



# City of West Allis

## Meeting Agenda

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

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Wednesday, January 22, 2025

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

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#### REGULAR MEETING

#### A. CALL TO ORDER

#### B. ROLL CALL

#### C. APPROVAL OF MINUTES

1. [25-0004](#) December 11, 2024

**Attachments:** [December 11, 2024](#)

#### D. NEW AND PREVIOUS MATTERS

- 2A. [25-0013](#) Conditional Use Permit for Toppers, a proposed Restaurant use, at 11045 W. National Ave.

- 2B. [25-0014](#) Site, Landscaping, and Architectural Design Review for Toppers, a proposed Restaurant use, at 11045 W. National Ave. (Tax Key No. 520-1004-000)

**Attachments:** [\(CUP-SLA\) Toppers - 11045 W National Ave.](#)

- 3A. [25-0015](#) Conditional Use Permit for CD One Price Cleaners, a proposed Dry Cleaning use, at 2367 S.108th St.

- 3B. [25-0016](#) Site, Landscaping, and Architectural Design Review for CD One Price Cleaners, a proposed Dry Cleaning use, at 2367 S. 108th St. (Tax Key No. 484-0013-001)

**Attachments:** [\(CUP-SLA\) CD One Price Cleaners - 2367 S 108 St.](#)

- 4A. [25-0017](#) Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling use, at 3000 Block S.108th St.

- 4B. [25-0018](#) Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling use, at 3000 Block S. 108th St. (Tax Key No. 520-1011-001)

**Attachments:** [\(CUP-SLA\) Hidden Loft Apartments - 3000 Blk of S 108 St.](#)

#### E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

**NOTICE OF POSSIBLE QUORUM**

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**NON-DISCRIMINATION STATEMENT**

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

**AMERICANS WITH DISABILITIES ACT NOTICE**

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

**LIMITED ENGLISH PROFICIENCY STATEMENT**

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# City of West Allis Meeting Minutes Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

Wednesday, December 11, 2024

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

## REGULAR MEETING (draft minutes)

### A. CALL TO ORDER

### B. ROLL CALL

**Present** 8 - Brian Frank, Eric Torkelson, Jessica Katzenmeyer, Dan Devine, Brandon Reinke, Kathleen Dagenhardt, David Raschka, Lisa Coons

**Excused** 1 - Wayne Clark

### Others Attending

Shelly Strasser, Chad Larson; West Allis Rec. Dept.  
Nathan Shieve, Miranda Lutzke; Groth Design Group  
Walter Holtz, Kenny Den, Luis Sosa  
Lizeth Zorrilla Sanchez; La Finca  
St. Barnabas Congregation Member  
Nick Draskovich; Endpoint Solutions

### Staff

Steve Schaer, AICP, Manager of Planning and Zoning  
Jack Kovnesky, Planner  
Emily Wagner, Planner

### C. APPROVAL OF MINUTES

1. [24-0668](#) October 23, 2024

**Attachments:** [October 23, 2024](#)

**Katzenmeyer moved to approve this matter, Dagenhardt seconded, motion carried.**

### D. NEW AND PREVIOUS MATTERS

- 2A. [24-0687](#) Conditional Use Permit for an event space at 7546 W. Greenfield Ave.

**Frank moved to approve this matter, Dagenhardt seconded, motion carried.**

- 2B. [24-0688](#) Site, Landscaping, and Architectural Plans for an event space at 7546 W. Greenfield Ave. (Tax Key No.440-0442-000)

**Attachments:** [\(CUP-SLA\) The Emerald - 7645 W Greenfield Ave](#)

**Recommendation:** Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for The Emerald, a proposed Event Space (5,000 or more sq. ft.), at 7546 W. Greenfield Ave. (Tax Key No. 440-0442-000) subject to the following conditions:

*(Item 1 -6 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)*

1. *Common Council approval of the Conditional Use Permit (Scheduled for January 14th, 2025)*
2. *Revised Site plan, Landscaping, and Architectural Plan being submitted to the Planning and Zoning Office showing a) the location of any refuse areas and 4-sided screening details b) landscaping amenities being located on site including planter boxes, wall-mounted planters, trellises, or other features to enhance streetscape c) additional enhancements to the architecture of the building to capture aesthetic appeal and historical integrity (for example restoring the roofline to its previous "stepped" original appearance and the addition of accent lighting).*
3. *A projection describing number of events per year and planned operations for the use. (please express how The Emerald will manage people coming and going during events, the total occupancy at one time a low, an average and during peak, access into building at any door or just specific doors, parking arrangements like valet, shuttle, rideshare services etc, security, cameras).*
4. *A parking agreement being submitted for shared use of City Hall parking lot subject to approval by the City of West Allis.*
5. *Building permits being applied for with the Code Enforcement Department for review.*
6. *A driveway permit being applied for with City Engineering Department for work within the City Right-of-Way. Also, if scaffolding is required for exterior renovations, a Temporary Street Occupancy permit as needed for any work obstructing public sidewalks.*

**Frank moved to approve this matter, Dagenhardt seconded, motion carried.**

3. [24-0678](#)

Revised Site, Landscaping, and Architectural Design Review for the WAWM Recreation Department, for a proposed indoor recreation facility (phase 2 addition), located at 1300 S. 109 St. (Tax Key No. 445-0715-002)

**Attachments:** [\(SLA\) WAWM Rec -1300 S 109 St](#)

**Recommendation:** *Approval of the Revised Site, Landscaping, and Architectural Design Review for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S. 109 St. (Tax Key No. 445-0715-002) subject to the following conditions:*

1. *A revised Site and Architectural Plan being submitted to the Department of Development to show the following: (a) rooftop unit location; (b) bicycle*

parking accommodations per 19.44(3). Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.

2. A [Street excavation permit <https://westalliswi.viewpointcloud.io/>](https://westalliswi.viewpointcloud.io/) being applied for in OpenGov prior to work beginning. Any concrete work in the street right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367.
3. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City.

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

4. [24-0689](#) Site, Landscaping, and Architectural Design Review for La Finca, a proposed Restaurant (limited), at 7033 W. National Ave. (Tax Key No. 453-0602-000)

**Attachments:** [\(SLA\) La Finca - 7033 W National Ave](#)

**Recommendation:** Approve Site, Landscaping, and Architectural Design Review for La Finca, a proposed Restaurant (limited), at 7033 W. National Ave. (Tax Key No. 453-0602-000).

(Item 1-4 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Site plan & Landscaping being submitted to the Planning and Zoning Office showing (a) access point revisions on W. National Ave. & S. 71st St with approval from the City Engineer, (b) a designated use of the concrete area (e.g. parking, patio, or other amenities), (c) the location of any refuse areas and 4-sided screening details including consideration of locating refuse area south of alley, (d) the applicant apply for a Commercial On-Street Accessibility Parking Zone permit; (e) removal of test areas of existing metal panel siding to explore restoration of brick as an option of adding new siding; (f) landscaping amenities being located on site including planter boxes, wall-mounted planters, trellises, or other features to enhance streetscape and buffer adjacent properties (g) location of any lighting on the site.
2. Building permits being applied for with the Code Enforcement Department for review.
3. A driveway permit being applied for with the City Engineering Department for work within the City Right-of-Way. Also, if scaffolding is required for exterior renovations, a Temporary Street Occupancy permit is needed.
4. Common Council approval of a conditional use permit will be required if the building area is over 2,000-sf.

Torkelson moved to approve this matter, Katzenmeyer seconded, motion carried.

5. [24-0690](#) Site, Landscaping, and Architectural Design Review for a self-service laundry, within a portion of the existing mixed-use building at 6328 W. Mitchell St. (Tax Key No. 454-0500-000)

**Attachments:** [\(SLA\) 6328 W. Mitchell St](#)

**Recommendation:** approval of the site, landscaping, and architectural design review for a self-service laundry, within a portion of the existing mixed-use building at 6328 W. Mitchell St. (Tax Key No. 454-0500-000).

Frank moved to approve this matter, Dagenhardt seconded, motion carried..

6. [24-0686](#) Certified Survey Map to split the existing parcel at 6021 W. Lincoln Ave. and 2307-53 S. 60 St. into two parcels. (Tax Key No. 490-0001-001)

**Attachments:** [\(CSM\) St. Rita - 6021 W. Lincoln Ave.](#)

**Recommendation:** Common Council approval of Certified Survey Map to split an existing parcel at 6021 W. Lincoln Ave. and 2307-53 S. 60 St. into two parcels. (Tax Key No. 490-0001-001). subject to Common Council approval of Certified Survey Map.

Torkelson moved to approve this matter, Reinke seconded, motion carried by the following vote:

**Aye:** 7 - Frank, Torkelson, Katzenmeyer, Devine, Reinke, Raschka, Coons

**No:** 0

**Abstain:** 1 - Dagenhardt

7. [24-0691](#) Signage Appeal for a steel entry archway with signage at 12110 W. Adler Lane. Tax Key No. (413-9994-017).

**Attachments:** [\(Sign Appeal\) Iron Workers - 12110 W. Adler Lane](#)

**Recommendation:** Approve the signage plan appeal for Iron Workers Training Center, an existing Instruction/Training use, located at 12110 Adler Ln. (Tax Key No. 413-9994-017).

Katzenmeyer moved to approve this matter, Dagenhardt seconded, motion carried.

8. [24-0692](#) Project Tracking.

This matter was Discussed.

## E. ADJOURNMENT

There being no other business, a motion was made by Frank, seconded by Dagenhardt to adjourn at 6:54 p.m.



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**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, January 22, 2024**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 2A. Conditional Use Permit for Toppers Pizza, a proposed Restaurant, at 11045 W National Ave.**
- 2B. Site, Landscaping, and Architectural Design Review for Toppers Pizza, a proposed Restaurant, at 11045 W National Ave. (Tax Key No. 520-1004-000)**



**Overview and Zoning**



Emad Nadi, applicant on behalf of the property owner at [11045 W. National Ave.](#) is proposing to utilize a portion of the 1200 sq. ft. building as the site for Toppers Pizza, a proposed restaurant. The building most recently housed the Shoe Boxx Store, a retailer selling shoes, apparel, and accessories. The property at 11045 W. National Ave. is zoned C-4, “intended for large-scale, automobile oriented commercial development serving the needs of the regional population.” Restaurant uses are typically permitted as Limited Uses within commercial zoning districts when they operate



in accordance with the following [limited use criteria per sec. 19.33](#) as shown in the table below.

Restaurant (limited)	C-1, C-2, C-3, C-4, I-1, I-2	Permitted if: - gross floor area is less than 2,000 square feet, - premises are closed between 12 a.m. and 6 a.m. at all times, and - premises are closed after 10 p.m. Sunday through Thursday
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Since the Toppers restaurant is open outside the hours specified in the limited use table, a conditional use permit is required. Toppers proposes to conduct their business operations between 10:00 AM and 3:00 AM to align with late-night industry standards for pizza restaurants. Toppers intends to staff at least 3 employees per shift, employing a total of 9-12 staff members. All transactions will occur through the counter service area or via delivery, therefore no dine-in seating will be provided. This will reduce vehicle activity and minimize prolonged parking lot use for onsite gatherings.

**Site Details & Floor Plan**

The property has been updated previously under prior businesses, and those improvements have been maintained in accordance with prior approved site/landscaping plans. Interior remodeling is proposed to convert the space to a restaurant. The existing building has a footprint of 2400 SF, and Toppers intends to occupy roughly 1500 SF. Another tenant will occupy the remaining 900 SF, though no prospective future tenant has yet been identified. Topper’s section of the building will contain a small customer service area intended for order pick-ups, and a kitchen area containing one walk in cooler, one office, and one restroom.





### Landscaping and Parking Plan

An “as-built” landscaping and parking plan have been submitted by the applicant. The property features several existing landscaping details that are attractive, orderly, and thoughtful in nature. These features are detailed on a site plan and show existing regions with grass plantings and landscaping which features shrubs such as Sea Green Juniper, Gold Flame Spirea, and Burning Bush. Trees indicated on this landscaping plan include Black Hills Spruce, Red Maple, and Skyline Locust. The business owner intends to maintain this existing landscaping and restore any features that have been neglected in the absence of tenants. New landscaping features proposed for this site include 24”



clay pots with ornamental grasses and flowers to occupy the eastern customer entrances of the building.

An existing 14' x 18' 4-sided refuse enclosure on site will serve both Toppers Pizza and the future tenant of the site. This refuse enclosure incorporates cedar gates on a painted galvanized steel frame, 4" brickwork along 3 sides of the enclosure, and sits upon a 6" concrete slab.



Parking features on site are already established and will remain in its current state. The site features 10 parking spaces, with one ADA space. Site plans indicate new 6" concrete curbing around the parking lot as well as new asphalt to repair portions of the lot that are cracked and pitched.

#### **Architectural Plan**

Existing building - The applicant's November 28<sup>th</sup> plan submittal has been reviewed by staff which includes reuse of the existing building, interior remodeling for new tenant spaces being created. The existing building exterior includes architectural features such as pre-finished metal coping, a pre-cast stone and brickwork façade, and insulated vision glass in thermally broken aluminum framing. No exterior changes were planned as part of the original submittal as reviewed by staff.



No exterior changes were planned as part of the original submittal as reviewed by staff.

**Recommendation:** Common Council approval of the Conditional Use and approval of the Site, Landscaping, and Architectural Design Review for Toppers Pizza, a proposed Restaurant, at 11045 W National Ave. (Tax Key No. 520-1004-000) subject to the following conditions:

1. Common Council approval of the Conditional Use Permit (Scheduled for February 11<sup>th</sup>, 2025)
2. A signage plan being submitted for design review and permit.

Thursday, November 28, 2024

## Description for Special ( Limited) Use Application – Toppers Pizza Proposal

### Project Overview:

We are proposing the development of a 1,200-square-foot **Toppers Pizza** location in the City of West Allis. This establishment will primarily cater to carryout and delivery services, with no onsite seating for customers. The proposed business hours will be from **10:00 AM to 3:00 AM**, exceeding the city's standard midnight closing time, necessitating a special use permit.

### Proposed Operations:

- **Business Type:** Carryout and delivery pizza service.
- **Hours of Operation:** 10:00 AM to 3:00 AM , 7 days a week
- **Staffing:** Anticipated staffing includes **three employees per shift**.
- **Customer Interaction:** All transactions will occur through counter service or delivery. There will be no dine-in seating provided.
- **Delivery Model:** Delivery will account for a significant portion of operations, reducing onsite customer traffic and emphasizing offsite service.

### Special Use Justification:

1. **Extended Hours Necessity:**
  - The extended hours from midnight to 3:00 AM align with industry standards for pizza businesses catering to late-night dining demands, particularly from shift workers, students, and other late-night consumers.
  - These hours are expected to enhance community convenience without significantly impacting the surrounding area.
2. **Traffic and Noise Considerations:**
  - With no dine-in seating, the majority of customer interactions will involve quick pickups or deliveries, minimizing prolonged parking lot use or onsite gatherings.
  - Delivery operations are conducted using efficient routing to reduce excessive vehicle activity in the area.
3. **Community Benefit:**
  - The proposed hours will support the City of West Allis by offering food service options during late hours, filling a gap in the local market.
  - It will create job opportunities for approximately **9-12 employees across shifts**, contributing to local employment.

### Additional Information for Consideration:

- **Trash Management:** Regular trash pickup and maintenance will prevent issues related to waste accumulation or odors.

# ETn ENGINEERING

ARCHITECTURAL . STRUCTURAL . CIVIL ENGINEERING

emadnadi@etnengineering.com

Milwaukee WI 53221

414. 324.4129

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**Conclusion:**

This Toppers Pizza location is designed to operate efficiently while adhering to community standards. We respectfully request the City of West Allis Planning Department grant a special use permit to extend operational hours until 3:00 AM to meet the needs of our target audience.

We look forward to discussing this proposal further and collaborating with the City to meet any additional requirements.

Yours sincerely,

**Emad Nadi, PE**

(414).324.4129

[emadnadi@etnengineering.com](mailto:emadnadi@etnengineering.com)

GENERAL NOTES:

PROJECT SCOPE CONSISTS OF INTERIOR IMPROVEMENTS TO THE EXISTING VACANT SPACE TO BE USED AS TOPPER'S RESTAURANT

THE CONSTRUCTION WORK CONSISTS OF:

- 1- DEMOLISH EXISTING PARTITION WALLS
- 2- CONSTRUCT A NEW DEMISING WALL TO CREATE APPROX. 1287 SQ.FT NEW SPACE

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:  
 CLASS A: FLAME SPREAD INDEX 0-25;  
 SMOKE-DEVELOPED INDEX 0-450  
 CLASS B: FLAME SPREAD INDEX 26-75  
 SMOKE-DEVELOPED INDEX 0-450  
 CLASS C: FLAME SPREAD INDEX 76-200  
 SMOKE-DEVELOPED INDEX 0-450

INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.9 WITH A MINIMUM RATING OF CLASS C.

INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC FF-1 "PILL TEST". CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY IN THE FIELD ALL SIZES AND DIMENSIONS INVOLVING THE EXISTING STRUCTURE AND COORDINATE WITH NEW CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ALL PERMITS AND INSPECTION NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE WITH APPLICABLE CODES AND GOVERNING REGULATIONS. THE WORK SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH EQUIPMENT MFG. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. ALL WALL WIDTHS ARE SHOWN AND DIMENSIONED WITH NOMINAL DIMENSIONS. (I.E. 8" CMU= 7 5/8"). DIMENSIONS FOR FRAMED WALLS ARE SHOWN TO FACE OF STUDS AND/OR FACE OF BLOCK

FIRE EXTINGUISHERS WITH A MINIMUM 2-A RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHER SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR. UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.

ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.

THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.

CODE INFORMATION :

REFERENCED CODES ARE:  
 IBC 2015; IEBC 2015; ICC/ANSI A117.1-2009

OCCUPANCY CLASSIFICATION:  
 BUSINESS , GROUP B (SECTION 304);

TYPE OF CONSTRUCTION:  
 IIIB

CLASSIFICATION OF WORK  
 ALTERATION - LEVEL 2 (IEBC SECTION 404, CHAPTERS 6 & 7)

ACTUAL BUILDING FLOOR AREA:  
 FLOOR AREA = 2400 SQ.FT.

BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13)

ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503): 55 FEET  
 OCCUPANCY GROUP M, 1 STORY. FLOOR AREA PER STORY, BUILDING HEIGHT PROVIDED 35 FEET

FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601 & 602).  
 PRIMARY STRUCTURAL FRAME 0 HOUR RATING  
 BEARING WALLS (EXTERIOR) 2 HOUR RATING  
 BEARING WALLS (INTERIOR) 0 HOUR RATING  
 NONBEARING WALLS & PARTITIONS (EXTERIOR)  
 FIRE SEPARATION DISTANCE 0-5 FT 2 HOUR RATING  
 FIRE SEPARATION DISTANCE 5-10 FT. 1 HOUR RATING  
 FIRE SEPARATION DISTANCE 10-30 FT. NINE  
 FIRE SEPARATION DISTANCE > 30 FT. 0 HOUR RATING

NONBEARING WALLS & PARTITIONS (INTERIOR) -- 0 HOUR RATING  
 FLOOR CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING  
 ROOF CONSTRUCTION & SECONDARY MEMBERS 0 HOUR RATING

OCCUPANT LOAD (PROPOSED TENANT AREA OF 1500 SQ.FT):

BUSINESS - B

TABLE 1004.5  
 TOTAL REQUIRED =  
 CUSTOMERS AREA 147 SQ.FT : 10  
 KITCHEN , STORAGE AND OFFICE 972 SQ.FT : 5 OCCUPANTS  
 TOTAL : 15

MEANS OF EGRESS:  
 OCCUPANCY LOAD: TBLE 1004.1.2  
 EXIT WIDTH REQUIRED: 15 @ 0.2 INCHES = 3")  
 EXIT WIDTH PROVIDED: 36" + 36" = 72" INCHES

PLUMBING FIXTURE REQUIREMENTS: 15 OCCUPANTS  
 TOILETS :  
 WATER CLOSETS REQUIRED: 1 PER 25, THEREFORE 1 REQUIRED  
 WATER CLOSETS PROVIDED: 1 WATER CLOSET ARE PROVIDED

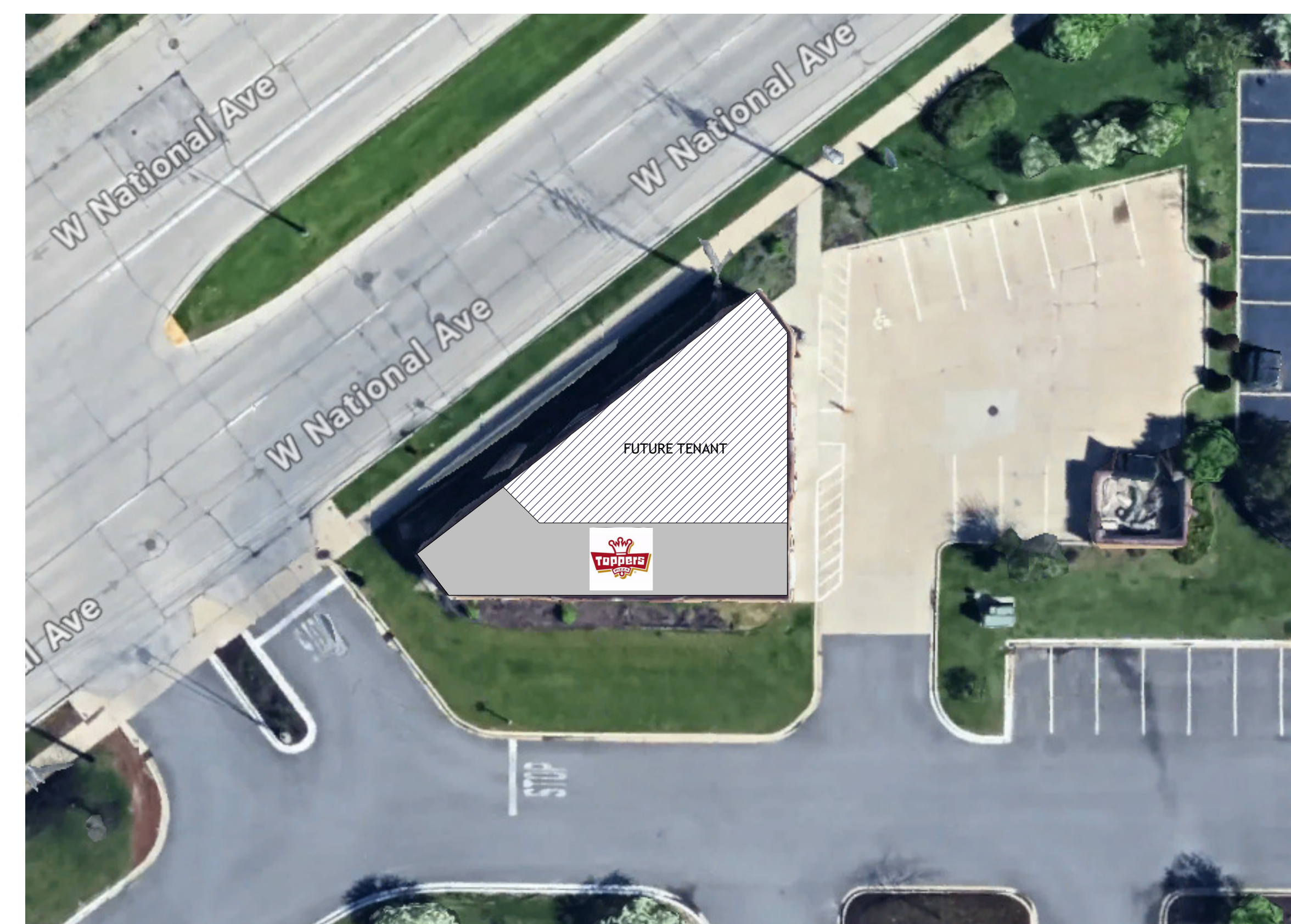
LAVATORIES:  
 LAVATORIES REQUIRED: 1 PER 40, THEREFORE 1 REQUIRED  
 LAVATORIES PROVIDED: MULTIPLE LAVATORY PROVIDED IN THE FOOD COURT

SERVICE SINKS:  
 SERVICE SINKS REQUIRED: 1 SINK  
 SERVICE SINKS PROVIDED: 1 SINK

FIRE PROTECTION CONSTRUCTION:  
 903.2.1.3 GROUP B OCCUPANCY. SPRINKLER SYSTEM IS NOT PROVIDED

# INDEX

Sheet Name	Sheet Number
GENERAL PLAN	A101
DEMO PLAN	A101.1
ELEVATIONS	A101.2
EQUIPMENT LAYOUT	A102
AREAS	A104



1 Site  
 1" = 20'-0"

**TOPPER'S PIZZA**  
 Interior Alteration  
 11045 W National Ave  
 West Allis, WI 53227

SCALE  
**VARIABLES**

GENERAL PLAN

# A101

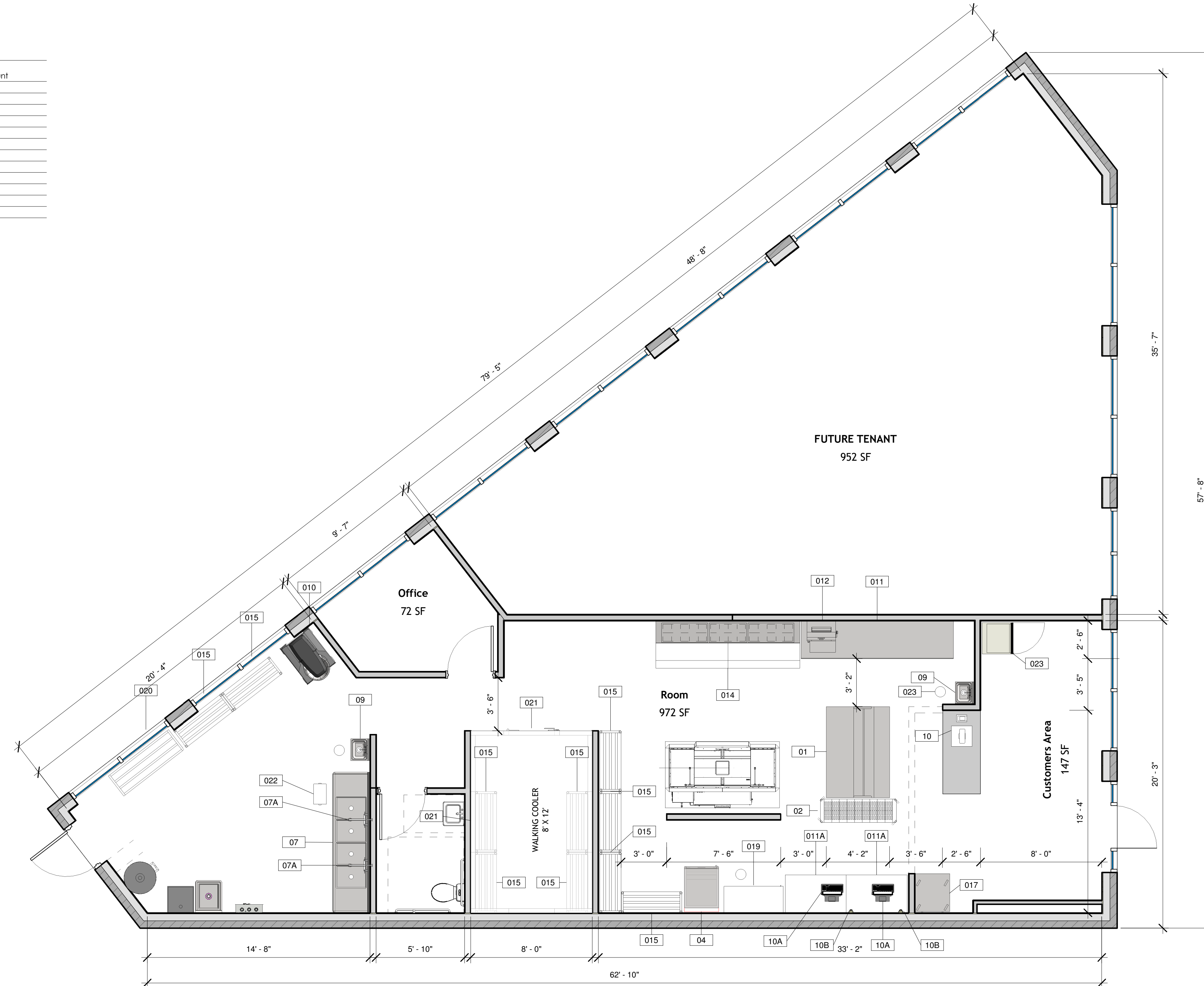


### Food Service Equipment Schedule

Mark	Description	Manufacturer	MODEL	Count
01	14ga s/s T304 Work Table 84"W x 52"D x 36"H, flat top, 2" turn-down on all sides, 2ea of partial welded 18ga s/s undershelves, 1 1/2" s/s legs, 1" adjustable feet. Two outlet boxes mounted below top, hot channel for conduit, outlets and electrical by others		Work Table w/ Overshelf (Cut Table - Pizza Cutting Storage Island)	1
02	Overshelf, double tier, table mounted 18ga s/s, 18" x 84" long			
07	(Place By Cutting Table) 18x60x74			
07A	SINK, 4 COMPARTMENT			
07A	8" wall mount mixing faucet with polished chrome plated brass body, 26" riser, overhead swivel arm, 20" flexible stainless steel hose, heat resistant handle, 1.42 GPM spray valve, compression cartridges with spring checks, lever handles, 1/2" NPT female inlets, 6" adjustable		Shelving Unit 4B18244-2D18	1 1
011	Work Table (Sheeter Table)		T & S Brass B-0131-B	2
011A	Work Table			
012	DOUGH ROLLER		120" Work Table Driver Table 30x48	1 2
015	Keg Storage Rack		CDR-2000_115/60/1	1
017	UNDER COUNTER LOW PROFILE DRAWERED REFRIGERATOR WITH HYDROCARBON REFRIGERANT		KAR48	10
018	SHELVING, WALL MOUNTED		TRUE - TUC-27D-2-LP-HC_115/60/1	1
019	GLASS DOOR MERCHANDISER: SLIDE DOOR LOWER HEIGHT NARROW DEPTH REFRIGERATOR WITH HYDROCARBON REFRIGERANT & LED LIGHTING		JOHN BOOS - GRWS36-UB	2
020	DUNNAGE RACK		GDM-41SL-60-HC-LD	1
			NEW AGE - ALJB402012	1

### Additional Equipment Schedule

Type Mark	Type	Count
04	True T-19FZ-HC 27" One Section Reach In Freezer	1
09	Handwash with Splash Guards Both Sides	2
10	Retail-Point_of_Sale - TouchBistro	1
010	HOBART HL662-2STD 460/50/60/3	1
10A	Driver Cash Register	2
10B	Wall mounted phone	2
014	LAROSA 2510-PTB	1
021	Walk in Cooler - Nor-Lake KL756 - 9' x 6'	1
022	GREASE TRAP	1
023	True GDM-23-HC-TSL01 27" GDM Series One Section Glass Door Merchandiser, Black, 115v	1
B	ADVANCE_TABCO_FS-1-1620_PREP_SINK	1



② EQUIPMENT LAYOUT  
1/4" = 1'-0"

**TOPPER'S PIZZA**  
Interior Alteration  
11045 W National Ave  
West Allis, WI 53227

SCALE  
VARIES



EQUIPMENT  
LAYOUT

A102

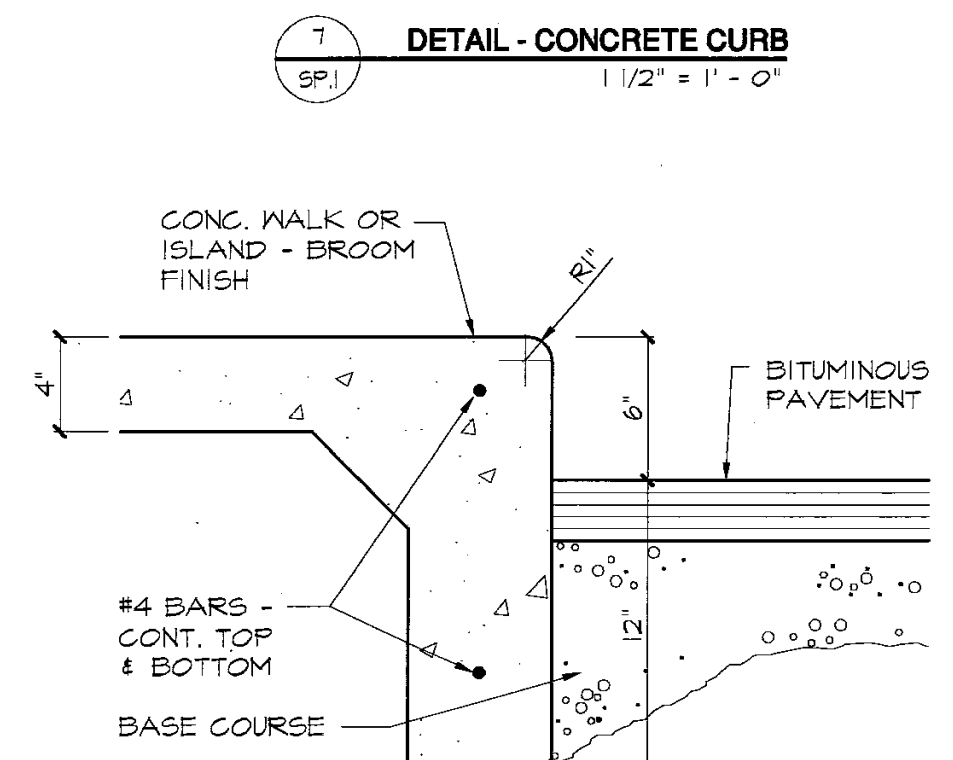
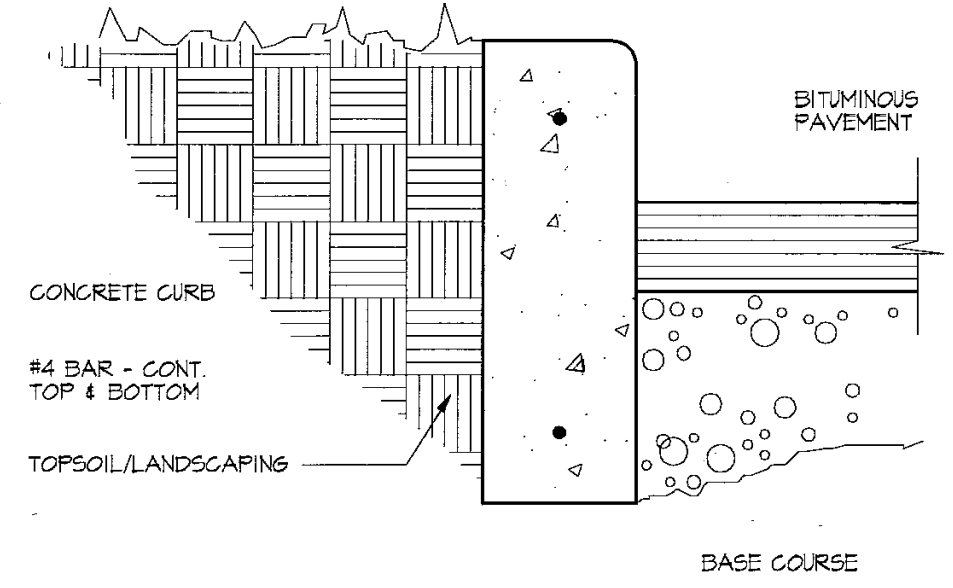
**PROJECT DATA**

SITE AREA	12,671 s.f.	(100.0%)
BUILDING AREA	2,471 s.f.	(23%)
TRASH ENCLOSURE	282 s.f.	(10%)
PAVED AREA	4,328 s.f.	(30.2%)
GREEN SPACE	5,620 s.f.	(29.5%)
PARKING ANALYSIS REQUIRED	9 CARS	(1/300 s.f.)
PROVIDED	10 CARS	

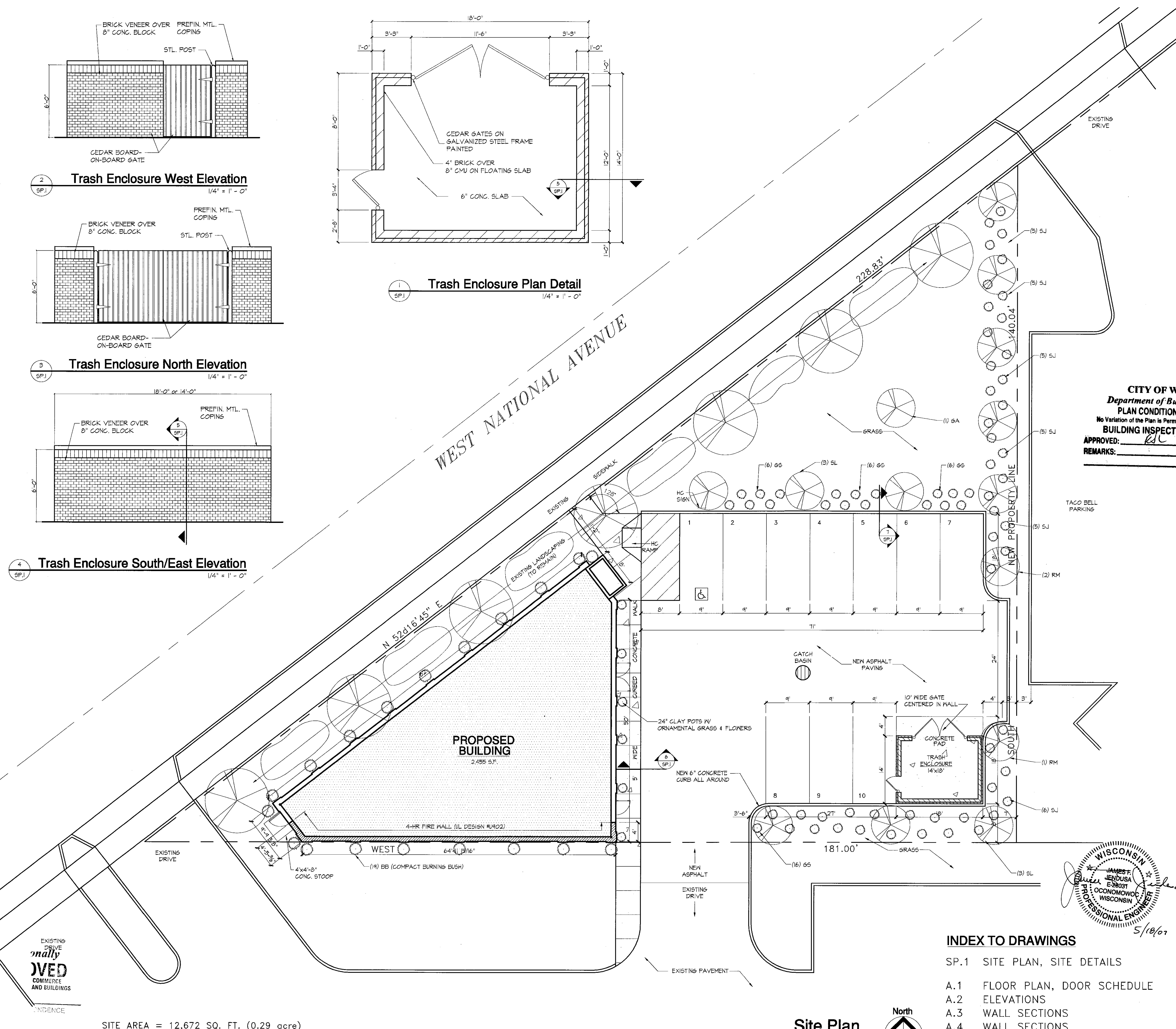
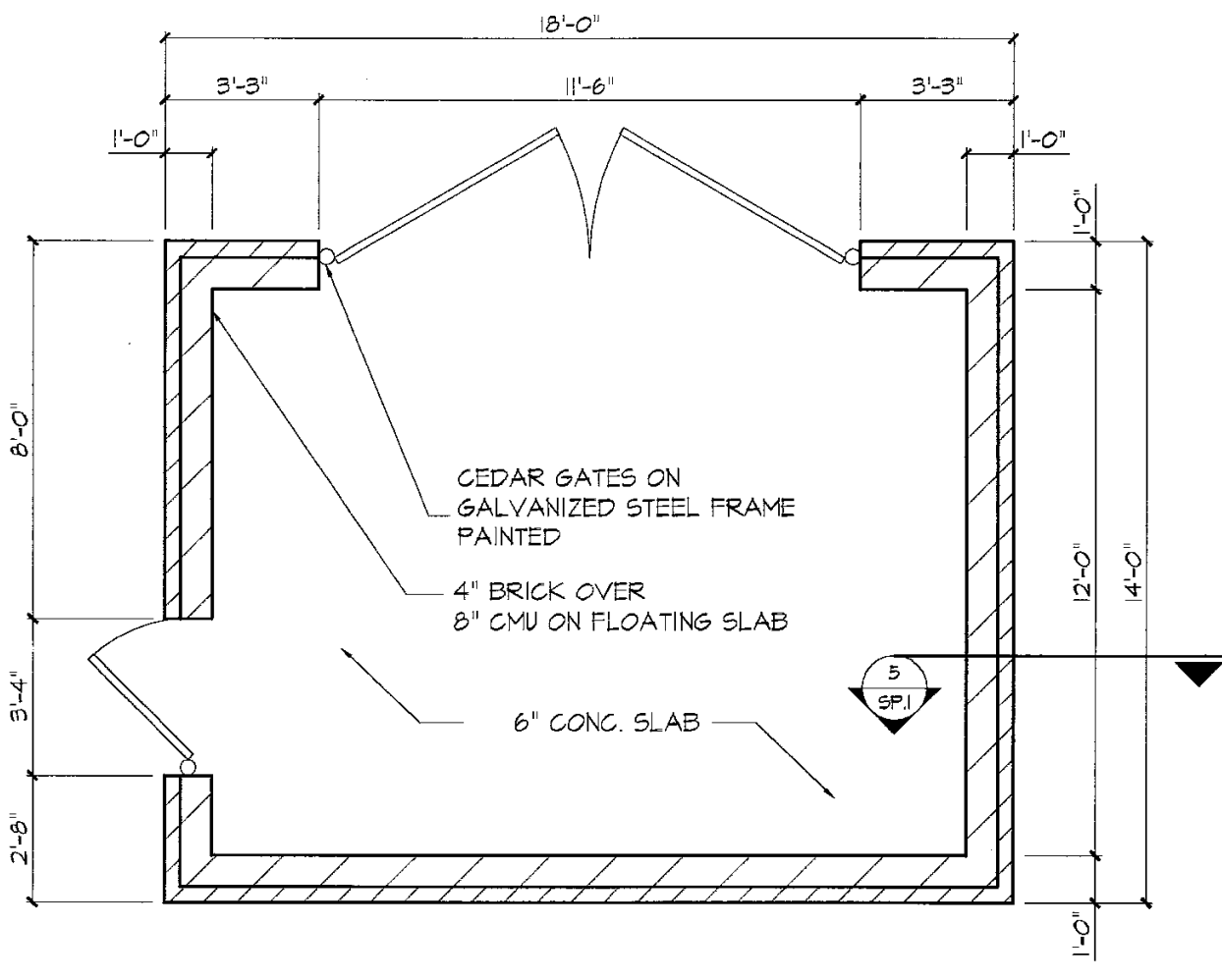
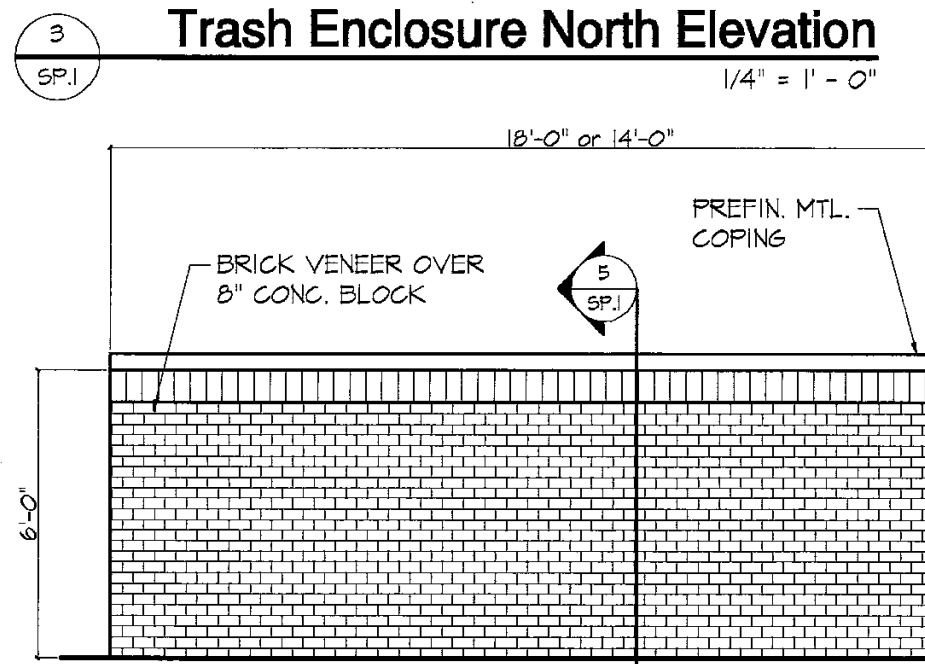
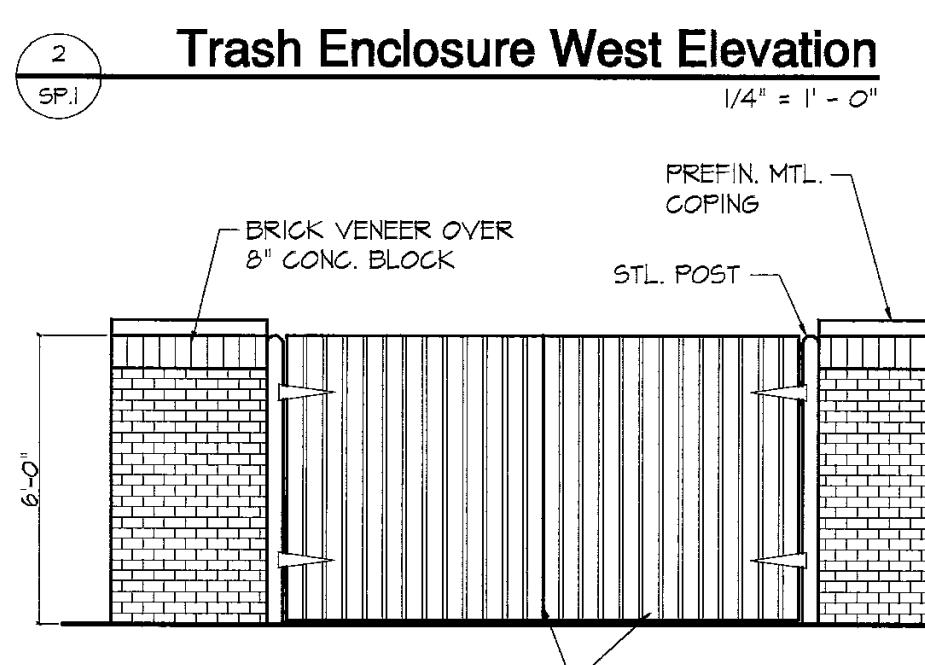
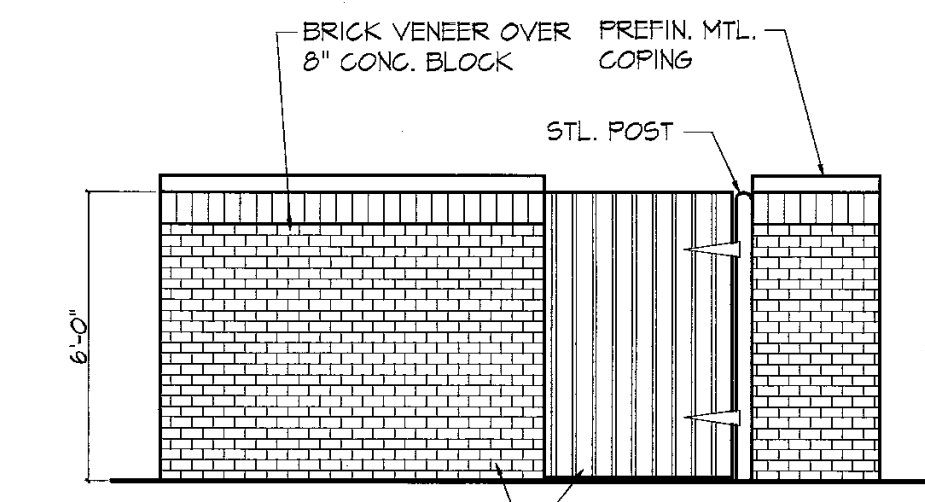
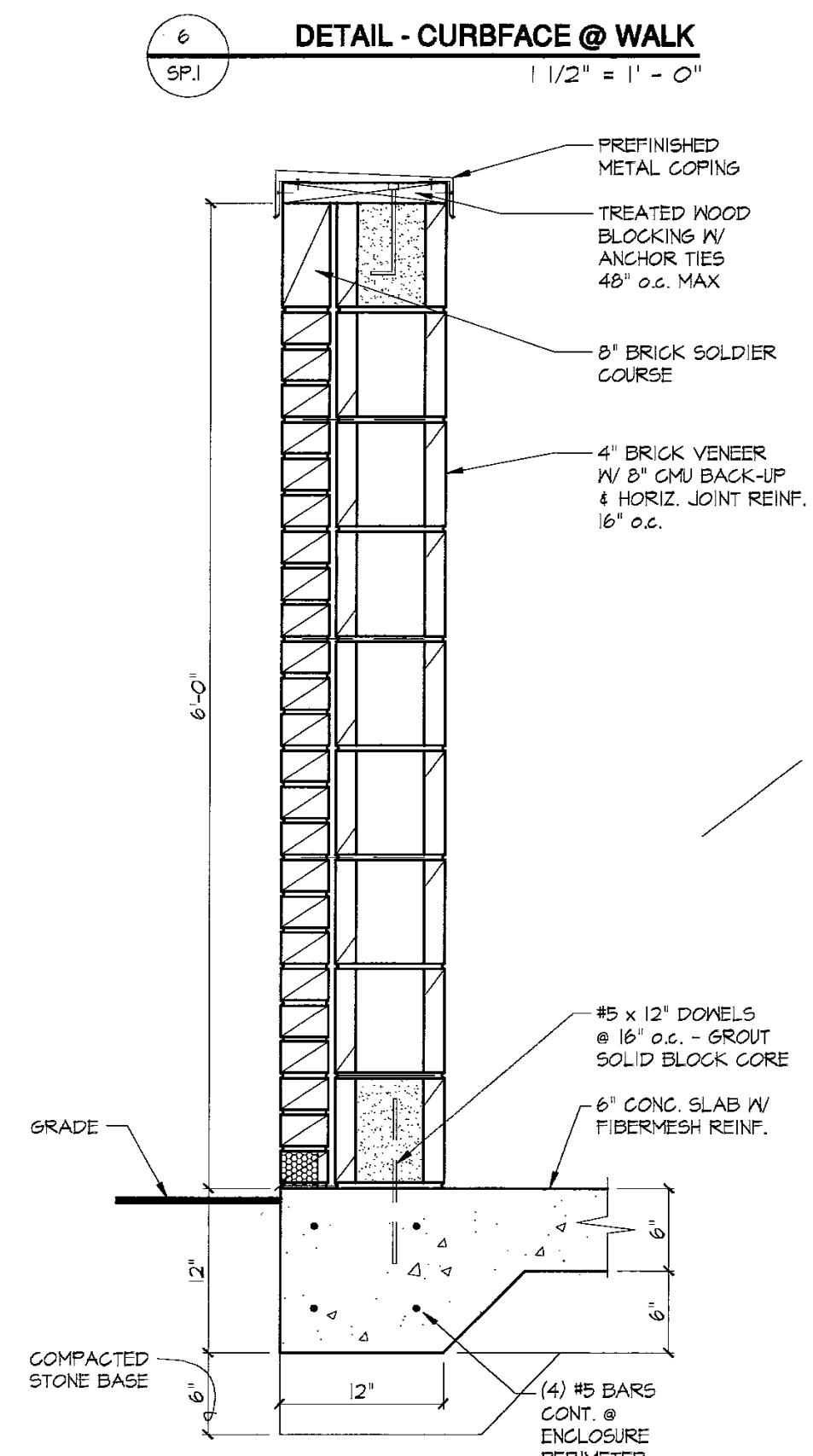
**LANDSCAPING SCHEDULE**

TREES		
BS	BLACK HILLS SPRUCE	6' HIGH
RM	RED MAPLE	2" CAL.
SL	SKYLINE LOCUST	2" CAL.
SHRUBS		
SJ	SEA GREEN JUNIPER	24-30"
GS	GOLD FLAME SPIREA	24-30"
BB	BURNING BUSH	30-36"

- NOTES:**
- INSTALL PROFESSIONAL GRADE PLASTIC EDGING AROUND ALL PLANTING AREAS.
  - INSTALL FABRIC WEED BARRIER IN ALL PLANTING AREAS.
  - INSTALL 3" (MIN) DEPTH OF SHREDDING BARK MULCH (NATURAL COLOR) AROUND TREES & SHRUBS IN ALL PLANTING AREAS.



NOTE: PROVIDE CONTROL JOINTS @ 5'-0" o.c. + TYP. IN ALL WALKS



**INDEX TO DRAWINGS**

SP.1	SITE PLAN, SITE DETAILS
A.1	FLOOR PLAN, DOOR SCHEDULE
A.2	ELEVATIONS
A.3	WALL SECTIONS
A.4	WALL SECTIONS
S1.0	FOUNDATION PLAN
S1.1	FOUNDATION SPECS & DETAILS
S2.0	ROOF FRAMING PLAN
S2.1	STRUCTURAL SPECS & DETAILS

**ARCHDESIGN ASSOCIATES**

4615 Vettelson Rd.  
Suite 200  
Hartland, WI 53029  
Phone: 262.369.0700  
Fax: 262.369.7740

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**CITY OF WEST ALLIS**  
Department of Building Inspections  
**PLAN CONDITIONALLY APPROVED**  
No Variation of the Plan is Permitted without the Approval of the  
**BUILDING INSPECTIONS DEPARTMENT**  
APPROVED: *[Signature]* DATE: 7/5/07  
REMARKS:

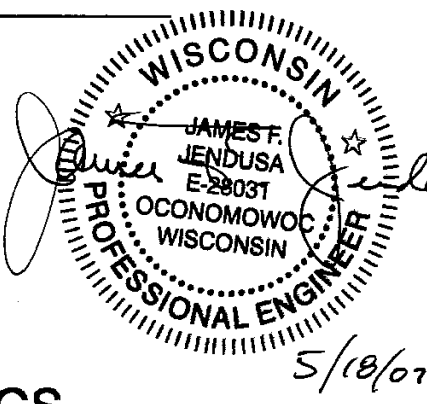
**REVISIONS**

FOR STATE SUBMITTAL	5/3/07
	5/15/07

Proposed New Building  
**West Allis Retail Building**

West National Ave.  
West Allis, WI  
SHEET TITLE  
**Site Plan**

PROJECT NO.	0106
DATE	March 26, 2007
SCALE	1/4"=1'-0"
CHECKED BY	DLH
DRAWN BY	JDL
SHEET	<b>SP.1</b>







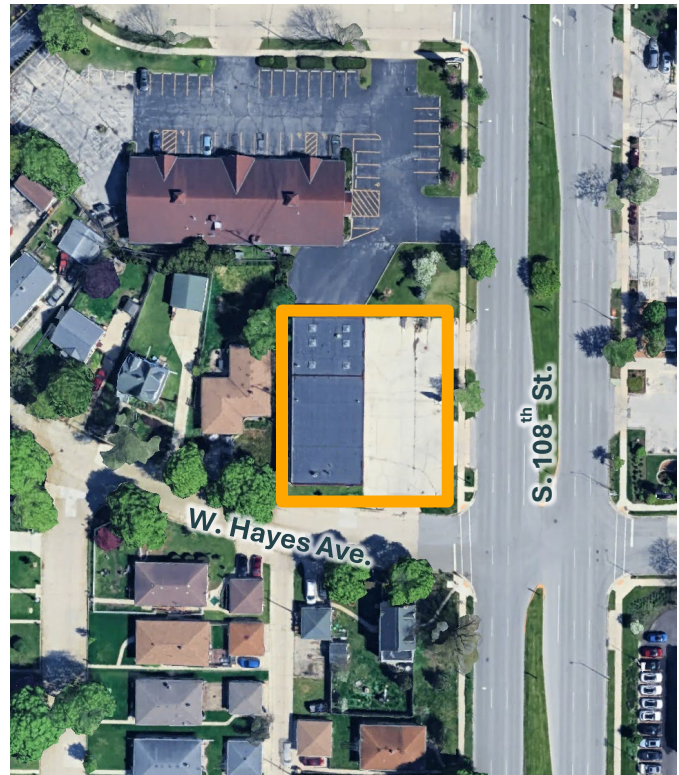
**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, January 22, 2025  
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 3A. Conditional Use Permit for CD One Price Cleaners, a proposed Dry Cleaning use, at 2367 S. 108 St.**
- 3B. Site, Landscaping, and Architectural Design Review for CD One Price Cleaners, a proposed Dry Cleaning use, at 2367 S. 108 St. (Tax Key No. 484-0013-001)**

**Overview and Zoning**

The currently vacant building at 2367 S. 108<sup>th</sup> St. most recently housed an auto parts warehousing and retail business. The existing single tenant commercial building is proposed to become a dry cleaning retail and plant location. The business operator will be CD One Price Cleaners. Specializing in efficient operations and innovative plant/store designs, the company has grown to 49 stores across four Midwestern states and aims to expand into southeastern Wisconsin, starting with West Allis. Services offered will include dry cleaning, laundered shirts, personal wash and fold laundry, and specialized services such as wedding gown preservation, rug and boot cleaning, and leather garment cleaning through



third-party vendors. The business uses environmentally safer cleaning solvents, such as DF 2000, and advanced technologies to avoid the use of perchloroethylene (PERC), a chemical commonly used in traditional dry cleaning.

The property at 2367 S. 108<sup>th</sup> St. is Zoned C-4. Dry Cleaning uses are considered Conditional Uses in the C-4 district.

Construction is anticipated to being in Spring 2025 with a targeted Fall 2025 opening. The business plans to hire 8-10 employees with future growth planned to hire 15-20 workers over time.

Hours of Operation:

- Retail Store Hours:
  - Monday – Saturday: 7 a.m. – 7 p.m.
  - Sunday: Closed
- Self-Service Kiosk: 24-hour access

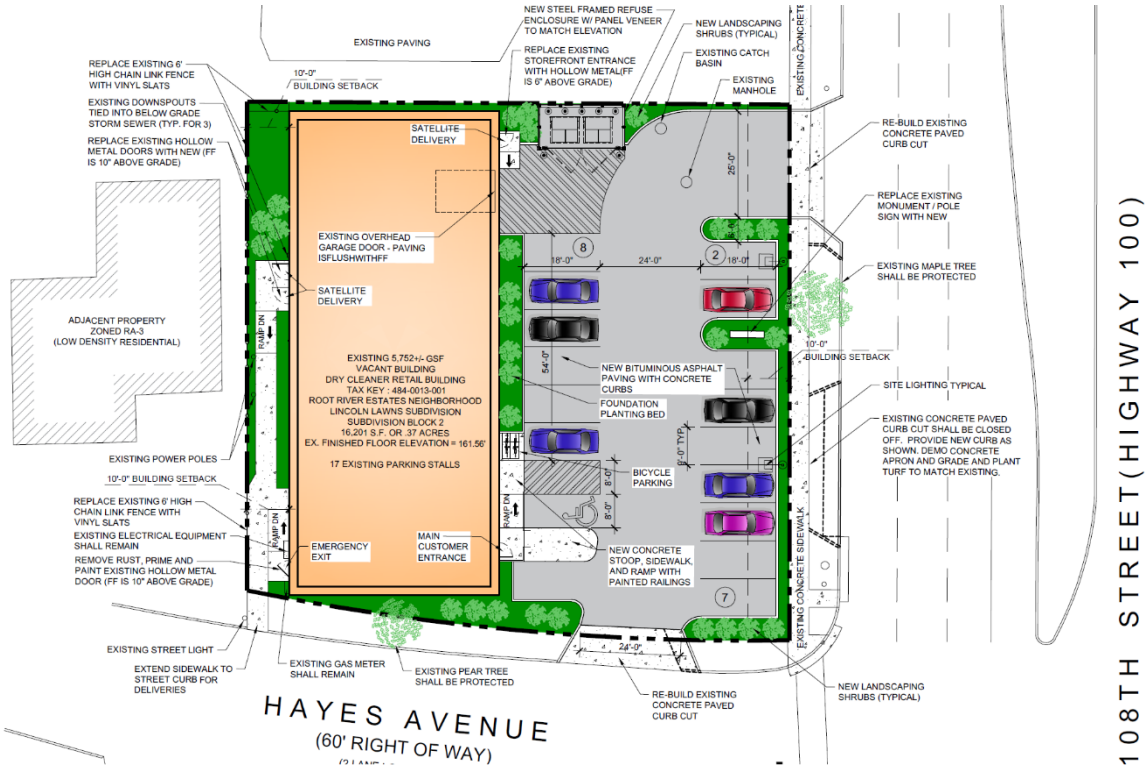


**Site Plan**

The site shows an existing 5,752 square foot building on the western side of the property. The building has an existing parking lot along with a nonconforming trash enclosure and pole sign. The site is currently accessible by two driveway access points on S. 108<sup>th</sup> St. and one driveway access point off W. Hayes Ave.

The proposed site plan shows no changes to the existing building. However, there are numerous changes proposed to the parking lot area. The parking area shows a total of 17 parking stalls proposed. This is in conformance with the required parking maximum. Two bicycle racks are proposed. New landscaping bulbs on the eastern portion of the lot are proposed. Additionally, existing concrete is to be replaced by landscaping along the east and west walls of the building. The northern area of the parking lot shows a new refuse area with screening. The refuse area is located next to a loading area that does not allow parking. Directly west of the building is an existing walkway that consists entirely of asphalt. The proposal shows removal of some asphalt, with a portion of being retained as a walkway. Access to the parking lot is provided by S. 108<sup>th</sup> St. and W. Hayes Ave. The proposal shows the removal of the southern access point along S. 108<sup>th</sup> St.

A formal landscaping plan has not been submitted by the applicant at the time of the staff report. The site plan indicates locations for potential landscaping. A full species list with locations will be required to be submitted and reviewed by City Forestry. Staff recommends additional landscaping be planted along the western edge of the parking lot, buffering the sidewalk and parking area.



### Architectural Plan

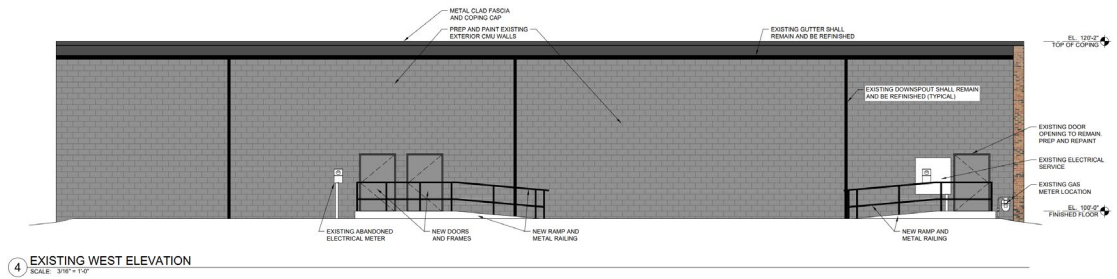
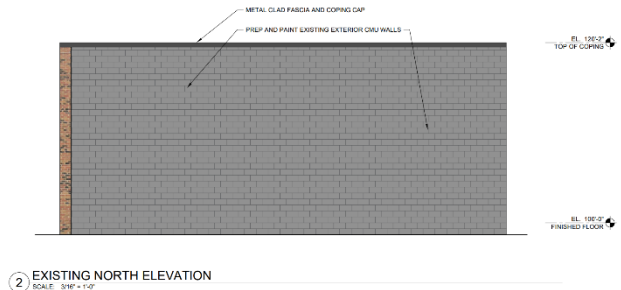
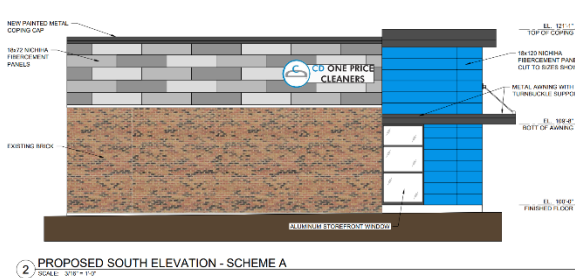
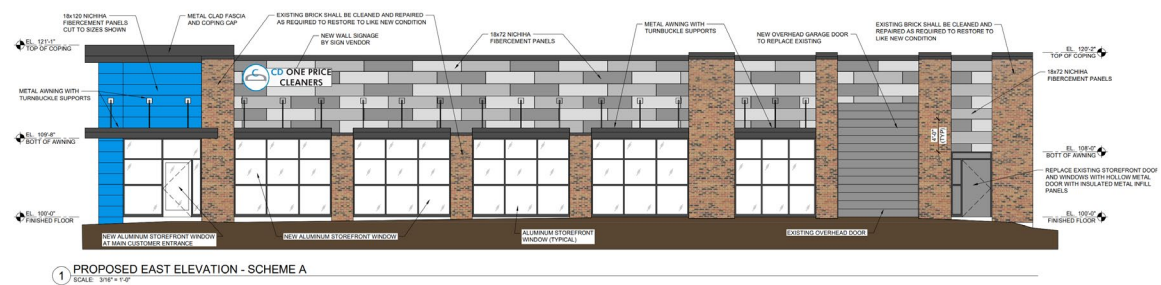
The proposed architecture plan shows an overhaul to the existing commercial building. The street facing façade is currently comprised of minimal window, multiple overhead garage doors, and minimal aesthetic detailing. The proposed architecture plan delivers a commercialized look to the building, straying from the current industrial appearance.

A row of new, large storefront windows are proposed along the majority of the street facing façade. The windows are to be visually separated by existing masonry that will be restored to like-new condition. A glass door serving as the main customer entrance is located within one of the sets of the aluminum storefront windows. Next the windows towards the northeast corner of the building is one existing overhead garage door. This is the only overhead garage door remaining after the exterior remodeling. Above the new windows are metal awnings with turnbuckle supports. The supports are placed upon a row of grey colored Nichiha fibercement panels, which make up most of the upper half of the street facing façade. The southeast

corner of the building also shows Nichiha paneling, but shown in blue. The corner has Nichiha working its way up from the base to the top of the façade. Metal clad fascia copes the building on all sides.

The south façade follows a similar architectural design with the blue and grey nichiha paneling. An aluminum storefront window is to be replaced. The remainder of the south façade is comprised of existing masonry. Minimal changes are proposed for the north and west facades. Both the north and west facades will receive a new paint scheme. The west façade shows new doors and a new ramp with a metal railing.

Additional details are needed on the visibility of any rooftop mechanical units or additional mechanical units on any facades. Additionally, locations for any venting will be needed. Ideally, venting should be placed as to not disturb the adjacent residential area to the west.

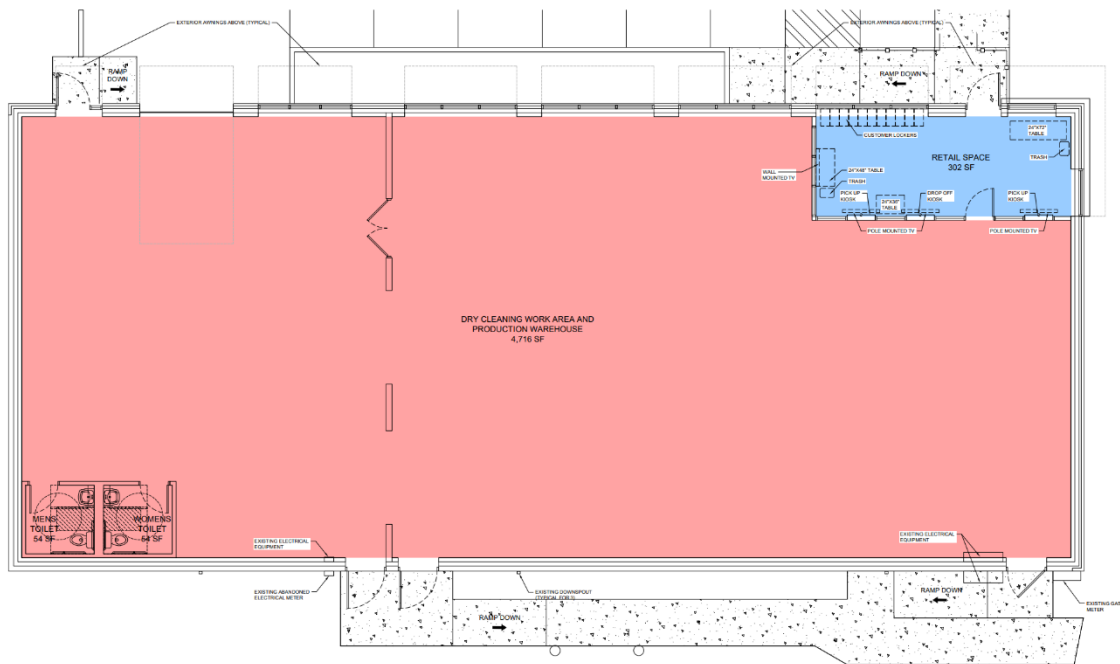


## Floor Plan

Additional details will be required for the floor plan for the submission of building permit applications. Shown on the provided floor plan is a 302 square foot retail space where public may enter the building for service. The retail space will feature customer lockers, a table, and drop-off & pick-up kiosks. A 4,716 square foot dry cleaning work area and production warehouse is shown over the remaining balance of the building. In addition to the public entrance, the building has three other doors on the NE and west side of the building for employee/business use. Staff notes that any deliveries of clean or dirty items should be focused utilizing east side doors, and not on the west side. The parking lot should be used by employees for commercial operations and not Hayes Ave.



Parking and stopping along this portion of W. Hayes Ave. is currently signed no stopping May through November.



### Design Guidelines

This project is considered a significant redevelopment due to proposed changes. Design guidelines are required for this project. See attached Plan Commission checklist and [Design Review Guidelines](#) for further details. The proposed project for the existing building satisfies most of the criteria.

**Recommendation:** Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for CD One Price Cleaners, a proposed Dry Cleaning use, at 2367 S. 108 St. (Tax Key No. 484-0013-001) subject to the following conditions:

(Item 1 -5 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for February 11<sup>th</sup>, 2025)
2. Revised Site, Landscaping, Architectural, and Floor Plan being submitted to the Planning and Zoning Office showing a) detailed landscaping with a species list and additional landscaping placed to buffer the parking lot and the sidewalk b) details on any proposed mechanical units and venting c) details on the interior floor plan d) commercial operations (deliveries/exports) being focused out the east doors e) a new 6-ft double sided wood or composite fence being added along the west property line.
3. Building permits being applied for with the Code Enforcement Department for review.
4. A driveway permit being applied for with City Engineering Department for work within the City Right-of-Way.
5. WisDOT coordination and approval of alterations to any driveway access points along STH 100 (S. 108<sup>th</sup> St.)

# PLAN COMMISSION CHECKLIST

1.

**Goal:**  
**Context**

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Neighbor	i. Street wall	<input type="checkbox"/>	
	ii. Scale	<input type="checkbox"/>	
	iii. Historic neighbors	<input type="checkbox"/>	
	iv. Connectivity	<input type="checkbox"/>	
b. Site	i. Orientation	<input type="checkbox"/>	
	ii. Unique features	<input type="checkbox"/>	
	iii. Historic elements	<input type="checkbox"/>	
	iv. Additions	<input type="checkbox"/>	

2.

**Goal:**  
**Public Realm**

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="checkbox"/>	
	ii. Street edge	<input type="checkbox"/>	
	iii. Active uses	<input type="checkbox"/>	
	iv. No blank walls	<input type="checkbox"/>	
b. Build for People	i. Engaging spaces	<input type="checkbox"/>	
	ii. Accessible spaces	<input type="checkbox"/>	
	iii. Built-out site	<input type="checkbox"/>	
	iv. Pedestrian connections	<input type="checkbox"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="checkbox"/>	
	ii. Utilities and services	<input type="checkbox"/>	
	iii. Lighting	<input type="checkbox"/>	
	iv. Fencing	<input type="checkbox"/>	

3.

**Goal:**  
**Quality**

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Building	i. Quality materials	<input type="checkbox"/>	
	ii. Ground floor	<input type="checkbox"/>	
	iii. Exterior features	<input type="checkbox"/>	
	iv. Quality design	<input type="checkbox"/>	
b. Environment	i. Natural features	<input type="checkbox"/>	
	ii. Manage stormwater	<input type="checkbox"/>	
	iii. Reduce impervious surface	<input type="checkbox"/>	
	iv. Embody sustainability	<input type="checkbox"/>	



### PLAN-24-93

Planning Application

Status: Active

Submitted On: 12/24/2024

### Primary Location

2367 S 108 ST  
West Allis, WI 53227

### Owner

108th Holding, LLC  
1010 E LAYTON AVE RORY  
OPPENHEIMER MILWAUKEE, WI  
53207

### Applicant

Saumil Makim  
 847-343-6759  
 samsmarathon@gmail.com  
 213 E. Army Trail Rd  
Glendale Heights, IL 60139

## PLANNING & ZONING APPLICATION

Contact the Planning & Zoning Department with any questions. Thank you.

[planning@westalliswi.gov](mailto:planning@westalliswi.gov)

## PLAN COMMISSION APPLICATION REQUIREMENTS

In order to be placed on the Plan Commission agenda, Planning & Zoning MUST receive the following by the last Friday of the month, prior to the month of the Plan Commission meeting:

- Completed OpenGov application
- Application Fees
- Project Description
- Set of plans attached to this application

## TYPE OF APPLICANT

Type of Applicant\*

I represent a business that is NOT the property owner



## BUSINESS INFORMATION

**Business Name\***

CD One Price Cleaners

**Business Owner/Contact Name**

Sam Makim

**Business Owner/Contact Position**

Manager

**Business Owner/Contact Phone Number**

8473436759

**Business Owner/Contact Email**

samsmarathon@gmail.com

**Business Street Address\***

213 E, Army Trail Rd

**Business City\***

Glendale Heights

**Business State\***

IL

**Business Zip\***

60139

---

## APPLICATION TYPES

**Choose which process you are applying for. \***

Conditional Use

**Conditional Uses require a public hearing. Other requirements include site, landscaping and architectural plan review.**

**Choose from the dropdown the total value of your project.**

**Conditional Use - Site, Landscaping, Architectural Design Review \***

**Business/Project Name\***

Level 3: Project Cost \$5,000+ (Fee \$525)

CD One Price Cleaners

**Will you be selling alcohol?\***

**Will you be serving food?\***

No

No

**Will the existing use of the building change?\***

Yes

**Describe the change of use of the building:\***

Currently the building is vacant and unused. It was used last as an Auto Parts manufacturing and warehousing facility. We intend to use it as a Dry Cleaning Retail and Plant location

**Are new buildings/and or structures being constructed as part of this project?\***

No

---

## Notice Regarding Building Permits and Plan Reviews

**Have you reached out to the Code Enforcement Department?\***

Yes, I have already reached out to the Code Enforcement Department.



Christopher Kidd and Associates, LLC  
ARCHITECTS DESIGNERS PLANNERS

18650 W. Corporate Drive, Suite 302 Brookfield, Wisconsin 53045-6326  
P 262.901.0505 arch@cka-ae.com cka-ae.com

# Proposed CD One Price Cleaners



2367-2373 South 108th Street  
West Allis, Wisconsin 53227  
January 07, 2025

#### PROPERTY OWNER CONTACT INFO

108TH Holding, LLC  
1010 E. Layton Avenue  
Milwaukee, WI 53207

#### PROPOSED TENANT CONTACT INFO

CD One Price Cleaners  
Milwaukee, Wisconsin  
Contact : Sam Makin, CEO

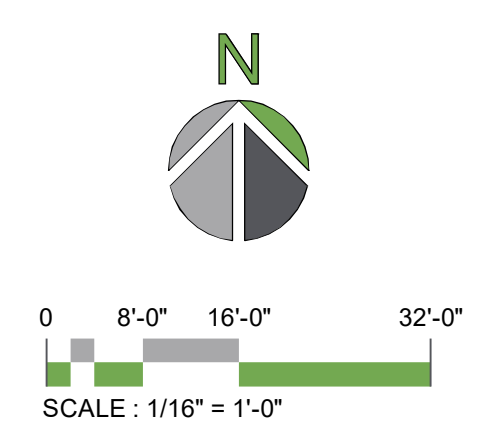
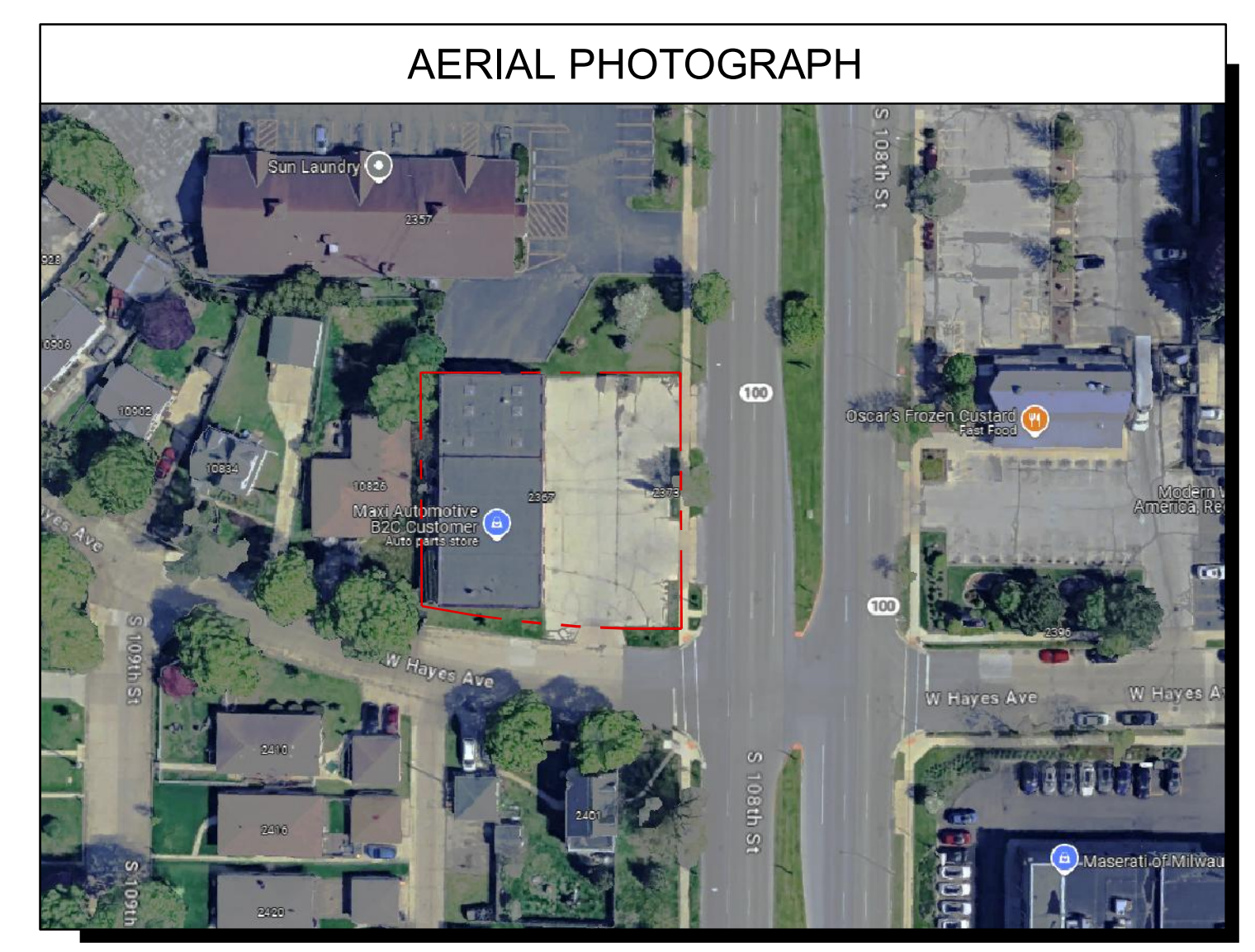
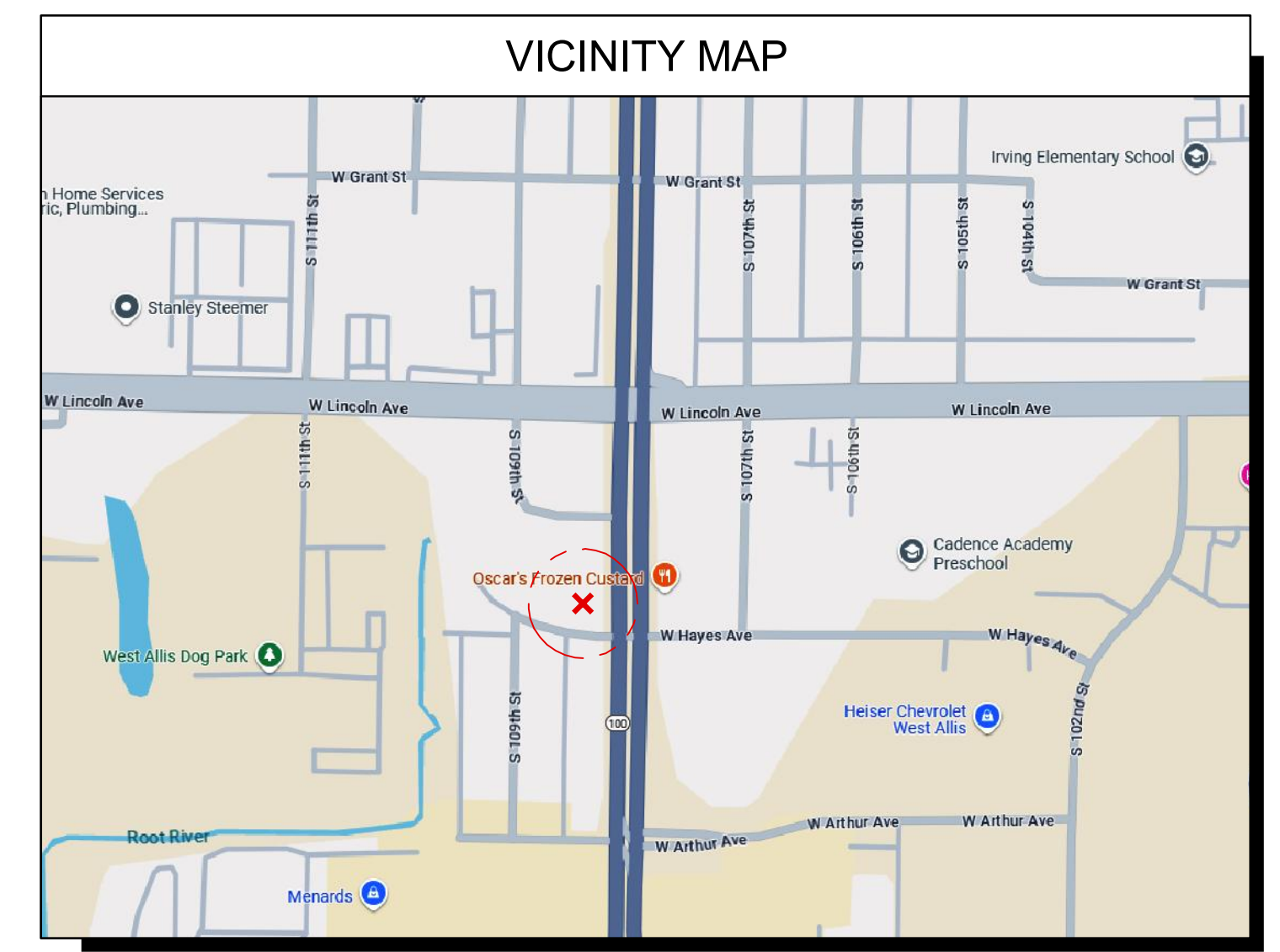
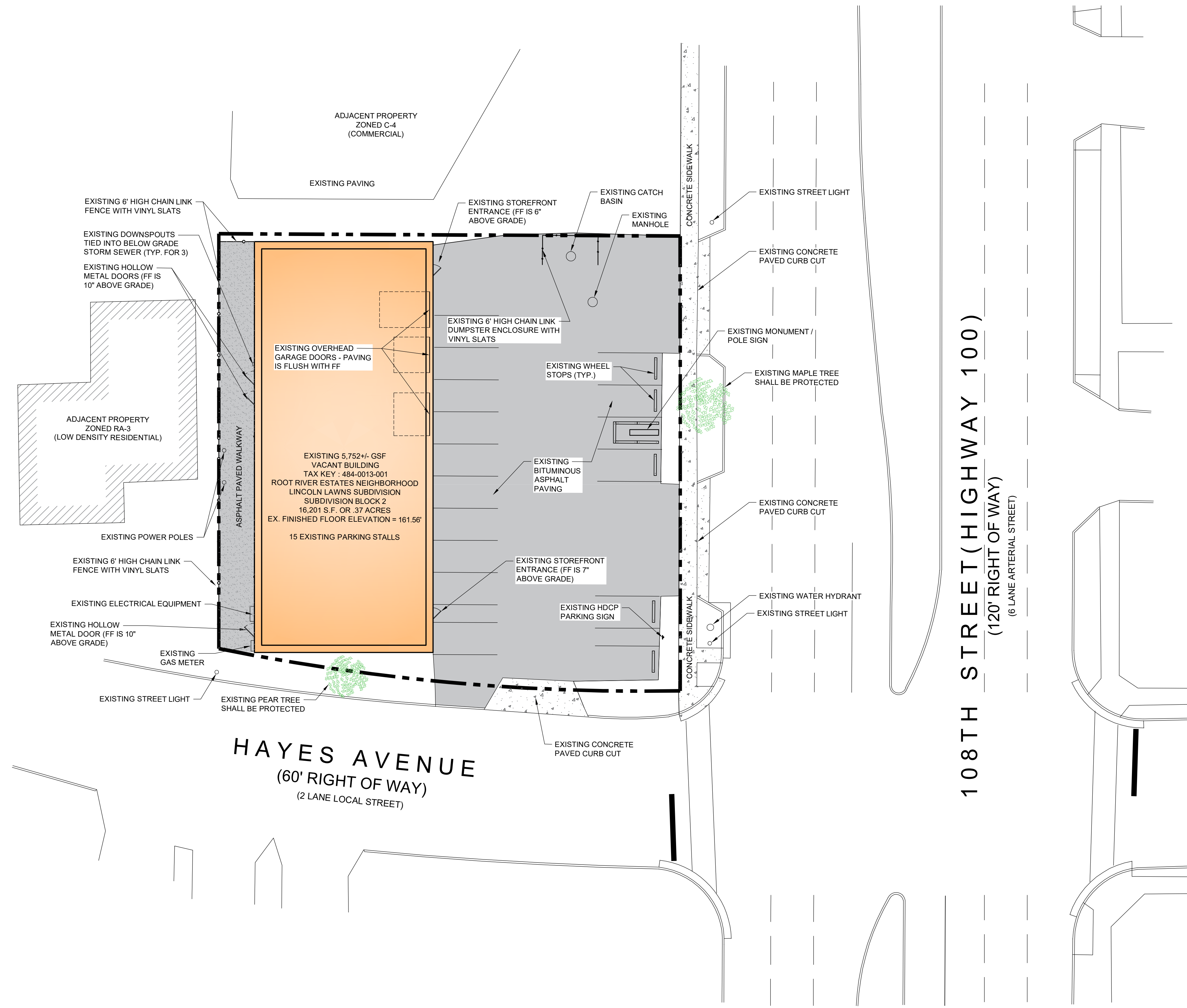
#### DRAWING INDEX

- 00-Titlesheet
- 01-Existing Site Plan
- 02-Proposed Site Plan
- 03-Existing Floor Plan
- 04-Demolition Plan
- 05-Proposed Floor Plan
- 06-Existing Elevations
- 07-Proposed East & South Exterior Elevations
- 08-Proposed West & North Exterior Elevations

ARCHITECTS

DESIGNERS

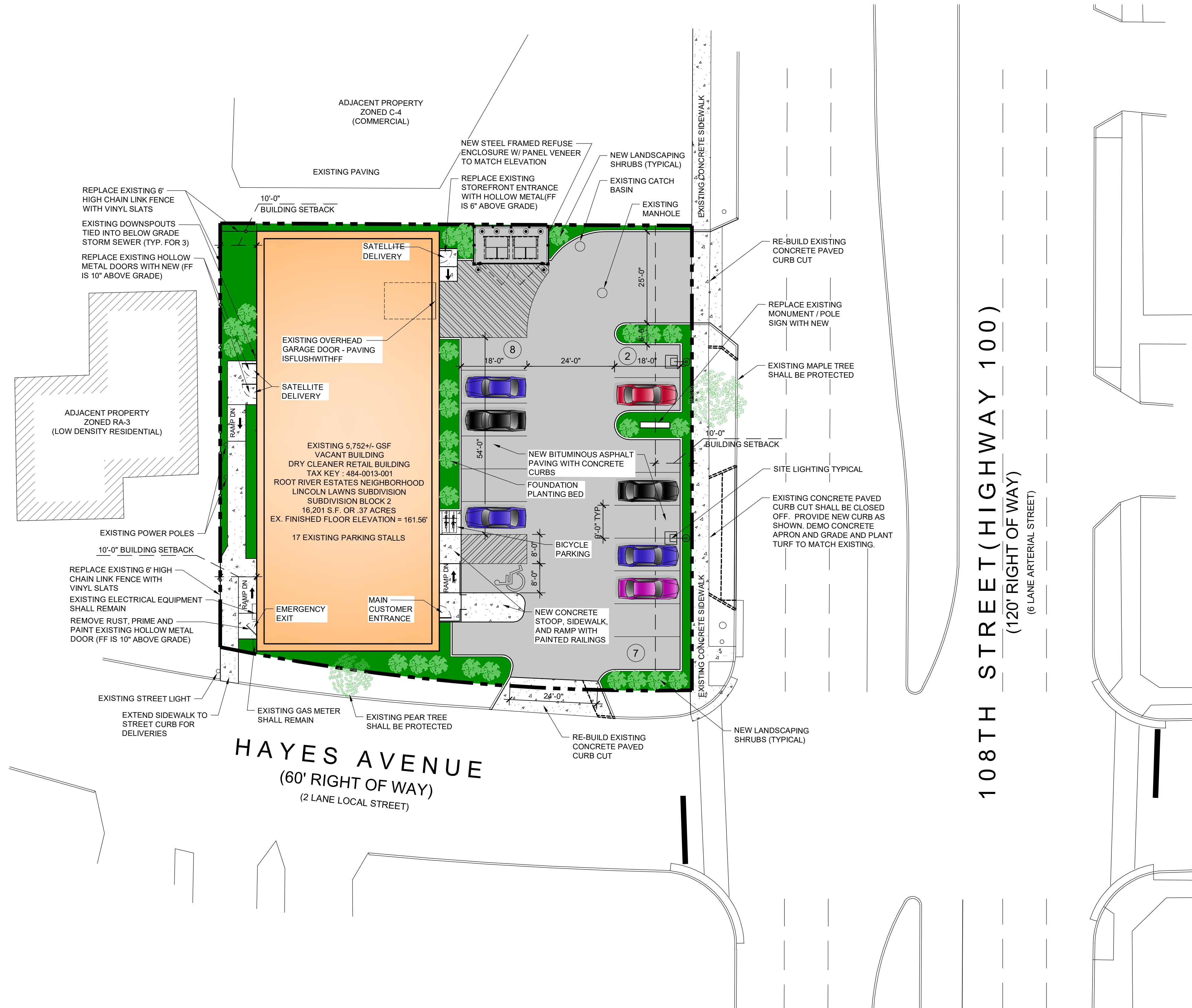
PLANNERS



CD ONE PRICE CLEANERS

WEST ALLIS, WI

01-EXISTING SITE PLAN



### SITE SUMMARY

**ZONING**

C-4 - COMMERCIAL DISTRICT  
DRY CLEANING USE IS PERMITTED AS CONDITIONAL USE

**SURROUNDING ZONES:**  
NORTH - C-4 - COMMERCIAL DISTRICT  
EAST - 108TH STREET  
SOUTH - HAYES AVENUE  
WEST - RA-3 - RESIDENTIAL DISTRICT

**AREAS**

LOT AREA:	16,201 S.F. OR .37 ACRES
TOTAL BUILDING AREA:	5,752 G.S.F.
LOT COVERAGE:	35.5%
MAX. LOT COVERAGE:	N/A

**PARKING**

TOTAL PARKING NEEDED PER CITY:	17
(3/1000GFA MAX.)	
TOTAL BIKE PARKING NEEDED PER CITY:	2
(1/3000GFA MIN. BIKE PARKING REQUIRED, NOT MORE THAN 10)	
TOTAL PARKING REQUIRED BY CLIENT:	17

**PROVIDED STANDARD STALLS:** 16  
**PROVIDED ACCESSIBLE STALLS:** 1  
**TOTAL PARKING PROVIDED:** 17

**PARKING STALL SIZE PER CODE, 90°:** 9'X18' PROVIDED  
 **AISLE WIDTH, 90°:** 24' PROVIDED

**SETBACKS**

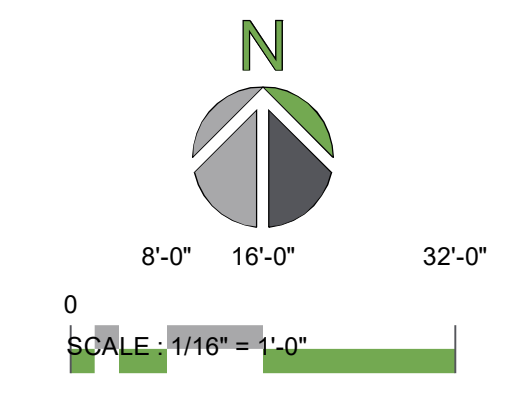
STREET: 10' MIN. - PAVING WITHIN SETBACK ALLOWED  
SIDE: 0' (10' MIN. TO AVOID RATING)  
REAR: 10' MIN. - PAVING WITHIN SETBACK ALLOWED  
HEIGHT: 105'

**LANDSCAPING**


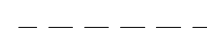

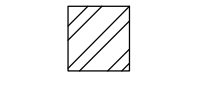
N/S

**OTHER DESIGN REQUIREMENTS**

- REFUSE ENCLOSURE PERMITTED IN SIDE AND REAR YARD SETBACK ONLY
- SIGNS PERMITTED WITHIN ALL SETBACKS
- CURBS REQUIRED, STORMWATER SHALL BE CONTAINED TO OUR PROPERTY
- A VISUAL BUFFER, ENCLOSURE OR SCREEN SHALL SURROUND PARKING AS REQUIRED BY PLAN COMMISSION

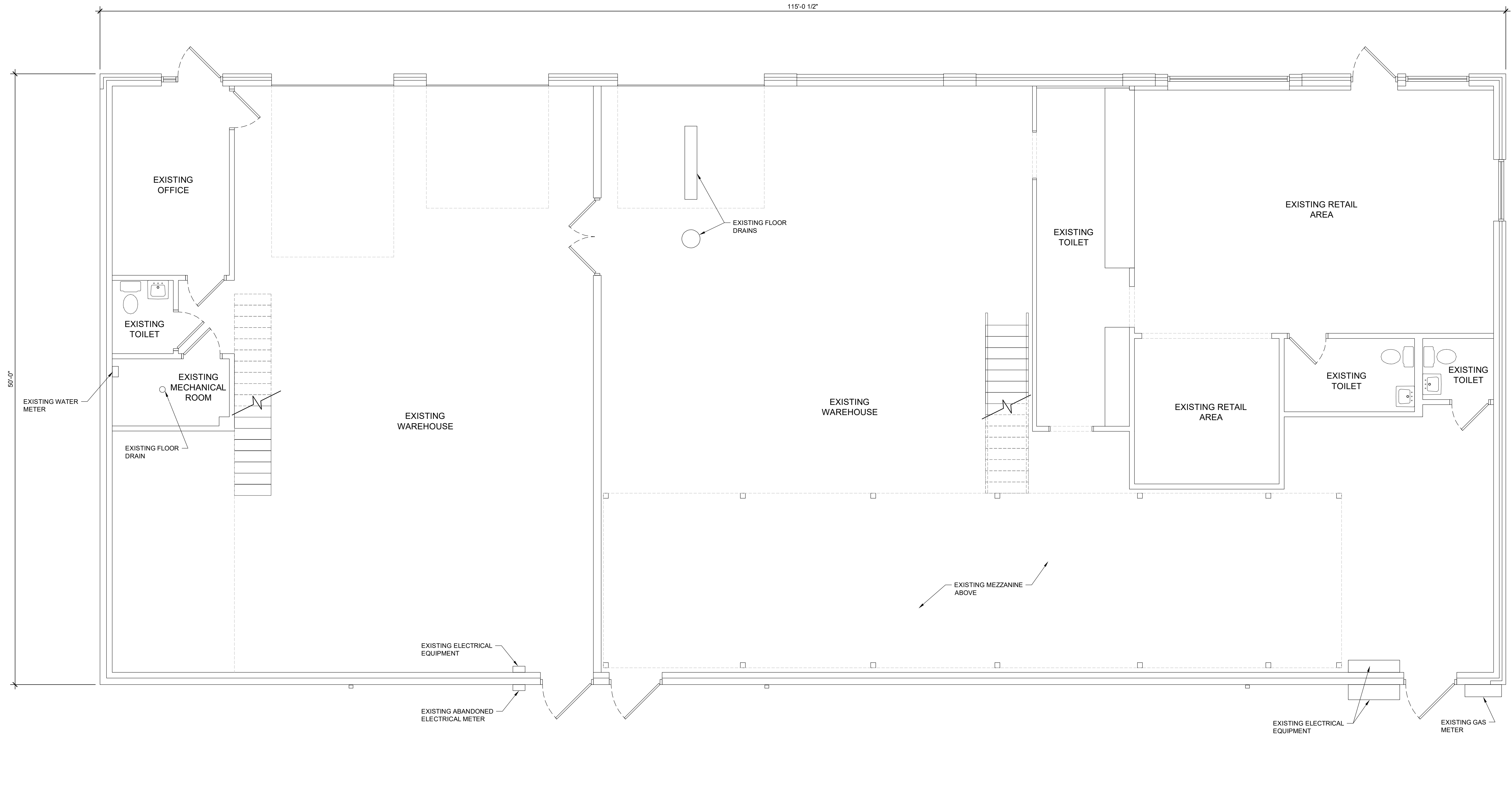


### DRAWING LEGEND

	INDICATES EXISTING PROPERTY LINE
	INDICATES REQUIRED SETBACKS AND EASEMENTS
	INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE
	INDICATES PEDESTRIAN OR ACCESSIBLE AISLE STRIPING

### GENERAL NOTES

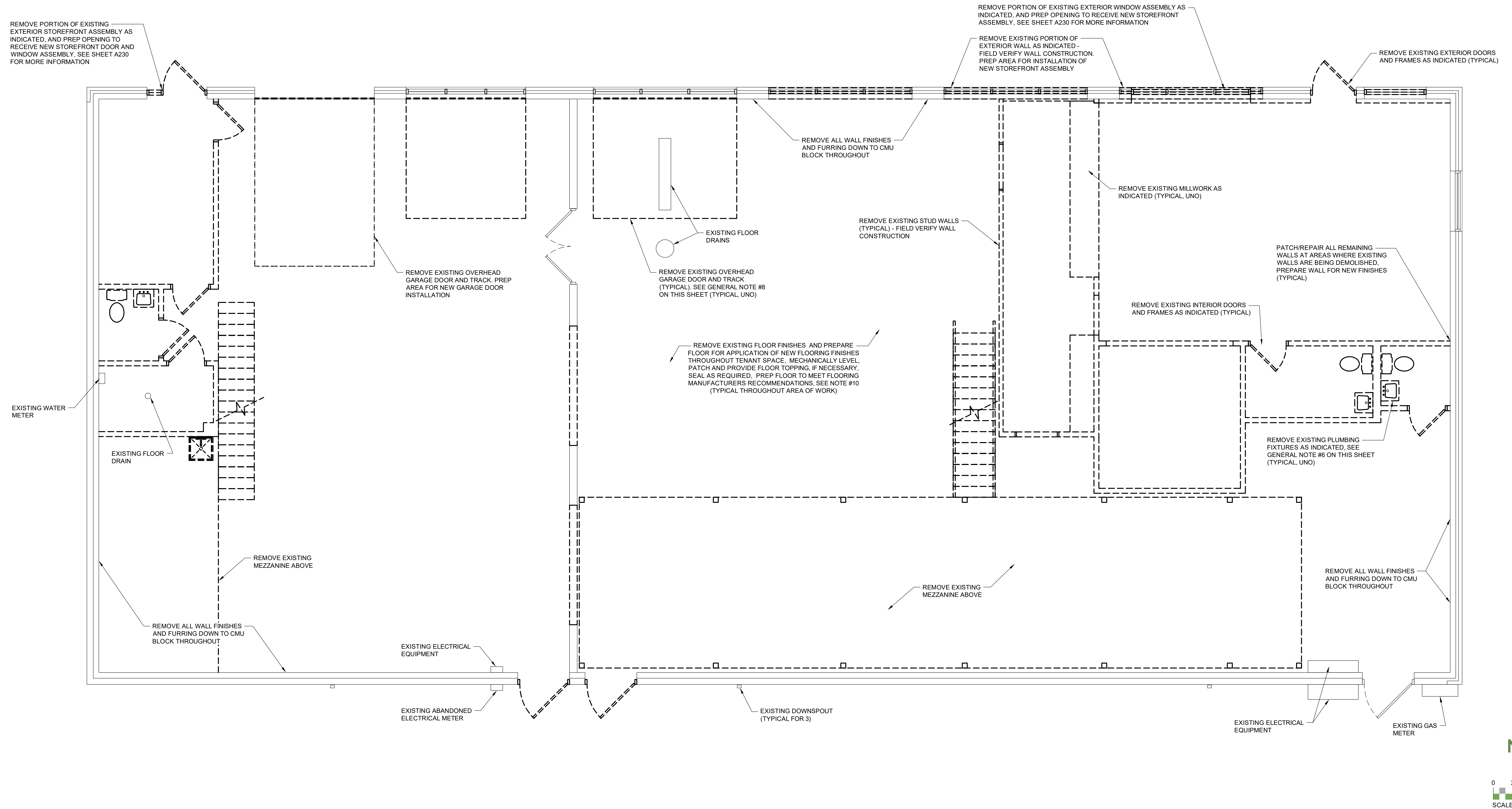
- THIS PLAN IS PRELIMINARY IN NATURE. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. PROPERTY BOUNDARIES AND EXISTING WERE GENERATED USING AERIAL PHOTOGRAPHS AND FIELD INFORMATION. SITE ACCURACY CANNOT BE VERIFIED UNTIL LAYED OUT IN RELATION TO A CURRENT SURVEY OF THE PROPERTY.
- ZONING AND PLAN REVIEW FEES AND APPLICATIONS SHALL BE VERIFIED WITH THE LOCAL MUNICIPALITY
- ALL SITE UTILITY LOCATIONS SHALL BE VERIFIED VIA CURRENT ALTA/ARCHITECTURAL SURVEY FOR THE PROPERTY IN QUESTION. THE ARCHITECT SHALL NOT ASSUME RESPONSIBILITY FOR UTILITIES NEEDED THAT ARE NOT IMMEDIATELY ADJACENT TO THE SITE.
- UTILITY PERMITS, TAP FEES AND STORM WATER FEES INCLUDING WATER MODEL CALCULATIONS SHALL BE VERIFIED WITH THE LOCAL MUNICIPALITY
- STORMWATER MANAGEMENT REQUIREMENTS SHALL BE VERIFIED WITH THE LOCAL MUNICIPALITY
- CURRENT STATUS OF PROPERTY WITH REGARD TO LOCATION IN A FLOOD PLAIN MUST BE VERIFIED WITH THE LOCAL MUNICIPALITY. WETLAND BOUNDARIES AND SETBACKS SHALL BE VERIFIED BY A WETLAND SURVEYOR.



# CD ONE PRICE CLEANERS

WEST ALLIS, WI

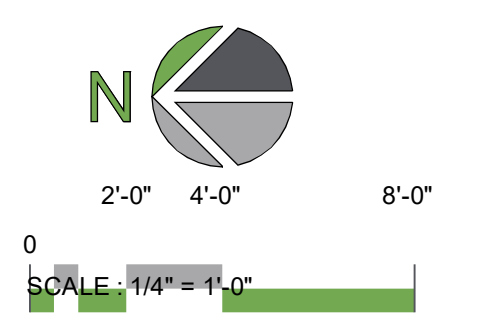
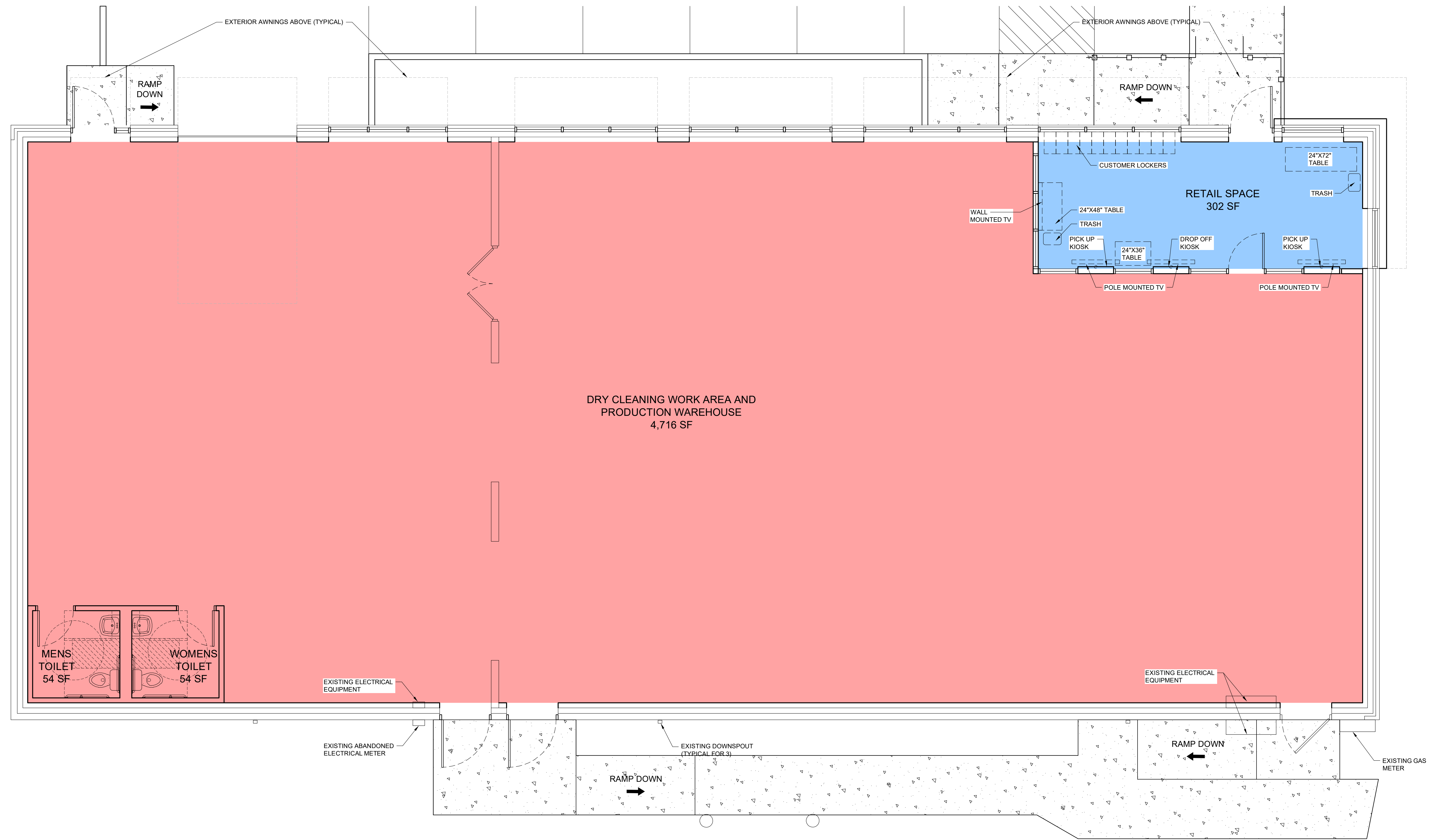
## 03-EXISTING FLOOR PLAN



# CD ONE PRICE CLEANERS

WEST ALLIS, WI

# 04-DEMOLITION PLAN



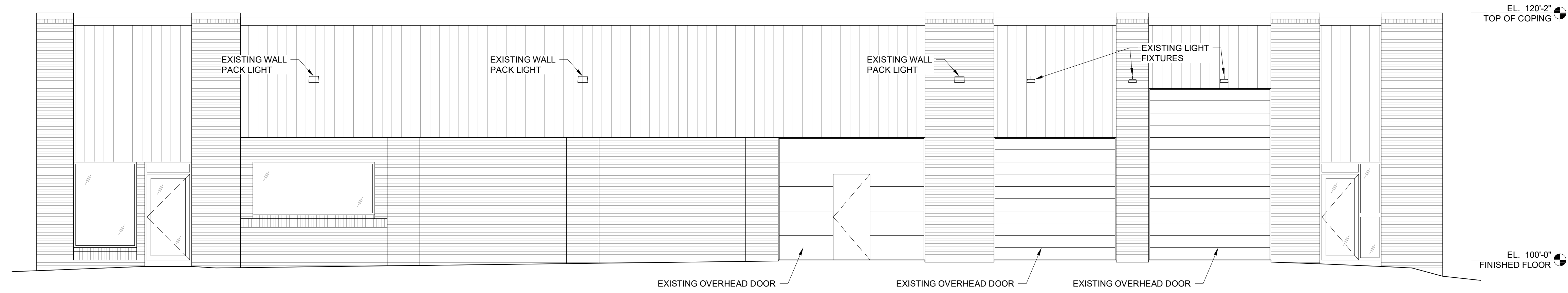
# CD ONE PRICE CLEANERS

# 05-PROPOSED FLOOR PLAN

WEST ALLIS, WI

COPYRIGHT CHRISTOPHER KIDD and ASSOCIATES, LLC 2025  
 18650 WEST CORPORATE DRIVE, SUITE 302  
 P 262.901.0505  
 BROOKFIELD, WISCONSIN 53045-6326  
 www.cka-ae.com



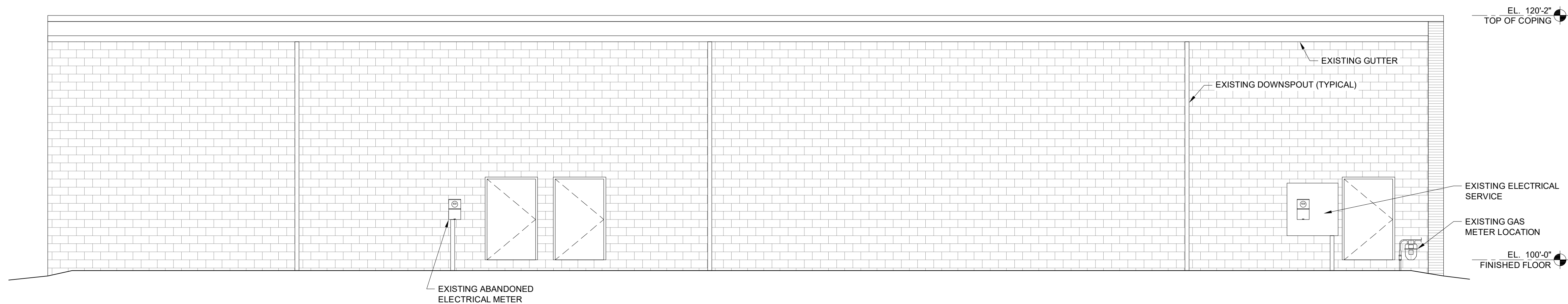


1 EXISTING EAST ELEVATION  
 SCALE: 3/16" = 1'-0"

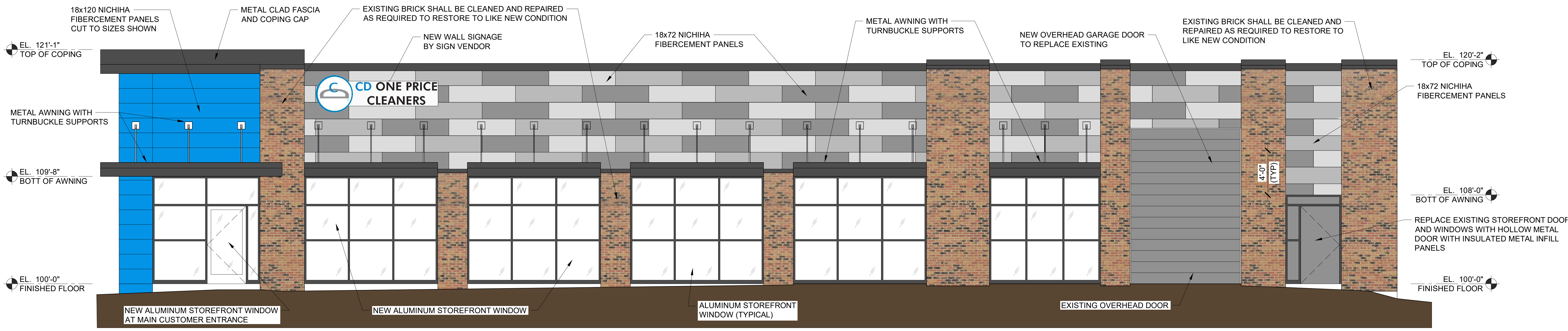


2 EXISTING NORTH ELEVATION  
 SCALE: 3/16" = 1'-0"

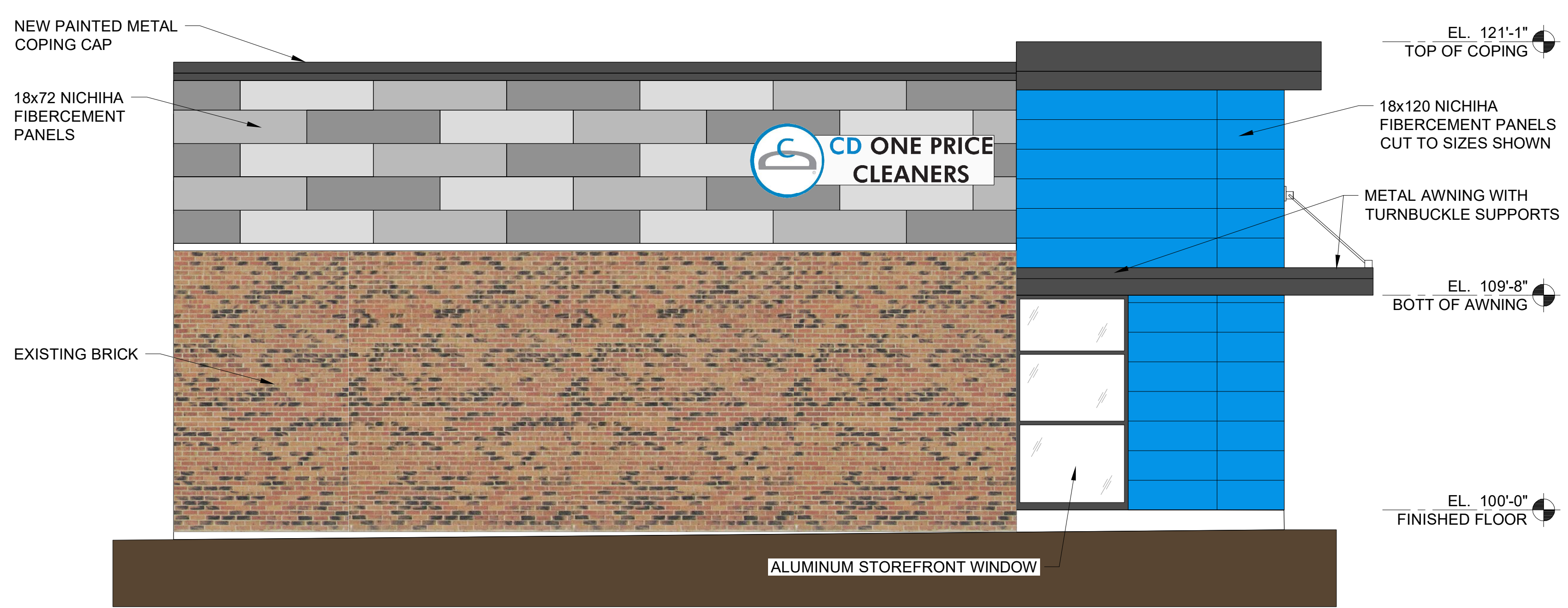
3 EXISTING SOUTH ELEVATION  
 SCALE: 3/16" = 1'-0"



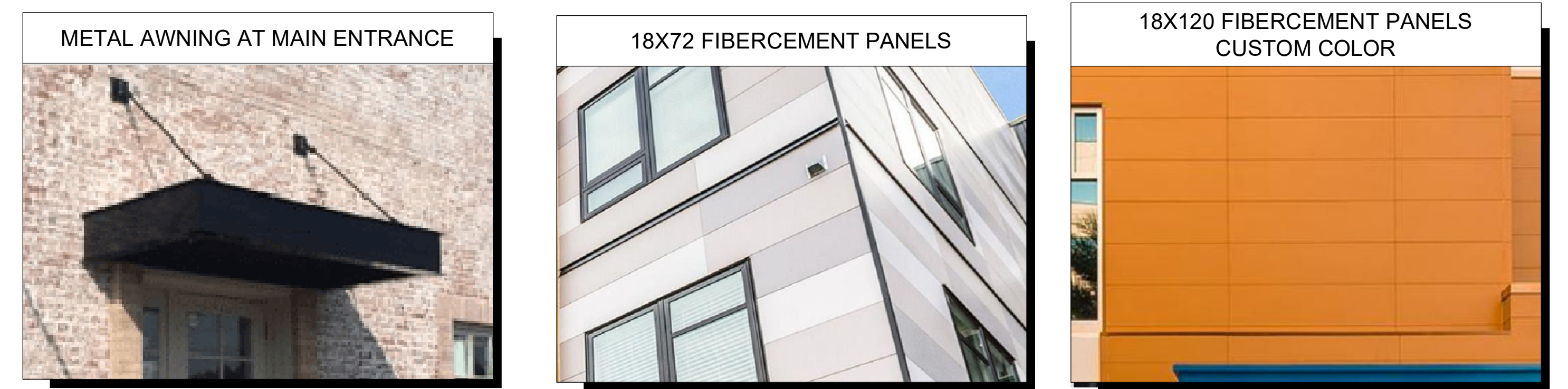
4 EXISTING WEST ELEVATION  
 SCALE: 3/16" = 1'-0"



**1** PROPOSED EAST ELEVATION - SCHEME A  
 SCALE: 3/16" = 1'-0"



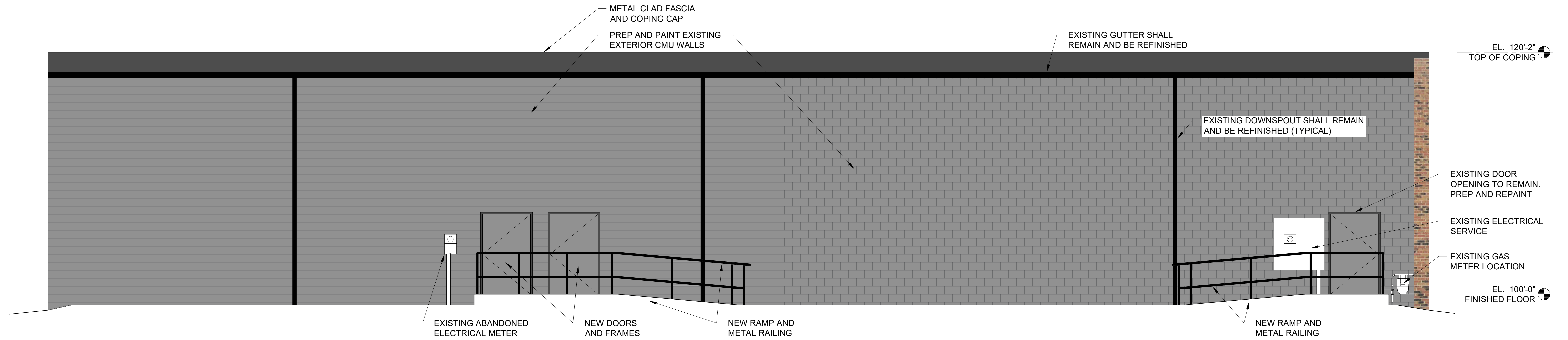
**2** PROPOSED SOUTH ELEVATION - SCHEME A  
 SCALE: 3/16" = 1'-0"



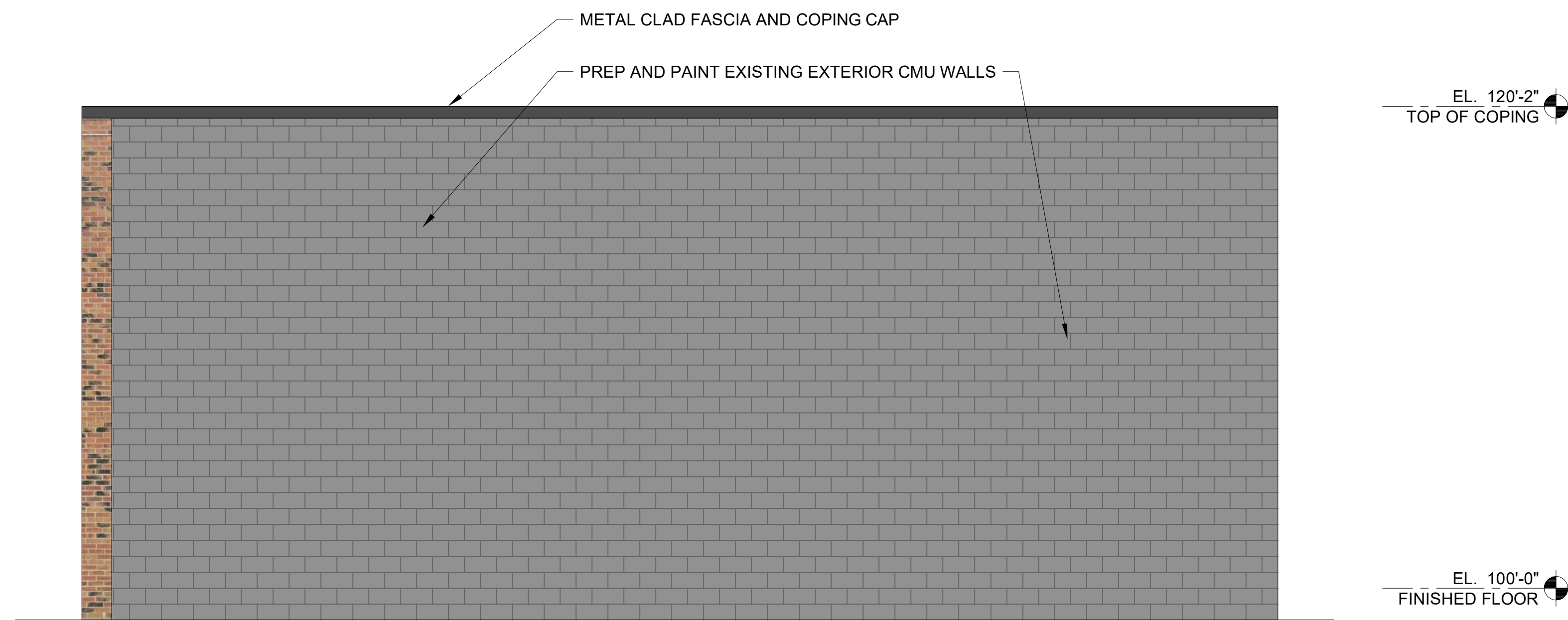
# CD ONE PRICE CLEANERS

WEST ALLIS, WI

## 07-PROPOSED EAST AND SOUTH ELEVATIONS



**4** EXISTING WEST ELEVATION  
 SCALE: 3/16" = 1'-0"



**2** EXISTING NORTH ELEVATION  
 SCALE: 3/16" = 1'-0"

**CD ONE PRICE CLEANERS**

WEST ALLIS, WI

**08-PROPOSED WEST AND NORTH ELEVATIONS**

# CD One Price Cleaners



CD ONE PRICE  
CLEANERS®



# Welcome!

## Overview:

- Company History and Information
- Current State of the Industry & Franchising
- Store Operations and Innovation



# Company History

Where it all began-  
Lincolnwood, IL 2001



# Company History

- The founders of CD One Price Cleaners are specialists in plant and store design and dry cleaning and laundry operations.
- As former dry cleaning and laundry equipment distributors, founders have strong relationships with key equipment manufacturers.
- First CD One store opened in 2001.
- The company started franchising in 2006.
- 49 total stores in four states in the Midwest (Illinois, Minnesota, Indiana and Missouri)
- SE Wisconsin is next target market

**35** Franchise  
Plant/Production Stores

**14** Franchise Satellite  
Stores

**49** Total  
Stores

**3** Executed Satellite  
Store Leases

# CD One Franchise System

## Multi-Store Ownership Focus at CD One Price Cleaners:

- **13** Multi-Store CD One Owners
- This group operates **34** of the **49** stores—Approx **70%**--a very healthy sign and indicates franchisee satisfaction.
- 8 Single Plant/Store Owners





# Points of differentiation—Independent cleaners compared to CD One Price Cleaners

Other independent Dry-Cleaners
1. Smaller, out-dated, unbranded stores of 1200-2000 sq ft
2. Frequently, no-posted pricing and no consistency in pricing, frequent unannounced up charges
3. Frequently two or three day service
4. Different prices for men's and women's garments and frequent upcharges
5. Pay at pickup, resulting in slower pickups by customers
6. Many dry cleaners still using odorous, more environmentally hazardous perchloroethylene dry cleaning solvent
7. No centralized advertising fund—they are on their own to fund and develop advertising

CD One Price Cleaners
1. Larger, modern, well-lighted 2800-3200 Sq Ft “superstores” with open viewing of plant operations
2. Consistent, posted, no-surprises, one garment/one-price dry cleaning pricing strategy!
3. Same or Next Day Service for fast turnaround at no additional cost
4. No upcharges—same pricing for men's and women's garments
5. Pay upfront at drop off, resulting in faster pickups by customers
6. “PERC Free”, use of more environmentally friendly dry cleaning solvent
7. Large, centralized advertising fund of approximately for brand building, website development, social media management, customer service programs, etc

# What Makes Us Different



- Uniformed, highly-trained personnel
- Highly efficient operations with viewable on-premises cleaning at the central plant location that creates a bit of theater
- Order ready text notification to customers that their order is complete and garments are ready for pickup
- Strong and effective customer feedback and CRM system for tracking any customer service issues
- Local hiring from the community surrounding the plant/store
- Pickup and delivery in area around the store

# Plans for Milwaukee/West Allis Plant

- One Central Plant/store on 108<sup>th</sup> Street servicing local market area (7-8 minute drive time)
- Residential Pickup and Delivery in neighborhoods around the Plant/Store
- Servicing additional satellite (non-production) stores
- Utilizing the latest technology in dry cleaning and laundry equipment and cleaning agents.
- No use of “PERC” (perchloroethylene) in the dry cleaning process
- Dry cleaning solvent is DF 2000, a hydro carbon solvent that is significantly less environmentally hazardous than PERC.
- Highly efficient “IPURA” dry cleaning machines and other cleaning technology.
- We train our franchise owners to follow all best practices as far as plant management, procedures which will follow both state and federal requirements

# West Allis Development Plan

## Proposed Plan:

- Hiring Plans—Initial plans to hire 8-10 local employees with growth plans up to 15 to 20 employees over time.
- Building Plans- We would like to enhance the building elevations and site surrounding landscaping to latest commercial retail designs
- Timeline- If everything goes per plan, we would like to close on the property in April and start construction immediately for a targeted Fall 2025 Opening of the facility
- Plant/Store plans to utilize and park one to two light commercial utility vans like the Ford Transit
- Retail store hours: Customer service lobby hours 7am-7pm Monday through Saturday. Closed Sundays.
- Self-service kiosk to enhance customer experience by providing 24/7 secure access to the lobby by customers only. Kiosk and lobby will have 24/7 video monitoring for enhanced security.
- Plant hours: Typically, six to seven hours per day at start, with capacity to expand as business grows in future years.

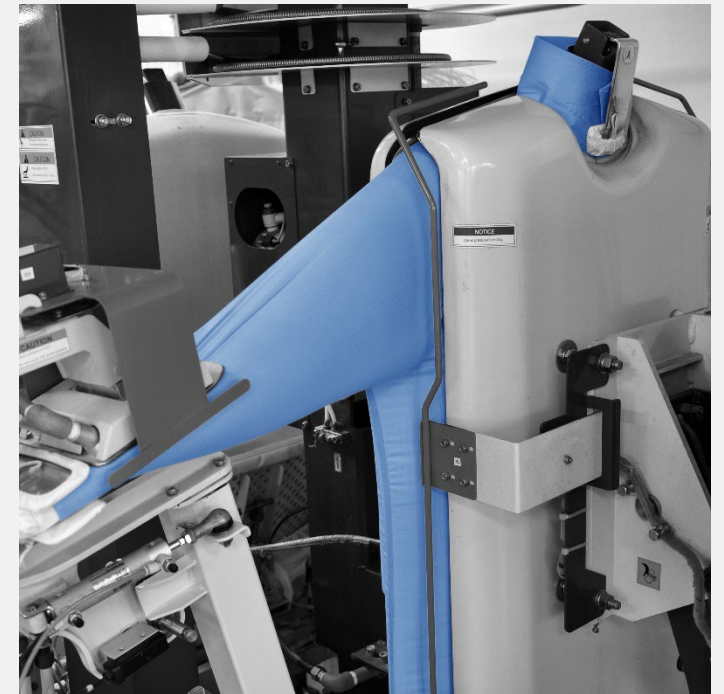
# Store Operations' Mission

- Plant/store design and layout support from franchisor
- Construction visits by Franchisor in conjunction with Franchisee
- 4-week initial training program (both cleaning production and customer service)
- Additional Franchisor support around store opening
- Franchisor Customer Experience Assessments/Reviews with focus on the following:
  - ❑ Garment production quality
  - ❑ Plant and premises review
  - ❑ Customer service/customer satisfaction

# Store /Plant Operations



# Store Plant/Operations



# Store Services

- Dry Cleaning—men's and women's garment
- Laundered Shirts
- Personal Wash and Fold Laundry
- Household Goods—Comforters and Blankets
- Alterations
- Wedding Gown Preservation—Third Party Vendor
- Rug and Boot Cleaning—Third Party Vendor
- Leather Garment Cleaning—Third Party Vendor





# Value proposition in Dry Cleaning and Laundry services

- First of a kind, state of the art dry cleaning and laundry facility in the state of Wisconsin.
- Value driven professional experience and services for all customers
- Implementation of latest technological innovations in plant and store operations to enhance value proposition and costs to consumers
- Community centric focus and possibility of future locally owned CD One price store franchisees for entire Milwaukee metro area



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, January 22, 2025**  
**6:00 PM**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

- 4A. Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St.**
  
- 4B. Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-001).**

**Overview and Zoning**

Nabil Salous purchased the 5.5-acre property last year and has proposed to construct 60 townhome apartments over five buildings. The unit mix within each of the five buildings would consist of one, two, and 3-bedroom units. Each building has separate entrances to respective units, two floors, and includes an attached garage for one vehicle. Surface parking and pedestrian walkways are also shown on the site plan plan. An existing stormwater pond exists on the site as completed by a previous owner (Robert 100). The property sold for about \$750,000 last September. The total project cost is about \$10MM not including land cost. This was a private real estate transaction and the developer has not requested city assistance.

Prior to the current development proposal, this property was formerly occupied by Griffin’s Hub Chrysler Jeep Dodge dealership until they moved in 2008. The property was then sold in 2012 to Milwaukee-based Joseph Property Development LLC and Boulder Venture (Robert 100) who demolished the vacant dealership buildings to make way for future retail development. This ownership subdivided the then 8-acre property into three lots. Two new lots along Hwy 100 (one lot developed as an AutoZone, and the other lot developed as a multi-tenant shopping center – HuHot, Tropical Café, Elements...). The remaining third lot (5.5-acres) has been available since. The prior ownership had contemplated five new retail buildings (small to mid-box), and even installed a stormwater pond and stormwater infrastructure to support this end, but the site wasn’t accepted as marketable for mid box retail despite being in the center of a retail triangle bordered by Highway 100, West National Avenue and West Oklahoma Avenue.

The city also received a number of other development proposals over the past decade including self-storage, vehicle storage yards, vehicle repair and sales, industrial contractor garages, and thrift organization related but none considered appropriate from either a zoning and/or future land use perspective, nor in alignment with the Hwy 100 corridor plan.

Of note, the Hwy 100 corridor plan suggests that there is an opportunity for new, targeted residential development.



**Site and Landscaping Plan**

Site access is proposed to remain the same with an existing drive from W. Oklahoma Ave (County Hwy NN), and S. 108 St. (State Hwy 100). Both Milwaukee County and the Wisconsin Department of Transportation have been informed about the new residential development. A traffic study technical memo is recommended to analyze impact on both County and State Hwy and specifically the main intersection.

Off-street parking - Each dwelling unit includes an attached garage for one vehicle, and access to surface parking. A total of 76 surface parking spaces are proposed throughout the site and around the new buildings. The combination of garage (60 spaces) and surface parking stalls (76 spaces) exceeds the zoning limit (120 spaces max). Staff requests additional information on the need for the quantity and expected use or assignment of surface parking spaces for this residential development. The zoning code utilizes maximum parking requirements. For dwellings of more than 3 units a maximum limit of 2 parking spaces per unit are allowed. See zoning [sec. 19.44 vehicle parking](#).

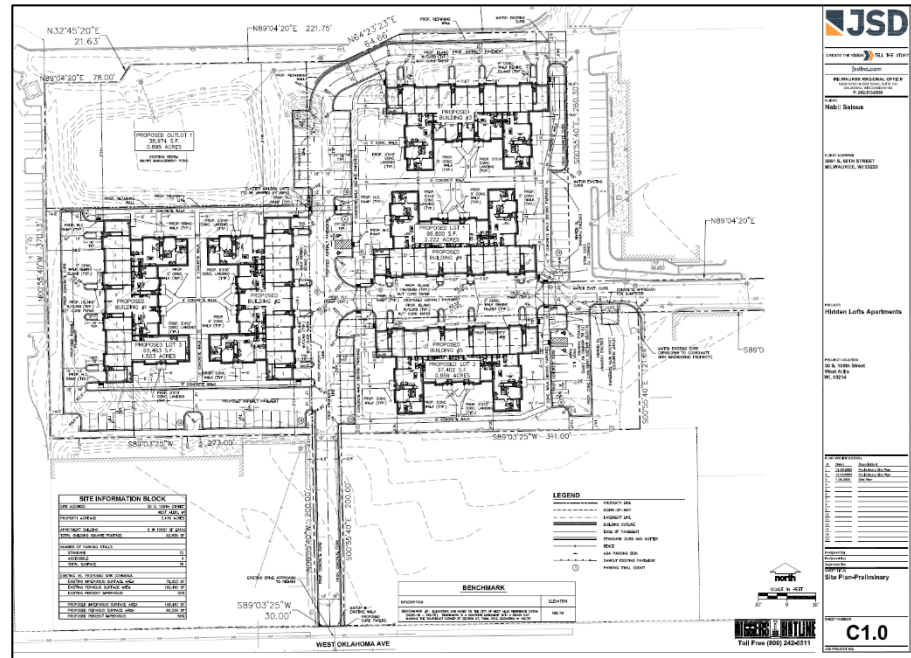
Type of Use	Maximum Parking Spaces
Dwelling (3 or more units)	2 per dwelling unit

The developer indicated they expect some households could have more than two cars. Of note, when considering that most residents may also park vehicles on the approach outside their attached garage, this would offer some support to any assumption that some households could have more than two motor vehicles.

Since this is a conditional use, Common Council may consider exceeding maximum parking limit (the 2 car per unit max). However, staff is recommending reducing the amount of proposed off-street surface parking not to exceed the zoning limit.

The additional space gained could offer an opportunity for more greenspace/curb

appeal, enhance opportunity for resident amenities, snow storage, additional refuse areas on site, and offering improved connectivity both on site and access to surrounding businesses.



*Why Parking maximums - Off-street parking maximum standards in zoning ordinances limit the construction of parking lots that are larger than necessary. Historically, local governments across the U.S. have routinely set parking minimums in their land development regulations for various types of uses. The purpose of parking minimums is to ensure that there are sufficient off-street parking spaces for each development based, typically, on the building use and size. Increasingly, local governments recognize the need to limit parking for a variety of reasons (growth/density, walkable/comfortable neighborhoods and thriving urban corridor, added taxable value proposition, parking isn't free, high cost, sustainability) and therefore establish parking maximums in their regulations, establishing an upper bound for the number of spaces allowed for a specific use, thus controlling the amount of land and impervious surface associated with parking.*

**Bicycle parking -** Per Code, all dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units. Each unit will have at least one garage stall of about 13-ft wide x 28-ft deep which is deep enough to allow some storage area in front of a parked motor vehicle. In addition, staff recommends five outdoor bicycle racks on site (one for each building).

**Refuse area -** A central refuse/recycle area with enclosure is located on the main drive into the site from Hwy 100. Each residence deposits individual waste and recyclables into the centralized area.

Staff are recommending at least one additional centralized refuse area to ease/reduce the distance residents walk or travel to deposited trash. Four sided enclosures are recommended/proposed for the refuse areas. A separate personnel door access so the larger gates don't need to be opened by residents. A commercial hauler will be contracted by the developer.

A centralized mailbox area will also be incorporated toward the east side of the site.

Internally the buildings and surface parking area connected via a series of pedestrian walkways providing access to each building. Staff is recommending a sidewalk connection be added on site to the public right-of-way along both Hwy 100 and W. Oklahoma Ave. Similar staff expects walk-desire lines to develop between

the development site and Fortune Restaurant property and Shoppes on 100 shopping center (Starbucks, UPS store...). Connectivity between properties is an important consideration when redeveloping sites in the city. A sidewalk connection on at least one side of the main private entry drives should be incorporated into the site plans.



**Landscaping** - A detailed landscaping plan will be required as part of the project. The perimeter of the site will feature greenspace varying from 14-ft to 20-ft in width. There are also some areas around and between buildings offering some internal green space. The total percentage of green space is about 32% of the property area.

With respect to the existing stormwater pond on the NW corner of the site, staff is encouraging the developer to incorporate some additional site/landscaping improvements including a walk path and bench(es) around, or at least partially around the existing pond area. Natural plantings could be installed as a common area aesthetic amenity for residents.

### **Architectural Plan**

The architectural plan shows a total of five 2-story buildings. The area of each floor of the building is about 10,600-sf, or a total of 21,000-sf per building. All buildings will be sprinklered.

Unit Mix (per building)

				ADA TYPE-A UNITS			
STUDIO	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	TOTAL UNITS
0	2	5	4	0	1	0	12

First floor tenants have direct access into their units from the attached garages. Second floor tenants will enter via an exterior entrance outside of their attached garage with internal stair access to their respective unit.

The exterior materials of each building will consist of [James Hardie](#) lap siding on the first and second floors with [Halquist](#) decorative stone accent walls (full depth stone) around the resident entry ways. Second floor apartment units will feature aluminum railed balconies. The first-floor garage doors will offer a wood paneled appearance. The massing of the building is broken up with contrasting colors of siding transitioned by a horizontal trim feature, balconies, gabled roof features, and projecting entry elements with full depth stone to avoid a flat unarticulated look.



**Design Guidelines**

Compliance with the design guidelines is mandatory for new development. A summary of this project with respect to applicable guideline requirements is included in the attached Plan Commission checklist.

**Recommendation:** Common Council approval of the Conditional Use Permit for a proposed 5+ Unit Dwelling development and approval of the Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-

001) subject to the following conditions being satisfied in advance of a building permit being issued:

1. Common Council approval of the Conditional use permit (scheduled February 11, 2025).
2. Revised Site, Landscaping, and Architectural plans submitted to show the following: (a) a sidewalk connection on at least one side of the main private entry drives to/from public right of ways of W. Oklahoma Ave. and S. 108 St. (Hwy 100) being incorporated into the site plans; (b) reduction of 16 off-street parking spaces (per sec. 19.44), (c) submittal of a landscaping plan and species reference list for review and approval by City Forester; (d) show/add snow storage areas and at least one additional 4-sided screened refuse area on the site plans. Incorporate personnel door into refuse enclosures; (e) Incorporating a walk path/trail amenity adjacent to existing stormwater pond; (f) a full hammerhead turnaround should be installed at the dead end on the west side of the site (g) one exterior bicycle rack per building; (h) site lighting plan and photometric/lighting plan; (i) turning radius shown on a site plan for fire trucks.
3. A full utility plan (water, storm, sanitary) being submitted for review by Engineering Department. Additional hydrants as required per Fire Department.
4. A stormwater management plan showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Code Enforcement Department by a registered Civil Engineer. The plan should be modeled to show how proposed elevations work with the pond as built. The plan will also be reviewed by the City Stormwater consultant per ordinance.
5. Access management. A traffic study/technical memo being prepared for review and approval by the City Engineer.
6. Planned work or modifications within right-of-way shall be coordinated with City Engineering, Milwaukee County, and WisDOT. Contact Greg Bartelme (414) 302-8367.

# PLAN COMMISSION CHECKLIST

1.

**Goal:**  
Context

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Neighbor	i. Street wall	<input type="checkbox"/>	
	ii. Scale	<input type="checkbox"/>	
	iii. Historic neighbors	<input type="checkbox"/>	
	iv. Connectivity	<input type="checkbox"/>	
b. Site	i. Orientation	<input type="checkbox"/>	
	ii. Unique features	<input type="checkbox"/>	
	iii. Historic elements	<input type="checkbox"/>	
	iv. Additions	<input type="checkbox"/>	

2.

**Goal:**  
Public Realm

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="checkbox"/>	
	ii. Street edge	<input type="checkbox"/>	
	iii. Active uses	<input type="checkbox"/>	
	iv. No blank walls	<input type="checkbox"/>	
b. Build for People	i. Engaging spaces	<input type="checkbox"/>	
	ii. Accessible spaces	<input type="checkbox"/>	
	iii. Built-out site	<input type="checkbox"/>	
	iv. Pedestrian connections	<input type="checkbox"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="checkbox"/>	
	ii. Utilities and services	<input type="checkbox"/>	
	iii. Lighting	<input type="checkbox"/>	
	iv. Fencing	<input type="checkbox"/>	

3.

**Goal:**  
Quality

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Building	i. Quality materials	<input type="checkbox"/>	
	ii. Ground floor	<input type="checkbox"/>	
	iii. Exterior features	<input type="checkbox"/>	
	iv. Quality design	<input type="checkbox"/>	
b. Environment	i. Natural features	<input type="checkbox"/>	
	ii. Manage stormwater	<input type="checkbox"/>	
	iii. Reduce impervious surface	<input type="checkbox"/>	
	iv. Embody sustainability	<input type="checkbox"/>	



## **Hidden Loft LLC**

### **108 Street/Oklahoma**

This project involves the development of 5.5 acres of vacant land into 5 small apartment buildings.

All these buildings are identical in design and area, 2 story high with attached garages.

Slab on grade without basement

Each unit would have separate entrance without any public hallway or common space

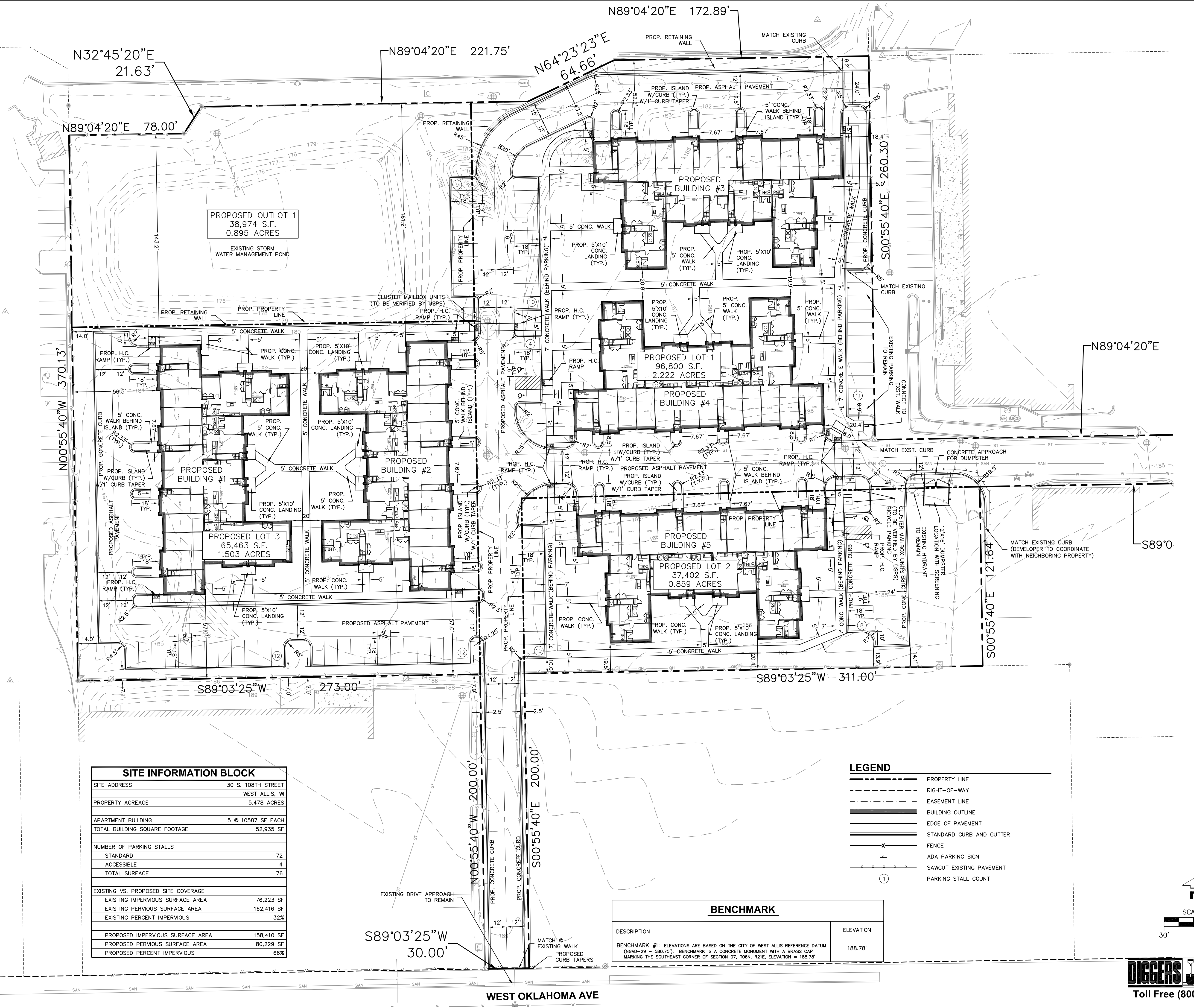
We would like to start the project early spring of 2025

#	Date:	Description:
1	12-06-2024	Preliminary Site Plan
2	12-16-2024	Preliminary Site Plan
3	1-08-2024	Site Plan
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By:  
Reviewed By:  
Approved By:  
SHEET TITLE:  
**Site Plan-Preliminary**

SHEET NUMBER:  
**C1.0**

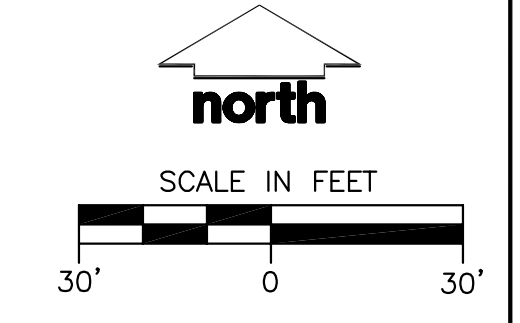
JSD PROJECT NO:



SITE INFORMATION BLOCK	
SITE ADDRESS	30 S. 108TH STREET WEST ALLIS, WI
PROPERTY ACREAGE	5.478 ACRES
APARTMENT BUILDING	5 @ 10587 SF EACH
TOTAL BUILDING SQUARE FOOTAGE	52,935 SF
NUMBER OF PARKING STALLS	
STANDARD	72
ACCESSIBLE	4
TOTAL SURFACE	76
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	76,223 SF
EXISTING PERVIOUS SURFACE AREA	162,416 SF
EXISTING PERCENT IMPERVIOUS	32%
PROPOSED IMPERVIOUS SURFACE AREA	158,410 SF
PROPOSED PERVIOUS SURFACE AREA	80,229 SF
PROPOSED PERCENT IMPERVIOUS	66%

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	FENCE
	ADA PARKING SIGN
	SAWCUT EXISTING PAVEMENT
	PARKING STALL COUNT

BENCHMARK	
DESCRIPTION	ELEVATION
BENCHMARK #1: ELEVATIONS ARE BASED ON THE CITY OF WEST ALLIS REFERENCE DATUM (NOV-28 = 886.75'). BENCHMARK IS A CONCRETE MONUMENT WITH A BRASS CAP MARKING THE SOUTHEAST CORNER OF SECTION 07, T08N, R21E, ELEVATION = 188.78'	188.78'



## CODE ANALYSIS

### APPLICABLE CODES

BUILDING: IBC 2015 STATE OF WISCONSIN COMMERCIAL BUILDING CODE  
 STRUCTURAL: IBC 2015, STATE OF WISCONSIN COMMERCIAL BUILDING CODE  
 ACCESSIBILITY: ICC/ANSI A117.1-2009 FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

### COMPONENT RATINGS - 5B CONSTRUCTION

TABLE 601  
 FLOOR FRAMING 0 HOUR  
 ROOF FRAMING 0 HOUR  
 EXTERIOR WALLS (BEARING) 0 HOUR  
 INTERIOR WALLS (BEARING) 0 HOUR  
 INTERIOR WALLS (NON-BEARING) 0 HOUR  
 UNIT SEPARATION 1 HOUR  
 GARAGE SEPARATION 1 HOUR

MAXIMUM TRAVEL DISTANCE LESS THAN 250'

ATTIC COMPARTMENTALIZATION: EVERY 2 UNITS OR 3,000 SF MAX (WHICHEVER IS SMALLER)

### BUILDING

RESIDENTIAL R-2 (APARTMENT)  
 UTILITY U (PRIVATE GARAGE)

AREA  
 FIRST FLOOR: 10,672 SF  
 SECOND FLOOR: 10,528 SF  
 TOTAL AREA: 21,056 SF

CONSTRUCTION CLASSIFICATION  
 5B - WOOD FRAMED CONSTRUCTION  
 SPRINKLER PROTECTION THROUGHOUT: YES PER NFPA 13R

ALLOWABLE HEIGHTS AND AREAS  
 INCREASED AREA (FRONTAGE): 7,000 SF / 2 LEVELS  
 -WEIGHTED AVG. OPEN SPACE WIDTH SURROUNDING BLDG = 20 FEET  
 -If = (1-0.25) x 25/30 = 0.625  
 -7,000 x 0.625 = 4,375sf  
 -4,375+ 7,000 = **11,375 PER FLOOR ALLOWED**

OCCUPANCY USE (IBC CHAPTER 3)  
 PRIMARY OCCUPANCY: RESIDENTIAL (R-2)

EXTERIOR WALLS  
 FIRE SEPARATION DISTANCE: 10'-0" < X < 30'-0" = 0 HOURS  
 WALL OPENINGS PROTECTED/UNPROTECTED: UNPROTECTED

FIRE APPARATUS ACCESS  
 BUILDING UNLIMITED IN AREA: NO  
 BUILDING EQUIPPED W/ FIRE SPRINKLER: YES (NFPA 13R)  
 FIRE LANES WITHIN 150' OF ALL PERIMETERS: YES  
 FIRE APPARATUS ACCESS ROAD AT LEAST 20': YES

## UNIT MIX FOR DEVELOPMENT

STUDIO	ONE BEDROOM			TWO BEDROOM			THREE BEDROOM			TOTAL UNITS
	ONE	TWO	THREE	ONE	TWO	THREE	ONE	TWO	THREE	
0	2	5	4	0	1	0	0	1	0	12
				0	1	0				12
				0	1					

### ACCESSIBILITY NOTES:

- A MINIMUM OF 2% OF ALL UNITS SHALL BE TYPE-A ACCESSIBLE AND PROVIDED THROUGH-OUT DEVELOPMENT
- ALL GROUND FLOOR UNITS ARE DESIGNED TO MEET TYPE-B UNITS FOR ADAPTION.
- ALL UPPER LEVEL UNITS ARE NOT REQUIRED TO MEET TYPE-A OR TYPE-B REQUIREMENTS (NO ELEVATOR).



DENOTES TYPE-B UNIT TO BE UPGRADED TO BE A TYPE-A ACCESSIBLE UNIT. REFER TO DETAILS FOR ADDITIONAL NOTES AND DIMENSIONS

## DRAWING INDEX

TITLE	TITLE PAGE
G000	PROJECT INFORMATION AND INDEX
G001	PROJECT INFORMATION AND INDEX
<b>ARCHITECTURAL</b>	
A001	PROJECT SYMBOLS AND NOTES
A002	ACCESSIBILITY FEATURES (2009 ANSI A117.1)
A005	SCHEDULES AND FINISHES
A010	DOOR TYPES AND SCHEDULES
A020	WALL TYPES AND DETAILS
A021	WALL TYPES AND DETAILS
A022	WALL TYPES AND DETAILS EXTERIOR
A050	ARCHITECTURAL SITE PLAN
A101	CONSTRUCTION PLAN - 1ST FLOOR
A102	CONSTRUCTION PLAN - 2ND FLOOR
A103	CONSTRUCTION PLAN - ROOF
A401	BUILDING ELEVATIONS
A402	BUILDING ELEVATIONS
A403	BUILDING ELEVATIONS-COLOR
A404	BUILDING ELEVATIONS DETAILS
A500	BUILDING SECTION
A501	WALL SECTIONS
A701	ENLARGED UNIT PLANS & ELEVATIONS
A702	ENLARGED UNIT PLANS & ELEVATIONS
A703	ENLARGED UNIT PLANS & ELEVATIONS
A704	ENLARGED UNIT PLANS & ELEVATIONS
A801	PROJECT DETAILS - EXTERIOR
A802	PROJECT DETAILS - EXTERIOR
A803	PROJECT DETAILS - EXTERIOR
A901	PROJECT DETAILS - INTERIOR
A902	PROJECT DETAILS - STAIR DETAILS
<b>STRUCTURAL</b>	
S001	GENERAL NOTES
S101	FOUNDATION PLAN
S102	FLOOR FRAMING PLAN
S103	ROOF FRAMING PLAN
S601	FOUNDATION DETAILS
S602	FLOOR FRAMING DETAILS
S603	ROOF FRAMING DETAILS

## GENERAL CONTRACTOR

### SALOUS CONSTRUCTION MANAGEMENT LLC

3861 S 60TH ST  
 MILWAUKEE, WI 53220-1908  
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 CONTACT: EMAD NADI  
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## LANDSCAPE

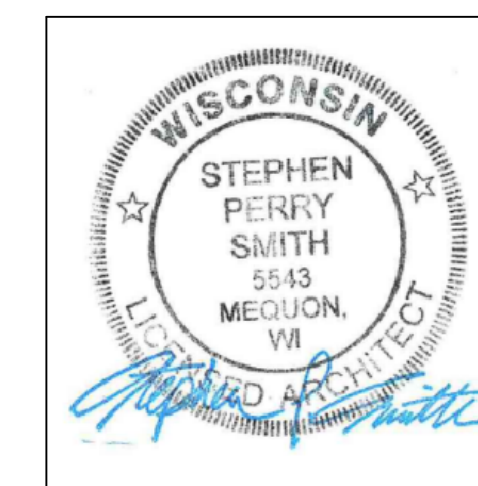
### RA SMITH

16745 W BLUEMOUND RD  
 BROOKFIELD, WI 53005-5938  
 CONTACT: TOM MORTENSEN  
 PHONE: 262.781.1000  
 FAX: 262.781.8466

## ARCHITECTURAL

### STEPHEN PERRY SMITH ARCHITECTS

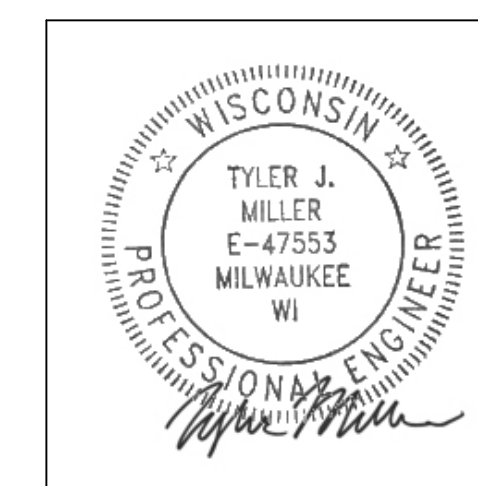
215 N. WATER ST, SUITE 250  
 MILWAUKEE, WI 53202  
 CONTACT: STEPHEN PERRY SMITH  
 PHONE: 414.277.9700  
 FAX: 414.277.9705



## STRUCTURAL

### REYN ENGINEERING, INC.

131 W SEEBOTH ST, SUITE 220  
 MILWAUKEE, WI 53204  
 CONTACT: TYLER MILLER  
 PHONE: 920.517.0164  
 FAX: -



215 N. WATER STREET, SUITE 250  
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## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
 MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET  
 MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

PROJECT INFORMATION AND INDEX

# G001

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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

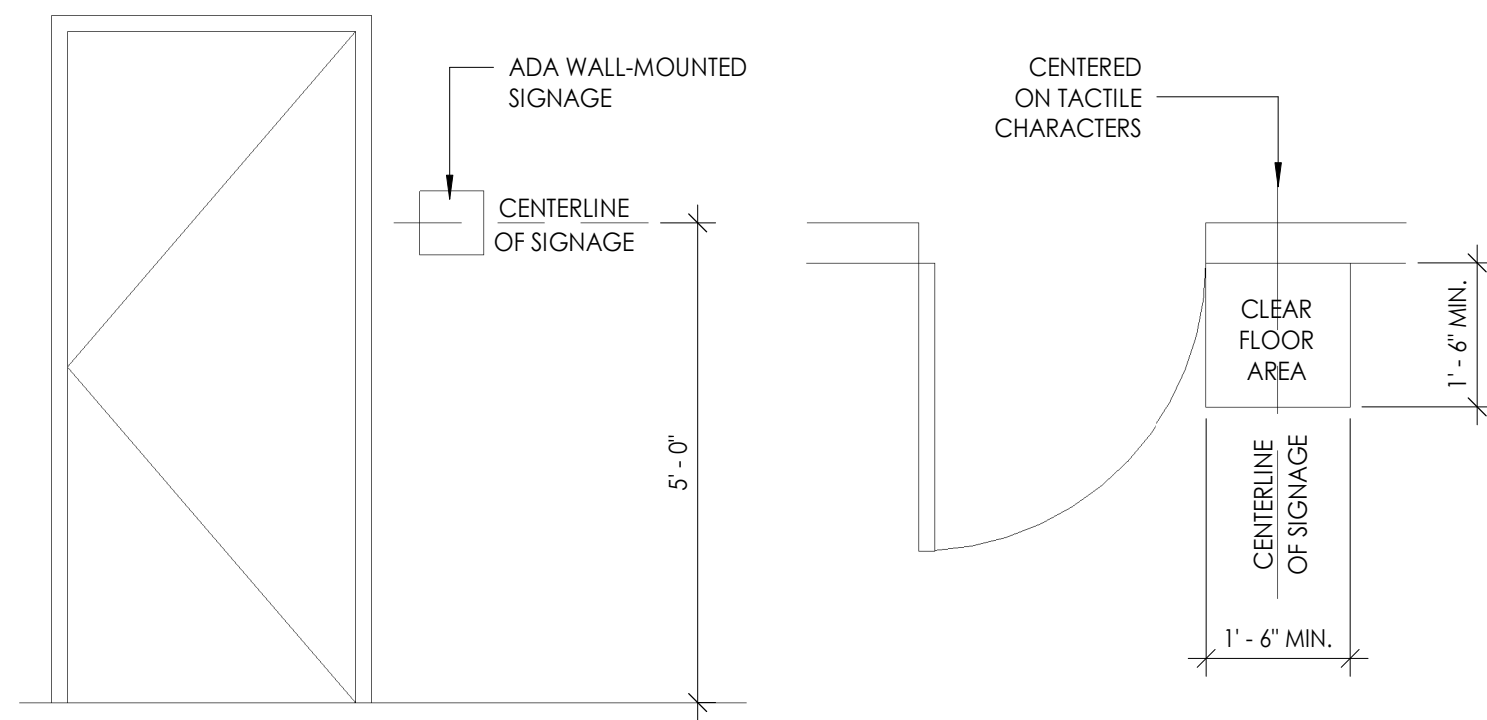
**INFORMATION**

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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

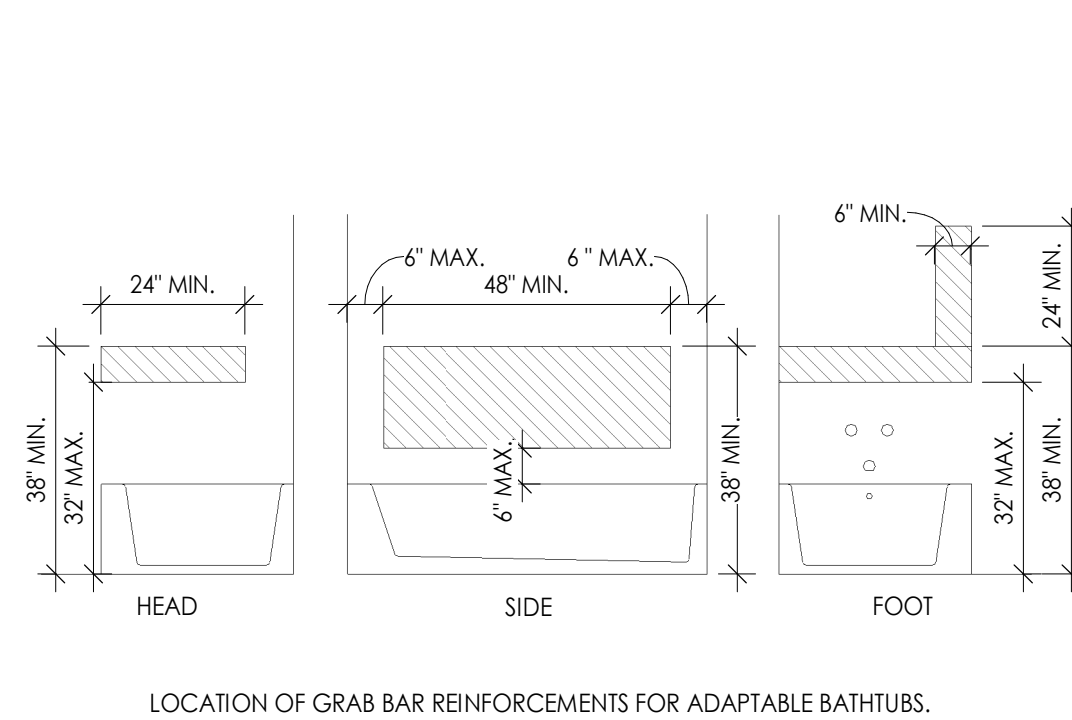
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ACCESSIBILITY FEATURES (2009 ANSI  
A117.1)

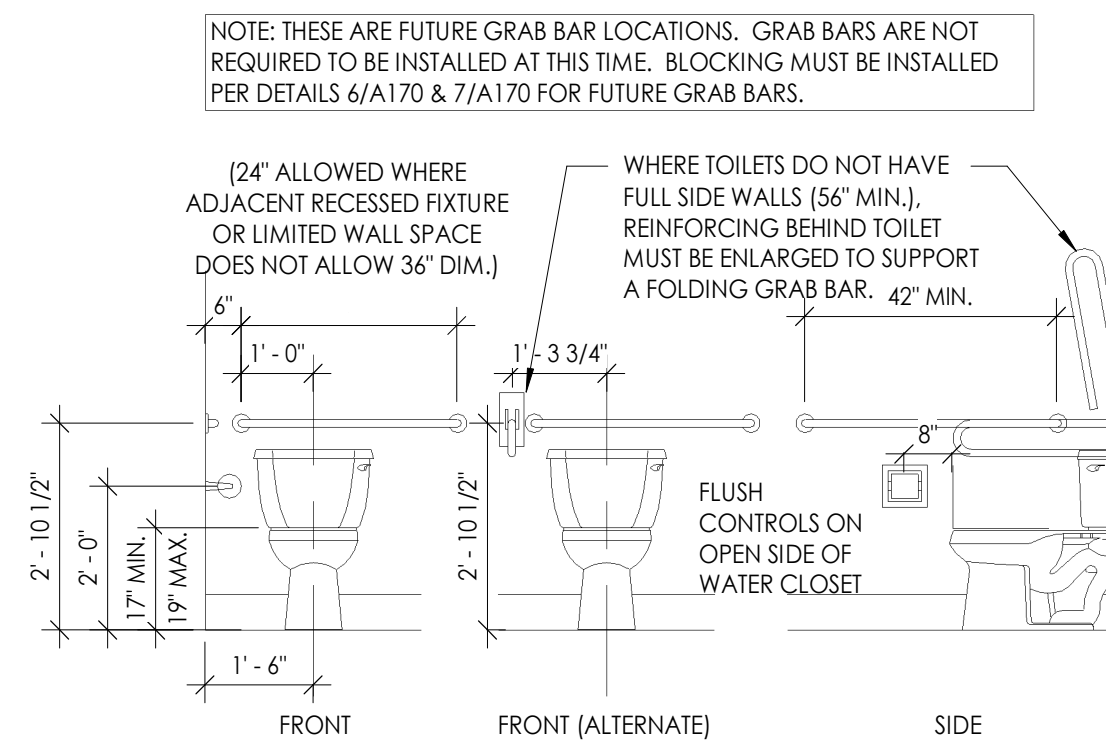
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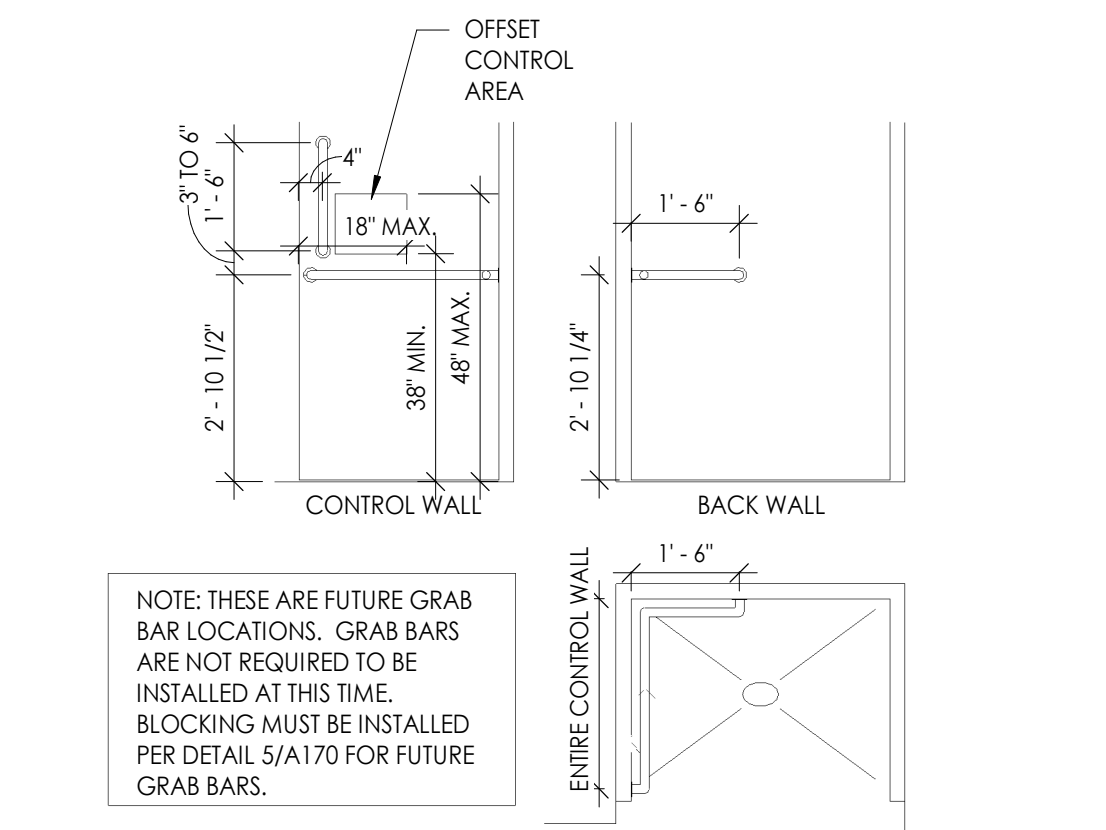
**3 TYP. ADA SIGNAGE MOUNTING LOCATION**  
SCALE 1/2" = 1'-0"



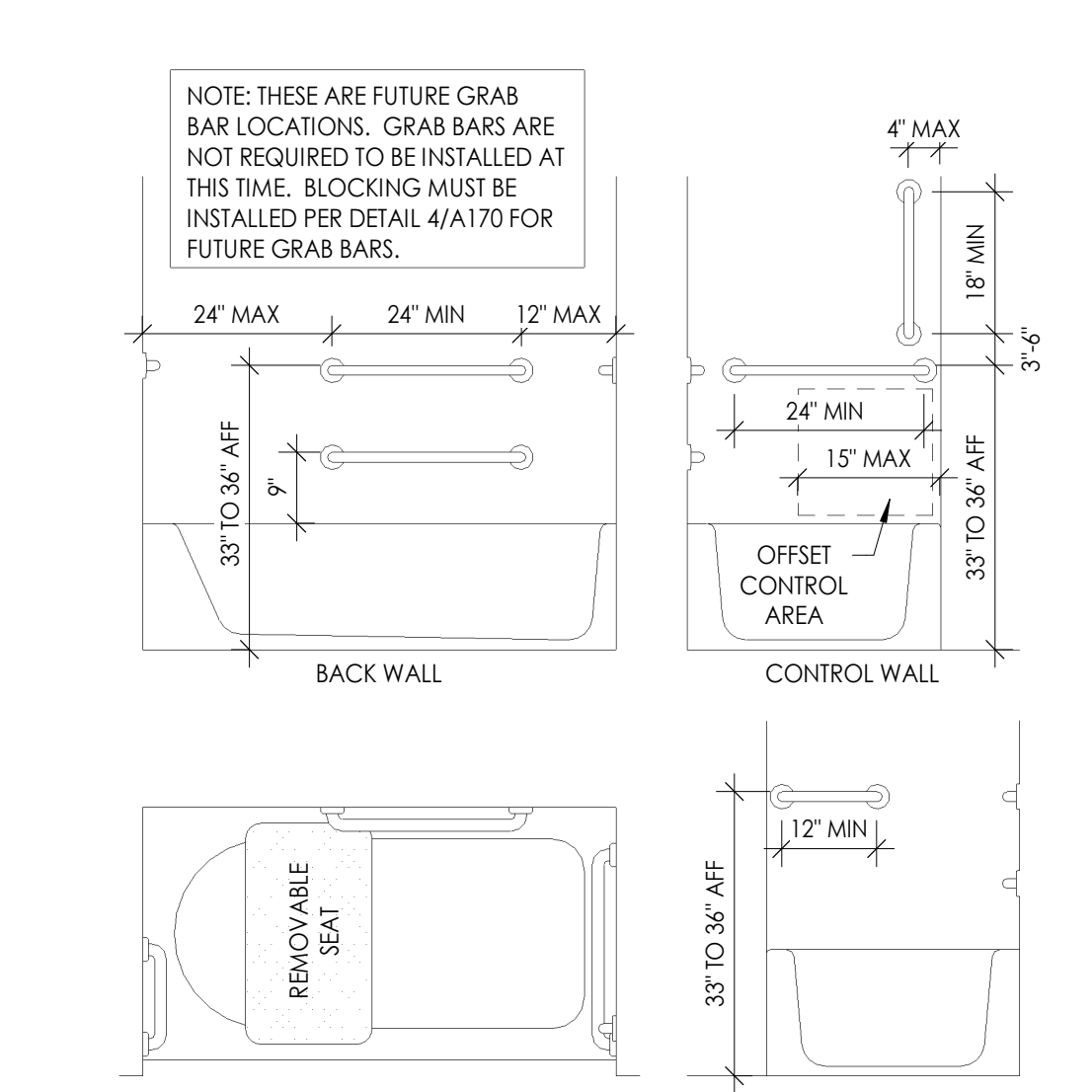
**7 TYPE 'A' & 'B' BLOCKING FOR TUB**  
SCALE 3/8" = 1'-0"



**6 WATER CLOSET FUTURE GRAB BARS**  
SCALE 3/8" = 1'-0"

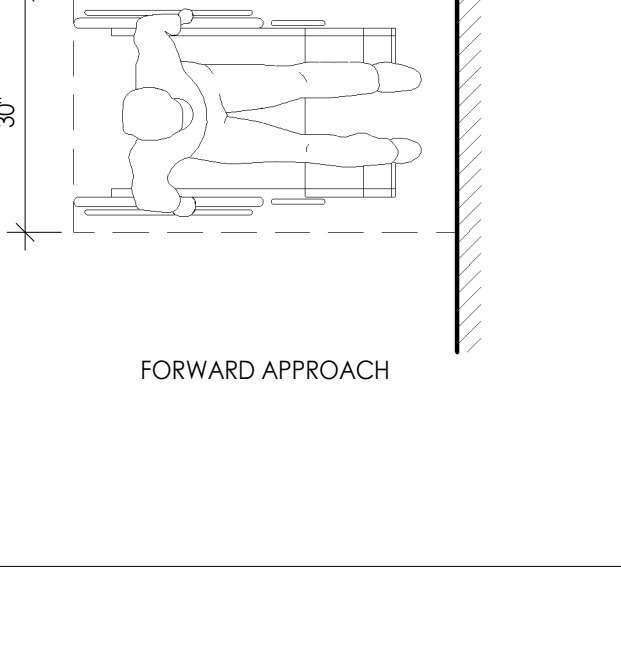
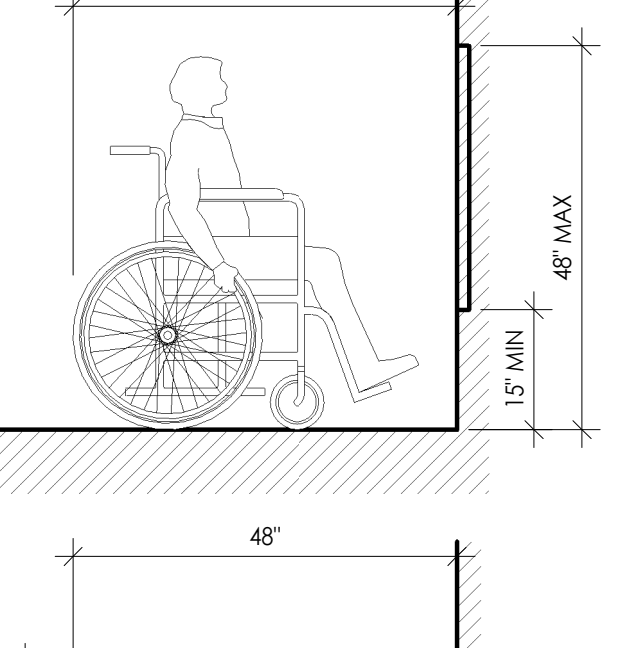
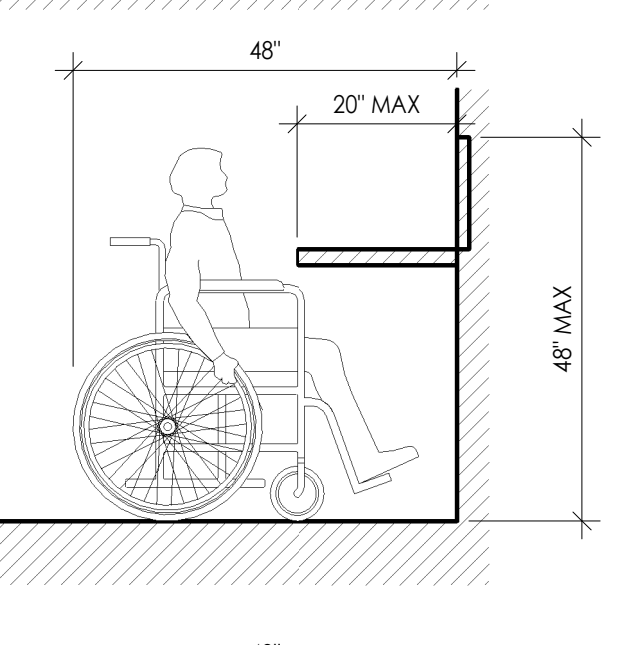
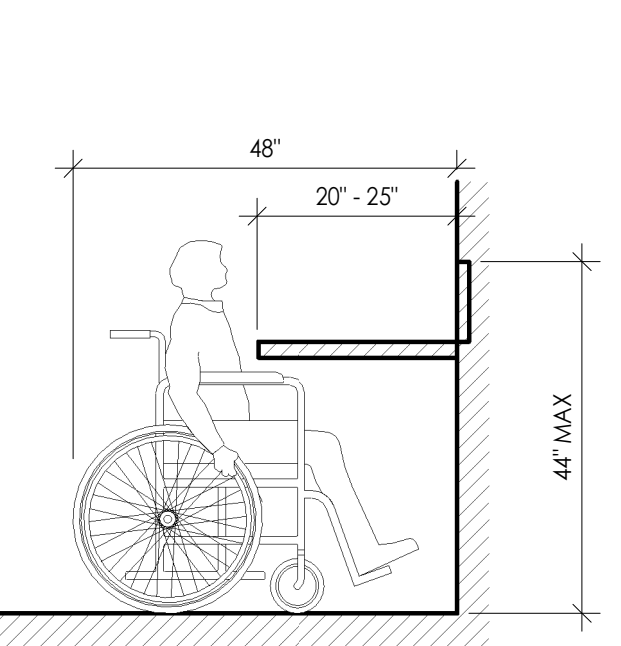
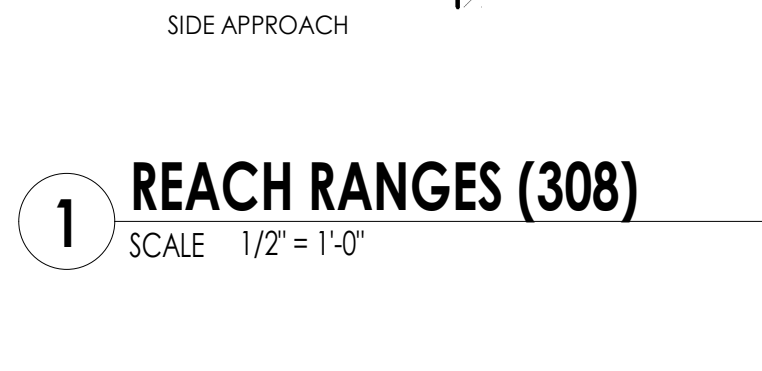
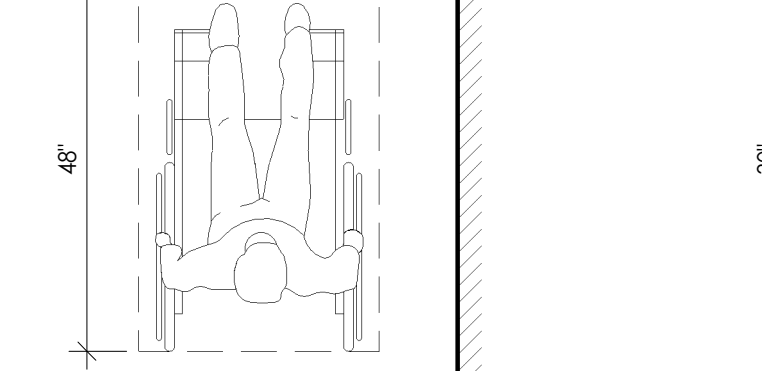
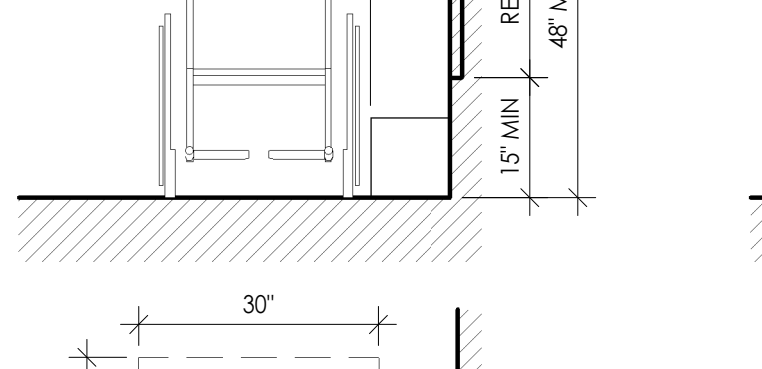
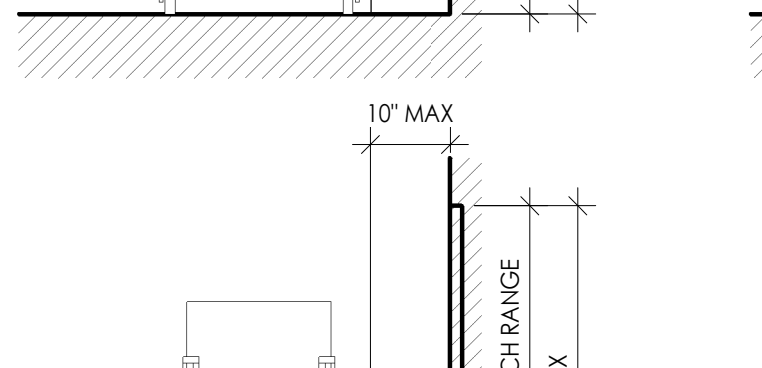
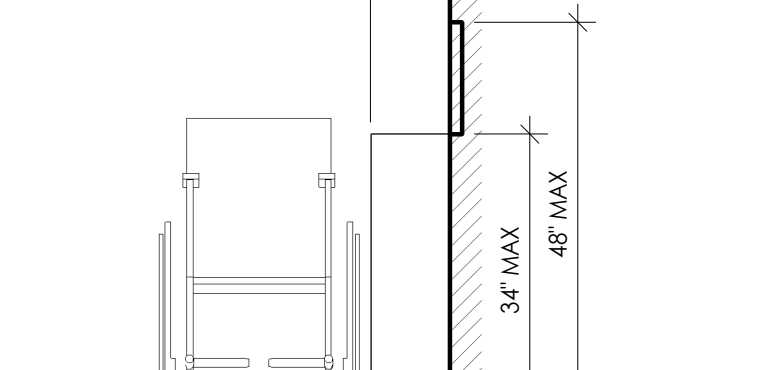
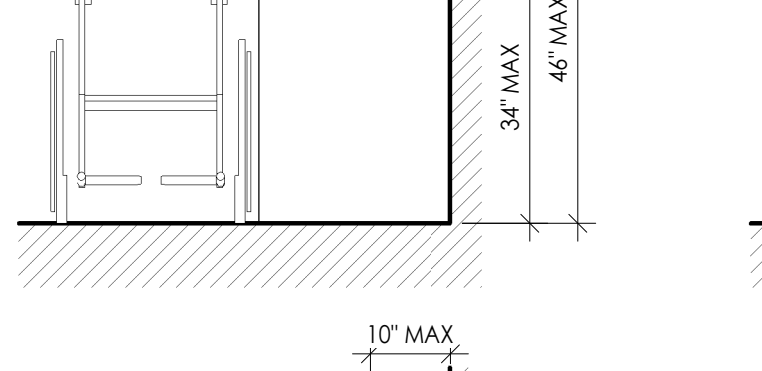
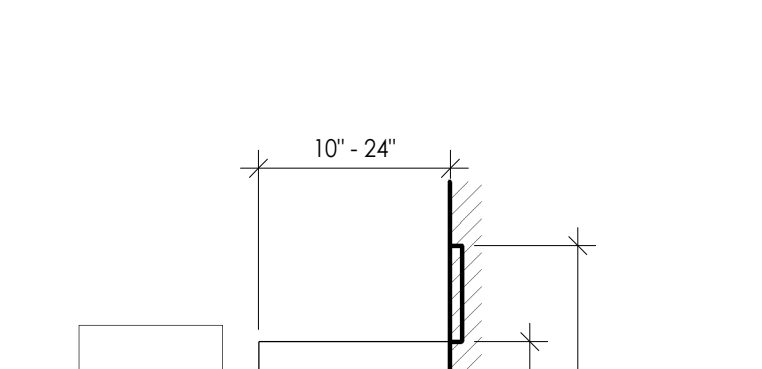
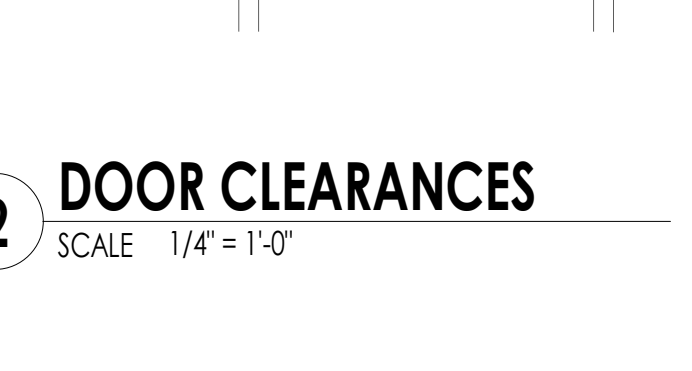
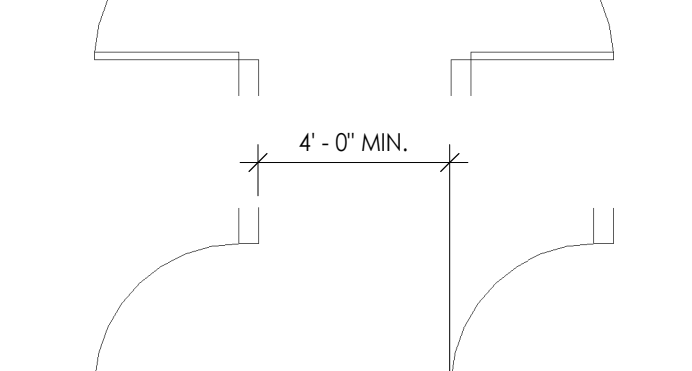
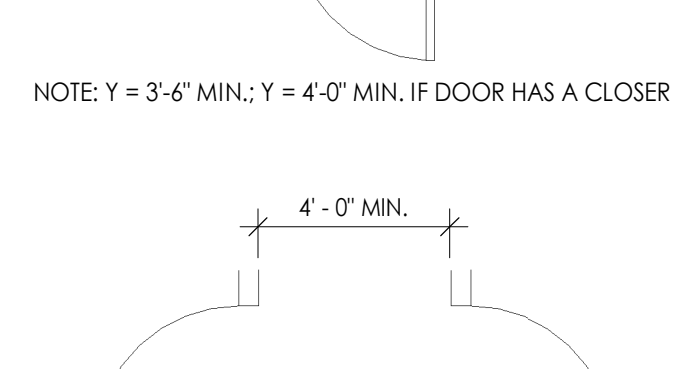
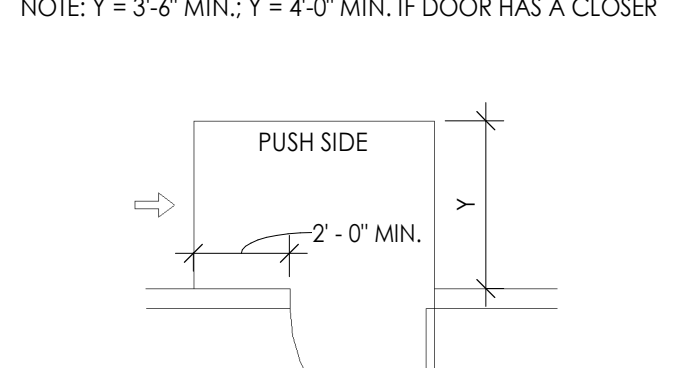
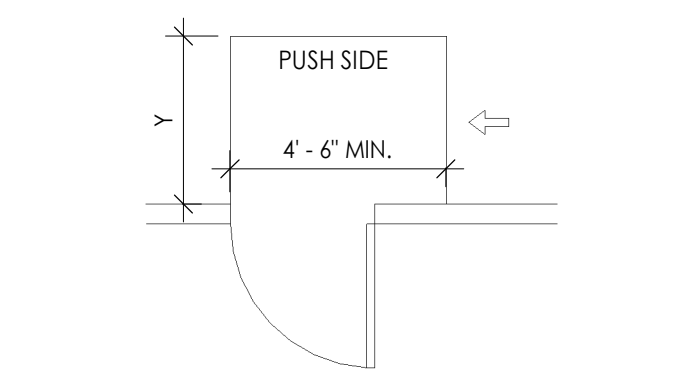
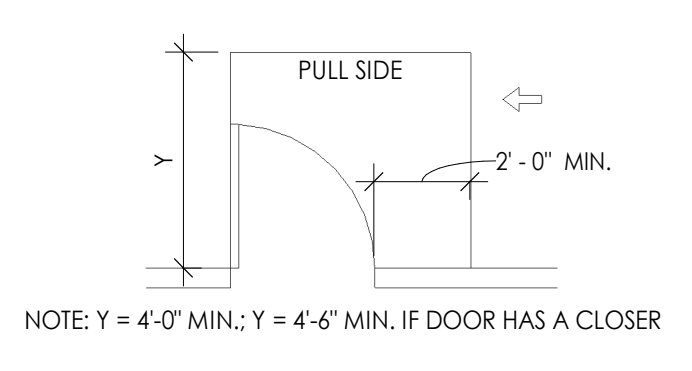
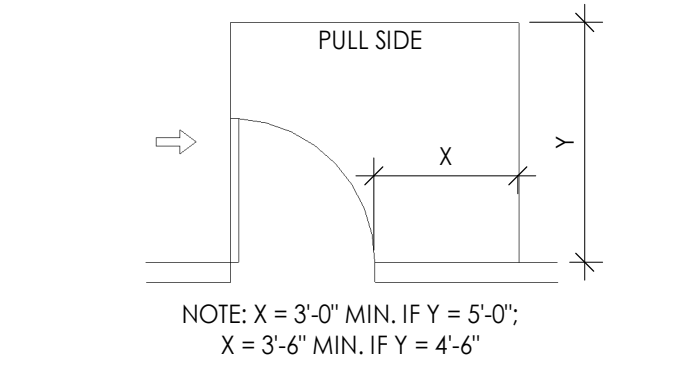
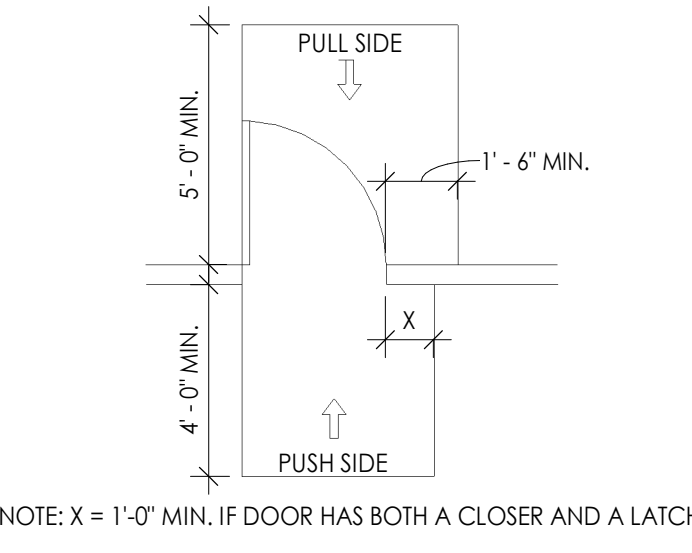


**5 SHOWER FUTURE GRAB BARS**  
SCALE 3/8" = 1'-0"

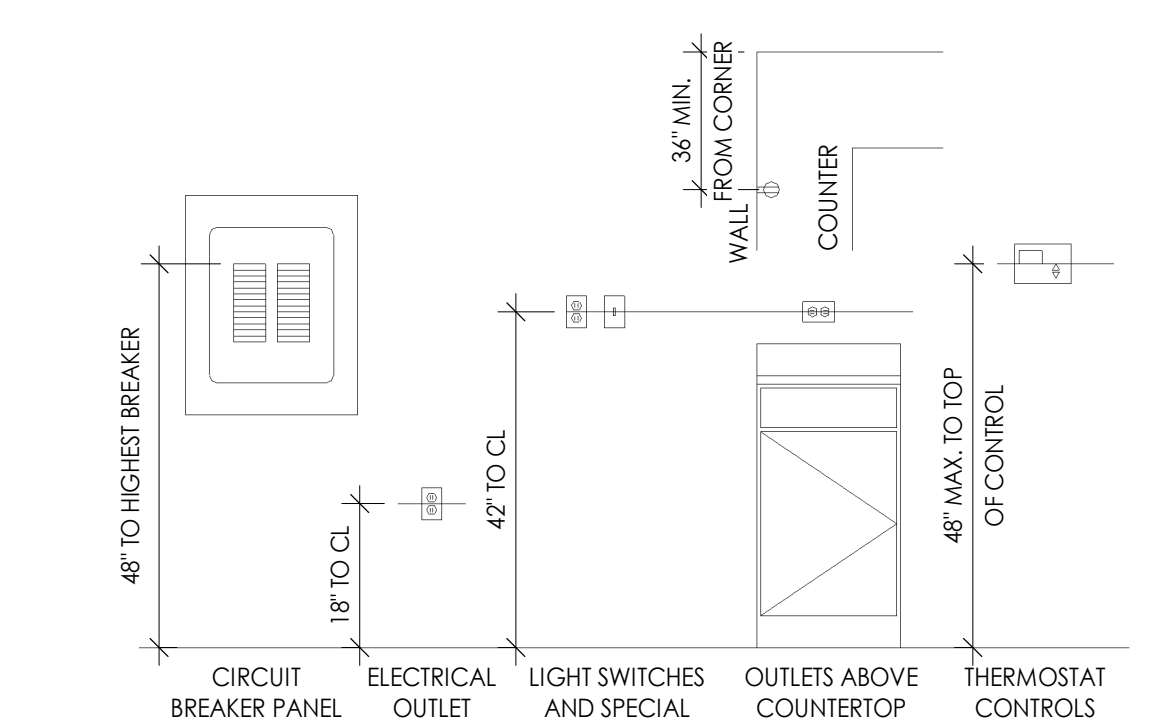


**4 TUB FUTURE GRAB BARS**  
SCALE 1/2" = 1'-0"

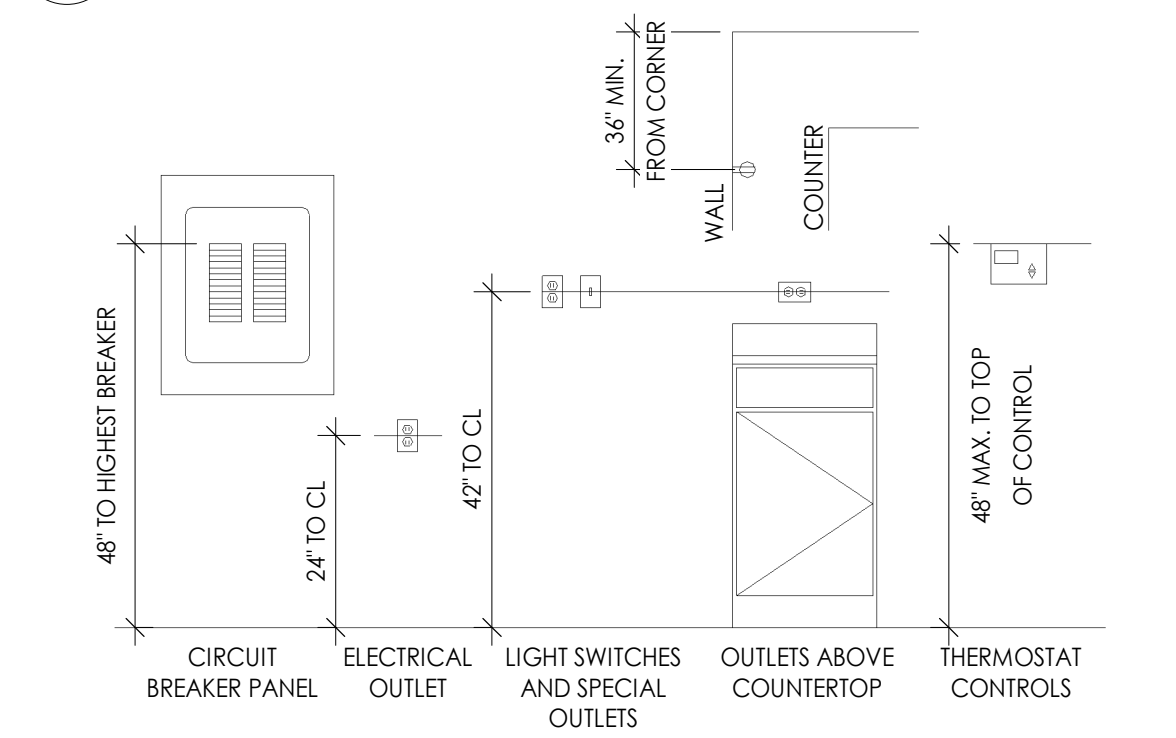
**2 DOOR CLEARANCES**  
SCALE 1/4" = 1'-0"



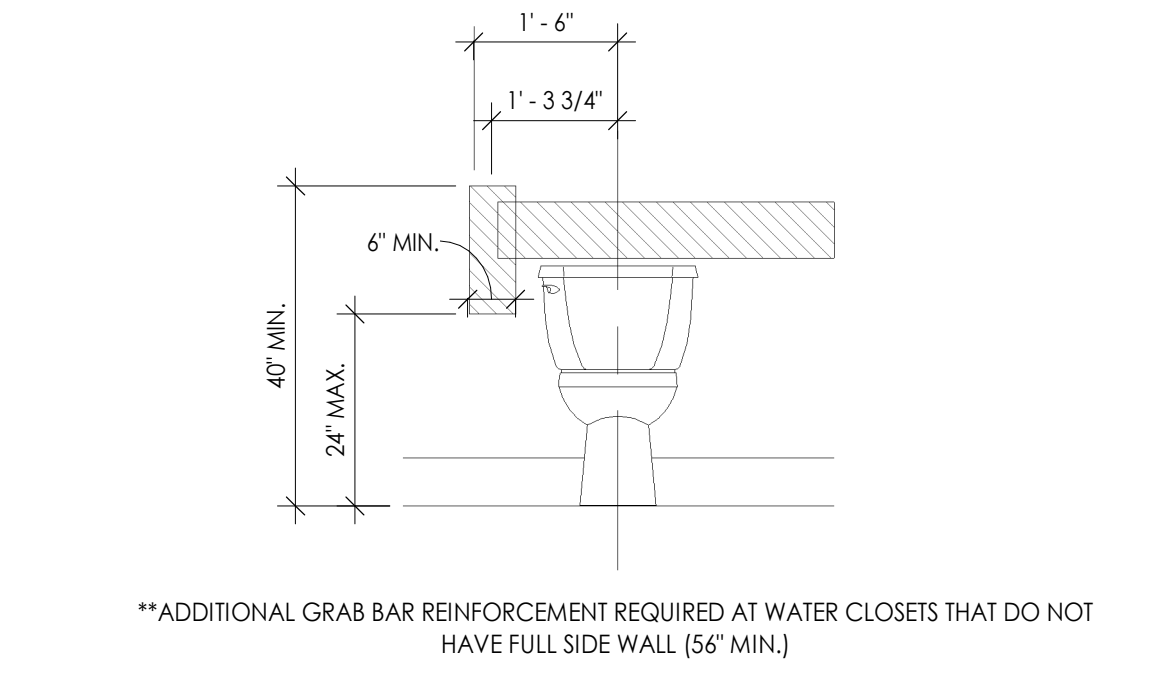
**1 REACH RANGES (308)**  
SCALE 1/2" = 1'-0"



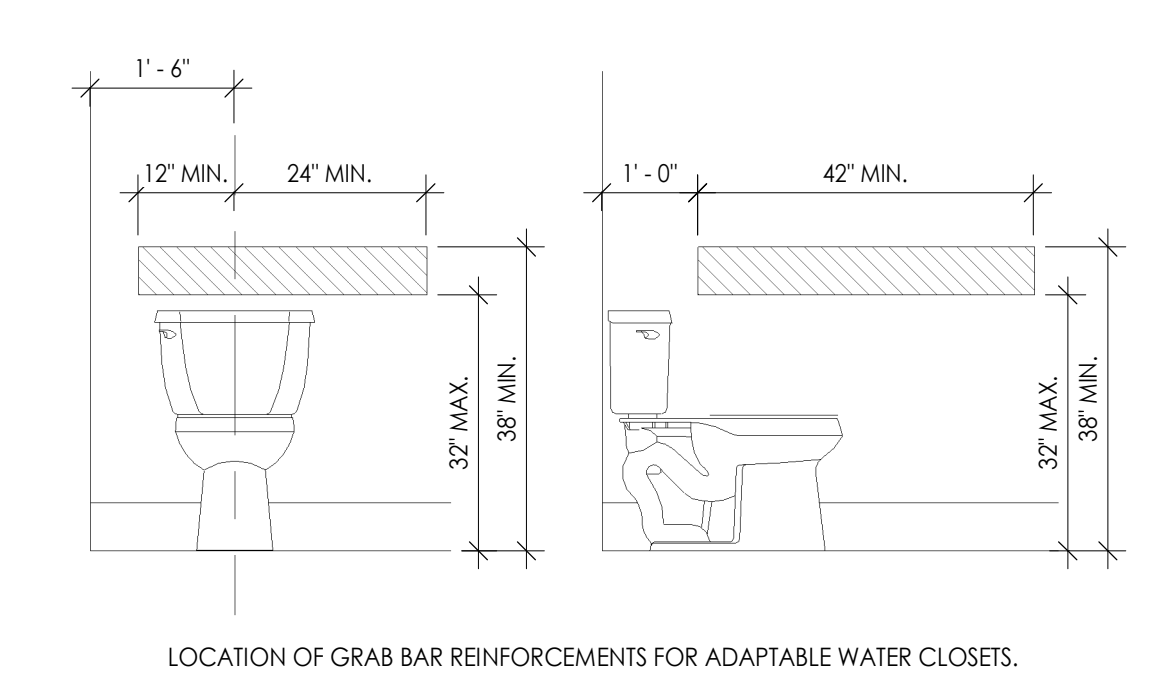
**12 ADA TYPE 'B' DEVICE MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"



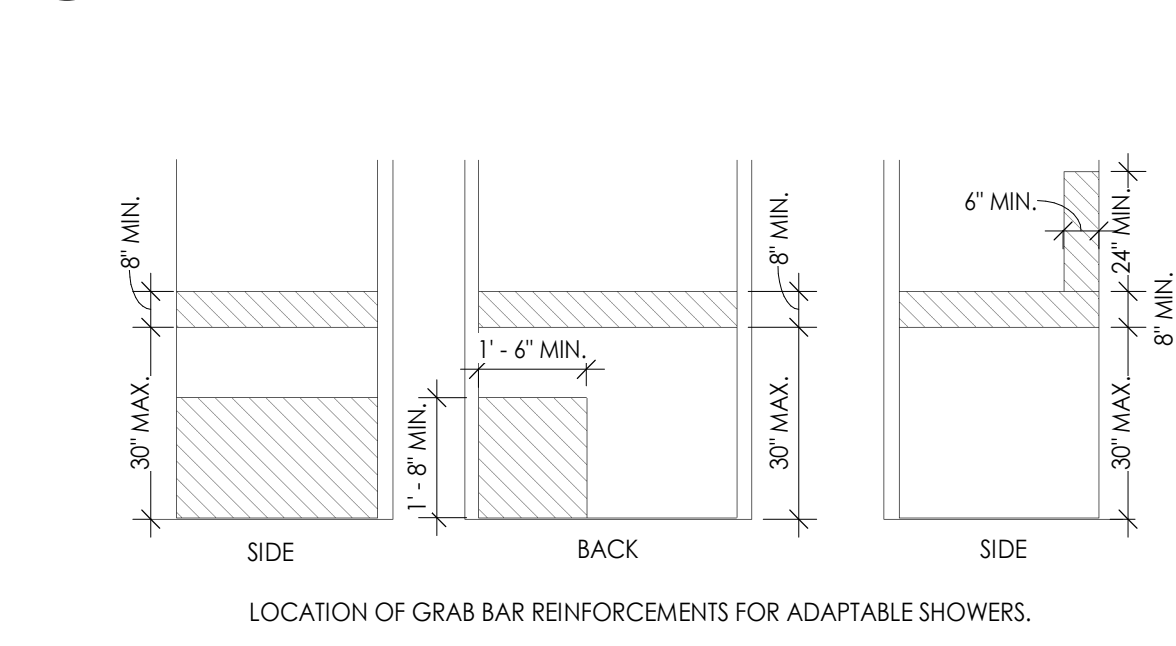
**11 ADA TYPE 'A' DEVICE MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"



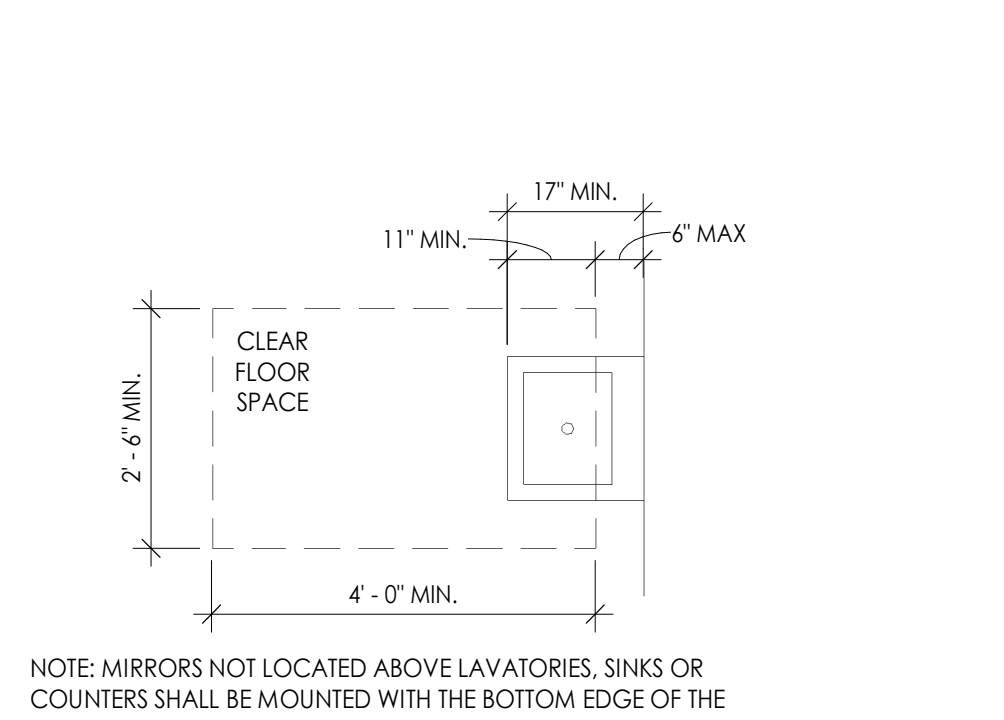
**10 ADA TYPE 'A' & 'B' ALT. BLOCKING FOR TOILET**  
SCALE 1/2" = 1'-0"



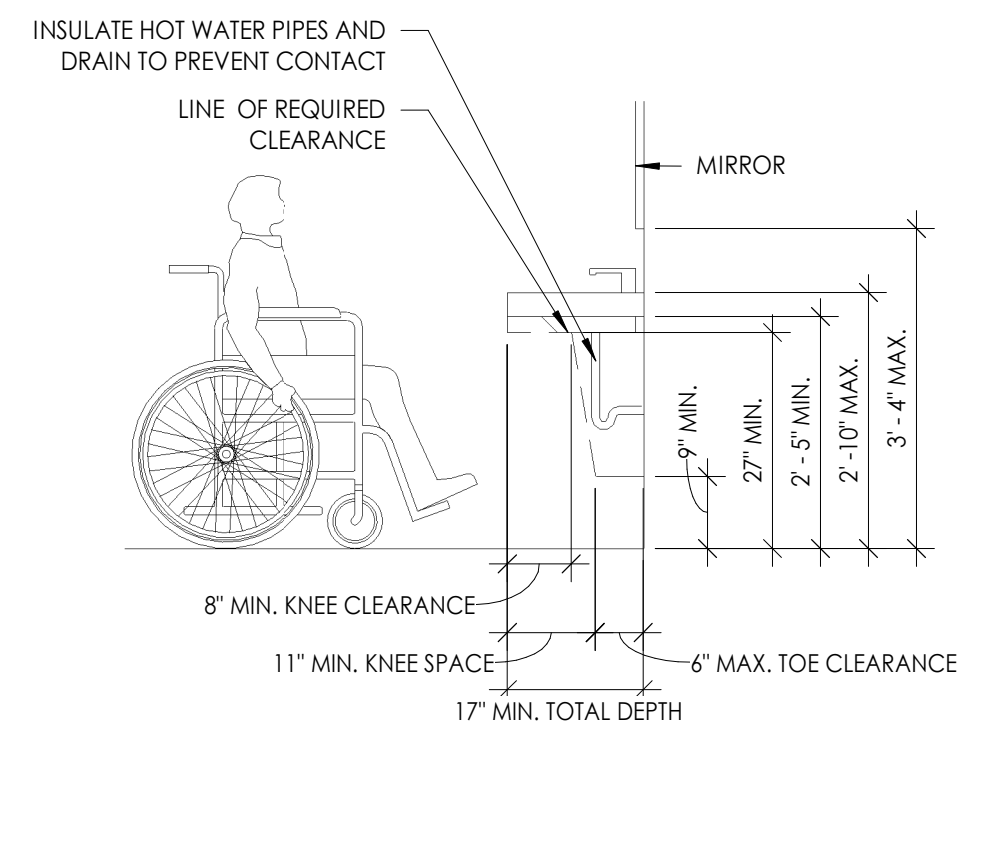
**9 ADA TYPE 'A' & 'B' BLOCKING FOR TOILET**  
SCALE 1/2" = 1'-0"



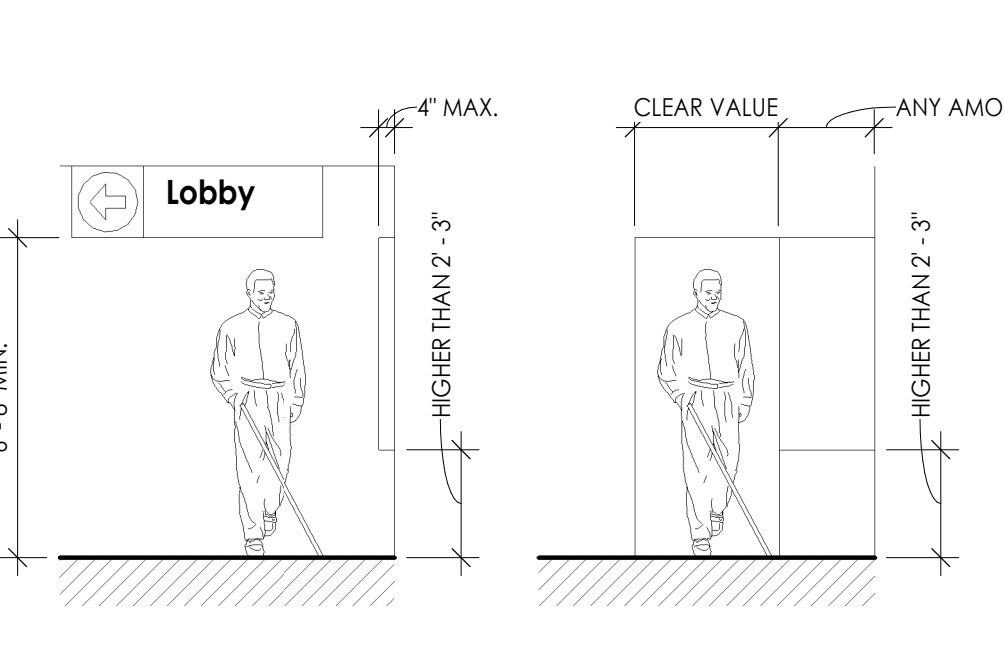
**8 TYPE 'A' & 'B' BLOCKING FOR SHOWER**  
SCALE 3/8" = 1'-0"



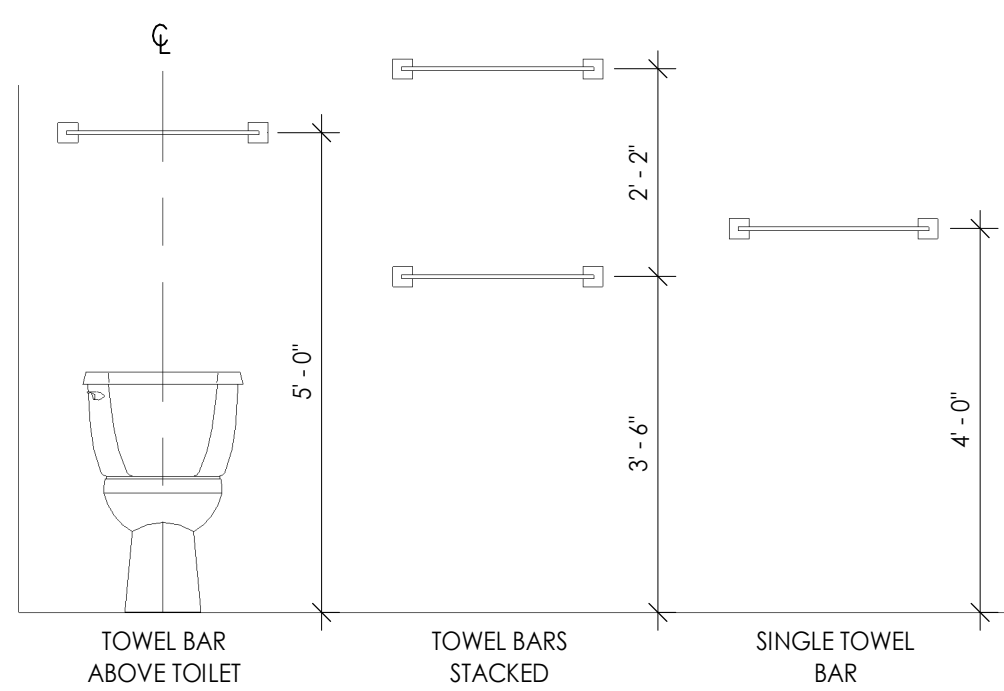
**16 SINK OR VANITY**  
SCALE 1/2" = 1'-0"



**15 THRESHOLDS**  
SCALE 1/2" = 1'-0"



**14 PROTRUDING OBJECTS**  
SCALE 1/4" = 1'-0"



**13 TOWEL MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"

## FINISH SELECTIONS

MARK	MODEL	MANUFACTURER	COLOR	FINISH	SIZE	LOCATION	COMMENTS
<b>ACCENT METALS</b>							
AM1	KEYSTONE ALUMINUM RAILING	JAM SYSTEMS		ARCHITECTURAL METAL	5" X 5" GUTTER		
<b>COMPOSITE MATERIAL</b>							
CM1		JAMES HARDIE	EVENING BLUE	COMPOSITE SIDING	4" EXPOSED		INSTALL HORIZONTALLY
CM2		JAMES HARDIE	TIMBER BARK	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM3		JAMES HARDIE	ARCTIC WHITE	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM4		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 4"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM5		TREX	T.B.D.	COMPOSITE DECKING	4/4" X 6"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM6		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 6"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM8		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 8"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM10		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 10"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM12		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 12"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
<b>CONCRETE</b>							
ECN-1		T.B.D.	NATURAL	CAST STONE SILL/BAND	4" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-2		T.B.D.	NATURAL	CAST STONE HEAD	8" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-3		T.B.D.	NATURAL	CAST STONE SILL/BAND	3 1/2" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-4		T.B.D.	NATURAL	CAST STONE HEAD	6" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-5		T.B.D.	NATURAL	CAST STONE SWEEP	4" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
SC-1		T.B.D.	NATURAL	SEALED CONCRETE		GARAGES	
<b>INTERIOR FINISH</b>							
CPT-1	E107	ENGINEERED FLOORS	T.B.D.	CARPET	-	UNIT BEDROOMS, UNIT STAIRS, BEDROOM CLOSETS	
LVP-1	400 WEATHERED BARNBOARD	SHAW	T.B.D.	TBD	-	UNIT LIVING ROOMS, KITCHENS, BATHROOMS, & CORRIDORS:	
WD-1	#433, #474	LIANGA PACIFIC	PRIMED WHITE MDF FIELD PAINTED	TBD	-	WALL BASE/DOOR TRIM	
<b>MASONRY</b>							
EMU-1	KENSINGTON BLEND	HALQUIST STONE	CREAM, TAN, BUFF & GOLD WITH GREY UNDERTONES	STONE	APPROX. 3-5/8" DEEP		FULL DEPTH

## GLAZING

MARK	MODEL	MANUFACTURER	COLOR	U-VALUE	NOTE
<b>GLAZING</b>					
GL11	350 Series	T.B.D.	CLEAR	0.24	TEMPERED LOW-E (WINDOWS)

## PAINT

MATERIAL FINISH TYPE	MARK	MANUFACTURER	COLOR	FINISH COAT	LOCATION	COMMENTS
<b>PAINT - EXTERIOR</b>						
PAINT - EXTERIOR	EPT1	SERVIN WILLIAMS	TDB	SEMI-GLOSS	EXTERIOR METALS AT BALCONY AND CANOPY	MATCH BALCONY AND TRIM COLORS
PAINT - EXTERIOR	EPT2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	EXTERIOR STEEL LINTELS AT BRICK VENEER	MATCH PRECAST/CAST STONE COLOR
<b>PAINT - INTERIOR</b>						
PAINT - INTERIOR	PT-1	HALLMAN LINDSAY	TDB	SEMI-GLOSS	WALLS/CEILINGS	
PAINT - INTERIOR	PT-2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT DOOR TO GARAGE	
PAINT - INTERIOR	PT-3	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT ENTRY, MECH, ROOM DOORS	

## SCHEDULES

### PLUMBING AND TOILET ACCESSORY SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	SIZE	FINISH	NOTES
A	FLOOR MOUNTED TOILET	PROFLO	PF9400 SERIES	-	WHITE	ELONGAGATED BOWL ADA-COMPLIANT AT ALL UNITS
B	TISSUE DISPENSER	SURE-LOC, LUGANO SERIES	LG-PH1	-	SATIN NICKEL	
C	SHOWER TUB COMBO	STERLING, ACCORD	RVMDW	60"X30"	WHITE	TUB/SHOWER SURROUND G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA TYPE-A UNITS)
D	SHOWER	STERLING, ACCORD	7115	60"X36"	WHITE	G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA TYPE-A UNITS)
F	STAINLESS STEEL SINK	PROFLO	PFUC206	-	STAINLESS	ADA COMPLIANT KNEE SPACE BENEATH
G	BATHROOM FAUCET	PROFLO	PFWSC2840	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
H	BATH/SHOWER FAUCET	PROFLO	T17489-PR	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
J	LEVER SYLE FAUCET	PROFLO	PFXC7011	-	STAINLESS	ADA COMPLIANT WITH PULL-OUT SPRAY GARBAGE DISPOSAL INSINKERATOR-BADGER 1HP W/ CORD PROVIDE COUNTERTOP SWITCH FOR ADA COMPLIANCE
K	INTEGRAL SINK	REVERE	RVMDW	-	WHITE	UNDERMOUNT - ADA COMPLIANT AT TYPE -A UNITS
L	WATER HEATER	-	-	40 GALLON	-	PROVIDE WATER HEATER PAN WITH DRAIN BENEATH

### EQUIPMENT AND FURNISHING SCHEDULE

TAG	DESCRIPTION	MATERIAL/COLOR	SIZE	ENERGY STAR	NOTES
1	REFRIGERATOR	STAINLESS	21.3 C/F	YES	TOP FREEZER OR EQUIVALENT, ADA COMPLIANT AT ADA TYPE A' UNITS
2	MICROWAVE	STAINLESS	1.7 CF	YES	OVER THE RANGE
2A	COUNTERTOP MICROWAVE	STAINLESS		YES	-
3	DISH WASHER	STAINLESS		YES	-
3A	ADA DISHWASHER	STAINLESS		-	ADA COMPLIANT AT TYPE A UNITS FOR 34" H COUNTERTOPS
4	STOVE & OVEN	STAINLESS		YES	FLAT TOP ELECTRIC RANGE, PROVIDE ADA-COMPLIANT FRONT CONTROLS AT ADA TYPE-A UNITS
5	WASHER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
6	DRYER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
7	TOWEL BAR	CHROME		-	-
8	HVAC	-		YES	-
9	MIRROR	-		-	FRAMELESS
9A	MIRROR	-		-	FRAMELESS
9B	MIRROR	-		-	FRAMELESS
11	RANGE HOOD	STAINLESS		YES	Item # 02251041000
12	STACKED WASHER/DRYER	WHITE		YES	-
13	BEDROOM CLOSET SHELVING	WHITE		-	-
14	ATTIC HATCH	WOOD/PLYWOOD	30" MIN, CLEAR HEADROOM	-	ATTIC ACCESS LADDER

### UNIT FINISH SCHEDULE - TYPICAL

UNIT SPACE	FLOOR	BASE	WALL PAINT				CEILING	REMARKS
			NORTH	EAST	SOUTH	WEST		
UNIT ENTRY	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT STAIRS	CPT-1	-	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT KITCHEN	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT LIVING	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	SEE ENLARGED UNIT PLANS
UNIT BEDROOM	CPT-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT BATHROOM	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT MECH	-	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM
UNIT LAUNDRY	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT CLOSETS	-	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM



215 N. WATER STREET, SUITE 250  
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## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

SCHEDULES AND FINISHES

# A005

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## DOOR & FRAME SCHEDULE

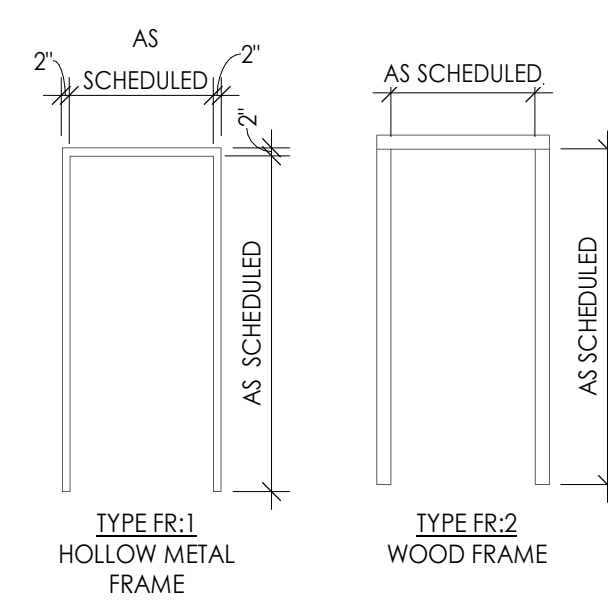
**NOTES:**  
 1. COORDINATE MASTER KEY SYSTEM WITH OWNER.  
 2. ALL HARDWARE TO BE A.D.A. COMPLIANT SCHLAGE AL-SERIES 'NEPTUNE' STYLE LEVER SATIN CHROME (US26d) FINISH UNLESS OTHERWISE NOTED.  
 3. LOCKSETS TO BE KEYPED TO BUILDING MASTER WITH FUNCTION BASED UPON LOCATION.  
 4. DOOR STOPS: USE WALL STOP OR DOME STOP. USE FLOOR STOPS ONLY WHERE WALL STOP CANNOT WORK.

DOOR TYPE	LEAF WIDTH	DOOR				GLASS	HARDWARE	FRAME			FIRE RATING	DETAILS			REMARKS
		SECONDARY LEAF WIDTH	HGT	TYPE	MATL			FINISH	TYPE	MATL		FINISH	HEAD	JAMB	
D01	9'-0"		7'-0"	DOHG:1	STL	PF	Y	H5							INSULATED
D02	3'-0"		6'-8"	DP6:2	FB	PT		H2	FR:1	HM	PT		1/A010	1/A010	INSULATED
U01	3'-0"		6'-8"	DP6:1	FB	PT	Y	H1	FR:1	HM	PT				INSULATED
U01A	3'-0"		6'-8"	DP6:2	FB	PT		H1	FR:1	HM	PT	1 HOUR	3/A010	4/A010	INSULATED
U02	2'-10"		6'-8"	DPF:1	WD	PF		H3	FR:2	WD	PF		3/A010	4/A010	
U03	2'-10"		6'-8"	DPF:1	WD	PF		H4	FR:2	WD	PF		3/A010	4/A010	
U04	3'-0"		6'-8"	DPF:1	WD	PF		H8	FR:2	WD	PF		1/A010	1/A010	
U04D	3'-0"	3'-0"	6'-8"	DPB:2	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010	
U04F	2'-0"		6'-8"	DPB:2	WD	PF		H9	FR:2	WD	PF		2/A010	1/A010	
U04G	3'-0"	3'-0"	6'-8"	DPF:1	WD	PF		H8	FR:2	WD	PF		3/A010	4/A010	
U05	3'-0"		6'-8"	DPF:1	WD	PF		H6	FR:2	WD	PF		1/A010	1/A010	
U05C	3'-0"	3'-0"	6'-8"	DPB:2	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010	
U06	2'-10"		6'-8"	DPF:1	WD	PF		H6	FR:2	WD	PF		3/A010	4/A010	
U06C	2'-6"	2'-6"	6'-8"	DPB:2	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010	
U06D	3'-0"	3'-0"	6'-8"	DPB:1	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010	

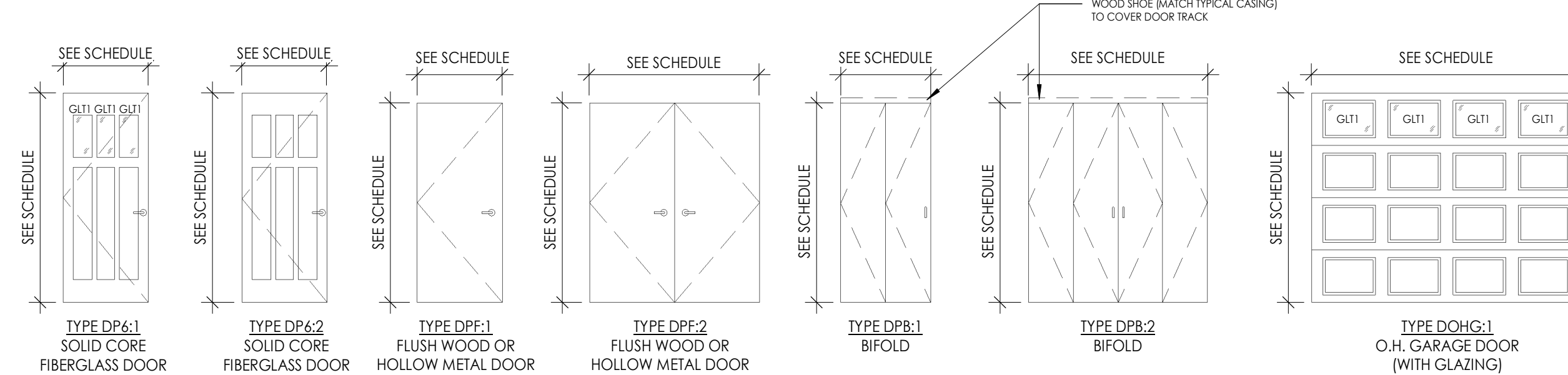
## HARDWARE SET

SET #	LOCKSET	HINGES	CLOSER	STOP	COMMENTS
H1	UNIT ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	KNOCKER, VIEWER, ADA THRESHOLD SWEEP AND WEATHER STRIPPING GASKET
H2	UNIT GARAGE ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	ADA THRESHOLD, SWEEP & GASKET WEATHERSTRIPPING, JAMB EXTENSION AS NEEDED (SEE FLOOR PLANS)
H3	UNIT BEDROOM (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL	
H4	UNIT BATH (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL	
H5	OVERHEAD GARAGE	TRACK & ASSOCIATED HARDWARE			ELECTRICAL OPENER W/TIMER TO CLOSE FEATURE (LIFEMASTER 8360 OR EQUAL) EXTERIOR KEYPAD OPENER
H6	CLOSET	1 1/2 PAIR BUTTS		WALL	PASSAGE LATCH SET
H7	BIFOLD (PAIR)	2 SETS OF PIVOT BIFOLD DOOR HARDWARE AND ASSOCIATED TRACK BY DOOR SUPPLIER			PULLS TO MATCH KITCHEN / VANITY HARDWARE
H8	STOREROOM (STOREROOM LOCKETS)	1 1/2 PAIR BUTTS		WALL	
H9	BIFOLD (SINGLE)	1 SET OF PIVOT BIFOLD DOOR HARDWARE			PULLS TO MATCH KITCHEN / VANITY HARDWARE

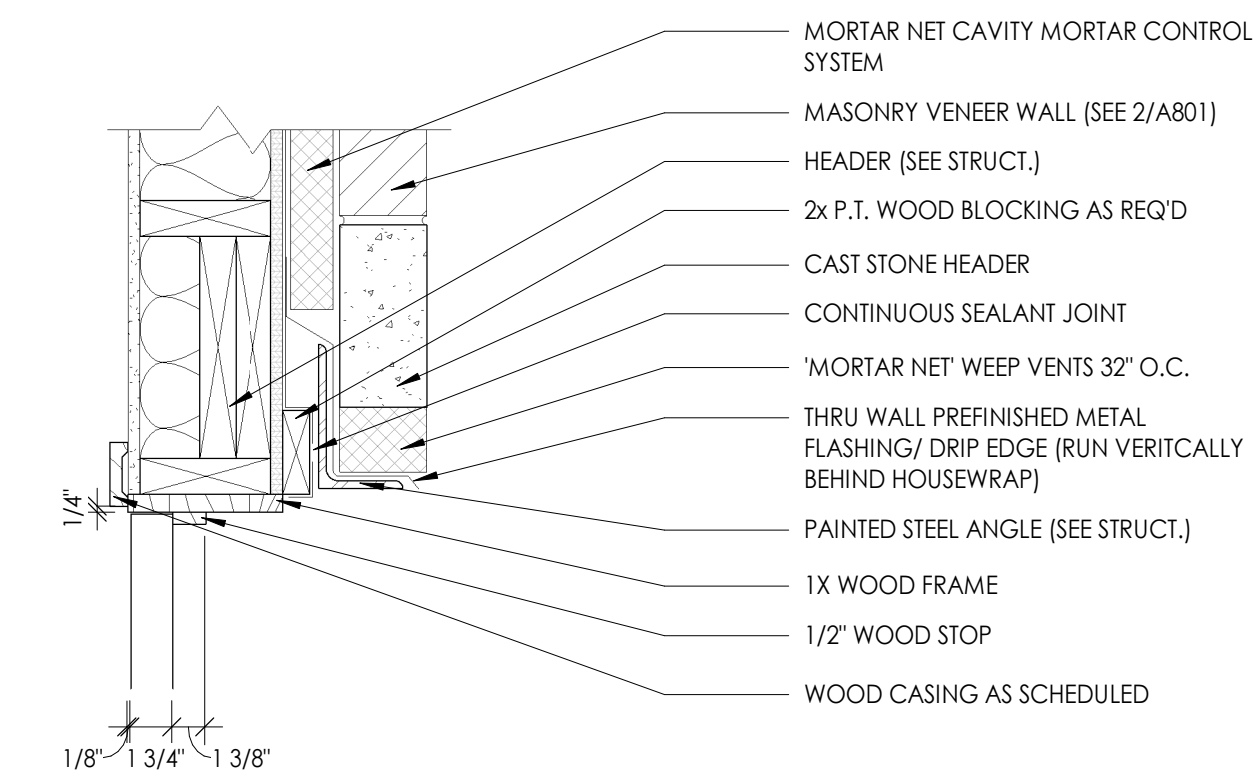
**NOTES:**  
 1. COORDINATE MASTER KEY SYSTEM WITH OWNER.  
 2. LOCKSETS TO BE KEYPED TO BUILDING MASTER WITH FUNCTION BASED UPON LOCATION.  
 3. DOOR STOP: USE WALL STOP OR DOME STOP. USE FLOOR STOPS ONLY WHERE WALL CANNOT WORK.



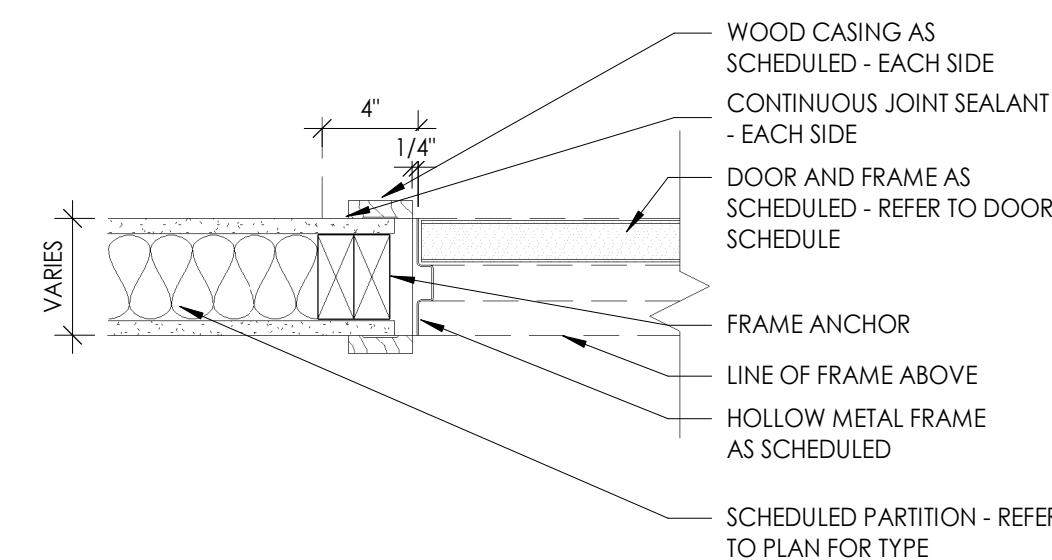
**FRAME TYPES**  
SCALE 1/4" = 1'-0"



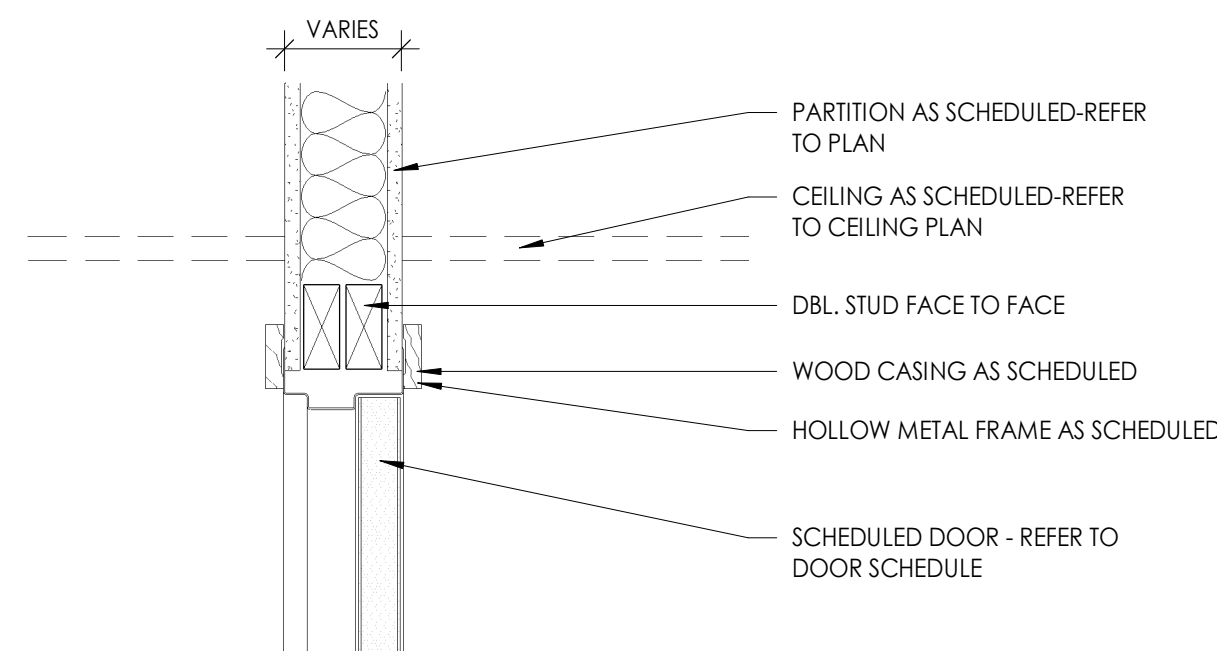
**DOOR TYPES**  
SCALE 1/4" = 1'-0"



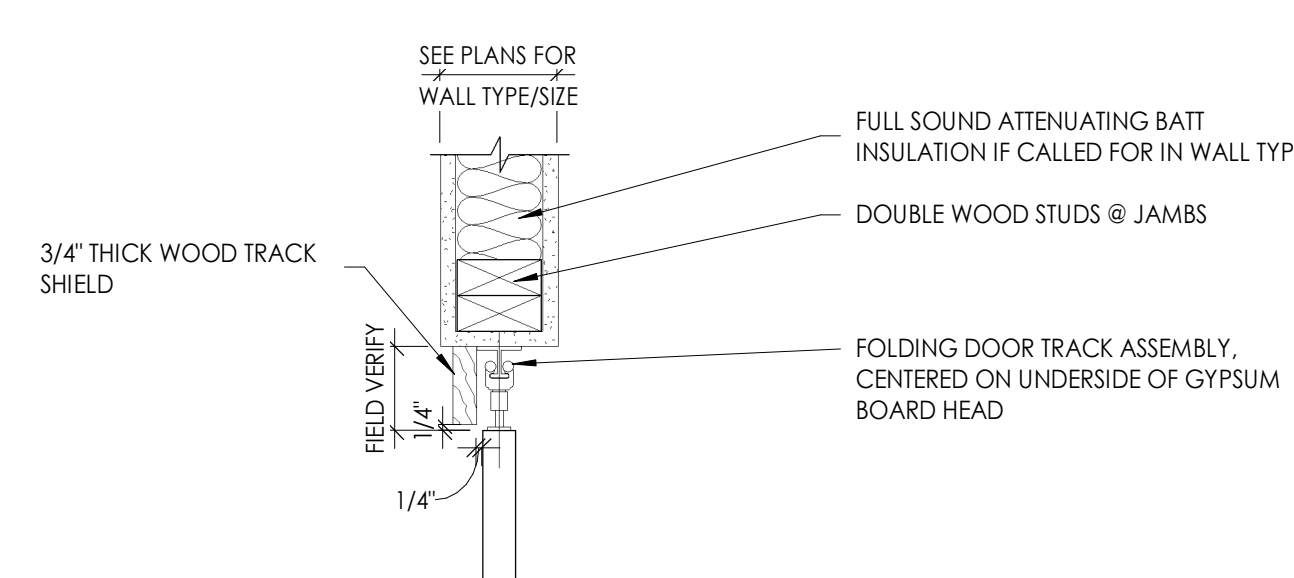
**5 WD HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



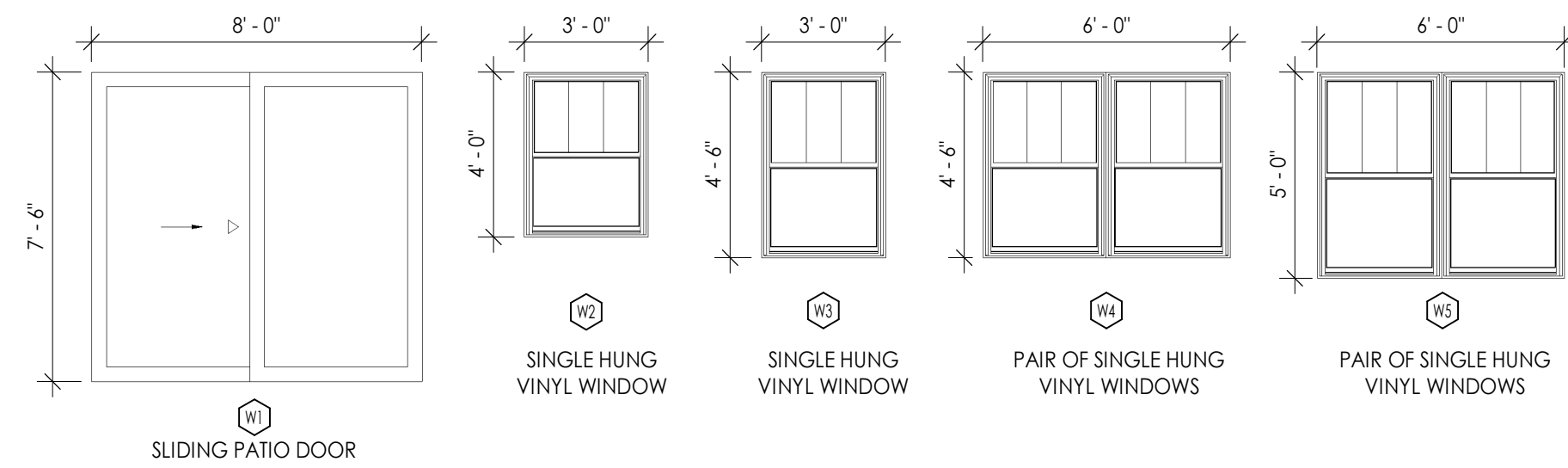
**4 H.M. FRAME JAMB @ WOOD STUD W/ CASING**  
SCALE 1 1/2" = 1'-0"



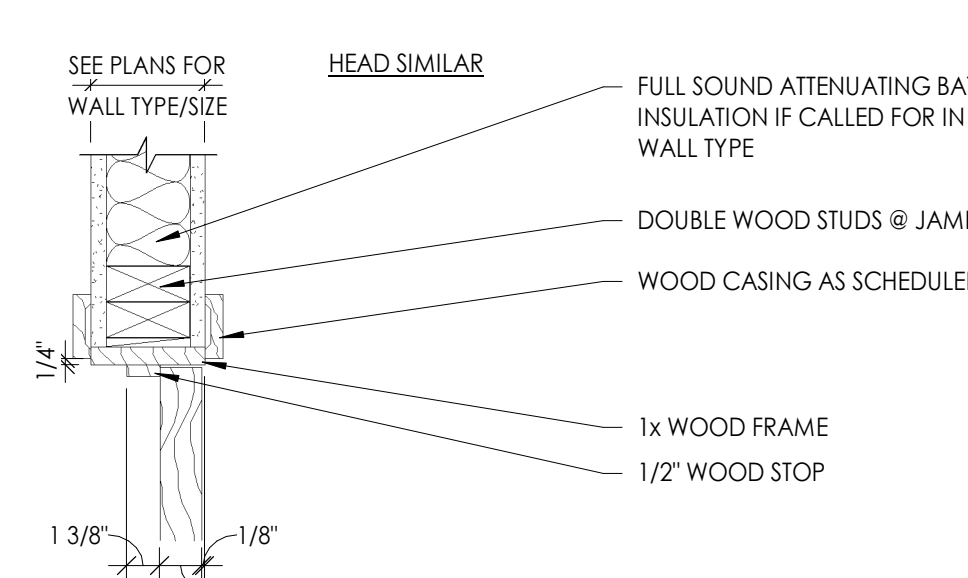
**3 H.M. FRAME HEAD @ WOOD STUD W/ CASING**  
SCALE 1 1/2" = 1'-0"



**2 BI-FOLDING DOOR HEAD**  
SCALE 1 1/2" = 1'-0"



**WINDOW TYPES**  
SCALE 1/4" = 1'-0"



**1 WD FRAME JAMB @ WD STUD PARTITION**  
SCALE 1 1/2" = 1'-0"



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## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

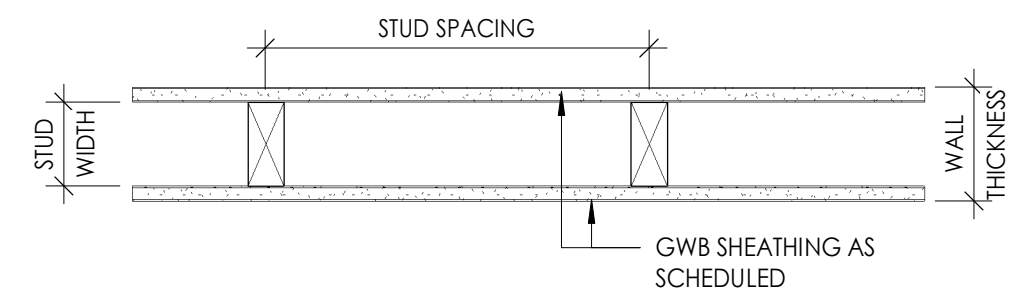
## SHEET

DOOR TYPES AND SCHEDULES

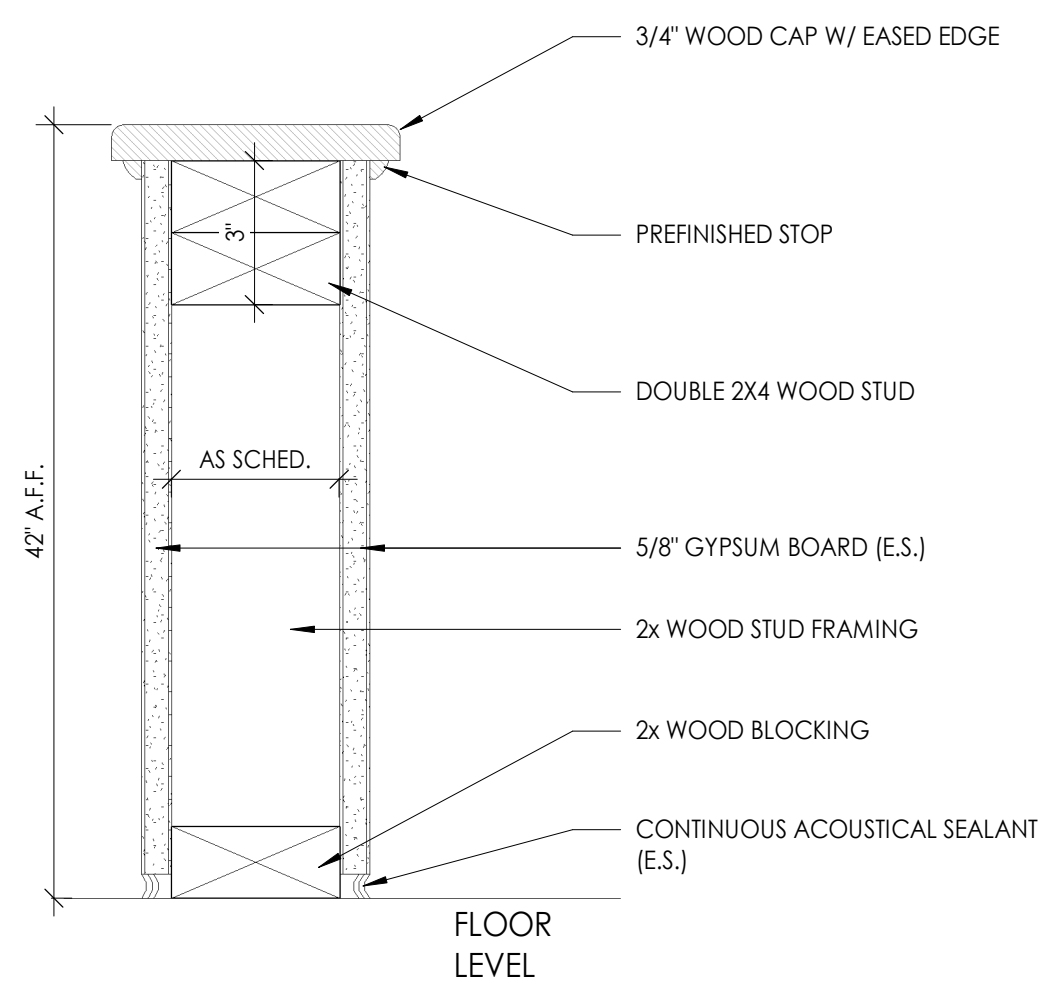
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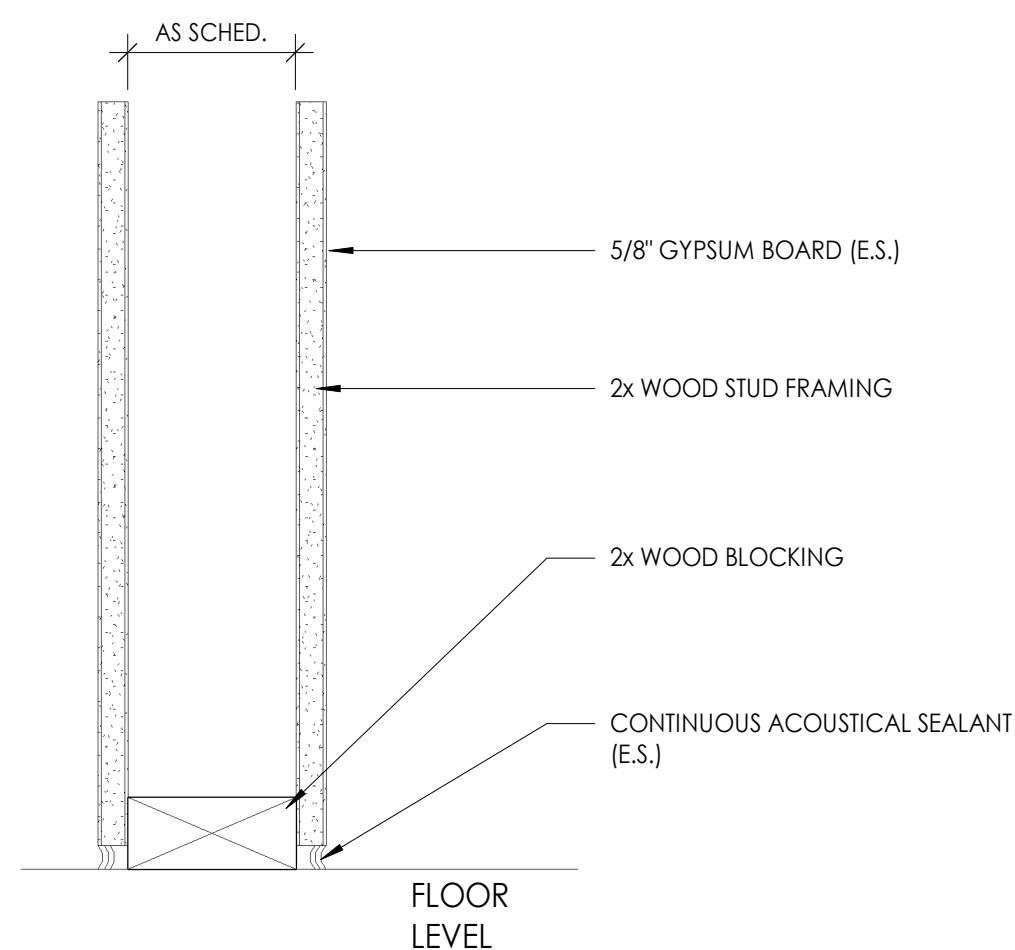
### TYPE 'PD' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING		SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4D	4 3/4"	3 1/2"	2x4 16' O.C.	5/8"	P6/A020	P5/A020	0	-	

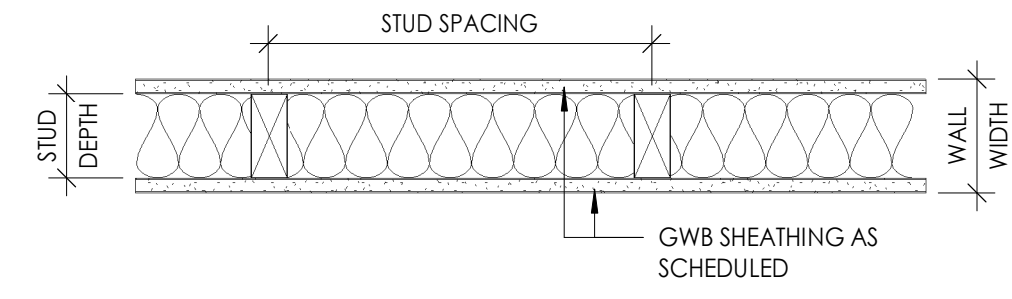


**P6** TYPE 'PD' - TOP OF WALL  
SCALE 3" = 1'-0"

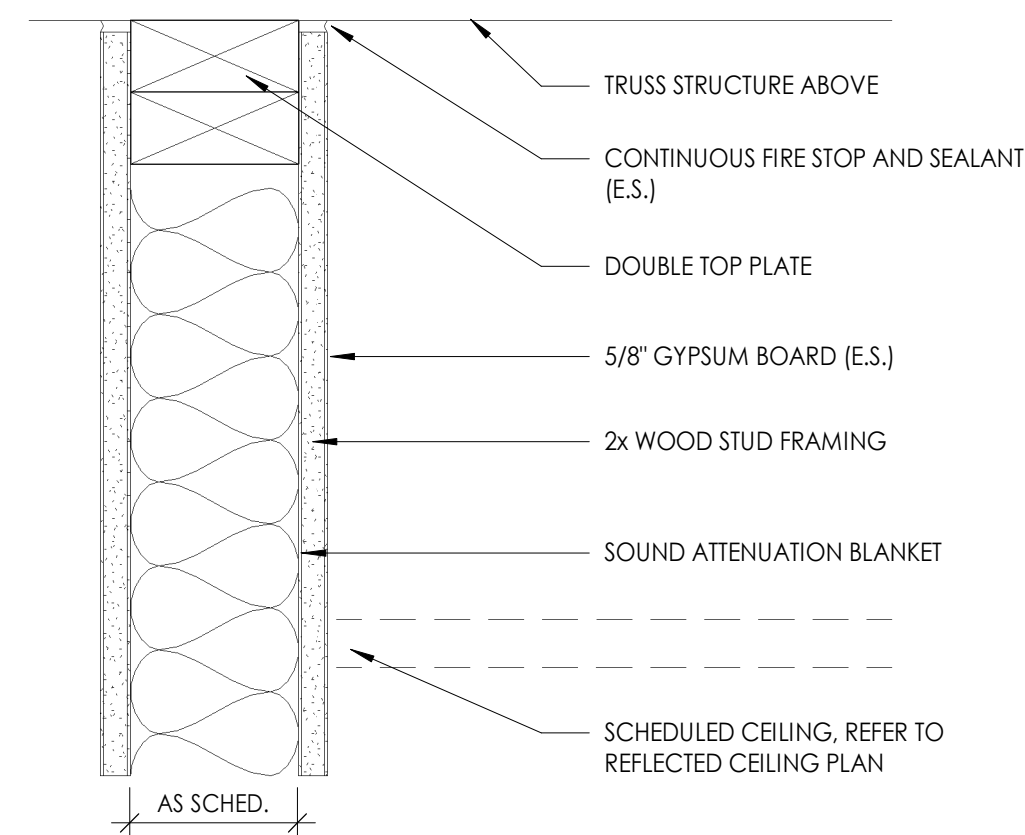


**P5** TYPE 'PD' - BOTTOM OF WALL  
SCALE 3" = 1'-0"

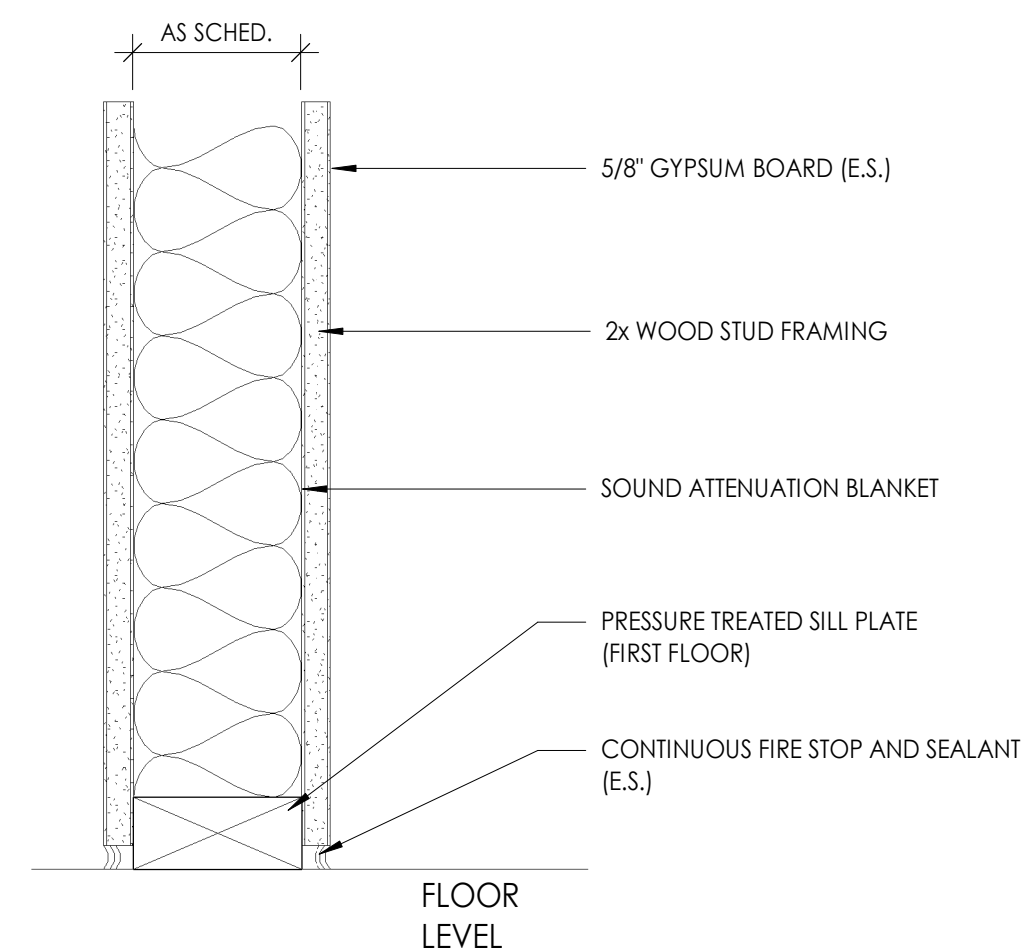
### TYPE 'PB' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING		SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4B	4 3/4"	3 1/2"	2x4 16' O.C.	5/8"	P4	P3	1	U305	

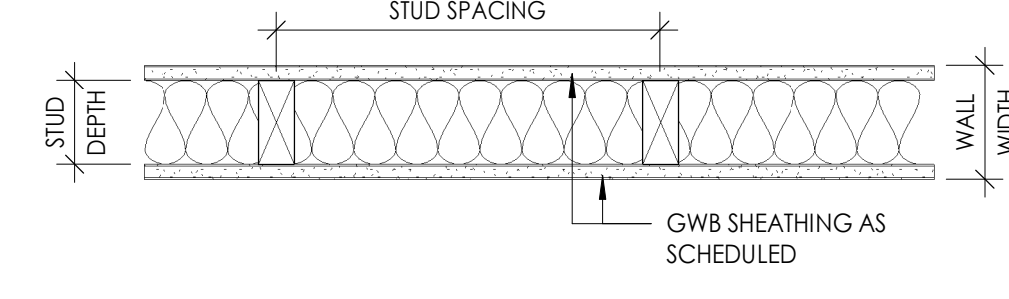


**P4** TYPE 'PB' - TOP OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"

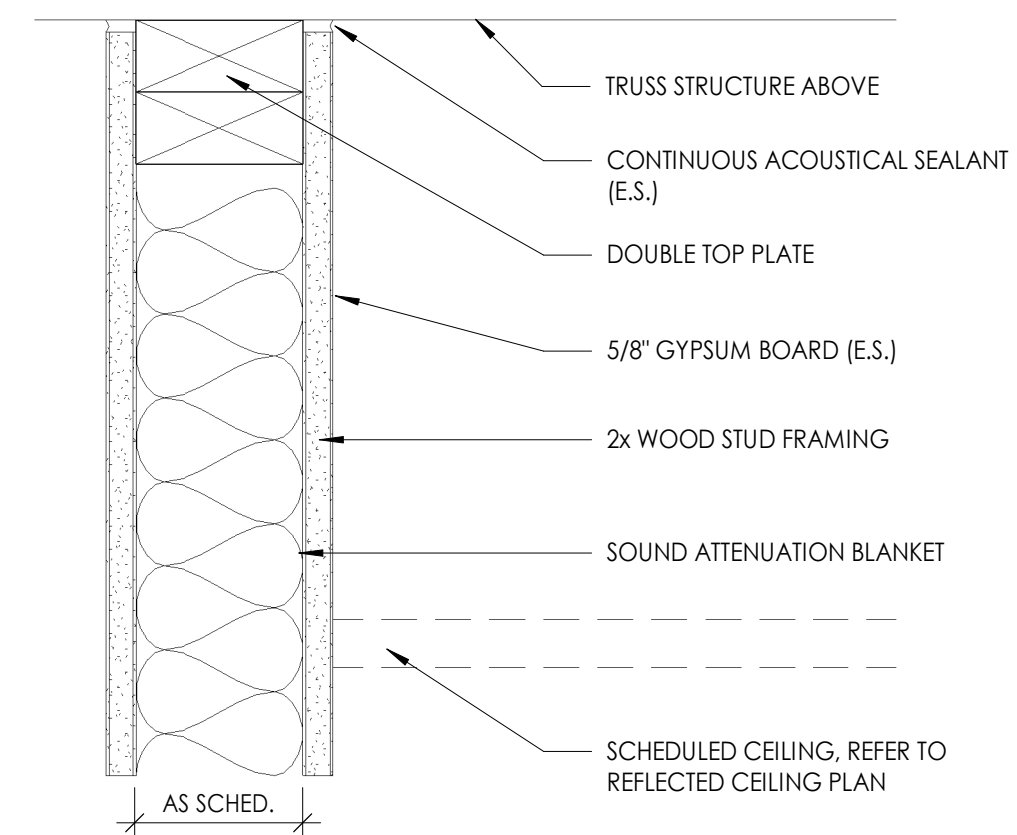


**P3** TYPE 'PB' - BOTTOM OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"

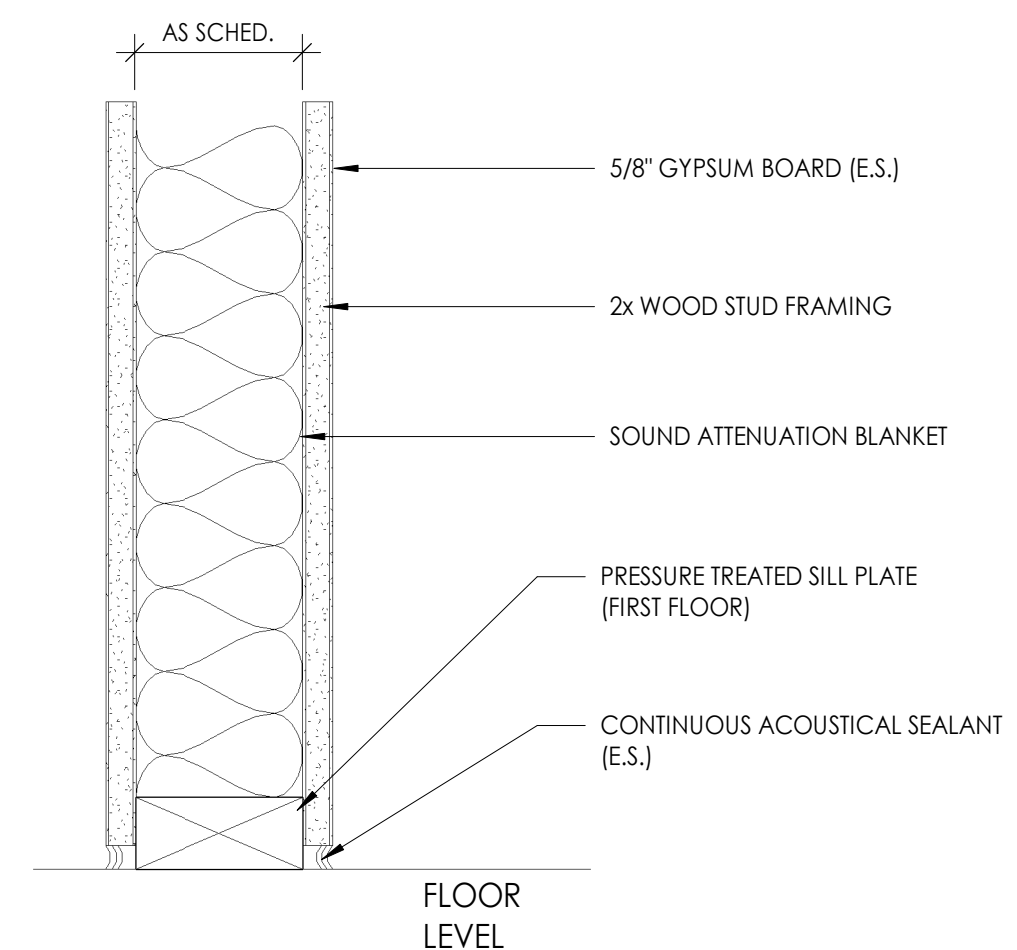
### TYPE 'PA' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING		SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4A	4 3/4"	3 1/2"	2x4 16' O.C.	5/8"	P2	P1	0	-	
P6A	6 3/4"	5 1/2"	2x6 16' O.C.	5/8"	P2	P1	0	-	

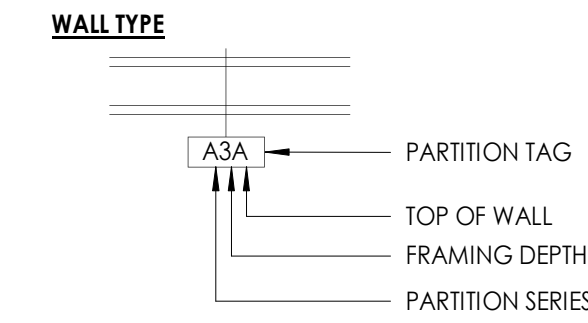


**P2** TYPE 'PA' - TOP OF WALL (NON-RATED)  
SCALE 3" = 1'-0"



**P1** TYPE 'PA' - BOTTOM OF WALL (NON-RATED)  
SCALE 3" = 1'-0"

### GENERAL PARTITION NOTES



PARTITION SERIES	TYPE	SHEATHING	FRAMING	SHEATHING	NOTE
A	1 LAYER	C-STUD		1 LAYER	
B	2 LAYER	C-STUD		2 LAYER	
C	1 LAYER	C-STUD		2 LAYER	
D	1 LAYER	C-STUD		NONE	
E	2 LAYER	C-STUD		NONE	
F	1 LAYER	FURRING		NONE	EXTERIOR FURRING
G	1 LAYER	NONE		NONE	
H	1 LAYER	C-STUD		1 LAYER	PARTIAL HEIGHT WALL
I	1 LAYER	2 C-STUD		1 LAYER	PLUMBING WALL
J	1 LAYER	C-H STUD		LINEAR PANEL	1 HOUR SHAFT WALL
K	2 LAYER	C-H STUD		LINEAR PANEL	2 HOUR SHAFT WALL
L	-	-		-	
M	-	MASONRY		-	
N	-	CONCRETE		-	
O	-	-		-	
P	1 LAYER	STUD		1 LAYER	
Q	1 LAYER	FURRING		NONE	KITCHEN ISLAND/PENINSULA WALLS
R	1 LAYER	2 STUD		1 LAYER	PARTITION WALLS (1 HOUR RATED)
S	1 LAYER	STAGGERED STUD		1 LAYER	1ST FLOOR STAIR WALLS

FRAMING DEPTH/TYPE	DESCRIPTION
-	0 NO FRAMING
0	7/8" FURRING CHANNEL
1	1-5/8" C-STUD
2	2-1/2" C OR C-H STUD FRAMING
3	3-5/8" C-STUD
4	4" C OR C-H STUD, CONCRETE OR MASONRY
6	6" C OR C-H STUD, CONCRETE OR MASONRY
8	8" C OR C-H STUD, CONCRETE OR MASONRY
10	10" C OR C-H STUD, CONCRETE OR MASONRY
12	12" CONCRETE OR MASONRY

TOP OF WALL	DESCRIPTION
A	WALL EXTENDS TO UNDERSIDE OF DECK ABOVE
B	FIRE RATED PARTITION (EXTENDS TO DECK ABOVE)
C	WALL EXTENDS TUO UNDERSIDE OF CEILING GRID
D	WALL EXTENDS 12" ABOVE CEILING HEIGHT
E	PARTIAL HEIGHT WALL (DOES NOT EXTEND TO, OR PAST A CEILING OR STRUCTURE)



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### PROJECT

PROPOSED BUILDING FOR:

### THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

### OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

### REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

### INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

### SHEET

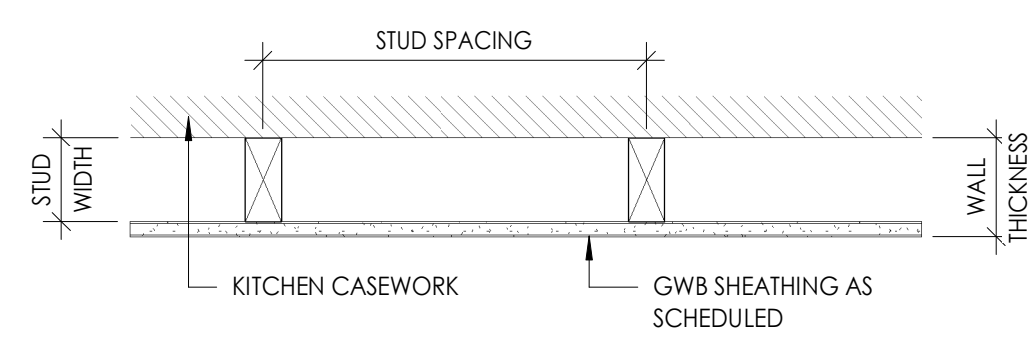
WALL TYPES AND DETAILS

A020

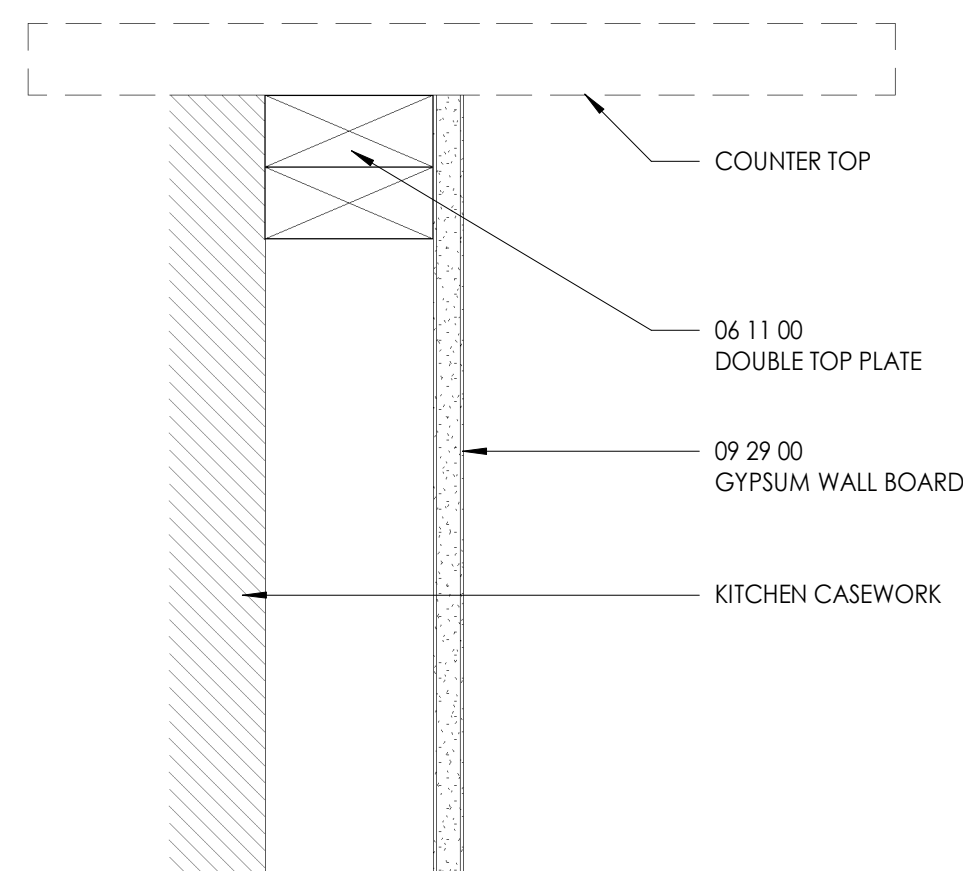
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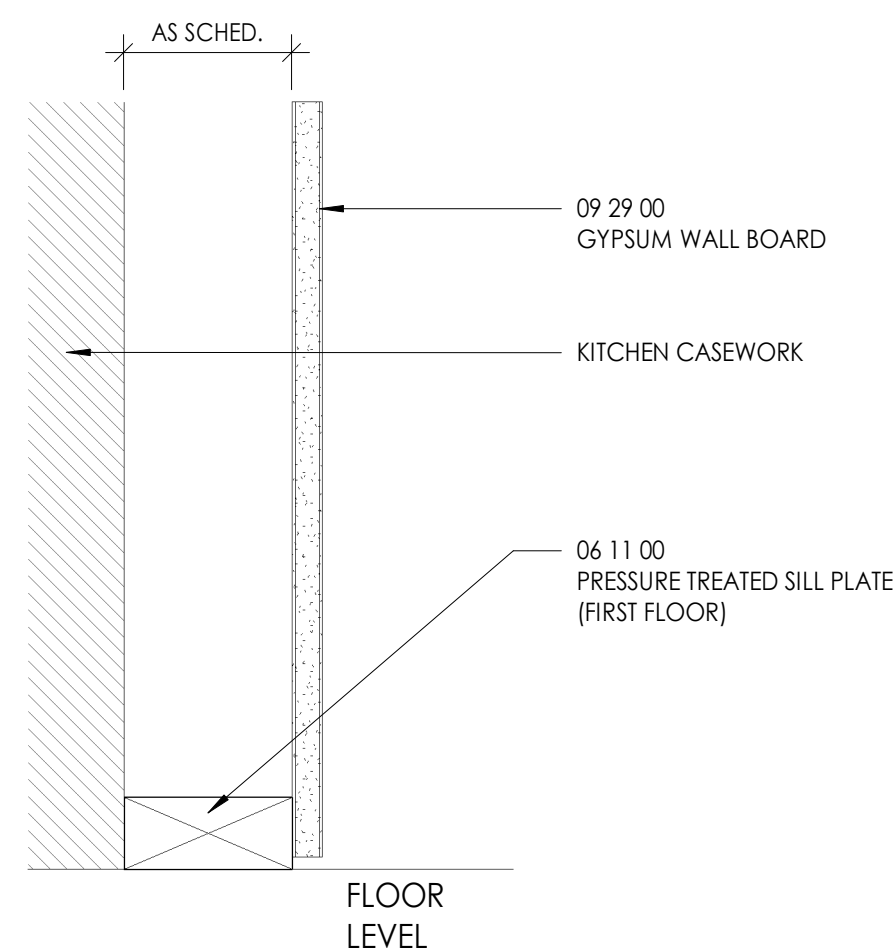
### TYPE 'Q' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
Q6A	6 1/8"	5 1/2"	2x6	16" O.C.	5/8"	Q2	Q1			

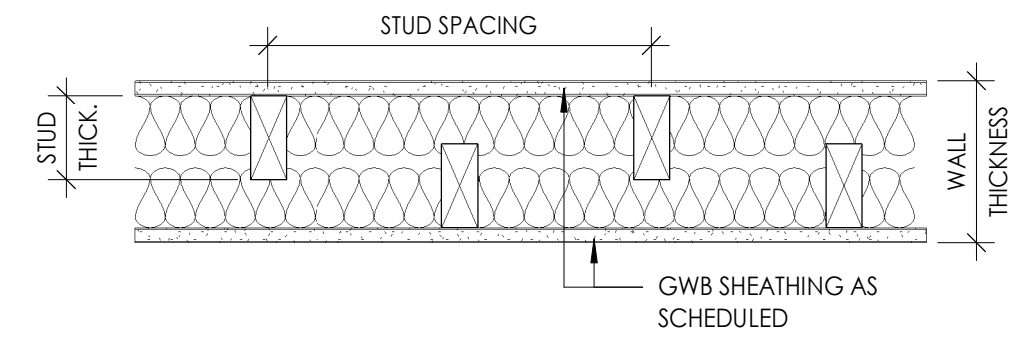


**Q2** TYPE 'Q' - TOP OF WALL  
SCALE 3" = 1'-0"

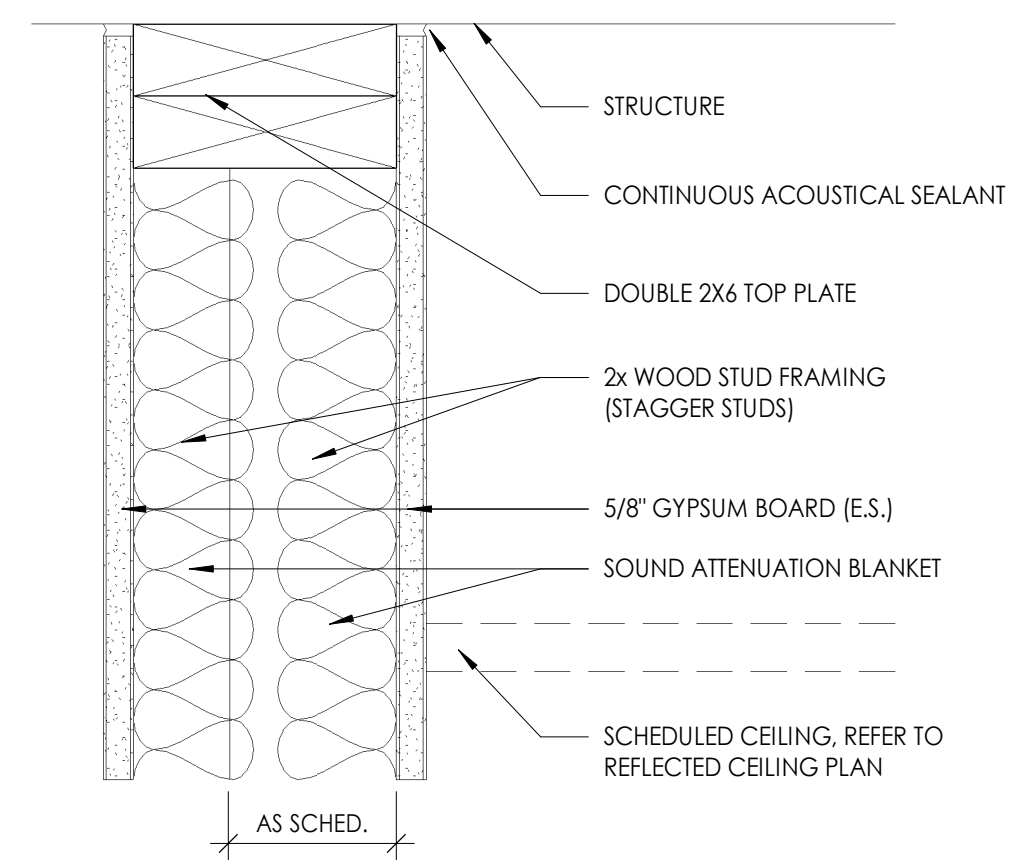


**Q1** TYPE 'Q' - BOTTOM OF WALL  
SCALE 3" = 1'-0"

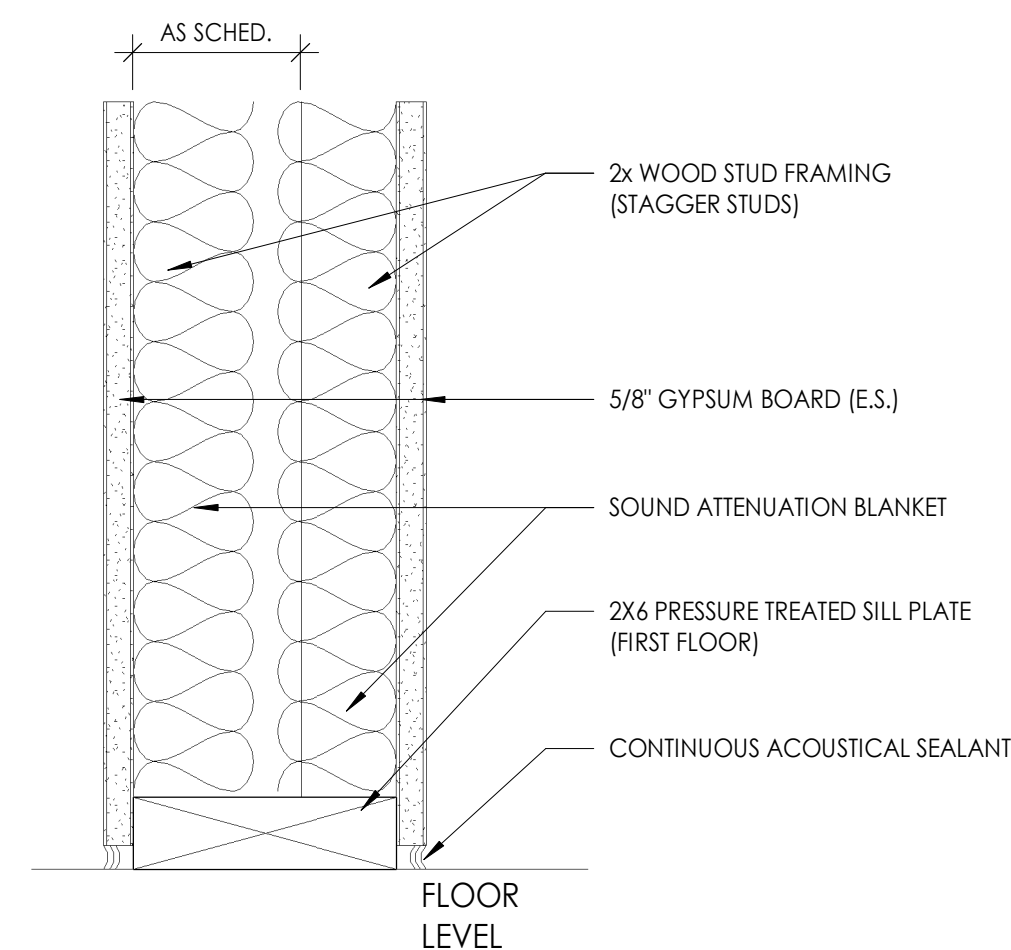
### TYPE 'S' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
S6A	6 3/4"	5 1/2"	2x6	16" O.C.	5/8"	S2	S1	1	US40	

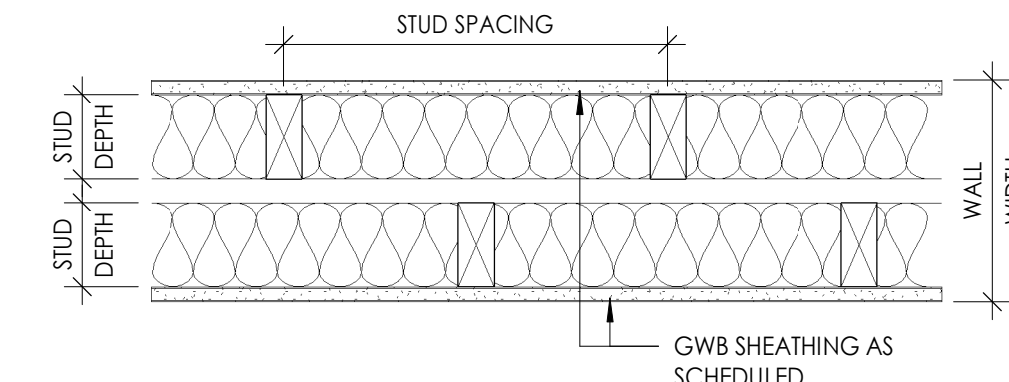


**S2** TYPE 'S' - TOP OF WALL  
SCALE 3" = 1'-0"

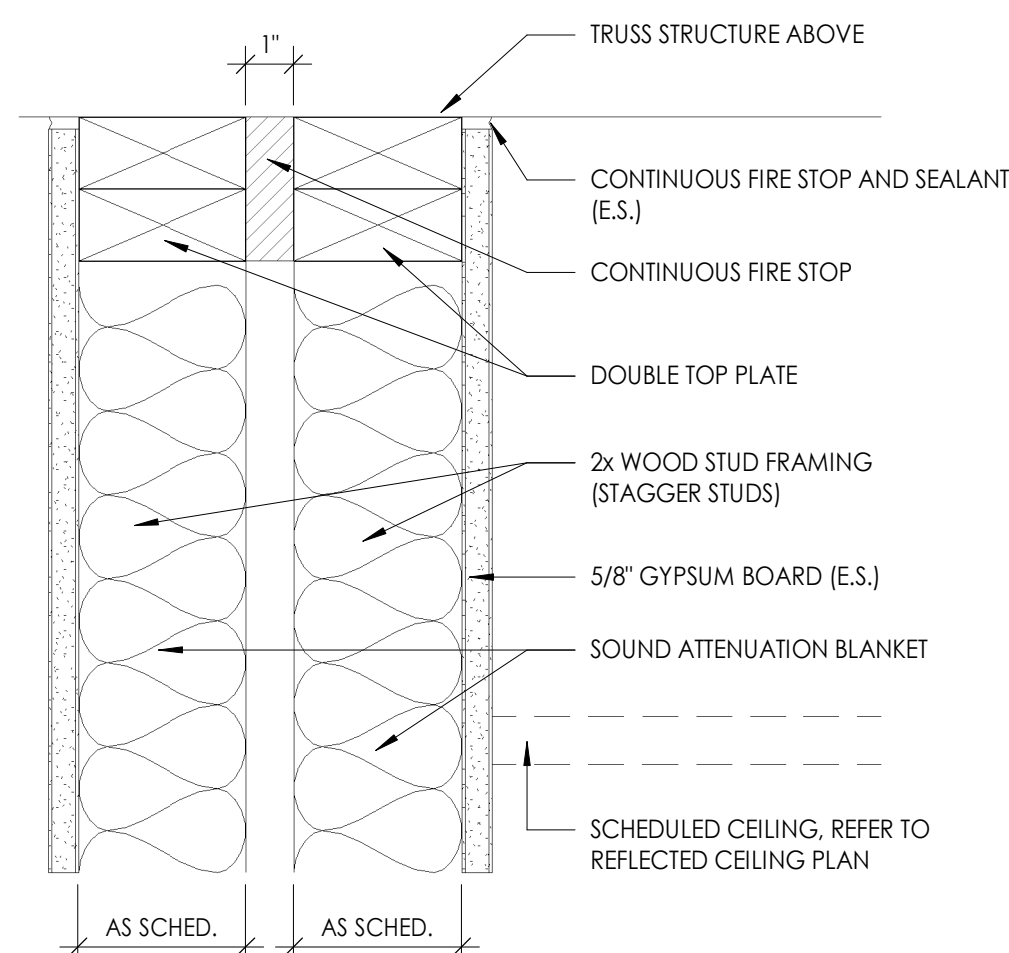


**S1** TYPE 'S' - BOTTOM OF WALL  
SCALE 3" = 1'-0"

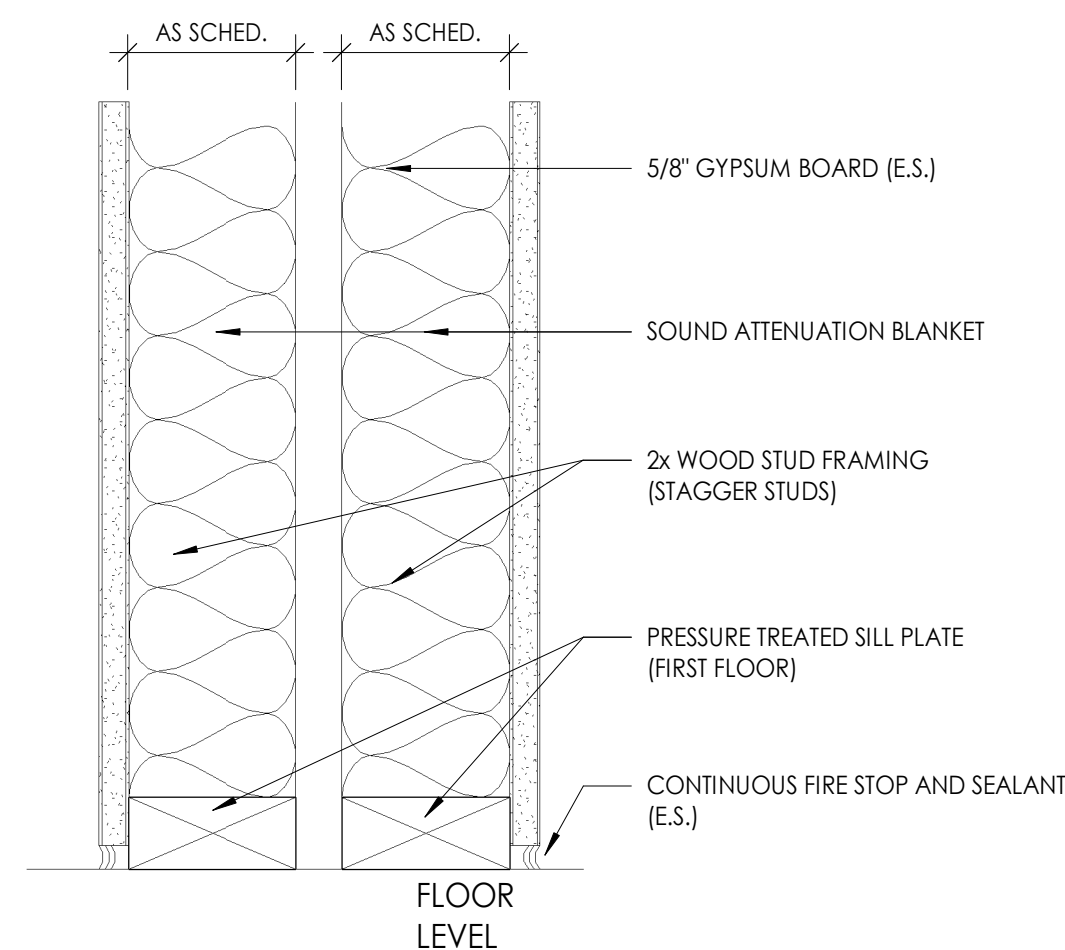
### TYPE 'R' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
R4A	9 1/4"	3 1/2"	2x4	16" O.C.	5/8"	R2	R1	1	US41	

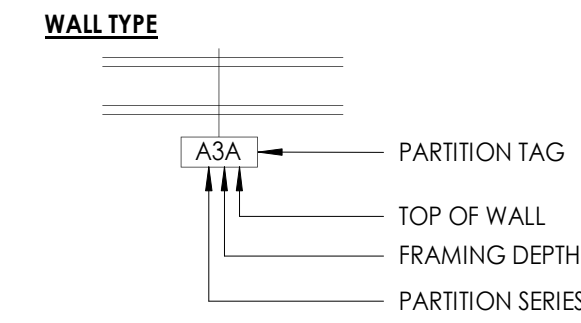


**R2** TYPE 'R' - TOP OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"



**R1** TYPE 'R' - BOTTOM OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"

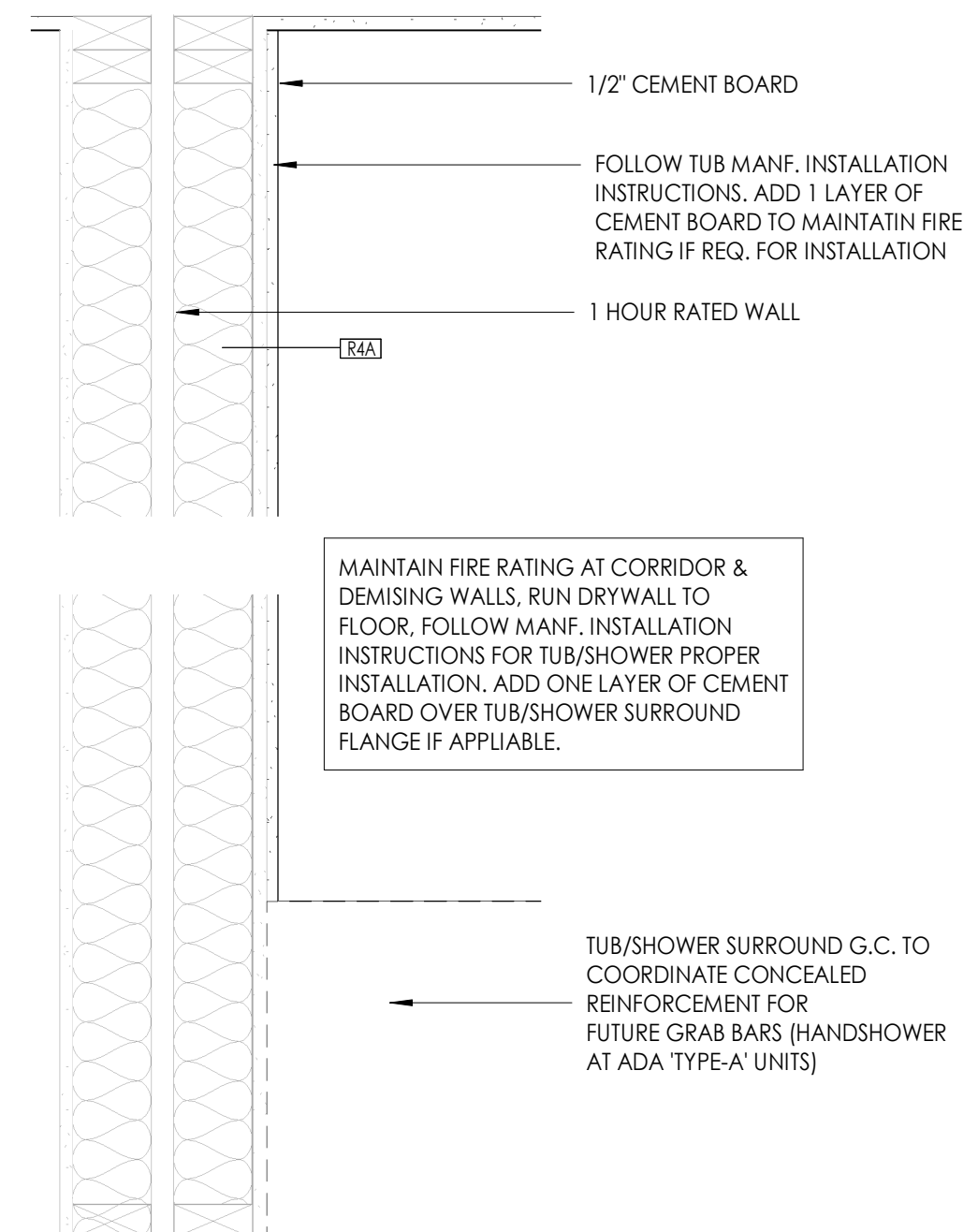
### GENERAL PARTITION NOTES



PARTITION SERIES				
TYPE	SHEATHING	FRAMING	SHEATHING	NOTE
A	1 LAYER	C-STUD	1 LAYER	
B	2 LAYER	C-STUD	2 LAYER	
C	1 LAYER	C-STUD	2 LAYER	
D	1 LAYER	C-STUD	NONE	
E	2 LAYER	C-STUD	NONE	
F	1 LAYER	FURRING	NONE	EXTERIOR FURRING
G	1 LAYER	NONE	NONE	
H	1 LAYER	C-STUD	1 LAYER	PARTIAL HEIGHT WALL
I	1 LAYER	2 C-STUD	1 LAYER	PLUMBING WALL
J	1 LAYER	C-H STUD	LINEAR PANEL	1 HOUR SHAFT WALL
K	2 LAYER	C-H STUD	LINEAR PANEL	2 HOUR SHAFT WALL
L	-	-	-	-
M	-	MASONRY	-	-
N	-	CONCRETE	-	-
O	-	-	-	-
P	1 LAYER	STUD	1 LAYER	
Q	1 LAYER	FURRING	NONE	KITCHEN ISLAND/PENINSULA WALLS
R	1 LAYER	2 STUD	1 LAYER	PARTITION WALLS (1 HOUR RATED)
S	1 LAYER	STAGGERED STUD	1 LAYER	1ST FLOOR STAIR WALLS

FRAMING DEPTH/TYPE	
-	0 NO FRAMING
0	7/8" FURRING CHANNEL
1	1-5/8" C-STUD
2	2-1/2" C OR C-H STUD FRAMING
3	3-5/8" C-STUD
4	4" C OR C-H STUD, CONCRETE OR MASONRY
6	6" C OR C-H STUD, CONCRETE OR MASONRY
8	8" C OR C-H STUD, CONCRETE OR MASONRY
10	10" C OR C-H STUD, CONCRETE OR MASONRY
12	12" CONCRETE OR MASONRY

TOP OF WALL	
A	WALL EXTENDS TO UNDERSIDE OF DECK ABOVE
B	FIRE RATED PARTITION (EXTENDS TO DECK ABOVE)
C	WALL EXTENDS TUO UNDERSIDE OF CEILING GRID
D	WALL EXTENDS 12" ABOVE CEILING HEIGHT
E	PARTIAL HEIGHT WALL (DOES NOT EXTEND TO, OR PAST A CEILING OR STRUCTURE)



**F1** MAINTAIN FIRE RATING AT DEMISING WALL  
SCALE 1 1/2" = 1'-0"



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### PROJECT

PROPOSED BUILDING FOR:

### THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

### OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

### REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

### INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

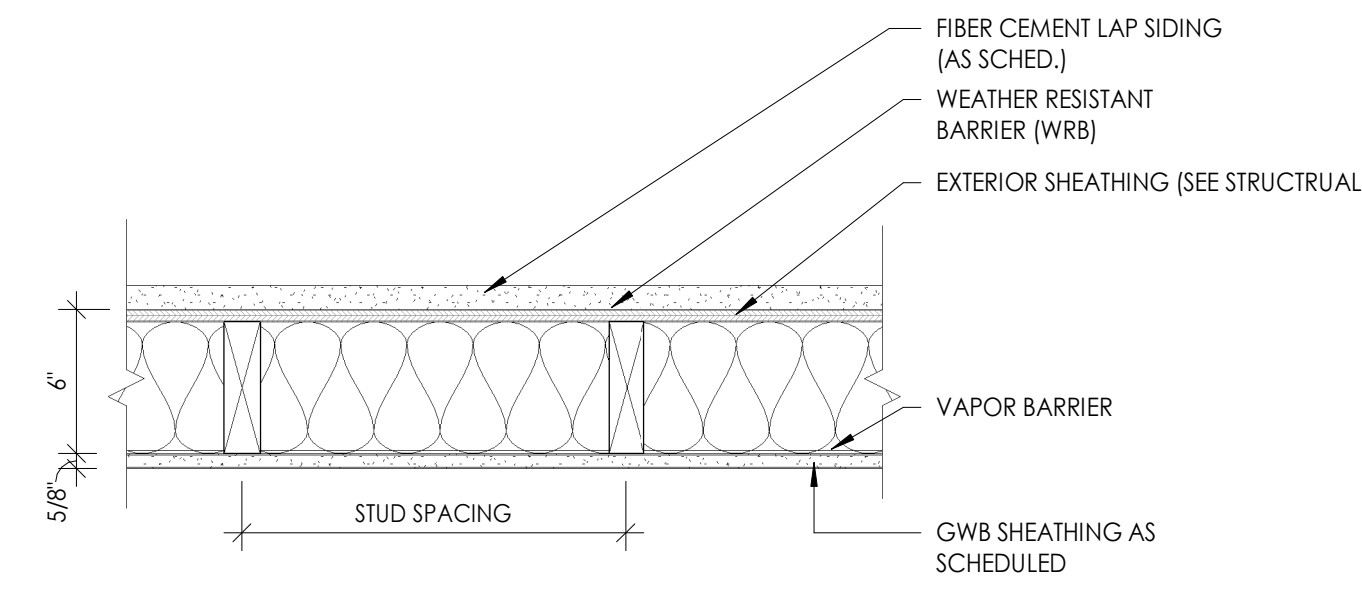
### SHEET

WALL TYPES AND DETAILS

A021

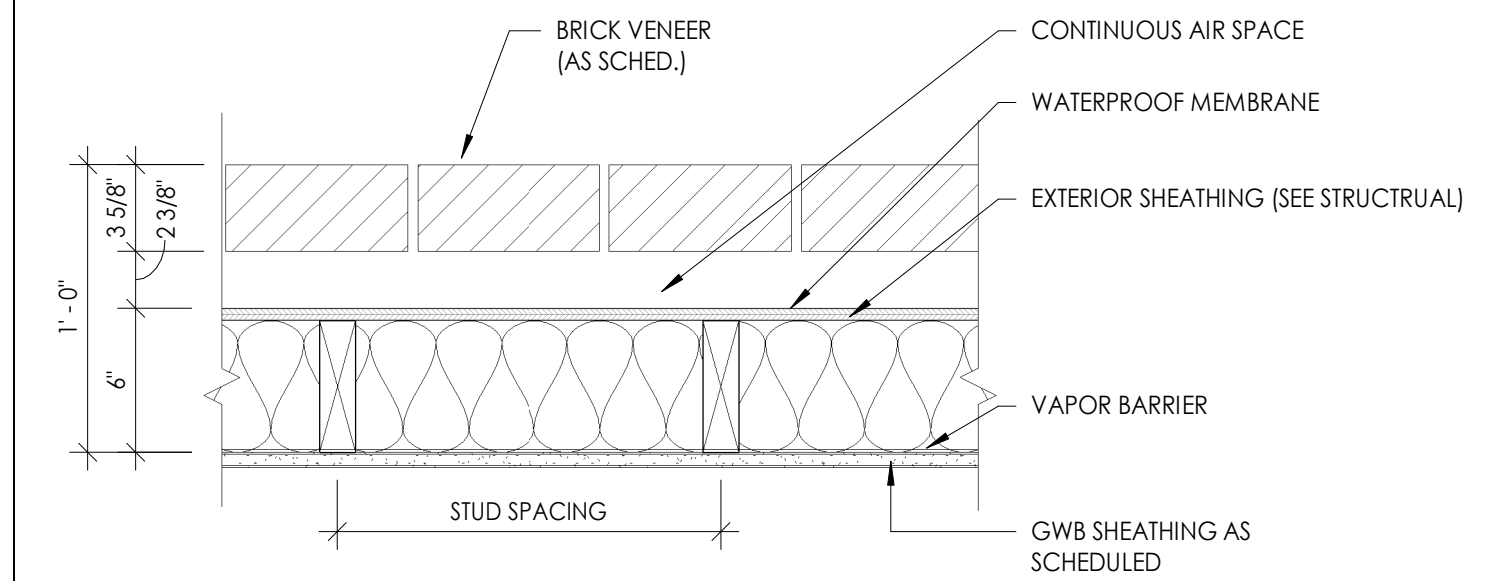
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TYPE 'WS' EXTERIOR WALL PARTITION

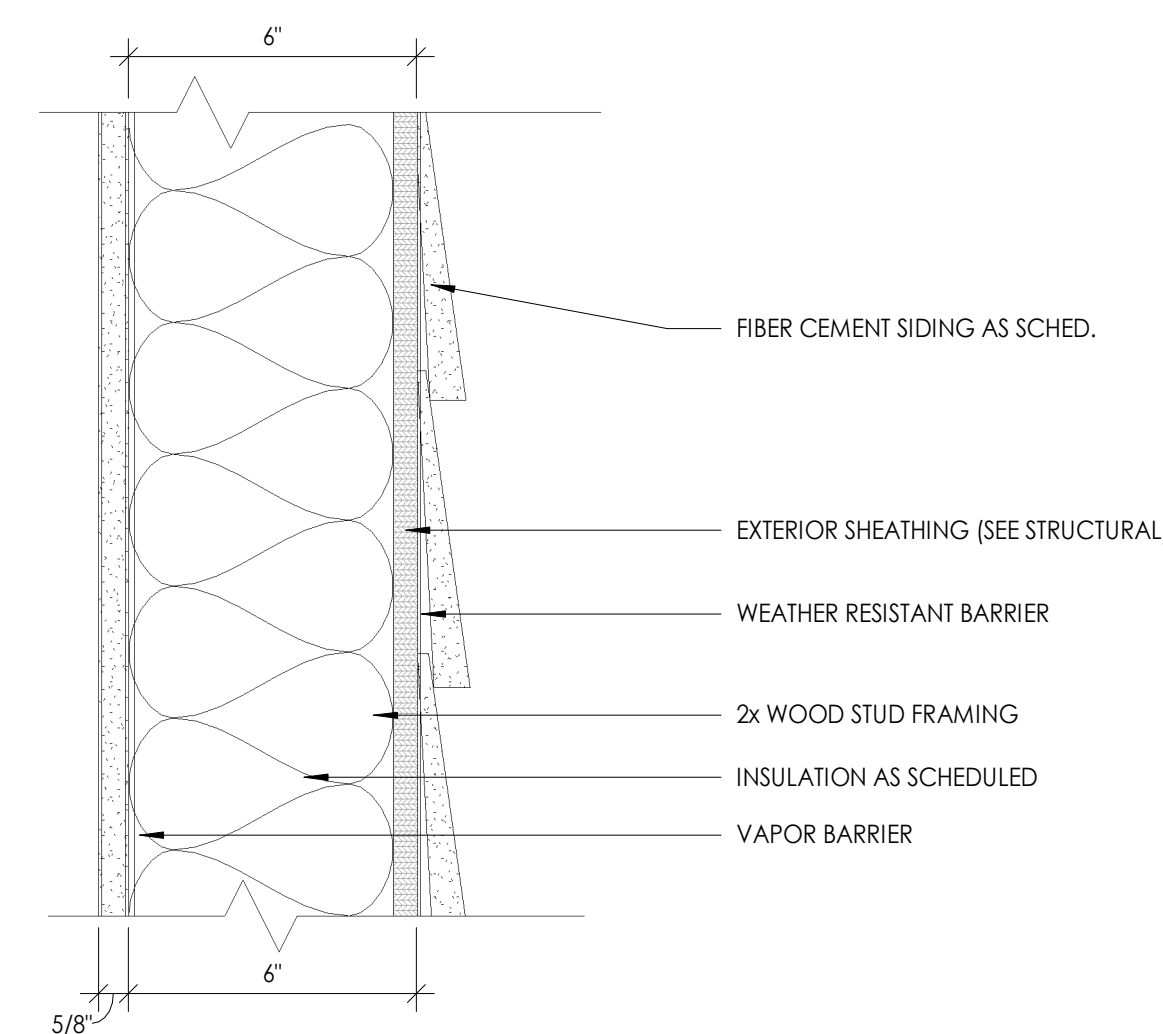


**WS2** TYPE 'WS' SERIES PARTITION (1-HOUR FIRE RATED)  
SCALE 1 1/2" = 1'-0"

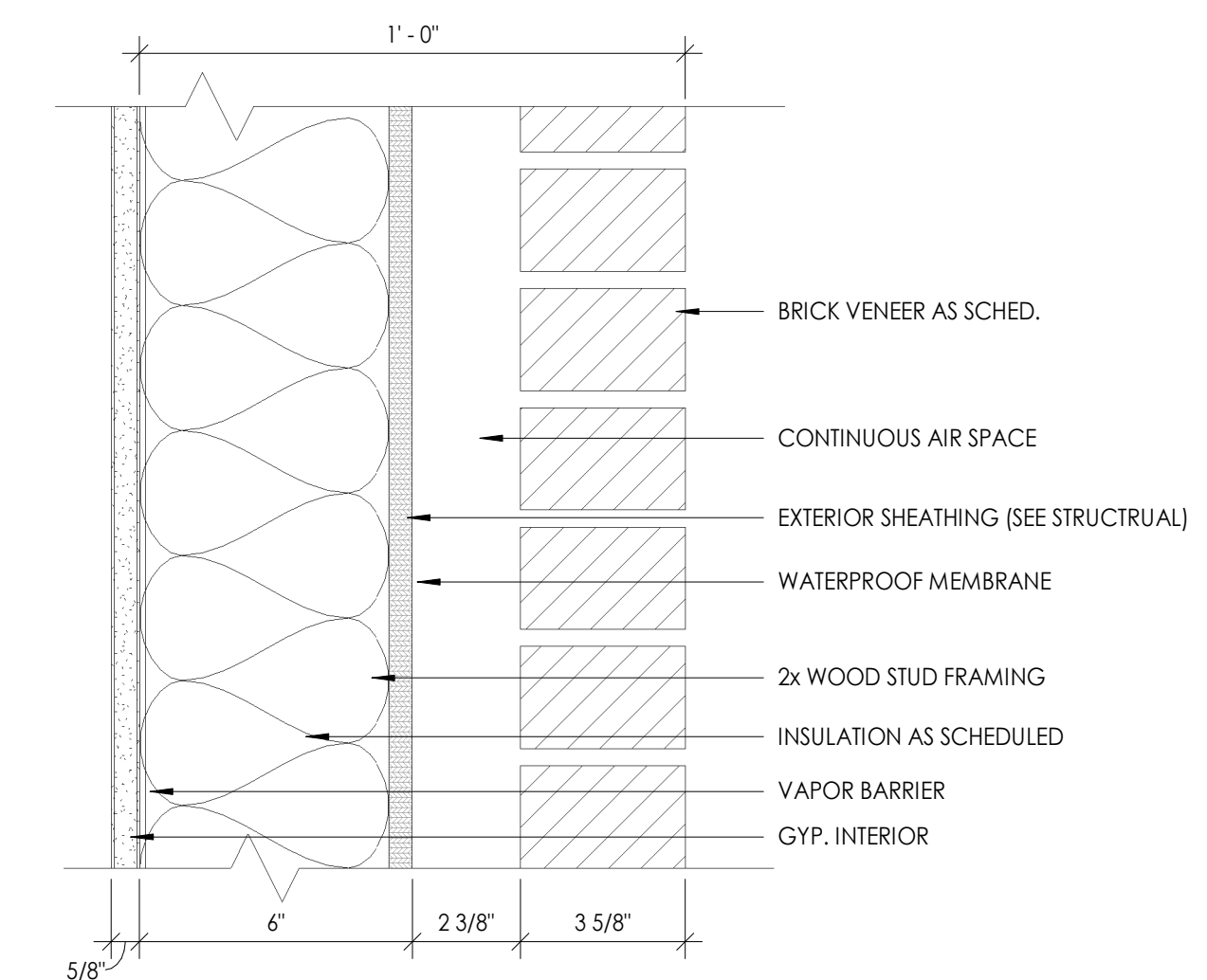
TYPE 'WB' EXTERIOR WALL PARTITION



**WB2** TYPE 'WB' SERIES PARTITION (2-HOUR FIRE RATED)  
SCALE 1 1/2" = 1'-0"



**WS1** TYPE 'WS6' - WALL SECTION (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"



**WB1** TYPE 'WB' - WALL SECTION (2-HOUR FIRE RATED)  
SCALE 3" = 1'-0"



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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

WALL TYPES AND DETAILS EXTERIOR

**A022**

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## SHEET KEYNOTES

- 01-04 ALIGN FACE OF GYP BD
- 21-01 FIRE DEPARTMENT KNOX BOX (VERIFY LOCATION WITH FIRE MARSHALL)
- 21-02 DESIGN/BUILD FIRE PROTECTION CONTRACTOR TO PROVIDE DRY SYSTEM OR HEAT TAPE WRAP ON (UNHEATED GARAGE) SPRINKLER LINE AS REQUIRED



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## GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT.
- D. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- L. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- N. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- R. COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

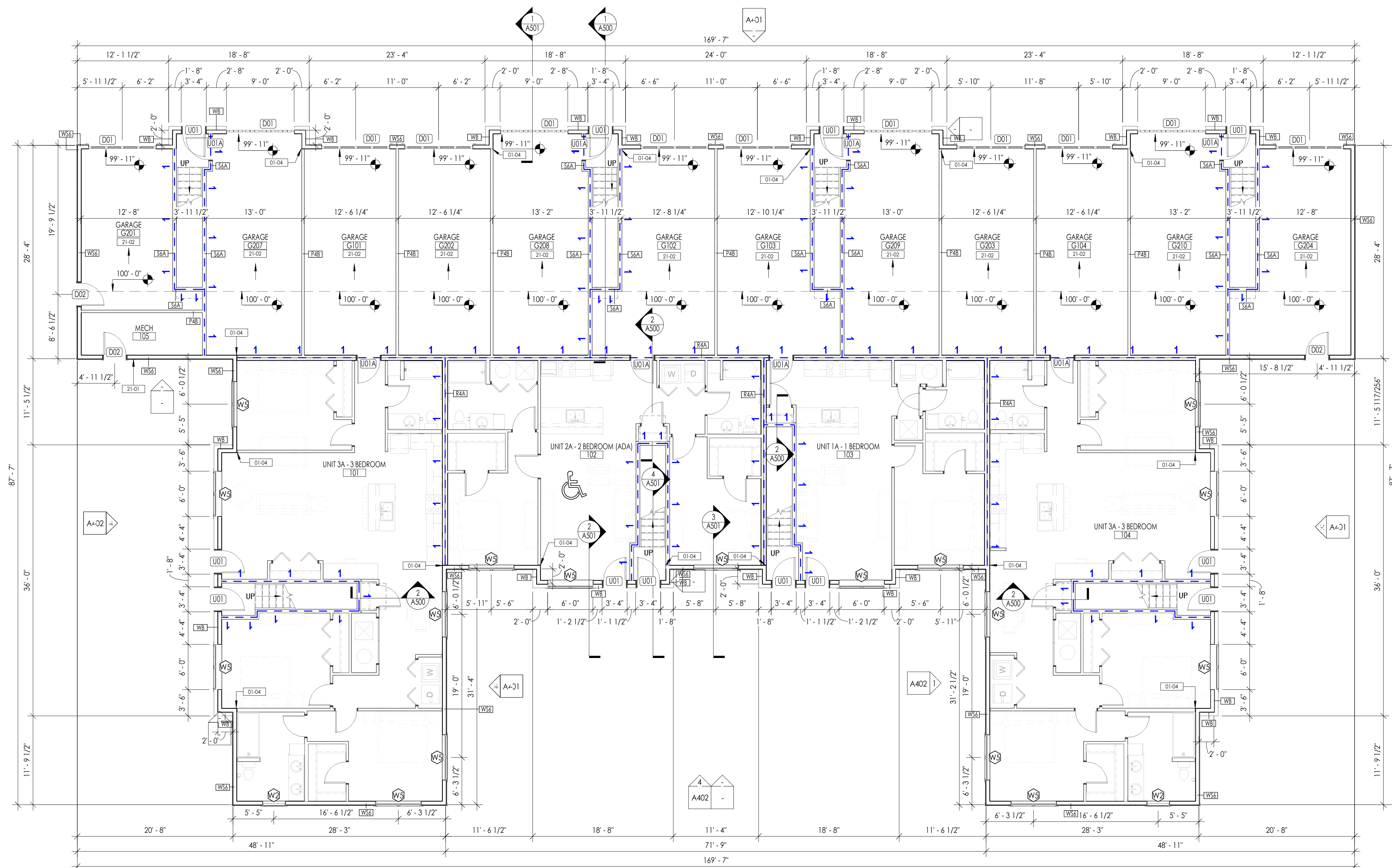
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

CONSTRUCTION PLAN - 1ST FLOOR

# A101

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## 1 CONSTRUCTION PLAN-1ST FLOOR

SCALE 1/8" = 1'-0"

## SHEET KEYNOTES

01-04 ALIGN FACE OF GYP BD



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## GENERAL PLAN NOTES

- COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT
- DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
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- THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
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## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

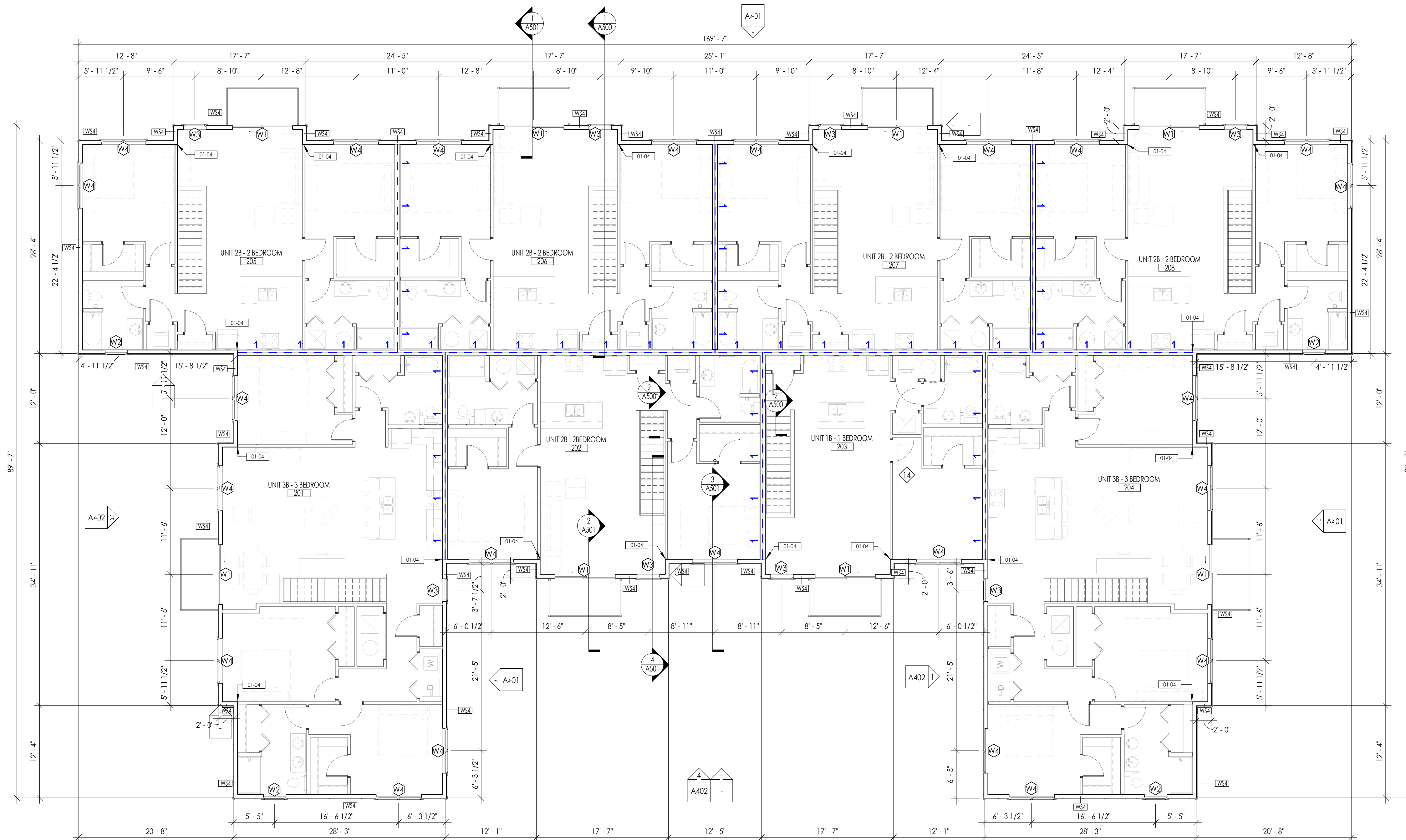
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

CONSTRUCTION PLAN - 2ND FLOOR

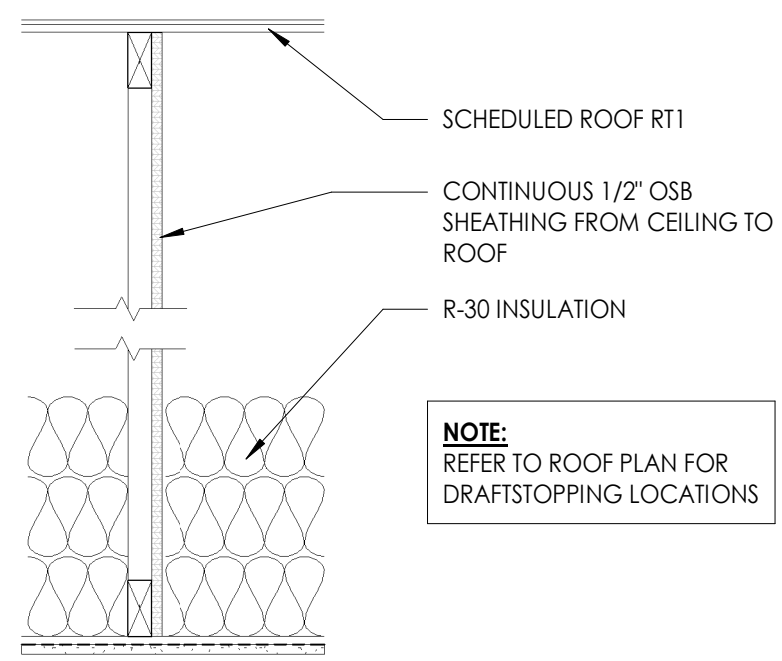
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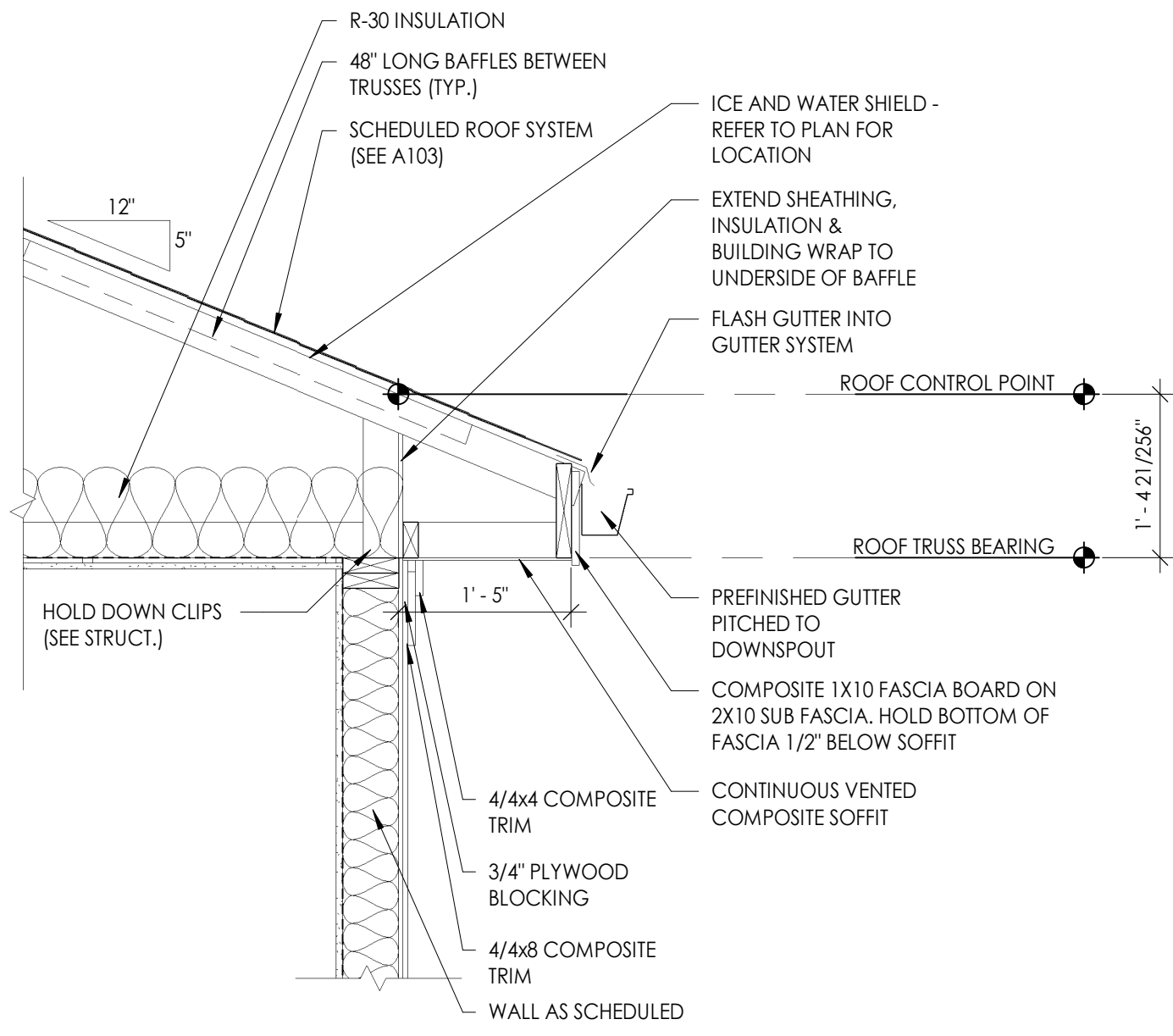
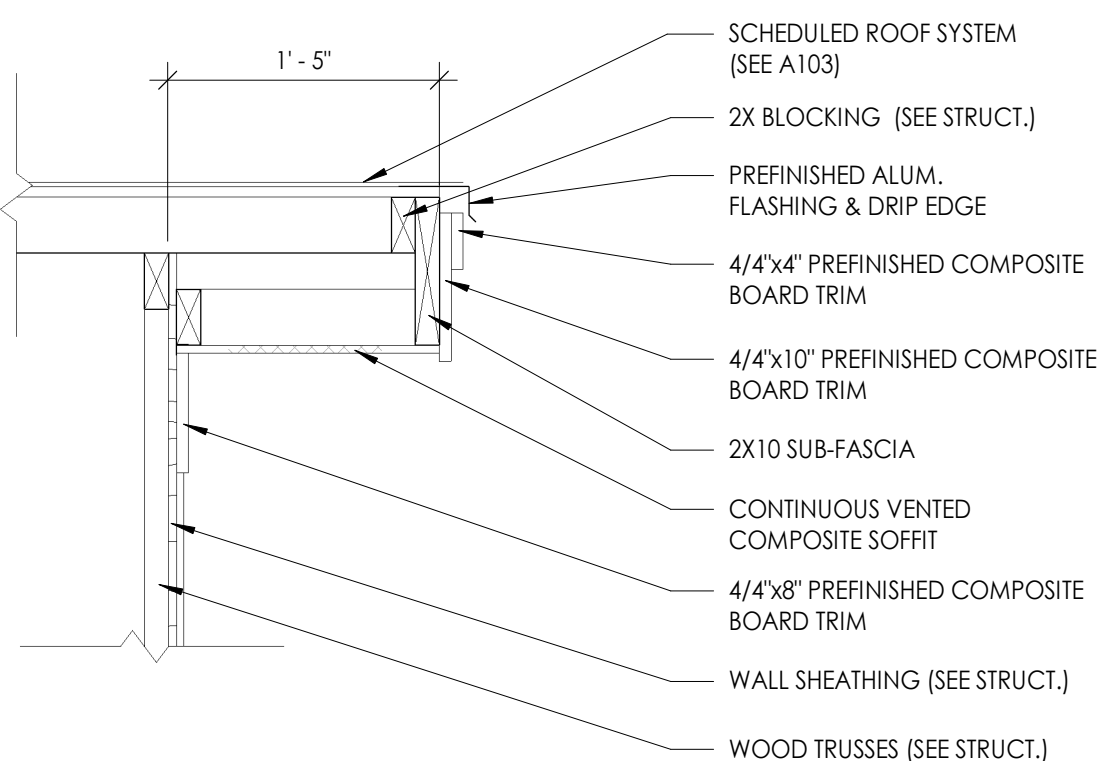
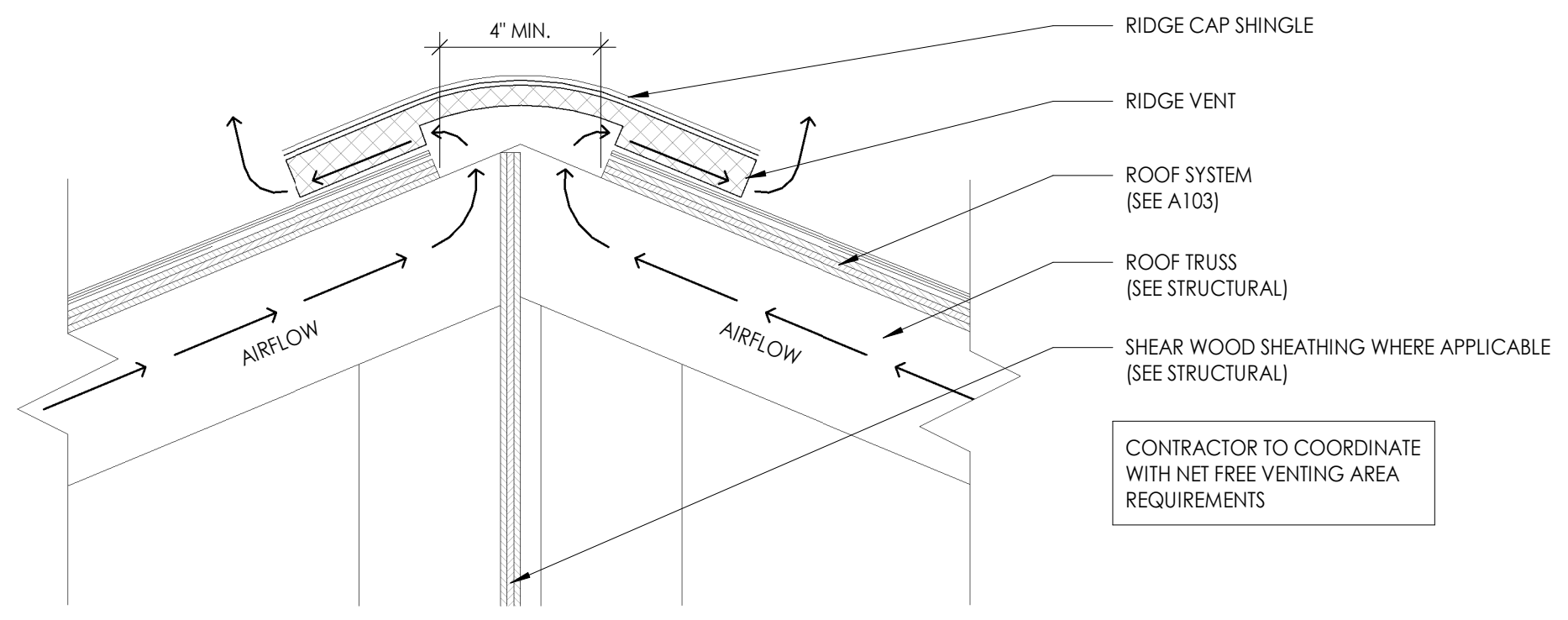
## 1 CONSTRUCTION PLAN-2ND FLOOR

SCALE 1/8" = 1'-0"

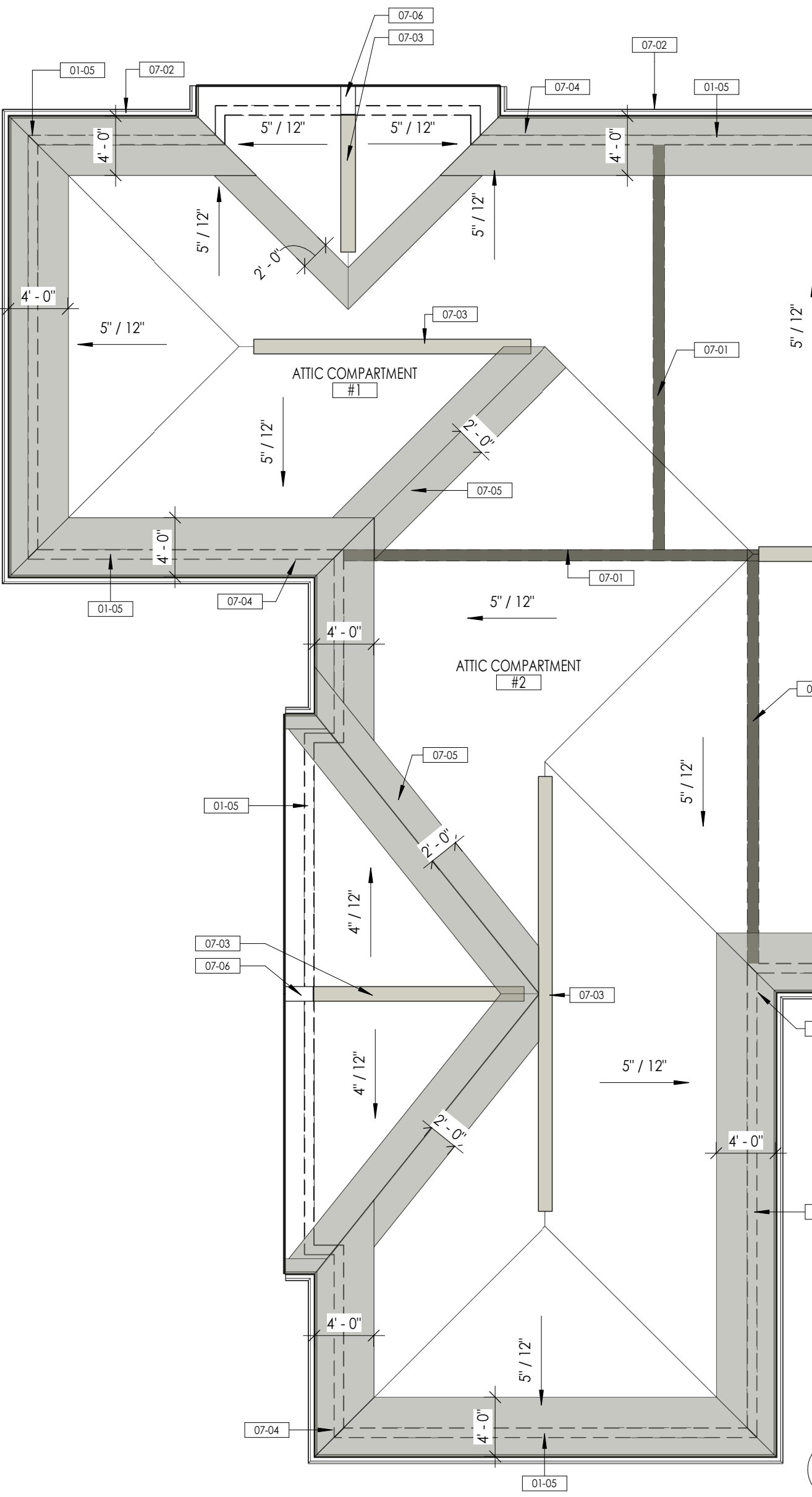


**NOTE:**  
REFER TO ROOF PLAN FOR  
DRAFTSTOPPING LOCATIONS

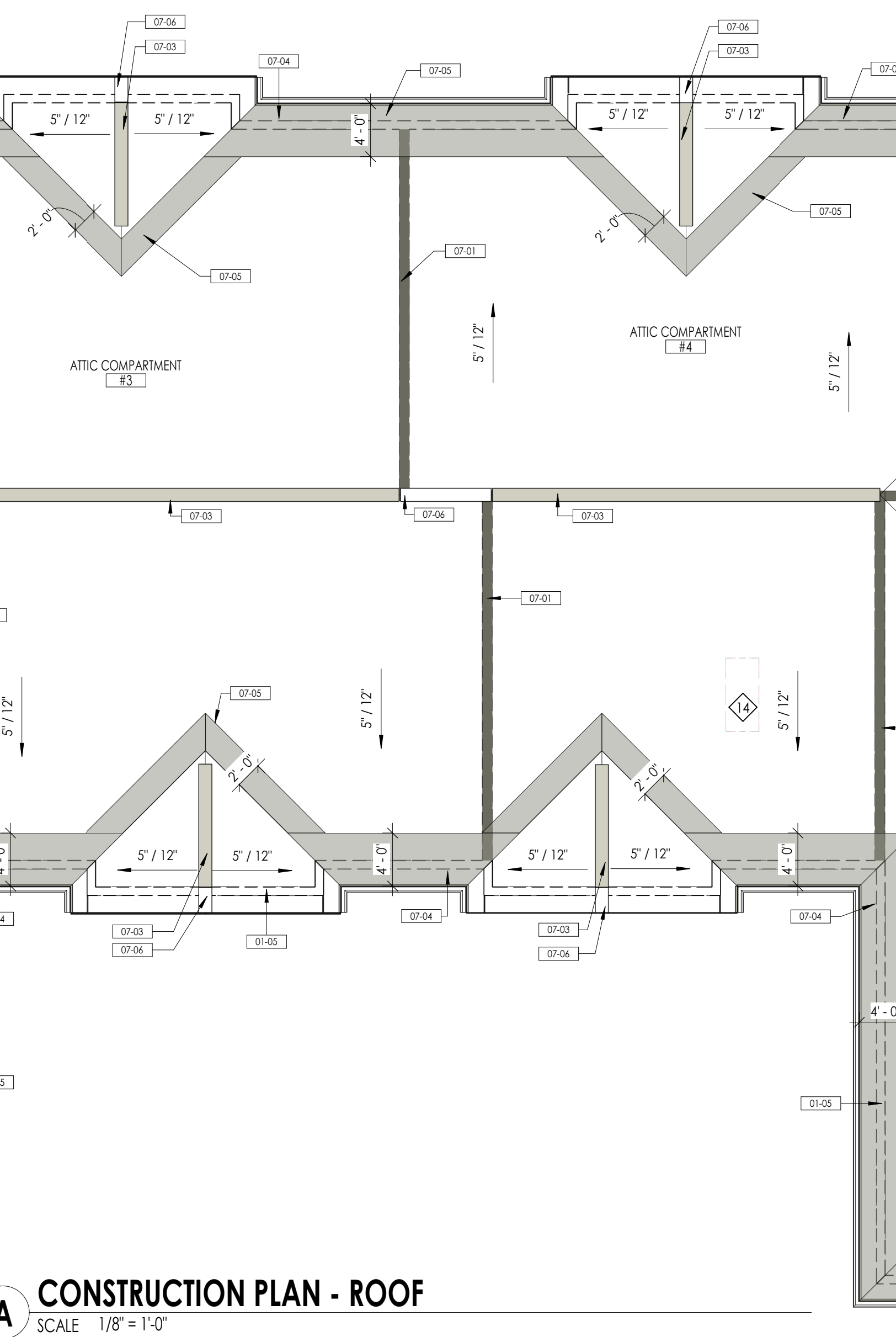
**2 ATTIC DRAFTSTOPPING**  
SCALE 1" = 1'-0"



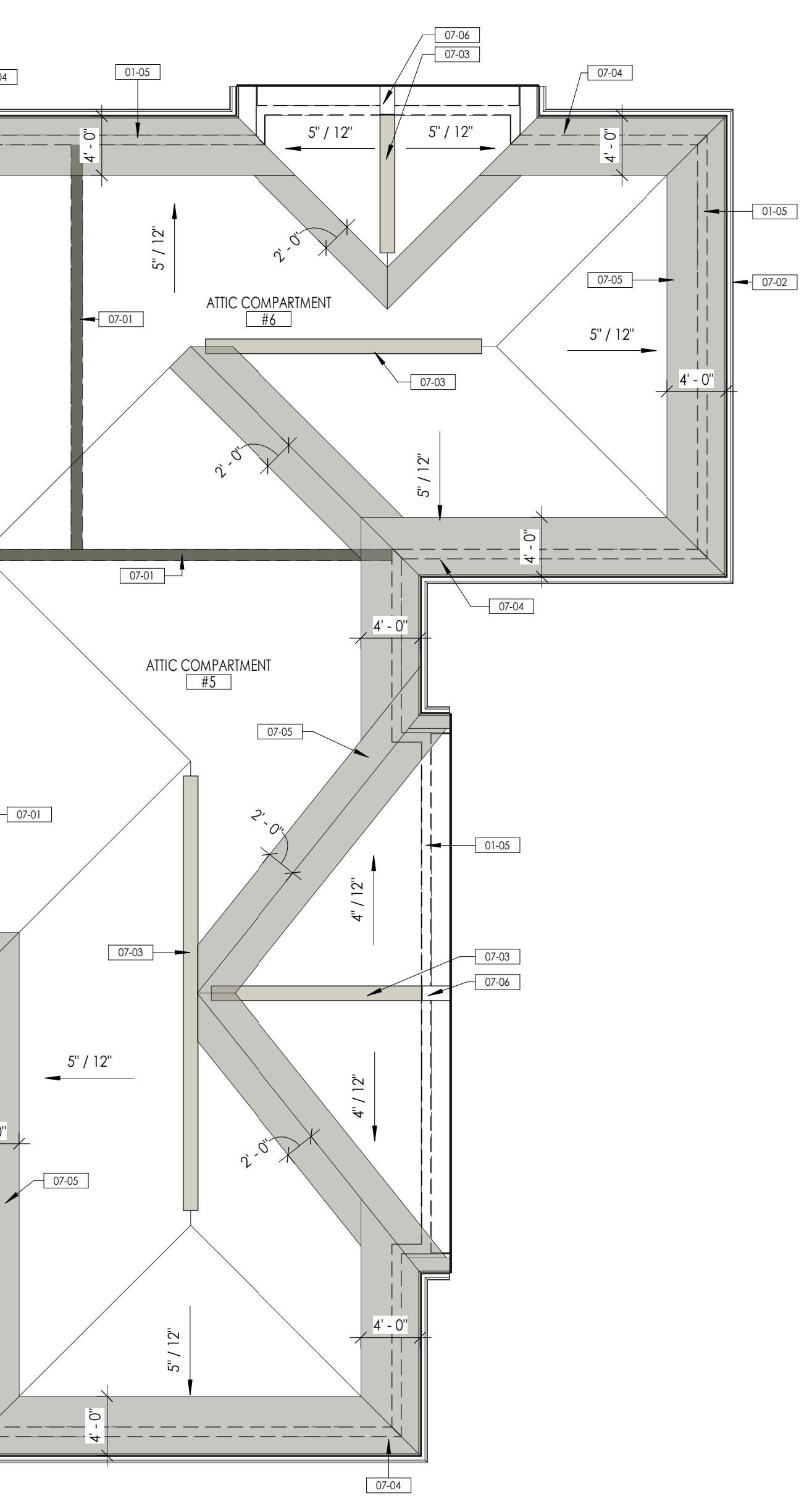
**4 ROOF RIDGE DETAIL**  
SCALE 3" = 1'-0"



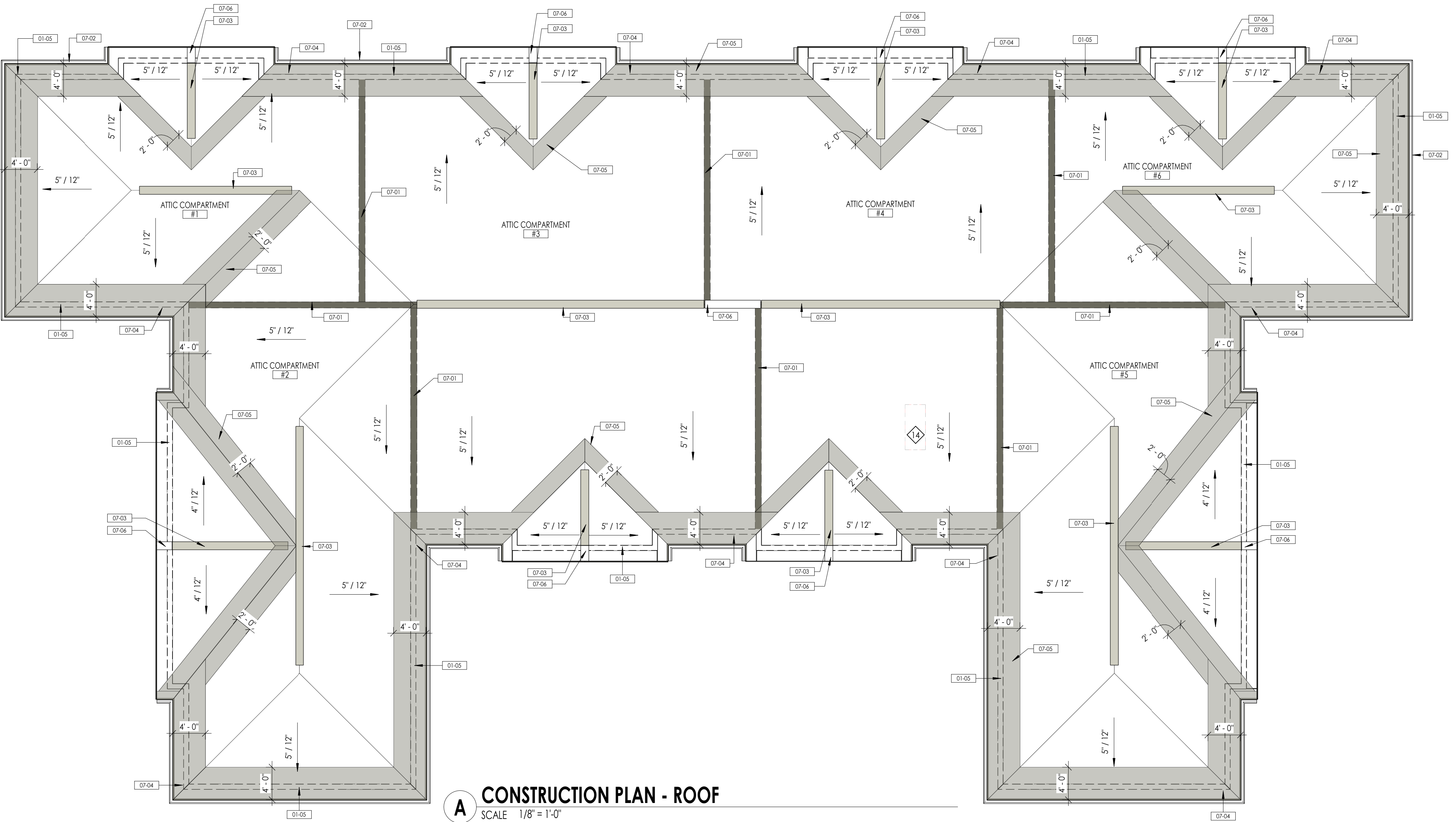
**3 TYPICAL RAKE DETAIL**  
SCALE 1" = 1'-0"



**1 TYPICAL EAVE DETAIL**  
SCALE 3/4" = 1'-0"



**A CONSTRUCTION PLAN - ROOF**  
SCALE 1/8" = 1'-0"



**SHEET KEYNOTES**

- 01-05 BUILDING PROFILE BELOW
- 07-01 ATTIC DRAFT STOP
- 07-02 PREFINISHED GUTTER (PITCH TO DOWNSPOUTS)
- 07-03 RIDGE VENT (REQUIRED AREA CALCULATED BY ROOFING CONTRACTOR). THESE SHALL BE INSTALLED NO MORE THAN 3'-0" FROM TOP OF RIDGE IN ACCORDANCE WITH 2015 IBC WHERE APPLICABLE.
- 07-04 PREFINISHED DOWNSPOUT. TIE INTO UNDERGROUND STORM SEWER (SEE CIVIL) AT FRONT PAVED AREAS.
- 07-05 ICE & WATER SHIELD
- 07-06 AESTHETIC RIDGE TO CONTINUE PAST FUNCTIONAL RIDGE VENT

**ROOF PLAN NOTES**

- A. PROVIDE ICE AND WATER SHIELD AS INDICATED, AREAS AT ALL EAVES & VALLEYS WHERE ROOF ABUTS ADJACENT WALLS, AND LOW LEVEL ROOFS.
- B. FINAL LOCATIONS OF DOWNSPOUTS TO BE VERIFIED WITH INSTALLER, CONTRACTOR, OWNER, AND ARCHITECT AND PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- C. PAINT ALL ROOF PENETRATIONS THAT ARE NOT PREFINISHED TO MATCH FINISH ROOFING MATERIAL.
- D. ALL VENT CAPS SHALL BE LOCATED ON REAR SIDE OF RIDGE. HVAC AND PLUMBING CONTRACTOR TO SUBMIT ROOF VENT LOCATION PLAN TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION/INSTALLATION.
- E. ROOF RIDGE VENTING TO PROVIDE 1 SF OF VENT AREA FOR EVERY 300 SF OF ATTIC AREA. THE VENTING SHALL BE EQUALLY SEPARATED BETWEEN THE RIDGE AND EAVE/SOFFIT.
- F. PROVIDE ATTIC SEPARATION AS INDICATED.
- G. ALL AREAS OF OVER FRAMING TO BE VENTED TO MAIN ATTIC SPACE WITH MINIMUM 3 SF OPENING IN BOTTOM ROW OF SHEATHING. INSTALL RIDGE VENTING AT TOP OF ALL OVER FRAMED HIPS / GABLES.
- H. NFVA CALCULATIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE IN FIELD.

**ROOF TYPES**

- RT1
- 30 YEAR DIMENSIONAL SHINGLES (CLASS B)
- #15 ROOF FELT (SUBSTITUTE ICE & WATER SHIELD AS INDICATED)
- OSB SHEATHING (SEE STRUCTURAL)
- R-30 BLOW-IN INSULATION
- ENGINEERED ROOF TRUSSES (SEE STRUCTURAL)
- 6 MIL VAPOR BARRIER W/ TAPED SEAMS
- RESILIENT CHANNEL @ 12" O.C.
- 5/8" GWB

**REQUIRED VENTING CALCULATION**  
PER 2015 IBC SECTION 1203.2  
AREA/300

SPACE	NUMBER	ATTIC AREA	NET FREE VENTING AREA (NFVA)		
			NFVA (TOTAL)	RIDGE	SOFFIT
ATTIC COMPARTMENT	#1	1,168 SF	560.86 in <sup>2</sup>	280.43 in <sup>2</sup>	280.43 in <sup>2</sup>
ATTIC COMPARTMENT	#2	1,640 SF	787.01 in <sup>2</sup>	393.50 in <sup>2</sup>	393.50 in <sup>2</sup>
ATTIC COMPARTMENT	#3	2,357 SF	1131.28 in <sup>2</sup>	565.64 in <sup>2</sup>	565.64 in <sup>2</sup>
ATTIC COMPARTMENT	#4	2,008 SF	963.91 in <sup>2</sup>	481.96 in <sup>2</sup>	481.96 in <sup>2</sup>
ATTIC COMPARTMENT	#5	1,641 SF	787.61 in <sup>2</sup>	393.81 in <sup>2</sup>	393.81 in <sup>2</sup>
ATTIC COMPARTMENT	#6	1,168 SF	560.86 in <sup>2</sup>	280.43 in <sup>2</sup>	280.43 in <sup>2</sup>

**RIDGE VENTING**  
PER 2015 IBC SECTION 1203.2  
20 SQ. IN NFVA PER LINEAR FOOT

ATTIC #	LENGTH	NFVA PROVIDED (SQ. IN.)
1	27.9 LF	558.1
2	43.5 LF	870
3	44.5 LF	890.7
4	38.6 LF	771.8
5	43.6 LF	871.2
6	28.0 LF	559.5

**SOFFIT VENTING**  
PER 2015 IBC SECTION 1203.2  
NFVA AREA/22

ATTIC NUMBER	NFVA (TOTAL)	VENTS PROVIDED
#1	561 in <sup>2</sup>	25
#2	787 in <sup>2</sup>	36
#3	1131 in <sup>2</sup>	51
#4	964 in <sup>2</sup>	44
#5	788 in <sup>2</sup>	36
#6	561 in <sup>2</sup>	25



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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

PROJECT ARCHITECT SPS  
PROJECT MANAGER EJN  
PROJECT NUMBER 230127  
ISSUED FOR PERMIT SET  
DATE 03.31.23

**SHEET**

CONSTRUCTION PLAN - ROOF

**A103**

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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

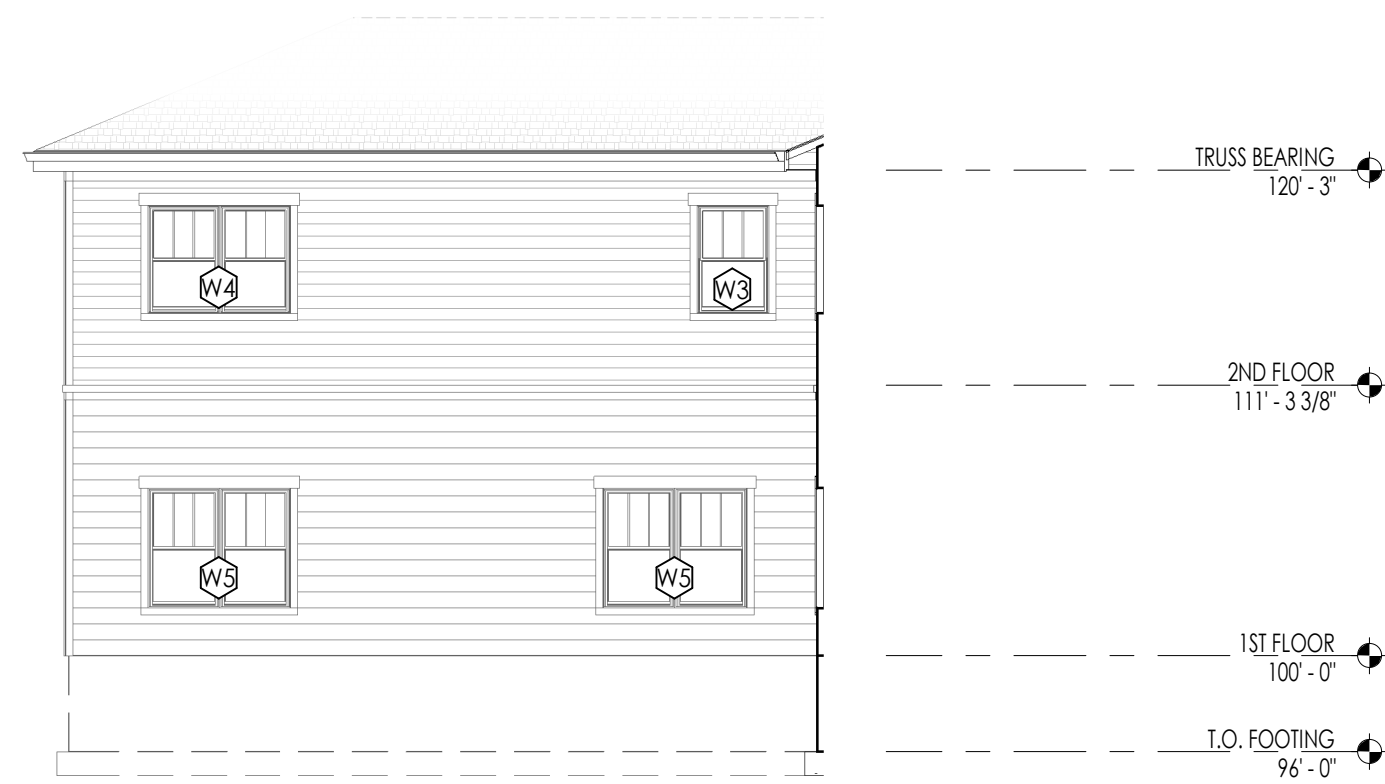
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS

**A401**



**3 EAST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

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MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

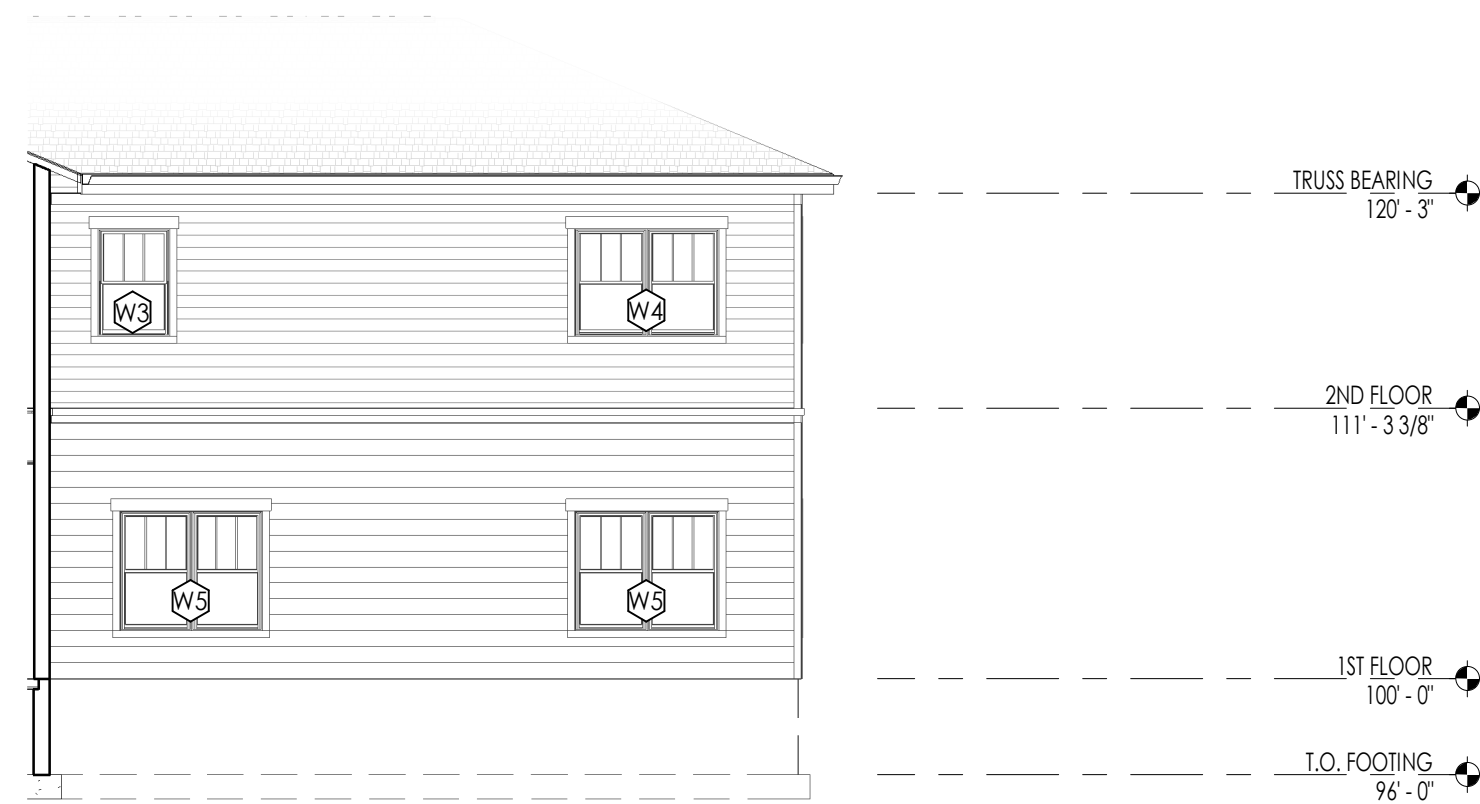
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS

**A402**



**1 WEST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

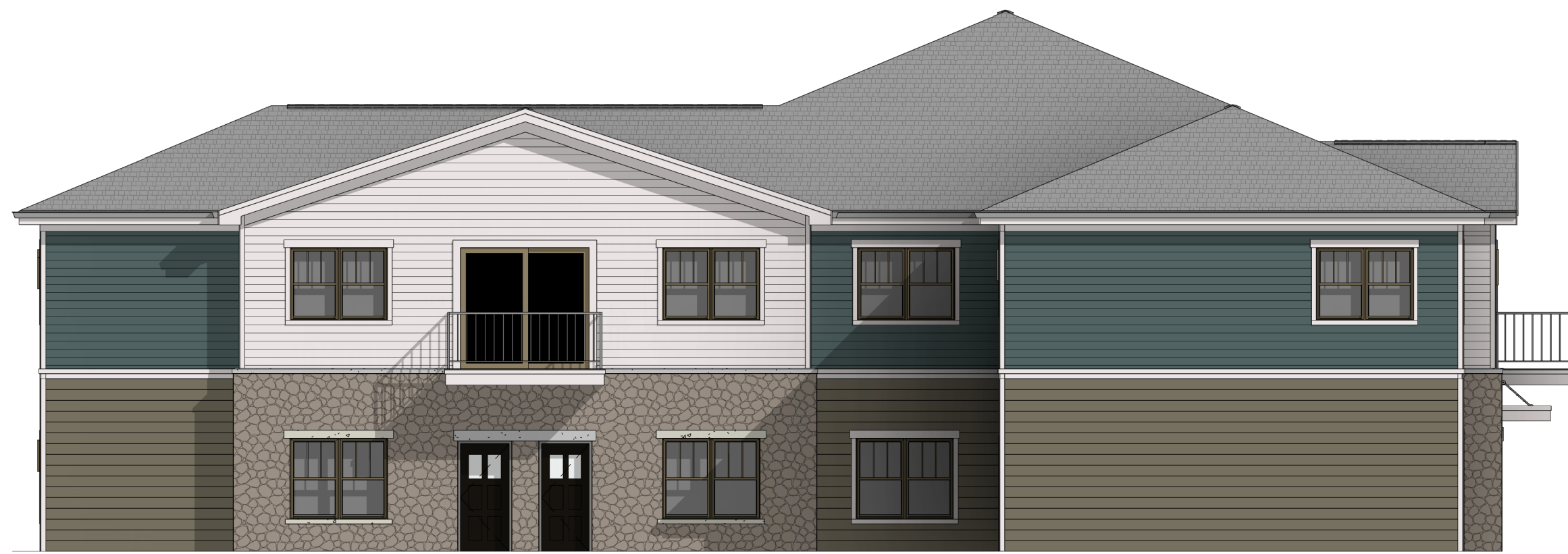
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS-COLOR

**A403**

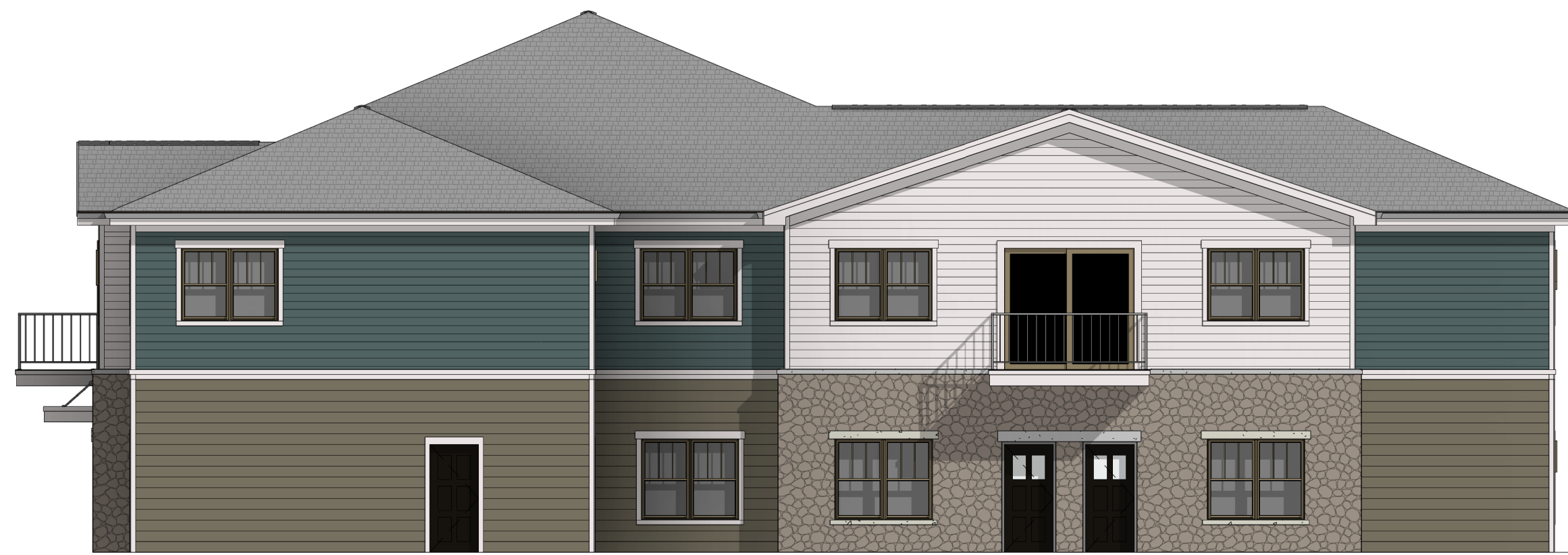
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**3 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**4 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**PROJECT**

PROPOSED BUILDING FOR:

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MILWAUKEE, WI 53220

**REVISIONS**

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**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
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**SHEET**

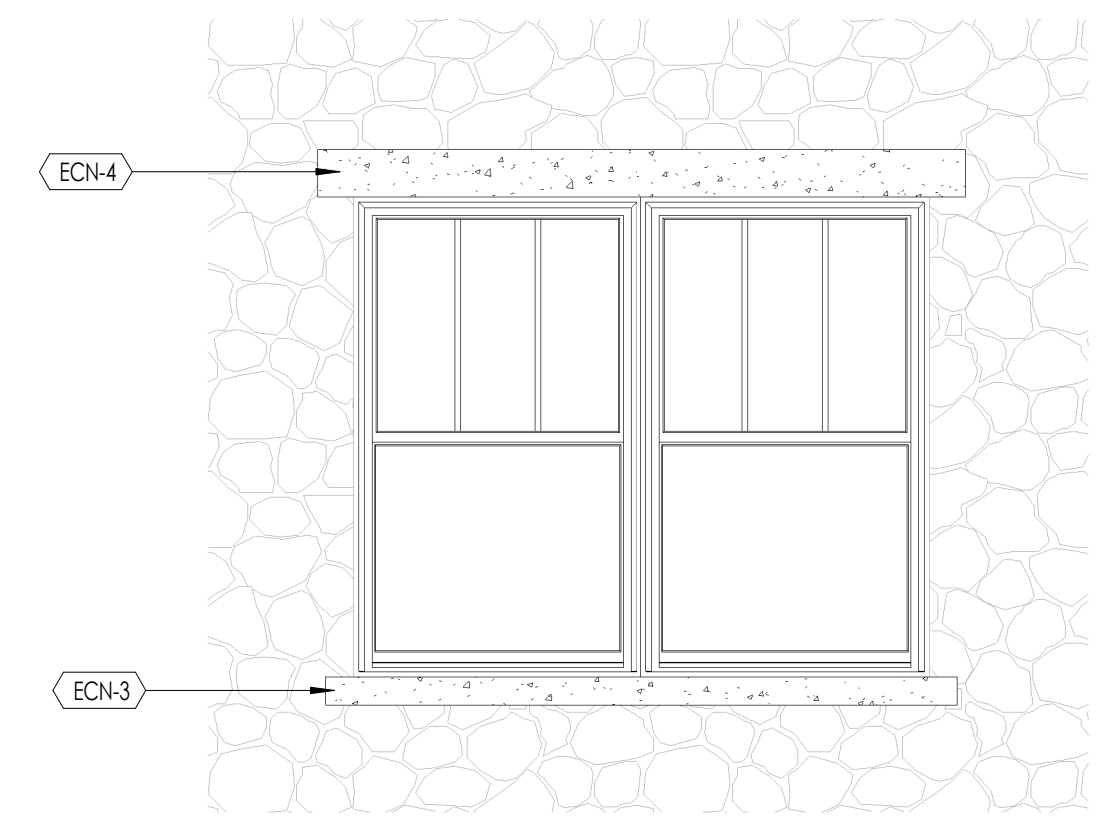
BUILDING ELEVATIONS DETAILS

**A404**

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**1 NORTH ELEVATION MATERIAL DETAIL**  
SCALE 1/2" = 1'-0"



**2 EAST ELEVATION MATERIAL DETAIL**  
SCALE 1/2" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

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**REVISIONS**

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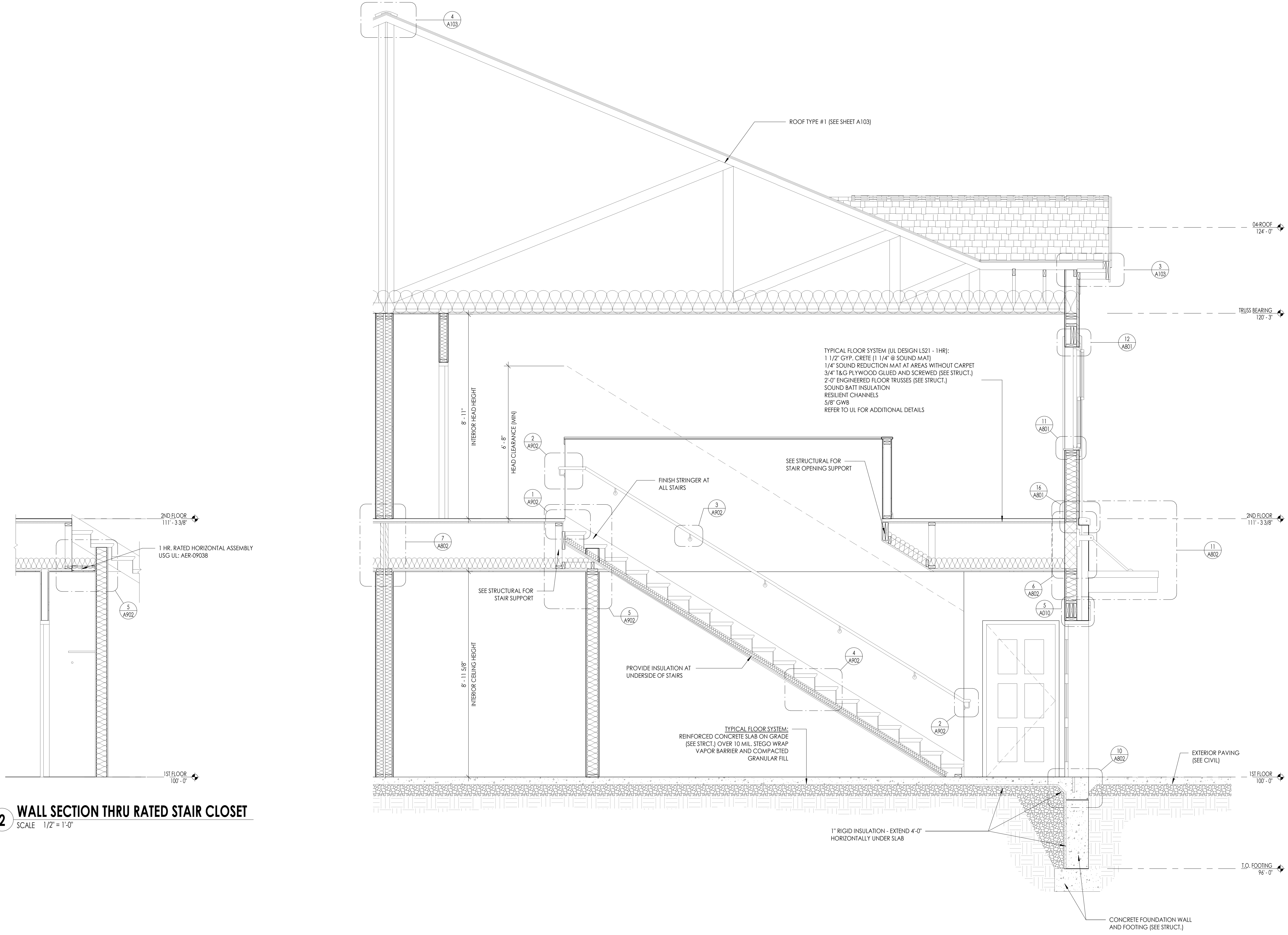
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING SECTION

**A500**



**2 WALL SECTION THRU RATED STAIR CLOSET**  
SCALE 1/2" = 1'-0"

**1 BUILDING SECTION TYPICAL**  
SCALE 1/2" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

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3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

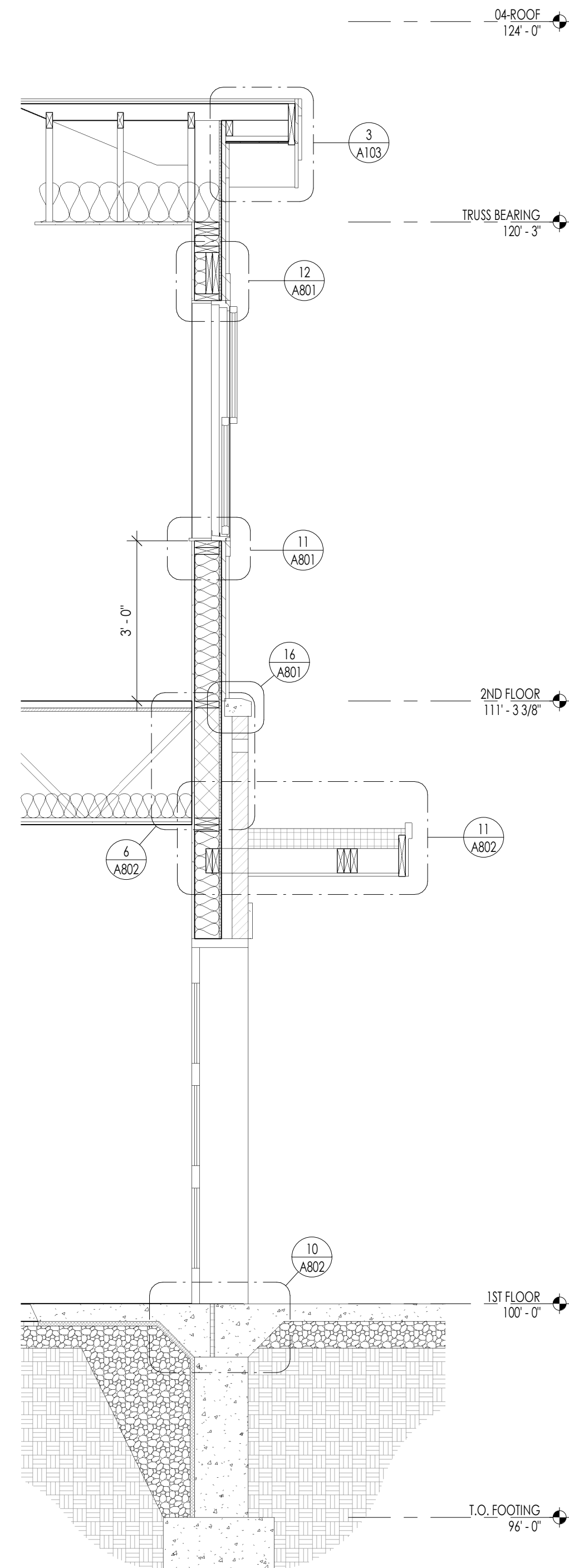
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DATE	03.31.23

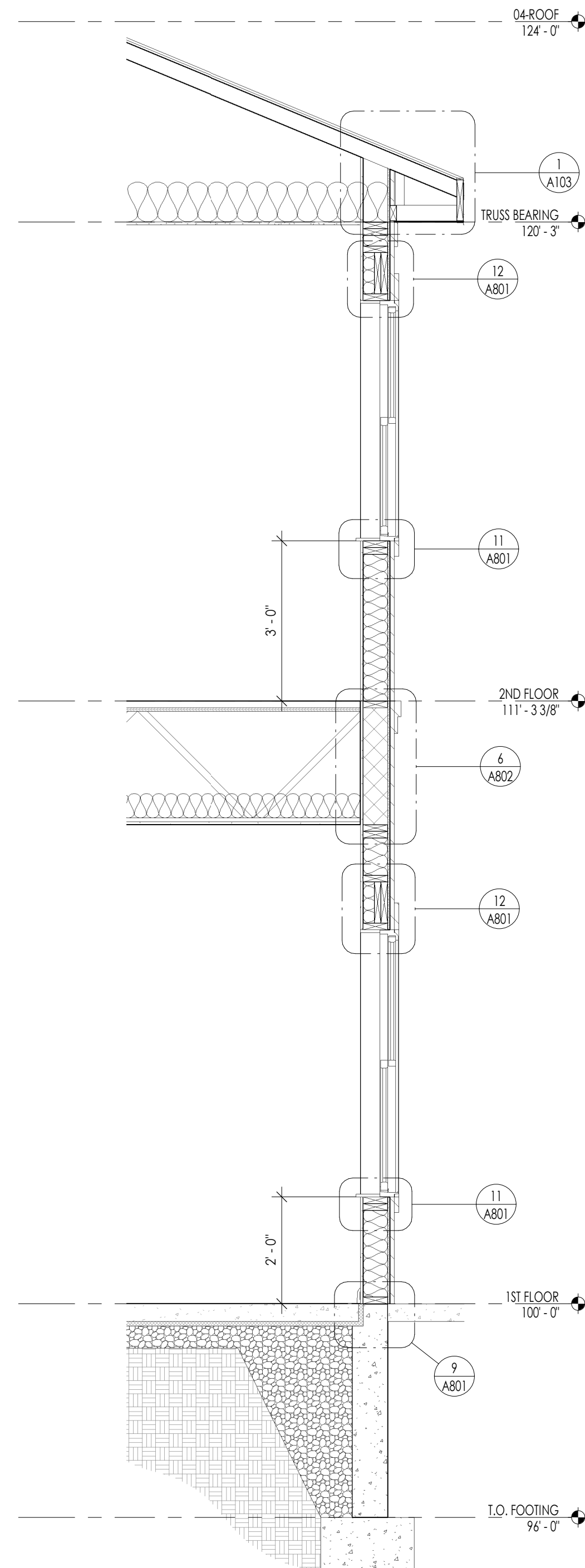
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WALL SECTIONS

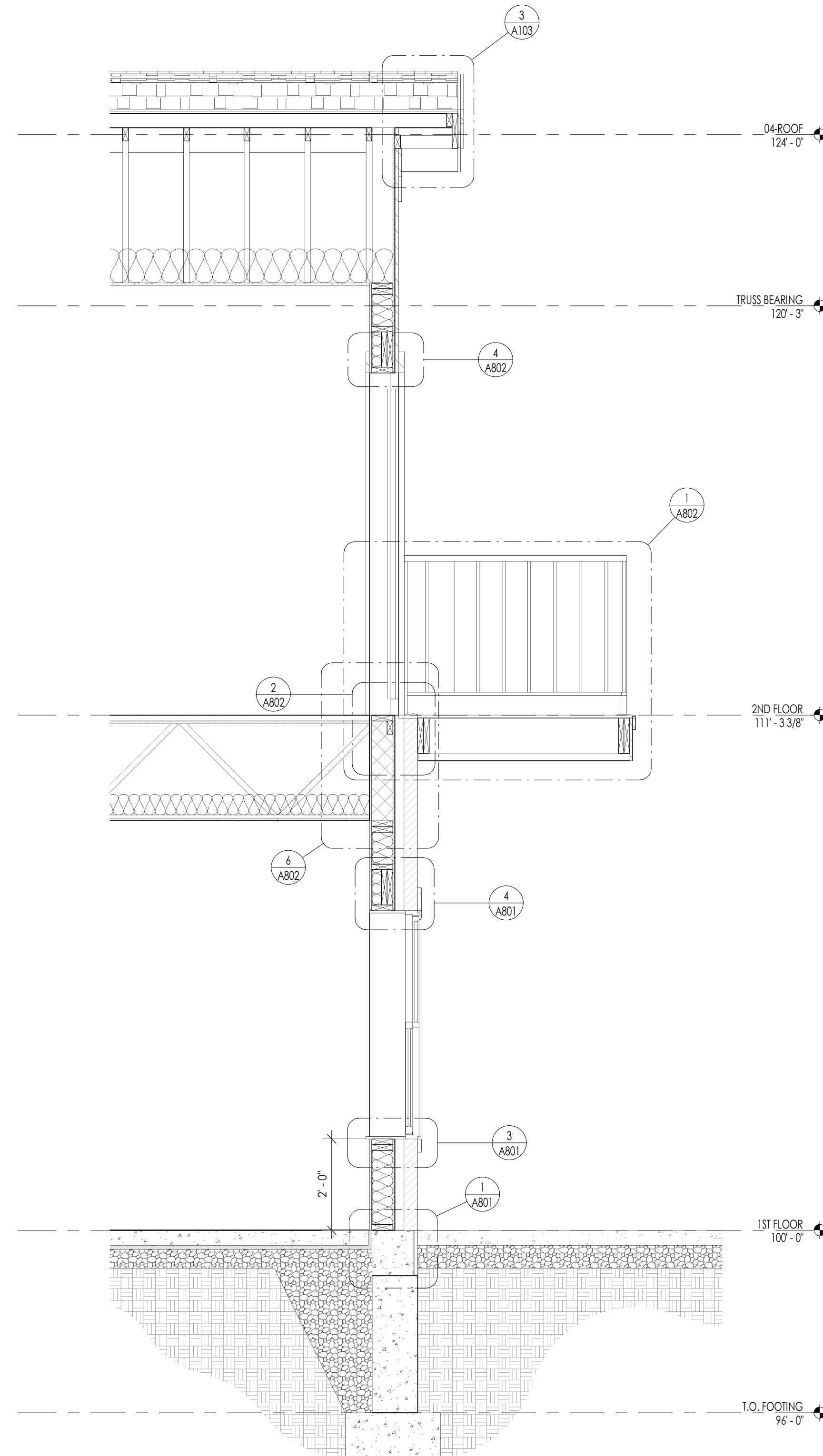
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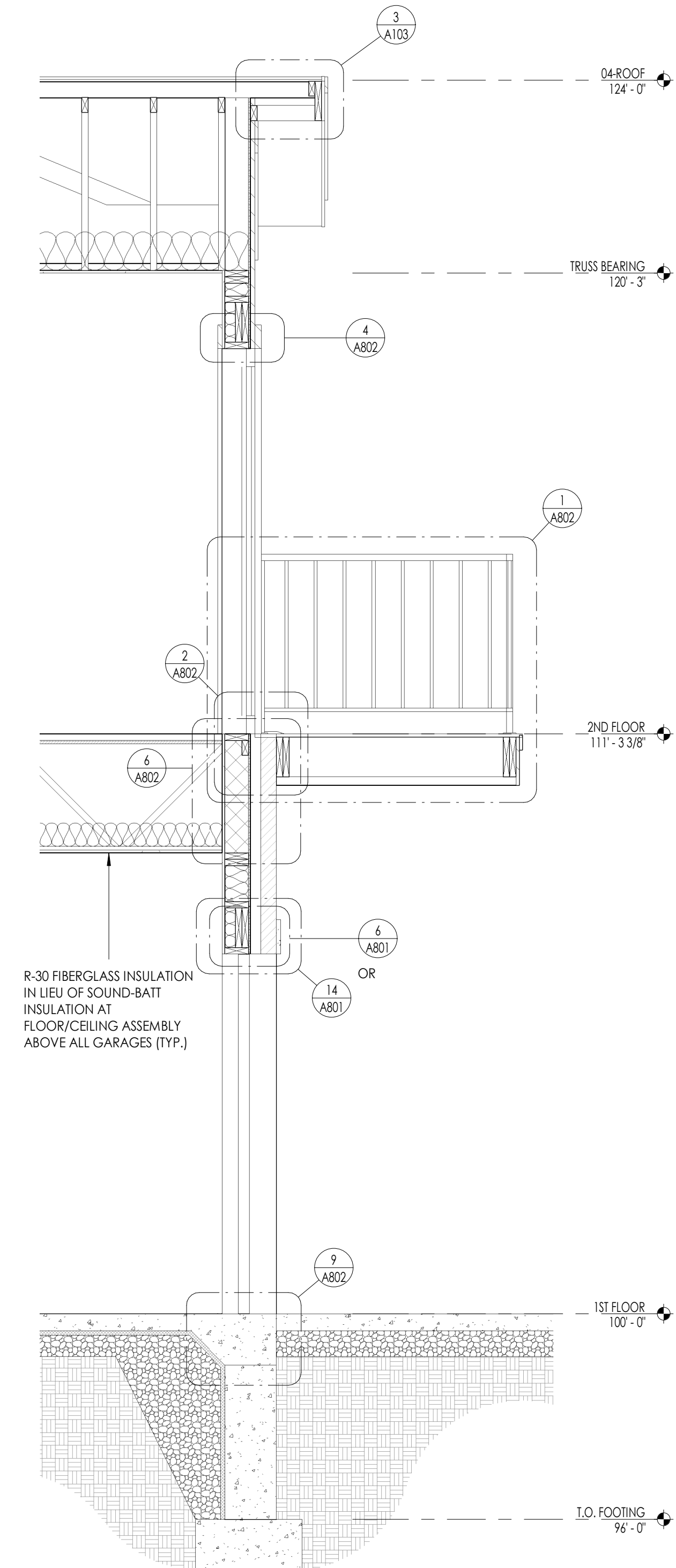
**4** WALL SECTION THRU CANOPY  
SCALE 1/2" = 1'-0"



**3** WALL SECTION AT SIDING/SIDING  
SCALE 1/2" = 1'-0"



**2** WALL SECTION THRU BALCONY AT BRICK/SIDING  
SCALE 1/2" = 1'-0"



**1** WALL SECTION THRU BALCONY/GARAGE  
SCALE 1/2" = 1'-0"

SHEET KEYNOTES

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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PROJECT

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MILWAUKEE, WI

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REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

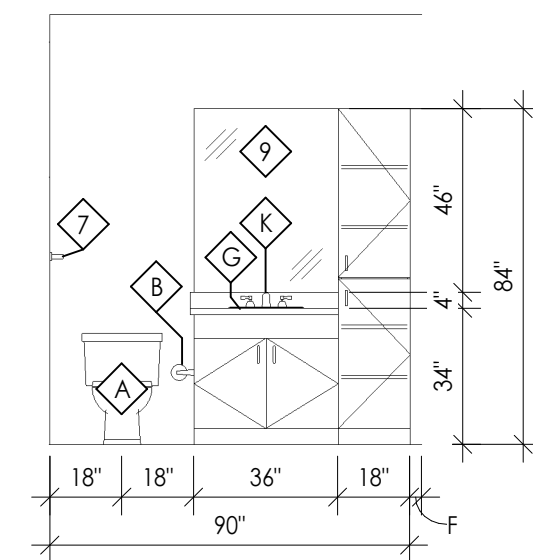
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PROJECT MANAGER	EJN
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SHEET

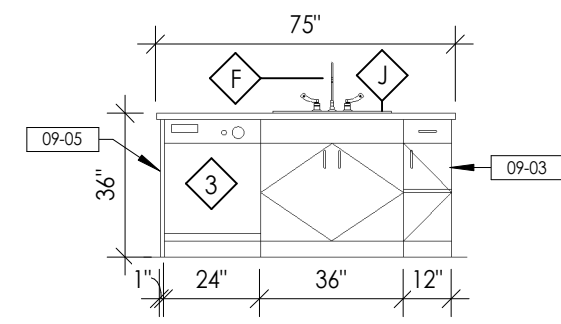
ENLARGED UNIT PLANS & ELEVATIONS

A701

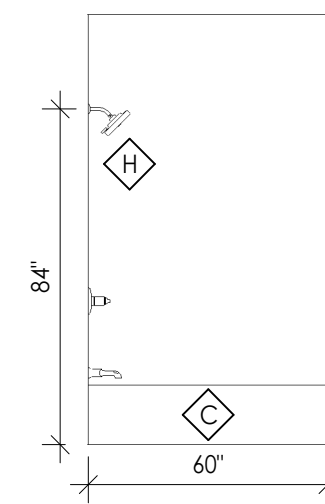
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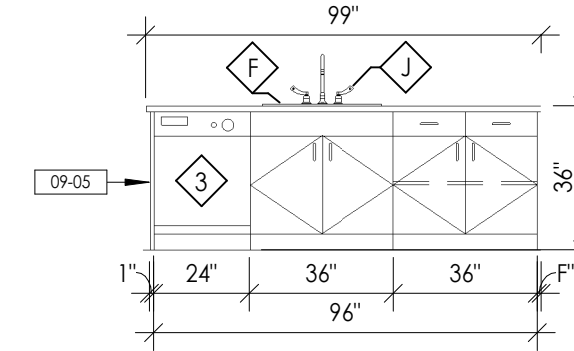
10 UNIT 1B BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



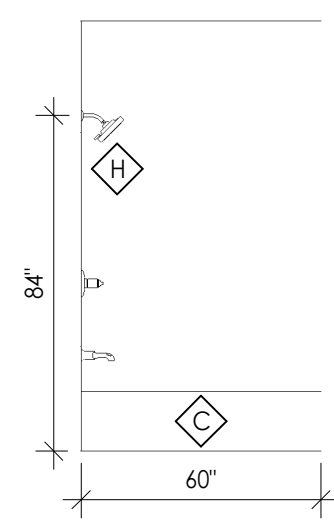
8 UNIT 1B ISLAND  
SCALE 1/4" = 1'-0"



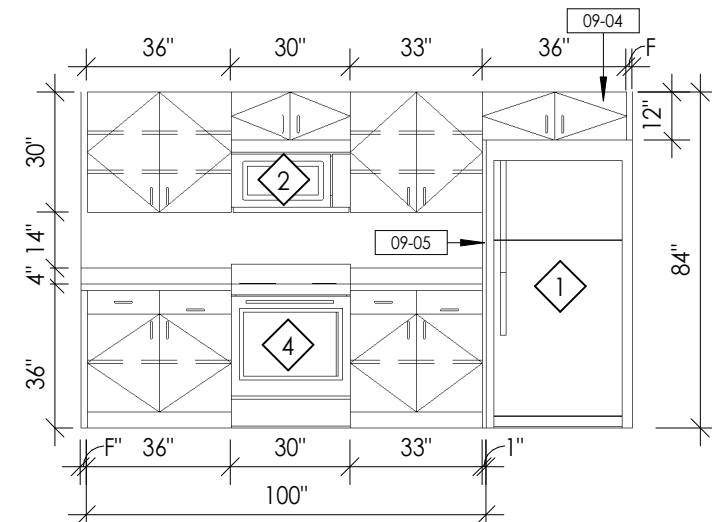
6 UNIT 1A TUB  
SCALE 1/4" = 1'-0"



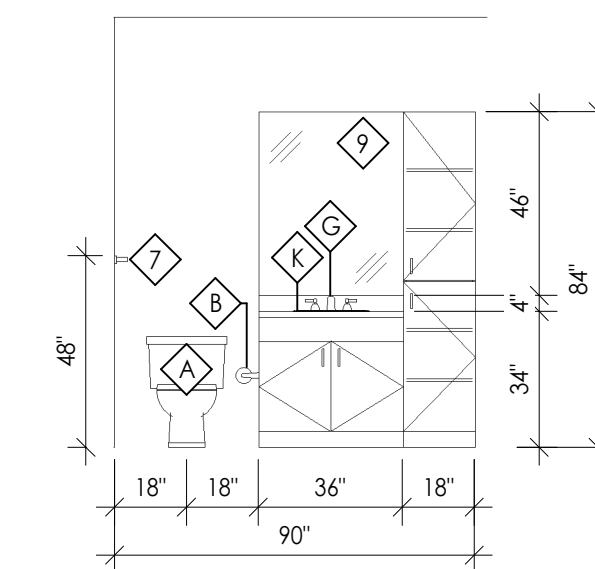
4 UNIT 1A PENINSULA  
SCALE 1/4" = 1'-0"



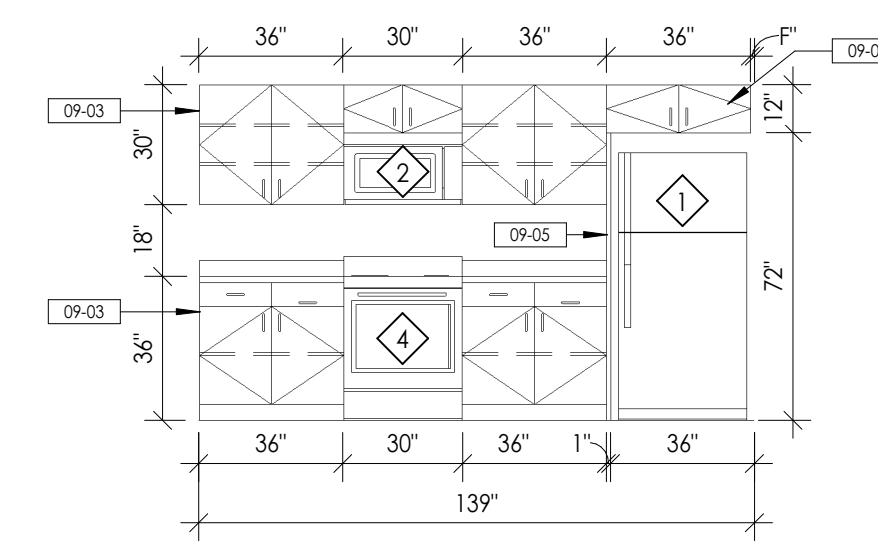
9 UNIT 1B TUB  
SCALE 1/4" = 1'-0"



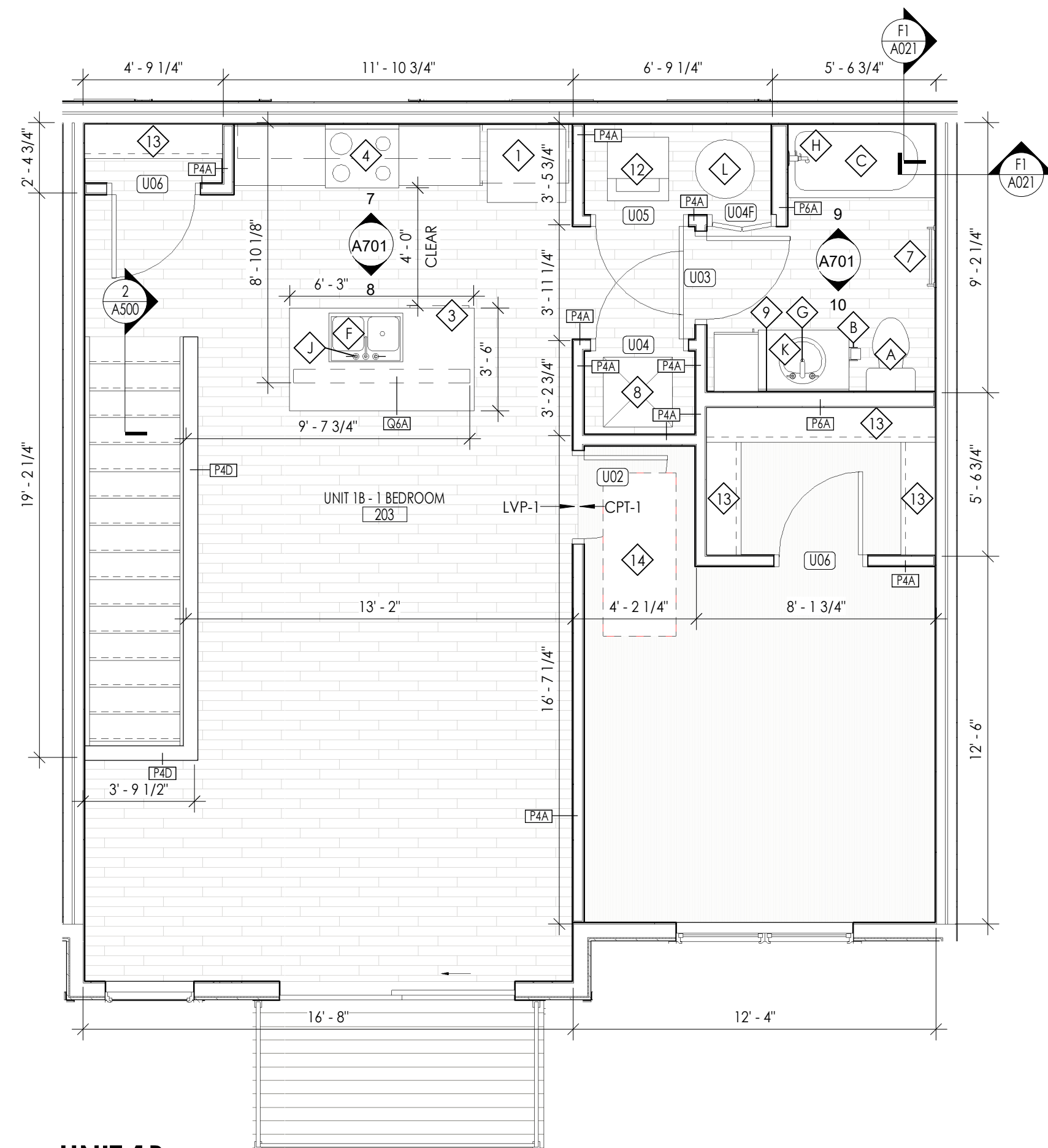
7 UNIT 1B KITCHEN  
SCALE 1/4" = 1'-0"



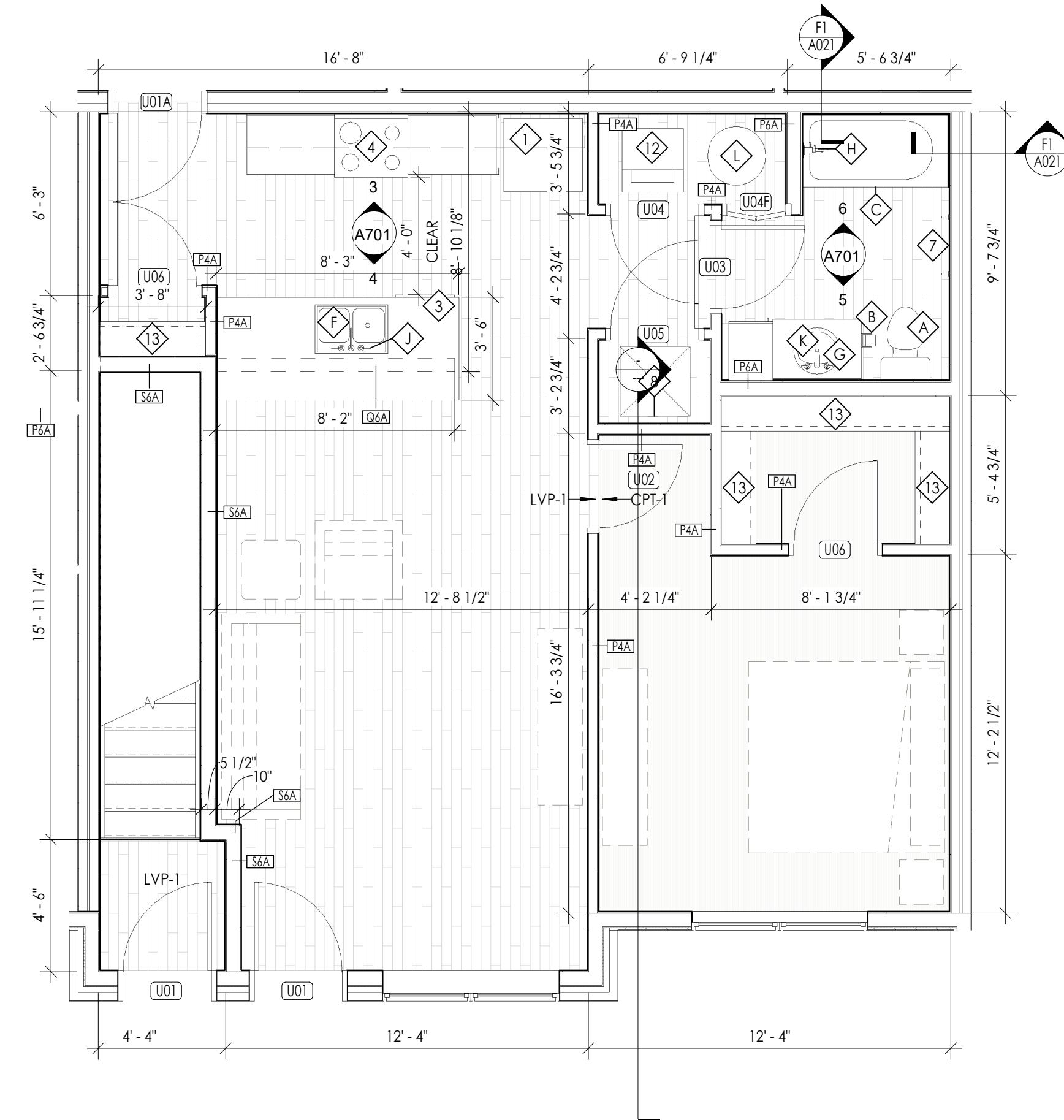
5 UNIT 1A BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



3 UNIT 1A KITCHEN  
SCALE 1/4" = 1'-0"



2 UNIT 1B  
SCALE 1/4" = 1'-0"



1 UNIT 1A  
SCALE 1/4" = 1'-0"

**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL
- 09-11 REMOVABLE BASE CABINET (SEE 1/A901)



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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

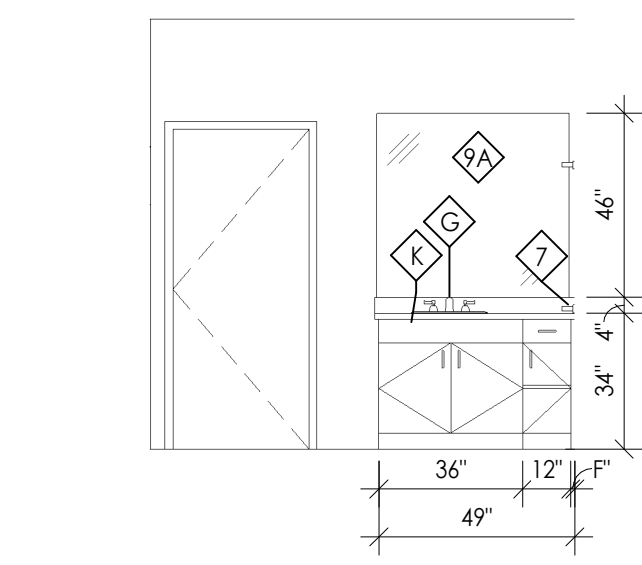
PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

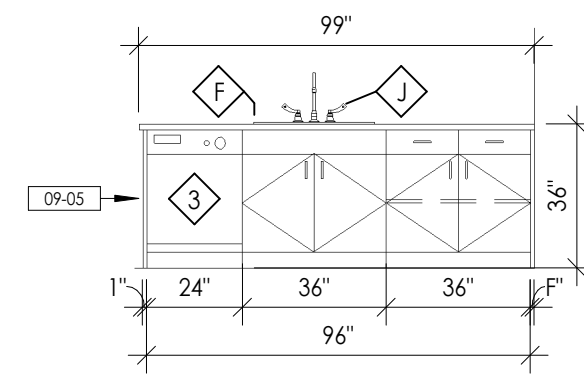
ENLARGED UNIT PLANS & ELEVATIONS

**A702**

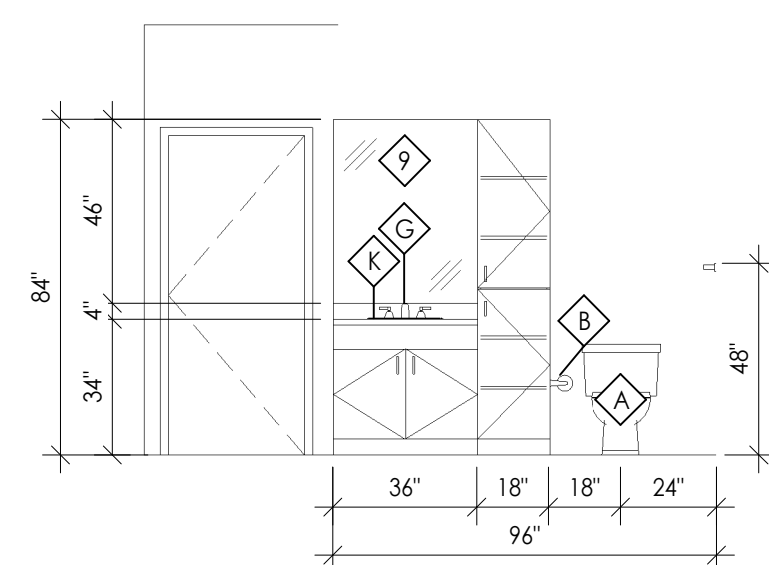
© STEPHEN PERRY SMITH ARCHITECTS, INC.



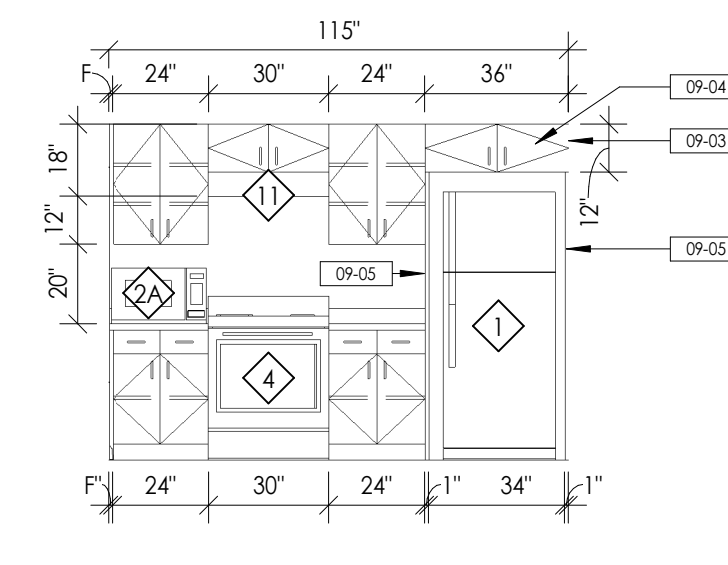
**14 UNIT 2B BATH SINK**  
SCALE 1/4" = 1'-0"



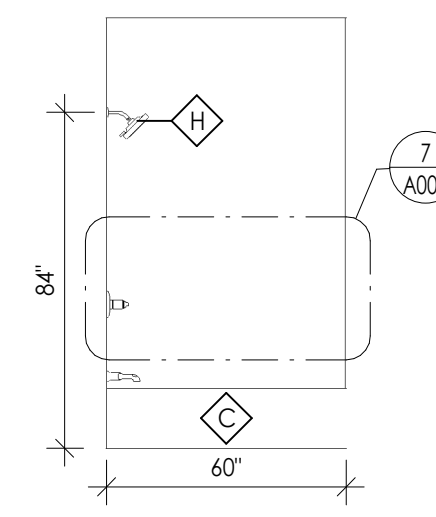
**12 UNIT 2B PENINSULA**  
SCALE 1/4" = 1'-0"



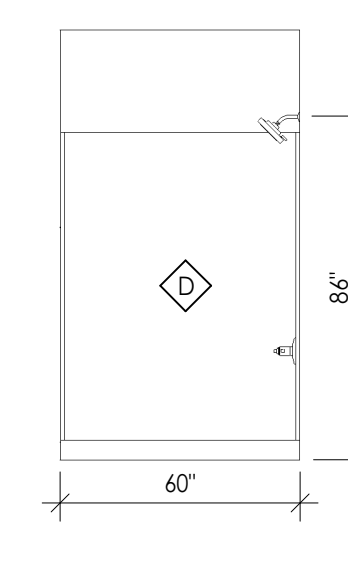
**10 UNIT 2B PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



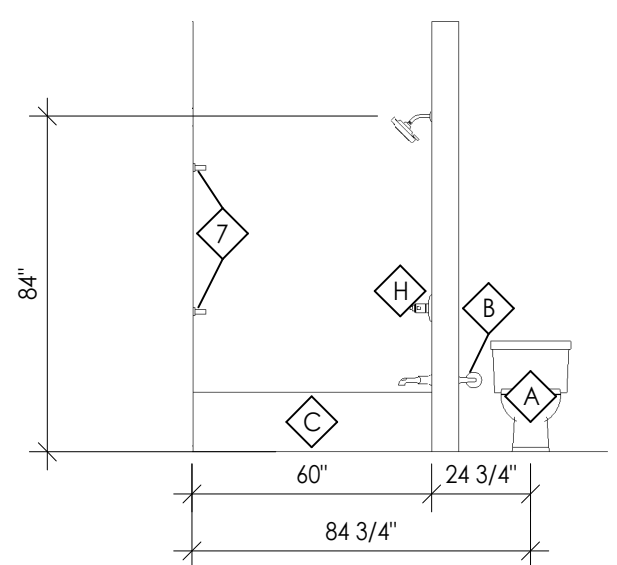
**8 UNIT 2A ADA KITCHEN**  
SCALE 1/4" = 1'-0"



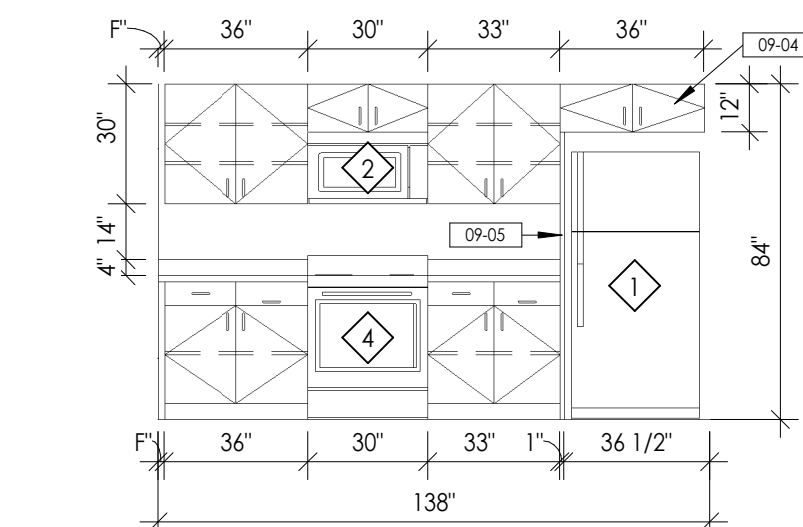
**6 UNIT 2A ADA TUB**  
SCALE 1/4" = 1'-0"



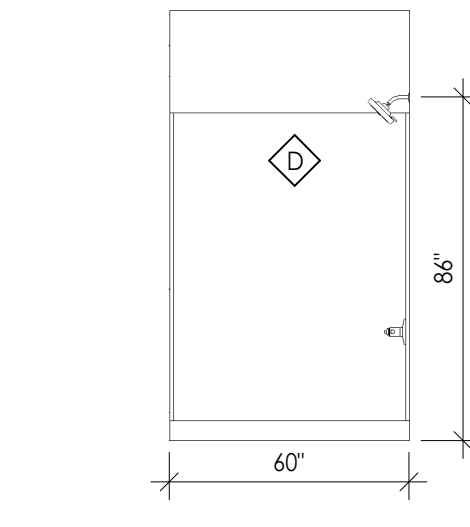
**4 UNIT 2A SHOWER**  
SCALE 1/4" = 1'-0"



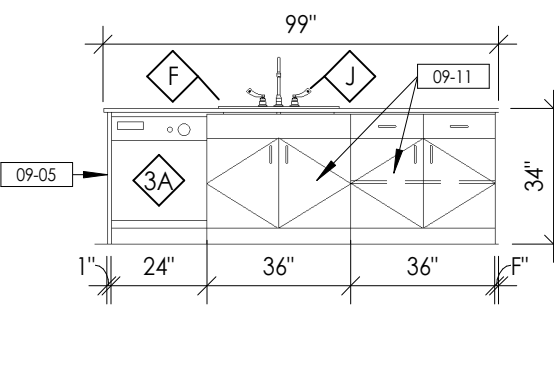
**13 UNIT 2B TOILET**  
SCALE 1/4" = 1'-0"



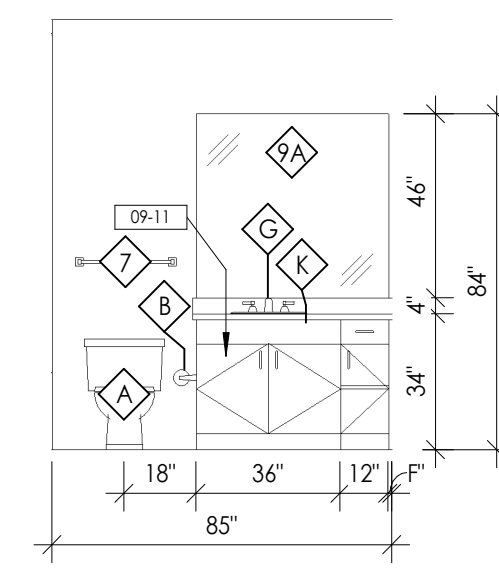
**11 UNIT 2B KITHCEN**  
SCALE 1/4" = 1'-0"



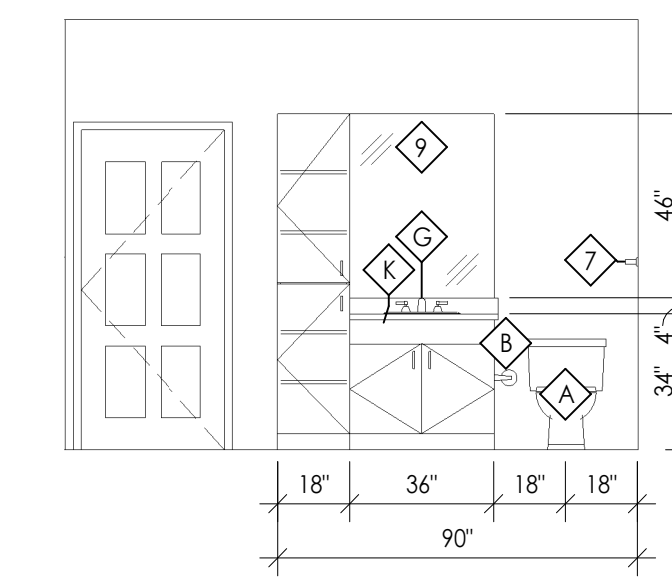
**9 UNIT 2B SHOWER**  
SCALE 1/4" = 1'-0"



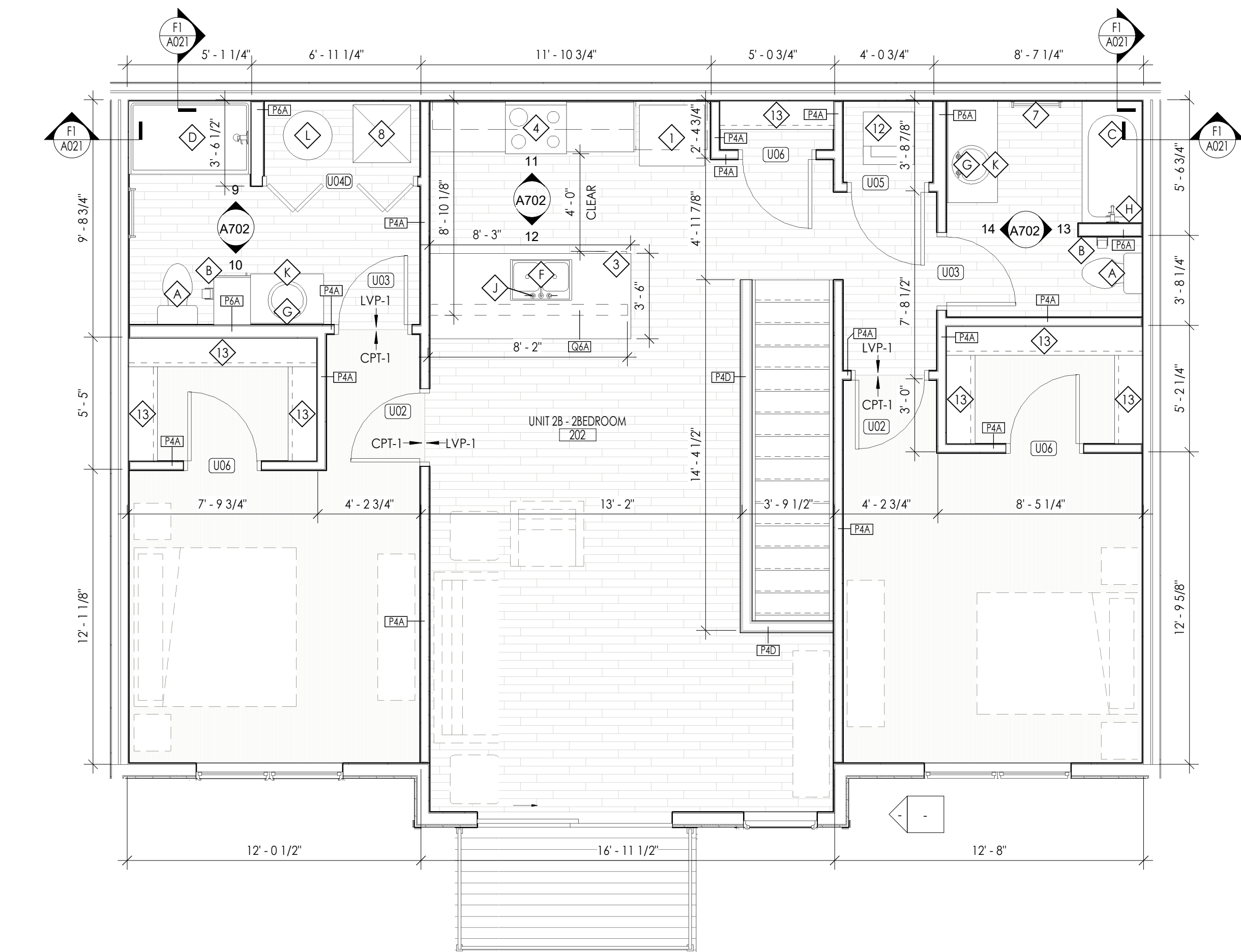
**7 UNIT 2A ADA PENINSULA**  
SCALE 1/4" = 1'-0"



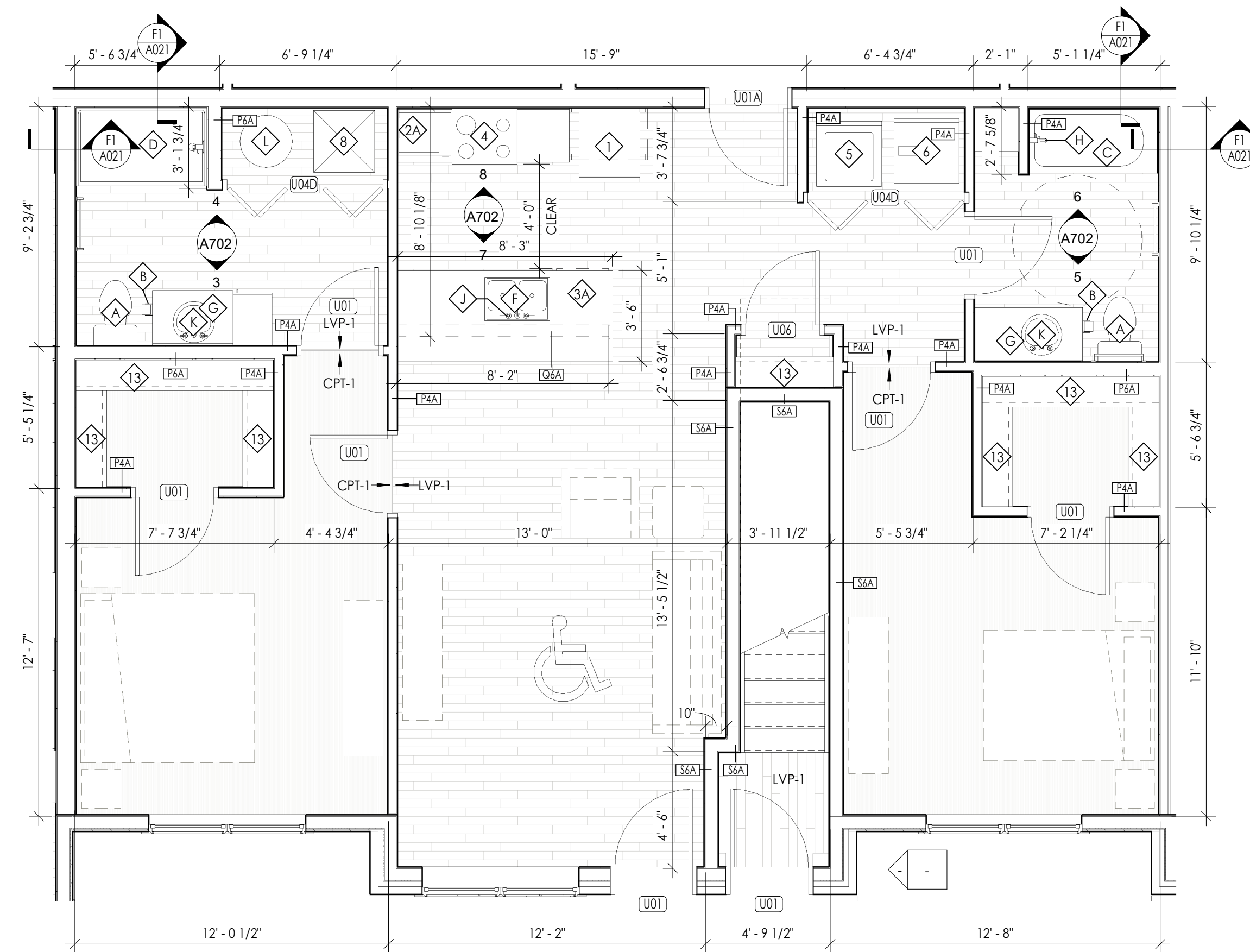
**5 UNIT 2A ADA BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**3 UNIT 2A ADA PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**2 UNIT 2B**  
SCALE 1/4" = 1'-0"



**1 UNIT 2A - 'TYPE-ADA'**  
SCALE 1/4" = 1'-0"

**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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**PROJECT**

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**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
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**INFORMATION**

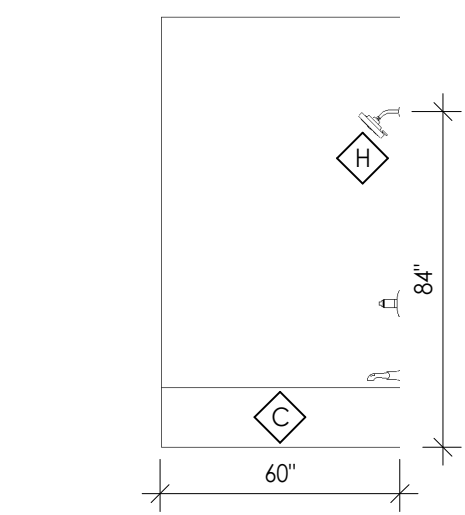
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

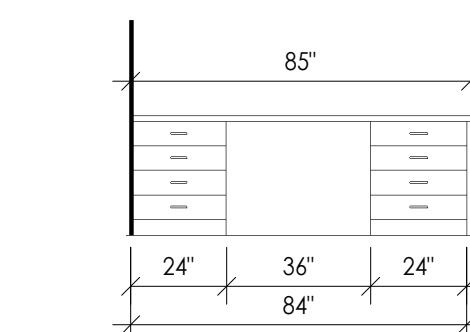
ENLARGED UNIT PLANS & ELEVATIONS

**A703**

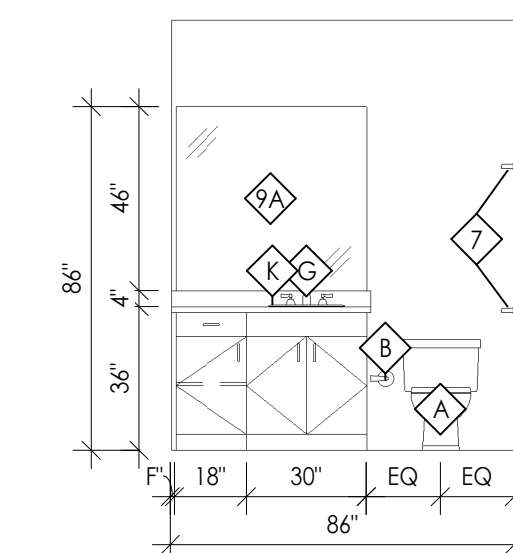
© STEPHEN PERRY SMITH ARCHITECTS, INC.



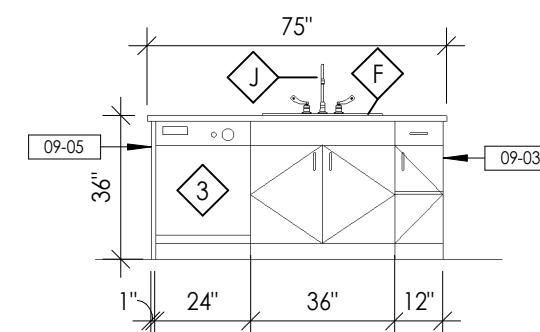
**9 UNIT 3A TUB**  
SCALE 1/4" = 1'-0"



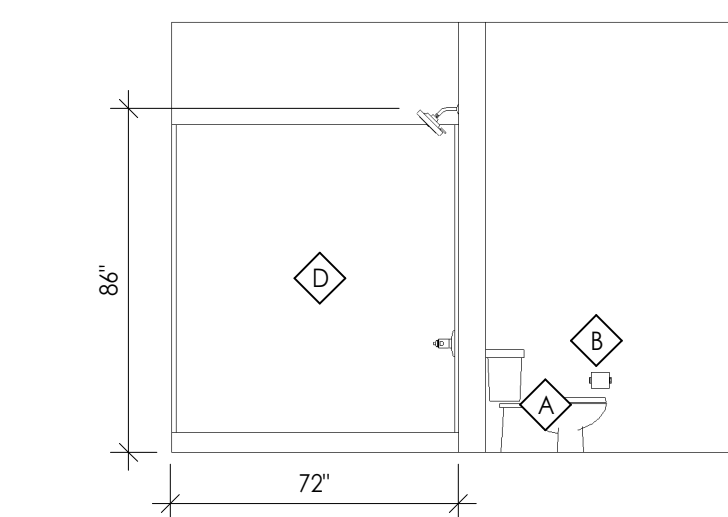
**5 UNIT 3A DESK**  
SCALE 1/4" = 1'-0"



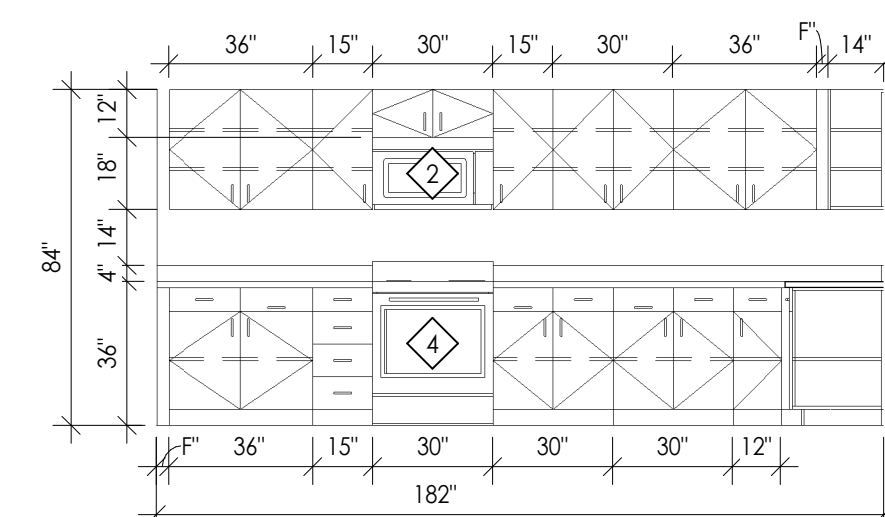
**8 UNIT 3A BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



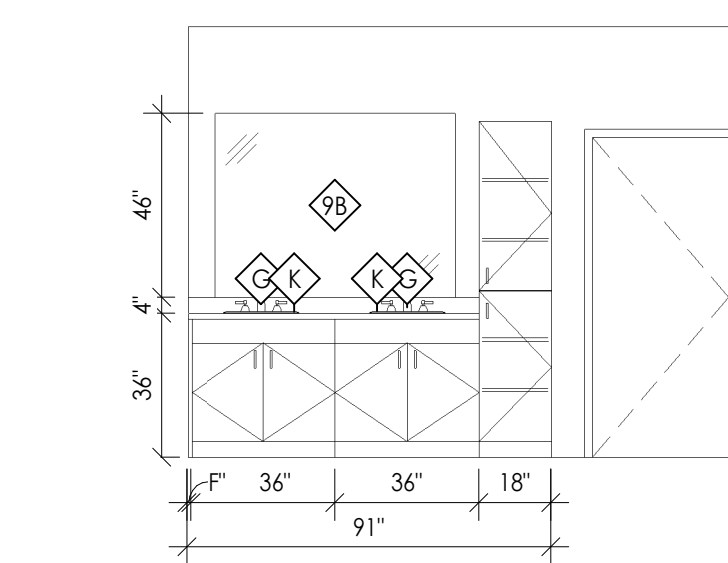
**4 UNIT 3A ISLAND**  
SCALE 1/4" = 1'-0"



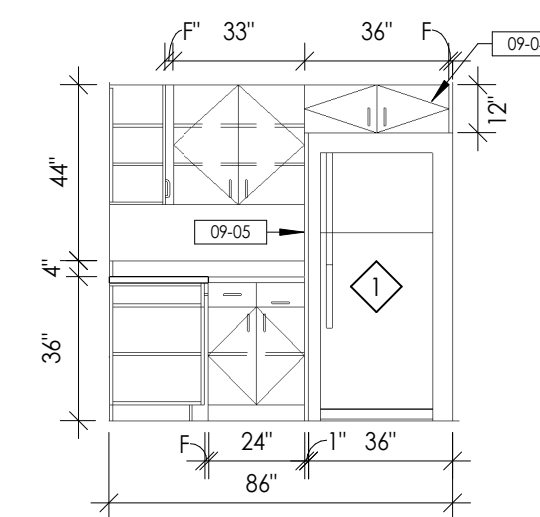
**7 UNIT 3A SHOWER/TOILET**  
SCALE 1/4" = 1'-0"



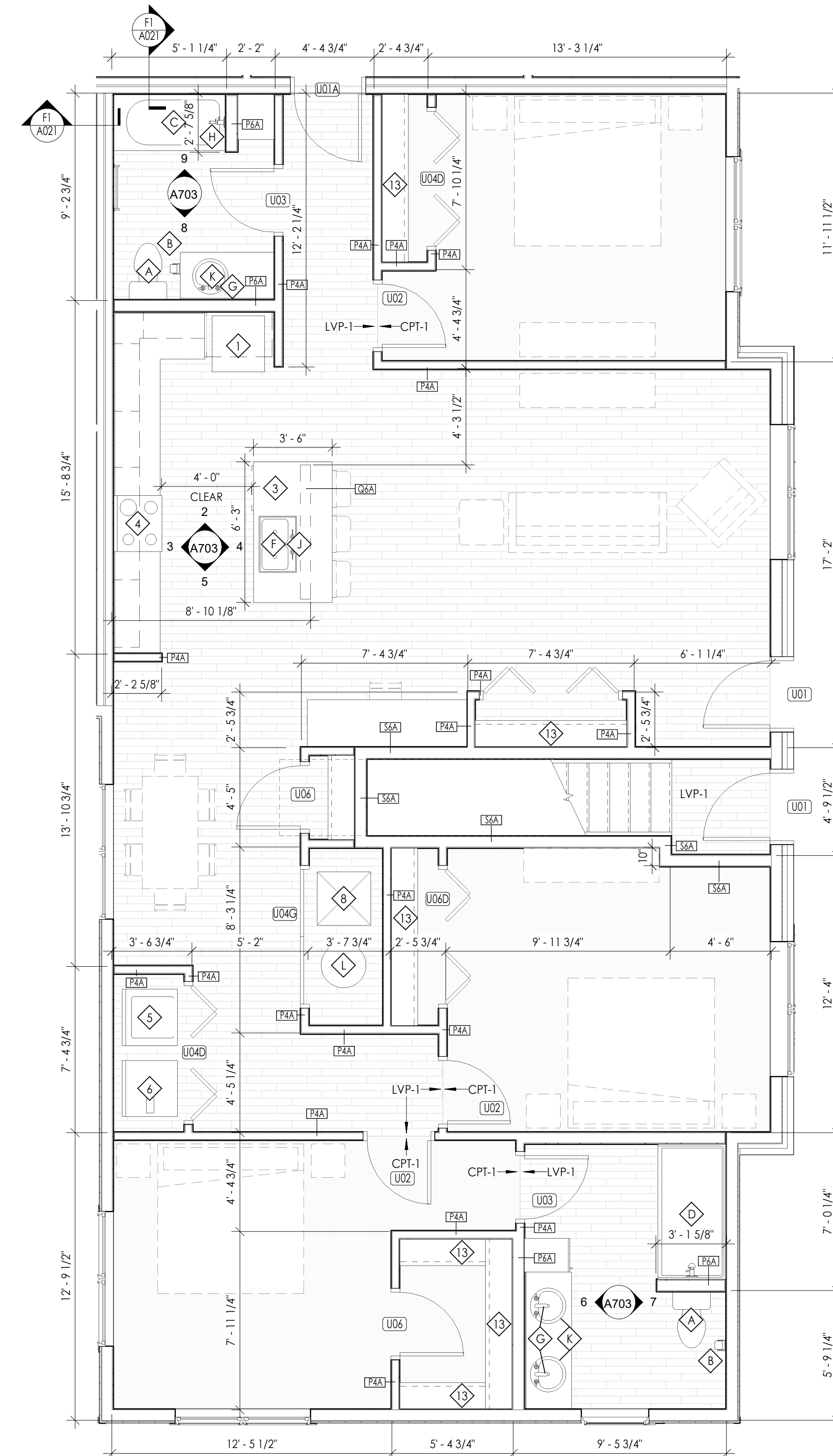
**3 UNIT 3A KITCHEN 2**  
SCALE 1/4" = 1'-0"



**6 UNIT 3A PRIMARY BATH SINK**  
SCALE 1/4" = 1'-0"



**2 UNIT 3A KITCHEN 1**  
SCALE 1/4" = 1'-0"



**1 UNIT 3A**  
SCALE 1/4" = 1'-0"

**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
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**PROJECT**

PROPOSED BUILDING FOR:

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4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

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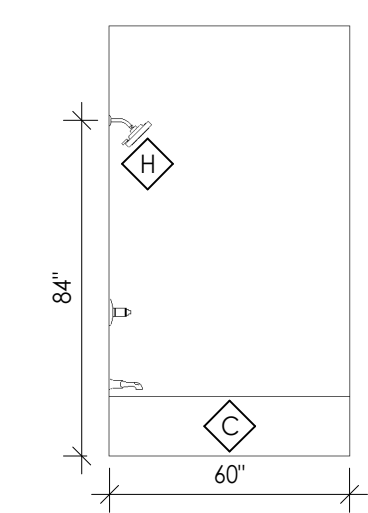
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

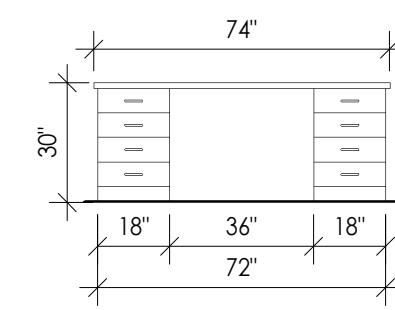
ENLARGED UNIT PLANS & ELEVATIONS

**A704**

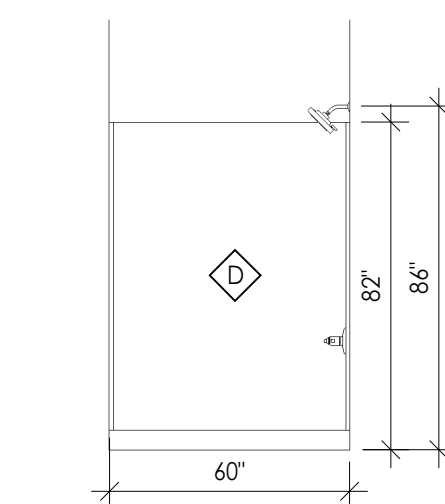
© STEPHEN PERRY SMITH ARCHITECTS, INC.



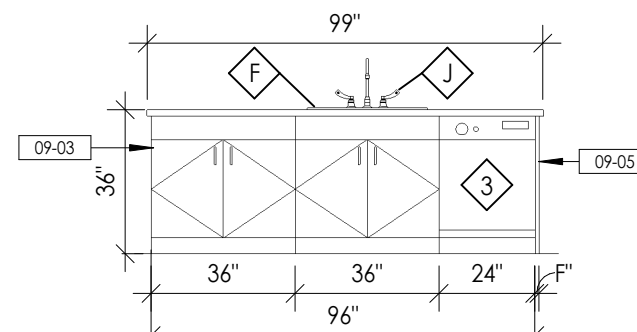
**9 UNIT 3B TUB**  
SCALE 1/4" = 1'-0"



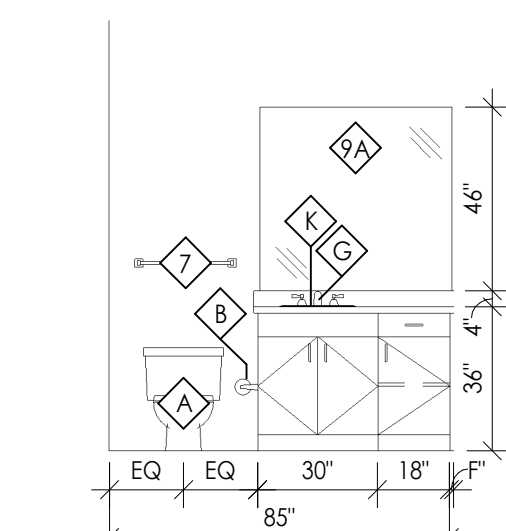
**5 UNIT 3B DESK**  
SCALE 1/4" = 1'-0"



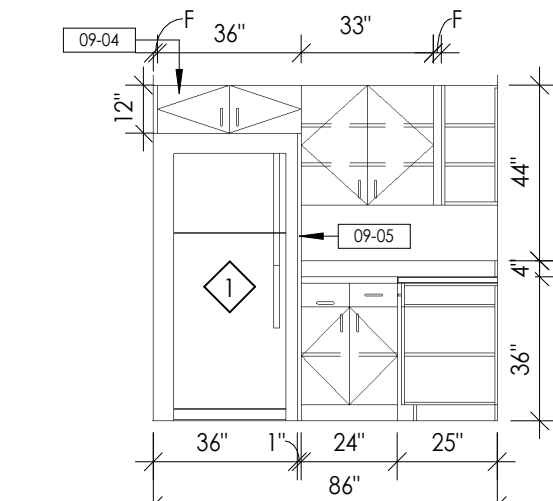
**8 UNIT 3B SHOWER**  
SCALE 1/4" = 1'-0"



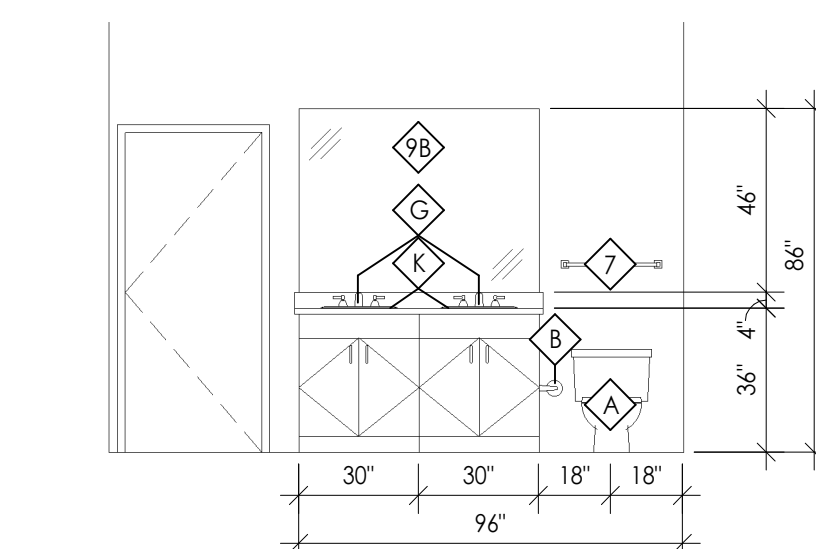
**4 UNIT 3B ISLAND**  
SCALE 1/4" = 1'-0"



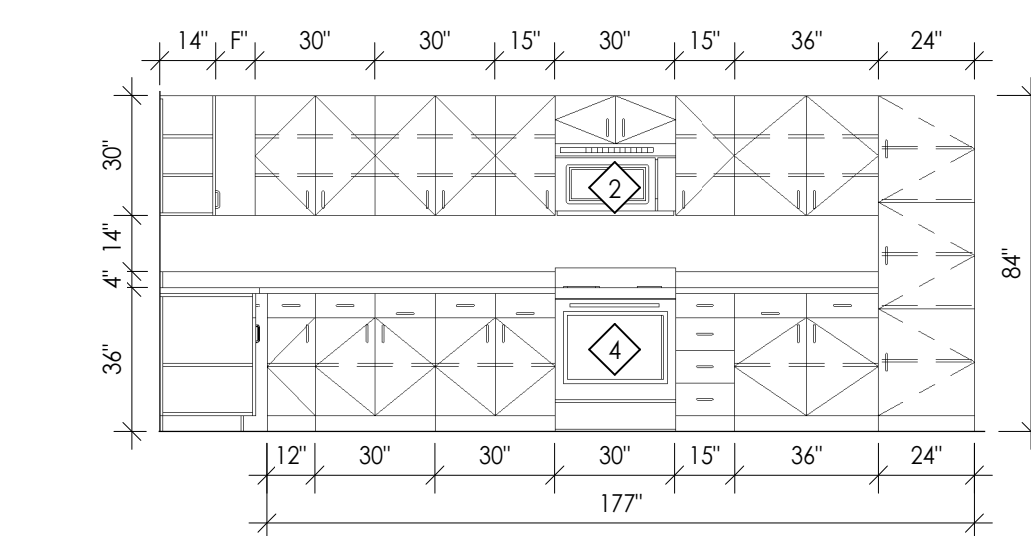
**7 UNIT 3B BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



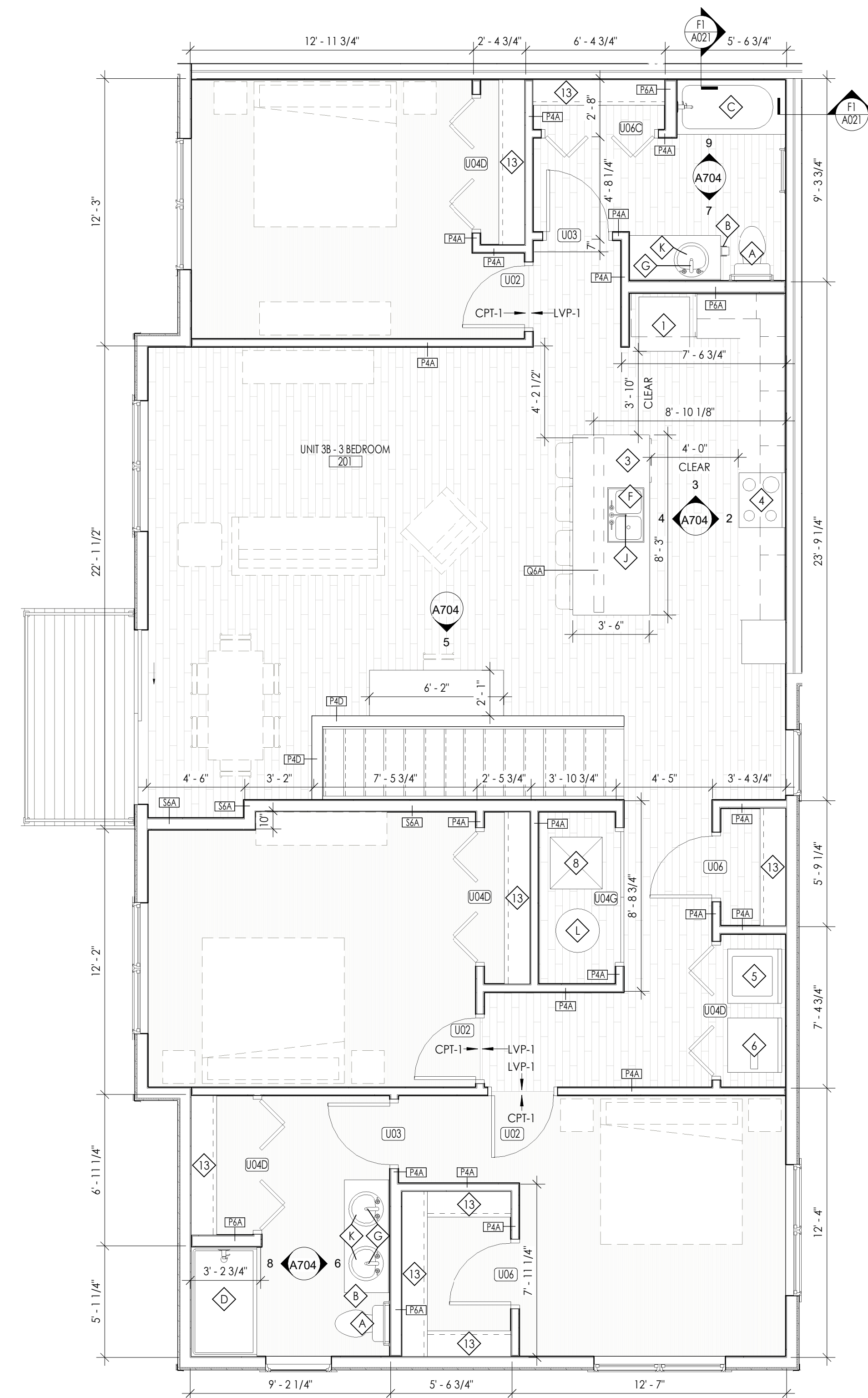
**3 UNIT 3B KITCHEN 1**  
SCALE 1/4" = 1'-0"



**6 UNIT 3B PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**2 UNIT 3B KITCHEN 2**  
SCALE 1/4" = 1'-0"



**1 UNIT 3B**  
SCALE 1/4" = 1'-0"

**PROJECT**

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3861 S. 60TH STREET  
MILWAUKEE, WI 53220

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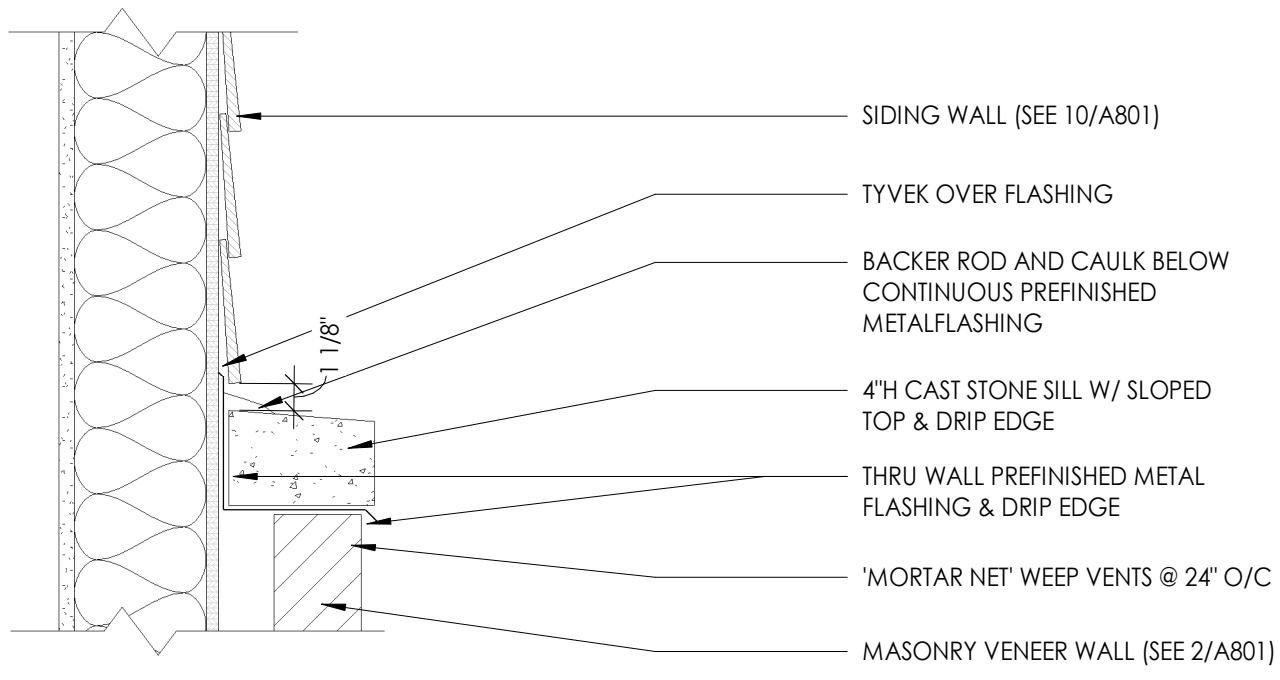
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

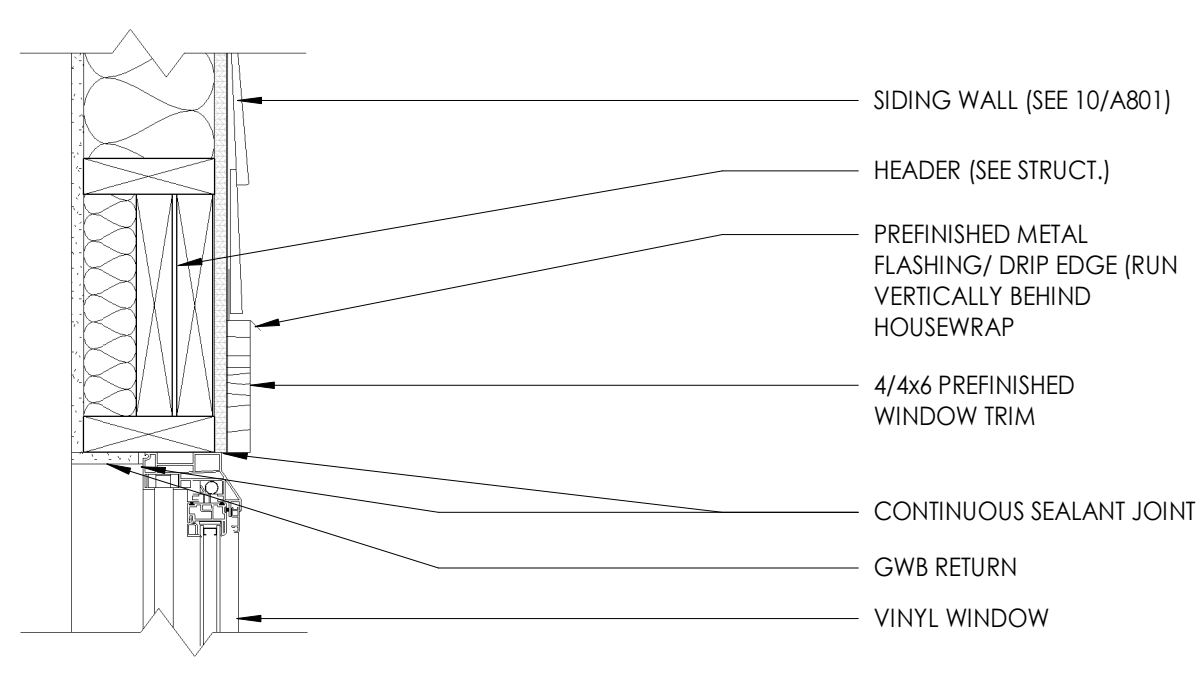
PROJECT DETAILS - EXTERIOR

**A801**

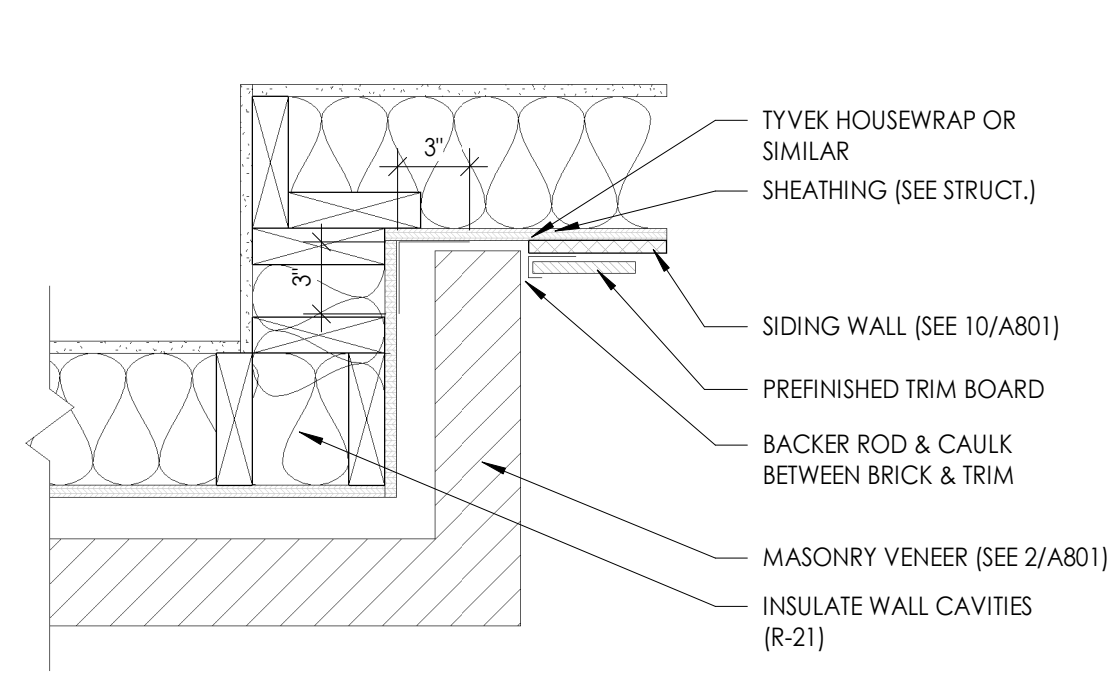
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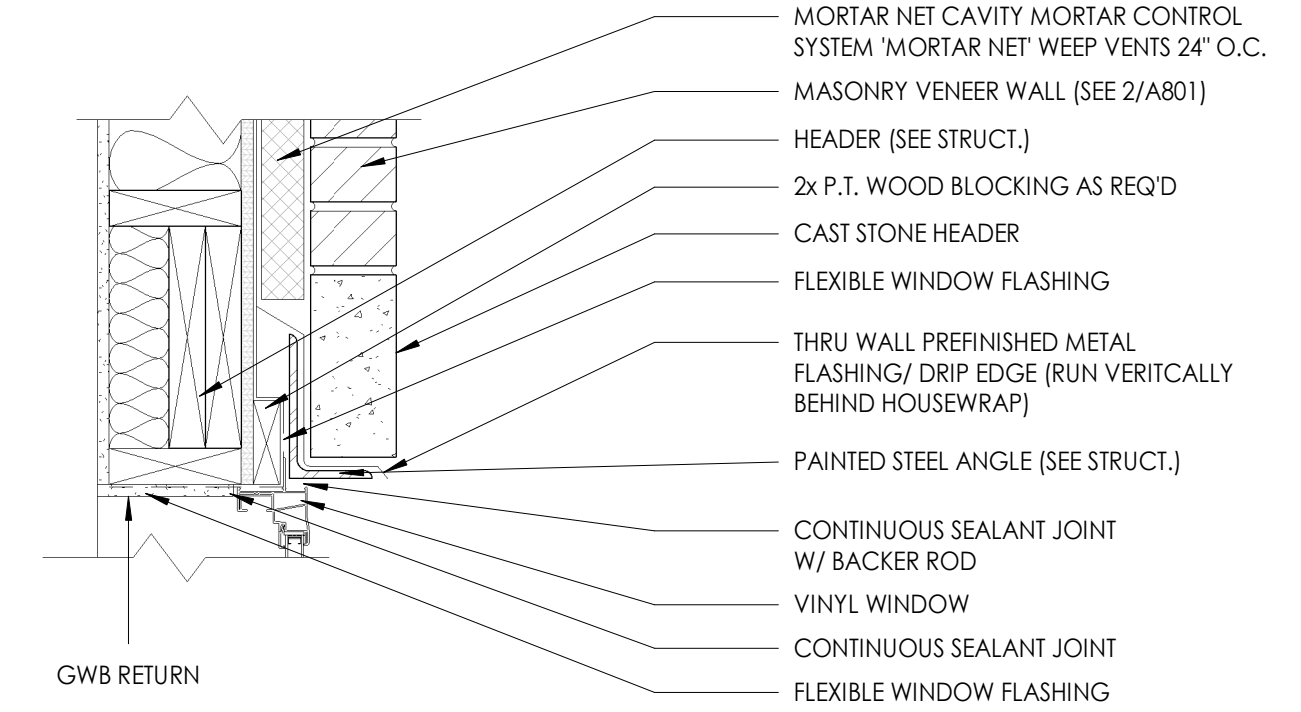
**16 MASONRY VENEER STONE SILL**  
SCALE 1 1/2" = 1'-0"



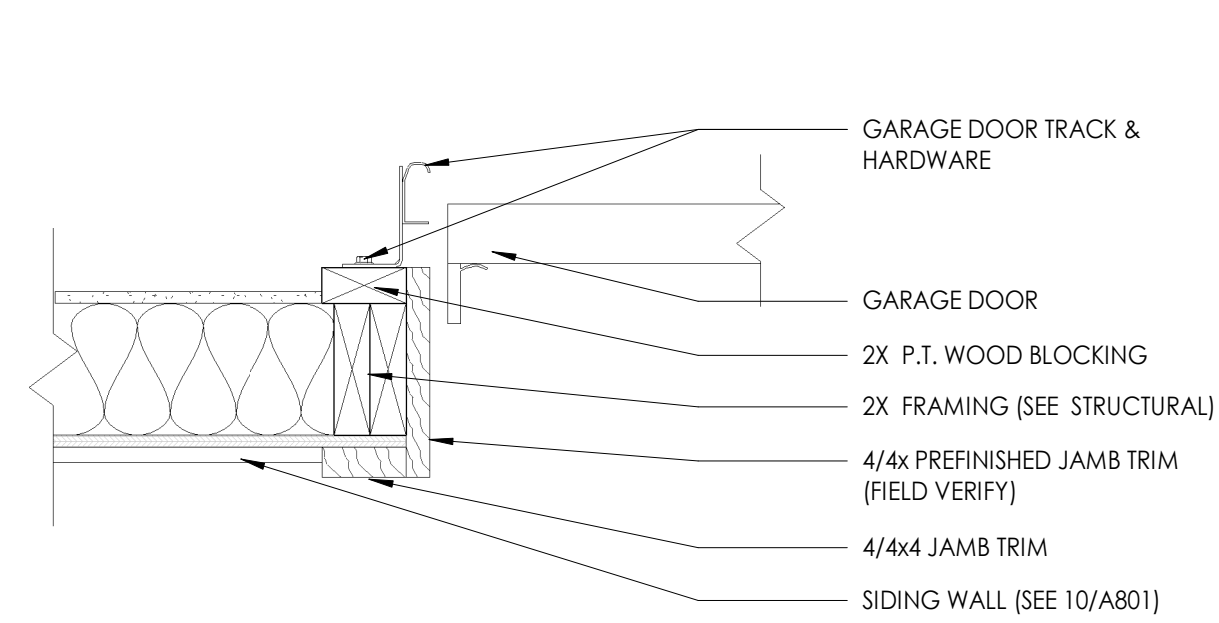
**12 VINYL WINDOW - HEAD AT SIDING**  
SCALE 1 1/2" = 1'-0"



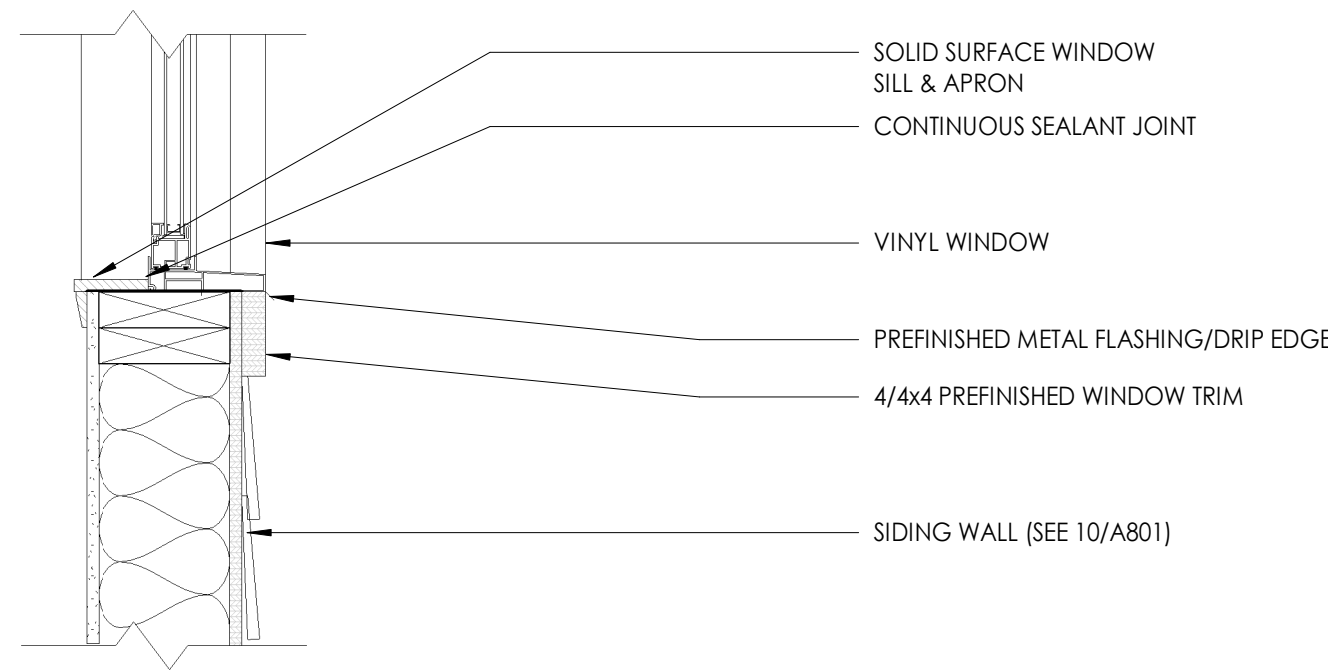
**8 MASONRY AT CORNER**  
SCALE 1 1/2" = 1'-0"



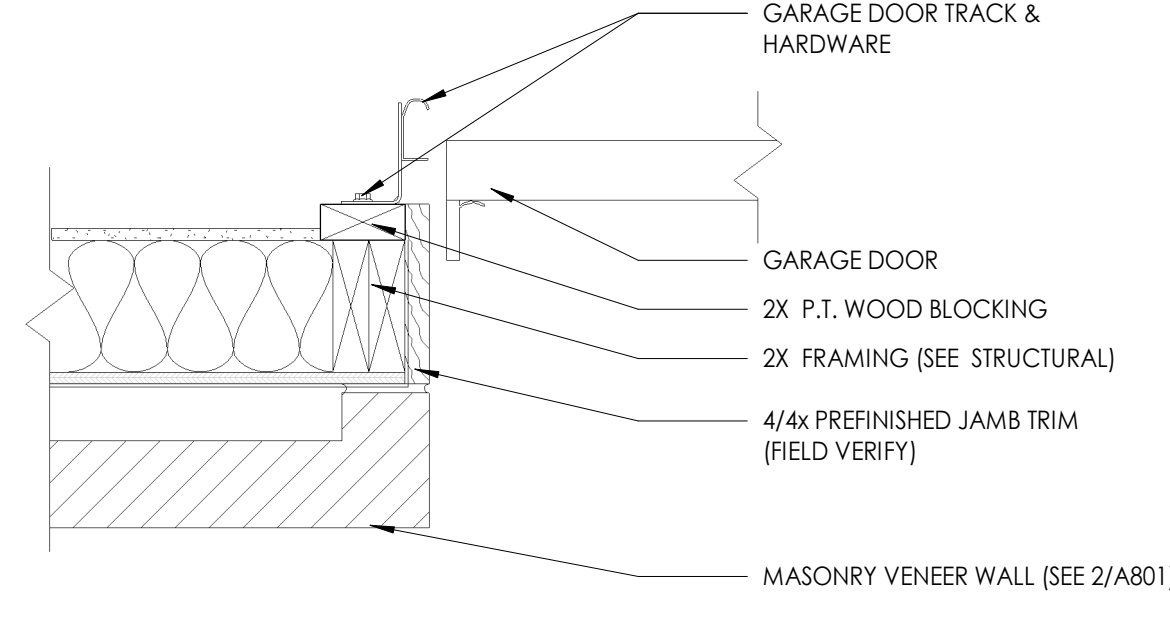
**4 VINYL WINDOW - HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



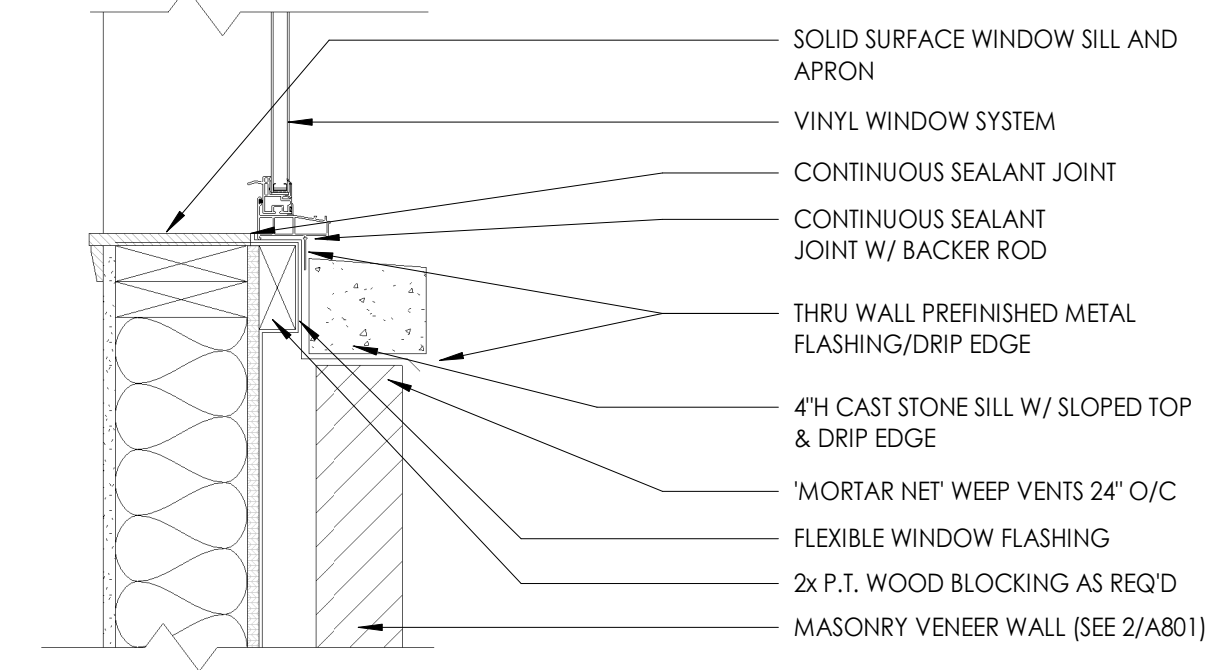
**15 GARAGE DOOR - JAMB AT SIDING**  
SCALE 1 1/2" = 1'-0"



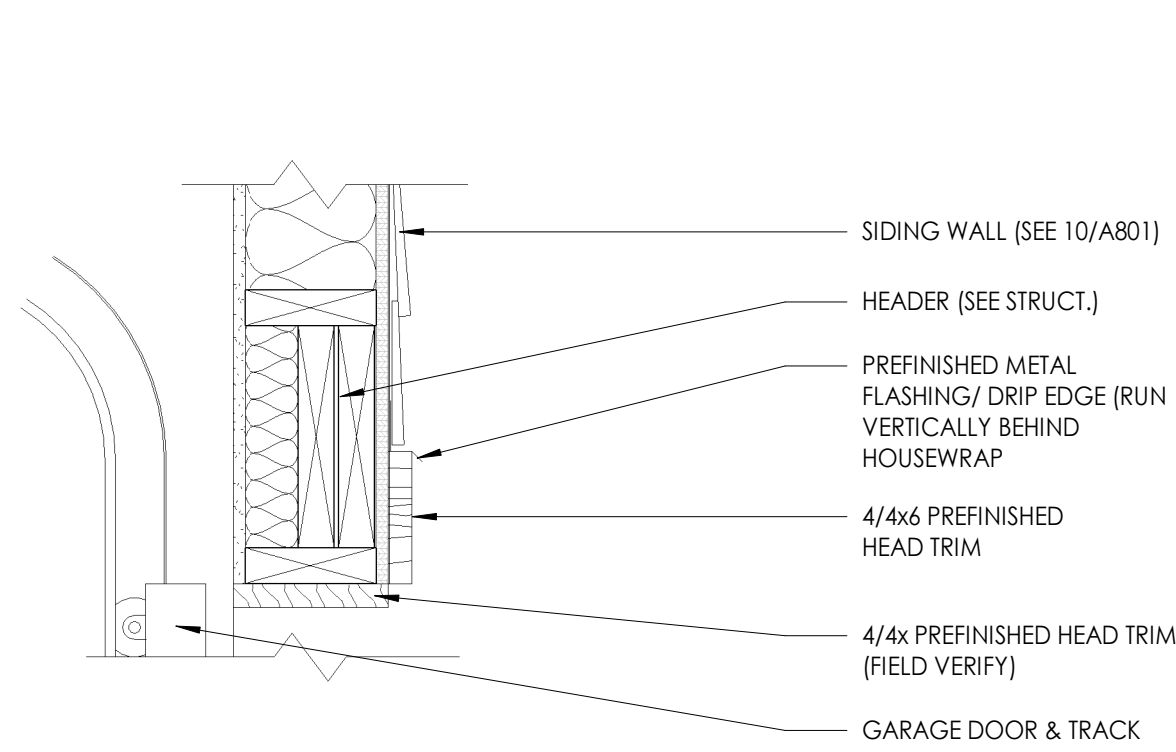
**11 VINYL WINDOW - SILL AT SIDING**  
SCALE 1 1/2" = 1'-0"



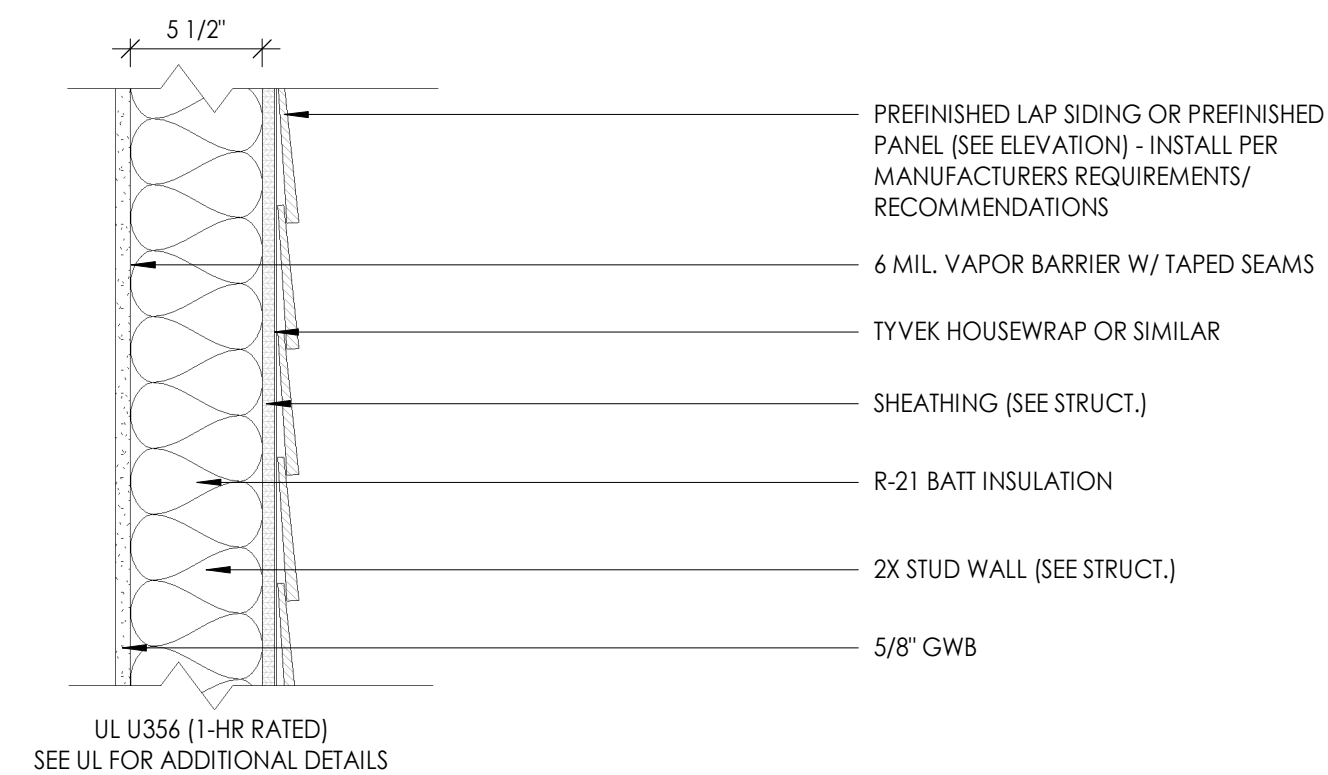
**7 GARAGE DOOR - JAMB AT MASONRY**  
SCALE 1 1/2" = 1'-0"



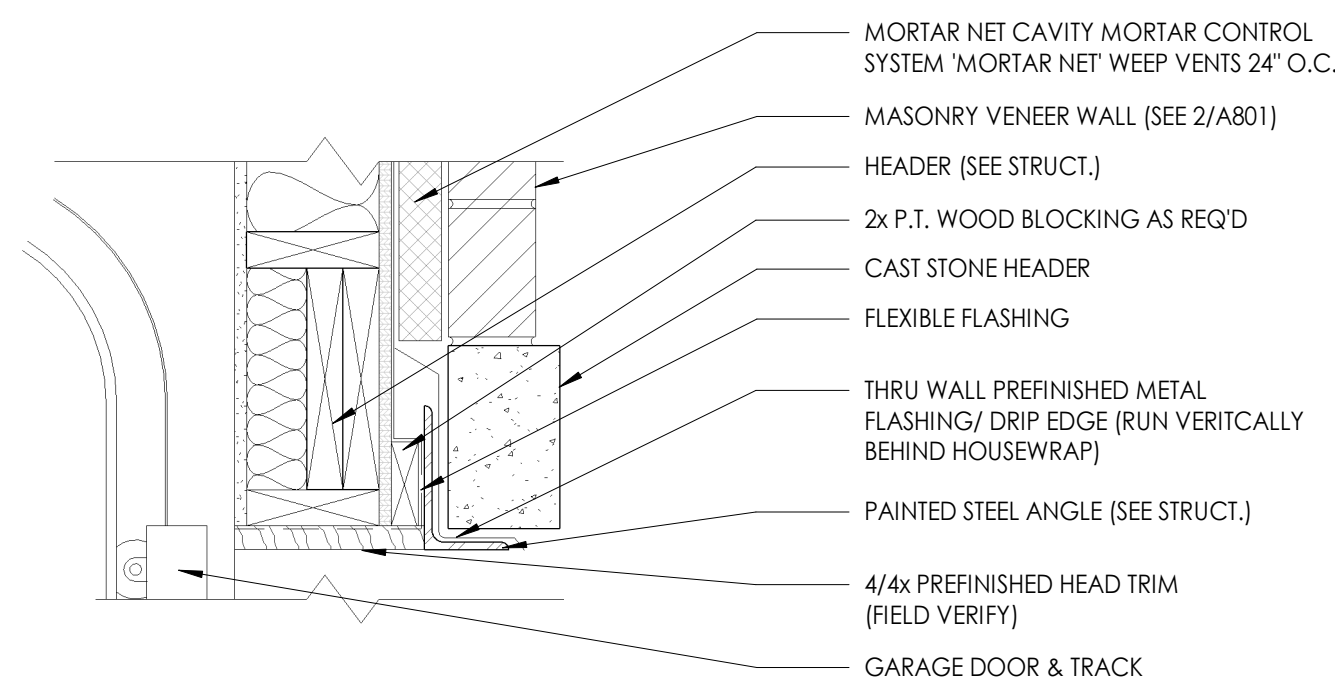
**3 VINYL WINDOW - SILL AT MASONRY**  
SCALE 1 1/2" = 1'-0"



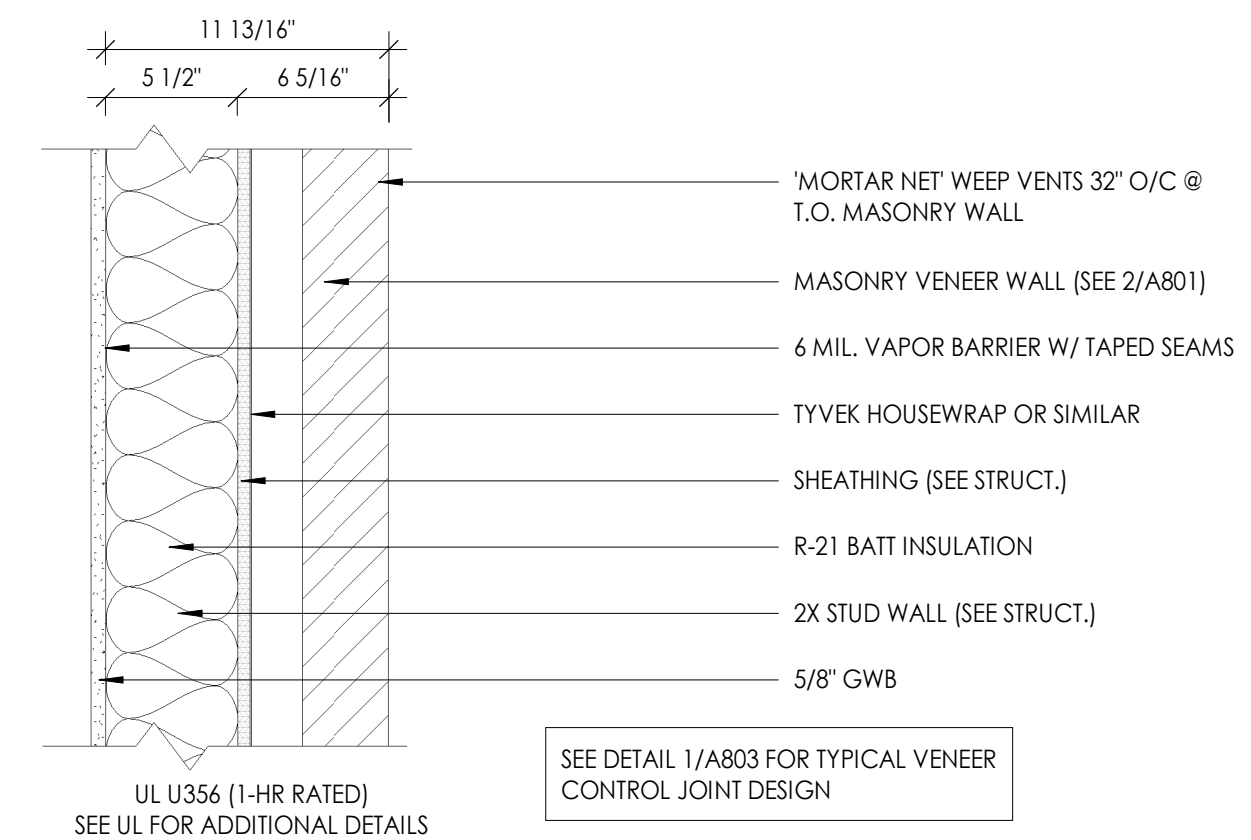
**14 GARAGE DOOR - HEAD AT SIDING**  
SCALE 1 1/2" = 1'-0"



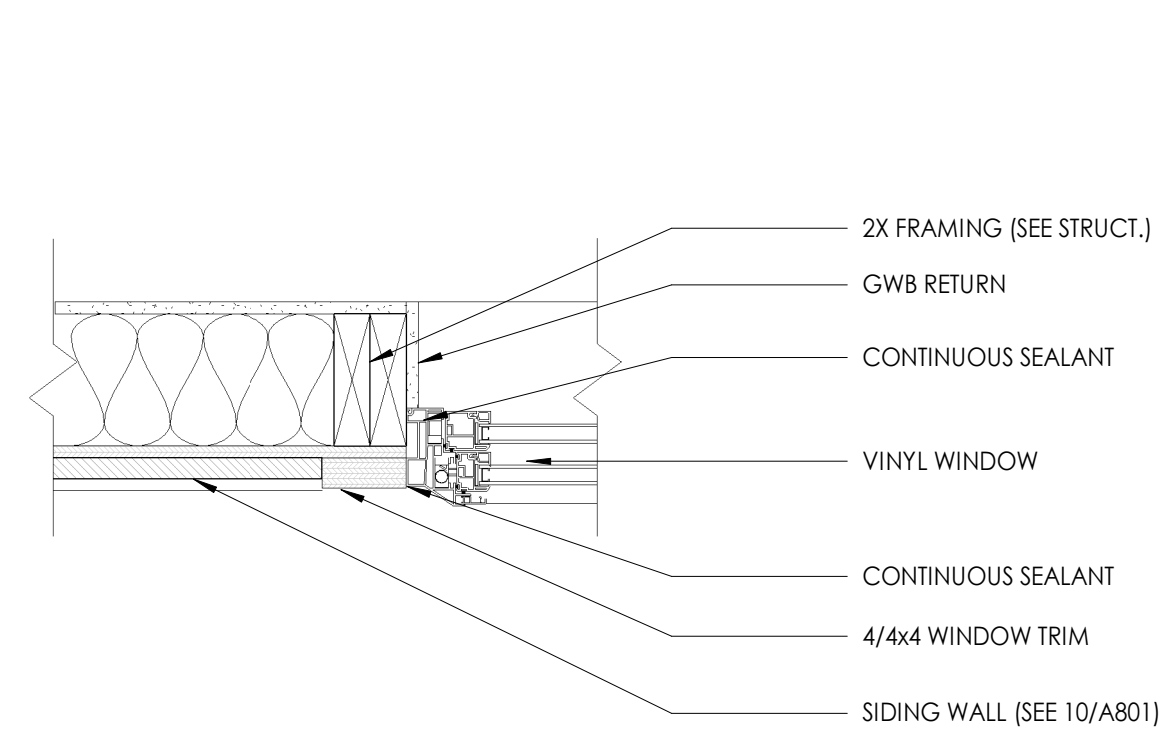
**10 SIDING WALL (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



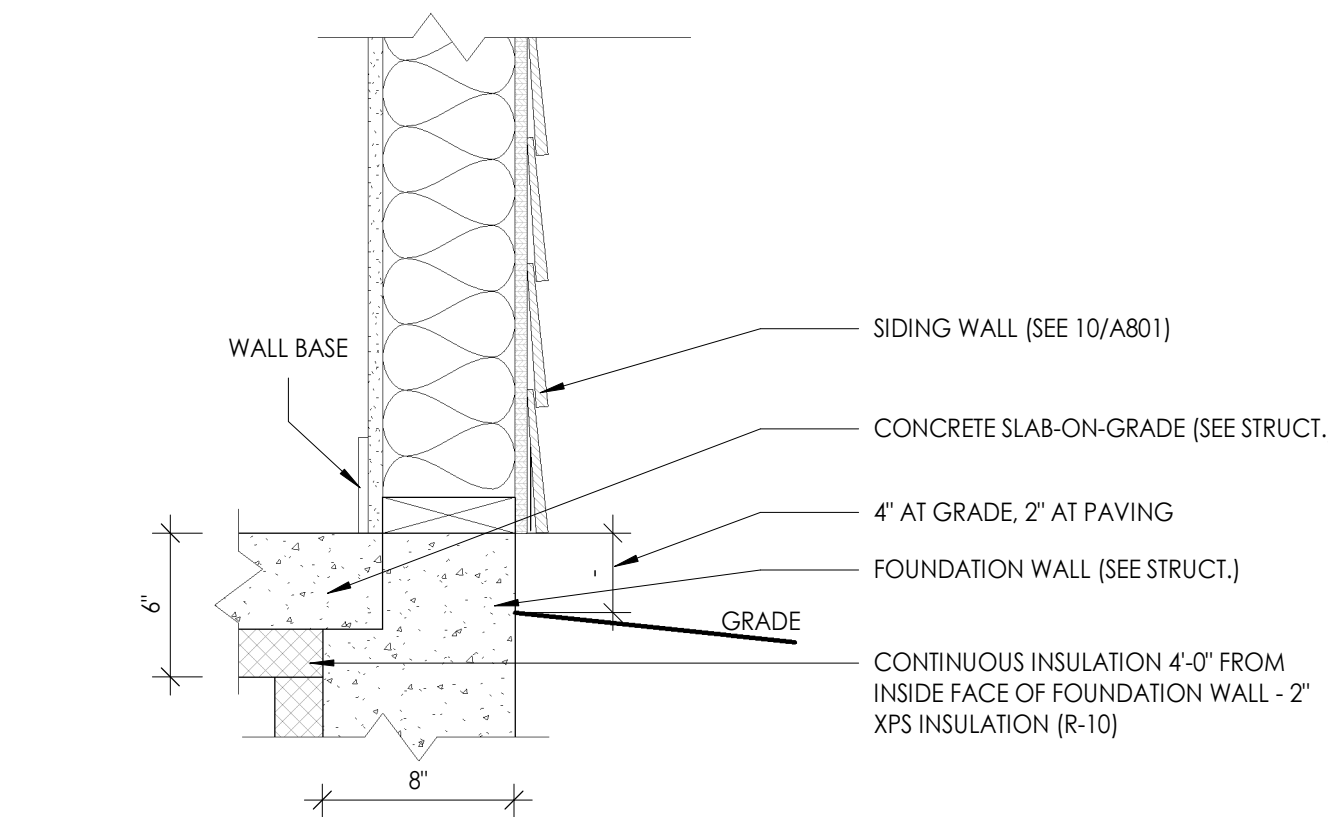
**6 GARAGE DOOR - HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



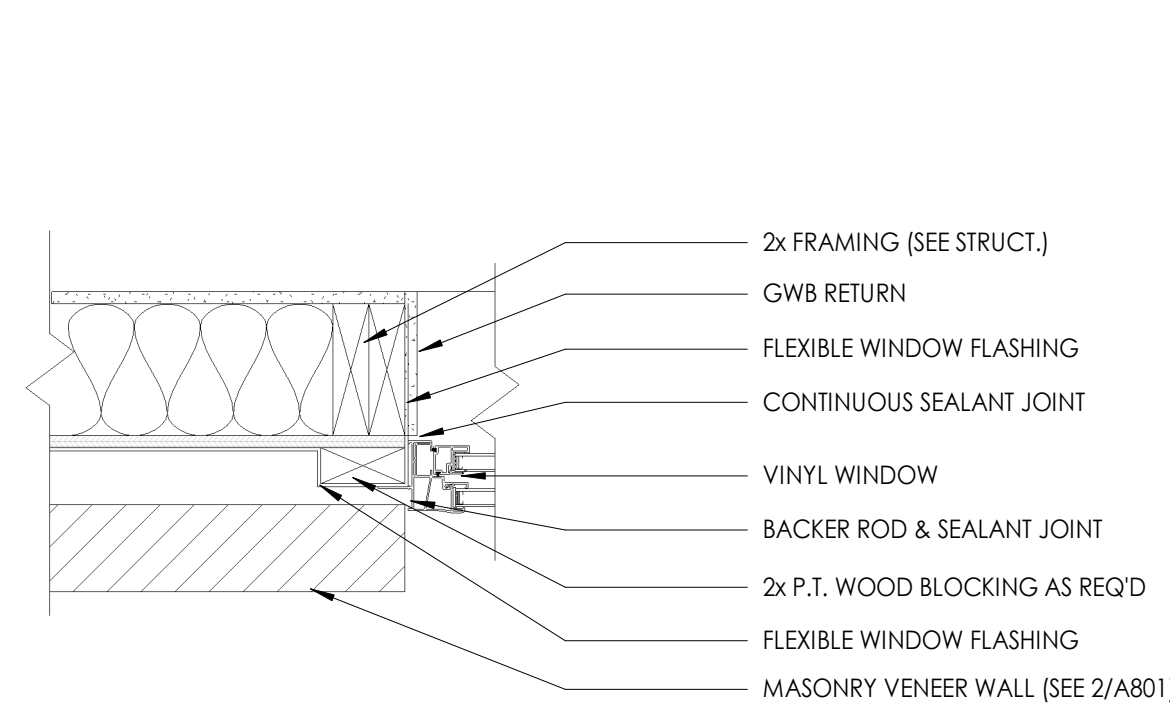
**2 MASONRY VENEER WALL (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



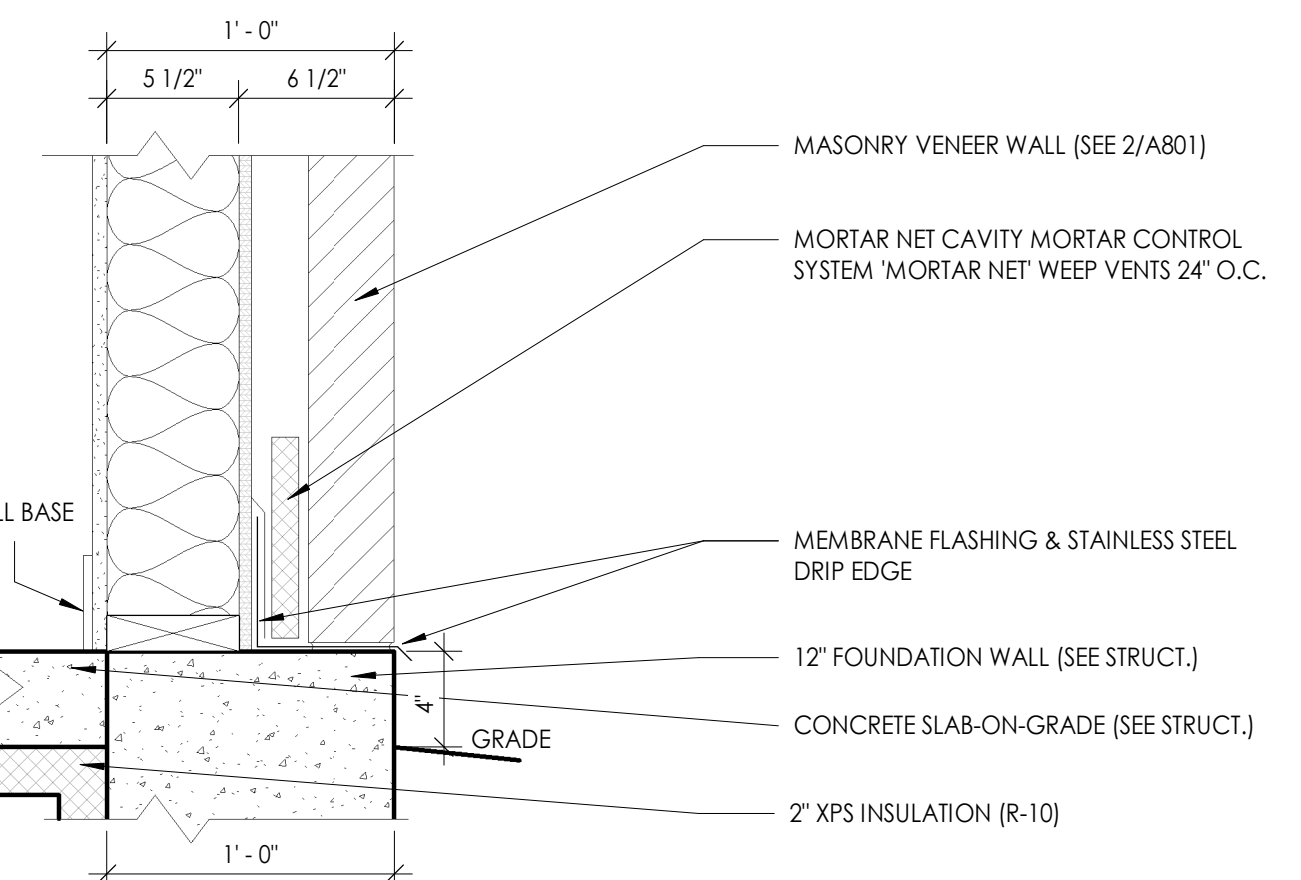
**13 VINYL WINDOW - JAMB AT SIDING**  
SCALE 1 1/2" = 1'-0"



**9 FOUNDATION DETAIL AT SIDING (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



**5 08-VINYL WINDOW - JAMB AT MASONRY**  
SCALE 1 1/2" = 1'-0"



**1 FOUNDATION DETAIL AT MASONRY (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



**PROJECT**

PROPOSED BUILDING FOR:

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3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

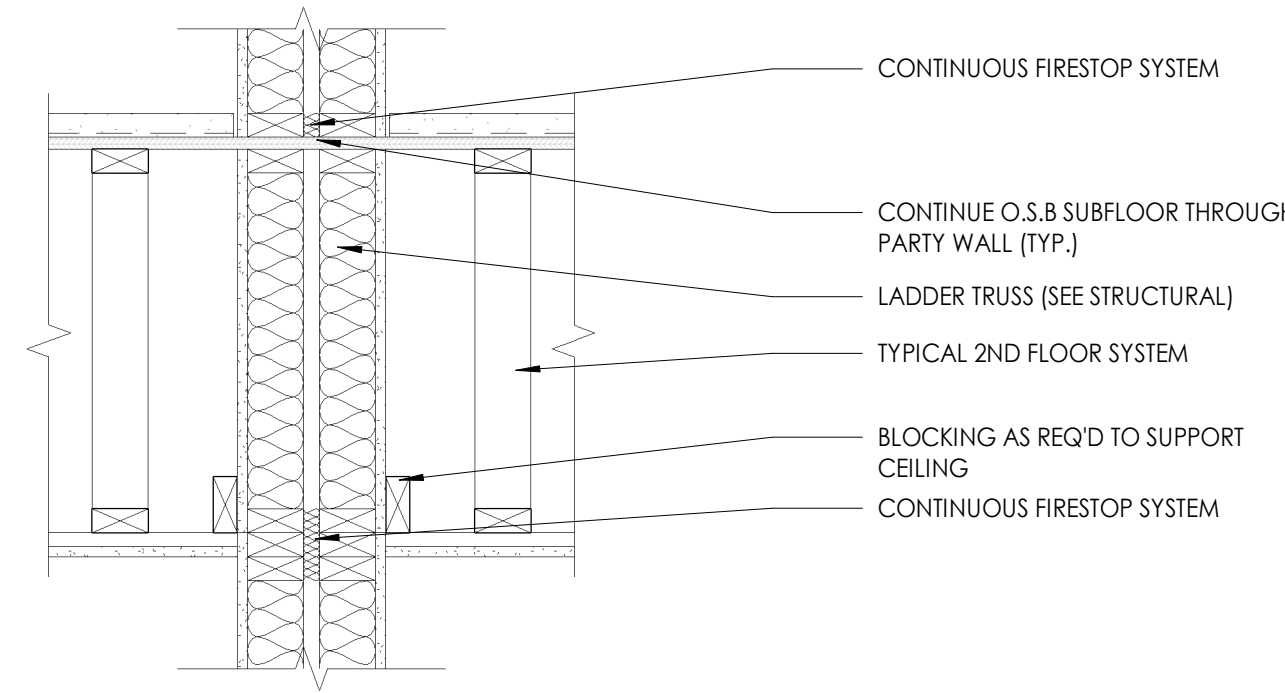
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

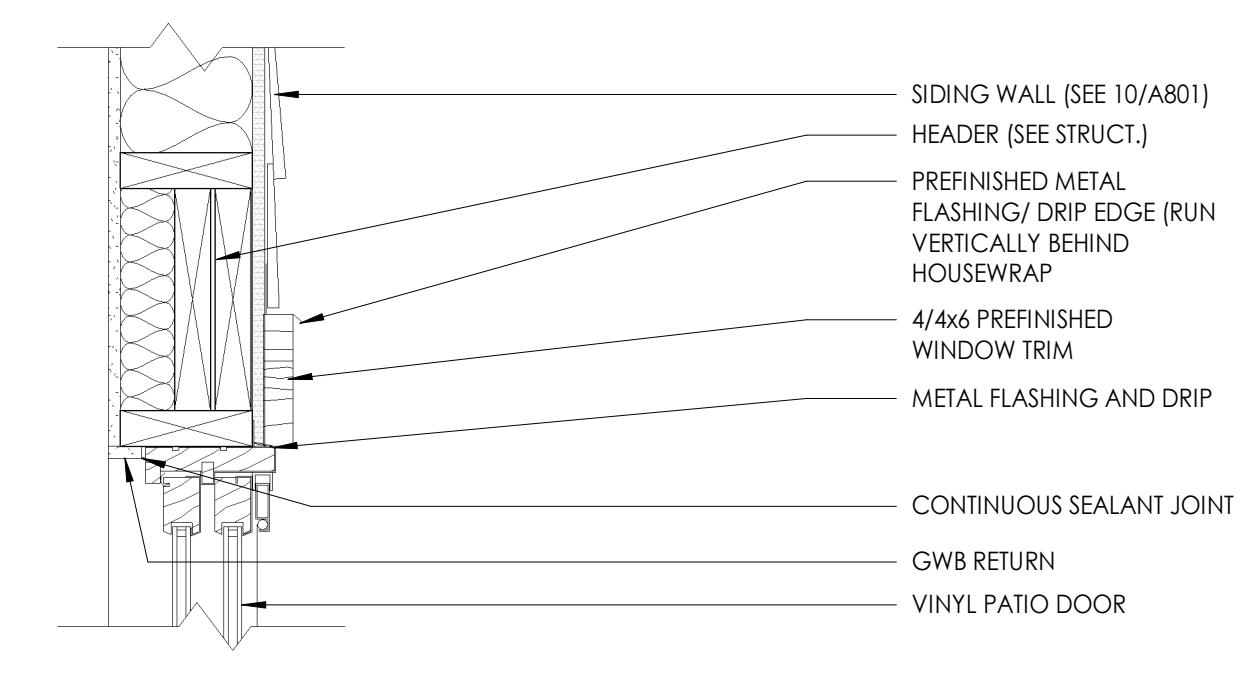
PROJECT DETAILS - EXTERIOR

**A802**

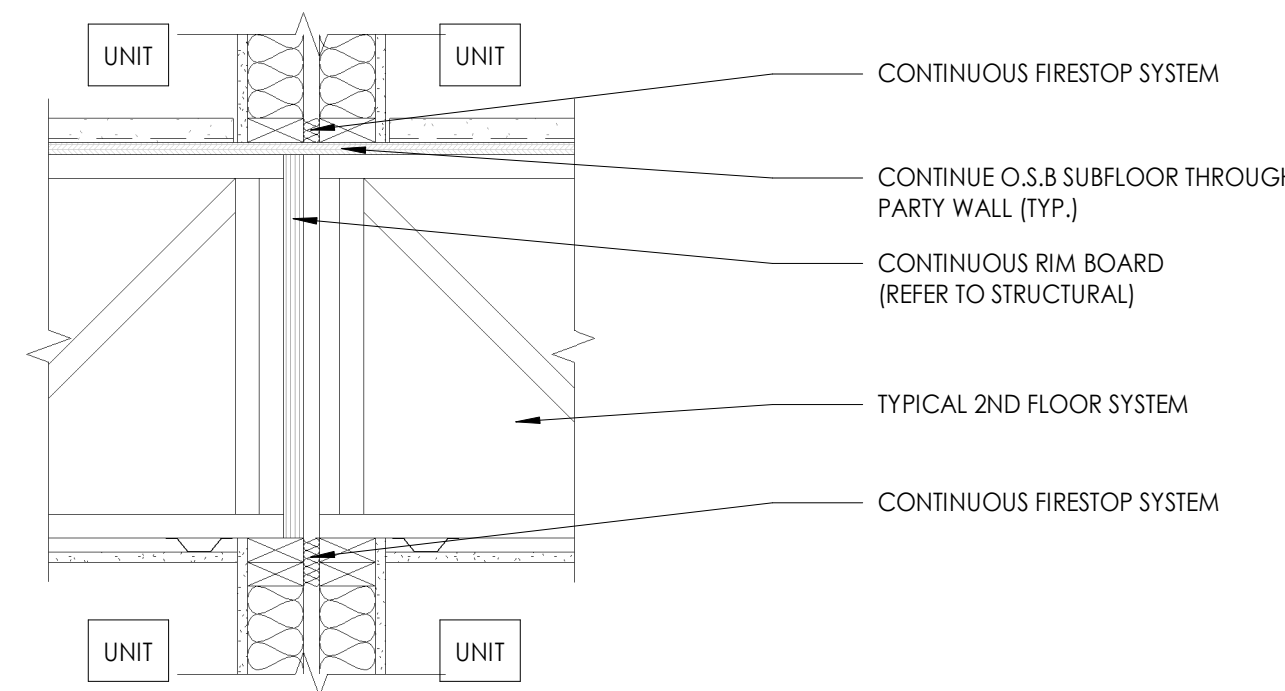
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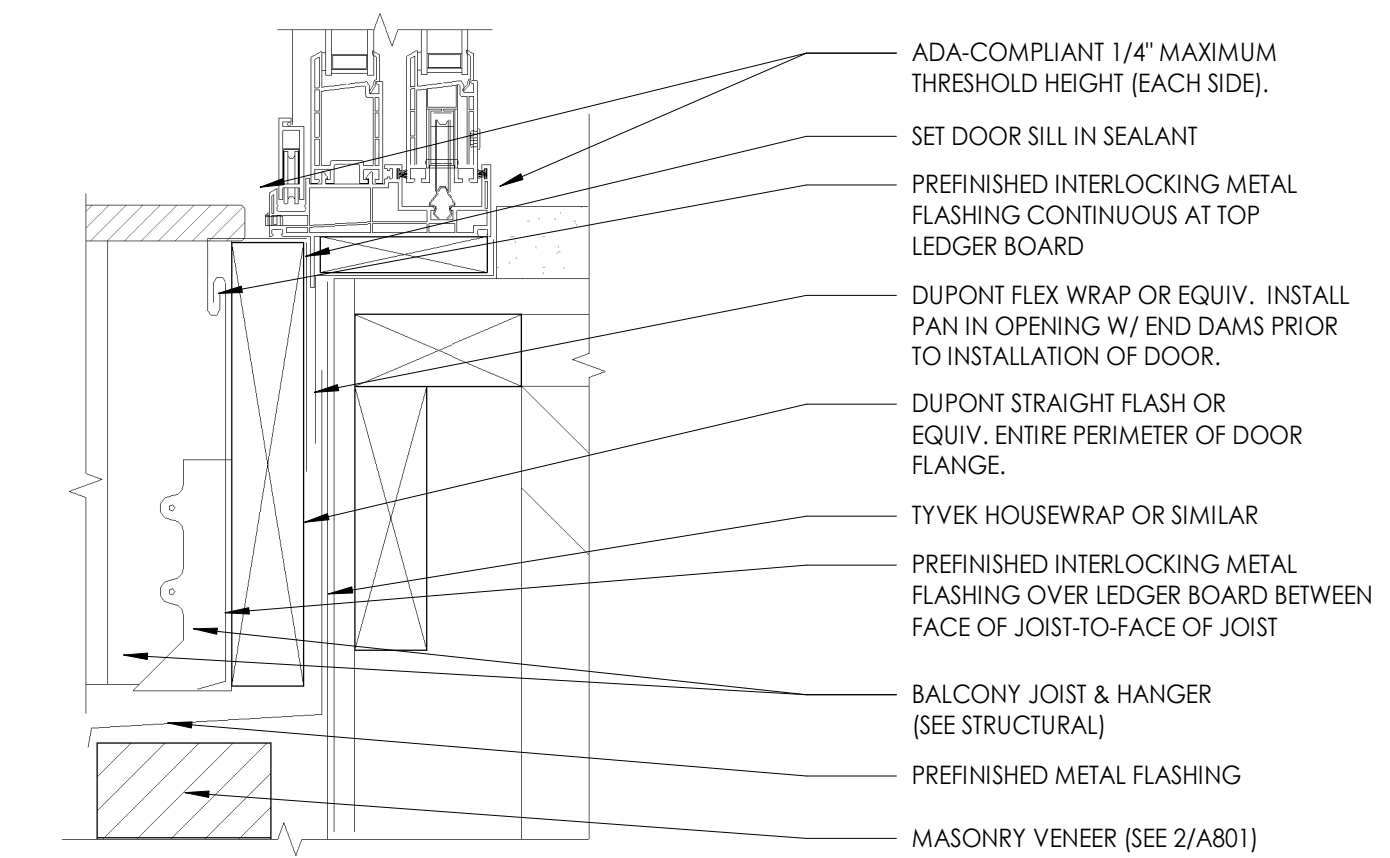
**8 UNIT SEPARATION AT FLOOR / CEILING**  
SCALE 1" = 1'-0"



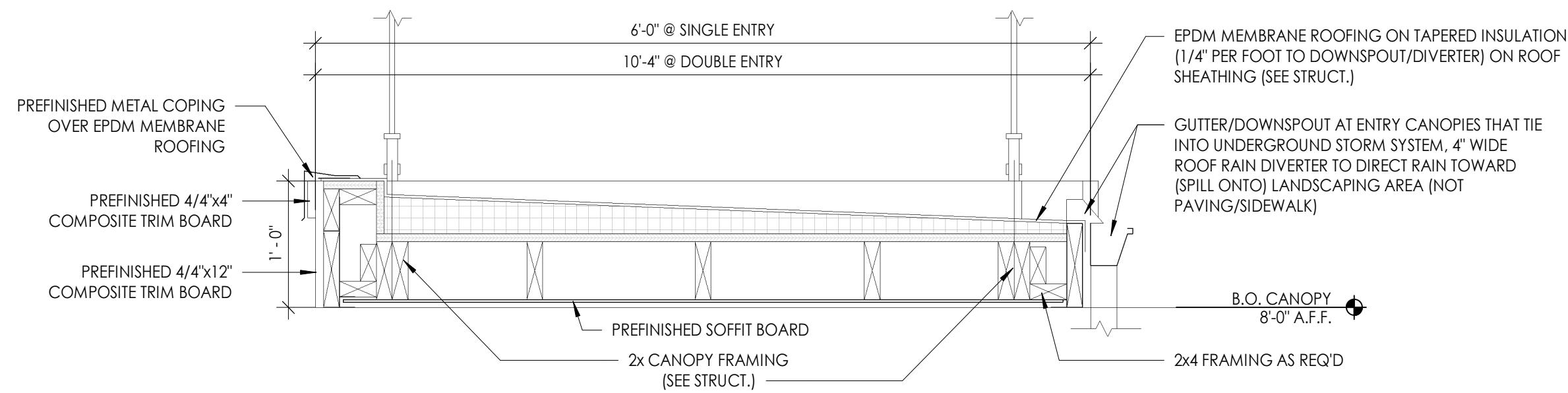
**4 PATIO HEAD DETAIL**  
SCALE 1 1/2" = 1'-0"



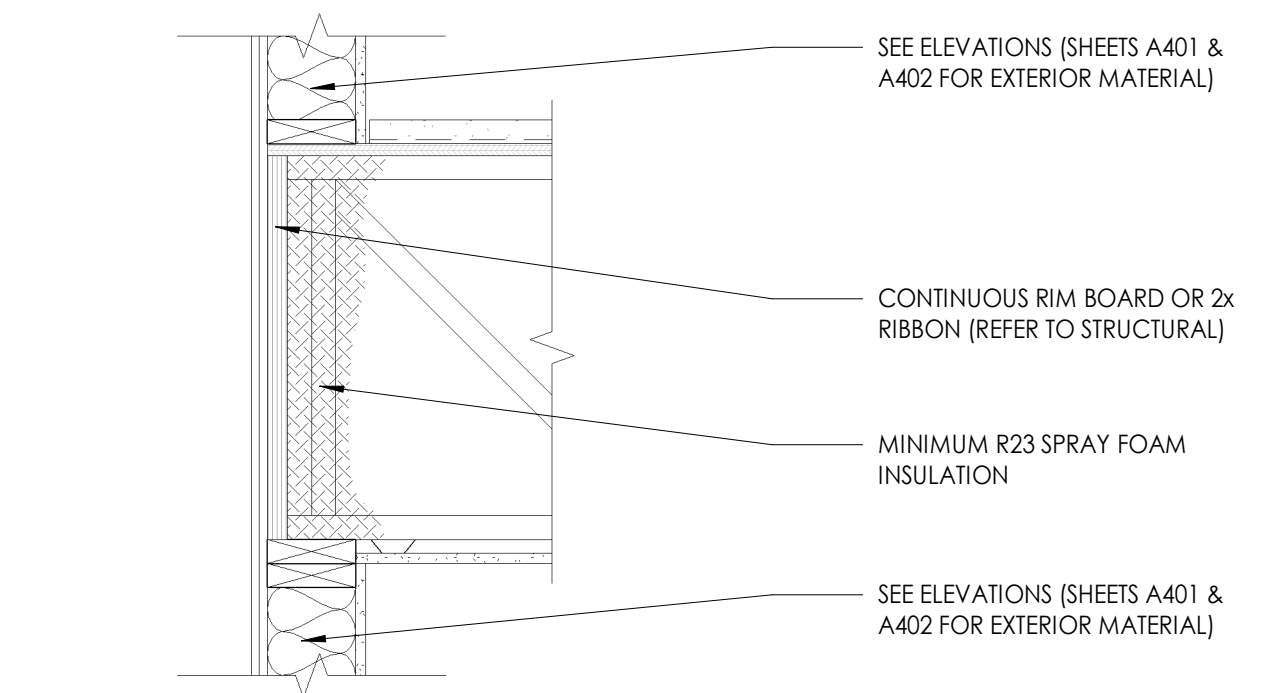
**7 UNIT SEPARATION AT FLOOR TRUSS**  
SCALE 1" = 1'-0"



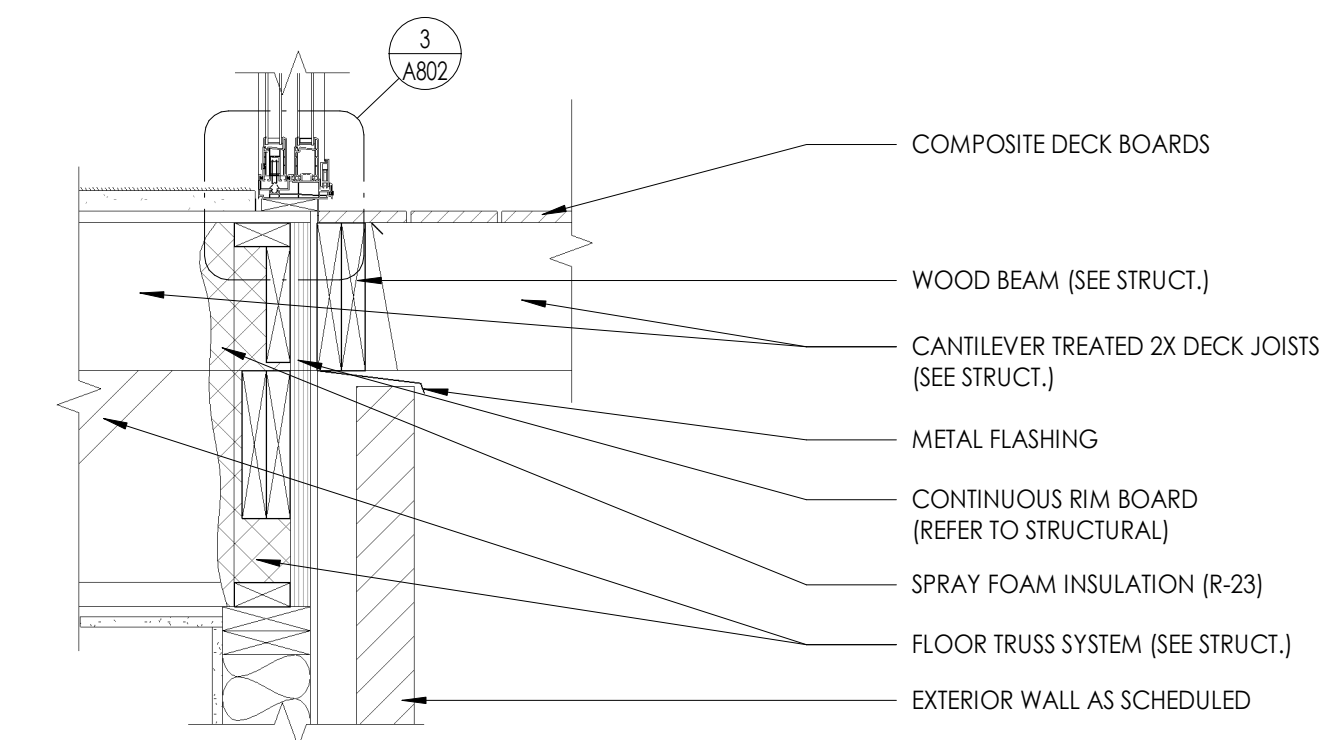
**3 PATIO DOOR SILL AT MASONRY**  
SCALE 3" = 1'-0"



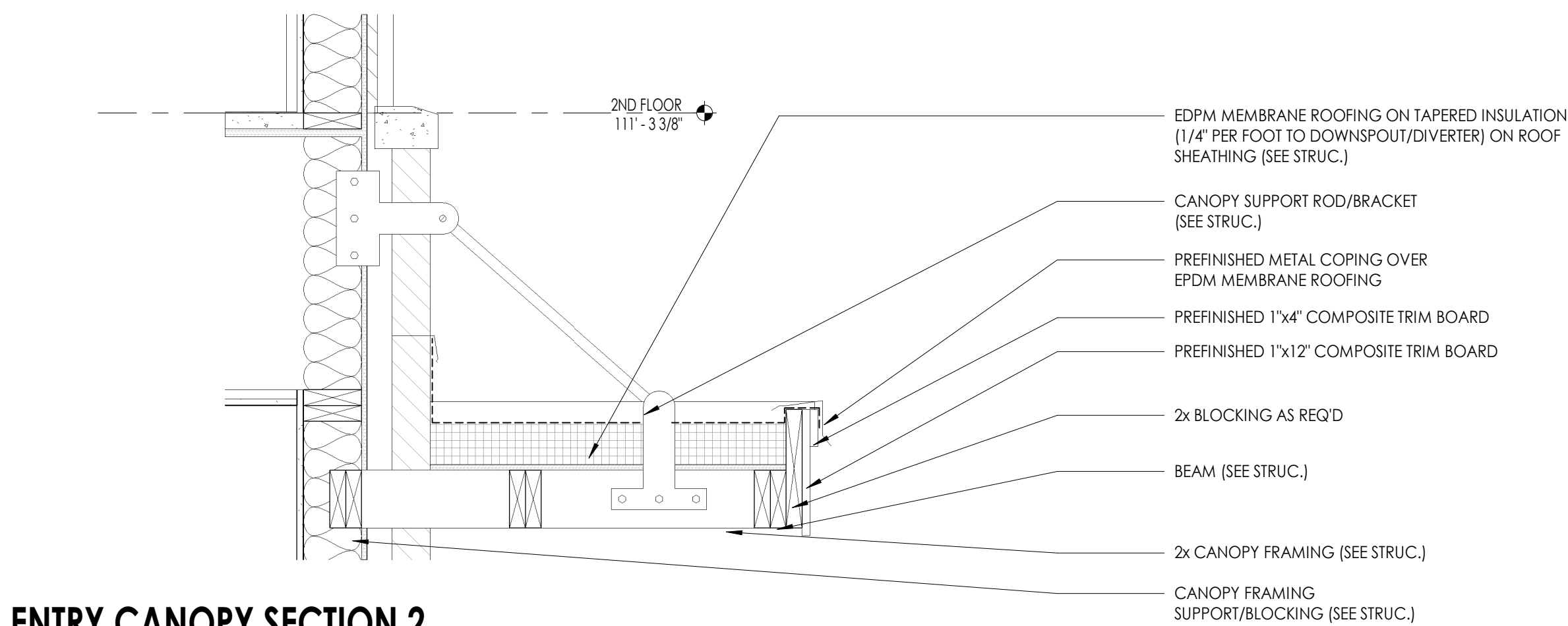
**12 ENTRY CANOPY SECTION**  
SCALE 1" = 1'-0"



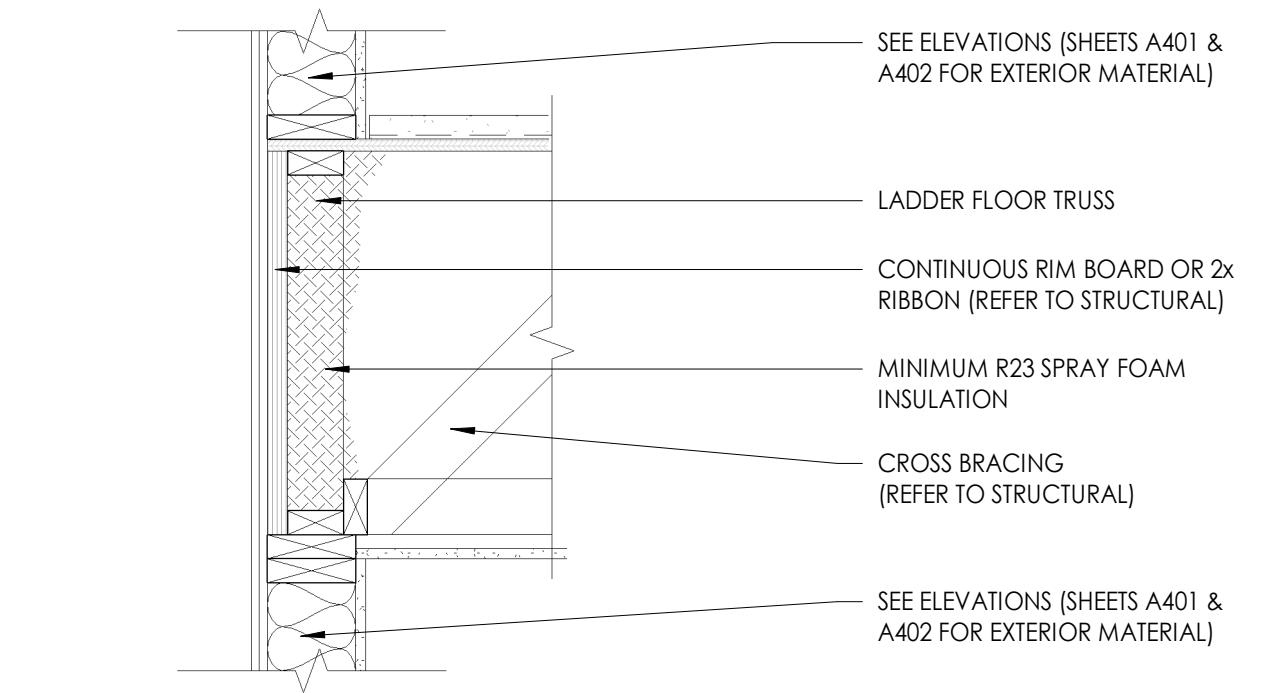
**6 EXTERIOR RIM AT FLOOR TRUSS**  
SCALE 1" = 1'-0"



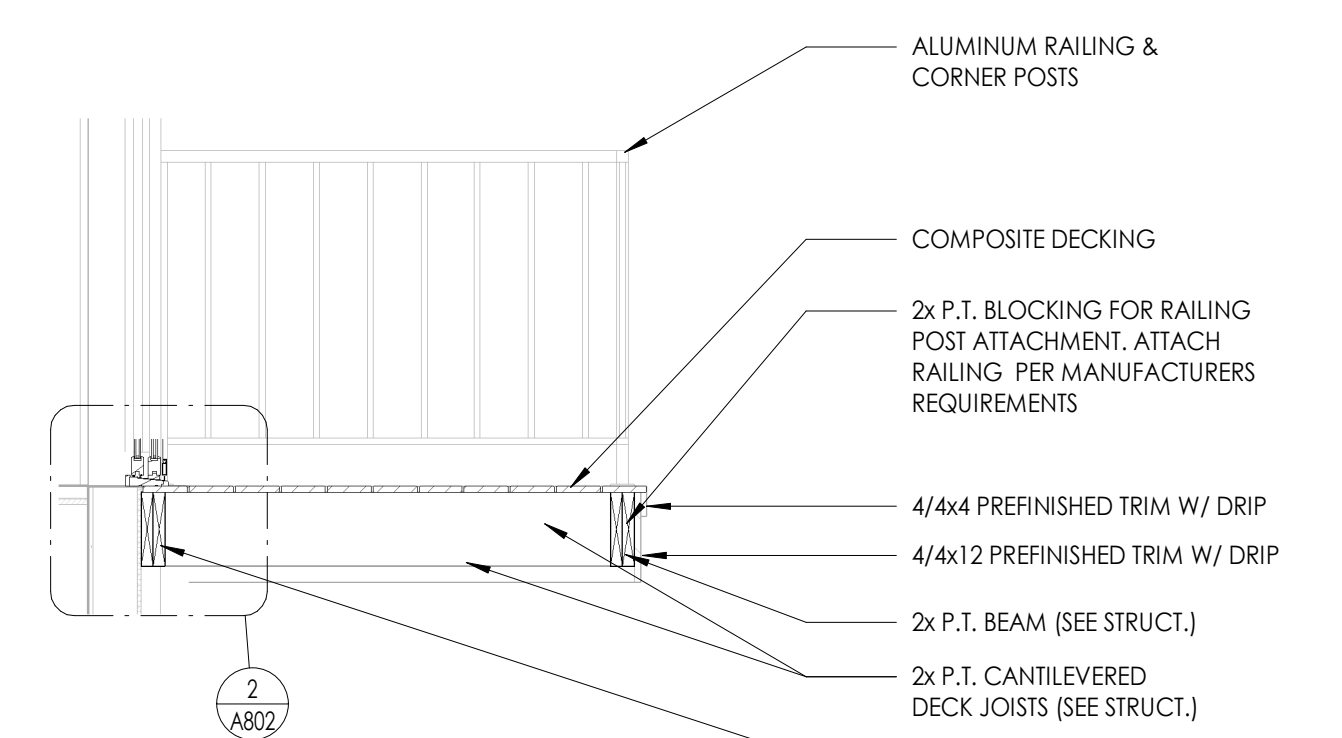
**2 SLIDING PATIO DOOR SILL AT BALCONY**  
SCALE 1" = 1'-0"



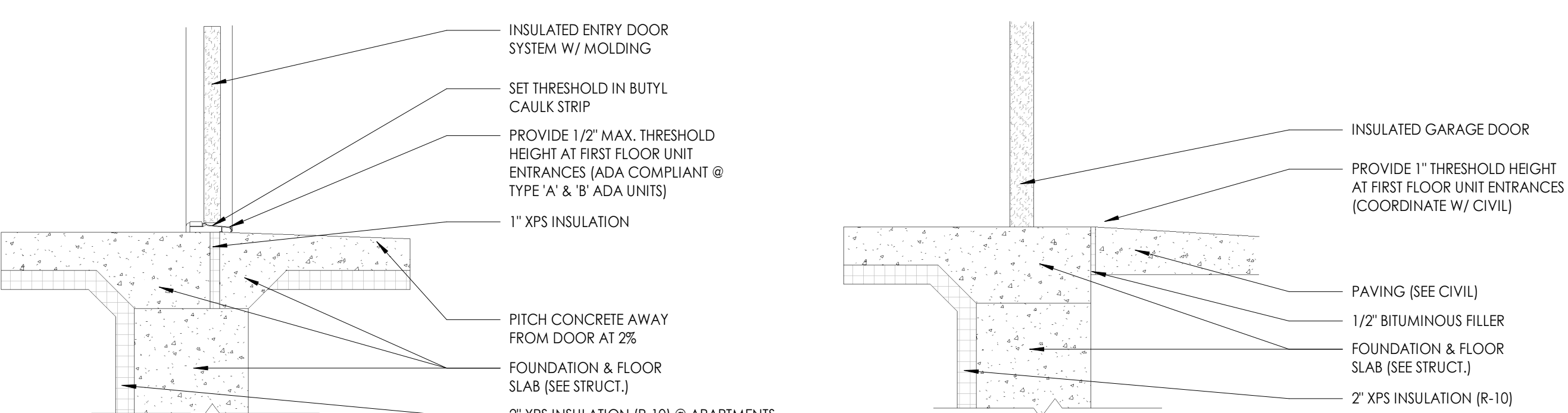
**11 ENTRY CANOPY SECTION 2**  
SCALE 1" = 1'-0"



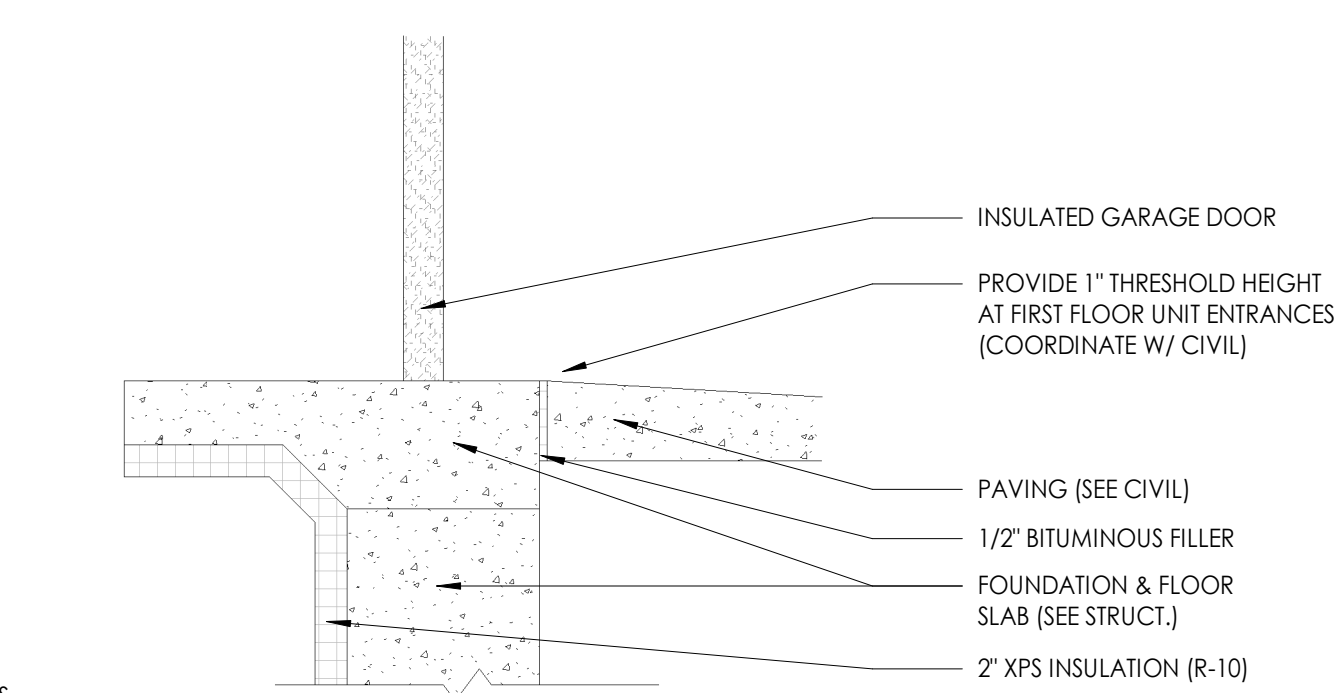
**5 EXTERIOR RIM AT LADDER FLOOR**  
SCALE 1" = 1'-0"



**1 BALCONY SECTION**  
SCALE 1 1/2" = 1'-0"



**10 THRESHOLD AT ENTRY DOOR**  
SCALE 1" = 1'-0"



**9 THRESHOLD AT GARAGE**  
SCALE 1" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

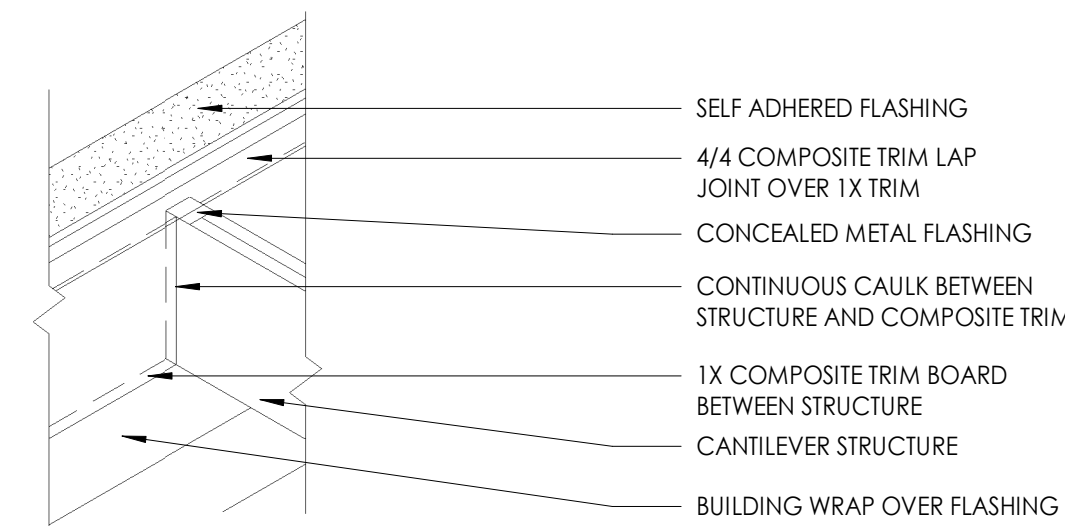
NO.	DESCRIPTION	DATE
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**INFORMATION**

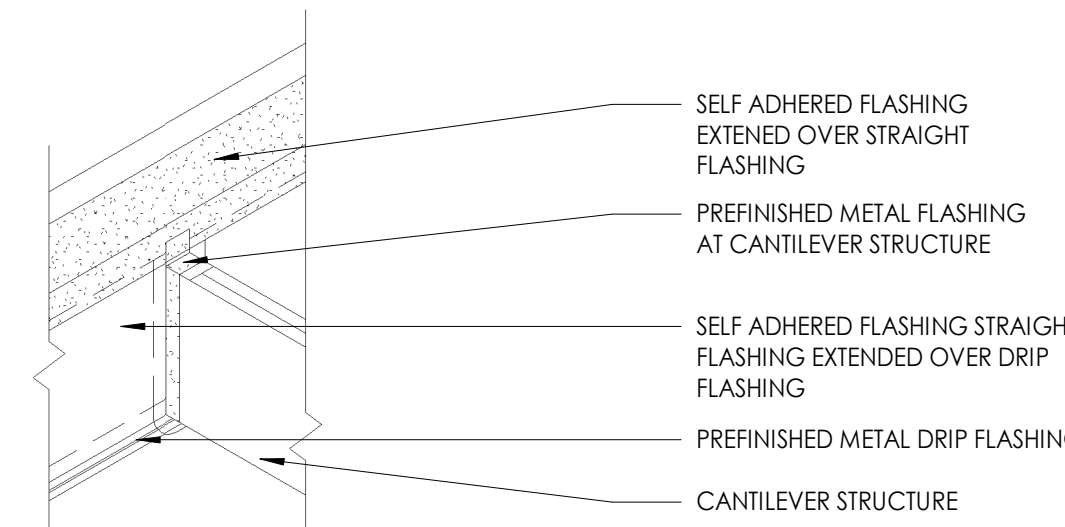
PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

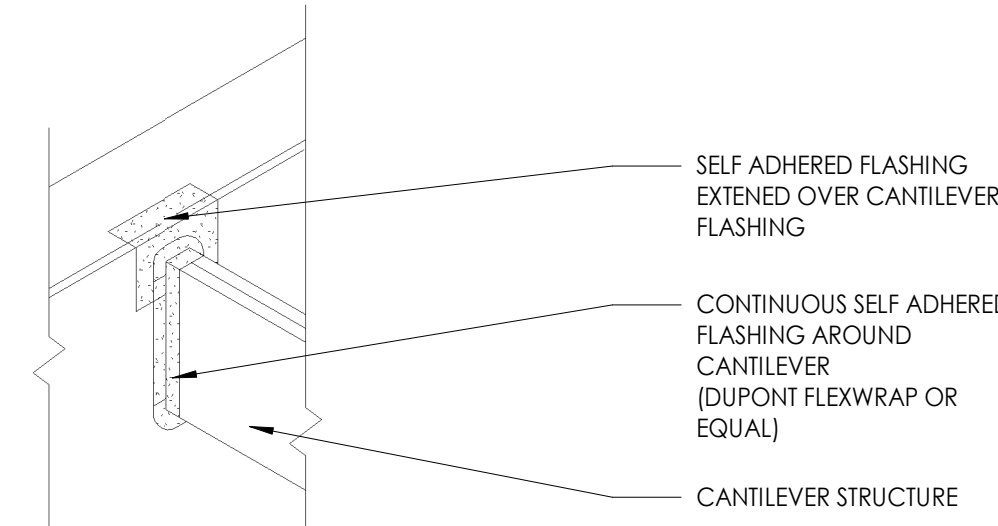
PROJECT DETAILS - EXTERIOR



FINISH DETAIL



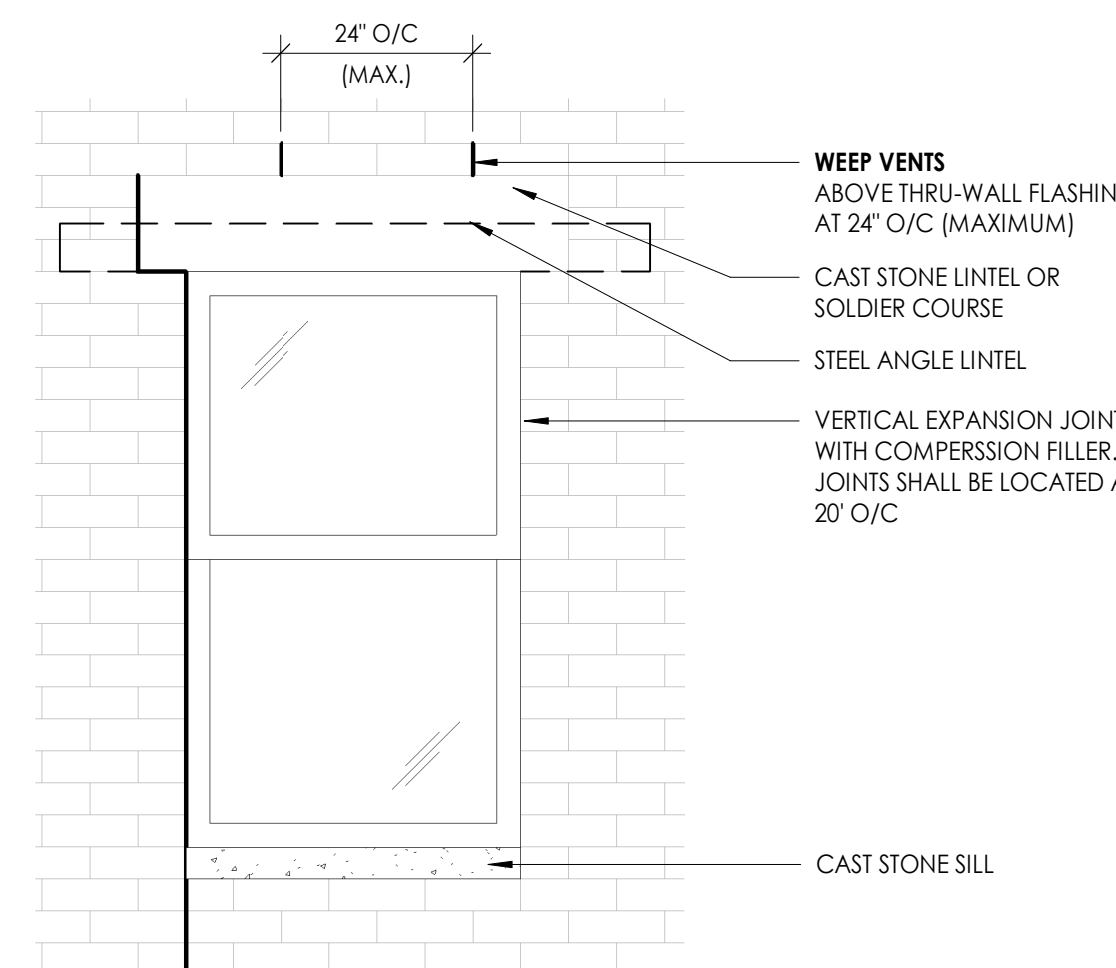
FLASHING DETAIL



SUB-FLASHING DETAIL

**2 DECK FLASHING DETAILS**

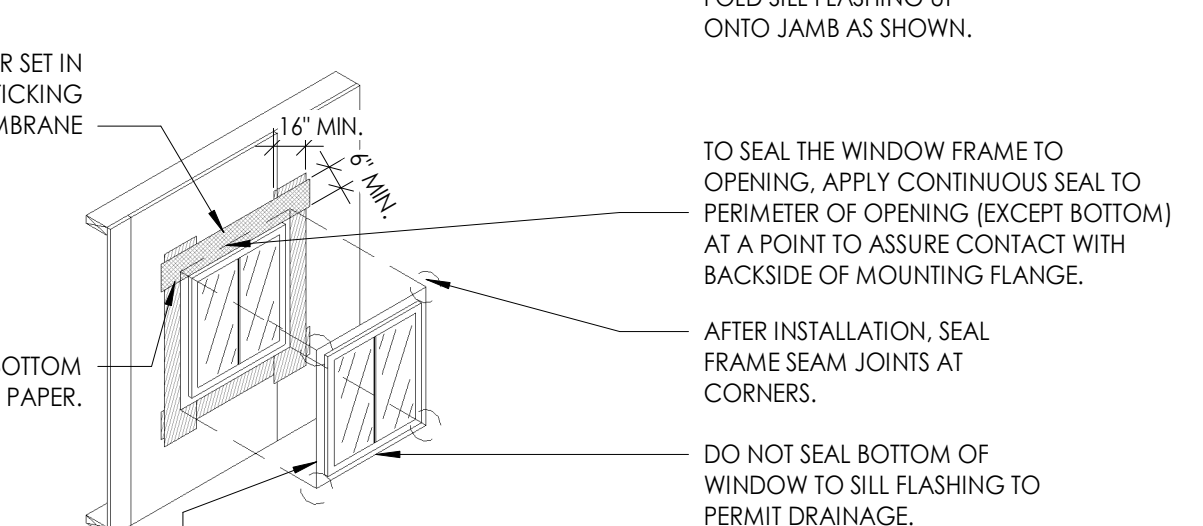
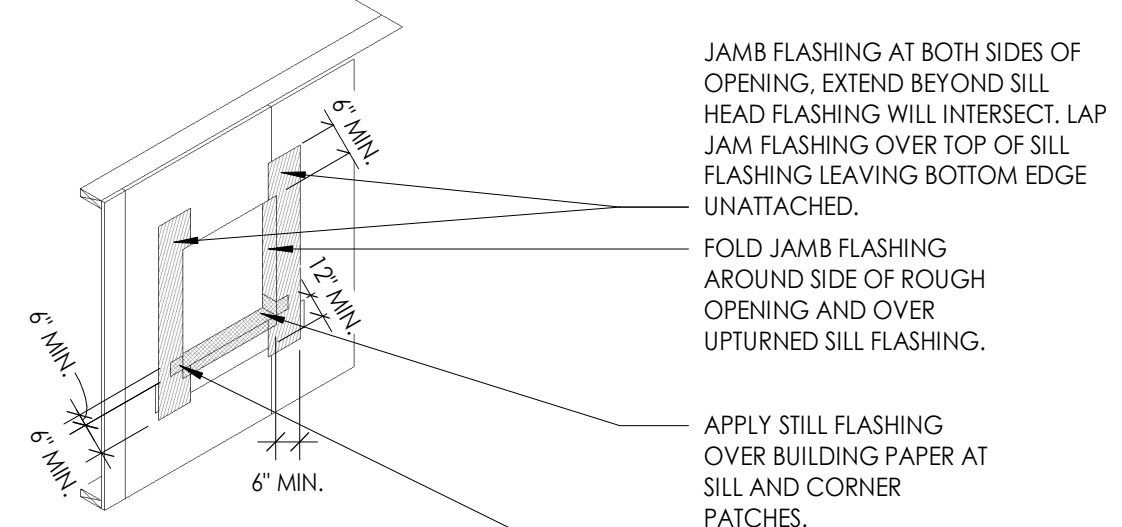
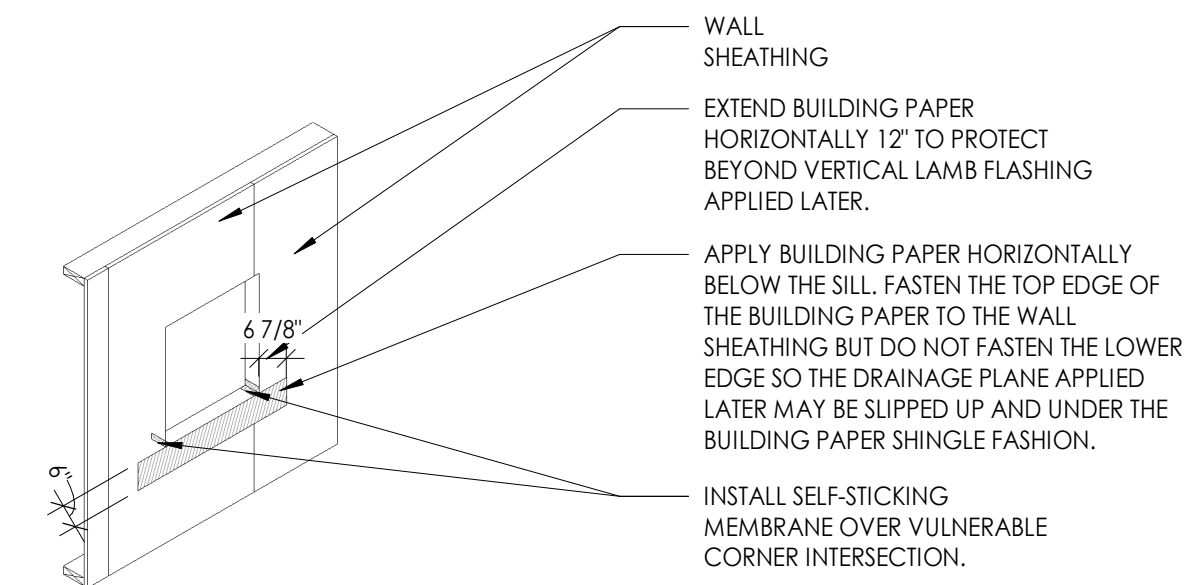
SCALE 1" = 1'-0"



**1 MASONRY CONTROL JOINT DIAGRAM**

SCALE 3/4" = 1'-0"

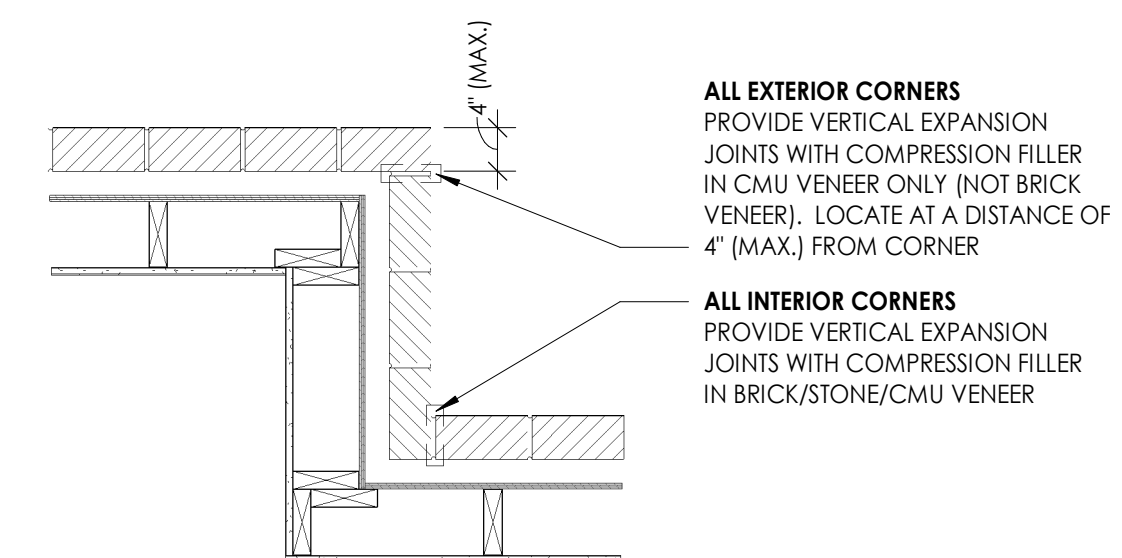
- CMU VENEER CONTROL JOINTS**  
PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS:
1. AT 20' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE.
  2. AT ALL EXTERIOR CORNERS. LOCATE AT A DISTANCE OF 4" (MAXIMUM) FROM CORNER.
  3. AT ALL INTERIOR CORNERS.
  4. ADDITIONAL JOINTS SHALL BE LOCATED PER THE MASONRY ADVISORY COUNCIL'S RECOMMENDATIONS FOR CRACK CONTROL IN CMU VENEERS.
  5. PROVIDE ADDITIONAL LADDER REINFORCING AT 16' O/C MAXIMUM.
- BRICK/STONE VENEER CONTROL JOINTS**  
PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS:
1. AT 20' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITH OPENINGS.
  2. AT 25' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITHOUT OPENINGS.
  3. AT ALL INTERIOR CORNERS.
  4. ADDITIONAL JOINTS SHALL BE LOCATED PER THE RECOMMENDATIONS OF THE BRICK INDUSTRY ASSOCIATION'S TECHNICAL NOTES 18A DATED NOVEMBER 2006.



SHIM AND ADJUST WINDOW TO ACHIEVE SQUARE, PLUMB AND LEVEL CONDITION. USE CORROSION RESISTANT FASTENERS NO CLOSER THAN 3" FROM EVERY CORNER. SECURE WINDOW AROUND FRAME OPENING WITH EQUIVALENT OF 4D FASTENERS AT 16" O.C. MAXIMUM OR AS REQUIRED BY LOCAL ORDERS.

**3 WINDOW FLASHING DETAIL**

SCALE 1/4" = 1'-0"



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**REVISIONS**

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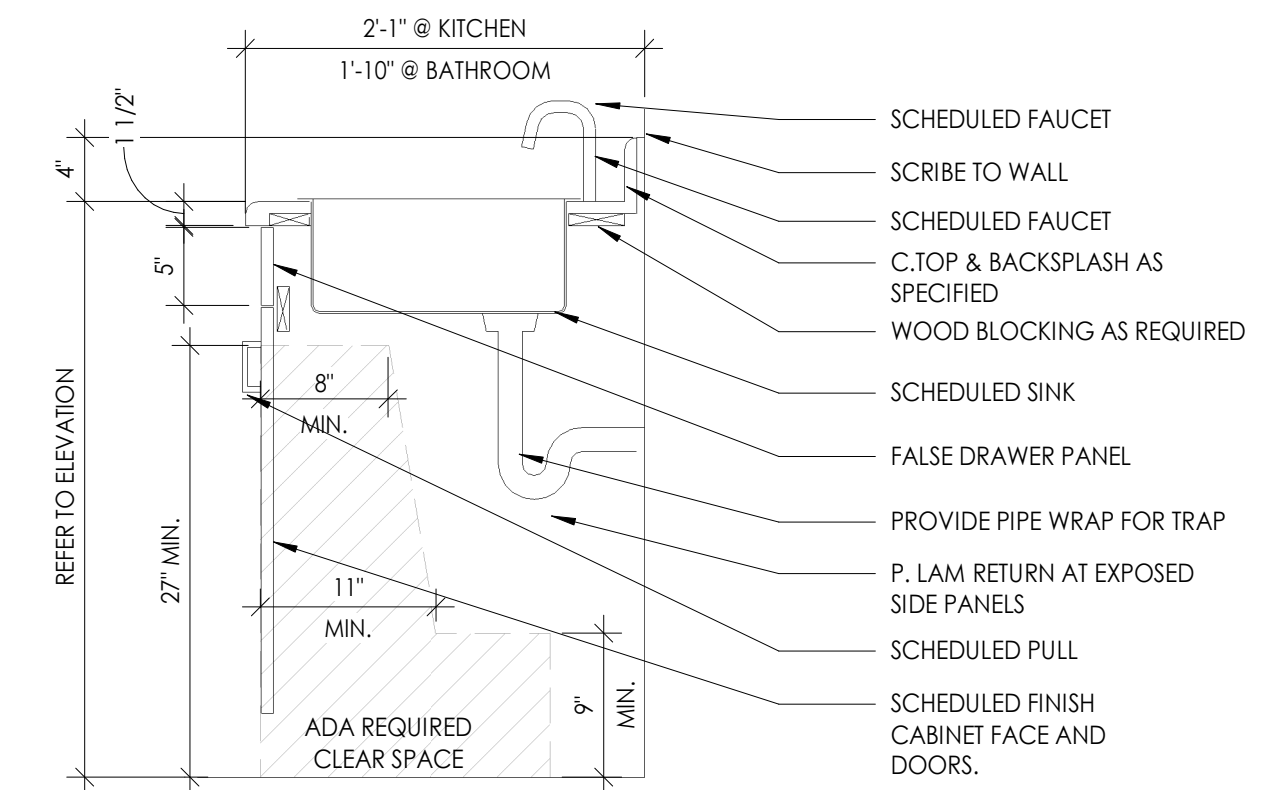
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

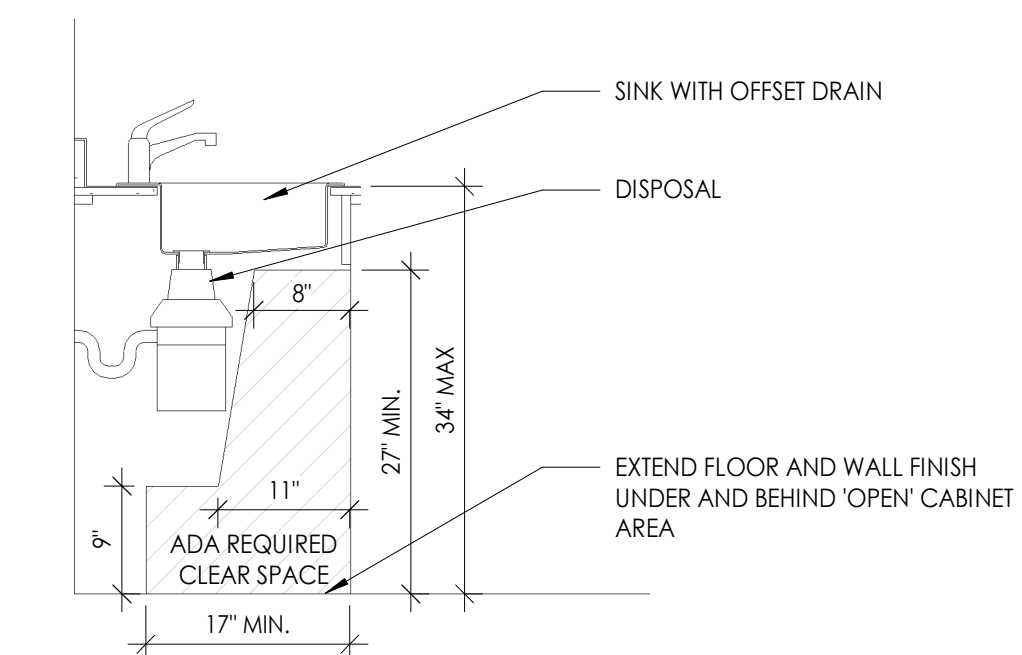
PROJECT DETAILS - INTERIOR

**A901**



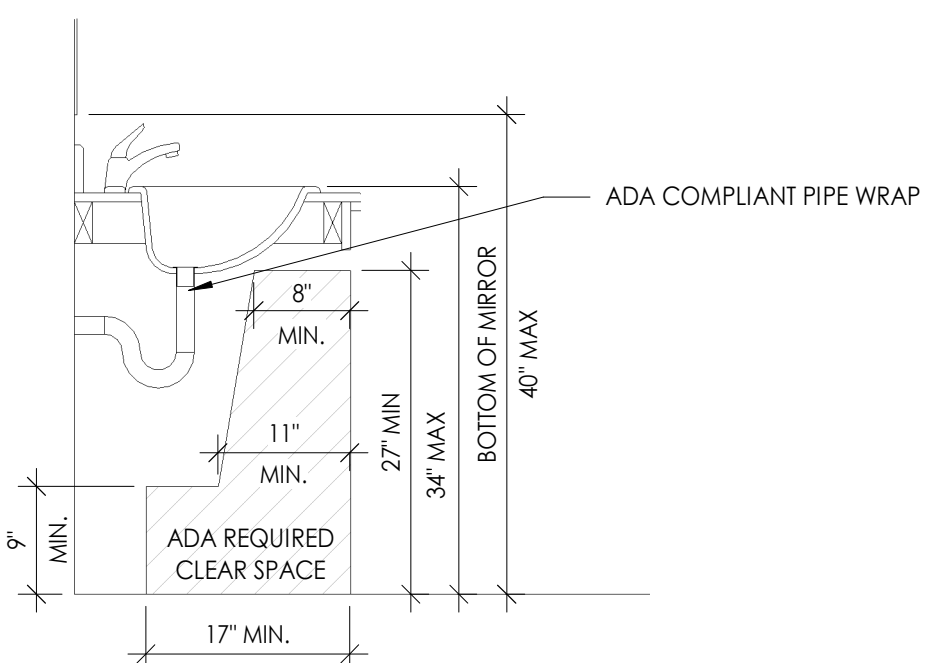
**4 BASE CABINET - ADA SINK CABINET**  
SCALE 1" = 1'-0"

SCALE 1" = 1'-0"



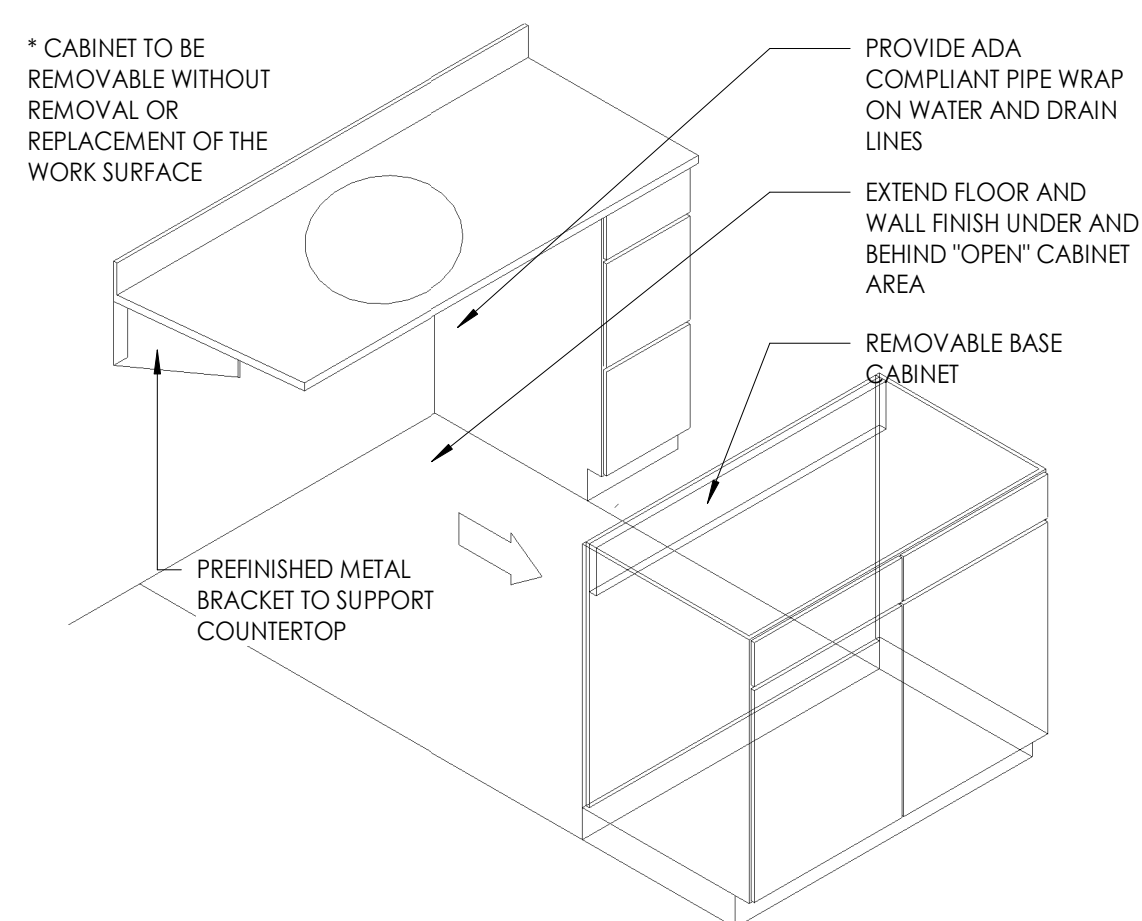
**3 KITCHEN SINK CLEARANCES**  
SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"



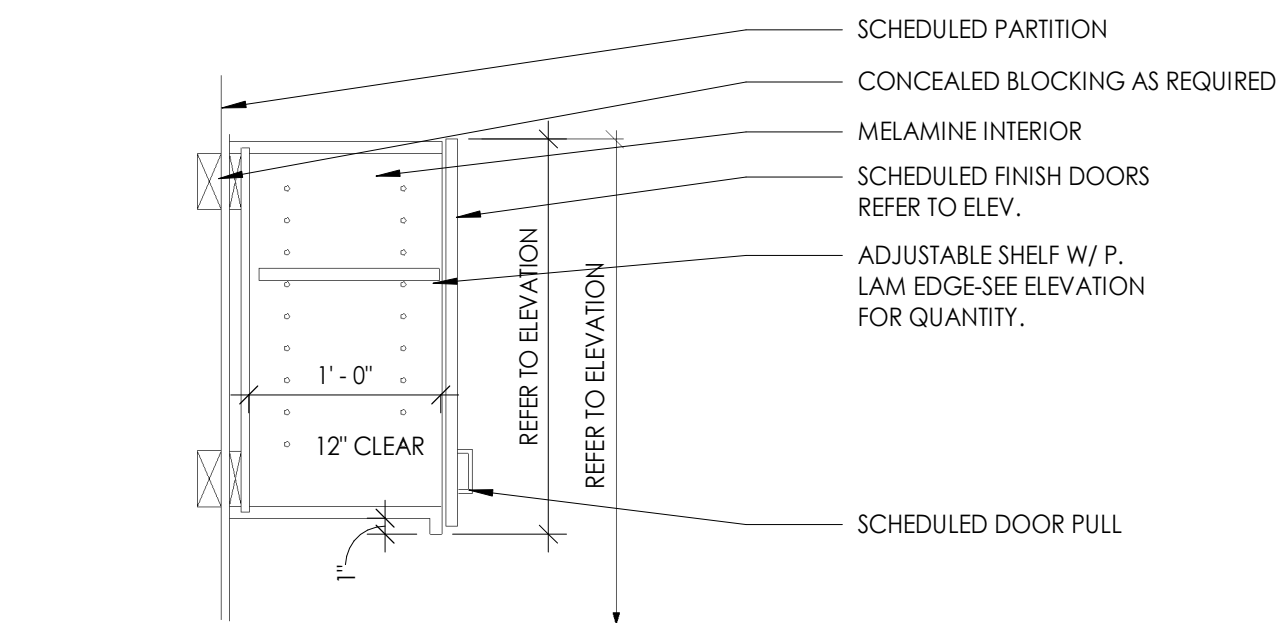
**2 ADA TOE & KNEE CLEARANCES**  
SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"



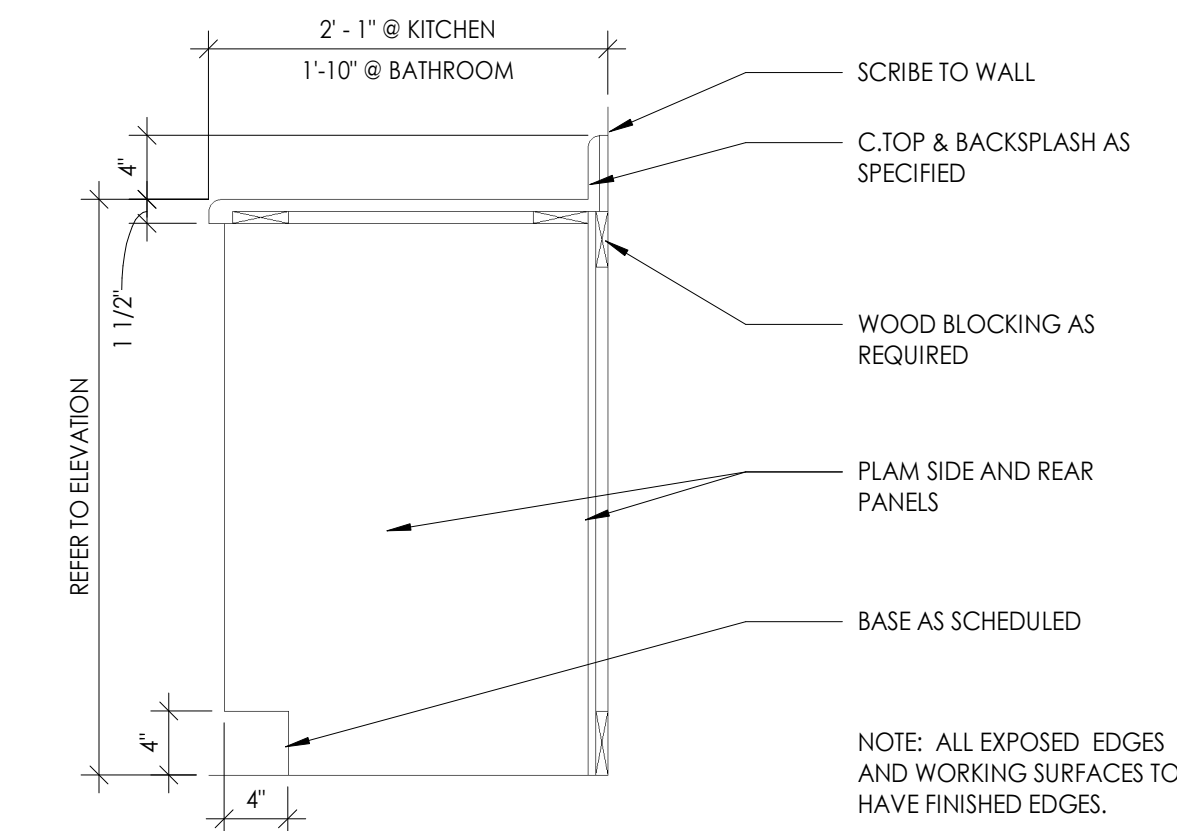
**1 REMOVABLE BASE CABINET**  
SCALE 1/2" = 1'-0"

SCALE 1/2" = 1'-0"



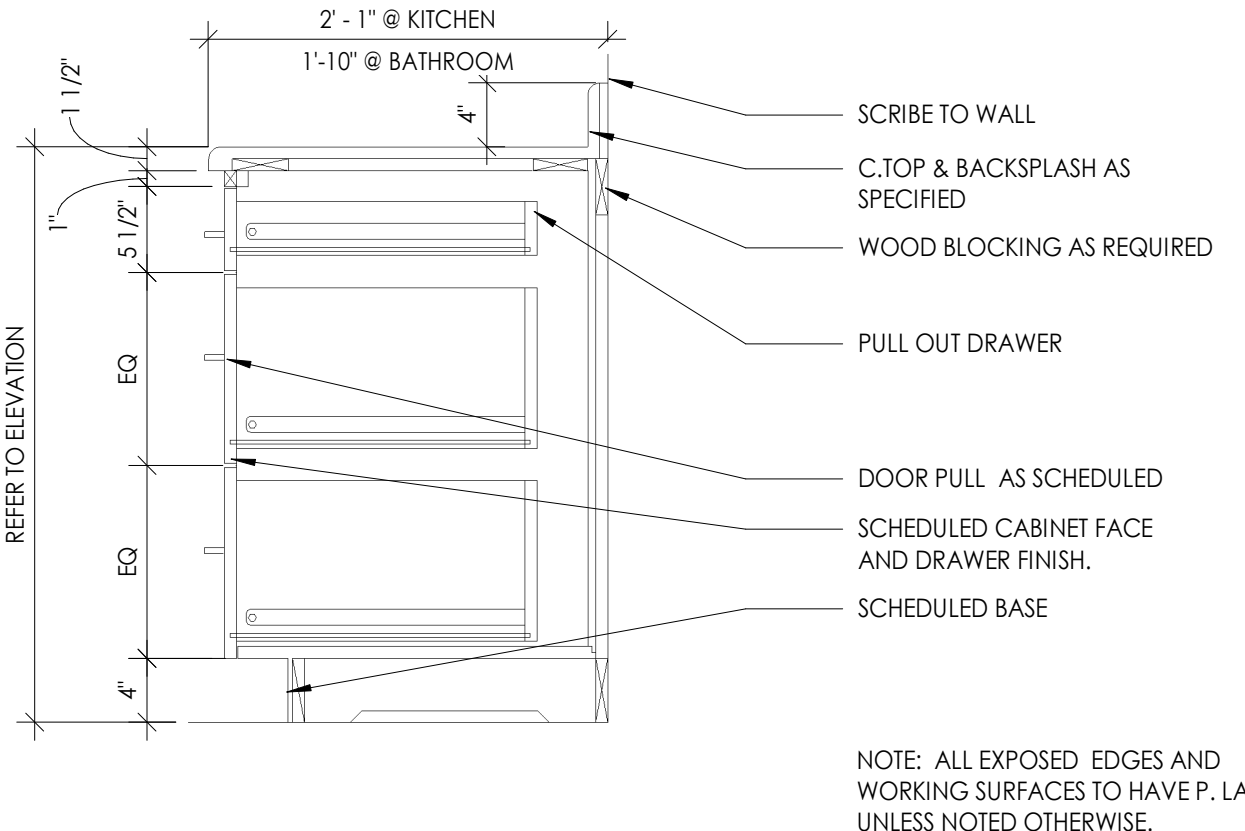
**8 OVERHEAD CABINET**  
SCALE 1" = 1'-0"

SCALE 1" = 1'-0"



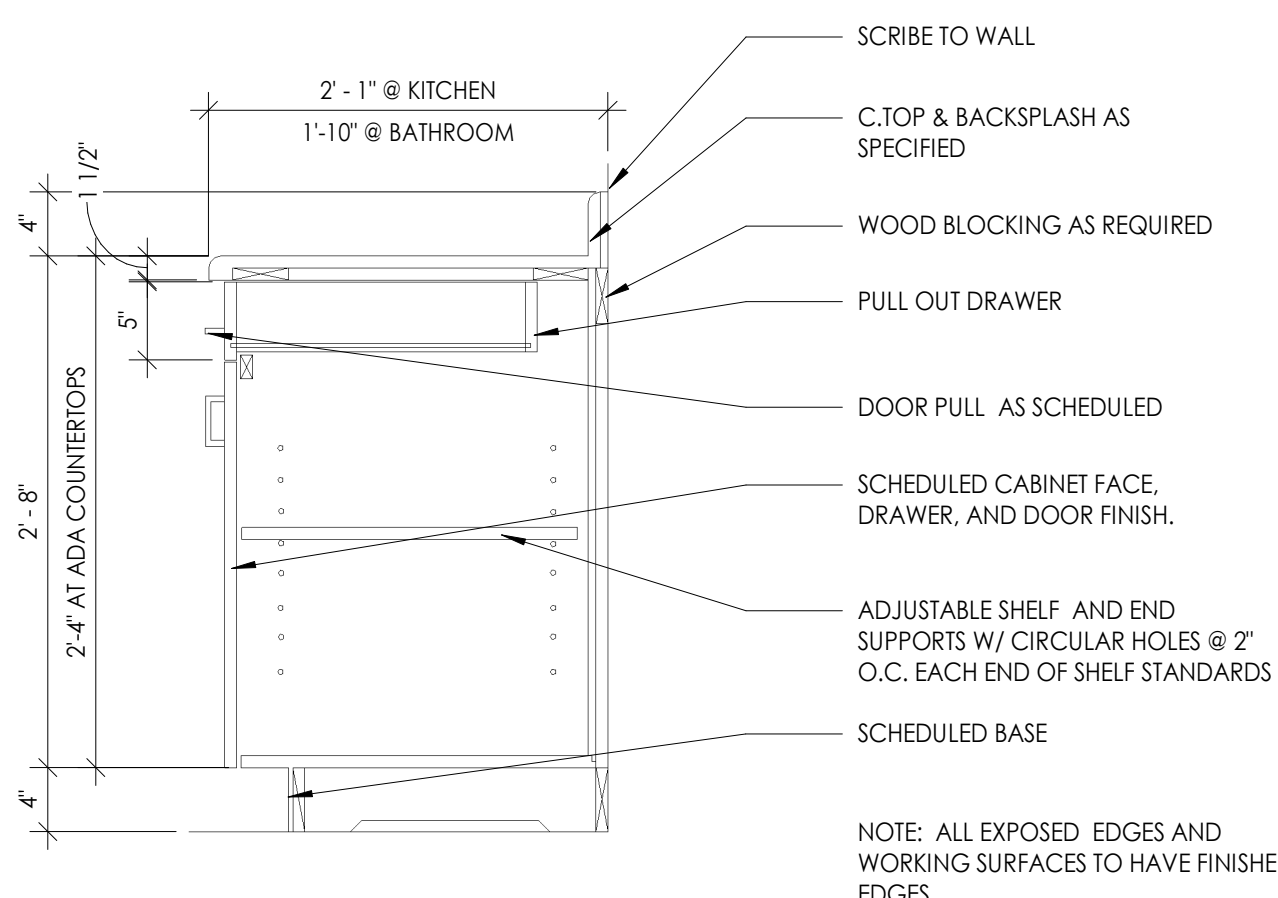
**7 OPENING AT REMOVABLE CABINET**  
SCALE 1" = 1'-0"

SCALE 1" = 1'-0"



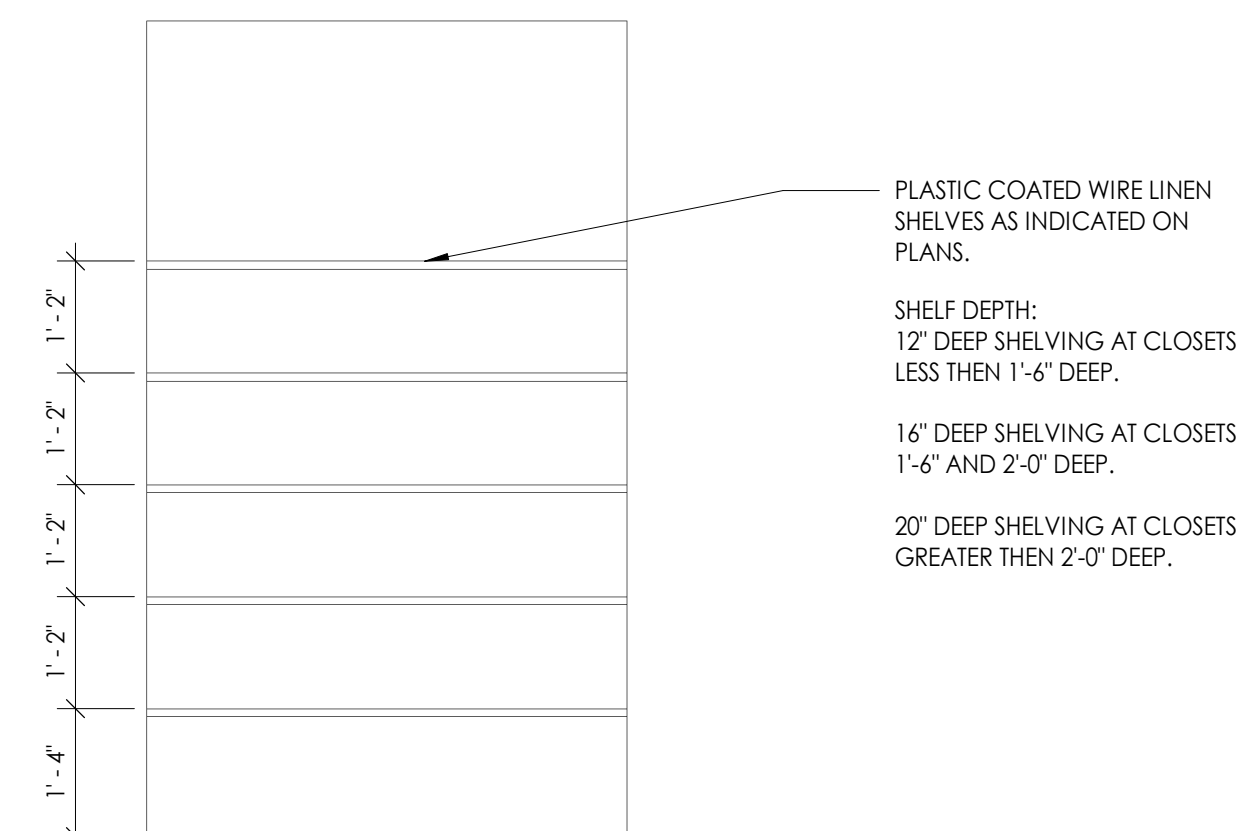
**6 BASE CABINET - 4 DRAWERS**  
SCALE 1" = 1'-0"

SCALE 1" = 1'-0"



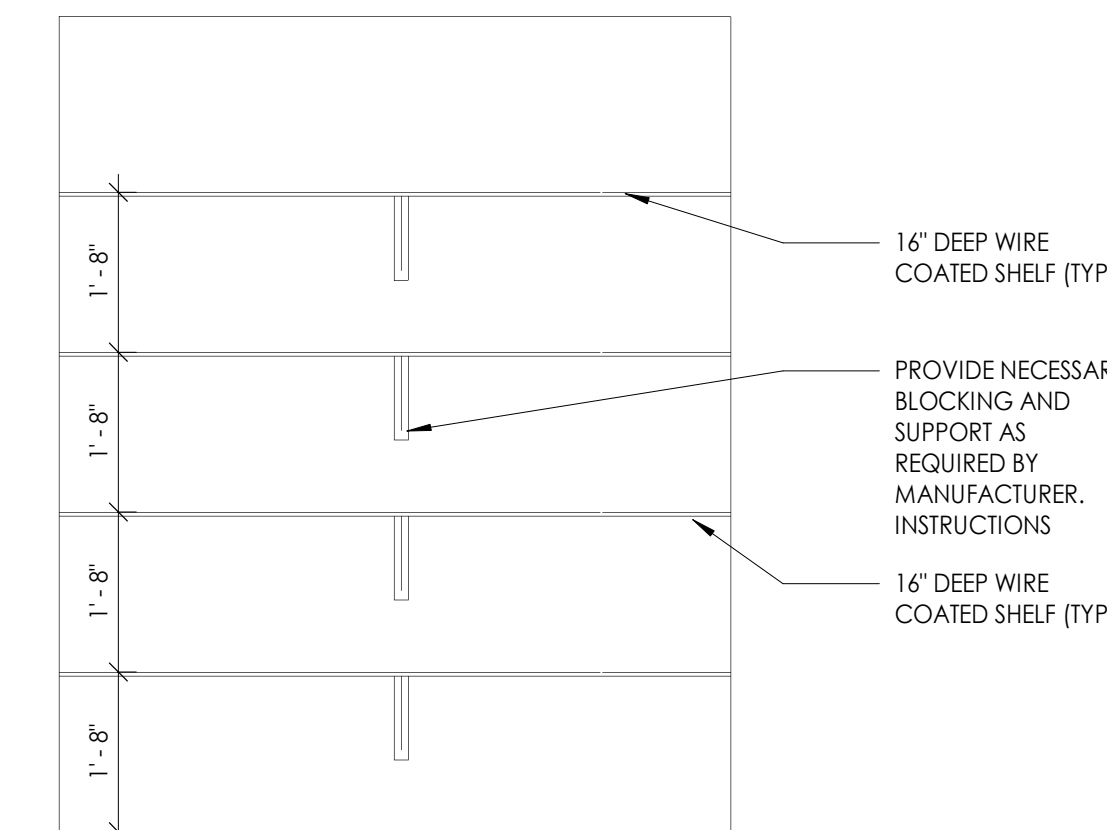
**5 BASE CABINET DOOR AND DRAWER**  
SCALE 1" = 1'-0"

SCALE 1" = 1'-0"



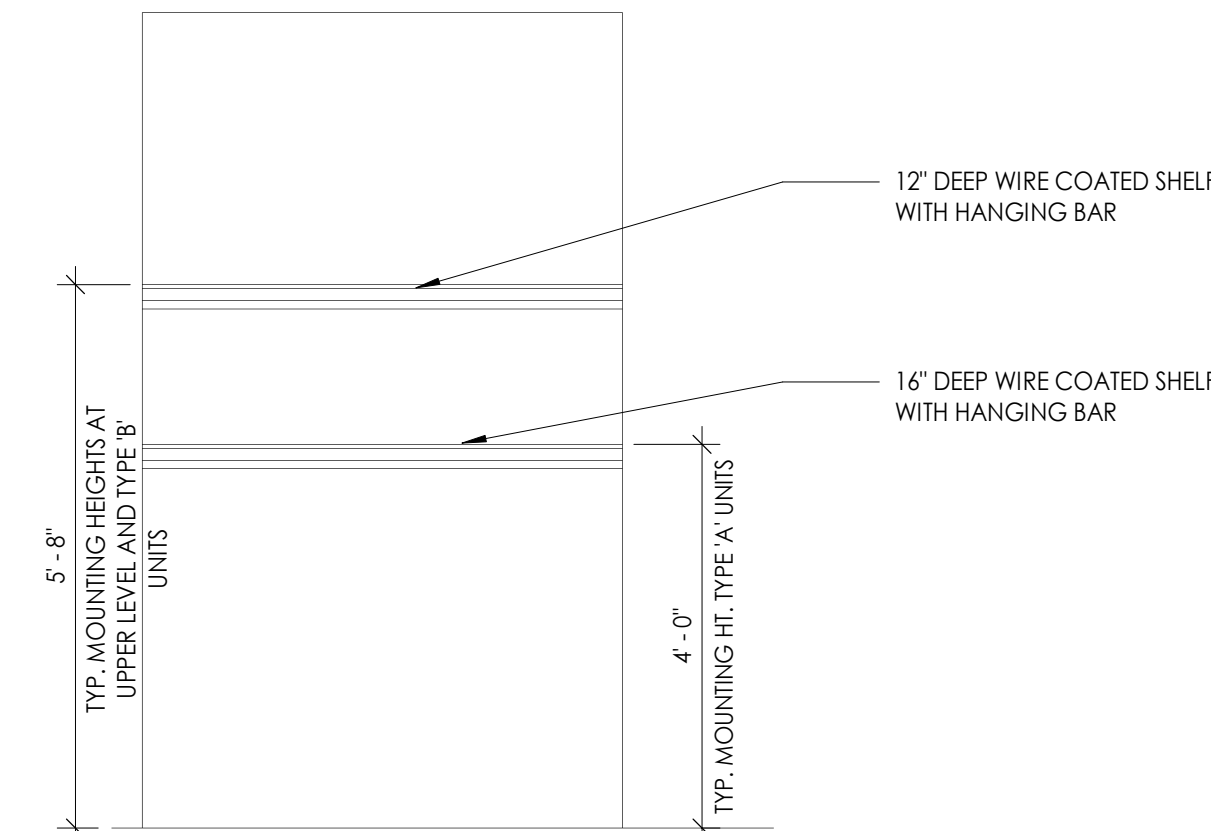
**12 LINEN SHELVES**  
SCALE 1/2" = 1'-0"

SCALE 1/2" = 1'-0"



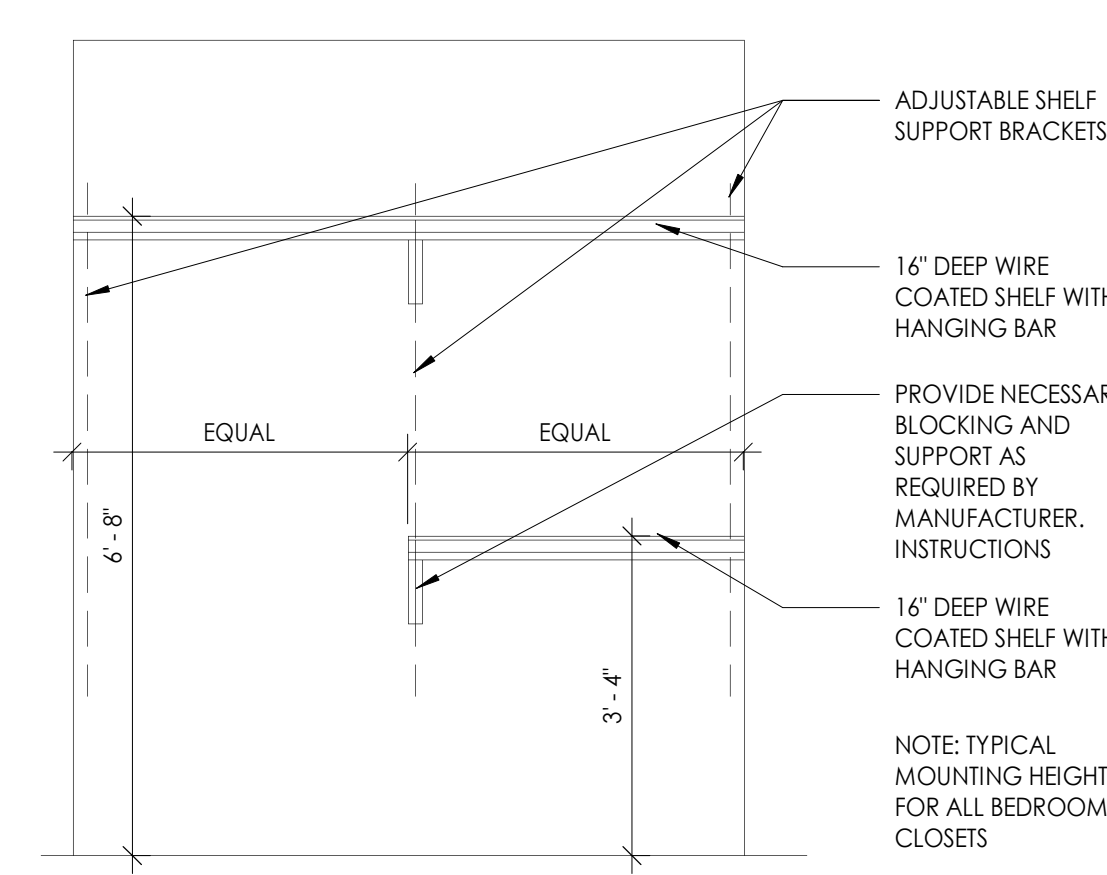
**11 PANTRY/LINEN CLOSET SHELVING**  
SCALE 1/2" = 1'-0"

SCALE 1/2" = 1'-0"



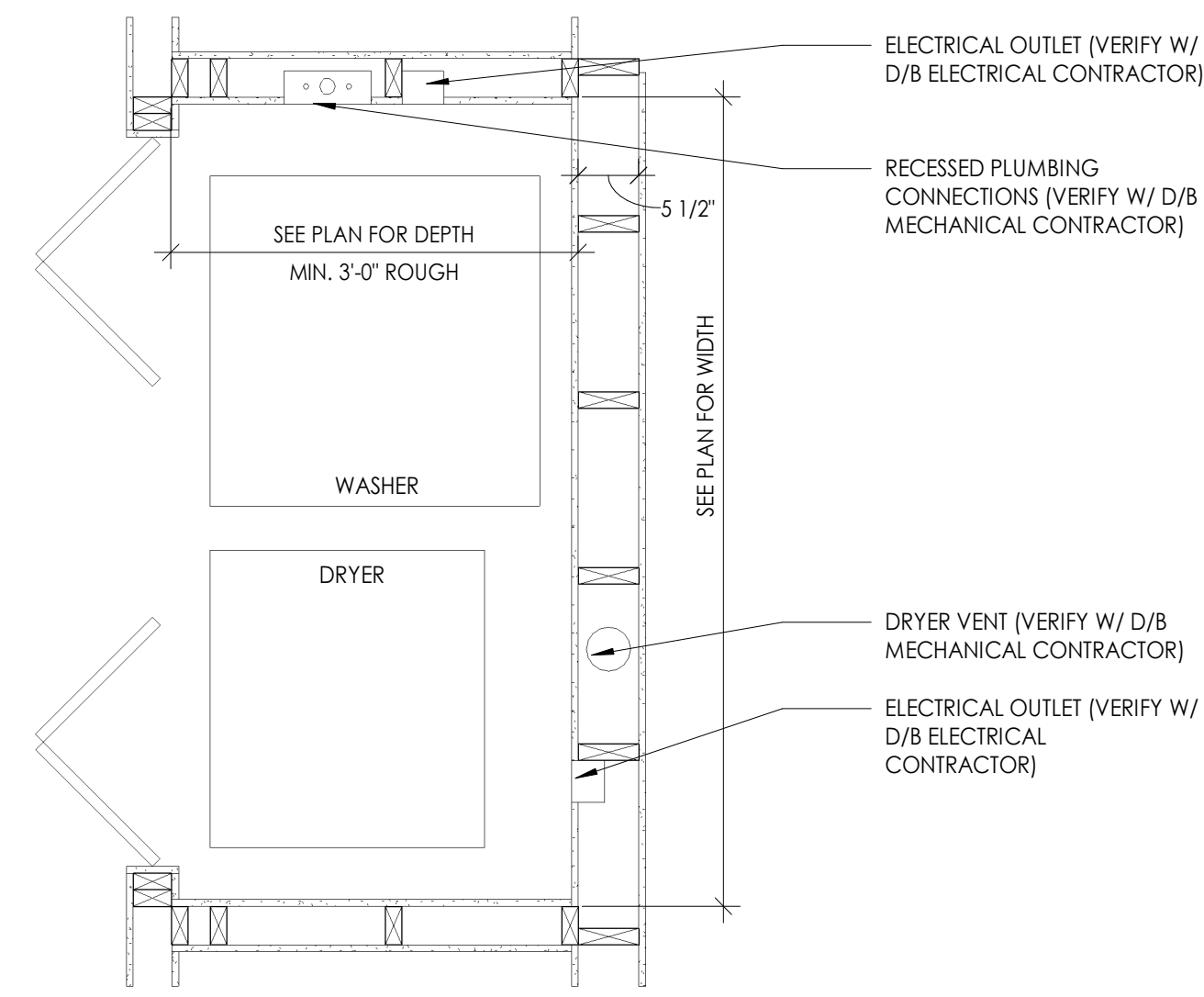
**10 COAT CLOSET SHELVING**  
SCALE 1/2" = 1'-0"

SCALE 1/2" = 1'-0"



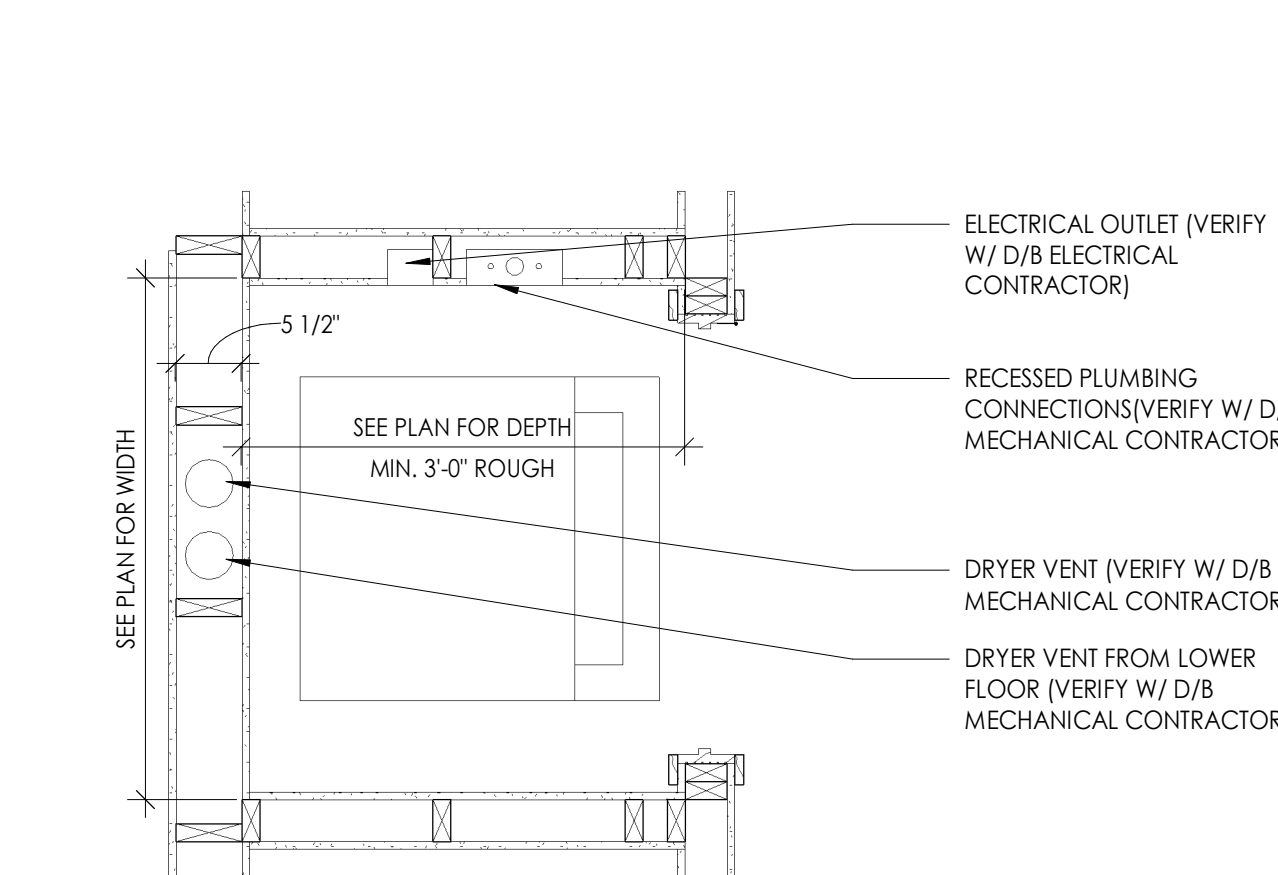
**9 BEDROOM/WALK-IN CLOSET SHELVING**  
SCALE 1/2" = 1'-0"

SCALE 1/2" = 1'-0"



**14 WASHER / DRYER CLOSET**  
SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"



**13 WASHER / DRYER STACKED CLOSET**  
SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"

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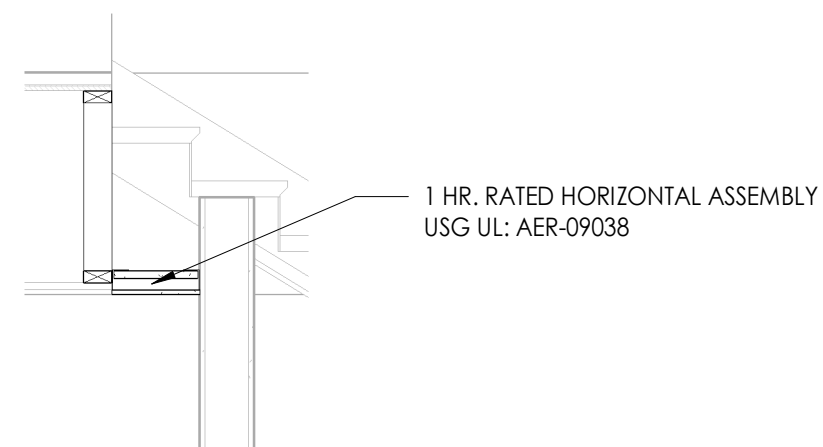
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
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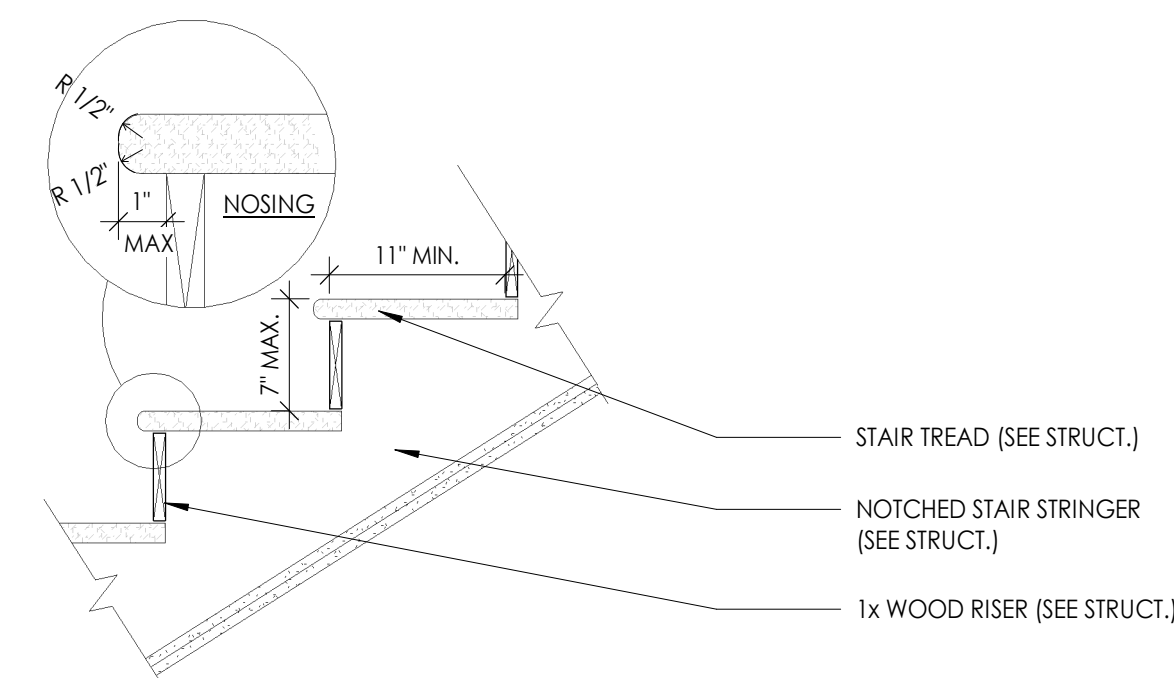
**SHEET**

PROJECT DETAILS - STAIR DETAILS

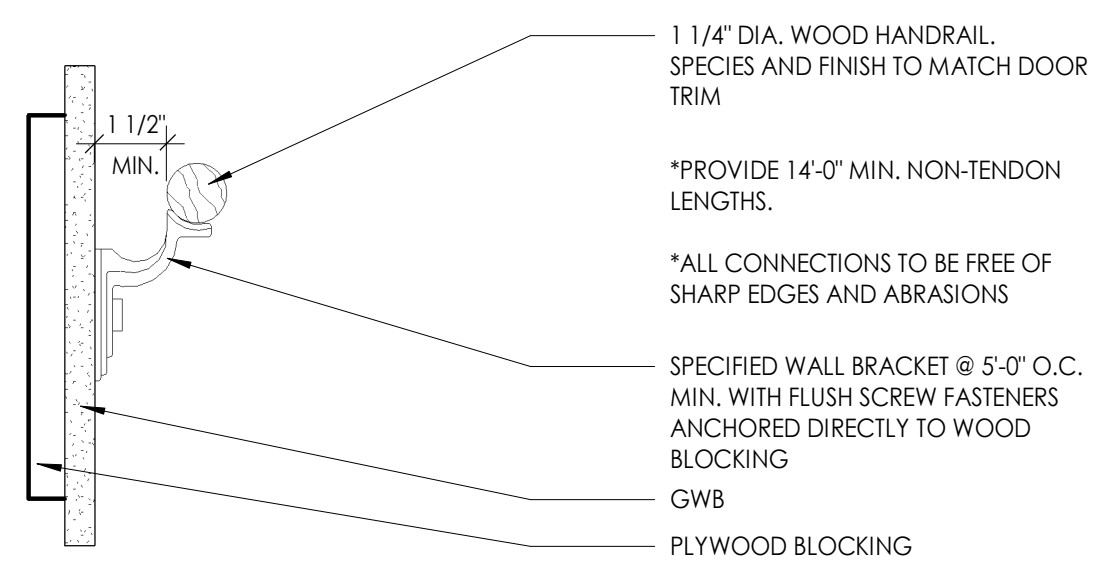
**A902**



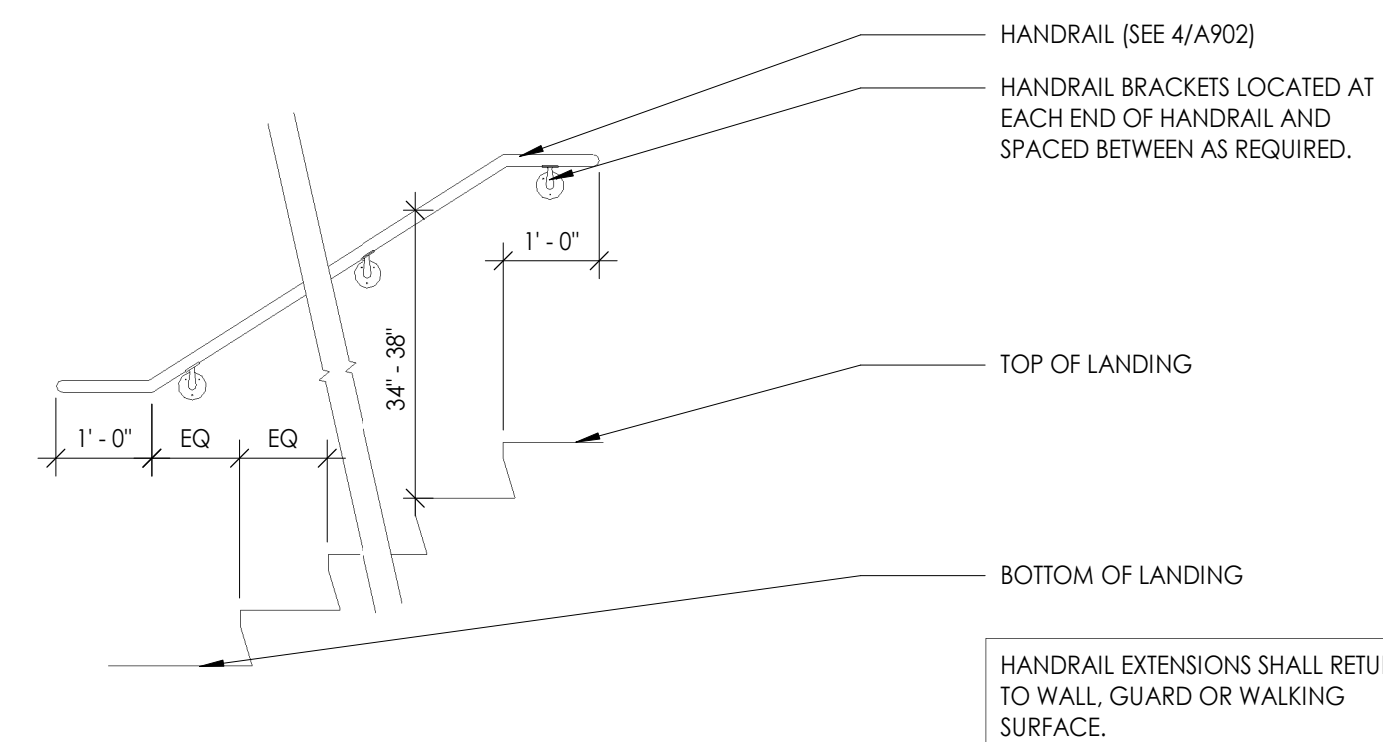
**5 FIRE RATED STAIR SOFFIT**  
SCALE 1/2" = 1'-0"



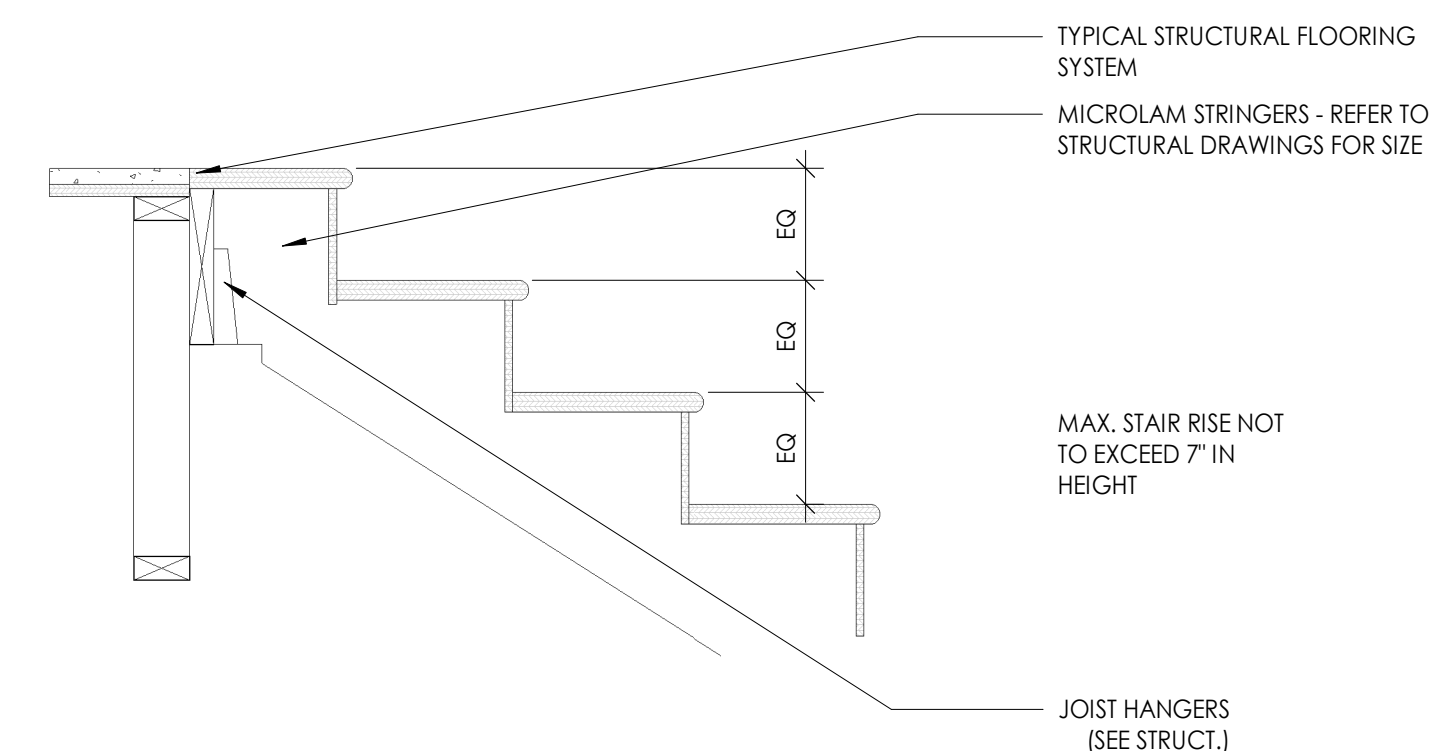
**4 STAIR NOSING DETAIL**  
SCALE 1" = 1'-0"



**3 STAIR HANDRAIL PROFILE**  
SCALE 3" = 1'-0"



**2 STAIR HANDRAIL DETAIL**  
SCALE 1/2" = 1'-0"



**1 TOP OF STAIR**  
SCALE 1" = 1'-0"