

**CITY OF WEST ALLIS  
DEPARTMENT OF DEVELOPMENT  
STOREFRONT IMPROVEMENT AGREEMENT GRANT  
National Avenue Commercial Corridor District**

**CONTRACT**

CONTRACT NO. 2019-0061

DATE OF AWARD 1-15-2019

Distribution:

Original 1 - Clerk

Original 2 - Owner

Copy - Department of Development

PROPERTY DESCRIPTION: 8025-8031 W. Greenfield Avenue and 1408 S. 81 St.

TAX KEY NUMBER: 452-0254-001

IMPROVEMENTS (General): See attached Exhibit A – “Contractor Quotes” Exhibit B – “Approved Architectural Plans” and Exhibit C – “Budget”

TIME OF PERFORMANCE: Completed by 6/31/19

TOTAL AMOUNT OF CONTRACT: Up to \$30,000.00

THIS AGREEMENT, entered into by and between Budiac Properties LLC (hereinafter referred to as the "OWNER"), and the City of West Allis, a municipal corporation of the State of Wisconsin (hereinafter referred to as the "CITY").

Performance and schedules will be approved by John F. Stibal, Director, Department of Development (or his designee) of the City of West Allis, Department of Development.

Work may commence in accordance with approved performance and work schedules.

WITNESSETH THAT:

WHEREAS, The OWNER represents itself as being capable and qualified to undertake and have installed those certain facade improvements, as hereinafter set forth, as are required in accomplishing fulfillment of the obligations under the terms and conditions of this Contract.

NOW, THEREFORE, the parties hereto do mutually agree as follows:

- I. **FACADE IMPROVEMENTS AND REQUIREMENTS.** The OWNER hereby agrees to make the facade improvements as hereinafter set forth, all in accordance with the terms and conditions of this Contract. OWNER agrees time is of the essence and will meet all deadlines, any schedules as herein set forth, and is required to:
  - A. Do, perform, and carry out in a satisfactory, timely, and proper manner, the facade improvements delineated in this Contract.
  - B. Comply with requirements listed with respect to reporting on progress of the services, additional approvals required, and other matters relating to the facade improvements.
  - C. Comply with time schedules and payment terms.

- D. Make no changes to the building facade without Department of Development approval for a period of five (5) years from and after completion of the facade improvements, except for maintenance and changes to sign fascia for new tenants.
- II. SCOPE OF SERVICES. The OWNER shall in a satisfactory, timely and proper manner, undertake and complete the following project(s) as set forth in the attached Exhibit(s). Any Budget Amendment or Activity Report Amendment to be considered by the CITY from the OWNER must be submitted no later than ninety (90) days prior to the expiration of this Contract.
- III. AVAILABILITY OF FUNDS.
- A. Funds are made available through the Commercial Façade Improvement Grant that was established to assist properties near various Tax Increment Finance Districts (TIF) that budget funds for improvements that are within ½ mile of the TIF boundaries.
- B. In the event of such modification or reduction, the parties shall agree upon the portions of the contract to be reduced or modified.
- IV. NOTICES. Any and all notices shall be in writing and deemed served upon depositing same with the United States Postal Services as "Certified Mail, Return Receipt Requested," addressed to the OWNER at:

Name: Budiac Properties, LLC  
Address: P.O. Box 14186  
City and State: West Allis, WI 53214

and to the CITY at:

John F. Stibal, Director  
Department of Development  
City of West Allis  
7525 West Greenfield Avenue  
West Allis, Wisconsin 53214

All other correspondence shall be addressed as above, but may be sent "Regular Mail" and deemed delivered upon receipt by the addressee.

- V. TIME OF PERFORMANCE. The facade improvements to be made under the terms and conditions of this Contract shall be in force and shall commence from approval of performance and work schedules by the Director of Development, and shall be undertaken and completed in such sequence as to assure its expeditious completion in the light of the purposes of this Contract, but in any event all of the services required hereunder shall be completed as indicated on Page 1 under "Time of Performance", which is the termination date of this Contract. In addition to all other remedies incurring to the CITY should the Contract not be completed by the date specified in accordance with all of its terms, requirements and conditions therein set forth, the OWNER shall continue to be obligated thereafter to fulfill OWNER's responsibility to amend, modify, change, correct or expand thereon until the Contract is fully completed.
- VI. CONDITIONS OF PERFORMANCE AND COMPENSATION.
- A. Performance. The OWNER agrees that the performance of work, services and the results therefore, pursuant to the terms, conditions and agreements of this Contract, shall conform to such recognized high professional standards as are prevalent in this field of endeavor and like services.

B. Place of Performance. The OWNER shall make the facade improvements to the following property:

8025-8031 W. Greenfield Avenue and 1408 S. 81 St.  
West Allis, WI 53214

C. Compensation. The CITY agrees to reimburse the OWNER, subject to satisfactory completion and acceptance of the facade improvements by the Department of Development and the other contingencies herein, and the OWNER agrees to accept for the satisfactory completion of the facade improvements under this Contract an amount not to exceed the maximum as indicated on Page 1 under "Total Amount of Contract", inclusive of all expenses, it being expressly understood and agreed that in no event will the total compensation to be paid hereunder exceed said maximum sum for all of the required improvements. OWNER shall submit such invoices, statements, checks and other evidence of payment as the Department may require to verify the amount of reimbursement due under this Contract.

D. Taxes, Social Security, and Government Reporting. Personal income tax payments, social security contributions, insurance and all other governmental reporting and contributions required as a consequence of the OWNER receiving payment under this Contract shall be the sole responsibility of the OWNER.

Approved as to form this 29 day  
of January, 2019.

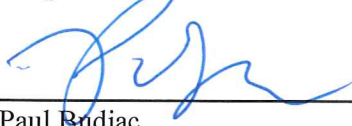
  
\_\_\_\_\_  
Nick Cerwin, Assistant City Attorney

**CITY OF WEST ALLIS**

By:   
\_\_\_\_\_  
John F. Stibal, Director  
Director of Development

Date: 1-29-18

**Budiac Properties, LLC**

By:   
\_\_\_\_\_  
Paul Budiac  
Owner & Managing Member

Date: 1-30-19

Countersigned:

By:   
\_\_\_\_\_  
Peggy Steeno  
Director of Finance

Date: 1/29/2019

**Attached**

**Exhibit A**

**“Contractor Quotes”**

**GEOFF'S CONSTRUCTION INC**

W268s7760 River Ridge Circle

Mukwonago, wi 53149 US

geoffsconst@gmail.com

**ESTIMATE**

**ADDRESS**

Paulie's Pub

8031 West Greenfield Ave

West Allis, Wi 53214

ESTIMATE # 1069

DATE 12/03/2018

EXPIRATION DATE 12/25/2018

ACTIVITY	QTY	RATE	AMOUNT
<b>Sales</b> Connect sewer to existing lateral @ 4 and catch basin @7 into 5 this assumes no road or sidewalk cutting, connection is assumed at shown per sheet p201. Removed	0	11,000.00	0.00
<b>Sales</b> Strip existing asphalt needed for addition ,Excavation, backfill, 8 loads of stone, trucking/hauling, frost wall for ramp. Removed	0	18,500.00	0.00
<b>Sales</b> Safety fence	0	3,200.00	0.00
<b>Sales</b> Erosion control	0	1,500.00	0.00
<b>Sales</b> Added or still in bid is w12@79 x30' long beam, steel post =2. Install of beam. New 24x24 post pad in basement for new post =1 other end will use existing foundation. In seating rm 101. New ramp and ramp frost walls, new slabs at with rear elevation for existing steel stairs to set on.	1	29,400.00	29,400.00
<b>Sales</b> Dumpster ALLOWANCE =4= 30 yard	1	2,220.00	2,220.00
<b>Sales</b> Prep existing building for new walls, concrete slabs, interior walls, 2= 30 yard dumpsters, flooring, demo notes 1 -22 demo of existing coping.	1	15,500.00	15,500.00
<b>Sales</b> New wall framing 144' of new walls, infill walls, added 8n wall wood posts. New 117/8" LVLS for new window headers. New enclosure over ramp entrance. Rough materials.	1	8,400.00	8,400.00
<b>Sales</b> Rough framing labor, new walls, new window headers, new covered entrance at ramp, new stair covering,	165	65.00	10,725.00
<b>Sales</b> Roofing fully adhered 60 mil black epdm, ISO r=20, coping, termination bar, 15 year manufactures warranty. New metal coping 220', corrugated metal roof at ramp entrance. If wet	0	33,932.00	0.00

ACTIVITY	QTY	RATE	AMOUNT
roof or more then 1 roof it will need to be tore off and add to bid \$7955.00			
<b>Sales</b> Siding =46 sq pre finished LP smooth 7"lap siding. And Miratec door and window trim, 128' x4'tall nichiha brick pattern siding panels (18pieces).	1	25,300.00	25,300.00
<b>Sales</b> New HM door and frame =3. Trulite ct451 2" x41/2" bronze glazed store front. 1" clear insulated lowe-e glass =2, type #2 =2, type #3=2, type #4=5. Interior vestibule, 2 = interior 3'x7' single doors. 1= 7x8' glass style garage door =\$4500	1	38,725.00	38,725.00
<b>Sales</b> Epoxy floor for rooms 103, 104, 105 850sq ft add 1/4" Durarock backer board over 3/4"subfloor, 100% solids self leveling epoxy system 3/16" thick (approx.) Micro product 1882 solids colored epoxy top coat broadcast vinyl chips to rejection and install clear anti slip media. 180' of integrated base.	1	14,450.00	14,450.00
<b>Sales</b> VCT floor instead \$3 per sq ft allowance \$3 sq ft install.	2,100	6.00	12,600.00
<b>Sales</b> 2 carrier gas fired 6 ton RTU 48tcra07 , stainless heat exchanger, 2 speed fan, 1 roof top curb, exposed spiral ducting per plan no welding, 2 Honeywell thermostats, 2 smoke detectors, demo of existing hvac and gas piping, 3 captivaire hoods#6024nd, 10 foot long, exhaust only with perforated supply, 3 captivaire exhaust fans a3d750, 1 ansul 12 gallon fire system with remote pull station, 1 captivaire #a3d750 air unit 10 tons, 1 electrical panel with remote heat control, make up air duct to kitchen hood, this part of estimate is from owner provided contact at Daiker hvac. Not included is engineered plans, plan exam,disconnection from fire suppression inclosure of duct work on side of building.	1	122,369.00	122,369.00
<b>Sales</b> Interior plumbing provide and install. 2 Ada tank type water closets high line k-4199/k4468/k4468r, 2 non Ada tank type water closets well worth, 4 open seats mainline, 2 urinals bardon k4991, 2 Sloan 1.0 gallon urinal flush valves 186 1xl, 5 drop in 20x17 cc lavs sinks mainline hi 400, 5 lavatory faucets coralais k15199, plumbing plan design, state submittal to West allis, permit, demo of existing plumbing, relocate owner existing dishwasher, relocate owners existing prewash, disposer and faucet, relocate owners existing 3 compartment sink. Notes.. connection to existing water distribution system, re use of owners grease interceptor in place.	1	18,250.00	18,250.00
<b>Sales</b> 3 hvac unit 30 amp max, 1 make up air Bar.. demo bar equipment, 3 cooler wiring 120v 20 a existing. 1 dishwasher existing, 6 grid outlet existing, 8 bar lights 1 switch owner supplied. 8 hang lights over table 1 switch owner supplied. Seating.. demo, 2o light hang owner supplied 1 switch, 6 window outlets, 2 20 a circuits 1 switch, 1 relocate 50 a band	1	39,800.00	39,800.00

ACTIVITY	QTY	RATE	AMOUNT
outlet, 2 outlets on ceiling , 1 20 a circuit 1 switch. Kitchen... demo. 1 pizza ref 120v 20 a, 1 reach in ref, 1 reach in freezer, 4 heat lamps, 1 pizza prep refer, 1 sandwich prep, 1 microwave, 1 undercounter ref, 8 hang lights owner supplied 3 way switch. Men's bath and womens...2 lights owner supplied, 1 exhaust fan, 1 recipes outlet, 2 urinal power flush, 2 lights owner supplied, 1 exhaust fan, 1 grid outlet, Outdoor... 17 lights on photo eye owner supplied. Notes. Exit and emergency lights not included. No lighting calcs existing wiring issues not in bid, there will be power outages during construction,			
<b>Sales</b> Black Aluminum (Rail Blazers) hand and guard rail at new ramp.	1	3,000.00	3,000.00
<b>Sales</b> On site office / locked storage container 4 months	0	2,800.00	0.00
<b>Sales</b> Bathroom wall tile 520 sq ft, entrance floor tile, base, grab bars, toilet partitions, interior doors6, mirrors 2, eliminating from estimate	0	15,600.00	0.00
<b>Sales</b> Batts insulation	1	2,400.00	2,400.00
<b>Sales</b> Drywall new walls to level 4 smooth. Patch existing as needed. Ceiling at bar and seating area, 2100 sq ft of ceiling	1	15,400.00	15,400.00
<b>Sales</b> 749 sq ft of VCSR ceiling tiles.	1	4,800.00	4,800.00
<b>Sales</b> #7 wainscot = 142' diamond plate steel, re claimed 1x4 1/2" hex bolts, labor to install	1	9,700.00	9,700.00
<b>Sales</b> General contracting fee 7% of job total PLEASE ADD TO BID AT THE END OF JOB when all additions and or subtractions have been made to job total. With progress payments to be made with regular draws	1	33,000.00	33,000.00
<b>Sales</b> Site street sweeper	0	3,000.00	0.00
<b>Sales</b> Temporary outside night security lighting Allowance	0	2,000.00	0.00
<b>Sales</b> Primer and paint new drywall, patched areas to match as best as possible,	1	8,500.00	8,500.00
<b>Sales</b> If needed.. reserve road parking permits please add to bid \$800	1	0.00	0.00
<b>Sales</b> 2050 sq ft Approx 1 1/2" thick to rooms 101, 102 and 109. If fire safing paint is needed please add to estimate \$3600, foam eliminated from estimate	2,050	0.00	0.00
<b>Sales</b> FRP 4x8ft sheets wall panels in kitchen and trim accesories ,	25	90.00	2,250.00

ACTIVITY	QTY	RATE	AMOUNT
25 sheets, white.			
TOTAL			<b>\$416,789.00</b>

Accepted By

Accepted Date



**Attached**

**Exhibit B**

**“Architectural Plans”**

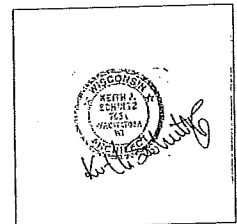
PAULIES PUB AND EATERY  
 8031 WEST GREENFIELD AVENUE  
 WEST ALLIS, WI 53214

△ INTERIOR/ EXTERIOR ALTERATIONS

DRAWING INDEX:

SHEET A1.0	COVER SHEET, INDEX AND CODE REVIEW
SHEET SP1.1	EXISTING SITE AND DEMOLITION
SHEET A1.1	FIRST FLOOR AND ELEVATION DEMOLITION
SHEET A1.2	REVISED FIRST FLOOR AND BASMENT PLAN
SHEET A1.3	REVISED ELEVATIONS
SHEET A1.4	REVISED ELEVATION; SECTION CUT AND SCHEDULES
SHEET A1.5	DETAILS
SHEET S001	LEGENDS, SCHEDULES, ABBREVIATION AND NOTES
SHEET S002	STRUCTURAL SPECIFICATIONS
SHEET 9101	FOUNDATION AND FIRST FLOOR DEMOLITION PLANS
SHEET S201	FOUNDATION AND FIRST FLOOR FRAMING PLAN
SHEET S301	DETAILS

△ CODE REVIEW:  
 ALTERATION LEVEL 2 - 916 SF TOTAL ALTERATION; LESS THAN 50%  
 USE AND OCCUPANCY: A2 - TAVERN/ BAR  
 TABLE 601; EXISTING BUILDING TYPE VB  
 TABLE 707.3.9; FIRE BARRIER FIRE RESISTANCE 2 HOURS - EXIT ENCLOSURE  
 TABLE 1016.1; EXIT ACCESS TRAVEL DISTANCE UNSPRINKLERED 200 LF  
 TABLE 2902.1; MINIMUM REQUIRED PLUMBING FIXTURES; 1 WC PER 40 FOR MEN/ WOMEN;  
 LAVATORIES 1 PER 75 FOR MEN/ WOMEN; 1 SERVICE SINK  
 TABLE 1004.1.1 ASSEMBLY AREA WITH UNCONCENTRATED TABLES AND CHAIRS - 15 SF NET  
 902.2.1.3 - FIRE AREA IS LESS THAN 5000 SF - 3035 SF  
 902.2.1.3 (2) FIRE AREA HAS CAPACITY OF LESS THAN 100  
 TOTAL SEATING AREA 1377 SF @ 15 SF - 92 SEATING CAPACITY  
 EXISTING BUILDING: 3035 SF

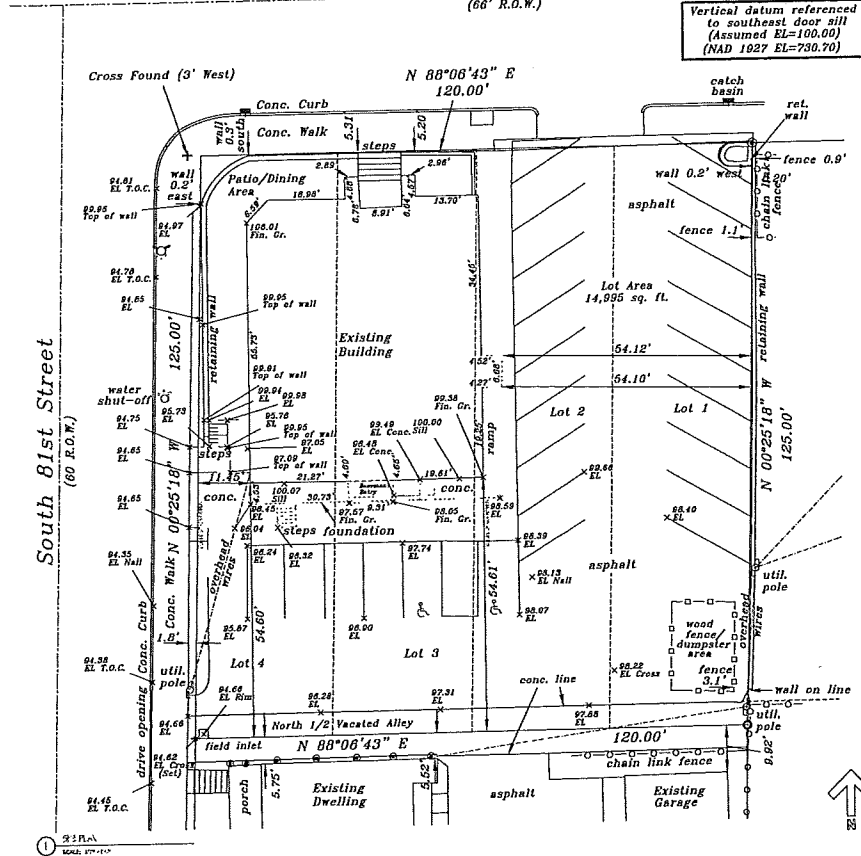


PAULIES PUB AND EATERY ALTERATION  
 8031 WEST GREENFIELD AVENUE  
 WEST ALLIS, WI 53214  
 PROJECT NO. 18088  
 DATE 12/17/21  
 DRAWN BY  
 CHECKED BY  
 DATE CONDATE  
 CITY DATE, NAME  
 AND DATE REVIEW  
 SHEET  
 A0.1  
 1 OF 12  
 CITY FINALS

ARCHITECT  
 SchultzWerk  
 Architecture, Inc  
 2525 NORTH WATSON STREET  
 MILWAUKEE, WI 53222  
 (414) 778-1127  
 schultz@swa.com  
 REGISTERED PROFESSIONAL ARCHITECT  
 ARCHITECT  
 KEITH J. SCHMITZ, R.A., AIA  
 LICENSE  
 NUMBER 1251  
 EXPIRES 03/31/22

West Greenfield Avenue  
(66' R.O.W.)

Vertical datum referenced  
to southeast door sill  
(Assumed EL=100.00)  
(NAD 1927 EL=730.70)



South 81st Street  
(60 R.O.W.)

1  
3/21/14  
SCALE: 1/8" = 1'-0"

PAULIES PUB AND EATERY ALTERATION  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

ARCHITECT  
SchultzWerk  
Architecture, Inc.  
2015 WISCONSIN BLVD. SUITE 200  
MILWAUKEE, WI 53212  
TEL: 414.224.1111  
WWW.SCHULTZWERK.COM

REGISTERED PROFESSIONAL ARCHITECT  
STATE OF WISCONSIN  
NO. 100000000

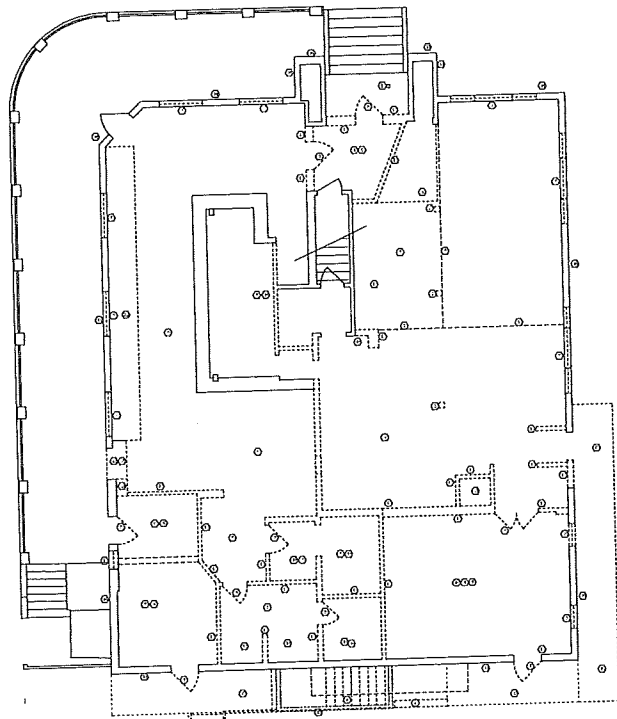


RECORD NO. 2014 01 04

CITY FINALS

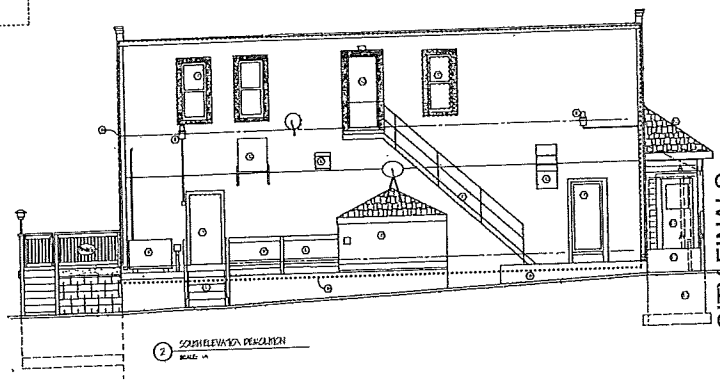
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DATE 12/17/2014  
DRAWN BY  
CHECKED BY  
BEST INTERESTS  
ENGINEERING PLAN  
REVISION

SHEET  
SP.1.1  
3 OF 11



1. FIRST FLOOR REVISIONS  
SCALE: 1/4" = 1'-0"

- 1. REMOVE WALL
- 2. REMOVE WALL
- 3. REMOVE WALL
- 4. REMOVE WALL
- 5. REMOVE WALL
- 6. REMOVE WALL
- 7. REMOVE WALL
- 8. REMOVE WALL
- 9. REMOVE WALL
- 10. REMOVE WALL
- 11. REMOVE WALL
- 12. REMOVE WALL
- 13. REMOVE WALL
- 14. REMOVE WALL
- 15. REMOVE WALL
- 16. REMOVE WALL
- 17. REMOVE WALL
- 18. REMOVE WALL



2. EXTERIOR ELEVATION REVISIONS  
SCALE: 1/4" = 1'-0"

PAULIES PUB AND EATERY ALTERATION  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

ARCHITECT  
SchultzWerk  
Architecture, Inc.  
2500 WISCONSIN AVENUE  
MILWAUKEE, WI 53212  
414.778.1127  
www.schwartz.com

REGISTERED ARCHITECTS  
STATE OF WISCONSIN, NO. 10000



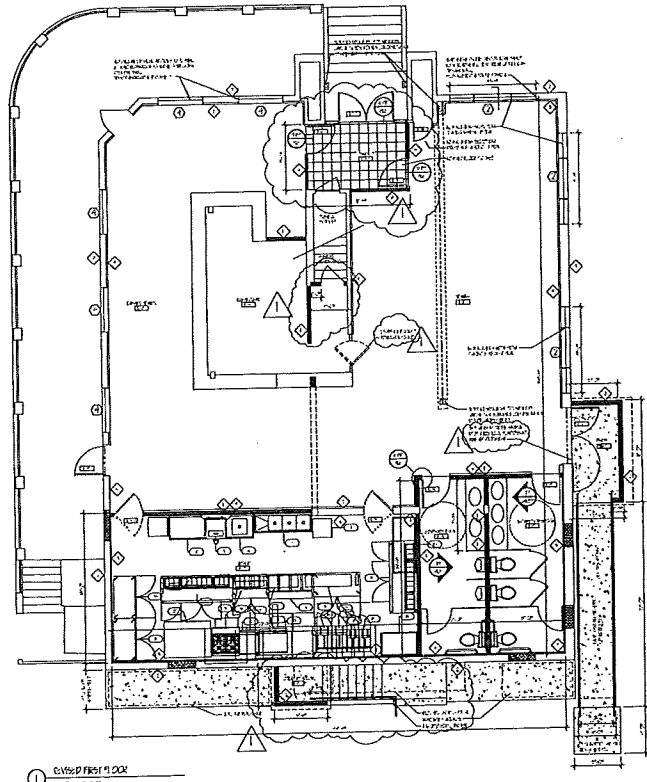
ISSUANCE  
REVISED 0115 BY 18

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DATE 11/20/18  
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CHECKED BY

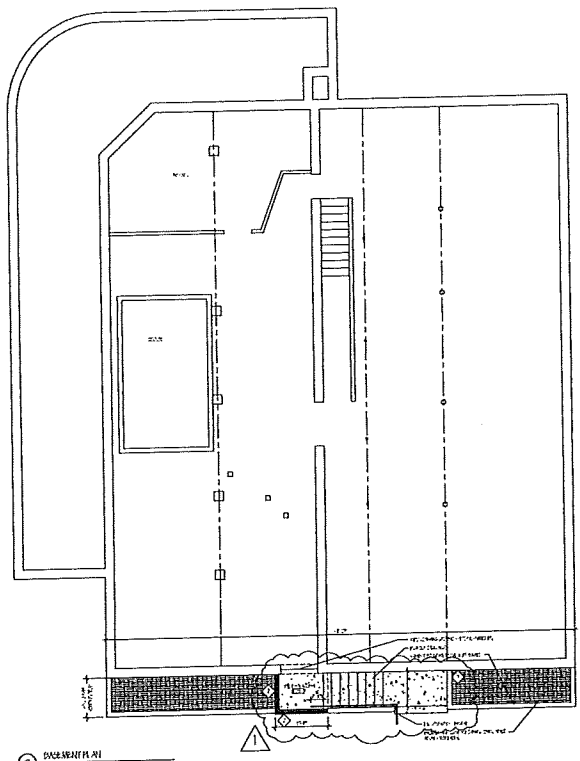
SHEET IDENTIFY  
FIRST FLOOR  
AND EXTERIOR  
REVISIONS

SHEET  
A1.1  
1 OF 12

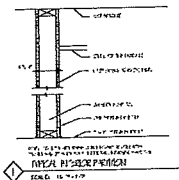
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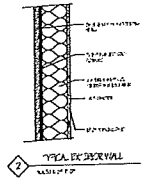
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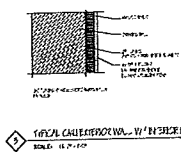
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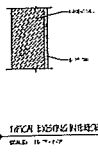
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SCALE: 1/8" = 1'-0"



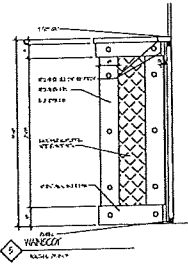
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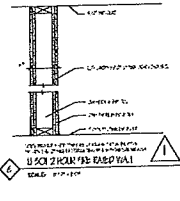
3 TYPICAL CANTILEVERED WALL  
SCALE: 1/8" = 1'-0"



4 TYPICAL EXISTING INTERIOR WALL  
SCALE: 1/8" = 1'-0"



5 TYPICAL GLASS PARTITION  
SCALE: 1/8" = 1'-0"



6 TYPICAL EXISTING EXTERIOR WALL  
SCALE: 1/8" = 1'-0"

PAULIES PUB AND EATERY ALTERATION  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

ARCHITECT  
SchulzWerk  
Architecture, Inc.  
2515 NORTH WISCONSIN STREET  
MILWAUKEE, WI 53233  
414.778.1127  
www.schw.com

ARCHITECT  
JOHN SCHULTZ, AIA, LEED AP

CITY FINALS

PROJECT NO. 102130  
DATE 12/16/2010  
DRAWN BY  
CHECKED BY  
SCALE FIRST FLOOR  
SCHEDULE PLAN  
WALL DETAIL

SHEET  
A1.2  
1 OF 12

PAULIES PUB AND EATERY ALTERATION  
 8031 WEST GREENFIELD AVENUE  
 WEST ALLIS, WI 53214

SCHULTZWERK  
 Architecture, Inc.  
 2015 ACORN BLVD. SUITE 100  
 WEST ALLIS, WI 53214  
 414.774.1147  
 schultzwerk.com

ARCHITECT  
 KEVIN SCHULTZ, R.A., AIA

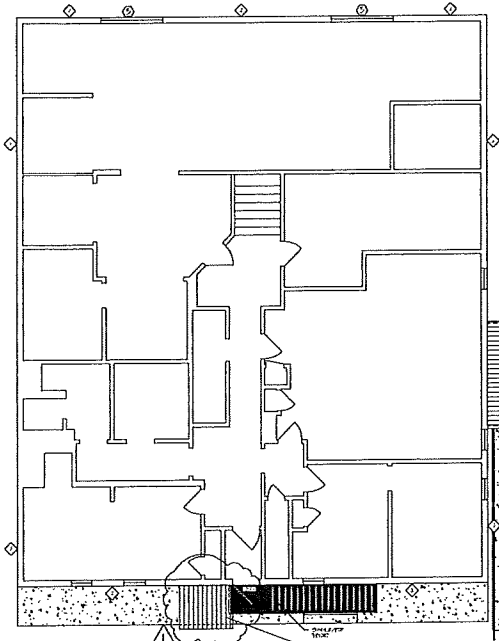


REVISIONS  
 NUMBER DATE BY

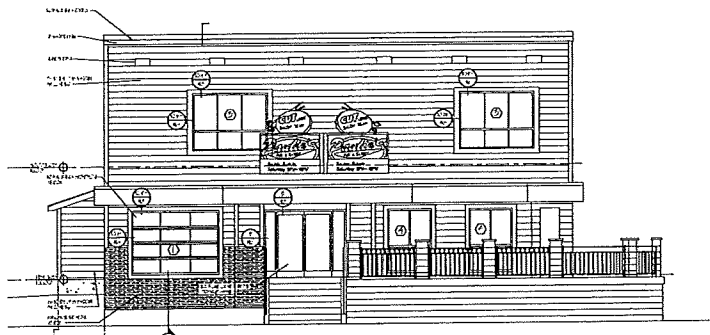
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 REVISION ELEVATIONS

SHEET  
 A1.3  
 2 OF 12

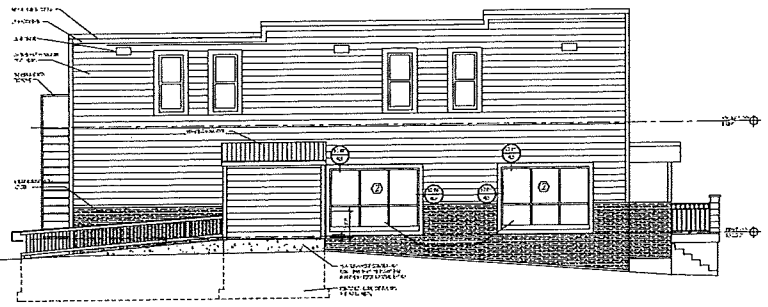
CITY FINALS



1 SECOND FLOOR  
 SCALE 1/8" = 1'-0"



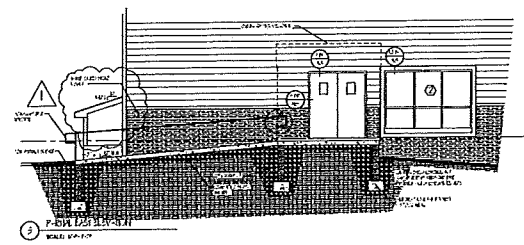
2 NORTH ELEVATION  
 SCALE 1/8" = 1'-0"



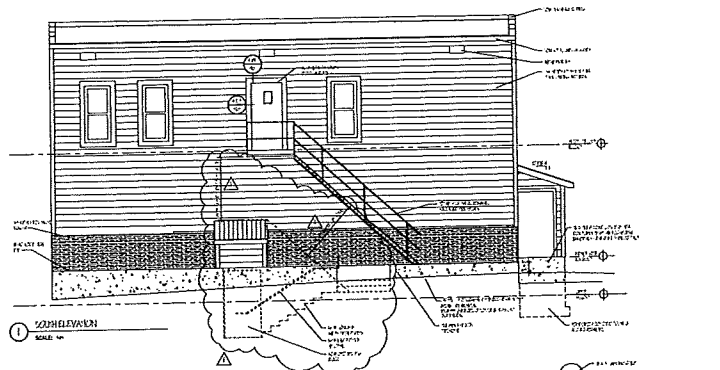
3 EAST ELEVATION  
 SCALE 1/8" = 1'-0"



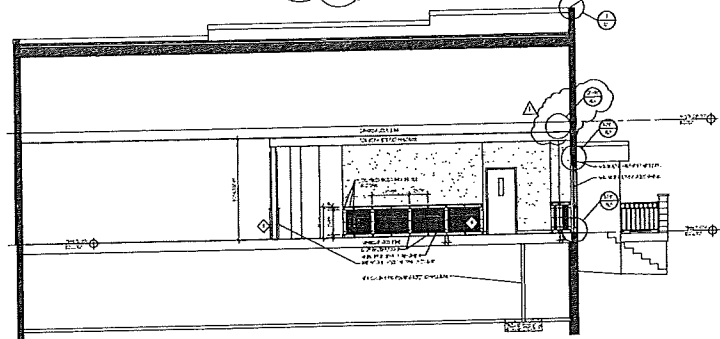
4 WEST ELEVATION  
 SCALE 1/8" = 1'-0"



5 SOUTH ELEVATION  
 SCALE 1/8" = 1'-0"



1 ELEVATION  
SCALE: 1/8" = 1'-0"

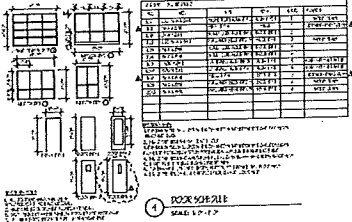


2 LONGITUDINAL SECTION  
SCALE: 1/8" = 1'-0"

ALL MATERIALS TO BE SHOWN IN THIS SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	CU YD	120.00	12000.00
2	STEEL	50	TON	100.00	5000.00
3	BRICK	1000	SQ YD	10.00	10000.00
4	CEMENT	50	TON	100.00	5000.00
5	WOOD	100	CU YD	100.00	10000.00
6	GLASS	100	SQ YD	10.00	1000.00
7	PAINT	100	GA	10.00	1000.00
8	ROOFING	100	SQ YD	10.00	1000.00
9	MECHANICAL	100	HR	10.00	1000.00
10	ELECTRICAL	100	HR	10.00	1000.00
11	PLUMBING	100	HR	10.00	1000.00
12	LANDSCAPE	100	HR	10.00	1000.00
13	CONCRETE	100	CU YD	120.00	12000.00
14	STEEL	50	TON	100.00	5000.00
15	BRICK	1000	SQ YD	10.00	10000.00
16	CEMENT	50	TON	100.00	5000.00
17	WOOD	100	CU YD	100.00	10000.00
18	GLASS	100	SQ YD	10.00	1000.00
19	PAINT	100	GA	10.00	1000.00
20	ROOFING	100	SQ YD	10.00	1000.00
21	MECHANICAL	100	HR	10.00	1000.00
22	ELECTRICAL	100	HR	10.00	1000.00
23	PLUMBING	100	HR	10.00	1000.00
24	LANDSCAPE	100	HR	10.00	1000.00
25	CONCRETE	100	CU YD	120.00	12000.00
26	STEEL	50	TON	100.00	5000.00
27	BRICK	1000	SQ YD	10.00	10000.00
28	CEMENT	50	TON	100.00	5000.00
29	WOOD	100	CU YD	100.00	10000.00
30	GLASS	100	SQ YD	10.00	1000.00
31	PAINT	100	GA	10.00	1000.00
32	ROOFING	100	SQ YD	10.00	1000.00
33	MECHANICAL	100	HR	10.00	1000.00
34	ELECTRICAL	100	HR	10.00	1000.00
35	PLUMBING	100	HR	10.00	1000.00
36	LANDSCAPE	100	HR	10.00	1000.00
37	CONCRETE	100	CU YD	120.00	12000.00
38	STEEL	50	TON	100.00	5000.00
39	BRICK	1000	SQ YD	10.00	10000.00
40	CEMENT	50	TON	100.00	5000.00
41	WOOD	100	CU YD	100.00	10000.00
42	GLASS	100	SQ YD	10.00	1000.00
43	PAINT	100	GA	10.00	1000.00
44	ROOFING	100	SQ YD	10.00	1000.00
45	MECHANICAL	100	HR	10.00	1000.00
46	ELECTRICAL	100	HR	10.00	1000.00
47	PLUMBING	100	HR	10.00	1000.00
48	LANDSCAPE	100	HR	10.00	1000.00
49	CONCRETE	100	CU YD	120.00	12000.00
50	STEEL	50	TON	100.00	5000.00
51	BRICK	1000	SQ YD	10.00	10000.00
52	CEMENT	50	TON	100.00	5000.00
53	WOOD	100	CU YD	100.00	10000.00
54	GLASS	100	SQ YD	10.00	1000.00
55	PAINT	100	GA	10.00	1000.00
56	ROOFING	100	SQ YD	10.00	1000.00
57	MECHANICAL	100	HR	10.00	1000.00
58	ELECTRICAL	100	HR	10.00	1000.00
59	PLUMBING	100	HR	10.00	1000.00
60	LANDSCAPE	100	HR	10.00	1000.00

3 ROOFING SCHEDULE  
SCALE: 1/8" = 1'-0"



4 FLOOR PLAN  
SCALE: 1/8" = 1'-0"

**CITY FINALS**

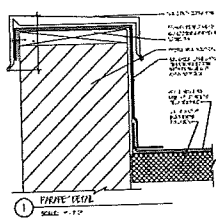
**PAULIES PUB AND EATERY ALTERATION**  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

ARCHITECT:  
SchultzWerk  
Architecture, Inc.  
2015 NORTH BERRY STREET  
MILWAUKEE, WI 53212  
TEL: 414.224.1111  
WWW.SCHULTZWERK.COM

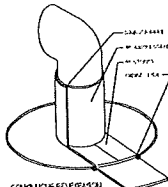
PROJECT:  
8031 SCHULTZ, MILWAUKEE, WI

PROJECT NO. 180148  
DATE: 10/2011  
DRAWN BY: MWE  
CHECKED BY:  
DESIGNED BY:  
ELEVATION, SECTION  
AND ROOFPLAN

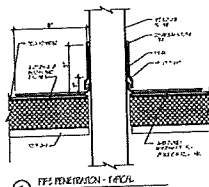
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A1.4  
8 OF 12



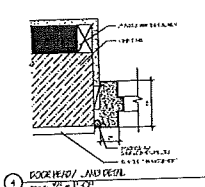
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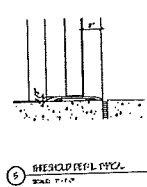
2 CONCRETE FOUNDATION  
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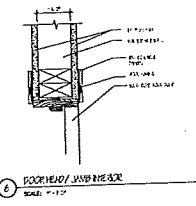
3 FFL FOUNDATION - LEVEL  
SCALE 1/4" = 1'-0"



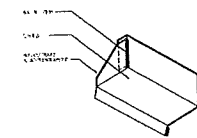
4 DOOR HEAD / SILL  
SCALE 3/4" = 1'-0"



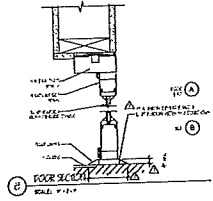
5 SHEETROCK DETAIL  
SCALE 1/4" = 1'-0"



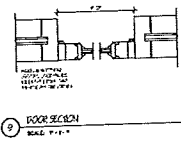
6 DOORWAY / WINDOW  
SCALE 1/4" = 1'-0"



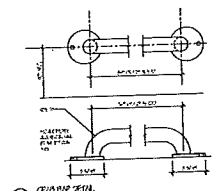
7 TYPICAL WINDOW SILL  
SCALE 1/4" = 1'-0"



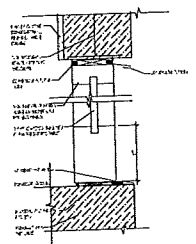
8 DOOR SECTION  
SCALE 1/4" = 1'-0"



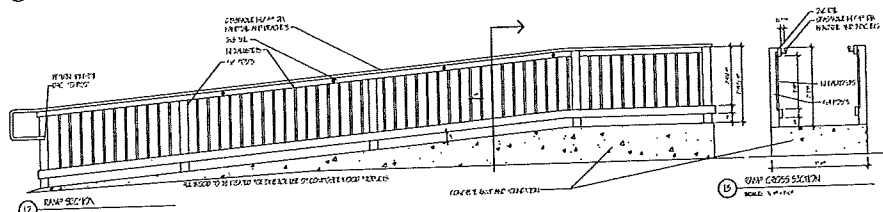
9 DOOR SECTION  
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10 WINDOW SECTION  
SCALE 1/4" = 1'-0"

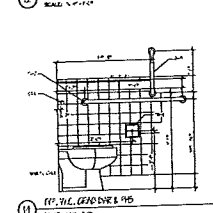


11 WINDOW SECTION  
SCALE 1/4" = 1'-0"

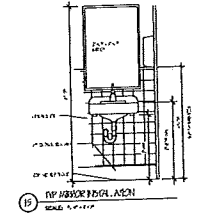


12 RAMP SECTION  
SCALE 1/4" = 1'-0"

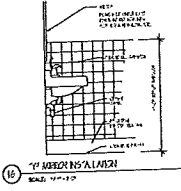
13 RAMP CROSS SECTION  
SCALE 1/4" = 1'-0"



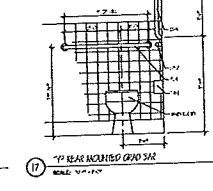
14 TOILET, VANITY & SINK  
SCALE 1/4" = 1'-0"



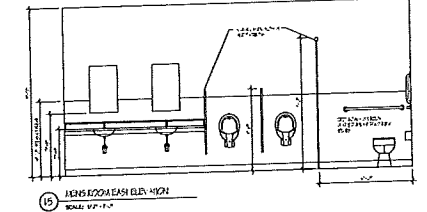
15 SHOWER PAN, ASSEMBLY  
SCALE 1/4" = 1'-0"



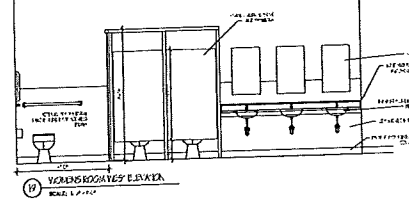
16 SHOWER PAN ALTERNATIVE  
SCALE 1/4" = 1'-0"



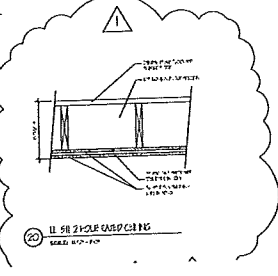
17 FLOOR MOUNTED SHOWER PAN  
SCALE 1/4" = 1'-0"



18 MEN'S ROOM, ELEVATION  
SCALE 1/4" = 1'-0"



19 WOMEN'S ROOM, ELEVATION  
SCALE 1/4" = 1'-0"



20 SHOWER PAN, ELEVATION  
SCALE 1/4" = 1'-0"

PAULIES PUB AND EATERY ALTERATION  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

ARCHITECT  
SchultzWerk  
Architecture, Inc.  
2500 WISCONSIN AVENUE  
MILWAUKEE, WI 53212  
TEL: 414-224-1111  
WWW.SCHULTZWERK.COM



PROJECT NO. 1887  
DATE 12/14/10  
DRAWN BY  
CHECKED BY  
DATE CONSTRUCTION  
NOTES

SHEET  
A1.5  
7 OF 12

CITY FINALS



# CITY FINALS

PAULIES PUB AND EATERY ALTERATION  
 8031 WEST GREENFIELD AVENUE  
 WEST ALLIS, WI 53214

SchultzWerk  
 Architecture, Inc.  
 414.728.1877  
 schultzwerk.com

PERMITTED  
 WEST ALLIS, WI 53214



REVISIONS  
 REVISED 2018 01 05  
 PROJECT NO. 163933  
 SHEET NO. 12/12/2018  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT CONDITIONS  
 STRUCTURAL  
 ARCHITECTURAL  
 MECHANICAL/ELECTRICAL  
 PLUMBING

SHEET  
 S001  
 OF 13

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN REPRESENTED IN THESE DRAWINGS.

**DESIGN CODES AND STANDARDS:**

- 1. AISC 360 - STEEL CONNECTED MEMBERS AND BRACED FRAMEWORKS FOR STEEL CONSTRUCTION
- 2. AISC 358 - SHORING AND SCAFFOLDING
- 3. AISC 308 - BOLTING SPECIFICATIONS
- 4. AISC 305 - WELDED CONNECTIONS
- 5. AISC 308 - WELDED CONNECTIONS
- 6. AISC 308 - WELDED CONNECTIONS
- 7. AISC 308 - WELDED CONNECTIONS
- 8. AISC 308 - WELDED CONNECTIONS
- 9. AISC 308 - WELDED CONNECTIONS
- 10. AISC 308 - WELDED CONNECTIONS

**MATERIAL PROPERTIES:**

CONCRETE	4000 PSI	ASTM C150
STEEL	50 KSI	ASTM A36
WELDS	E70	ASTM A572
ANCHORS	30500 PSI	ASTM A307
REINFORCEMENT	60 KSI	ASTM A618
PIPE	40 KSI	ASTM A53
WOOD	1000 PSI	ASTM A36
GLASS	1000 PSI	ASTM A36
INSULATION	1000 PSI	ASTM A36
ROOFING	1000 PSI	ASTM A36
MECHANICAL	1000 PSI	ASTM A36
ELECTRICAL	1000 PSI	ASTM A36
PLUMBING	1000 PSI	ASTM A36

**CONSTRUCTION NOTES:**

1. ALL LAP SPICES SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
2. REINFORCEMENT SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
3. TOP BAR IS ANY HORIZONTAL BAR WITH MORE THAN 12" HORIZONTAL CLEARANCE.
4. ALL LAP SPICES SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
5. REINFORCEMENT SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.

### LINTEL SCHEDULE (L)

MEMBER	SECTION	SIZE	REMARKS
L-1	10'-0" x 10'-0" x 10'-0"	10'-0" x 10'-0" x 10'-0"	SEE ELEVATION

### FOOTING SCHEDULE (F)

MEMBER	SECTION	SIZE	REMARKS
F-1	12'-0" x 12'-0" x 12'-0"	12'-0" x 12'-0" x 12'-0"	SEE ELEVATION

### WALL SCHEDULE (W)

MEMBER	SECTION	SIZE	REMARKS
W-1	12'-0" x 12'-0" x 12'-0"	12'-0" x 12'-0" x 12'-0"	SEE ELEVATION

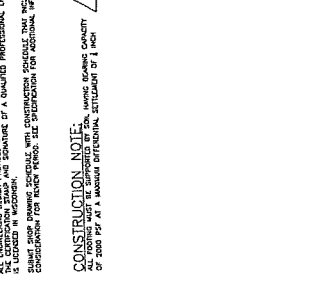
### COLUMN SCHEDULE (C)

MEMBER	SECTION	SIZE	REMARKS
C-1	12'-0" x 12'-0" x 12'-0"	12'-0" x 12'-0" x 12'-0"	SEE ELEVATION

### PIER SCHEDULE (P)

MEMBER	SECTION	SIZE	REMARKS
P-1	12'-0" x 12'-0" x 12'-0"	12'-0" x 12'-0" x 12'-0"	SEE ELEVATION



### REBAR LAP SPICE SCHEDULE

BAR SIZE	BAR LENGTH	BAR SPACING	BAR WEIGHT	BAR COUNT	BAR WEIGHT TOTAL
#4	10'-0"	10'-0"	1.10	10	11.0
#5	10'-0"	10'-0"	1.64	10	16.4
#6	10'-0"	10'-0"	2.57	10	25.7
#7	10'-0"	10'-0"	3.94	10	39.4
#8	10'-0"	10'-0"	5.26	10	52.6
#9	10'-0"	10'-0"	6.54	10	65.4
#10	10'-0"	10'-0"	7.86	10	78.6
#11	10'-0"	10'-0"	9.18	10	91.8
#12	10'-0"	10'-0"	10.50	10	105.0
#13	10'-0"	10'-0"	11.82	10	118.2
#14	10'-0"	10'-0"	13.14	10	131.4
#15	10'-0"	10'-0"	14.46	10	144.6
#16	10'-0"	10'-0"	15.78	10	157.8
#17	10'-0"	10'-0"	17.10	10	171.0
#18	10'-0"	10'-0"	18.42	10	184.2
#19	10'-0"	10'-0"	19.74	10	197.4
#20	10'-0"	10'-0"	21.06	10	210.6
#21	10'-0"	10'-0"	22.38	10	223.8
#22	10'-0"	10'-0"	23.70	10	237.0
#23	10'-0"	10'-0"	25.02	10	250.2
#24	10'-0"	10'-0"	26.34	10	263.4
#25	10'-0"	10'-0"	27.66	10	276.6
#26	10'-0"	10'-0"	28.98	10	289.8
#27	10'-0"	10'-0"	30.30	10	303.0
#28	10'-0"	10'-0"	31.62	10	316.2
#29	10'-0"	10'-0"	32.94	10	329.4
#30	10'-0"	10'-0"	34.26	10	342.6

**CONSTRUCTION NOTES:**

1. ALL LAP SPICES SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
2. REINFORCEMENT SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
3. TOP BAR IS ANY HORIZONTAL BAR WITH MORE THAN 12" HORIZONTAL CLEARANCE.
4. ALL LAP SPICES SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.
5. REINFORCEMENT SHALL BE CLASS 'X' UNLESS NOTED OTHERWISE.

**LATERAL LOADS:**

- 1. WIND LOADS: AS PER ASCE 7-16
- 2. SEISMIC LOADS: AS PER ASCE 7-16
- 3. FLOOR LIVE LOADS: AS PER ASCE 7-16
- 4. ROOF LIVE LOADS: AS PER ASCE 7-16
- 5. ROOF DEAD LOADS: AS PER ASCE 7-16
- 6. MECHANICAL AND ELECTRICAL EQUIPMENT: AS PER ASCE 7-16
- 7. PLUMBING: AS PER ASCE 7-16
- 8. FIRE PROTECTION: AS PER ASCE 7-16
- 9. AVAILABILITY: AS PER ASCE 7-16
- 10. OTHER: AS PER ASCE 7-16

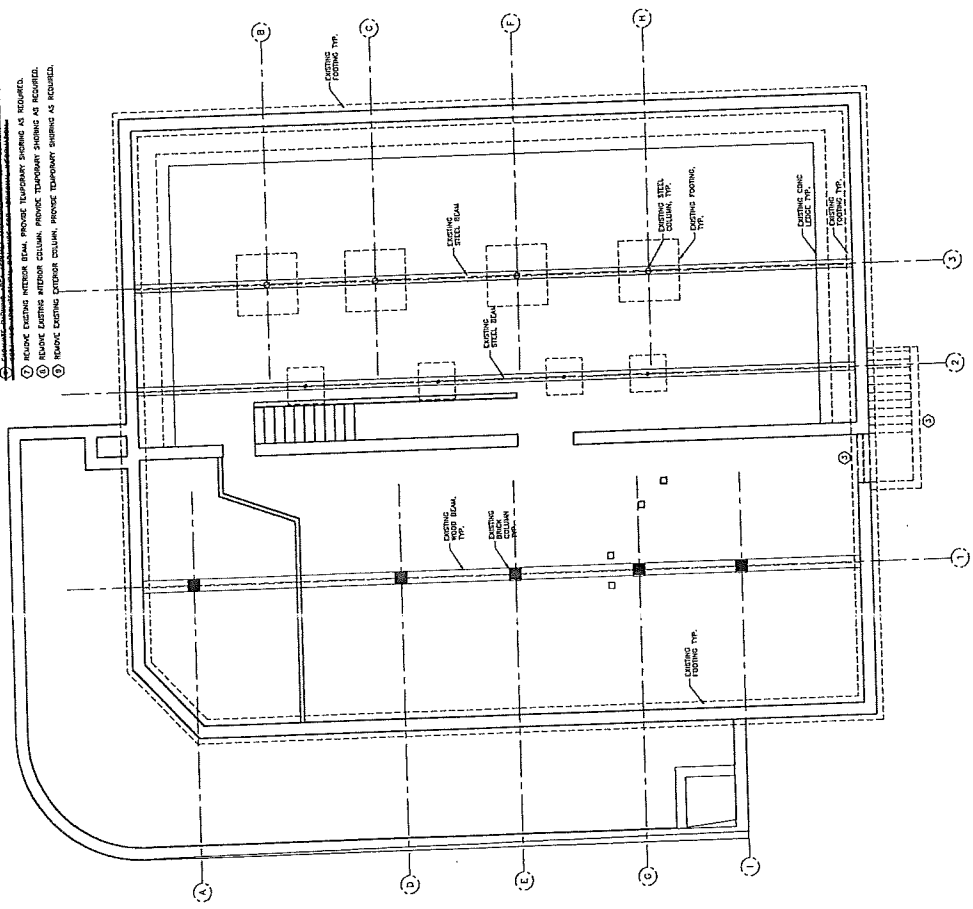
**DESIGN LOADS:**

- 1. DEAD LOAD: AS PER ASCE 7-16
- 2. LIVE LOAD: AS PER ASCE 7-16
- 3. WIND LOAD: AS PER ASCE 7-16
- 4. SEISMIC LOAD: AS PER ASCE 7-16
- 5. FLOOR LIVE LOAD: AS PER ASCE 7-16
- 6. ROOF LIVE LOAD: AS PER ASCE 7-16
- 7. ROOF DEAD LOAD: AS PER ASCE 7-16
- 8. MECHANICAL AND ELECTRICAL EQUIPMENT: AS PER ASCE 7-16
- 9. PLUMBING: AS PER ASCE 7-16
- 10. FIRE PROTECTION: AS PER ASCE 7-16
- 11. AVAILABILITY: AS PER ASCE 7-16
- 12. OTHER: AS PER ASCE 7-16



**KEYED NOTES:**

- 1 REMOVE EXISTING CONCRETE STAIR AND STEEL WALL.
- 2 REMOVE EXISTING CONCRETE CHIMNEL TO BASEMENT.
- 3 REMOVE EXISTING INTERIOR BEAM, PROVIDE TEMPORARY SHORING AS REQUIRED.
- 4 REMOVE EXISTING INTERIOR COLUMN, PROVIDE TEMPORARY SHORING AS REQUIRED.
- 5 REMOVE EXISTING EXTERIOR COLUMN, PROVIDE TEMPORARY SHORING AS REQUIRED.
- 6 REMOVE EXISTING INTERIOR BEAM, PROVIDE TEMPORARY SHORING AS REQUIRED.
- 7 REMOVE EXISTING INTERIOR COLUMN, PROVIDE TEMPORARY SHORING AS REQUIRED.
- 8 REMOVE EXISTING EXTERIOR COLUMN, PROVIDE TEMPORARY SHORING AS REQUIRED.



**BASEMENT DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

**PAULIES PUB AND EATERY ALTERATION**  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214

SchultzWerk  
Architecture, Inc.  
2519 W. WISCONSIN AVENUE  
WEST ALLIS, WI 53214  
414.732.1027  
swerk@swerk.com

ARCHITECT  
CITY OF PAULIES, S.A., LLC



REVISIONS  
REVISED 2/16/18

PROJECT NO. 180343  
DATE 12/12/2018  
DRAWN BY  
CHECKED BY

SHEET CONTENTS  
STRUCTURAL  
ELECTRICAL  
MECHANICAL  
PLUMBING  
GENERAL CONTRACTOR

SHEET  
S101  
18 OF 13

**CITY FINALS**

**PAULIES PUB AND EATERY ALTERATION  
8031 WEST GREENFIELD AVENUE  
WEST ALLIS, WI 53214**

ARCHITECT:  
**Schultzwerk  
Architecture, Inc.**  
205 W. WISCONSIN STREET  
MILWAUKEE, WI 53233  
414.774.1187  
www.schwartz.com

ENGINEER:  
**KEITH SCHULTZ, AIA, AEB**



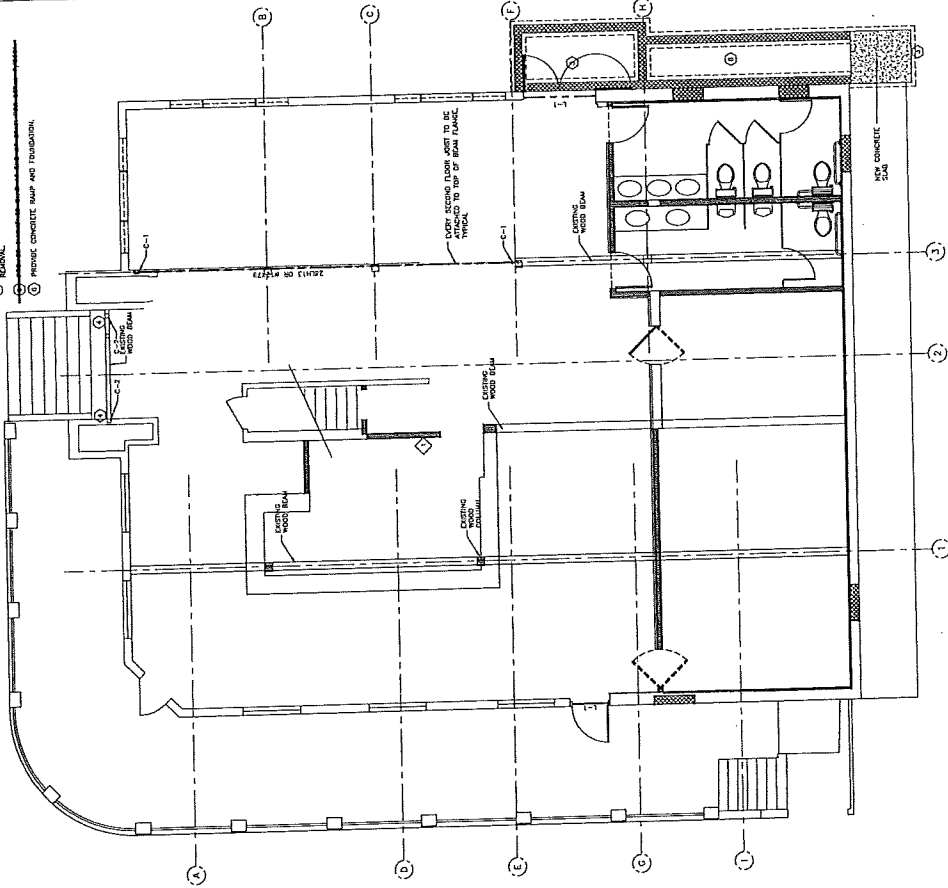
DATE: 12/12/2018  
PROJECT NO.: 18214.00  
REVISIONS: 01, 02, 03

PROJECT NO.	18214.00
DATE	12/12/2018
DRAWN BY	ES/STP
CHECKED BY	
SHEET CONTENTS	
FOUNDATION PLAN	1
FIRST FLOOR FRAMING PLAN	2
GENERAL NOTES	3

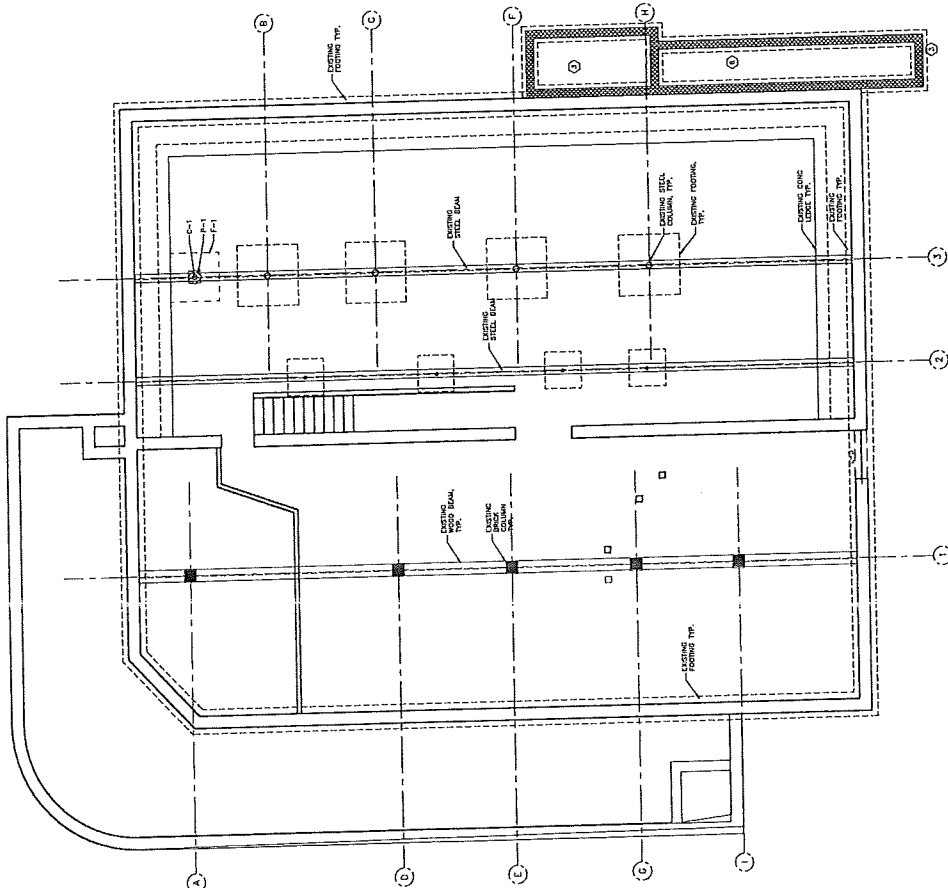
SHEET  
**S201**  
11 OF 12

**CITY FINALS**

- KEYED NOTES:**
- 1 CONCRETE JOISTS FOR DECK, 5/2018.
  - 2 REMOVE CONCRETE JOISTS FOR DECK, 5/2018.
  - 3 REMOVE CONCRETE JOIST FOR DECK, 5/2018.
  - 4 NEW COLUMN C-2 TO BE INSTALLED PRIOR TO EXISTING COLUMN REMOVAL.
  - 5 REMOVE CONCRETE RAUP AND FOUNDATION.



**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**PAULIES PUB AND EATERY ALTERATION**  
**8031 WEST GREENFIELD AVENUE**  
**WEST ALLIS, WI 53214**

ARCHITECT  
**SchulzWerk**  
 Architecture, Inc.  
 255 NORTH 66TH STREET  
 MILWAUKEE, WI 53213  
 414.278.1837  
 jw@swi.com

ARCHITECT  
 JOHN BERNETZ, AIA, AIA  
 12/2013

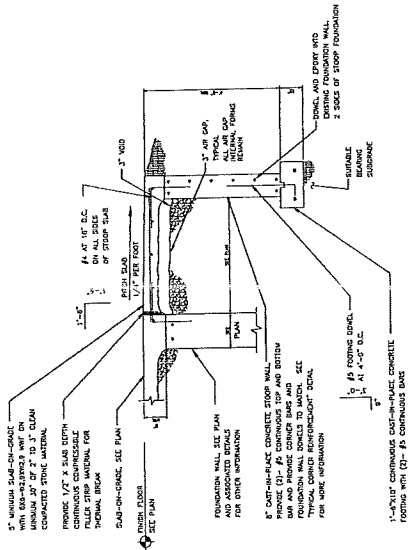


REVISIONS  
 NONE

PROJECT NO. 15-0000  
 DATE 12/2013  
 DRAWN BY JWB  
 CHECKED BY JWB  
 SHEET CONTENTS  
 STRUCTURAL  
 STAIRS

SHEET  
**S301**  
 14 OF 14

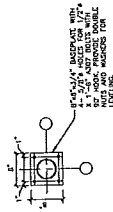
**CITY FINALS**



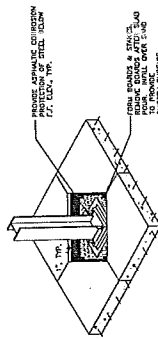
**STOOP FOUNDATION**

**3 STOOP FOUNDATION DETAIL**

SCALE: 3/4"=1'-0"



**DETAIL A**



**5 COLUMN ISOLATION JOINT**

SCALE: 1/2\"/>

**Attached**

**Exhibit C**

**“Budget”**

8025-8031 W. Greenfield Avenue  
Paul J. Buciac

Storefront Improvement Program Grant

Item	Quote 1	Quote 2	Price/Budget	%	Owner	Grant Amount	Total
1 Permit Fees	\$ 800	\$ 500	\$ 500	75%	\$ 375	\$ -	\$ 500
2 Masonry	\$ -	\$ 25,300	\$ 25,300	75%	\$ 18,975	\$ -	\$ 25,300
3 Siding	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
4 Windows	\$ 43,600	\$ 10,725	\$ 10,725	75%	\$ 8,044	\$ -	\$ 10,725
5 Glass Block	\$ -	\$ 38,725	\$ 38,725	50%	\$ 19,363	\$ -	\$ 38,725
6 Reuse Coral	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
7 Doors	\$ 43,438	\$ -	\$ -	50%	\$ -	\$ -	\$ -
8 Electrical	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
9 Architectural Accents	\$ -	\$ 3,000	\$ 3,000	60%	\$ 1,500	\$ -	\$ 3,000
10 Tiles	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
11 Parking Lot *	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
12 Painting	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
13 Awning	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
14 Privacy Fence	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
15 Rendering	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
16 Architectural Services	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
17 Plan Review	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
18 Signs	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
19 Revised Plans	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
20 Landscaping	\$ -	\$ -	\$ -	77%	\$ -	\$ -	\$ -
21 Lighting	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
22 TOTAL GRANT	\$ 87,838	\$ 78,250	\$ 78,250	100%	\$ 48,266	\$ 29,984	\$ 78,250
23						Grant Max.	\$ 300,000
24							(8)
25 Total Project Cost	\$ 78,250	\$ 78,250	\$ 78,250	50%	\$ -	\$ -	\$ 78,250
26 Owner	\$ -	\$ -	\$ -	50%	\$ -	\$ -	\$ -
27 City	\$ -	\$ 45,250	\$ 45,250	50%	\$ -	\$ -	\$ 45,250
28 Total	\$ -	\$ 45,250	\$ 45,250	50%	\$ -	\$ -	\$ 45,250
29							
30 Additional Investment by Owner							
31 Concrete	\$ 15,500	\$ -	\$ 15,500	100%	\$ -	\$ -	\$ 15,500
32 Roof	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
33 Electrical	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
34 Plumbing	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
35 Signs	\$ 39,800	\$ -	\$ 39,800	100%	\$ -	\$ -	\$ 39,800
36 Other	\$ -	\$ -	\$ -	100%	\$ -	\$ -	\$ -
37 Total	\$ 294,464	\$ -	\$ 294,464	100%	\$ -	\$ -	\$ 294,464
38							
39 Total Investment	\$ 349,764	\$ -	\$ 349,764	100%	\$ 48,266	\$ 78,250	\$ 428,014
40 Private	\$ -	\$ -	\$ -	93%	\$ -	\$ -	\$ -
41 Public	\$ 398,014	\$ -	\$ 398,014	0%	\$ -	\$ -	\$ 398,014
42 Public	\$ -	\$ -	\$ -	0%	\$ -	\$ -	\$ -
43 Public	\$ 30,000	\$ -	\$ 30,000	7%	\$ -	\$ -	\$ 30,000
44 Total	\$ 428,014	\$ -	\$ 428,014	100%	\$ 48,266	\$ 78,250	\$ 506,270

Grant Max. \$ 300,000  
(8)

Additional Investment by Owner	Amount	%
31 Concrete	\$ 15,500	50%
35 Signs	\$ 39,800	50%
37 Total	\$ 294,464	100%

Property Owner	Amount	%
40 Private	\$ -	93%
41 Public	\$ 398,014	0%
42 Public	\$ -	0%
43 Public	\$ 30,000	7%
44 Total	\$ 428,014	100%

Assessed Value	Year	Amount
Land	2016	\$ 111,600
Improvements		\$ 339,700
Total		\$ 451,300
Taxes		\$ 12,737

Leasing Ratio	Public	Private
Ratio	\$ 8	\$ 1
Ratio	8%	100%
Private	\$ 398,014	\$ 30,000