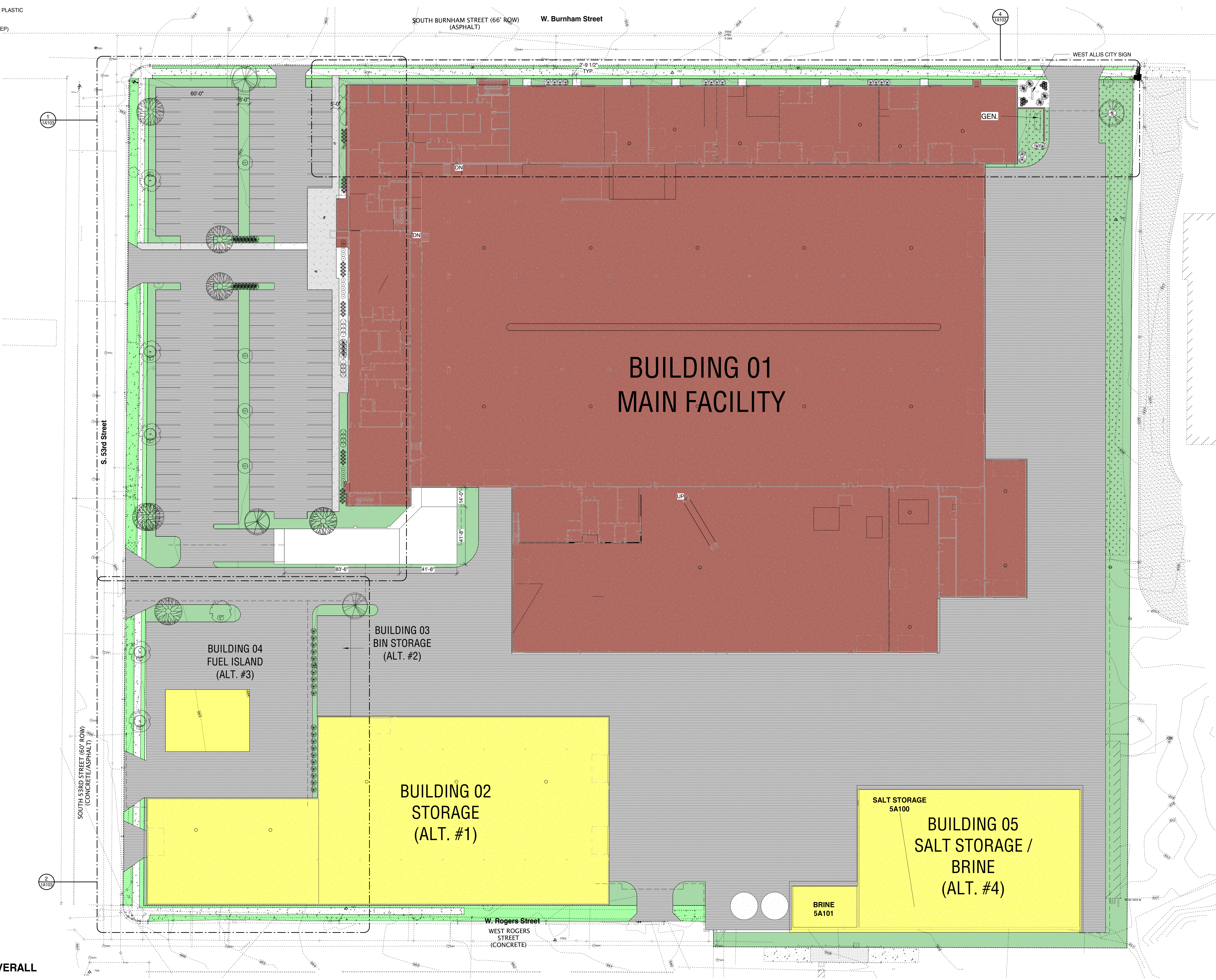
1A102

Project Status

Type	Key	Botanical Name	Common Name	Planting Size	Comments	QTY
GRASSES	SSG	Panicum Virgatum 'Shenandoah'	Shenandoah Switch Grass	#1 Cont.		104
GRASSES	TPD	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	#1 Cont.		66
SHRUB	SO	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#5 Cont.		18
SHRUB	WB	Buxus sinica var. insularis 'Wintergreen'	Wintergreen Boxwood Shrub	#5 Cont.		15
SHRUB	KDR	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	#3 Cont.		18
SHRUB	CP	Juniperus chinensis 'Kallias Compact'	Kallias Compact Pfitzer Juniper	#3 Cont.		7
TREE	CM	Acer x freemanii 'Celebration'	Celebration Maple	(Height) 5'-0" - 6'-0"		5
TREE	IH	Gleditsia triacanthos f. inermis 'Impcole'	Imperial Honeylocust	(Height) 5'-0" - 6'-0"		6
TREE	BHS	Picea Glauca Var. densata	Black Hills Spruce	(Height) 5'-0" - 6'-0"		10
TREE	JL	Syringa reticulata	Japanese Tree Lilac	(Height) 4'-0" - 5'-0"		4
TREE	RB	Betula Nigra	River Birch	(Height) 4'-0" - 5'-0"		5

- GRASS SEED**
- ALL DISTURBED AREAS SHALL BE RESEED.
- 1- GENERAL: ALL SEED SHALL BE
- FREE FROM NOXIOUS WEED SEEDS AND RECLEANED
 - GRAGE A RECENT CROP SEED
 - TREATED WITH APPROPRIATE FUNGICIDE AT TIME OF MIXING.
 - DELIVERED TO THE SITE IN SEALED CONTAINERS WITH DEALER'S GUARANTEED ANALYSIS AND SEASON CERTIFICATION OF WEIGHT, PURITY, AND GERMINATION
- 2- PROPORTIONS BY WEIGHT
- BARON BLUEGRASS 20%
 - MAJESTIC BLUEGRASS 20%
 - TOUCHDOWN BLUEGRASS 20%
 - PENNLAWN FESCUE 20%
 - FIESTA RYE GRASS 20%
- (OR APPROVED EQUAL)

- LANDSCAPE GENERAL NOTES:**
- RE-GRAD AND RE-SEED ALL DISTURBED AREAS
 - MULCHED AREAS: 6 FT DIAM. AREA W/ MULCH (4" DEEP) OVER LANDSCAPE PAPER AND PLASTIC LANDSCAPE EDGE AROUND ALL TREES AND BUSHES AS NOTED ON PLANS.
 - RIVEROCK AREAS: AREA W/ 1-1/2" RIVER WASH STONE OVER LANDSCAPE PAPER (4" DEEP)



NOT FOR CONSTRUCTION

1 LANDSCAPE PLAN - OVERALL
1" = 30'-0"

1/29/2023 3:26:52 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved
CONSULTANTS

ARCHITECT

Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

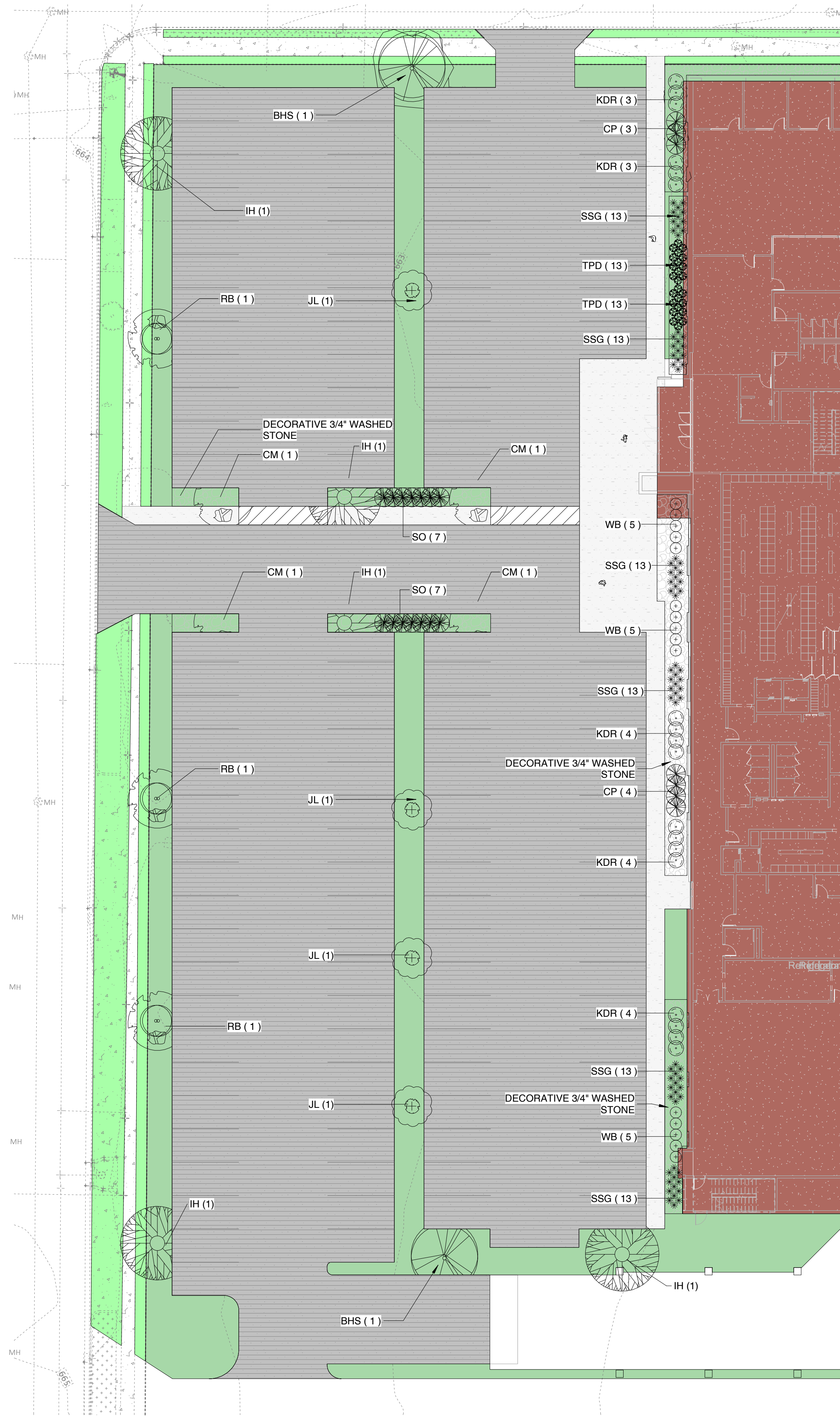
Engineer of Record - Linda Johnson

REVISIONS

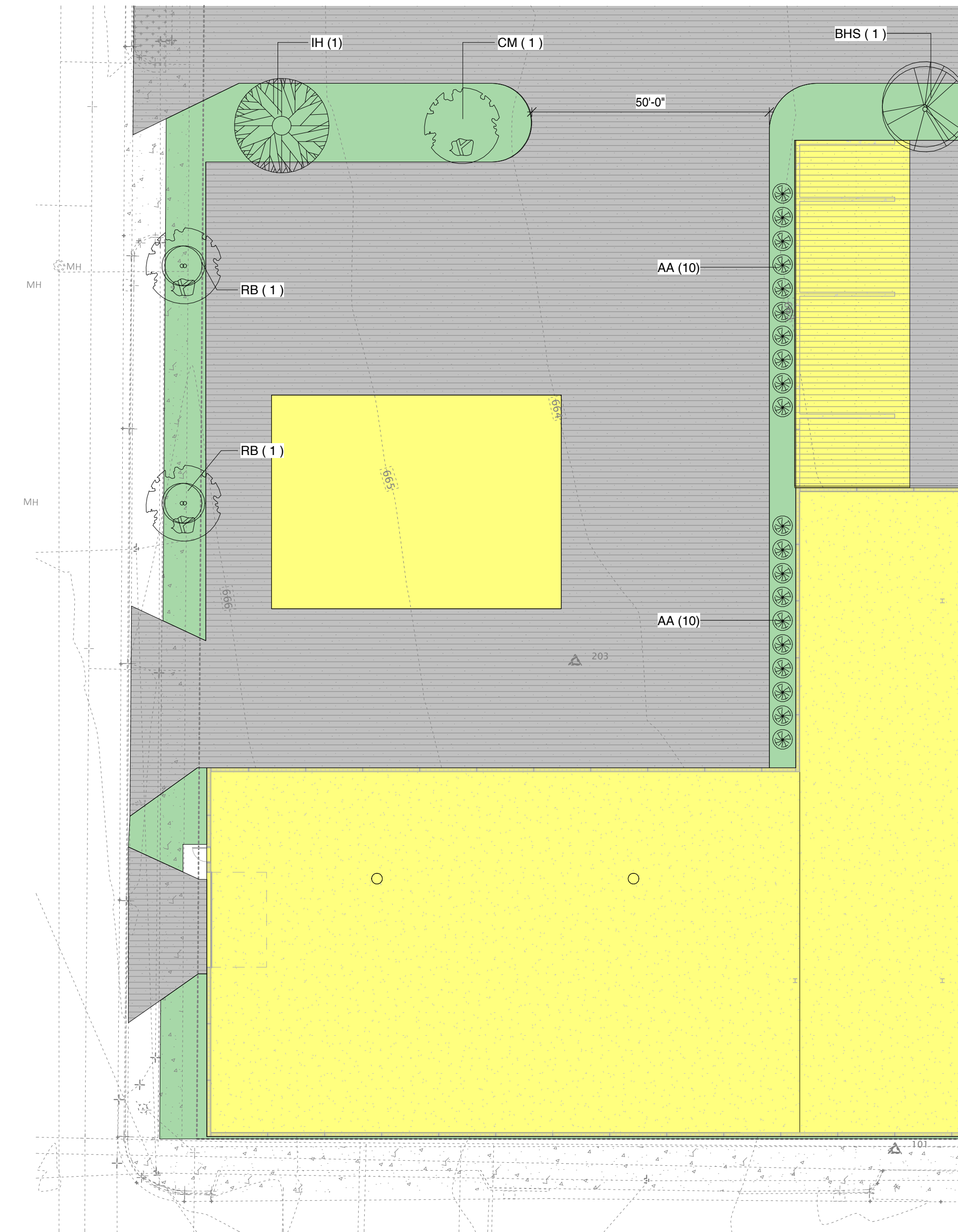
REV. / DESCRIPTION DATE

LANDSCAPE SCHEDULE

Type	Key	Botanical Name	Common Name	Planting Size	Comments	QTY
GRASSES	SSG	Panicum Virgatum 'Shenandoah'	Shenandoah Switch Grass	#1 Cont.		104
GRASSES	TPD	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	#1 Cont.		66
SHRUB	SO	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#5 Cont.		18
SHRUB	WB	Buxus sinica var. 'insularis' 'Wintergreen'	Wintergreen Boxwood Shrub	#5 Cont.		15
SHRUB	KDR	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	#3 Cont.		18
SHRUB	CP	Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	#3 Cont.		7
TREE	CM	Acer x freemanii 'Celebration'	Celebration Maple	(Height) 5'-0" - 6'-0"		5
TREE	IH	Gleditsia triacanthos L. 'nana' 'Impole'	Imperial Honeylocust	(Height) 5'-0" - 6'-0"		6
TREE	BHS	Picea Glauca Var. 'Densata'	Black Hills Spruce	(Height) 5'-0" - 6'-0"		10
TREE	JL	Syringa reticulata	Japanese Tree Lilac	(Height) 4'-0" - 5'-0"		4
TREE	RB	Betula Nigra	River Birch	(Height) 4'-0" - 5'-0"		5

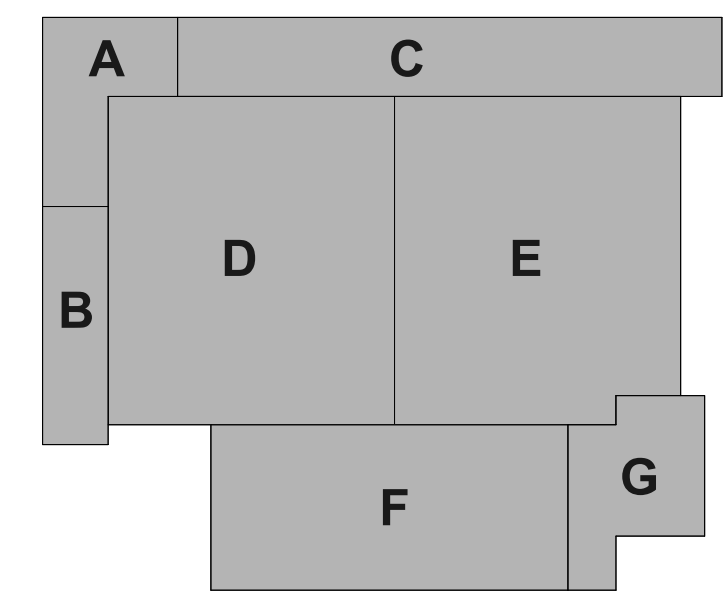


1 LANDSCAPE PLAN - WEST PARKING LOT
1" = 20'-0"



2 LANDSCAPE PLAN - SE CORNER
1" = 20'-0"

KEY PLAN



SHEET

SHEET TITLE:

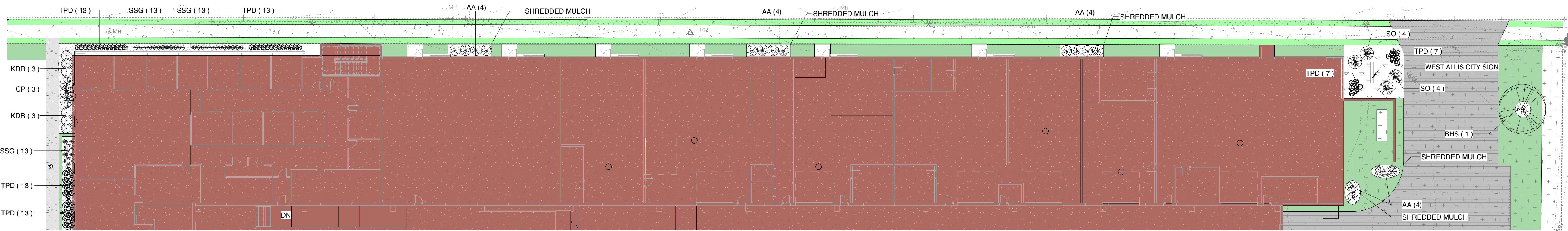
Landscape Enlarged Plans

1A103

Project Status

NOT FOR CONSTRUCTION

12/29/2023 3:26:54 PM



4 LANDSCAPE PLAN - NORTH FACADE
1" = 20'-0"

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved
CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

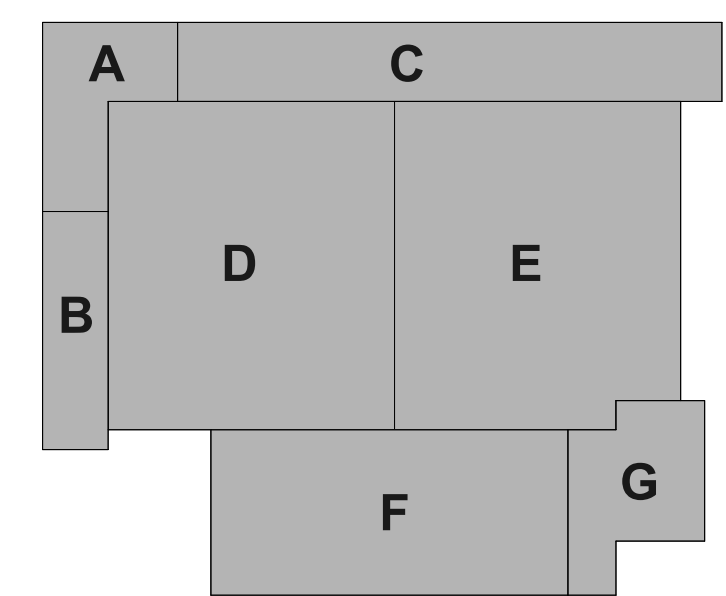
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE
-------------------	------

KEY PLAN

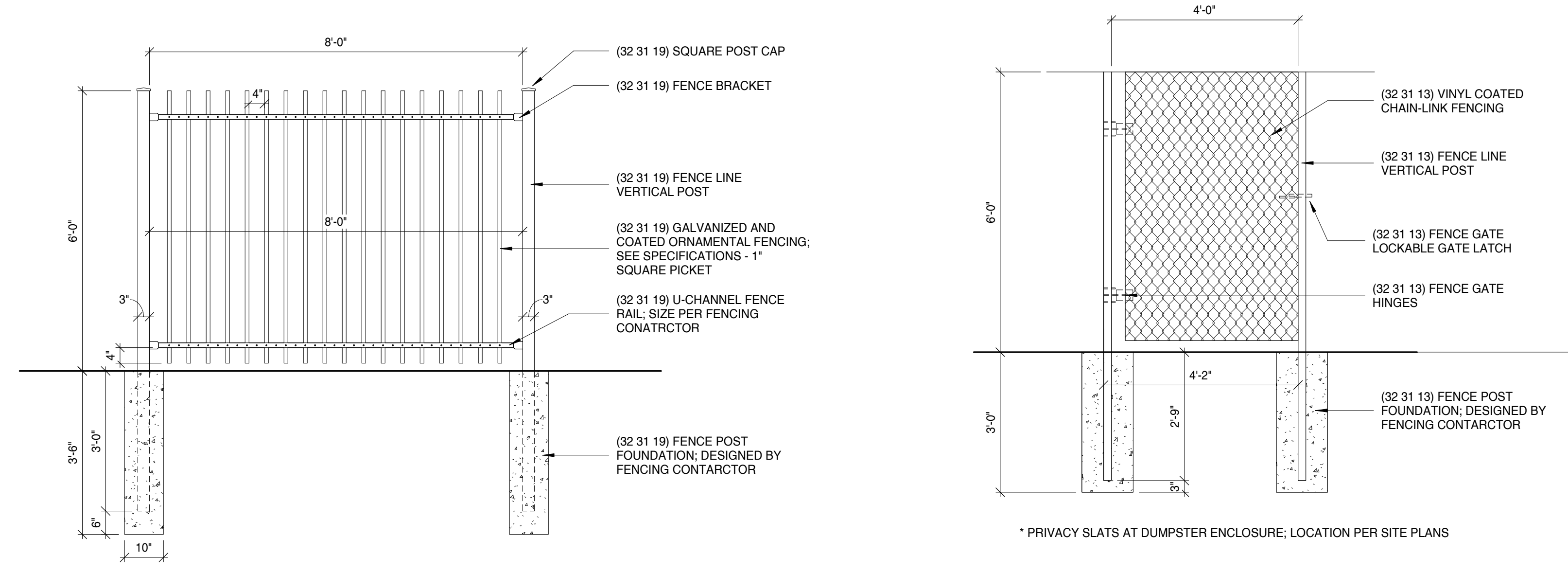


SHEET

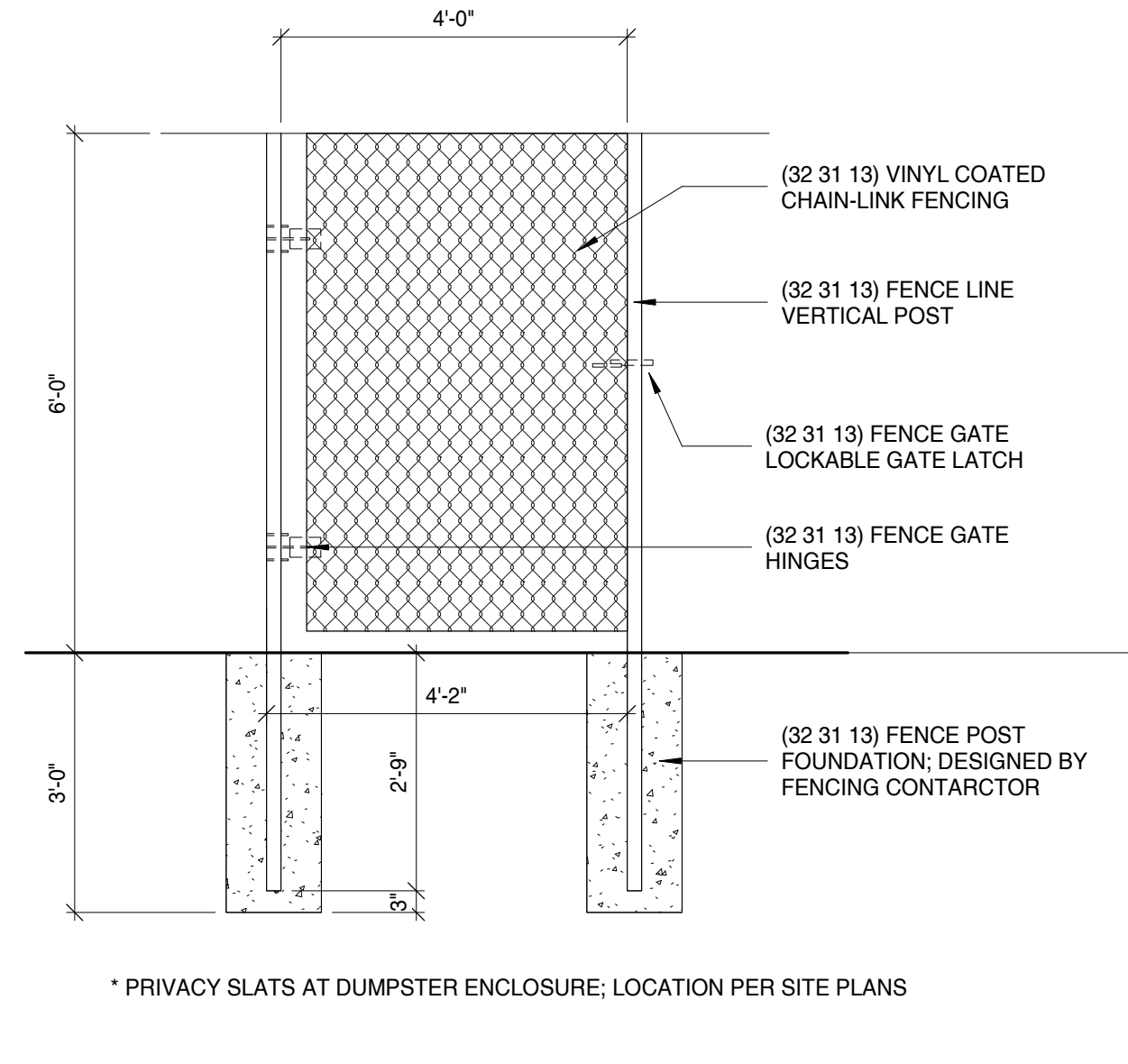
SHEET TITLE:
Site Details and Standards

1A104

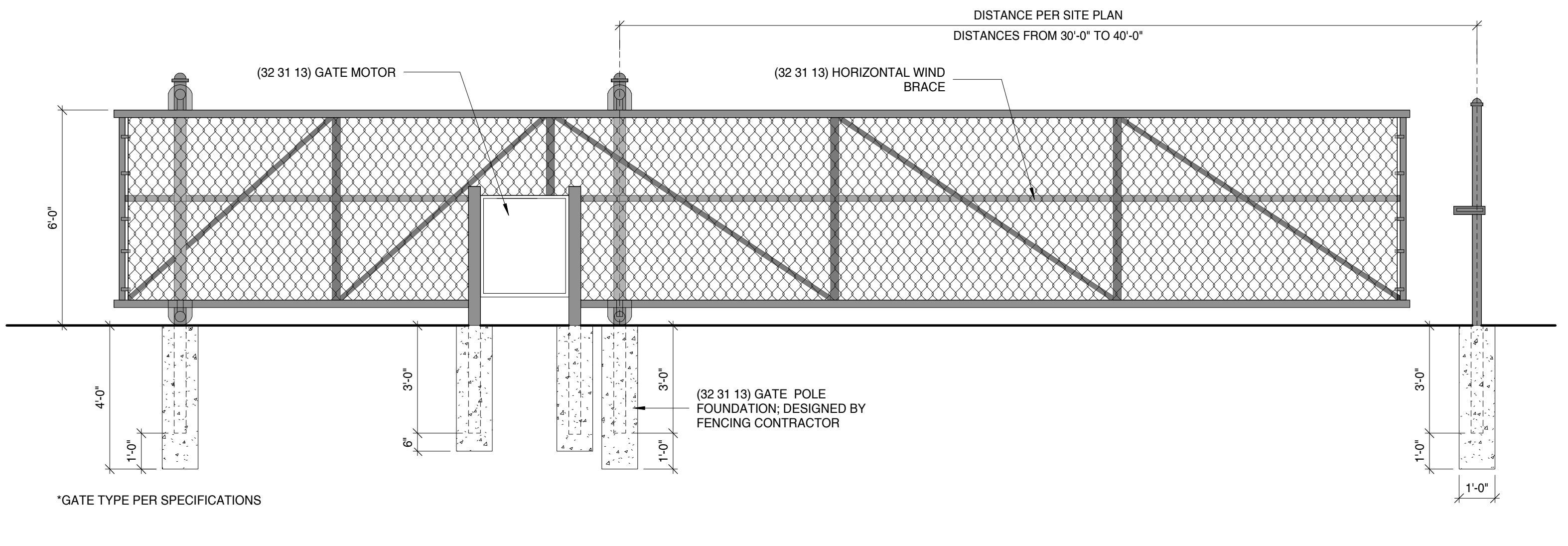
Project Status



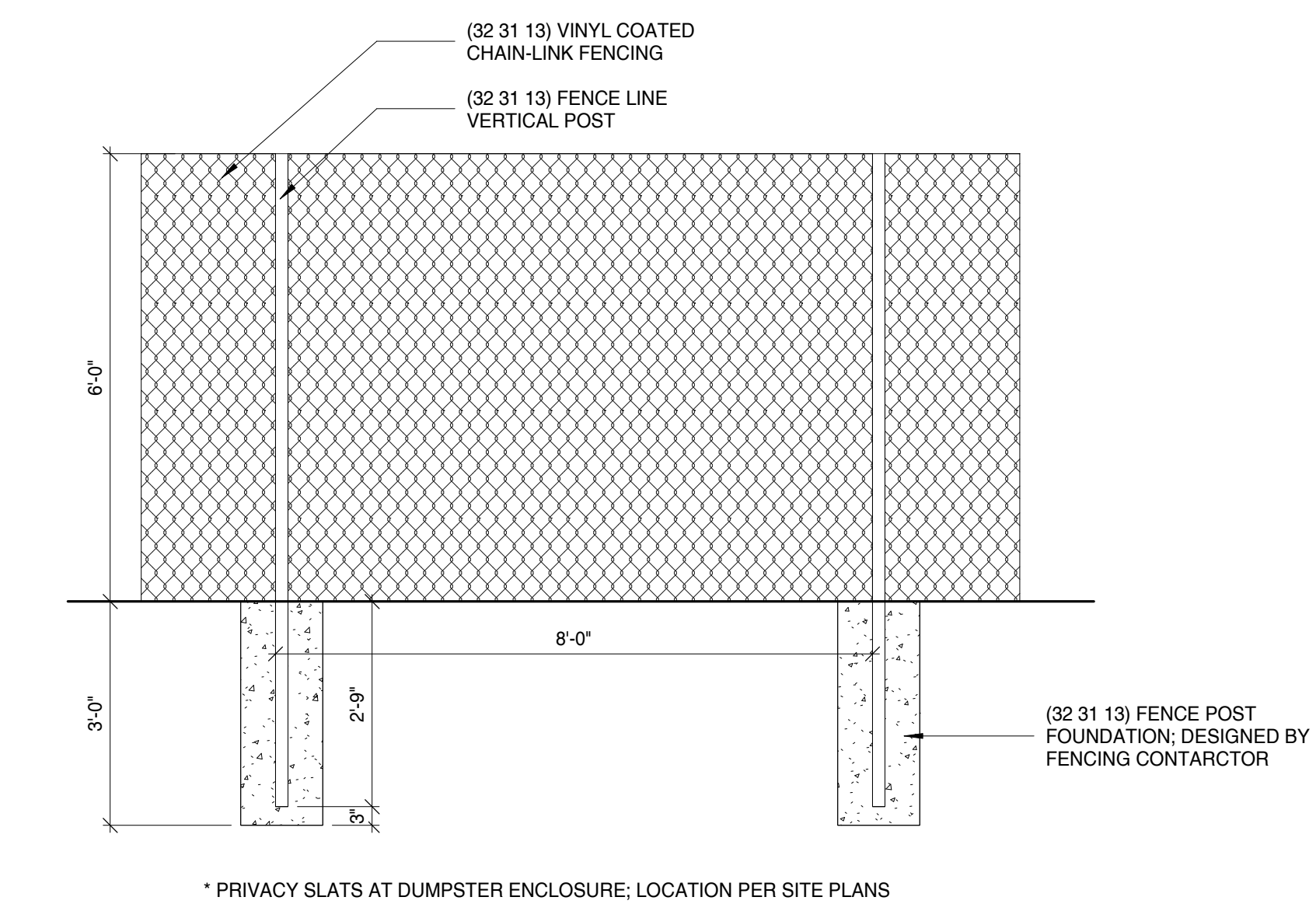
1 Ornamental Fence Detail
1/2" = 1'-0"



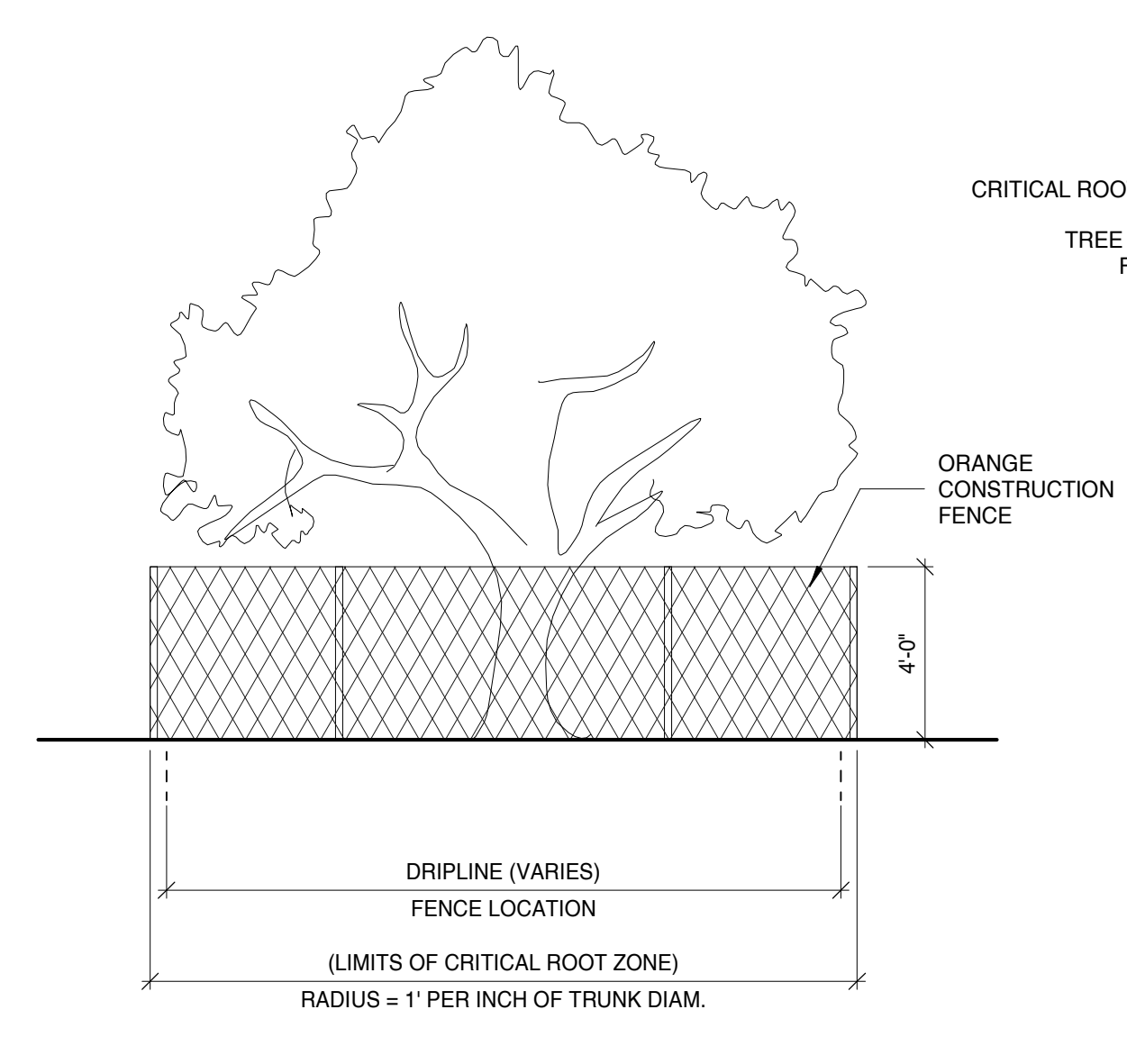
2 Fence Detail - Standard Gate
1/2" = 1'-0"



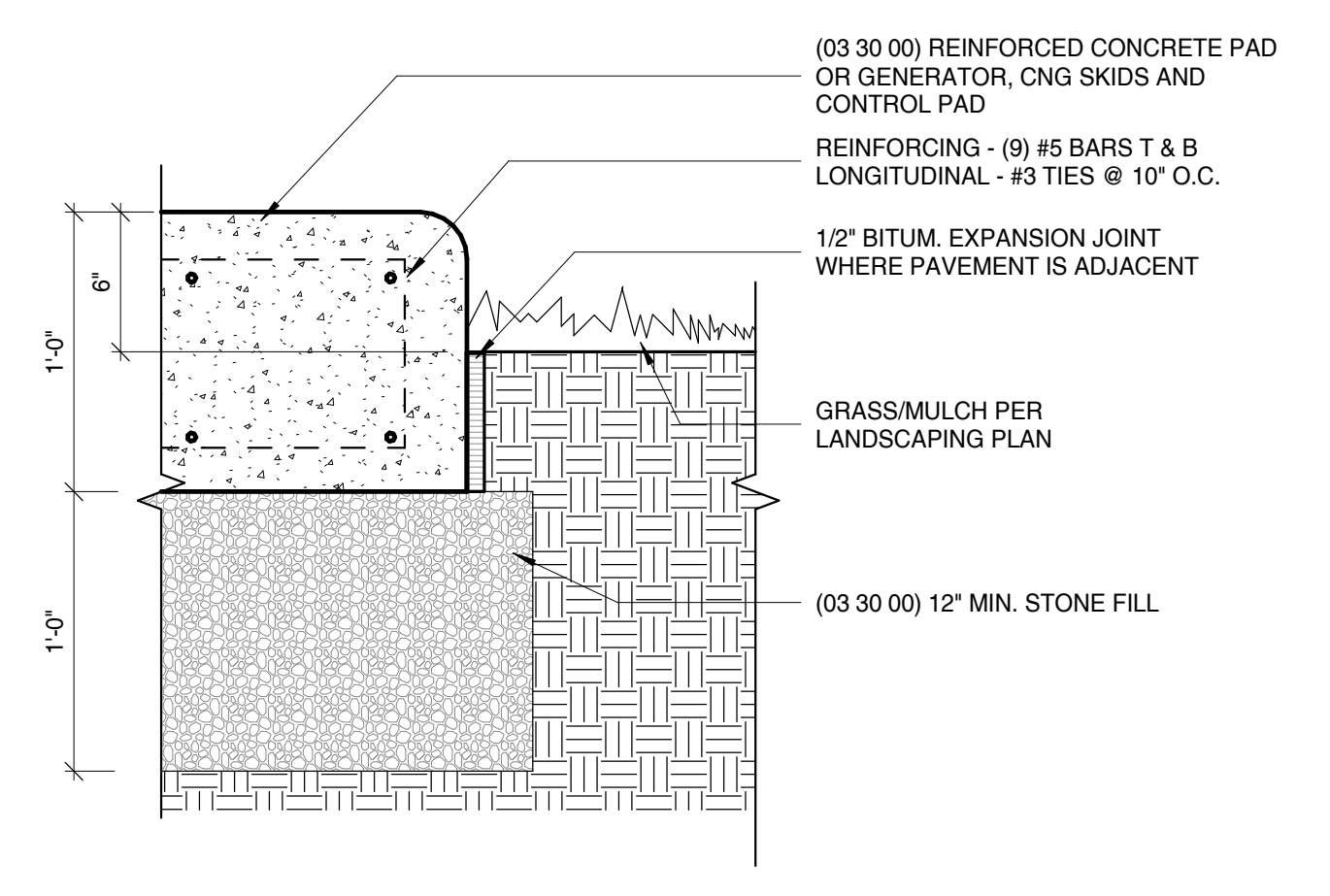
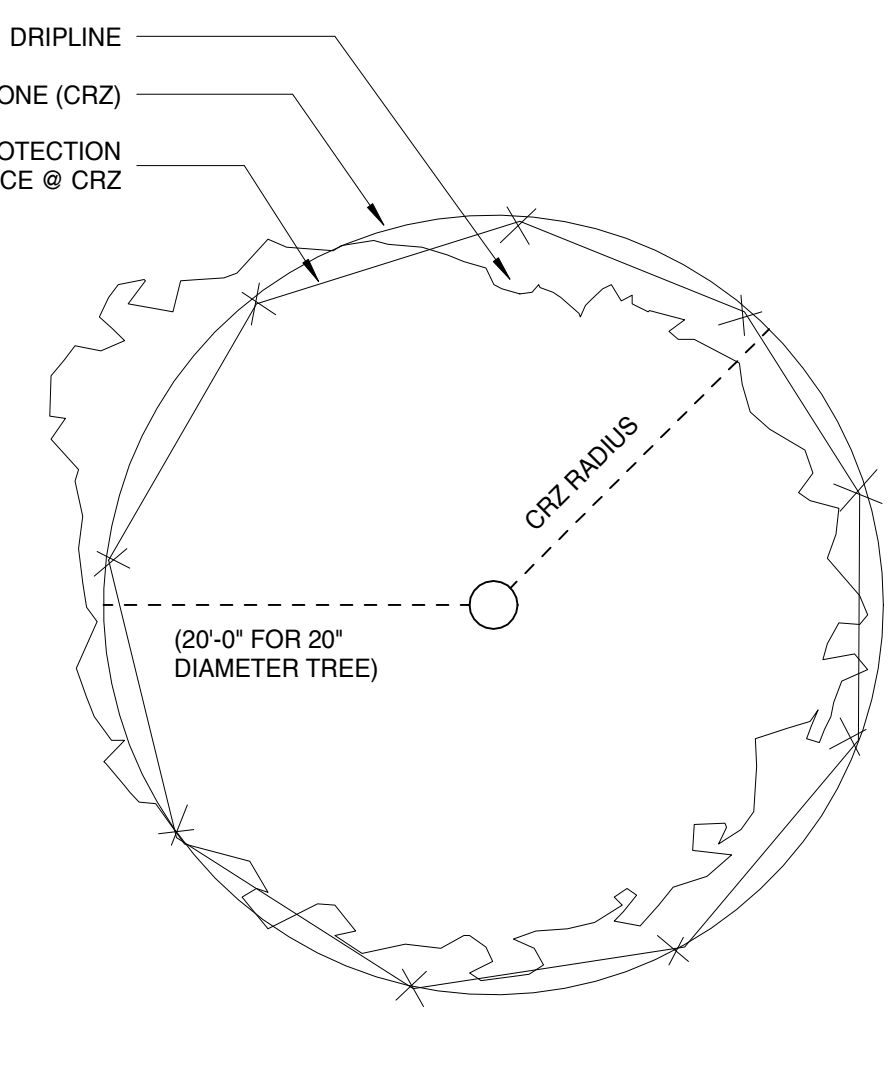
3 Cantilevered Gate Detail
3/8" = 1'-0"



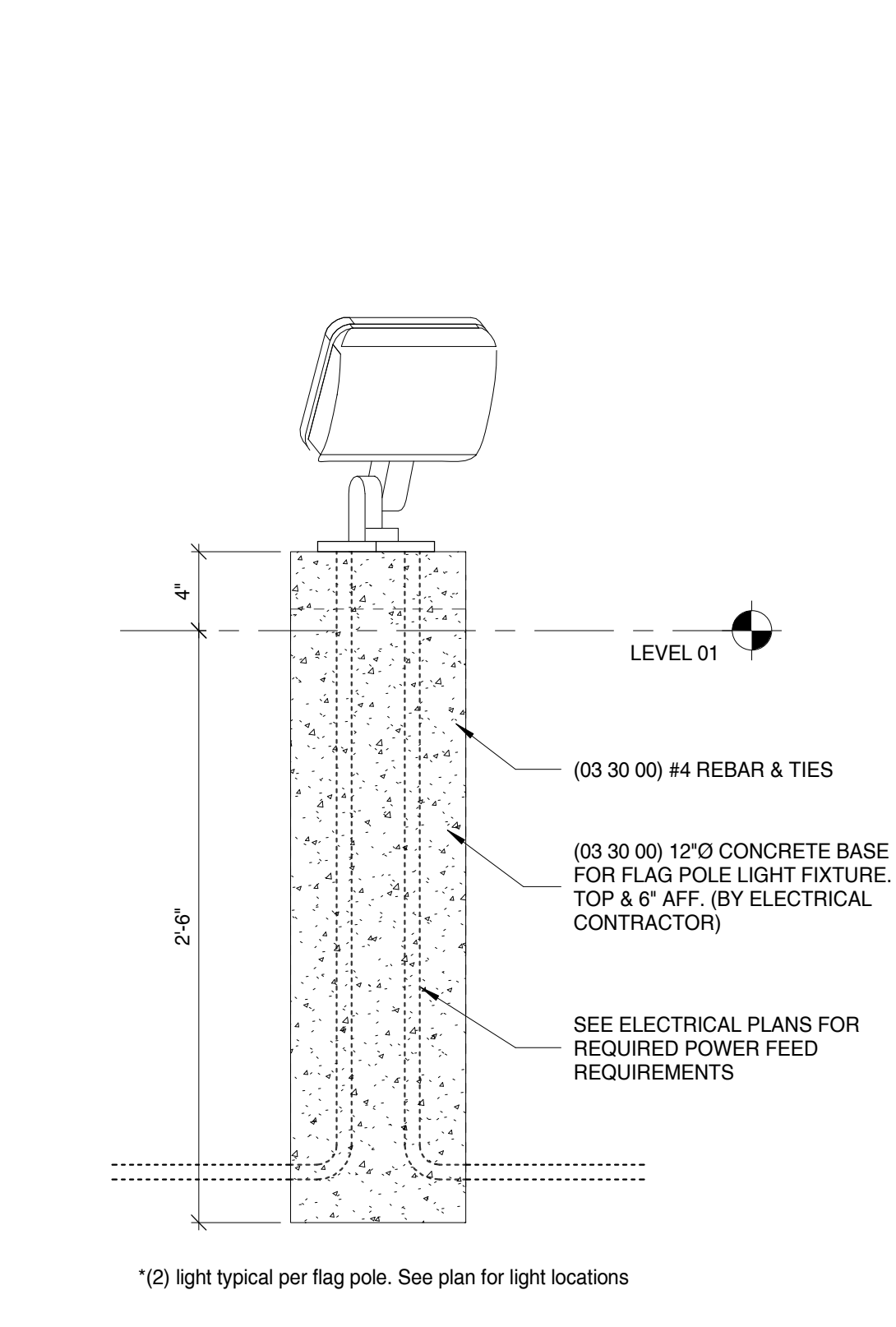
4 Fence Detail - Standard
1/2" = 1'-0"



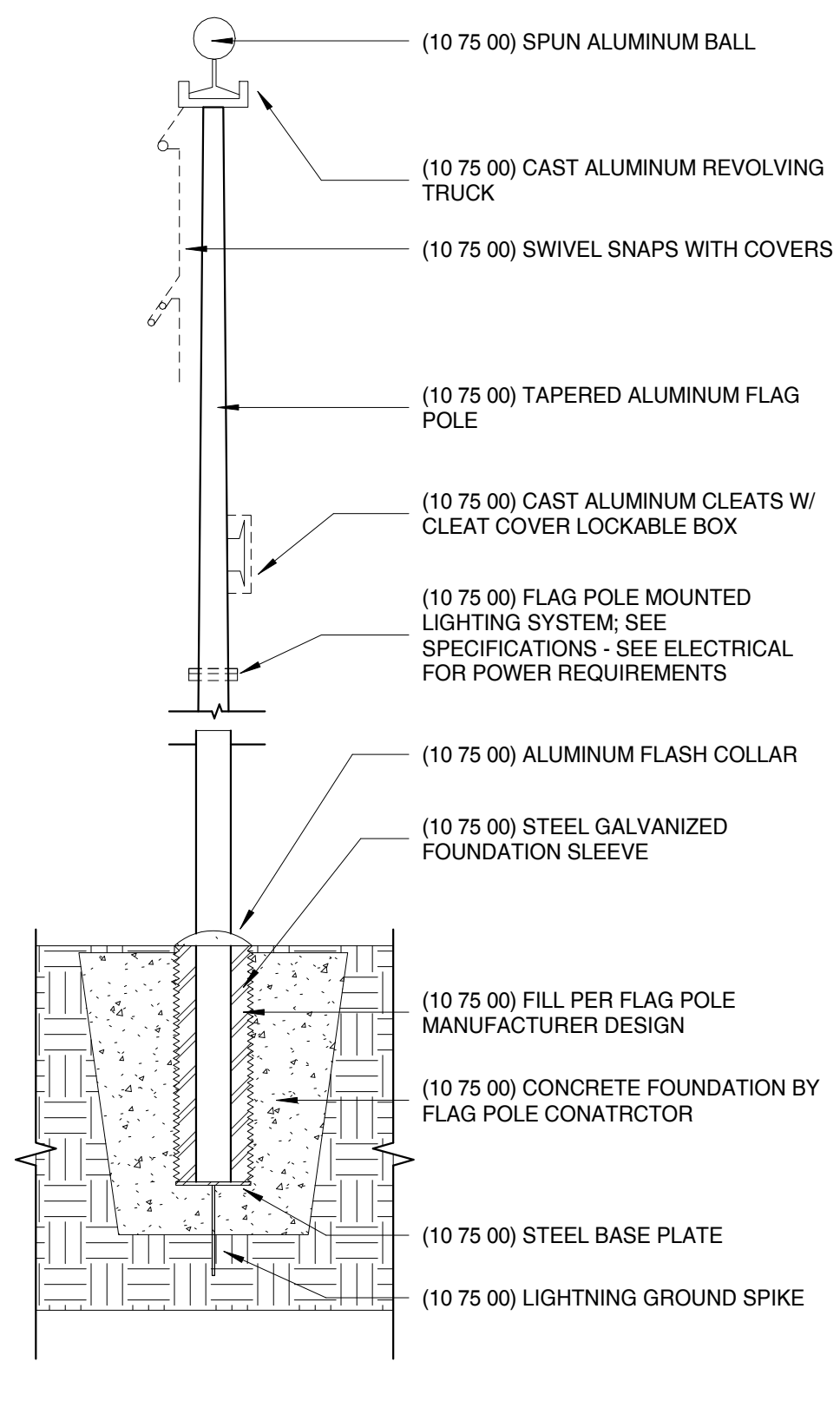
7 Tree Protection Detail
1/4" = 1'-0"



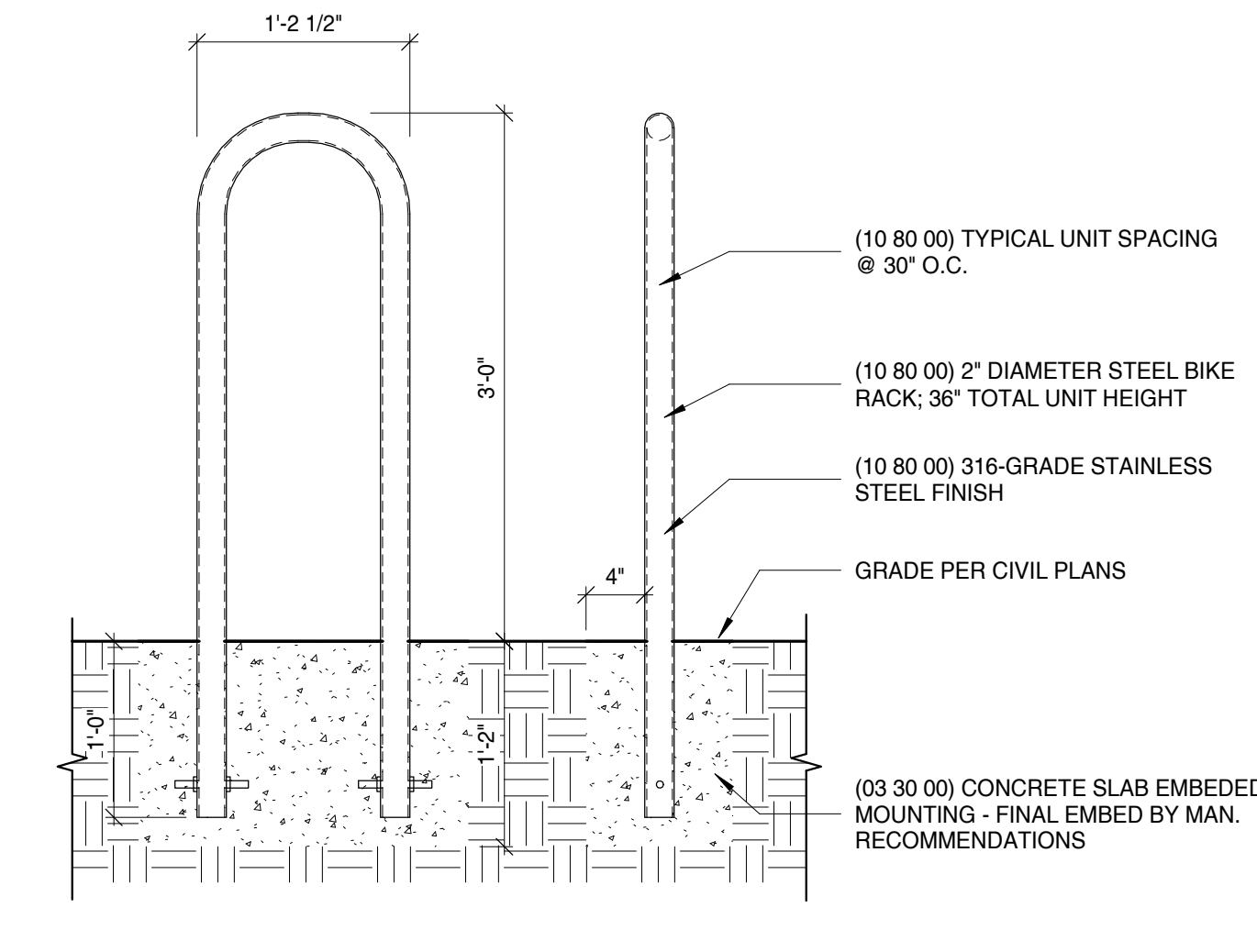
8 Utility Pad Detail
1 1/2" = 1'-0"



6 Flag Pole - Light Detail
1 1/2" = 1'-0"



5 Flag Pole Detail
1/2" = 1'-0"



9 Bike Rack Detail - Typ.
1" = 1'-0"

NOT FOR CONSTRUCTION

1/29/2023 3:26:35 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis, WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
Phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

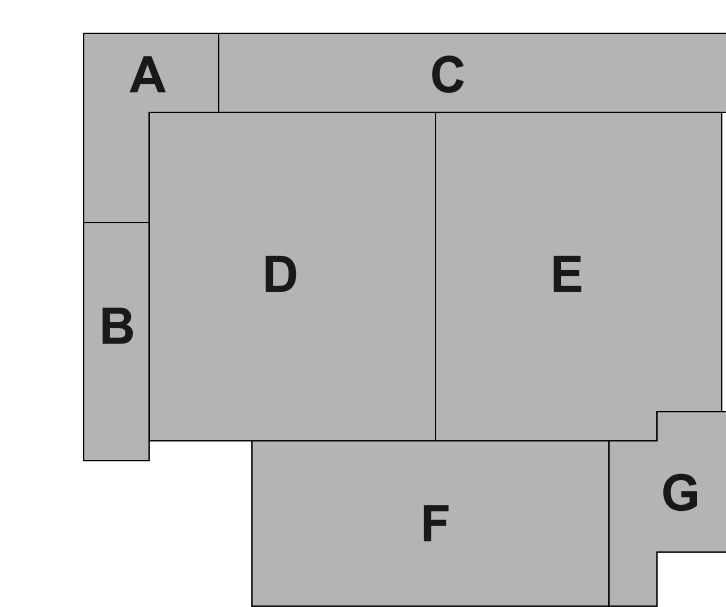
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE
-------------------	------

KEY PLAN



PLAN NORTH
SCALE: 3/64" = 1'-0"

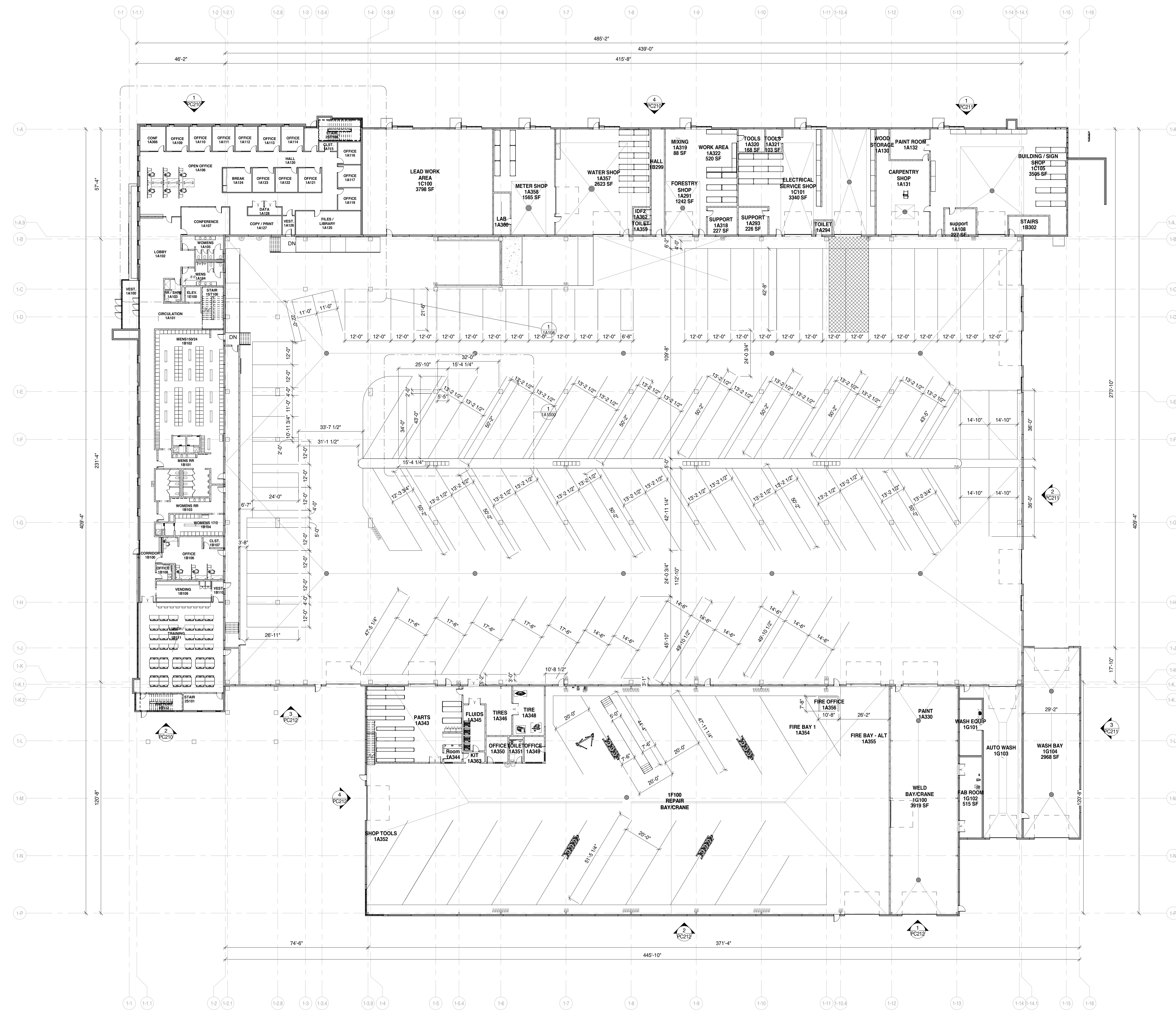
SHEET

SHEET TITLE:
Floor Plan - Overall First Floor / VP-1

1A200

Project Status

NOT FOR CONSTRUCTION



1 01 FIRST FLOOR - OVERALL PLAN
3/64" = 1'-0"

1/29/2023 3:26:50 PM

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

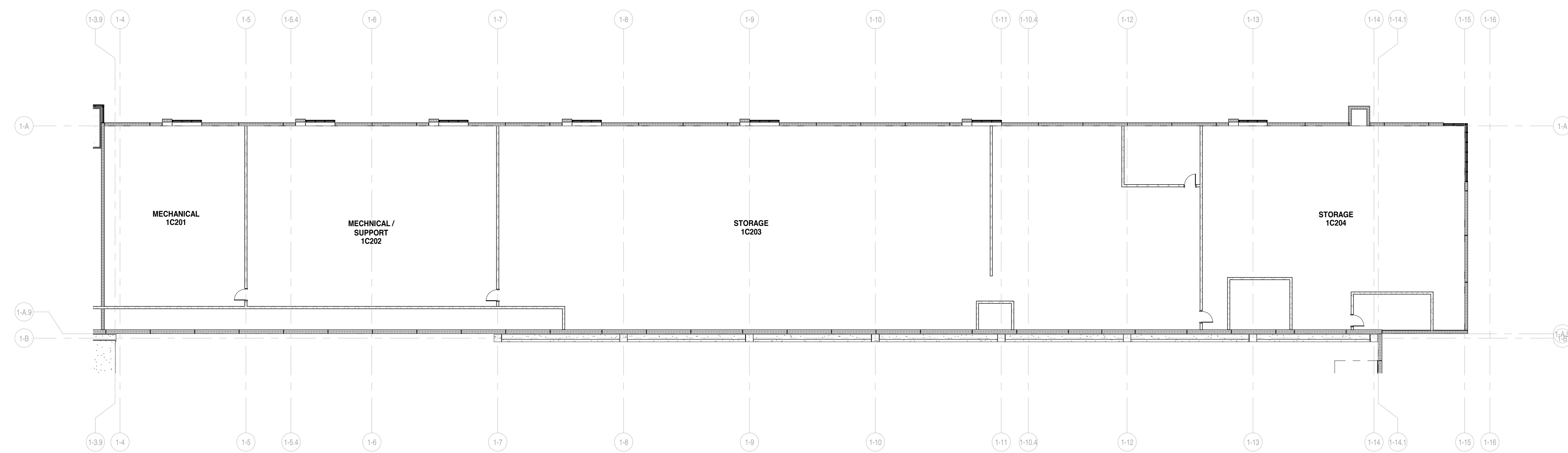
Engineer of Record - Adam Harris

CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

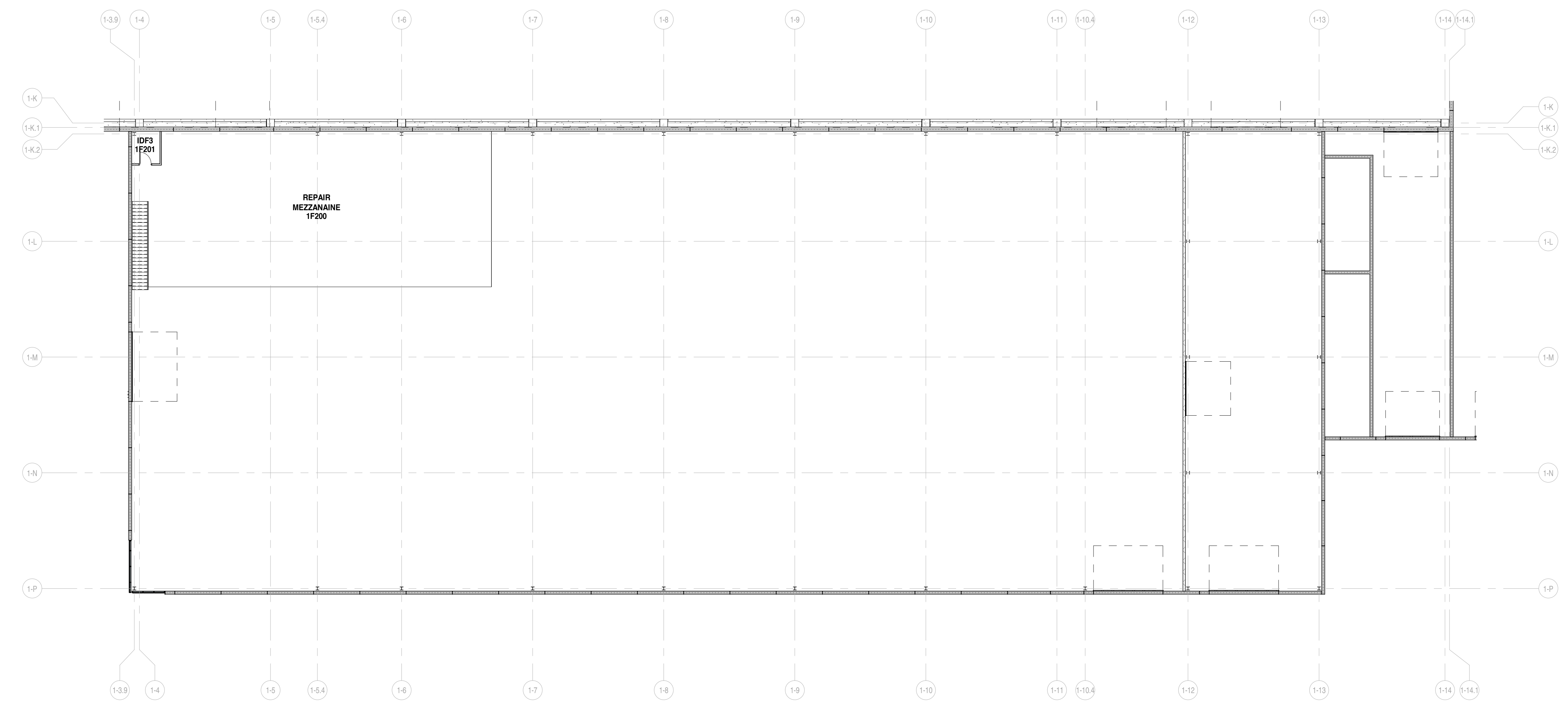
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

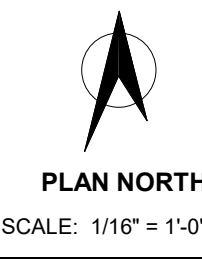
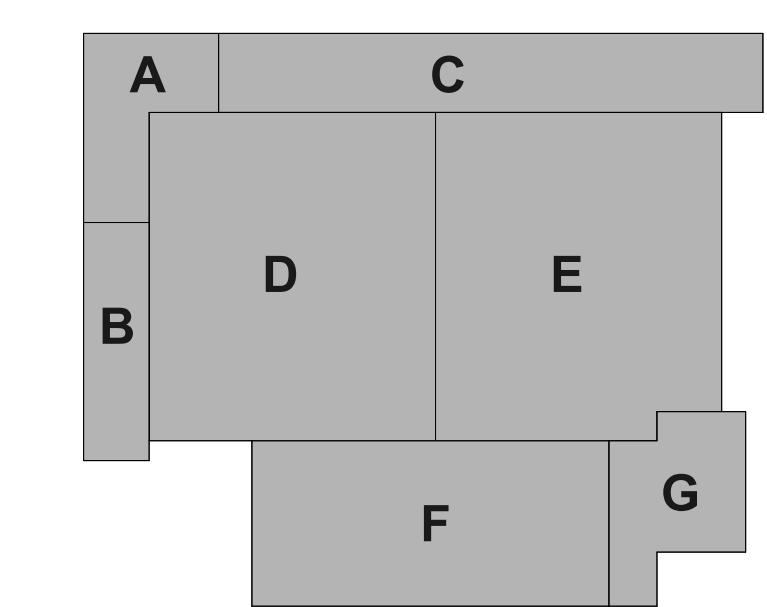


1 01.5_MEZZANINE - AREA C
1/16" = 1'-0"



2 01.5_MEZZANINE - AREA F and G
1/16" = 1'-0"

KEY PLAN



SHEET

SHEET TITLE:
Floor Plan - Mezzanine

1A208

Project Status

NOT FOR CONSTRUCTION

12/29/2023 3:26:50 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53156
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT

Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

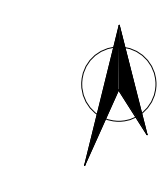
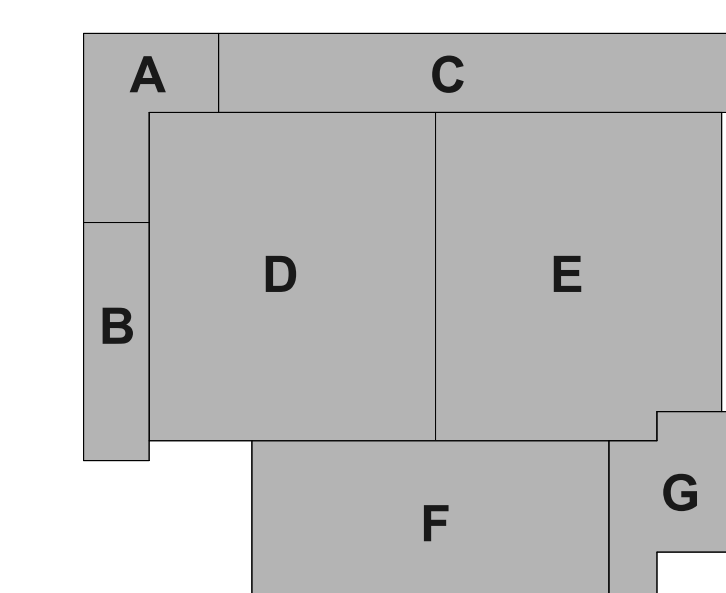
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN



PLAN NORTH
SCALE: 3/64" = 1'-0"

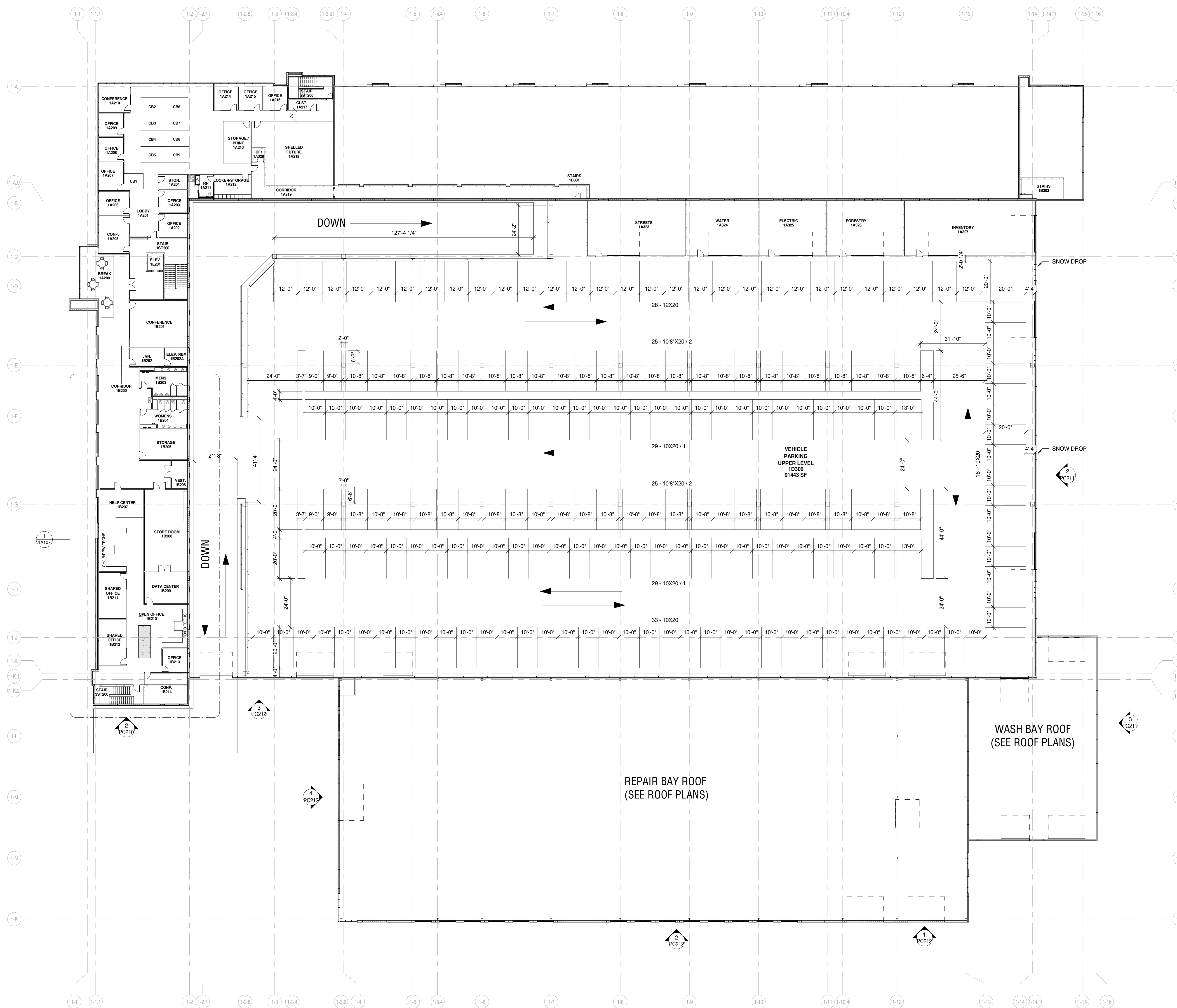
SHEET

SHEET TITLE:

Floor Plan - Overall
Second Floor Office /
VP-2

1A209

Project Status



NOT FOR CONSTRUCTION

1 01 SECOND FLOOR OFFICE / VP-2 PLAN
3/64" = 1'-0"

12/29/2023 3:26:54 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT

Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

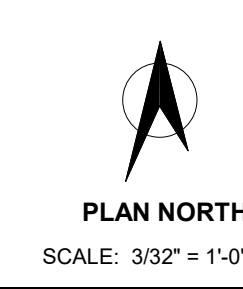
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION	DATE

KEY PLAN



SHEET

SHEET TITLE:
Floor Plan - Overall Plan

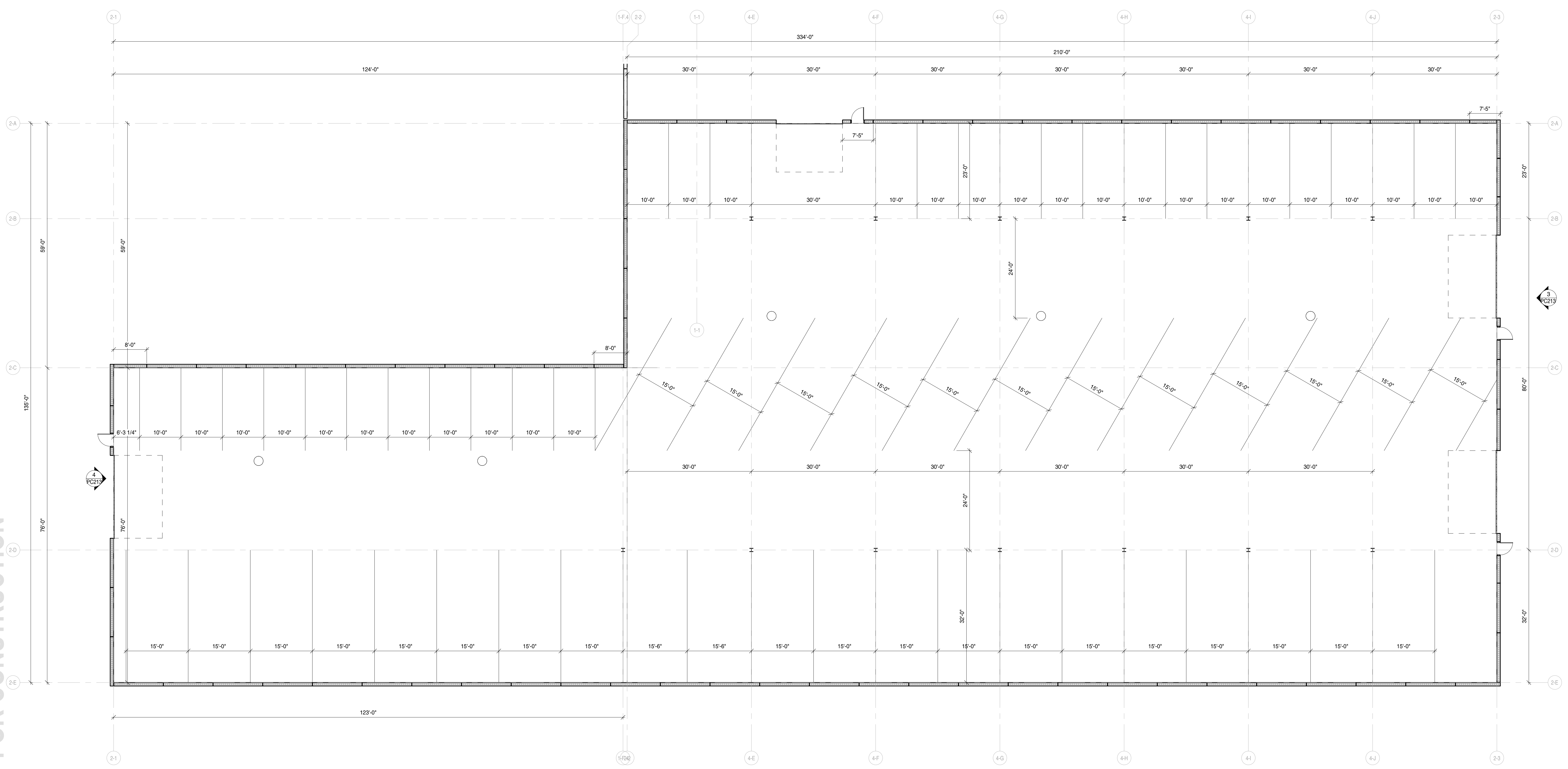
2A201

Project Status

NOT FOR CONSTRUCTION

02_FIRST FLOOR - OVERALL PLAN - STORAGE
1 BLDG.
3/32" = 1'-0"

1/29/2023 3:26:54 PM



PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219
OWNER:
City of West Allis
PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

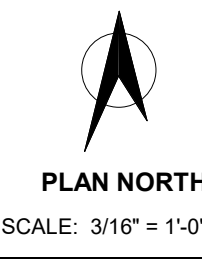
CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
Architect of Record - Jon P. Wallenkamp
MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031
Engineer of Record - Adam Harris
CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN



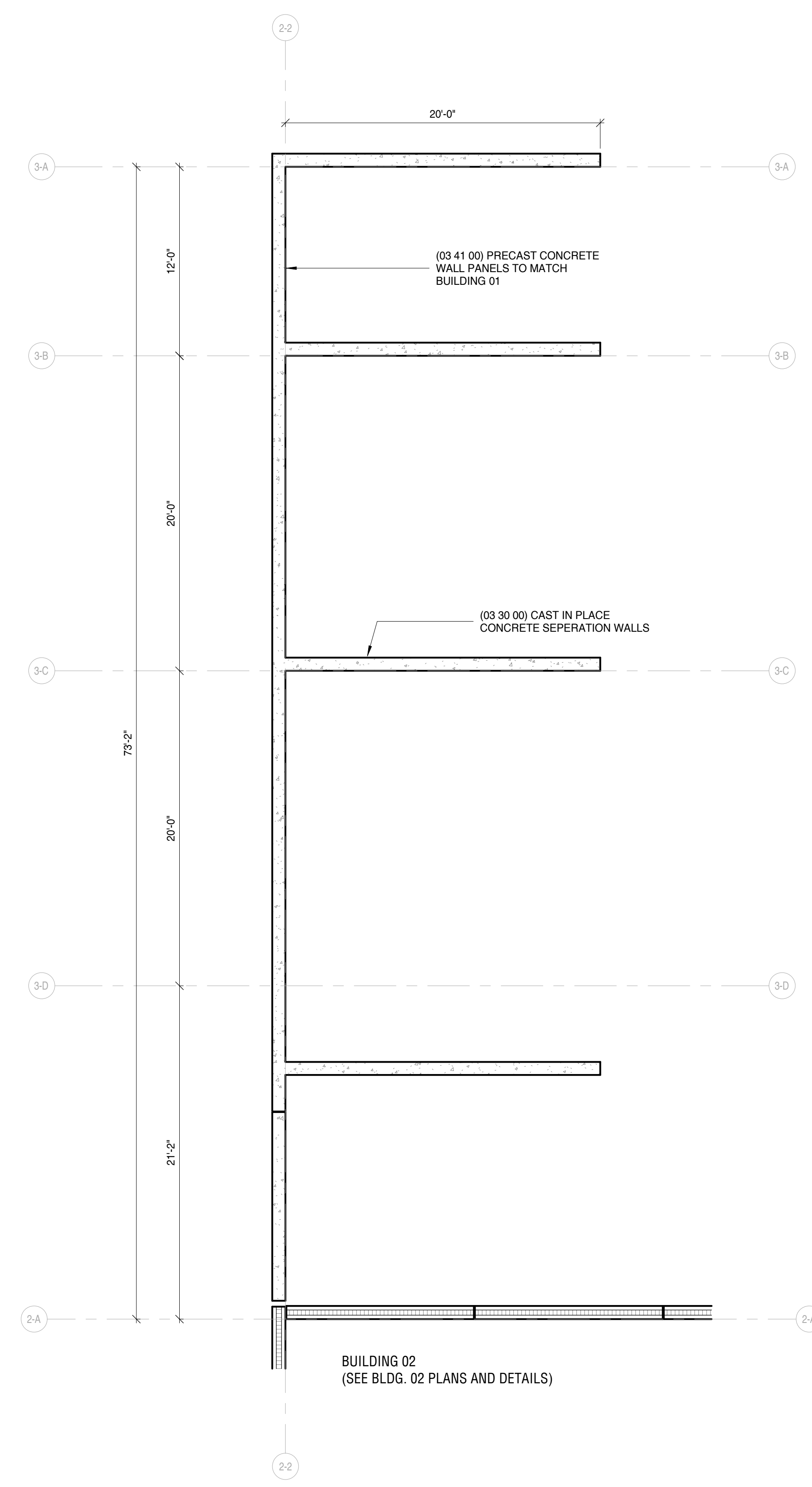
PLAN NORTH
SCALE: 3/16" = 1'-0"

SHEET

SHEET TITLE:
**Floor Plan - Overall Plan
- Bin Storage**

3A201

Project Status



1 03 FIRST FLOOR - OVERALL PLAN - BIN STORAGE
3/16" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:26:55 PM

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219
OWNER:
City of West Allis
PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

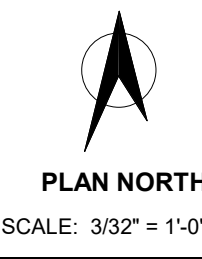
CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
Architect of Record - Jon P. Wallenkamp
MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031
Engineer of Record - Adam Harris
CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION	DATE
--------------------	------

KEY PLAN

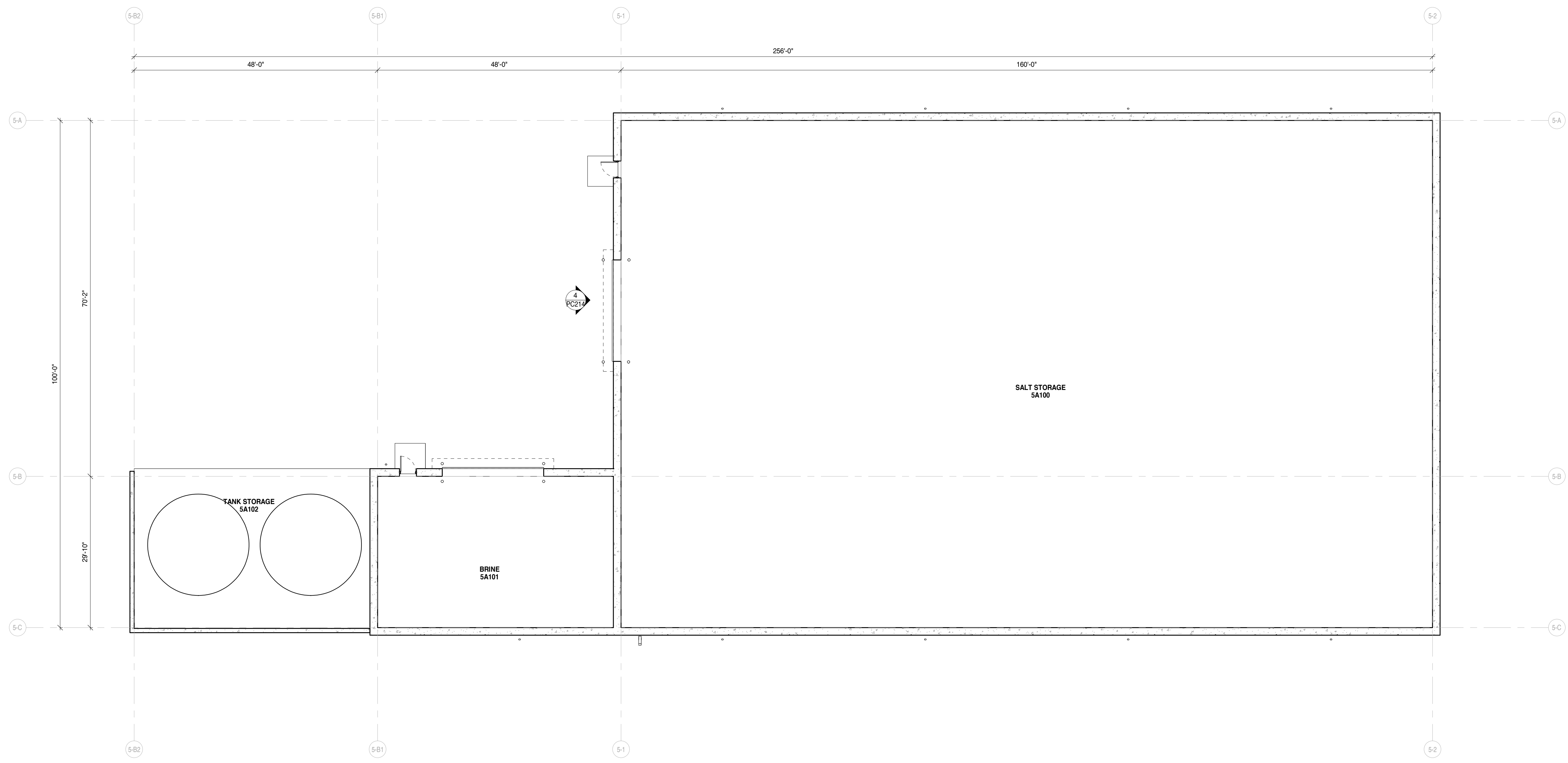


SHEET

SHEET TITLE:
**Floor Plan - Overall Plan
- Salt Storage / Brine**

5A201

Project Status



1 BUILDING 05 - SALT AND BRINE - FLOOR PLAN
3/32" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:26:55 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT

Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

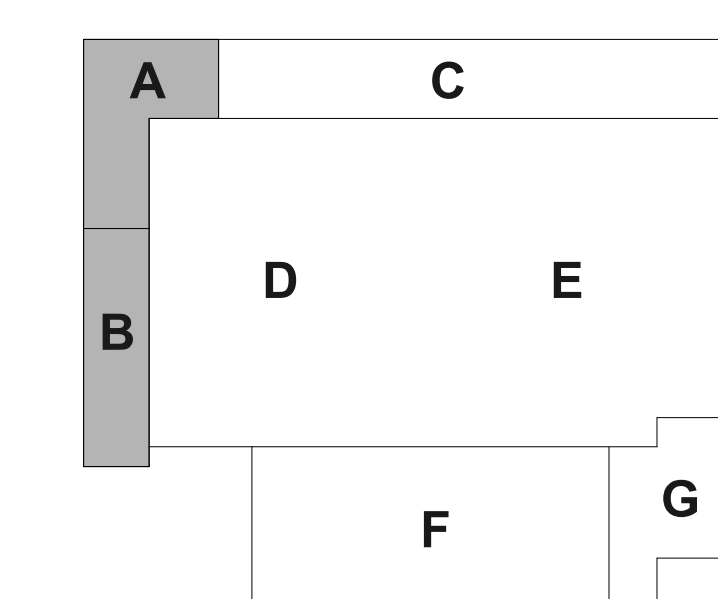
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE

KEY PLAN



SCALE: As Indicated

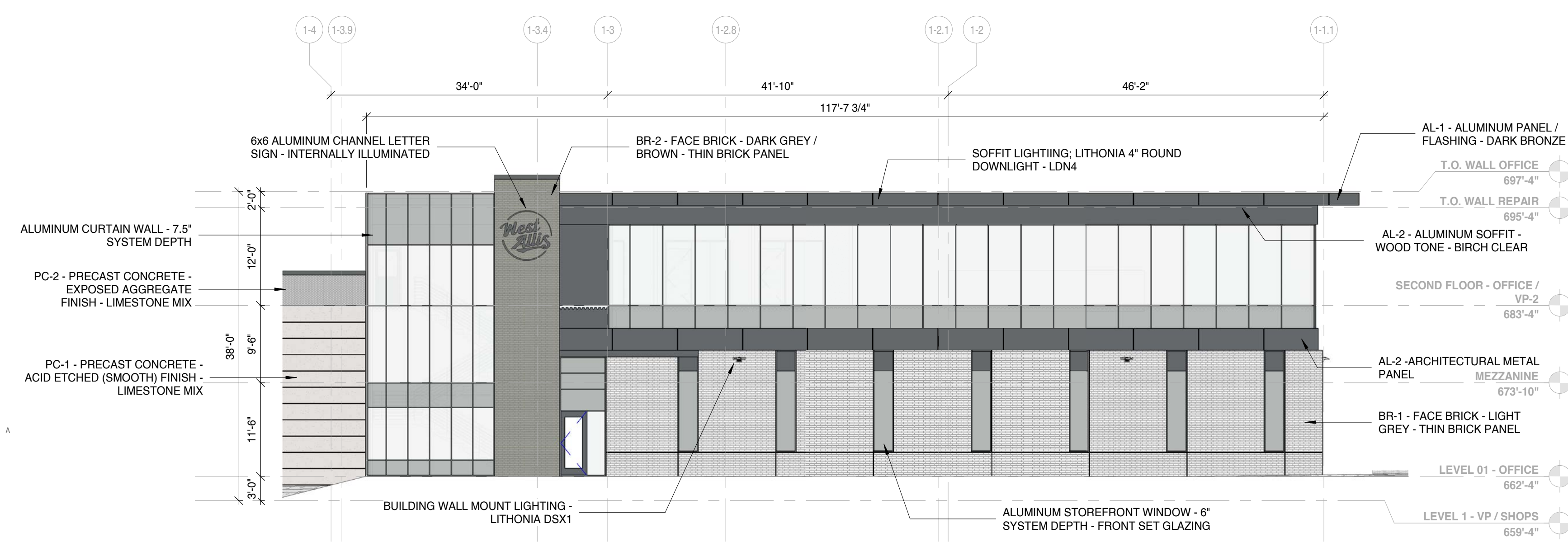
SHEET

SHEET TITLE:

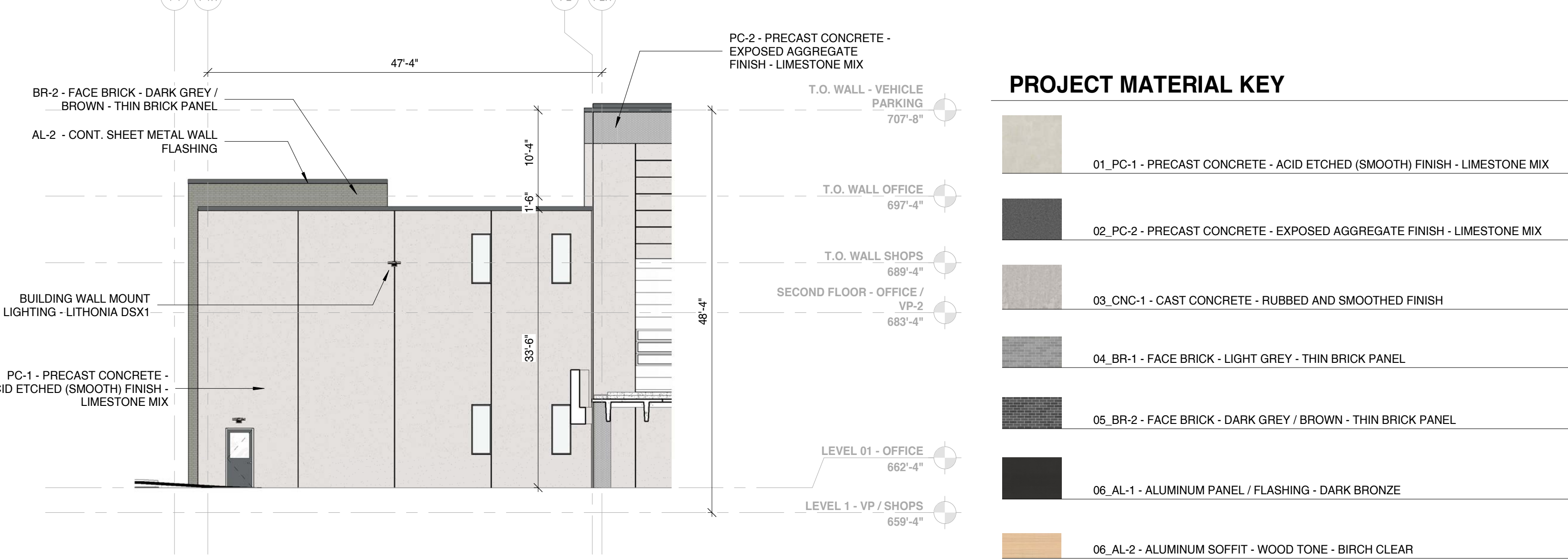
Exterior Elevations - Area A/B/C

PC210

Project Status



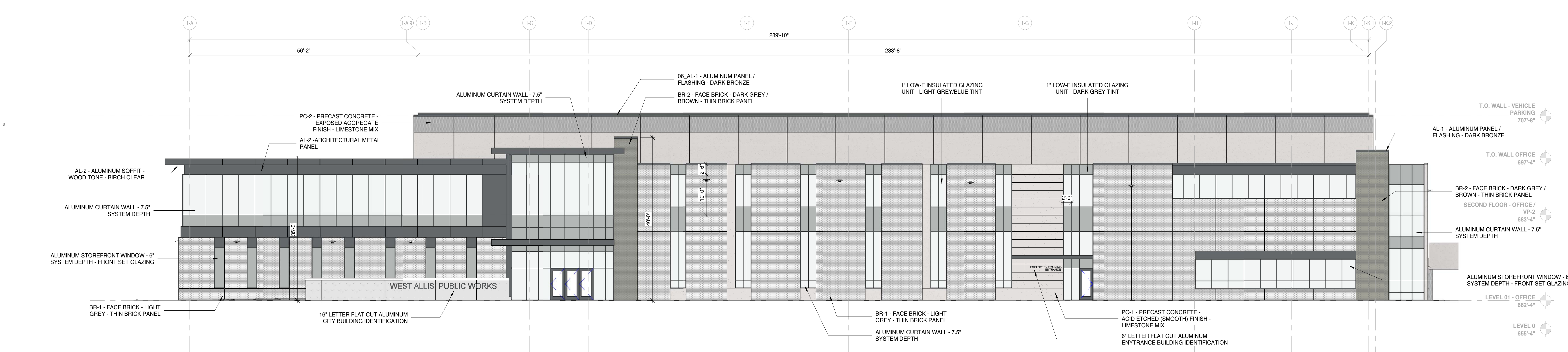
1 ELEVATION - ARCHITECTURAL A - NORTH
3/32" = 1'-0"



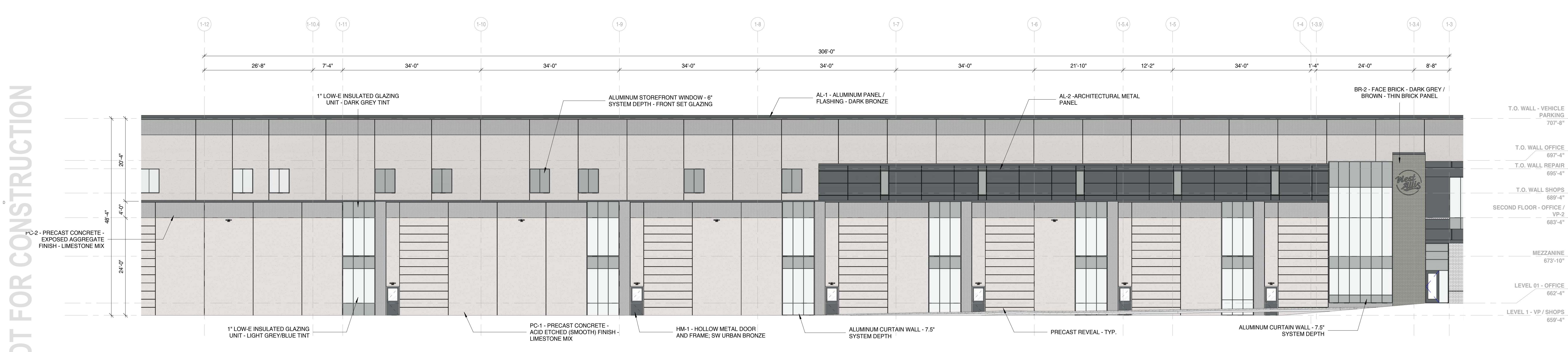
2 ELEVATION - ARCHITECTURAL B - SOUTH
3/32" = 1'-0"

PROJECT MATERIAL KEY

- 01_PC-1 - PRECAST CONCRETE - ACID ETCHED (SMOOTH) FINISH - LIMESTONE MIX
- 02_PC-2 - PRECAST CONCRETE - EXPOSED AGGREGATE FINISH - LIMESTONE MIX
- 03_CNC-1 - CAST CONCRETE - RUBBED AND SMOOTHED FINISH
- 04_BR-1 - FACE BRICK - LIGHT GREY - THIN BRICK PANEL
- 05_BR-2 - FACE BRICK - DARK GREY / BROWN - THIN BRICK PANEL
- 06_AL-1 - ALUMINUM PANEL / FLASHING - DARK BRONZE
- 06_AL-2 - ALUMINUM SOFFIT - WOOD TONE - BIRCH CLEAR



3 ELEVATION - ARCHITECTURAL A/B - WEST
3/32" = 1'-0"



4 ELEVATION - ARCHITECTURAL C - NORTH 01
3/32" = 1'-0"

NOT FOR CONSTRUCTION

1/22/2023 3:27:12 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT

Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

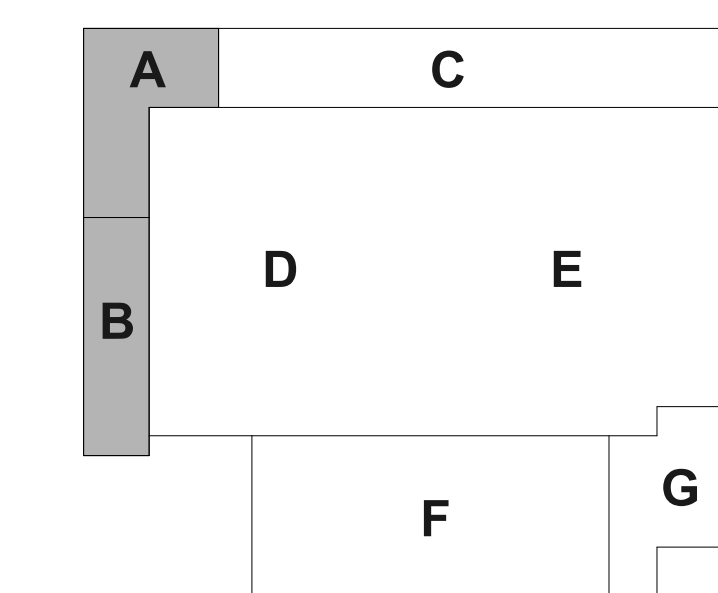
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE

KEY PLAN



SCALE: As Indicated

SHEET

SHEET TITLE:

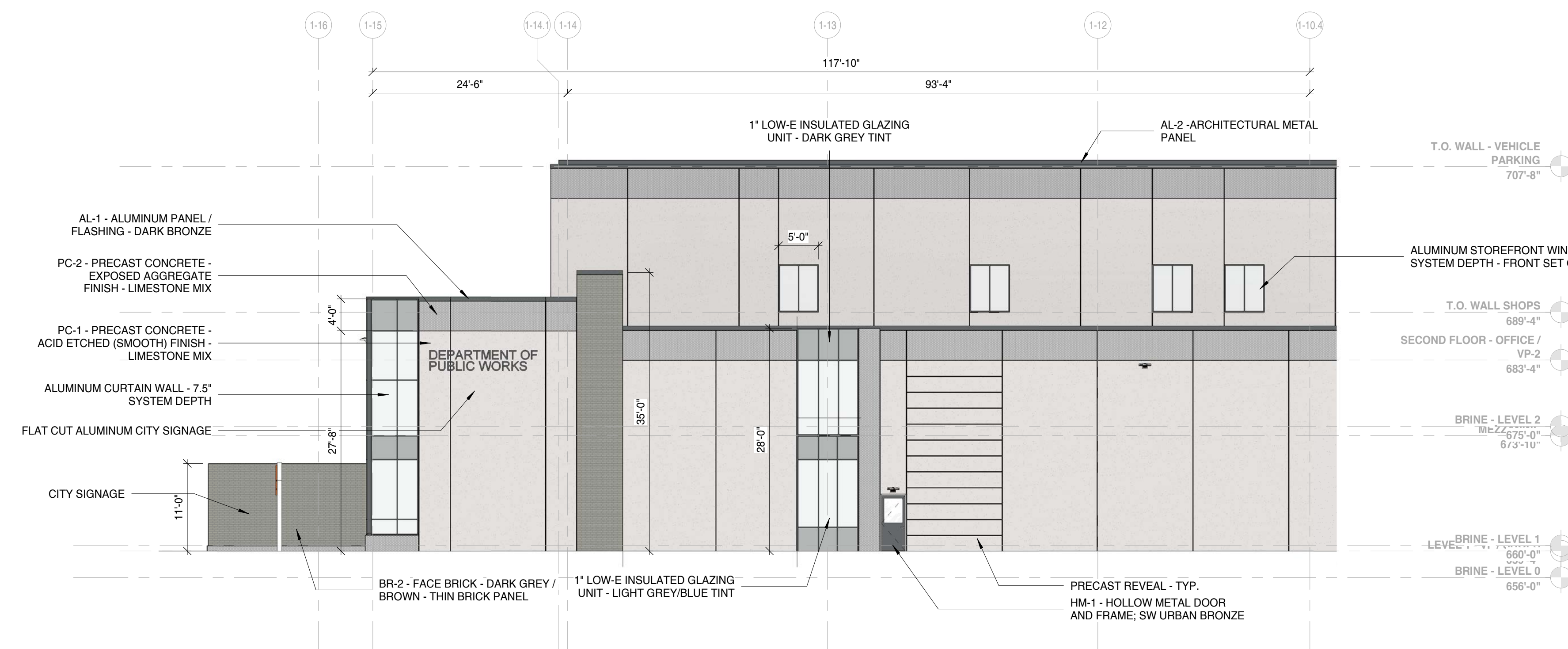
Exterior Elevations - Area C/E/G

PC211

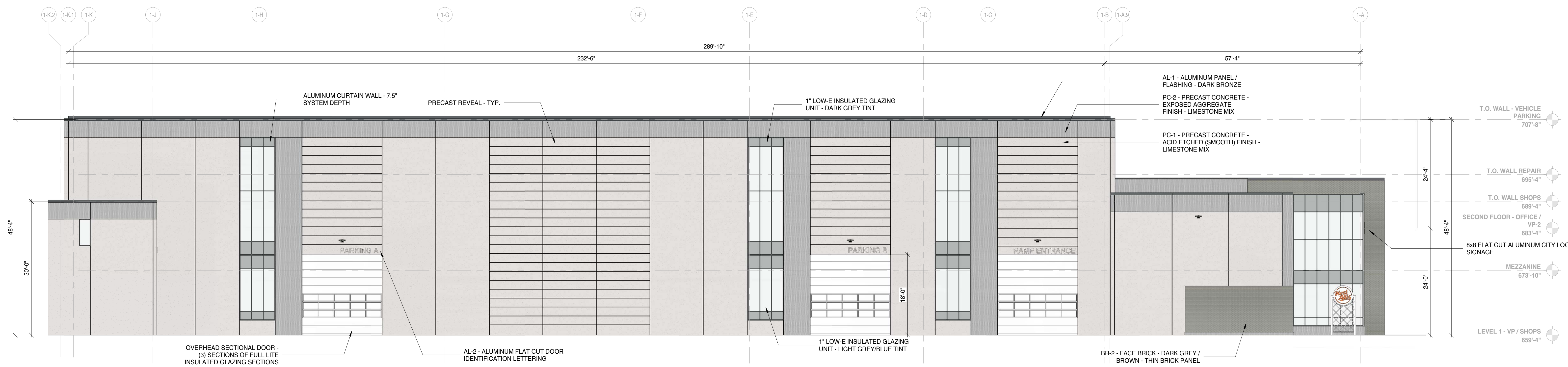
Project Status

PROJECT MATERIAL KEY

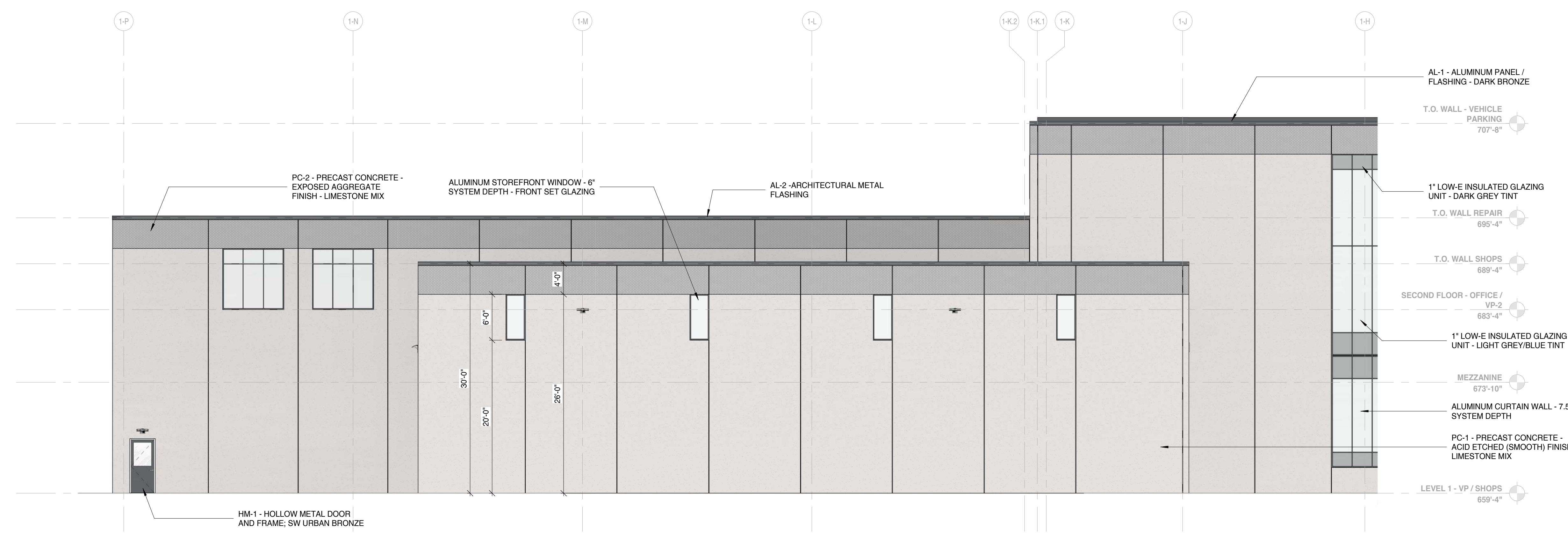
- 01_PC-1 - PRECAST CONCRETE - ACID ETCHED (SMOOTH) FINISH - LIMESTONE MIX
- 02_PC-2 - PRECAST CONCRETE - EXPOSED AGGREGATE FINISH - LIMESTONE MIX
- 03_CNC-1 - CAST CONCRETE - RUBBED AND SMOOTHED FINISH
- 04_BR-1 - FACE BRICK - LIGHT GREY - THIN BRICK PANEL
- 05_BR-2 - FACE BRICK - DARK GREY / BROWN - THIN BRICK PANEL
- 06_AL-1 - ALUMINUM PANEL / FLASHING - DARK BRONZE
- 06_AL-2 - ALUMINUM SOFFIT - WOOD TONE - BIRCH CLEAR



1 ELEVATION - ARCHITECTURAL C - NORTH 02
3/32" = 1'-0"



2 ELEVATION - ARCHITECTURAL C/E - EAST
3/32" = 1'-0"



3 ELEVATION - ARCHITECTURAL E/G - EAST
1/8" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:27:19 PM

PROJECT

PROJECT:
Public Works Facility
 53rd & W Burnham Street
 West Allis WI, 53219

OWNER:
 City of West Allis

PROJECT ISSUE DATE:
 December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
 phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
 Phone: (262) 657-8101
 Address: 10505 Corporate Drive, Suite 100
 Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
 Phone: (847) 249-8398
 Address: 4215 Grove Avenue
 Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

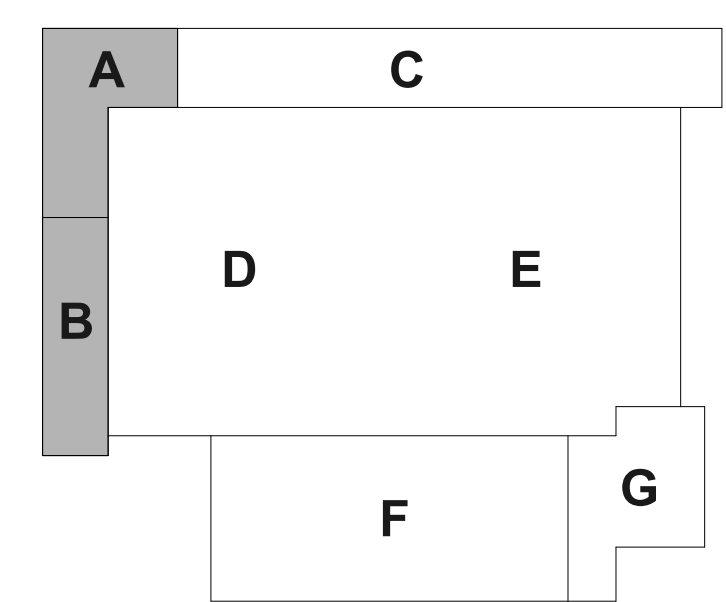
TerraTec Engineering
 Phone: (262) 377-9905
 Address: W67N222 Evergreen Blvd., Suite 205
 Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV / DESCRIPTION	DATE
-------------------	------

KEY PLAN



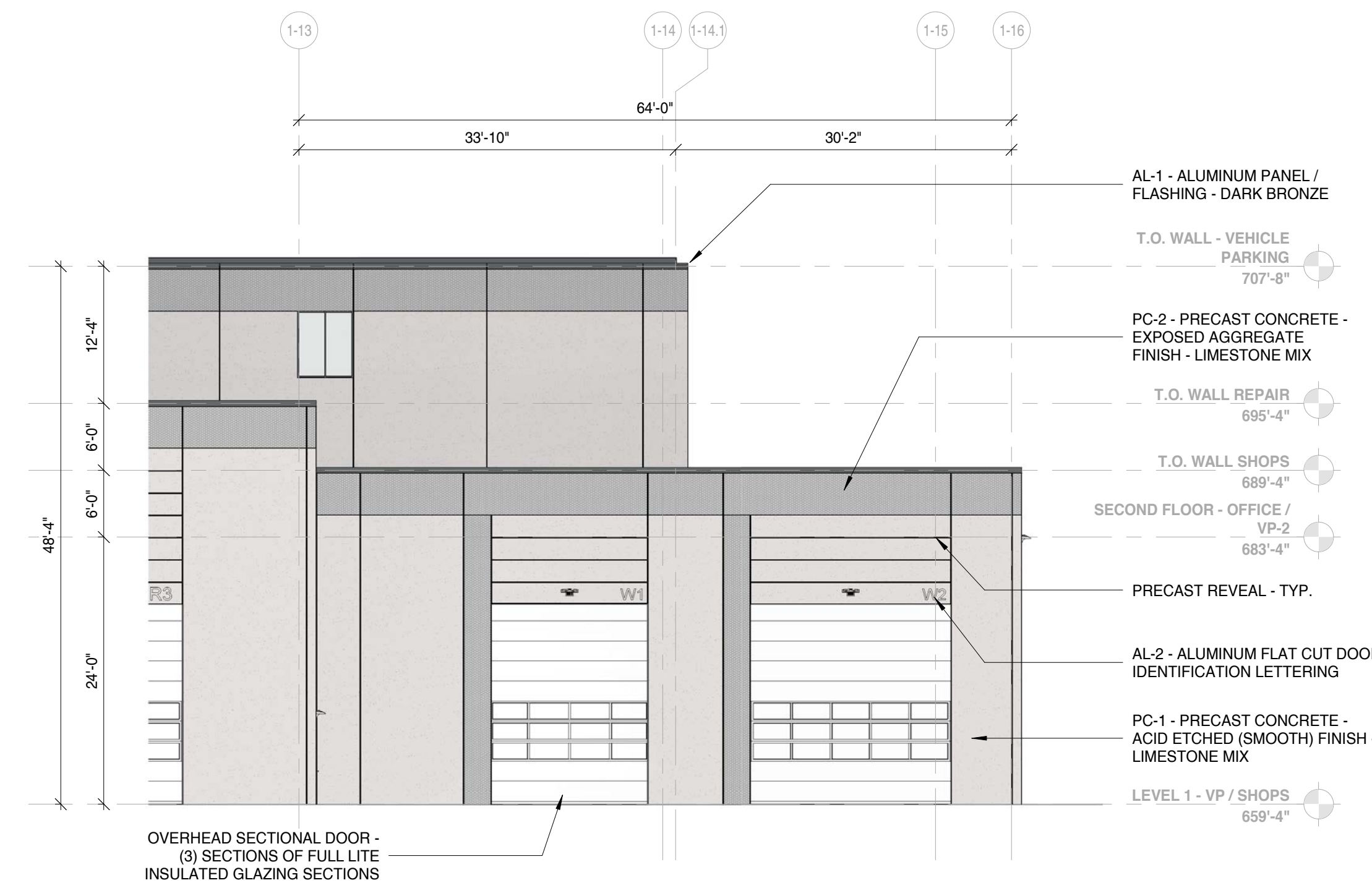
SCALE: As Indicated

SHEET

SHEET TITLE:
Exterior Elevations - Area G/F

PC212

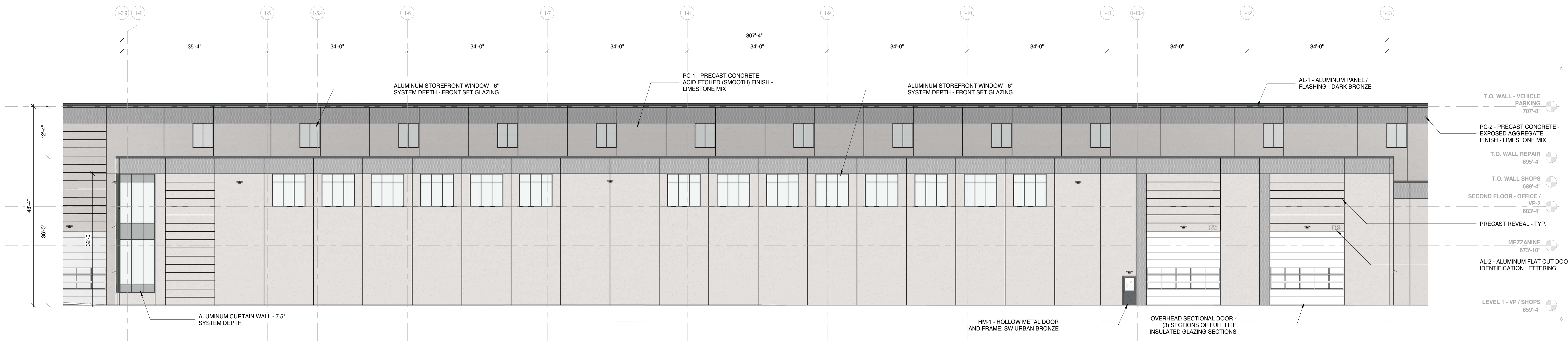
Project Status



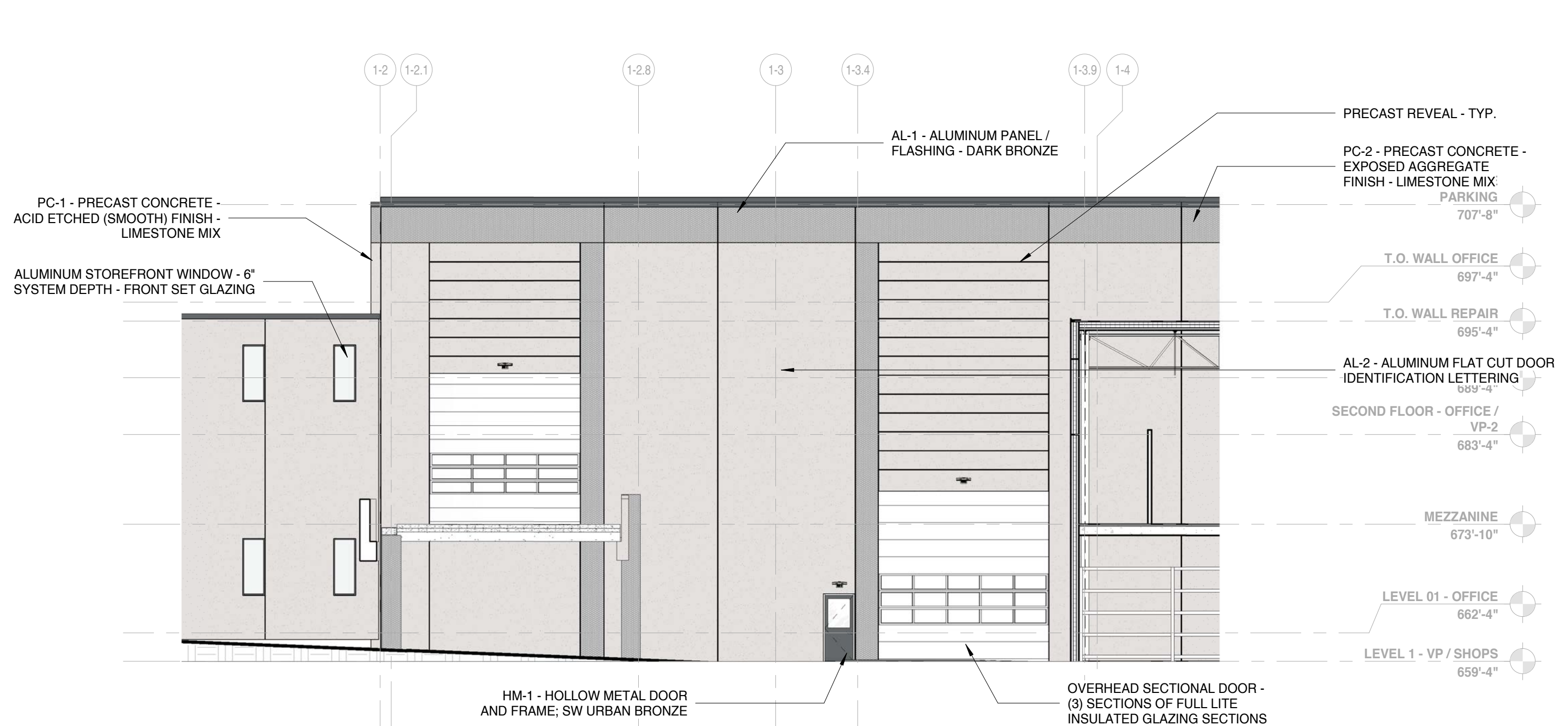
1 ELEVATION - ARCHITECTURAL G - SOUTH
 3/32" = 1'-0"

PROJECT MATERIAL KEY

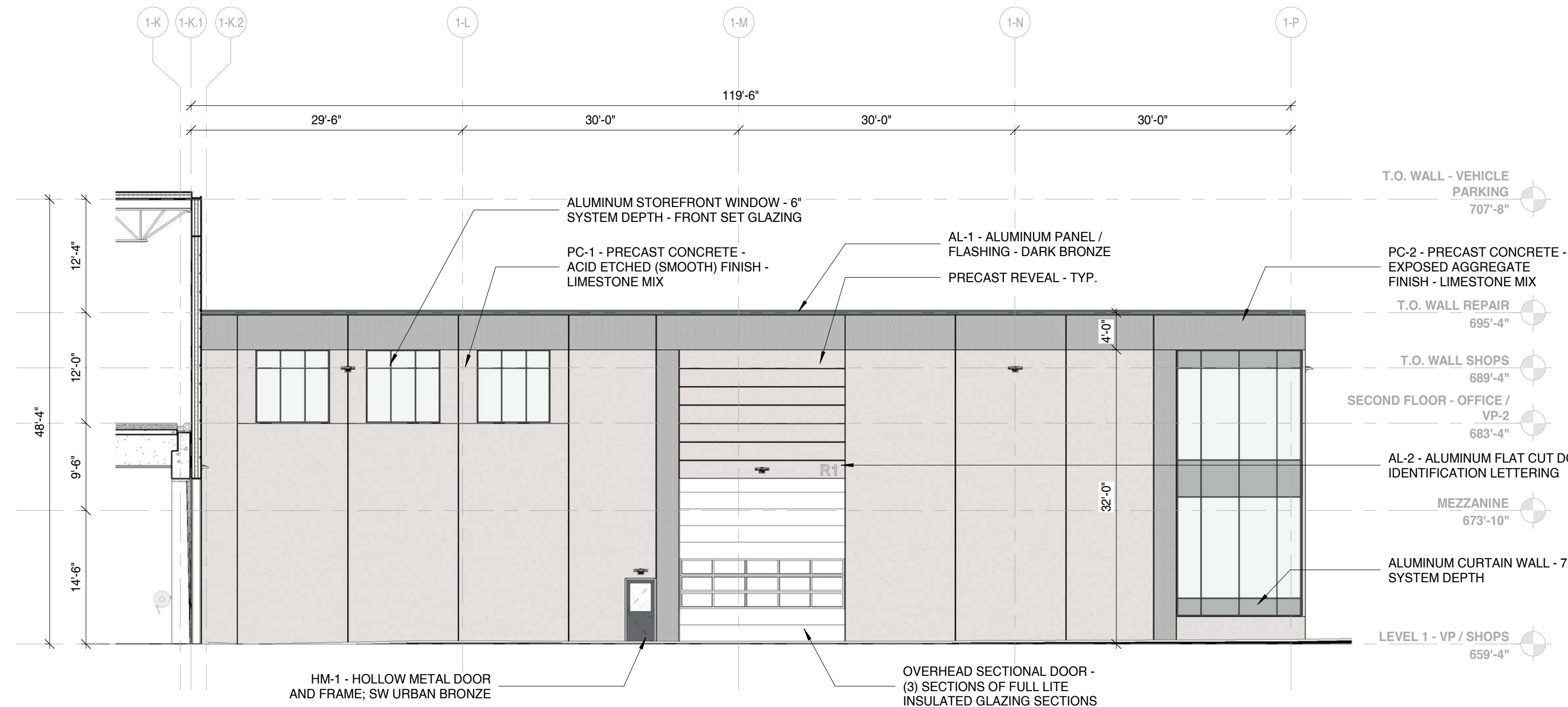
- 01_PC-1 - PRECAST CONCRETE - ACID ETCHED (SMOOTH) FINISH - LIMESTONE MIX
- 02_PC-2 - PRECAST CONCRETE - EXPOSED AGGREGATE FINISH - LIMESTONE MIX
- 03_CNC-1 - CAST CONCRETE - RUBBED AND SMOOTHED FINISH
- 04_BR-1 - FACE BRICK - LIGHT GREY - THIN BRICK PANEL
- 05_BR-2 - FACE BRICK - DARK GREY / BROWN - THIN BRICK PANEL
- 06_AL-1 - ALUMINUM PANEL / FLASHING - DARK BRONZE
- 06_AL-2 - ALUMINUM SOFFIT - WOOD TONE - BIRCH CLEAR



2 ELEVATION - ARCHITECTURAL F - SOUTH
 3/32" = 1'-0"



3 ELEVATION - ARCHITECTURAL D - SOUTH
 3/32" = 1'-0"



4 ELEVATION - ARCHITECTURAL F - WEST
 3/32" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:27:51 PM

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031
Engineer of Record - Adam Harris

CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN

SCALE: As Indicated

SHEET

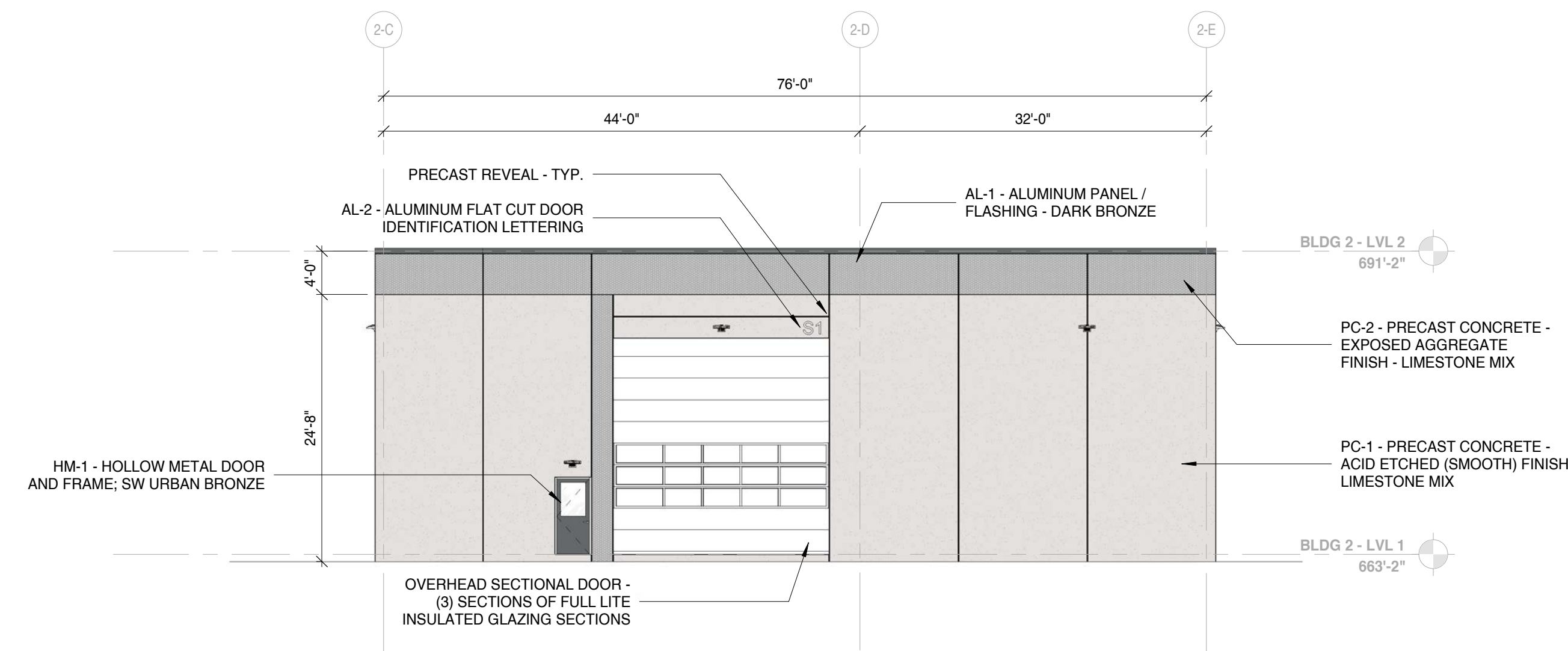
SHEET TITLE:
Exterior Elevations -
Building 02/03

PC213

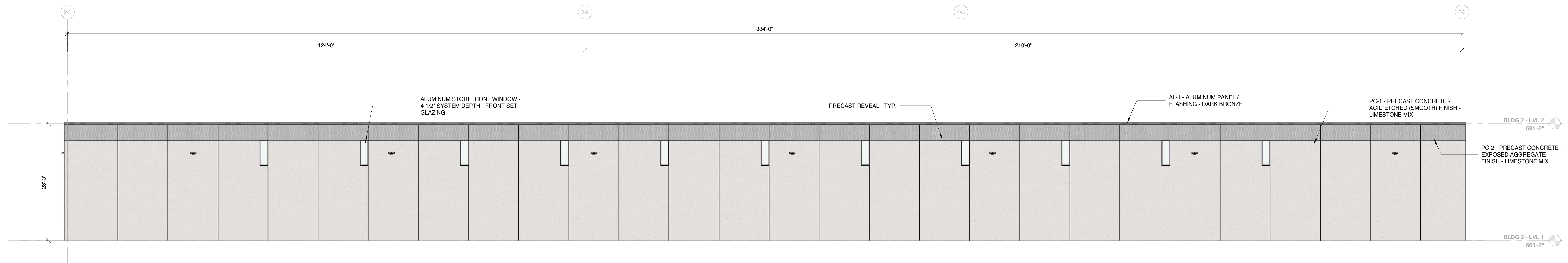
Project Status

PROJECT MATERIAL KEY

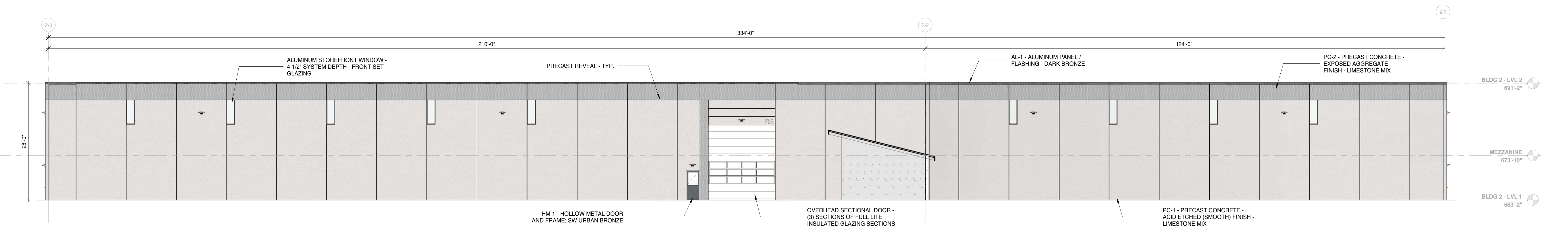
- 01_PC-1 - PRECAST CONCRETE - ACID ETCHED (SMOOTH) FINISH - LIMESTONE MIX
- 02_PC-2 - PRECAST CONCRETE - EXPOSED AGGREGATE FINISH - LIMESTONE MIX
- 03_CNC-1 - CAST CONCRETE - RUBBED AND SMOOTHED FINISH
- 04_BR-1 - FACE BRICK - LIGHT GREY - THIN BRICK PANEL
- 05_BR-2 - FACE BRICK - DARK GREY / BROWN - THIN BRICK PANEL
- 06_AL-1 - ALUMINUM PANEL / FLASHING - DARK BRONZE
- 06_AL-2 - ALUMINUM SOFFIT - WOOD TONE - BIRCH CLEAR



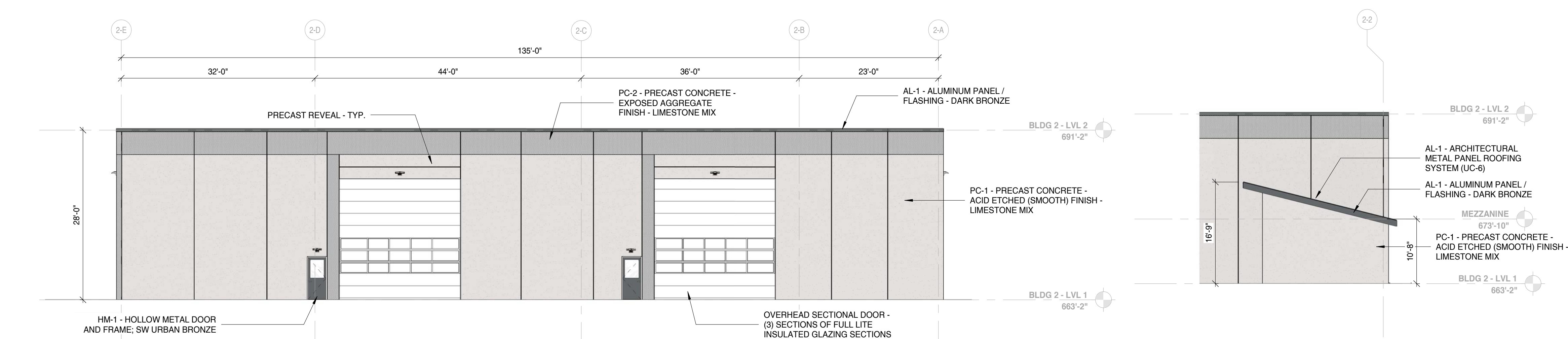
4 ELEVATION - BUILDING 02 - WEST
3/32" = 1'-0"



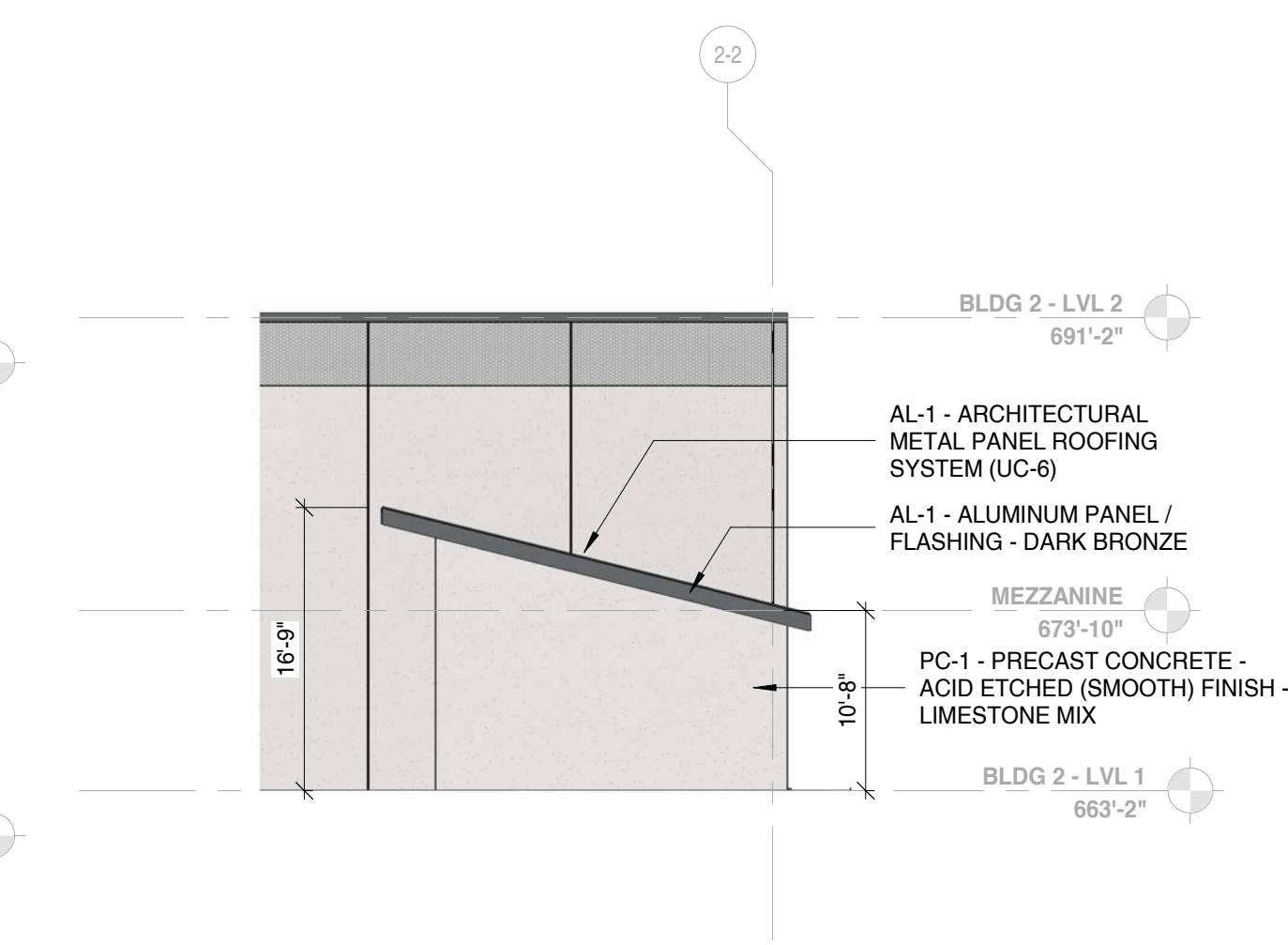
2 ELEVATION - BUILDING 02 - SOUTH
3/32" = 1'-0"



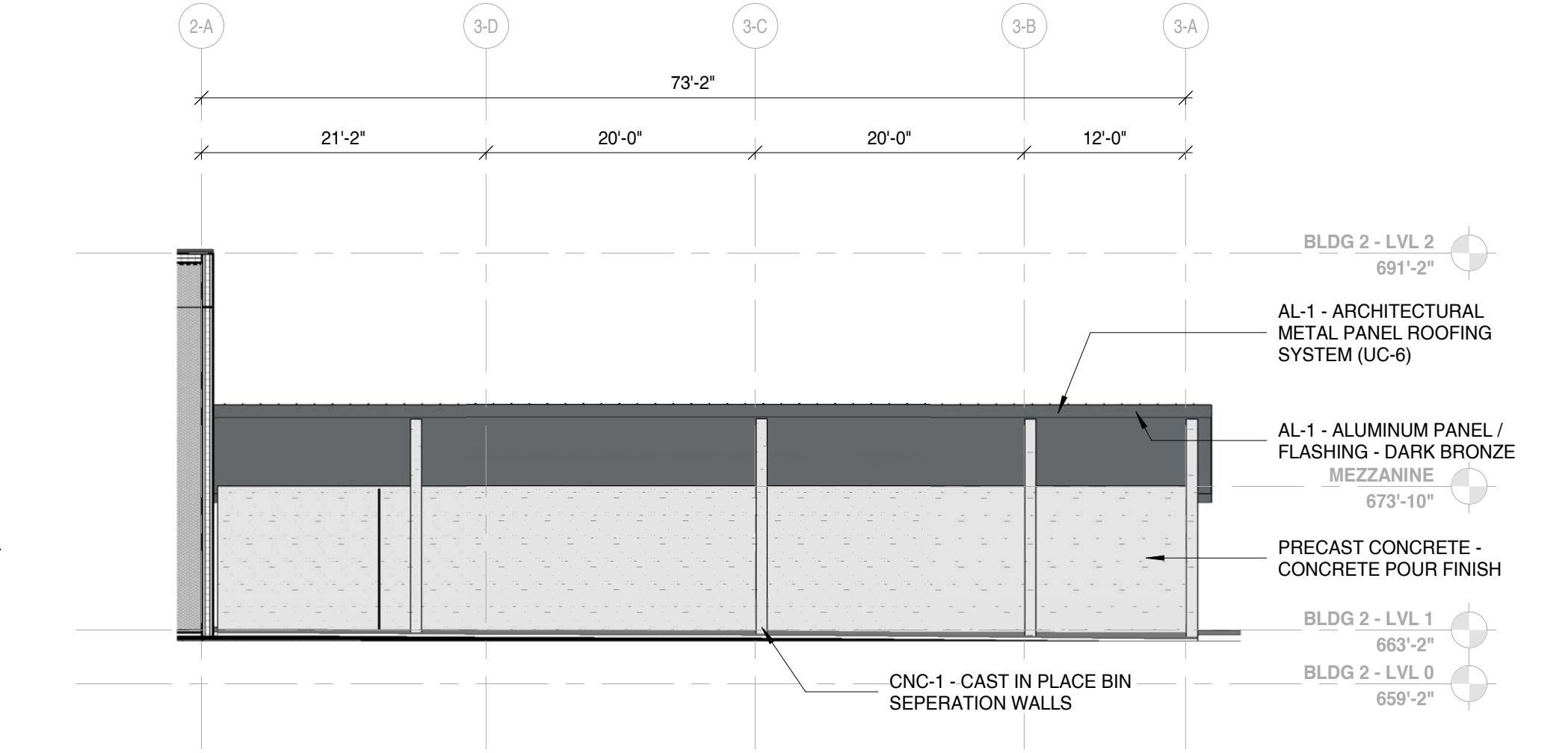
3 ELEVATION - BUILDING 02 - EAST
3/32" = 1'-0"



1 ELEVATION - BUILDING 02 - NORTH
3/32" = 1'-0"



5 ELEVATION - BUILDING 03 - NORTH
3/32" = 1'-0"



6 ELEVATION - BUILDING 03 - EAST
3/32" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:27:56 PM

PROJECT

PROJECT:
Public Works Facility

53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP

Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

CIVIL

TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV.	DESCRIPTION	DATE

KEY PLAN

SCALE: As Indicated

SHEET

SHEET TITLE:

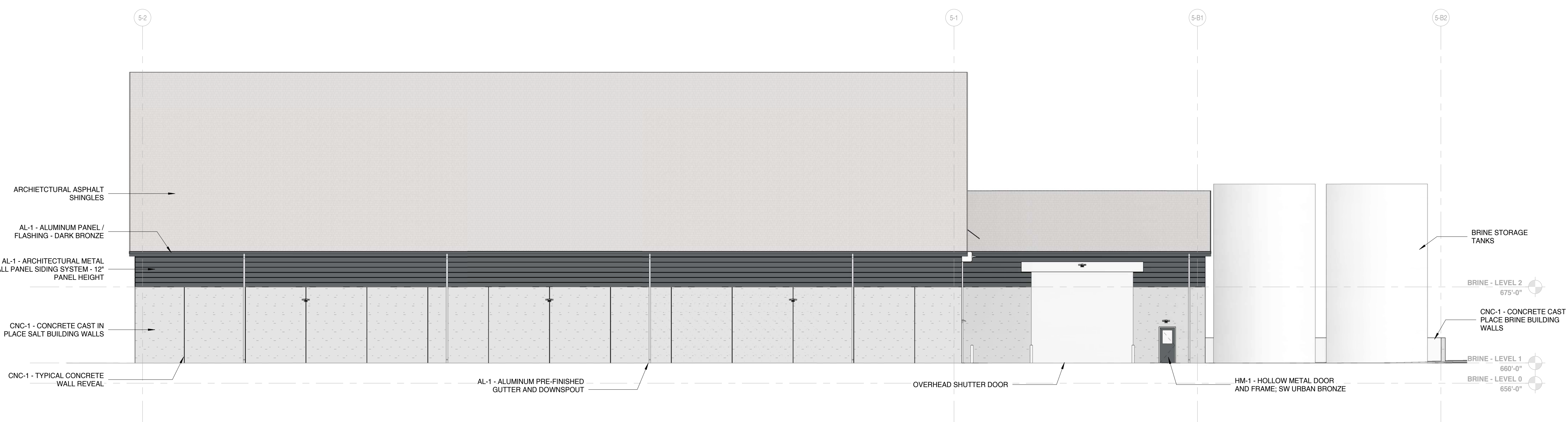
Exterior Elevations - Building 05

PC214

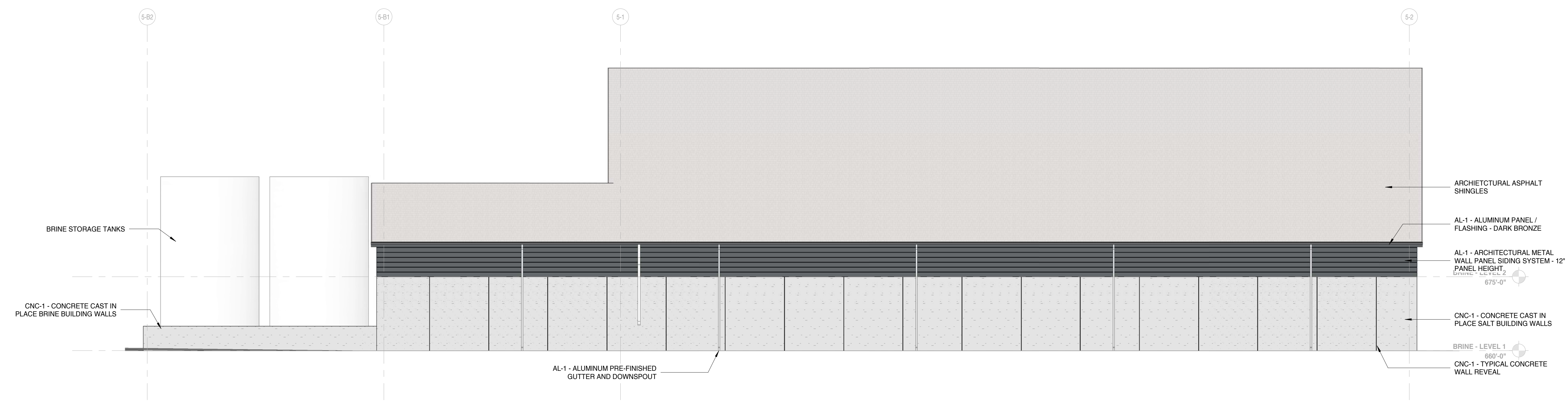
Project Status

PROJECT MATERIAL KEY

- 01_PC-1 - PRECAST CONCRETE - ACID ETCHED (SMOOTH) FINISH - LIMESTONE MIX
- 02_PC-2 - PRECAST CONCRETE - EXPOSED AGGREGATE FINISH - LIMESTONE MIX
- 03_CNC-1 - CAST CONCRETE - RUBBED AND SMOOTHED FINISH
- 04_BR-1 - FACE BRICK - LIGHT GREY - THIN BRICK PANEL
- 05_BR-2 - FACE BRICK - DARK GREY / BROWN - THIN BRICK PANEL
- 06_AL-1 - ALUMINUM PANEL / FLASHING - DARK BRONZE
- 06_AL-2 - ALUMINUM SOFFIT - WOOD TONE - BIRCH CLEAR



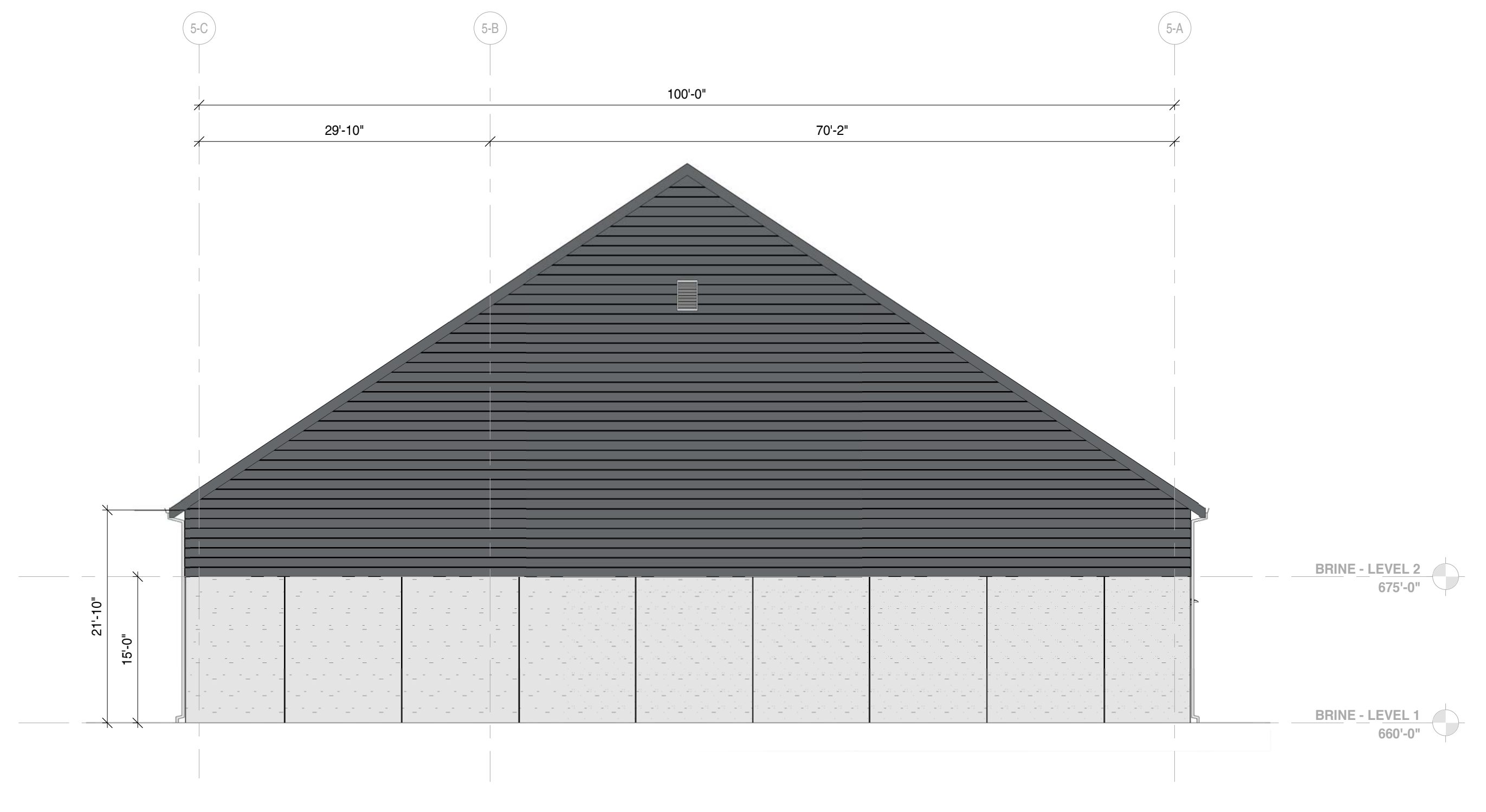
1 ELEVATION - BUILDING 05 - NORTH
3/32" = 1'-0"



2 ELEVATION - BUILDING 05 - SOUTH
3/32" = 1'-0"



4 ELEVATION - BUILDING 05 - WEST
3/32" = 1'-0"



3 ELEVATION - BUILDING 05 - EAST
3/32" = 1'-0"

NOT FOR CONSTRUCTION

12/29/2023 3:27:41 PM

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

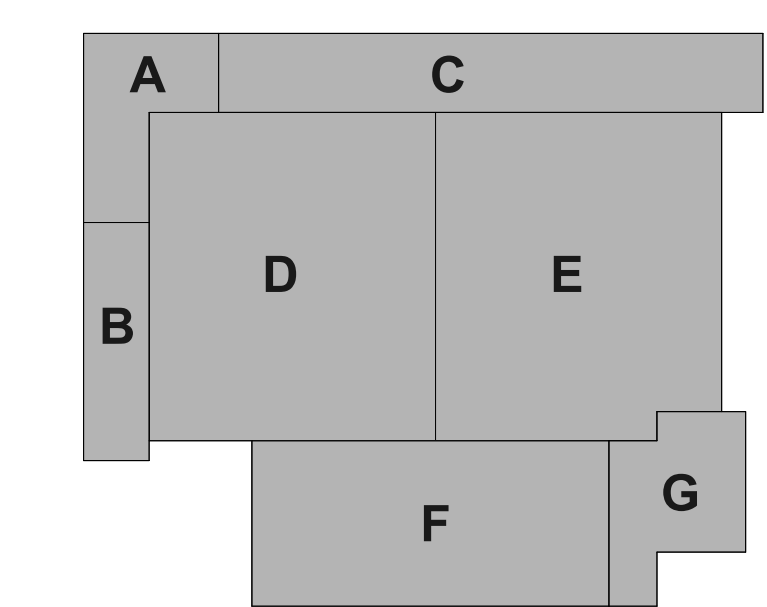
MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031
Engineer of Record - Adam Harris

CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012
Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN



SCALE: 1/2" = 1'-0"

SHEET

SHEET TITLE:
Exterior Renderings

R100

Project Status



CONCEPT RENDERING - NORTHEAST BURNHAM ENTRANCE

PROJECT

PROJECT:
Public Works Facility
53rd & W Burnham Street
West Allis WI, 53219

OWNER:
City of West Allis

PROJECT ISSUE DATE:
December 29, 2023



10505 Corporate Drive, Pleasant Prairie, WI 53158
phone: 262.657.8101 web: www.kuenyarch.com

©2023 Kueny Architects L.L.C. - All Rights Reserved

CONSULTANTS

ARCHITECT
Kueny Architects
Phone: (262) 657-8101
Address: 10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

Architect of Record - Jon P. Wallenkamp

MEP
Root Engineering Services, P.C.
Phone: (847) 249-8398
Address: 4215 Grove Avenue
Gurnee, Illinois 60031

Engineer of Record - Adam Harris

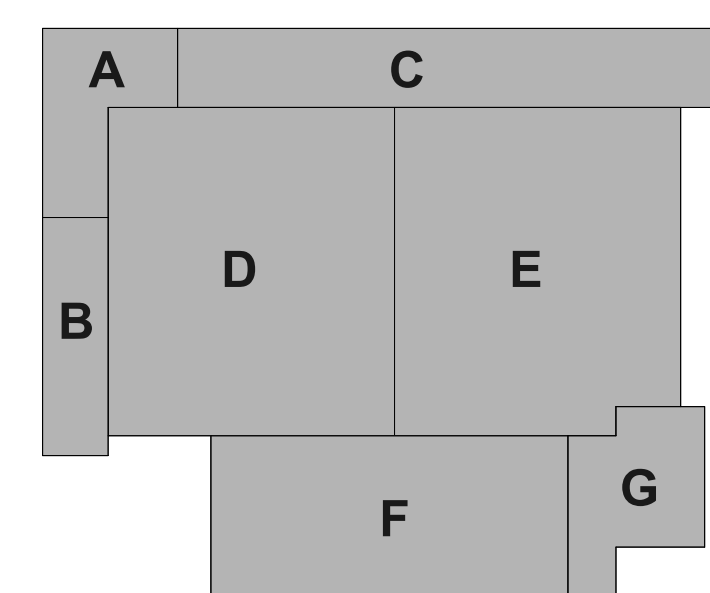
CIVIL
TerraTec Engineering
Phone: (262) 377-9905
Address: W67N222 Evergreen Blvd., Suite 205
Cedarburg, WI 53012

Engineer of Record - Linda Johnson

REVISIONS

REV. / DESCRIPTION DATE

KEY PLAN



SCALE: 12" = 1'-0"

SHEET

SHEET TITLE:
Exterior Renderings



CONCEPT RENDERING - 53RD AND BURNHAM ENTRANCE

R101

Project Status