



# City of West Allis

## Meeting Agenda

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

Wednesday, September 25, 2024

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

#### REGULAR MEETING

#### A. CALL TO ORDER

#### B. ROLL CALL

#### C. APPROVAL OF MINUTES

1. [24-0541](#) August 28, 2024

Attachments: [August 28, 2024 \(draft minutes\)](#)

#### D. NEW AND PREVIOUS MATTERS

- 2A. [24-0549](#) Conditional Use Permit for Woodlands School, a proposed K-8 elementary school at 1562 S. 72nd St.
- 2B. [24-0550](#) Site, Landscaping, and Architectural Design Review for Woodlands School, a proposed K-8 elementary school at 1562 S. 72nd St. (Tax Key No. 453-0223-001)

Attachments: [\(CUP-SLA\) Woodlands School Data Package](#)

3. [24-0551](#) Site, Landscaping, and Architectural Design Review for façade property at 7113 W. National Ave. (Tax key Parcel: 453-0609-000)

Attachments: [\(SLA\) 7113 W National Ave](#)

4. [24-0552](#) Site plan for proposed demolition plan at 6901 W. Beloit Rd. (Tax key Parcel: 489-0037-000)

5. [24-0553](#) Ordinance to Amend Chapter 19 of the West Allis Municipal Code, relative to certain automotive uses.

Attachments: [\(ORD\) CUP criteria vehicle services 9-25-24](#)

6. [24-0554](#) Ordinance to Amend Chapter 19 of the West Allis Municipal Code, relative to massage therapy uses.

Attachments: [\(ORD\) LUP massage therapy 9-25-24](#)



7. [24-0566](#) Revised Site, Landscaping, and Architectural Design Review for an accessory parking facility, at 9422-30 W. National Ave. submitted by John Fuchs and Nick Fuchs on behalf of Source One Enterprise LLC (Tax Key No. 479-0674-003).

**Attachments:** [\(SLA\) Revised parking 9422 W National Ave](#)  
[\(SLA\) plan exhibit 9422 W National Ave](#)

8. [24-0555](#) Project Tracking.

## E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

### NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

### NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

### AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

### LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.





# City of West Allis

## Meeting Minutes

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

Wednesday, August 28, 2024

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

#### REGULAR MEETING (draft minutes)

#### A. CALL TO ORDER

#### B. ROLL CALL

**Present** 8 - Wayne Clark, Brian Frank, Eric Torkelson, Jessica Katzenmeyer, Brandon Reinke, Kathleen Dagenhardt, David Raschka, Lisa Coons

#### C. APPROVAL OF MINUTES

1. [24-0507](#) July 24, 2024

**Attachments:** [July 24, 2024 \(draft minutes\)](#)

Clark moved to approve this matter, Katzenmeyer seconded, motion carried.

#### D. NEW AND PREVIOUS MATTERS

- 2A. [24-0500](#) Conditional use permit for North Shore Bank, an existing Neighborhood Service with accessory drive-through service, located at 10533 W. National Ave.

Clark moved to approve Agenda items #2A-#2C, Frank seconded, motion carried.

- 2B. [24-0501](#) Site, Landscaping, and Architectural Design Review for North Shore Bank, an existing Neighborhood Service with accessory drive-through service, located at 10533 W. National Ave. (Tax Key No. 519-0002-006)

Clark moved to approve Agenda items #2A-#2C, Frank seconded, motion carried.

- 2C. [24-0502](#) Certified Survey Map to split the existing parcel at 10533 W. National Ave. into 2 parcels. (Tax Key No. 519-0002-006)

**Attachments:** [\(CUP-SLA-CSM\) NorthShoreBank](#)

Items 2A, 2B & 2C were taken together and presented by Jack Kovnesky.

*Recommendation: Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for North Shore Bank, a proposed Food Production use, at 2201 S. 84th St. (Tax Key No. 478-0538-000) subject to the following conditions:*

*(Items 1-5 required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)*

1. Common Council approval of the Conditional Use Permit and Certified Survey Map (Sept 17, 2024)
2. A certified survey map being submitted to the Planning & Zoning office to divide the



existing parcel into two parcels

3. A revised site plan being submitted to the Planning & Zoning office showing: (a) coordination of driveway modifications along W. National Ave.; (b) details for a bike rack subject to [Section 19.44 <https://westallis.municipalcodeonline.com/book?type=ordinances>](https://westallis.municipalcodeonline.com/book?type=ordinances) of the Zoning Code
4. Compliance with City Forestry standards to ensure survivability of any City trees modified as part of the project
5. A [Street excavation permit <https://westalliswi.viewpointcloud.io/>](https://westalliswi.viewpointcloud.io/) being applied for in OpenGov prior to work beginning. Any concrete work in the right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367. W. Oklahoma Ave.
6. Signage plans being reviewed for compliance and subject to permitting.

**Clark moved to approve Agenda items #2A-#2C, Frank seconded, motion carried.**

**3A. [24-0503](#)**

Conditional Use Permit for Angela's Lil Angels, a proposed Group Child Care Center, at 1112 S. 60th St.

**Clark moved to approve Agenda items #3A & #2B, Frank seconded, motion carried.**

**3B. [24-0504](#)**

Site, Landscaping, and Architectural Design Review for Angela's Lil Angels, a proposed Group Child Care Center, at 1112 S. 60th St. (Tax Key No. 438-0252-000)

**Attachments:** [\(CUP-SLA\) Angela's Lil Angels - 1112 S. 60th St.](#)

*Items #3A & #3B were taken together and presented by Emily Wagner.*

*The Plan Commission recommended having a loading-zone for drop off along S. 60 St., and expressed concerns regarding the lighting plan - safety concern with narrow driveway and the traffic along S. 60 St. Staff indicated this is a walkable neighborhood with access to street parking on Washington St. & Scott St. along with a drop off area behind the building off of S. 60 St.*

*The applicant was presented and indicated there is room for 50 kids, confirmed video cameras is a state requirement, and stated any and all children are allowed.*

*Recommendation: Common Council approval of the Conditional Use Permit and Site, Landscaping, and Architectural amendment for Angela's Lil Angels, a proposed group childcare center, at 1112 S. 60th St. (Tax Key No. 438-0252-000), subject to the following conditions:*

1. A revised Site and Architectural Plan being submitted to the Planning and Zoning Office to show the following: (a) confirmation of existing and proposed landscaping and screening efforts through the submission of a detailed landscaping plan (b) refuse location and 4-sided screening details being shown on site plan.
2. Signage and lighting plans subject to Planning design review and permitting.
3. The applicant shall apply for a change of use submittal to be reviewed and approved by the Code Enforcement department prior to occupancy. Please contact Robert Woodard at 414-302-8408 for more information.
4. Loading-zone for drop off along S. 60 St.

**Clark moved to approve Agenda items #3A & #2B, Frank seconded, motion carried.**



4. [24-0505](#) Sign Appeal for Spirit Halloween, a proposed General Retail use, at 6731 W. Greenfield Ave.

**Attachments:** [\(Sign Appeal\) Spirit Halloween - 6731 W. Greenfield Ave.](#)

*Emily Wagner presented.*

***Recommendation:*** *Approve the signage plan appeal for Spirit Halloween, a proposed General Retail use, located at 6731 W Greenfield Ave. (Tax Key No. 453-9018-001) without conditions.*

**Clark moved to approve this matter, Frank seconded, motion carried.**

5. [24-0506](#) Ordinance to Amend Section 12.70 of the West Allis Revised Municipal Code, relative to Flood Control District.

**Attachments:** [\(ORD\) Floodplain ordinance updates](#)

*Plan Commissioners recommend Option 1 (ACT 175)*

***Recommendation:*** *Common Council approval of an Ordinance to Amend Section 12.70 of the West Allis Revised Municipal Code, relative to Flood Control District.*

**Clark moved to approve this matter, Dagenhardt seconded, motion carried.**

## E. ADJOURNMENT

*There being no other business, a motion was made by Clark, seconded by Katzenmeyer to adjourn at 6:41 p.m.*





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**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, September 25, 2024**  
**Common Council Chambers**  
**6:00 PM**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

- 2A. Conditional Use Permit for Woodlands School, a proposed K-8 elementary school at 1526 S. 72 St.**
- 2B. Site, Landscaping, and Architectural Design Review for Woodlands School, a proposed K-8 elementary school at 1526 S. 72 St. (Tax key Parcel: 453-0223-001)**

**Overview and Zoning**

Woodlands School, Inc. is a Wisconsin public charter school authorized by the University of Wisconsin, Milwaukee. Woodlands currently operates two 4-year-old Kindergarten through eighth grade elementary schools serving 500 students at 5510 W. Bluemound Road and 3121 W. State St. in Milwaukee. Woodlands is seeking to move to the proposed location of 1526 S. 72nd St. to consolidate the two campuses into one. Staffing of about 60-70 employees.

This was the location of Holy Assumption School from 1957 until its closing in 2000, with a school size of 103 students. The property has been vacant for several years until the building was occupied by a different educational institution, the Academy of Excellence, briefly in 2004. Since the Academy's relocation, the building has remained vacant in terms of tenancy; though small classroom operations such as Sunday school have been held in the building's lower-level classrooms.

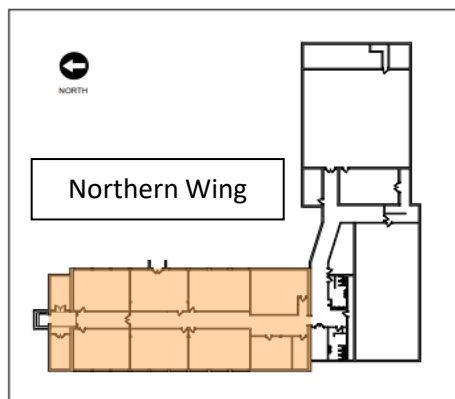


The school's hours of operation will generally be Monday through Friday from 7:45 a.m. until 3:15 p.m. for instruction, with after-school services operating until 6 p.m. The applicants intend to begin project construction in the fall or winter of 2025 and anticipate that construction will end by May of 2025, pending plan approval.

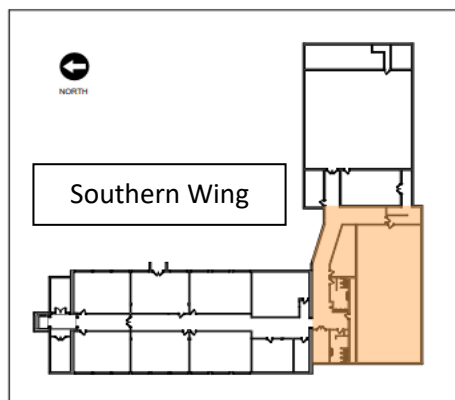
The property is zoned RB and supports 25,448 square foot area building. School uses require a conditional use permit in the RB zoning district. Although there are no additional conditional use criteria listed for school uses, the plans will be open to a public hearing prior to Common Council approval due to the conditional use designation. The applicants are engaging the community in a neighborhood meeting on Tuesday, September 24th, at 7 p.m. at the West Allis Rec Department as a proactive measure to gauge support for the proposal.



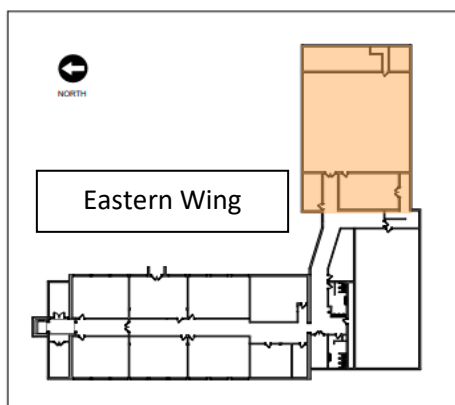
## Floor Plan



**Northern Wing:** The northern wing of the building is intended to accommodate 16 multi-age classrooms for five combined grade levels across the three floors of this wing. In addition to these classrooms, this wing will also accommodate a music room, an art room, a science room, a library, a custodian workspace, and two offices. This wing will also feature a proposed new elevator along the northern wall of the building, adjacent to stairwell access for students and staff. A new exterior ramp will be constructed at the student entrance of this wing.



**Southern wing:** This wing of the building will be the site of the most interior renovations. The basement level of this wing will be used for a boiler room and restrooms. The first floor of this wing will accommodate updated, ADA-compliant restroom facilities, as well as four K4/K5 classrooms, with access established to the K4/K5 fenced-in outdoor play area on this level. The second floor of this wing was previously used as living quarters for church staff and will need to undergo renovations to accommodate its new use as staff offices. Sink and plumbing fixtures will be removed, with additional room renovations to create 11 offices, a conference room, a staff lounge, a nurse's office, and restrooms.

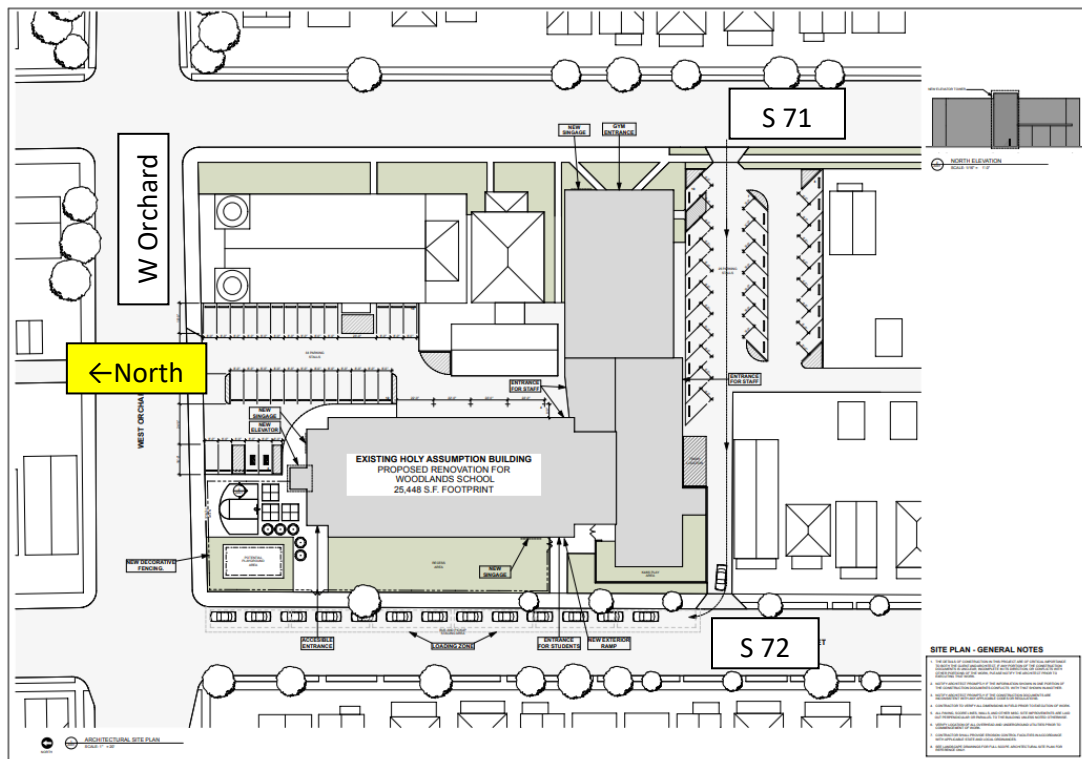


**Eastern wing:** The eastern wing has an established cafeteria and kitchen on the lower level. The first floor of this wing has the larger of the two gymnasiums and restrooms, while the second floor includes a smaller gymnasium to allow for an additional area for a stage.

Generally, all wings can be expected to receive updated lighting fixtures, ADA-compliant restroom stalls, updated plumbing fixtures, and refreshed wall finishes as needed.



## Landscaping Plan



**Landscaping and Play Areas:** While no landscaping plan has been formally submitted for review, some existing landscaping features and the proposed use of these features have been identified through a site plan. The northern-facing side of the lot is currently an expanse of asphalt intended for parking, play courts, and a potential fenced-in playground area in the northwestern corner of the property. The state of the asphalt requires light repair, and the adjacent sidewalk is notably cracked and pitted, potentially posing an accessibility challenge.

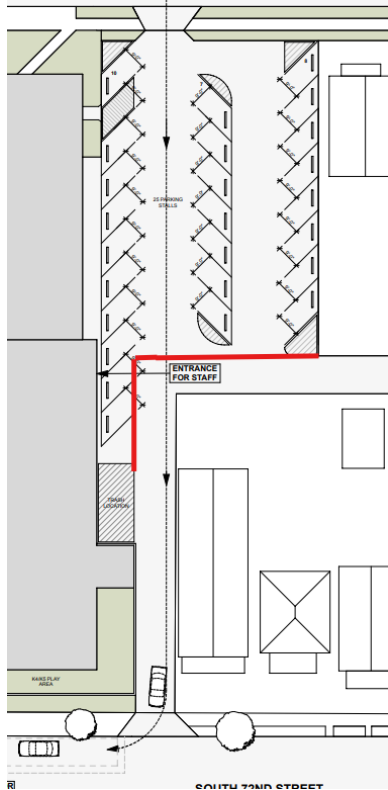
The eastern portion of the property is flanked by grass lawns that require reseeding in some areas, along with another staff parking lot in the southeast corner of the property. This parking lot and the southern thoroughway onto 72nd Street are in similar condition to that of the northern staff lot, with light repairs needed. The western edge of the property will facilitate a fenced-in K4/K5 play area, as well as a larger fenced-in recess area. The sidewalk abutting this side of the property is again cracked and pitted, requiring repair. Additional information will be required to provide more landscaping details within the playground areas, eastern lawns, parking surfaces, sidewalks, and any intended landscaping improvements, subject to technical review and approval by staff.

**Signage and Lighting:** New signage is proposed in several locations on the site plan. Two wall signs are proposed—one facing S. 72nd St. and one facing S. 71st St. There are existing outdoor lighting features near several entrances of the building, but some may be out of working condition and in need of replacement. Staff recommends the submission of a signage plan as well as a lighting plan.

**Refuse Container Location and Screening:** The location of refuse containers is proposed along the southern wing of the building. Although the location of the containers is shown, the method of screening is not indicated in the application. Staff recommend that the applicant provide these details for review.

**Fencing:** Decorative fencing will partition the recess and playground areas from adjacent uses, such as the staff parking lot, while screening play areas from both S. 72nd St. and W. Orchard St. The height and





type of fencing materials is not indicated on these plans and should be provided by the applicant for review prior to issuing a **fence permit**. Additionally, there is a small chain link fenced area with barbed wire in need or replacement on the southern of the gymnasium. Staff recommends the removal of the barbed wire and the replacement of this fencing with an alternative material to chain link fencing.

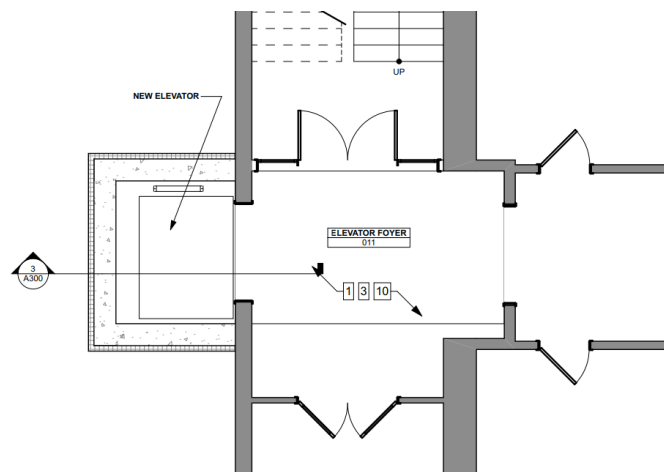
**Parking and Alleyway Considerations:** A total of 57 staff parking stalls are accounted for on two parking lots—32 within the northern lot and 25 within the southern lot. Staff recommends additional landscaping measures between the northern lot and W. Orchard St. to screen the lot from the public. The southern parking lot may not be able to accommodate all 25 of these parking stalls, as a city engineer indicated that 2 of these stalls are located within the public alley right-of-way. Considerations regarding snowplowing operations in winter prompt a closer evaluation of this detail. Because of this, staff recommends the submission of an updated southern parking lot plan with the property line shown in relation to the public alley right-of-way.

The applicants have also detailed a proposed loading zone adjacent to the student entrance along S. 72nd St. The applicant must submit a Loading or Special Parking application to obtain a loading zone designation. No bike racks were indicated in the submitted plans. Staff recommends the provision of bicycle parking indicated on the site plan at a rate of “1 bicycle parking space per classroom” per Sec. 19.44(3)a of the Municipal Code.

## Architectural Plan

No major exterior renovations are proposed for the building, though it is pertinent to detail some façade elements in need of repair. Upon a site visit to the property, staff noticed that several windows at various locations along all sides of the building are cracked, broken, or boarded up. The trim surrounding these windows is also in need of repair in certain sections. The submitted plans do not indicate the repair of these exterior features; thus, staff recommend the replacement of broken windows and updates to trim features in need of repair. The roofline coping of the building also shows signs of wear and should be addressed through repair or repainting by the applicant. Staff recommend the applicant submit a description of these repairs.

Architectural elevation drawings have not been submitted by the applicant, as they propose no exterior alterations to the building. Despite this, the submitted plans do indicate the addition of a new elevator along the northern wall of the building. The new elevator will contribute to exterior changes to the building to accommodate the new structure. Because of this, staff recommend that the applicant submit an architectural elevation drawing indicating changes to the building’s exterior to accommodate the new building wall extension for the elevator.





**Recommendation:** Approve the Site, Landscaping, and Architectural Design Review and Conditional Use Permit for Woodlands School, a proposed K-8 elementary school at 1526 S. 72nd St. (Tax Key Parcel: 453-0223-001), subject to the following conditions:

1. A revised Site, Landscaping, and Architectural Plan submitted to the Planning Office to show the following: (a) a landscaping plan indicating existing and proposed features of the site (including a species list); (b) an indication of additional landscaping measures along the northern parking lot abutting W. Orchard St. on the landscaping plan; (c) details of a 4-sided refuse enclosure and screening method being provided; (d) an updated site plan demonstrating alterations to the southern parking lot, showing the property lines in relation to the public alley right-of-way; (e) an updated site plan to show the provision of bicycle parking at a rate of 1 bicycle parking stall per classroom, as required by Sec. 19.44; (f) maintenance updates being confirmed in a scope of work showing the replacement and repair of broken windows, window trim, and roofline coping; (g) an architectural plan indicating details of proposed exterior elevator/lift. Contact Emily Wagner, Planner, at 414-302-8465.
2. Coordination and application for a Loading Zone permit to designate area along S. 72nd St. for the specific purpose of creating a limited parking zone for student pick-up and drop-off.
3. Signage plans to be reviewed for compliance and subject to permitting.
4. Details of new fencing on site, replacement of chain link, and removal of barb wire to be reviewed for compliance and subject to permitting.
5. Photometric lighting plans to be reviewed for compliance and subject to permitting.



Woodlands School, Inc. is a Wisconsin public, charter school authorized by University of Wisconsin, Milwaukee. Woodlands serves 4 year old kindergarten through eighth grade elementary students across Milwaukee county.

### **History**

Founded In 1954 by Alverno College as the Alverno College Elementary School, this precursor to Woodlands provided the students in education and nursing programs at Alverno College an opportunity to study the growth and development of young people using one-way vision glass and guest speakers.

In 1987, after 34 successful years as a laboratory school , Alverno decided to close the elementary school. The staff and families of the over 200 children of the school began the process of continuing the elementary school independently. In 1988 the elementary school was renamed Woodlands School with a new logo using a tree as a symbol of a strong foundation.

In 2003 Woodlands became a public charter school under the supervision of the University of Wisconsin/Milwaukee. We moved into our current location of 5510 West Bluemound Road in Milwaukee, WI.

The demand for student enrollment at Woodlands became so high that the leadership worked with UWM to replicate the original Woodlands charter to open a second location of the school in 2013 on the Forest County Potawatomi campus at 3121 West State Street in Milwaukee.

### **Current Status**

Woodlands currently operates two campuses offering K4 through eighth grade classrooms in a multiage setting for over 500 students. Woodlands has a long history of high academic achievement with an emphasis on educating the whole child. Our schools provide students with a low student to teacher ratio, art, music, band, orchestra, World Language (Spanish), and physical education in a multi-age environment with a focus on character education.

We have learned over the past few years as we began to add programming for our students that our current facilities did not provide us the ability to extend the learning for our students. So, we began over a year ago searching for a location that we could bring both campuses together to strengthen our continuity of services for our students.

### **Future Plans**

We have looked at a number of possible properties and feel as though the property at 1526 S. 72nd Street in West Allis provides us the space needed for our programs, the ability for our campuses to merge together and the neighborhood feeling which we believe is very important to our elementary school program.

Woodlands is one of the highest performing charter schools in the UWM charter school portfolio. Our school regularly exceeds expectations on the Wisconsin/DPI State Report Card. Our



students attend high schools such as Marquette University High School, Reagan College Preparatory High School and Pius High School.

We plan to open our school with 20 multiage classrooms, (5 combined grade levels), ex: K4/K5, 1st/2nd, 3rd/4th, 5th/6th and 7th/8th with around 500 students. We will have about 60-70 staff joining us at the new campus. We will offer all core subjects as well as art, music, physical education, world language (Spanish), choir, band and orchestra. We are also looking at bringing theater arts programming back to our students. We also have an afterschool sports program and student council for our students. We provide special education services for students that need them.

Our school is open for student instruction Monday through Friday, (excluding holidays) from 7:45am-3:15pm for instruction. We provide after school services for our families until 6pm.

We are hopeful that the construction for this project can begin the fall/early winter 2024 and be completed by April or May 2025. Our plan is to begin moving into the new site in May or June 2025.





cordially invites you to a...

# NEIGHBORHOOD MEETING

**Tuesday, September 24th, 2024**

**5:00pm to 7:00pm**

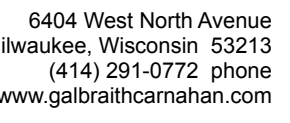
**West Allis Rec Dept. - 2450 S. 68th Street, West Allis**

**Woodlands School**, a public charter school affiliated with **UW-Milwaukee**, has been a part of SE Wisconsin's educational landscape since 1936.

We are currently exploring the possibility of making the **Holy Assumption School** campus our new home.

**COME LEARN ABOUT US-SEE OUR PLANS-MEET OUR DEDICATED BOARD & STAFF  
ASK QUESTIONS-SHARE YOUR THOUGHTS**





#### SULTANTS:

WOODLANDS SCHOOL - HOLY ASSUMPTION SITE

[illegible]

|            |      |
|------------|------|
| ISSUE      | DATE |
| 07.23.2024 |      |

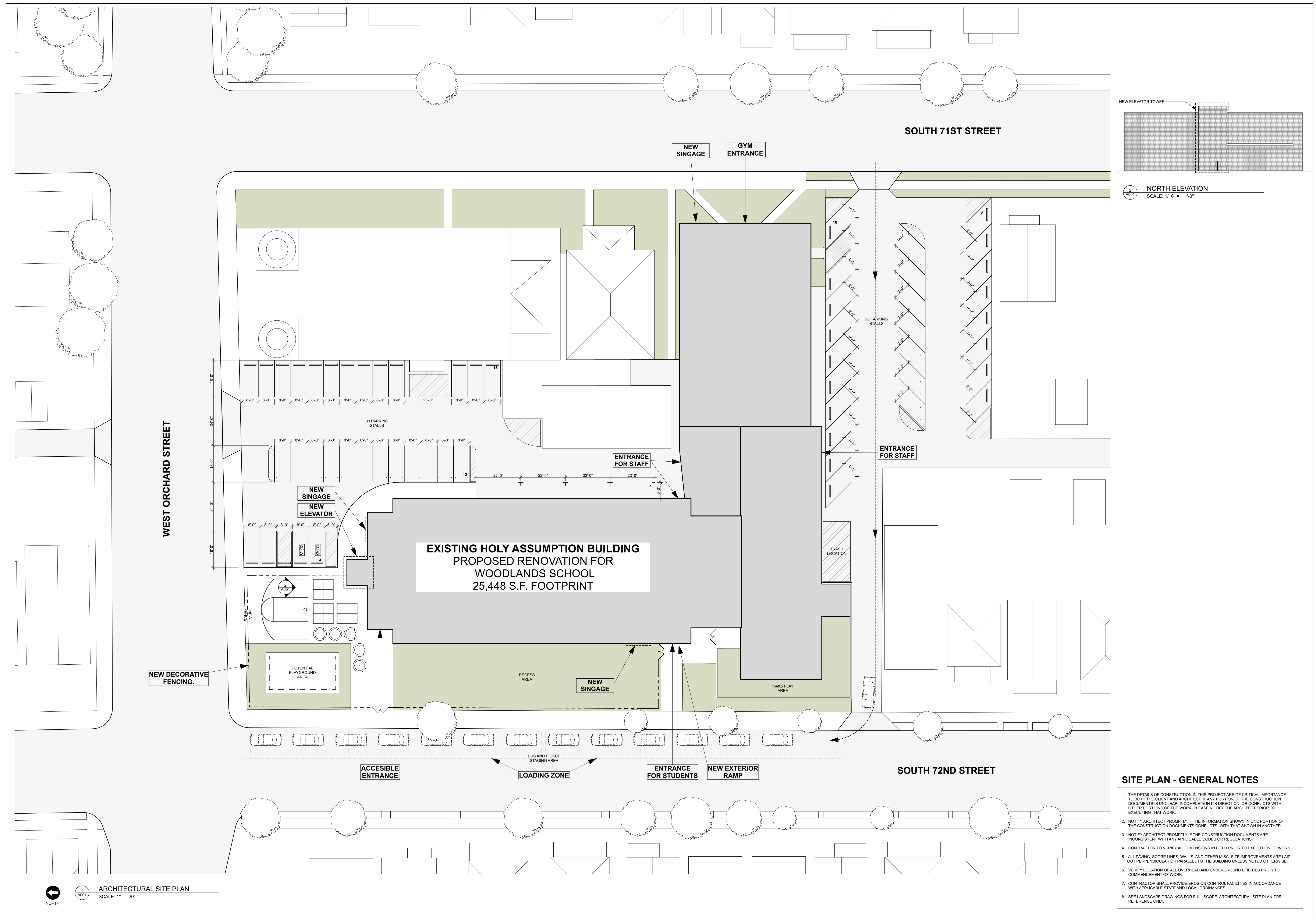
PROJECT # 23.14

ARCHITECTURAL  
SITE PLAN

A001

024 GALBRAITH CARNAHAN  
ARCHITECTS LLC

15



**NOT FOR CONSTRUCTION**



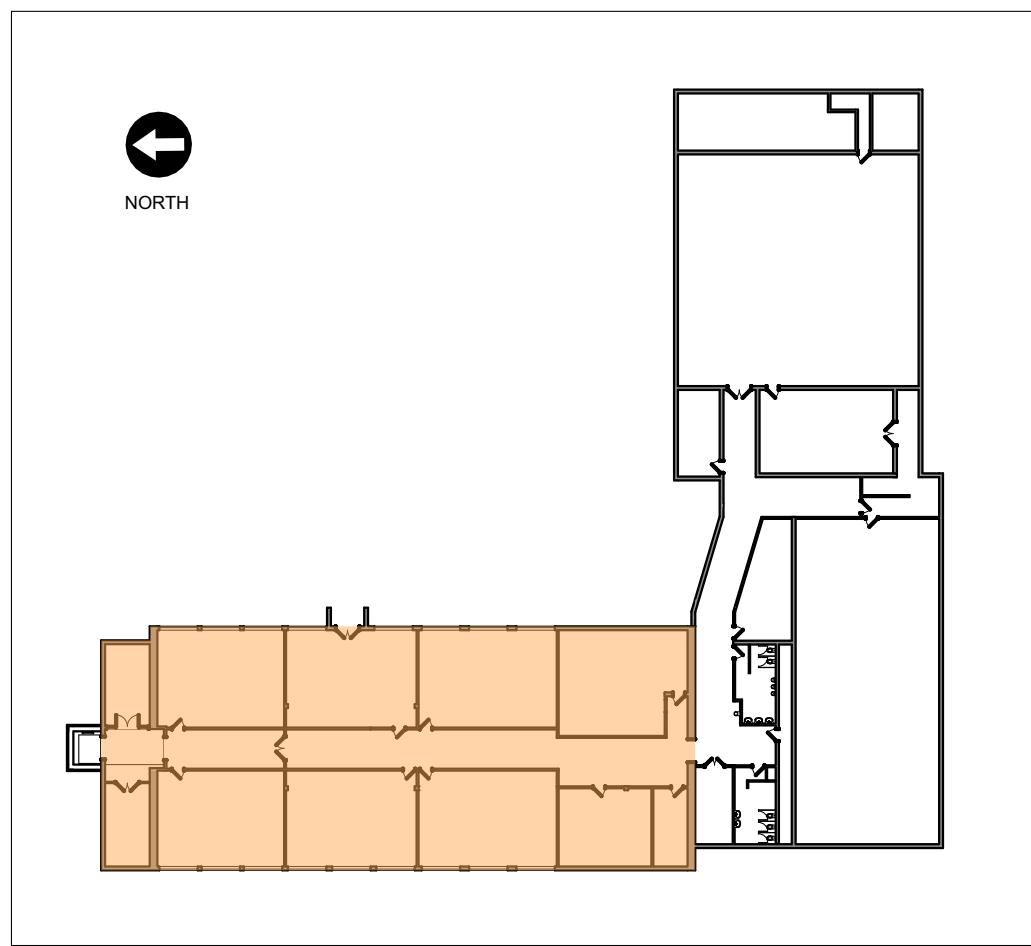
DEMOLITION KEY

- - - - - DASHED LINE INDICATES ELEMENTS TO BE DEMOLISHED.

DEMOLITION - GENERAL NOTES

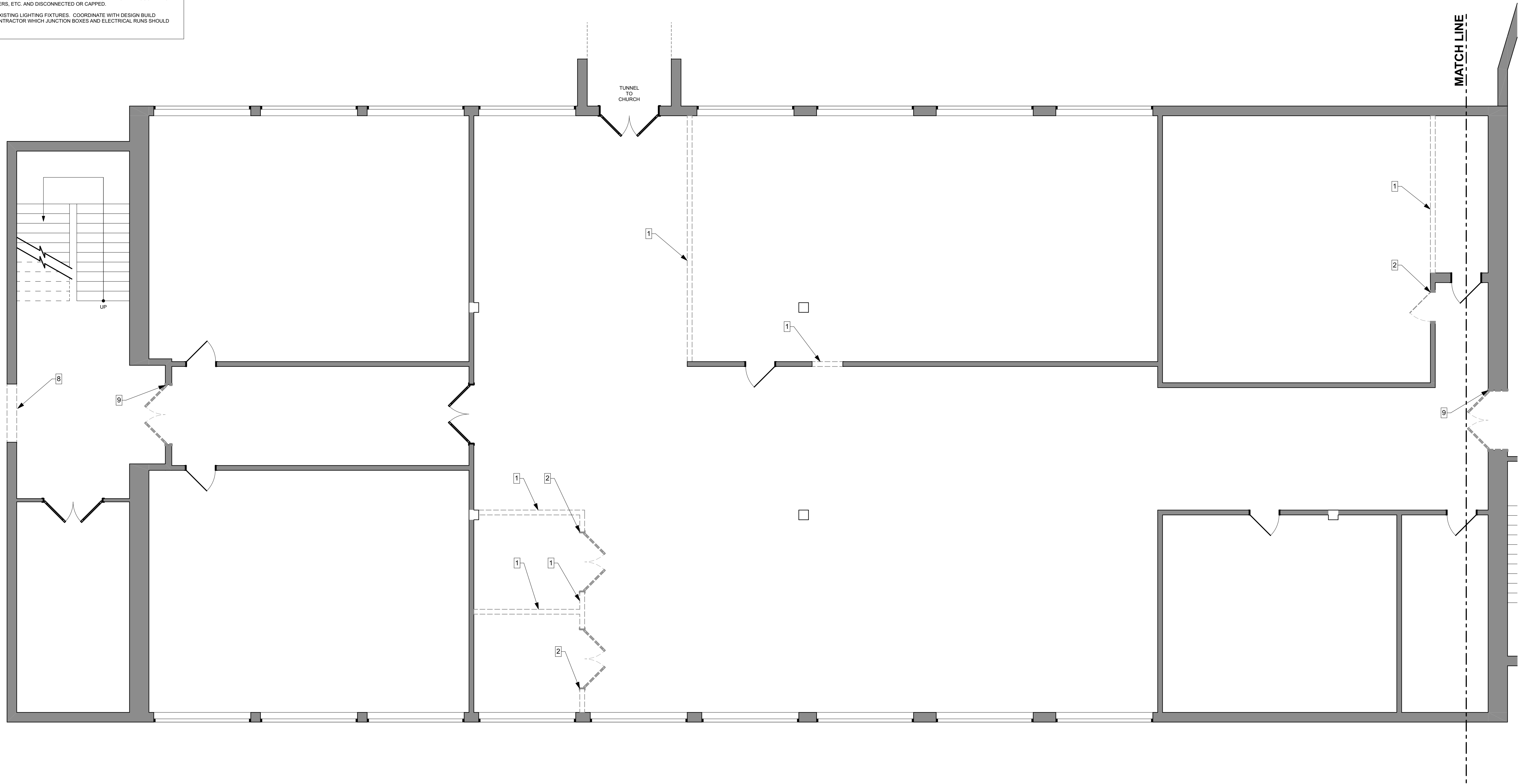
1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
3. REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN THE PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNO).
4. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND / OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
5. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
6. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
7. UPON REMOVAL OF FINISH MATERIALS INDICATED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REFER ALSO TO ROOM FINISH SCHEDULE FOR NEW MATERIALS. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
8. IN WALLS TO BE REFINISHED, REMOVE EXISTING MISCELLANEOUS ACCESSORIES TO FACILITATE THE INSTALLATION OF NEW FINISHES. PATCH, REPAIR, AND PREP WALLS TO RECEIVE NEW FINISHES. ITEMS REMOVED TO BE SALVAGED AND GIVEN BACK TO OWNER.
9. REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED.
10. REMOVE ALL EXISTING LIGHTING FIXTURES. COORDINATE WITH DESIGN BUILD ELECTRICAL CONTRACTOR WHICH JUNCTION BOXES AND ELECTRICAL RUNS SHOULD REMAIN.



AREA OF WORK



DEMOLITION PLAN KEY NOTES

- |    |   |
|----|---|
| 1  | REMOVE EXISTING WALL ASSEMBLY.                              |
| 2  | REMOVE EXISTING DOOR AND FRAME ASSEMBLY.                    |
| 3  | REMOVE EXISTING FLOORING. PREP SURFACE FOR NEW.             |
| 4  | REMOVE SINK AND PLUMBING ALONG WITH ANY SURROUNDING VANITY. |
| 5  | REMOVE SANITARY FIXTURE AND PLUMBING.                       |
| 6  | REMOVE SANITARY FIXTURE AND PREP PLUMBING FOR NEW FIXTURE.  |
| 7  | REMOVE EXISTING PARTITION.                                  |
| 8  | REMOVE WALL FOR NEW OPENING.                                |
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 NORTH  
 AD100.1  
NORTH WING - LOWER LEVEL  
SCALE: 3/16" = 1'-0"



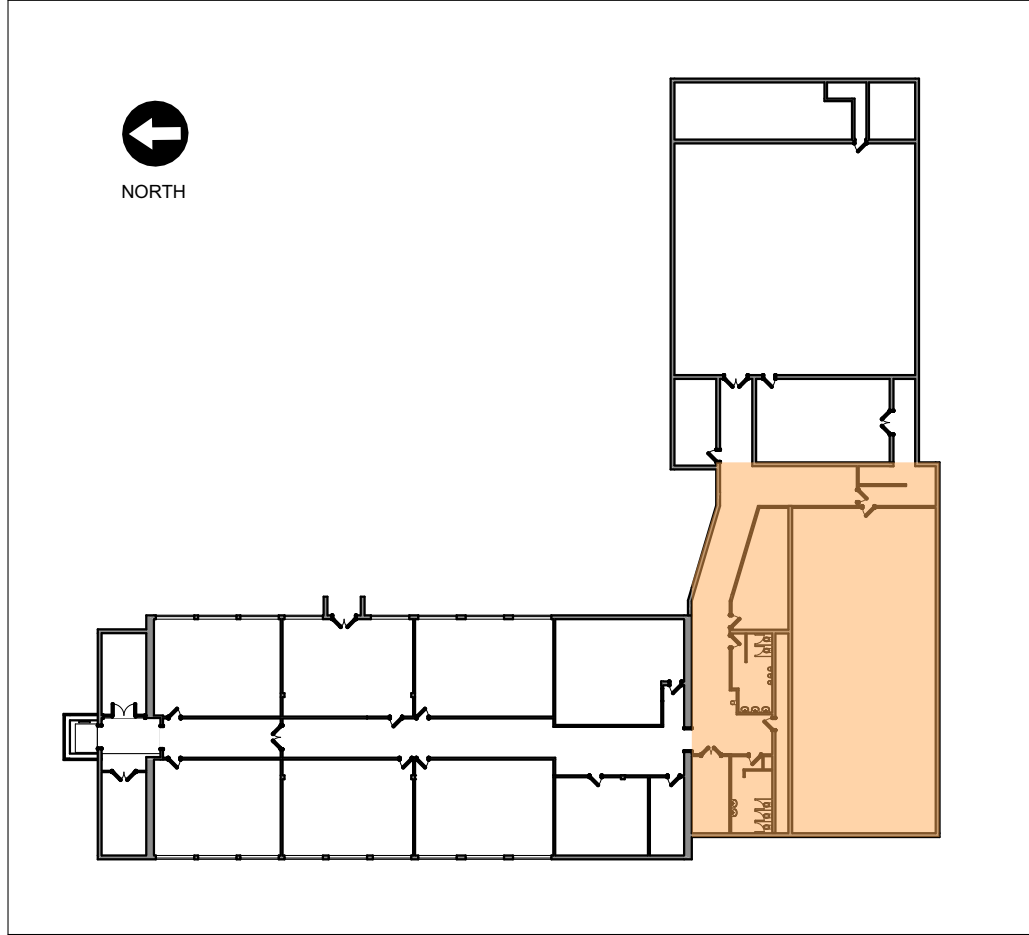
DEMOLITION KEY

- - - - - DASHED LINE INDICATES ELEMENTS TO BE DEMOLISHED.

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AREA OF WORK

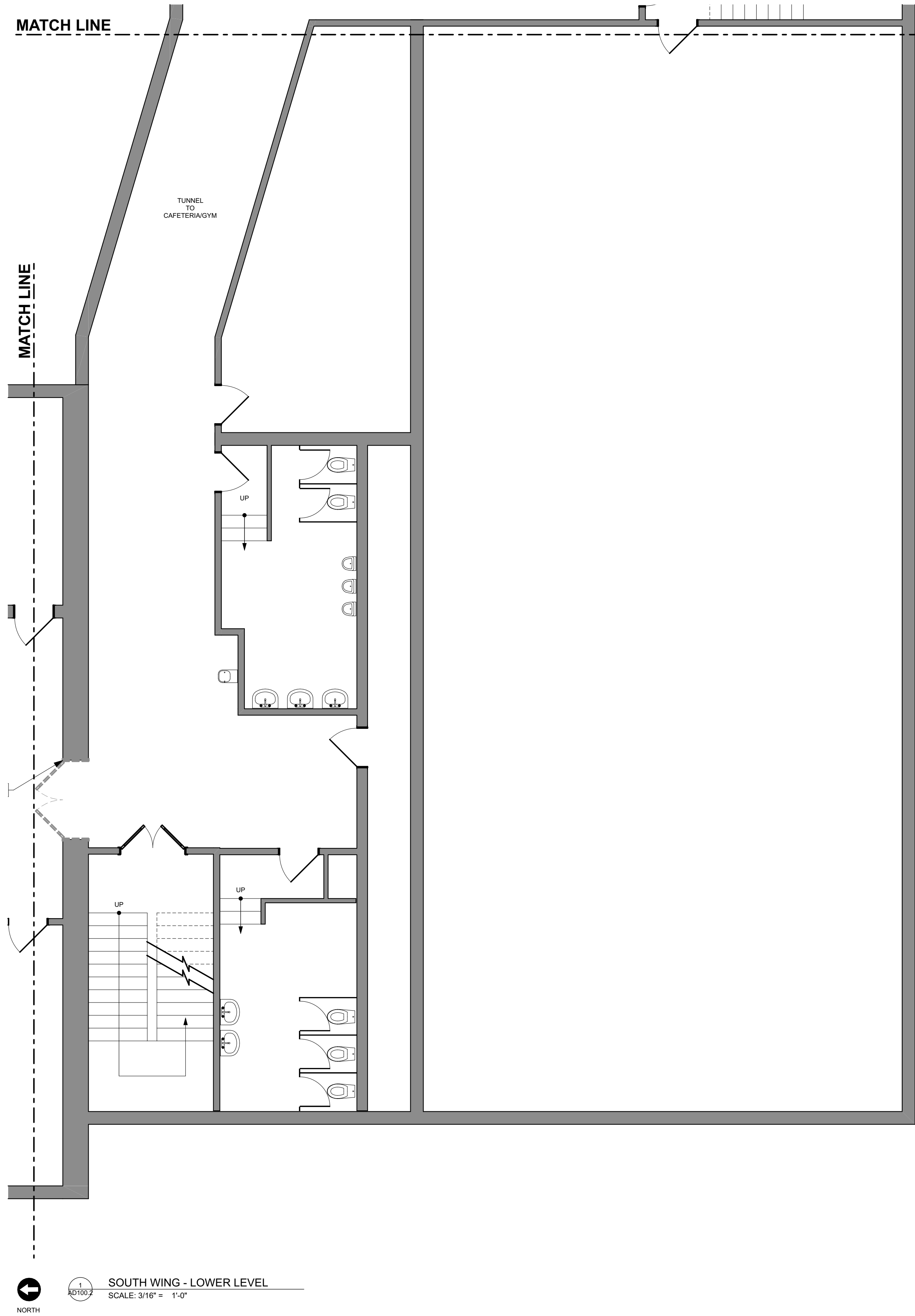


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MATCH LINE

MATCH LINE



1 SOUTH WING - LOWER LEVEL  
AD100.2  
SCALE: 3/16" = 1'-0"



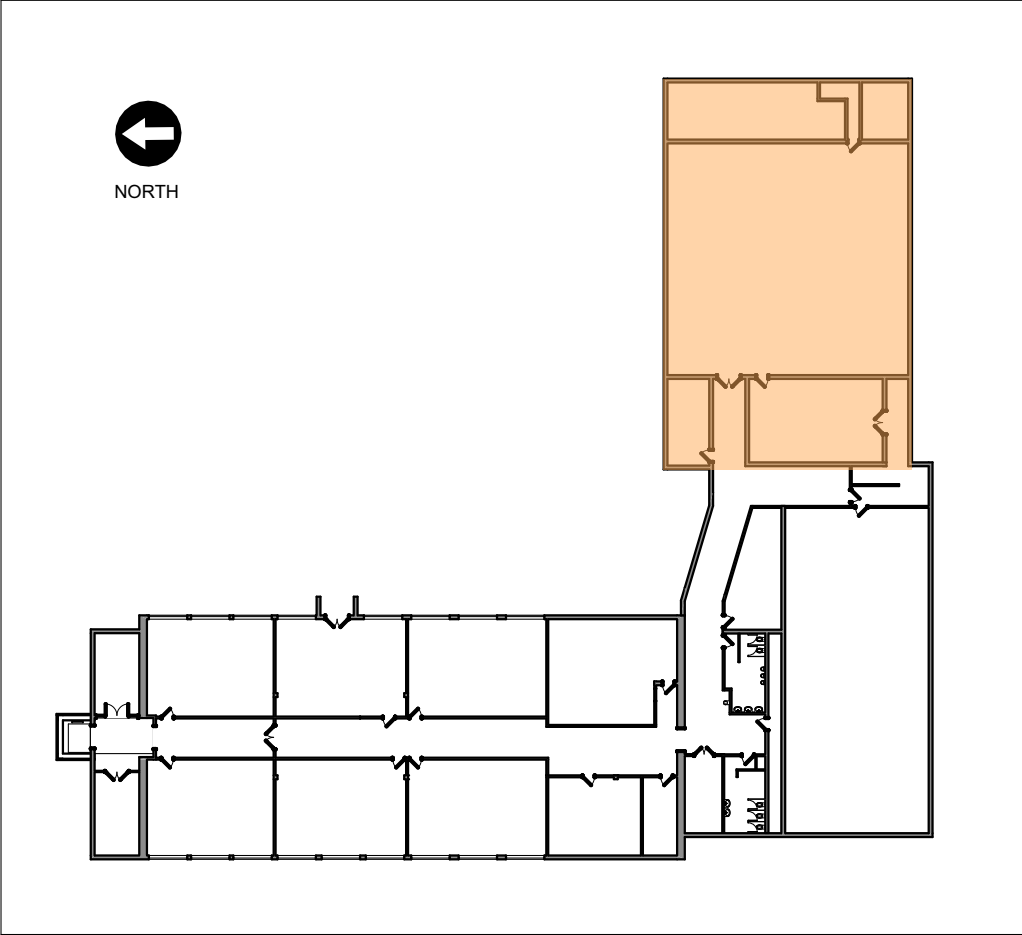
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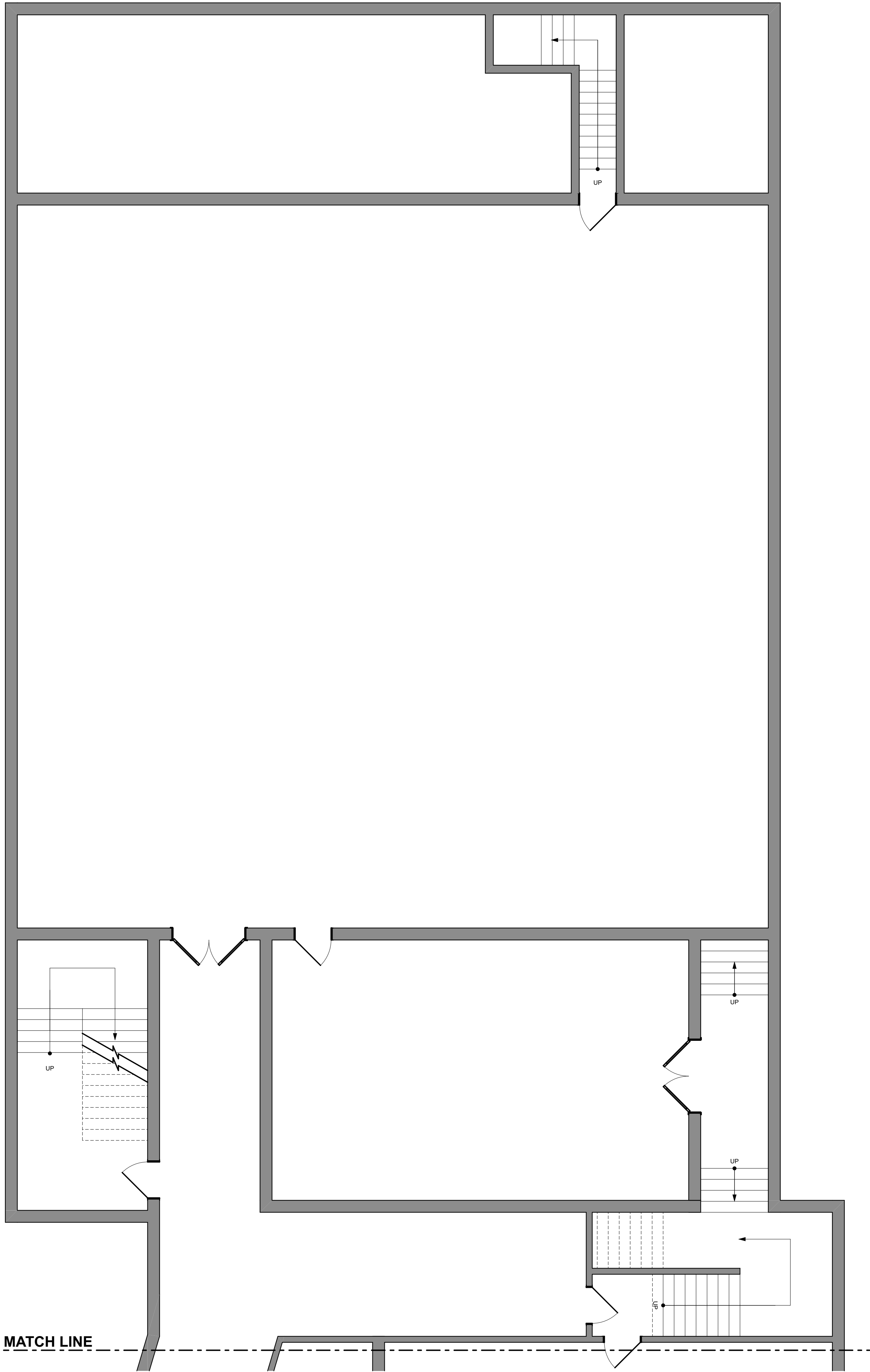
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MATCH LINE



1  
AD100.3

CAFETERIA - LOWER LEVEL  
SCALE: 3/16" = 1'-0"



6404 West North Avenue  
Milwaukee, Wisconsin 53213  
(414) 291-0772 phone  
www.galbraithcarnahan.com

CONSULTANTS:

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ASSUMPTION SITE

1526 S 72ND ST WEST ALLIS WI 53214

DRAWING ISSUE DATE  
ISSUE 07.23.2024

PROJECT # 23.14

LOWER LEVEL  
DEMOLITION PLAN -  
CAFETERIA

AD100.3

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NOT FOR CONSTRUCTION



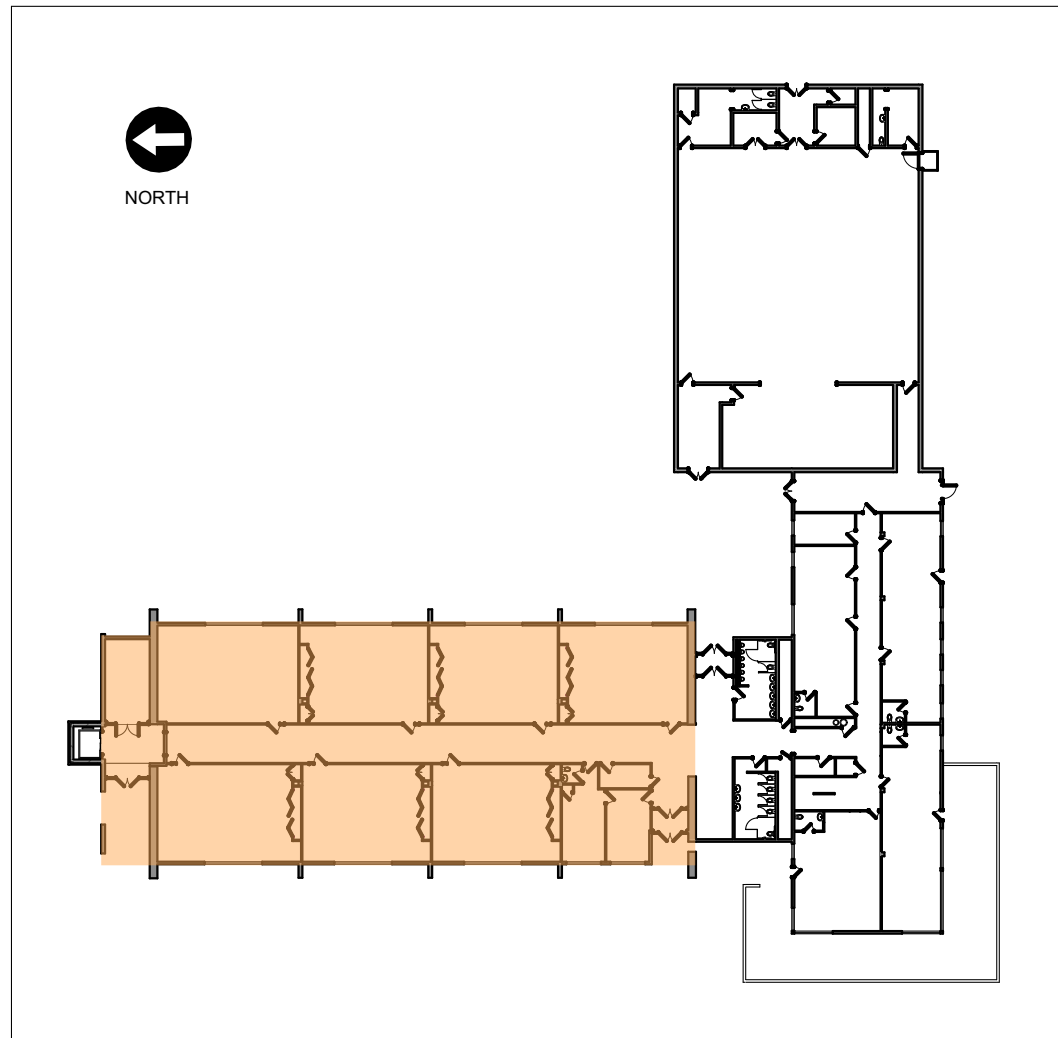
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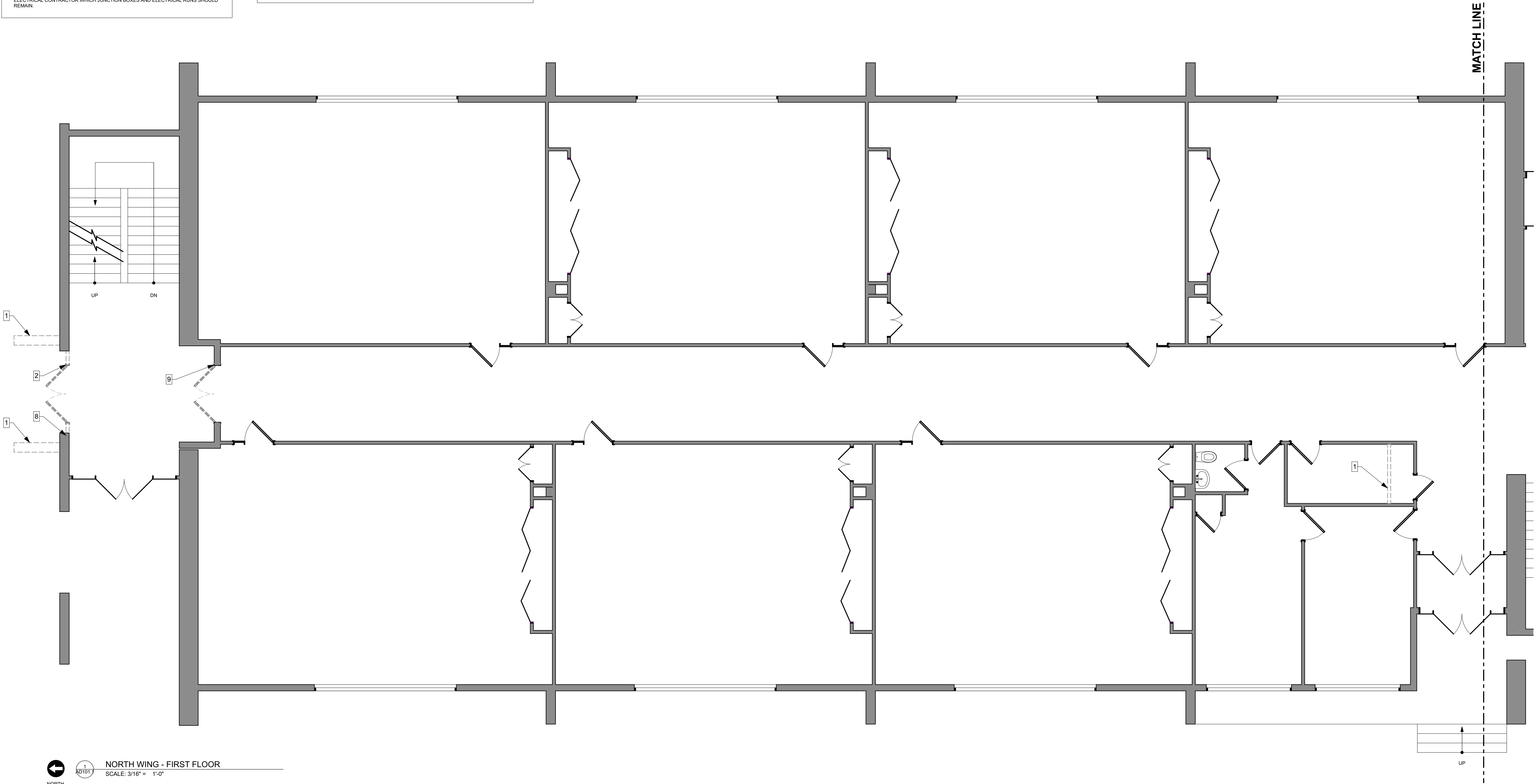
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AREA OF WORK



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 NORTH  
 NORTH WING - FIRST FLOOR  
SCALE: 3/16" = 1'-0"

WOODLANDS SCHOOL - HOLY  
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FIRST FLOOR  
DEMOLITION PLAN -  
NORTH WING

AD101.1

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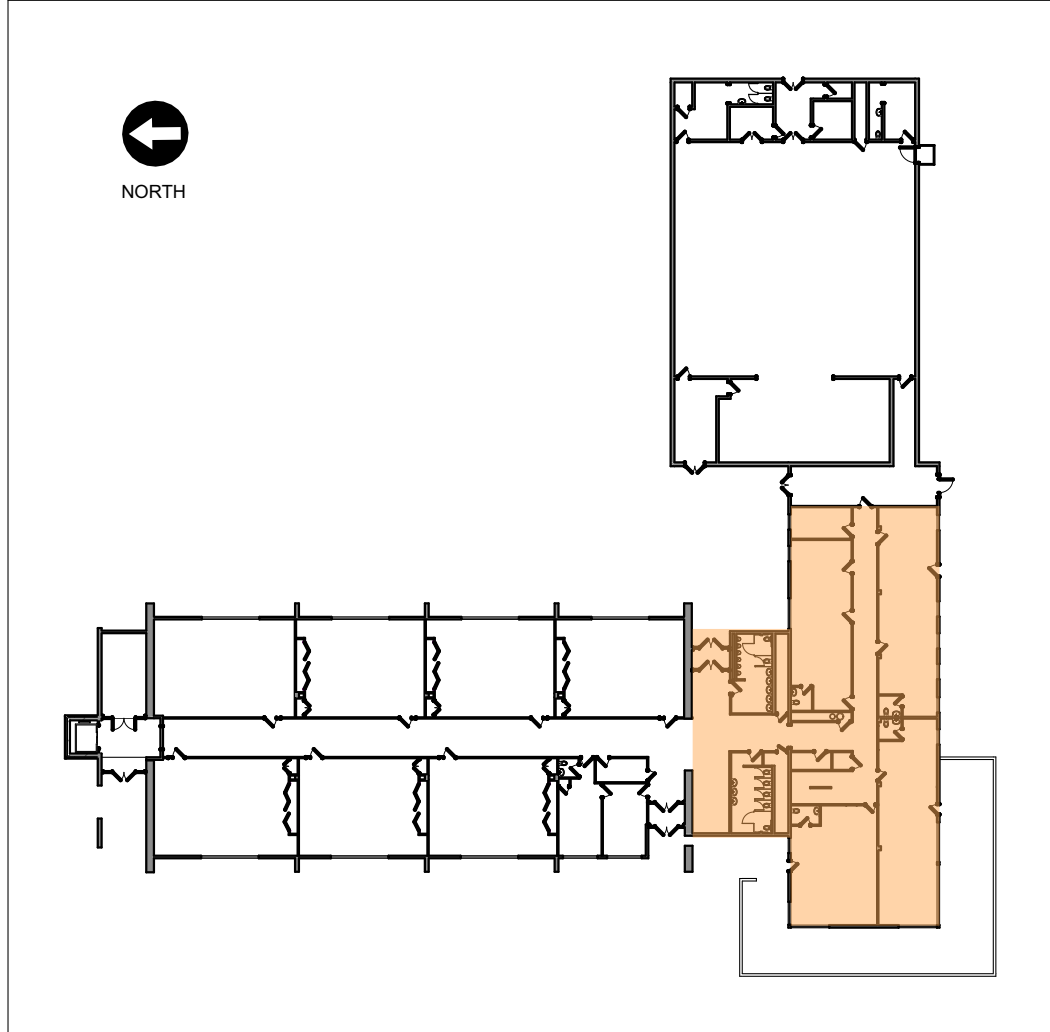
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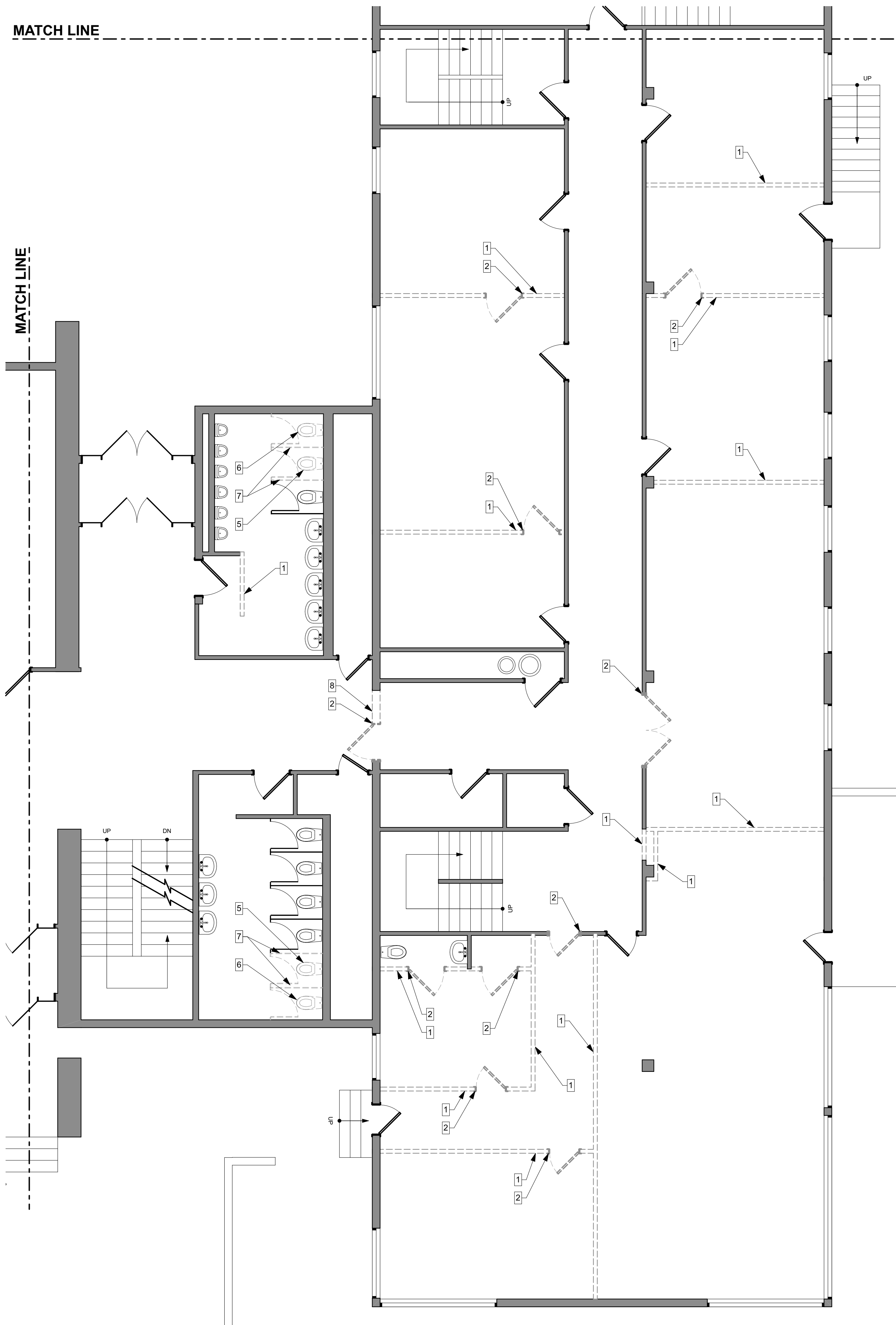
AREA OF WORK



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MATCH LINE



SOUTH WING - FIRST FLOOR  
SCALE: 3/16" = 1'-0"



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FIRST FLOOR  
DEMOLITION PLAN-  
SOUTH WING

AD101.2

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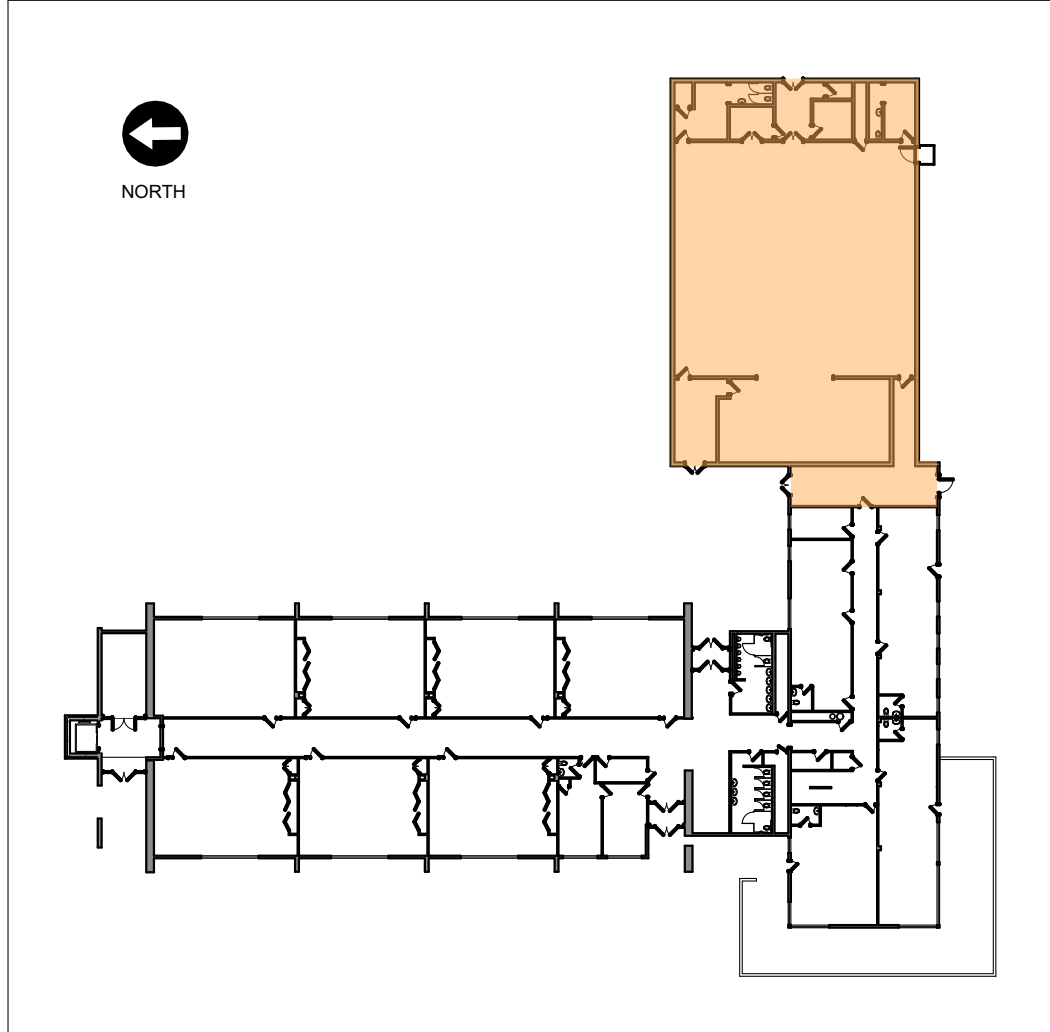
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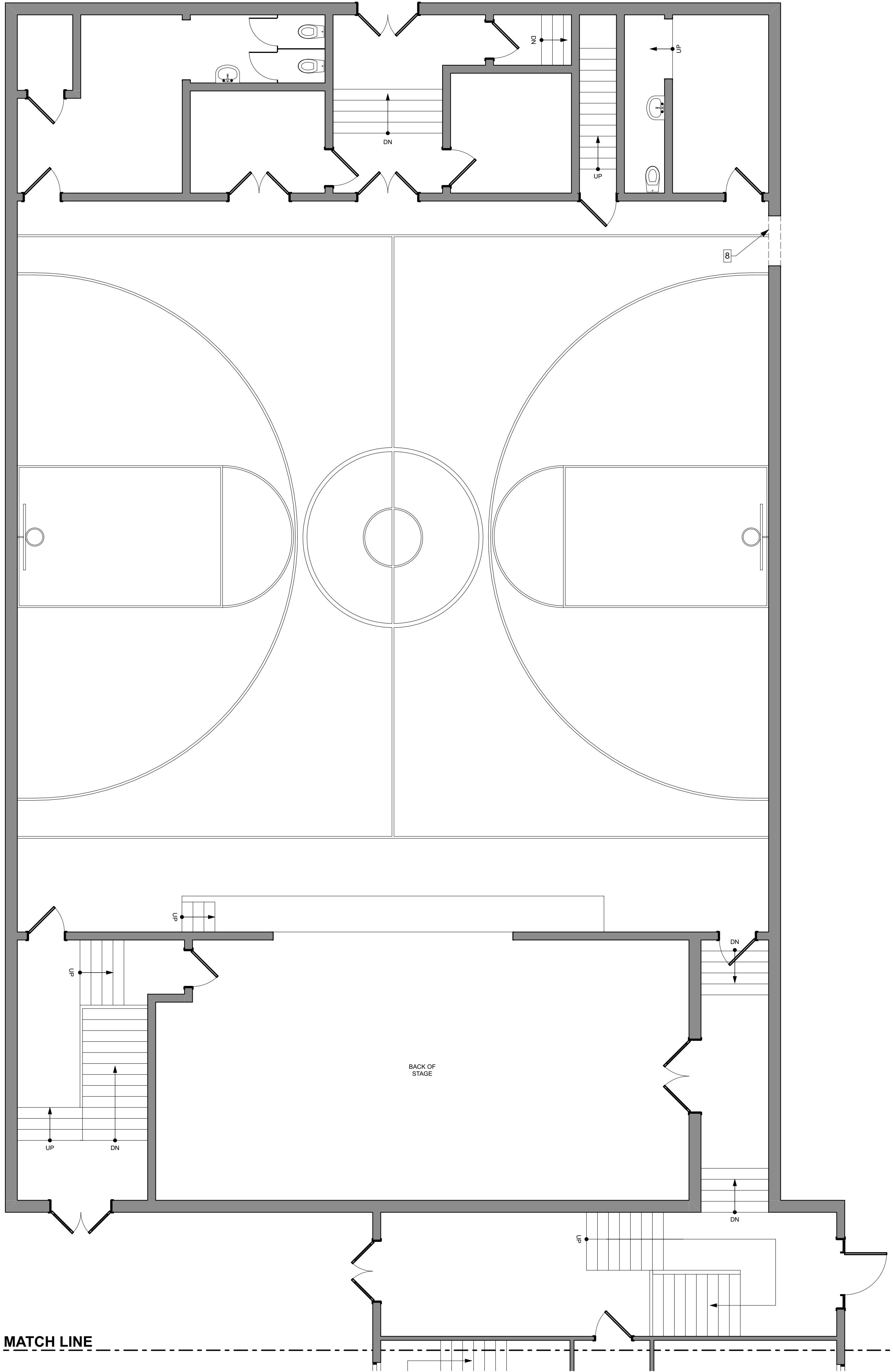
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MATCH LINE

  GYMNASIUM - FIRST FLOOR  
SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION



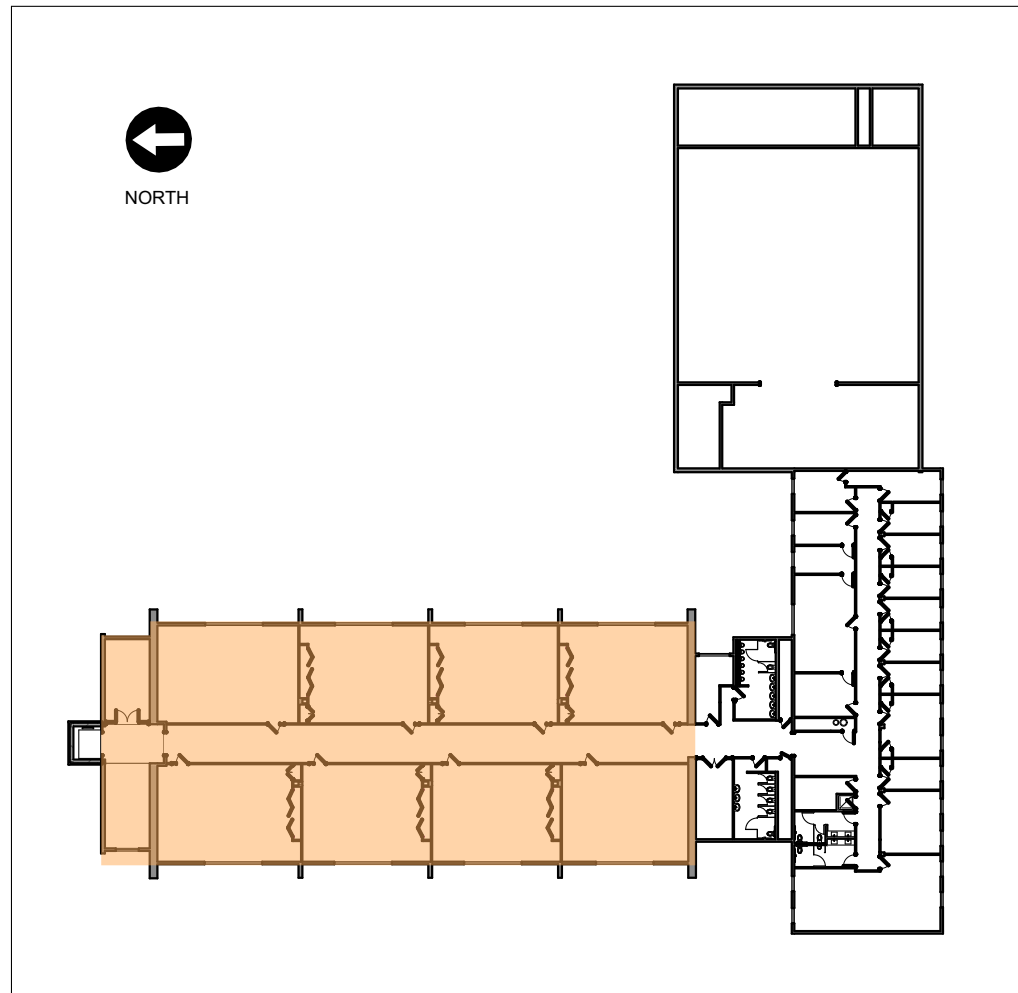
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DEMOLITION - GENERAL NOTES

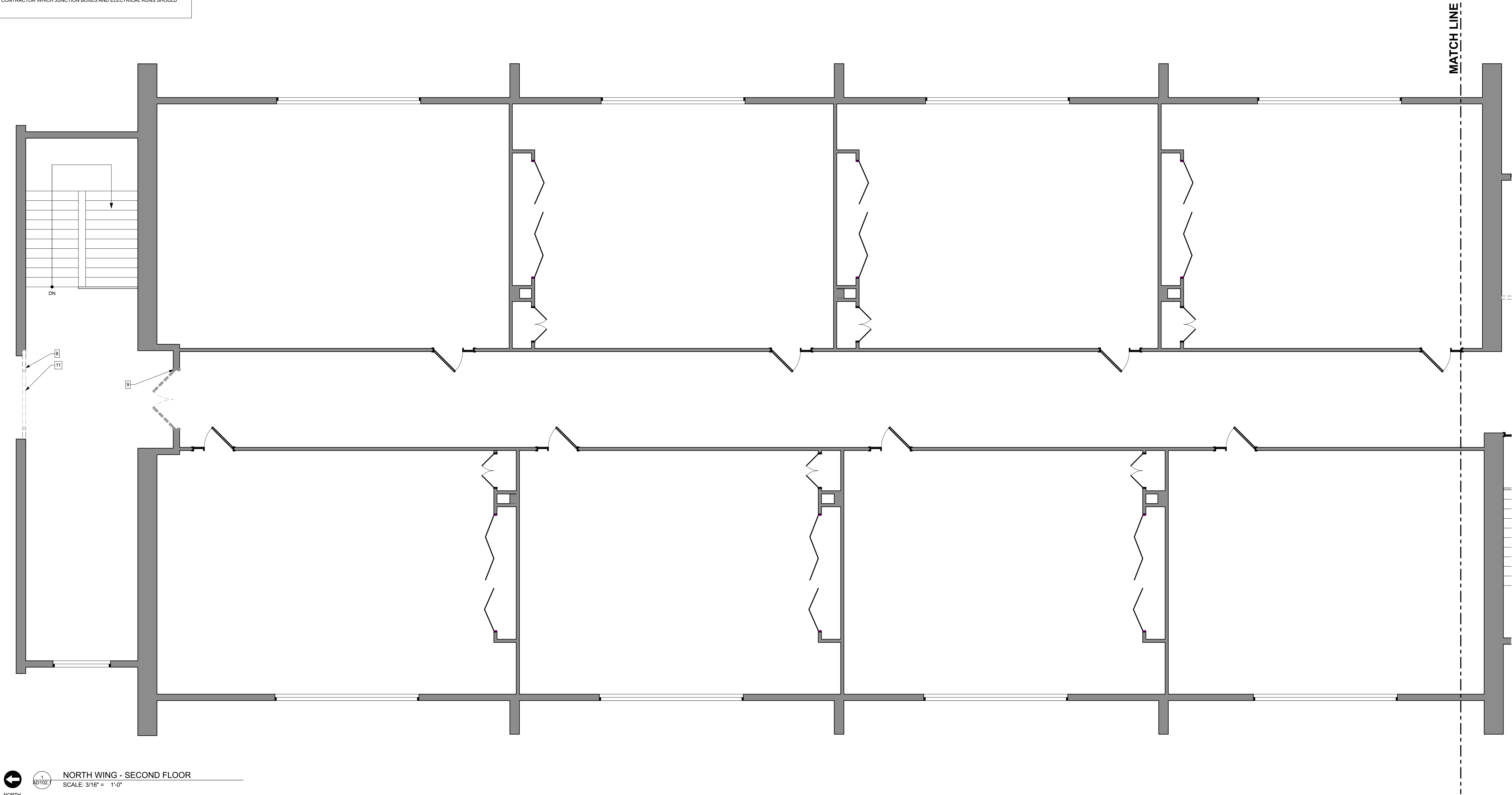
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AREA OF WORK



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 NORTH  
 AD102  
NORTH WING - SECOND FLOOR  
SCALE: 3/16" = 1'-0"



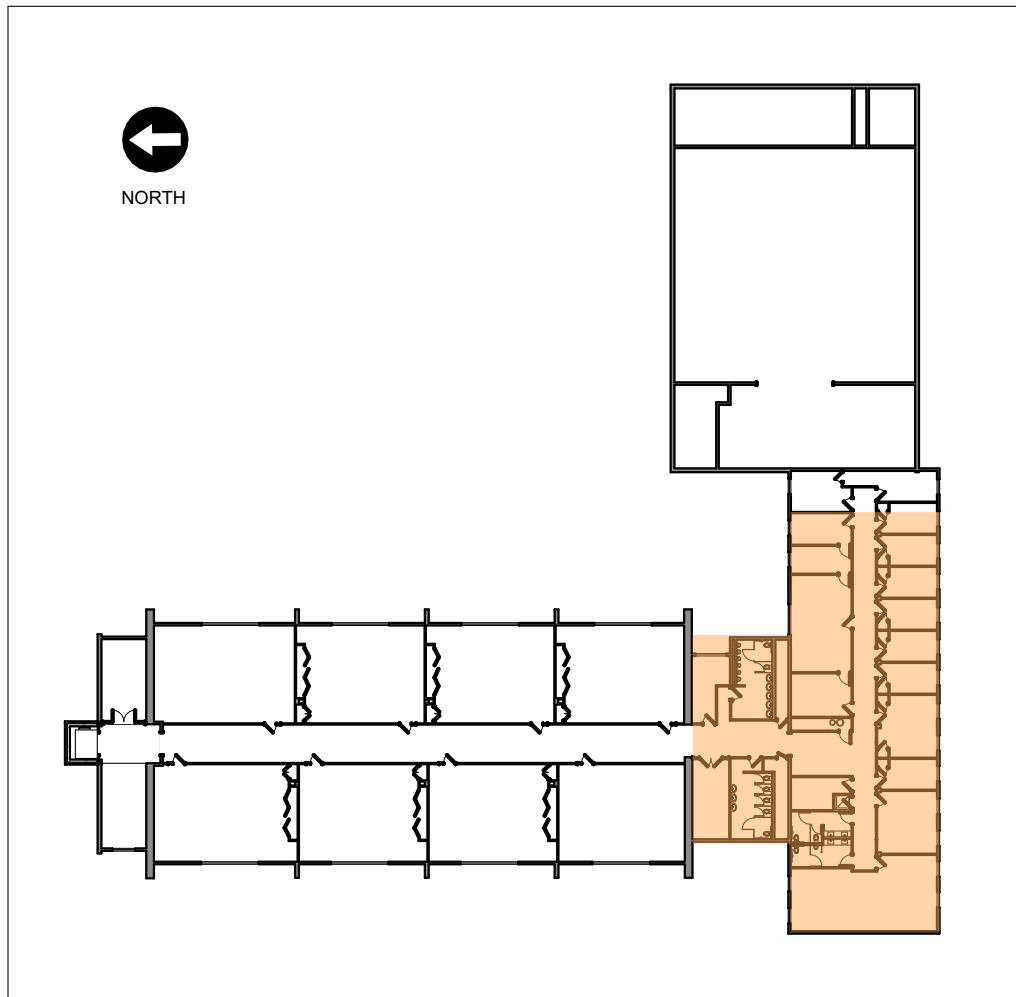
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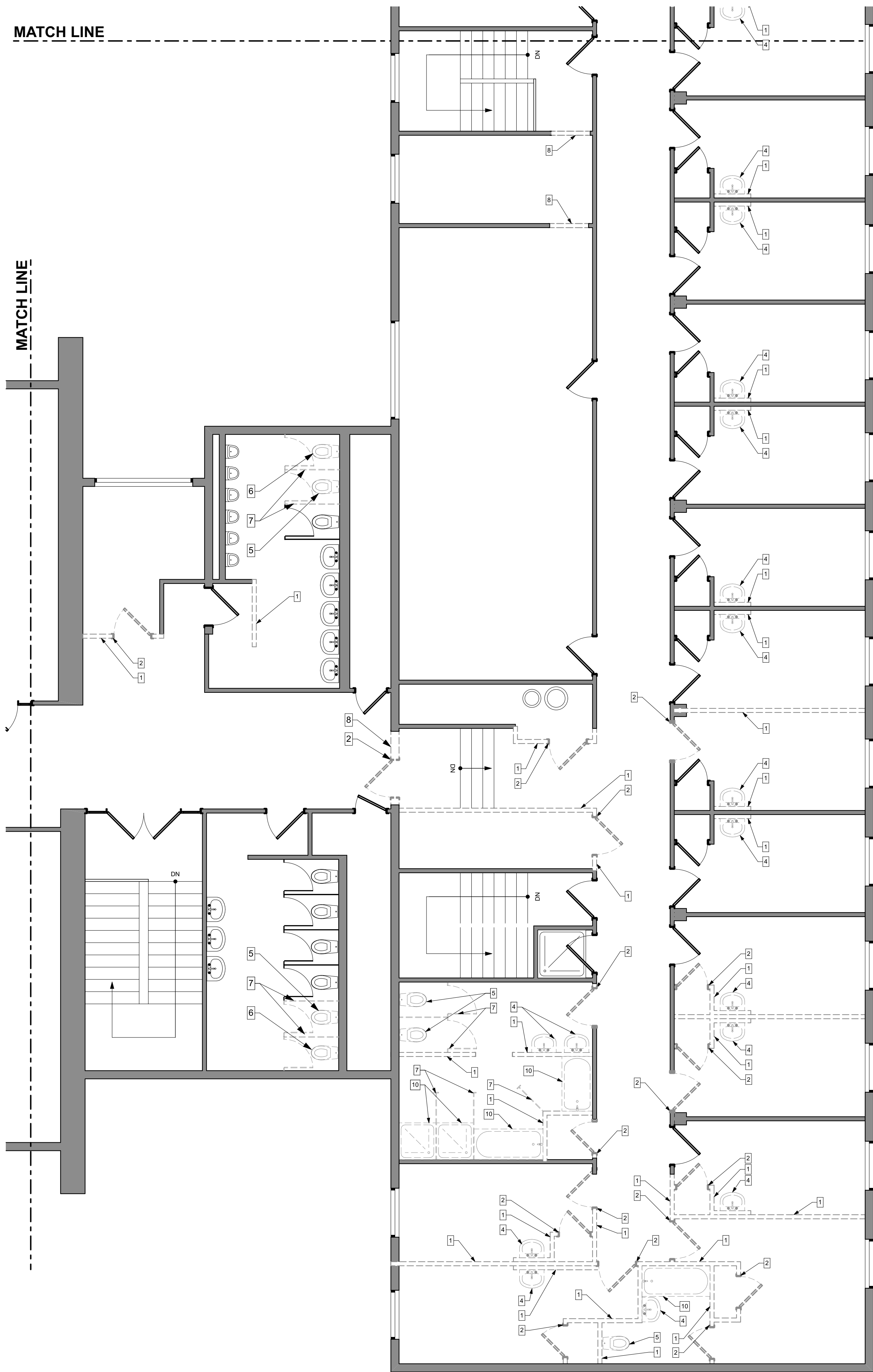


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- 11 REMOVE EXISTING WINDOW ASSEMBLY.

MATCH LINE

MATCH LINE



SOUTH WING - SECOND FLOOR

SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION



6404 West North Avenue  
Milwaukee, Wisconsin 53213  
(414) 291-0772 phone  
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CONSULTANTS:

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DRAWING ISSUE  
ISSUE

DATE  
07.23.2024

PROJECT # 23.14

SECOND FLOOR  
DEMOLITION PLAN-  
SOUTH WING

AD102.2

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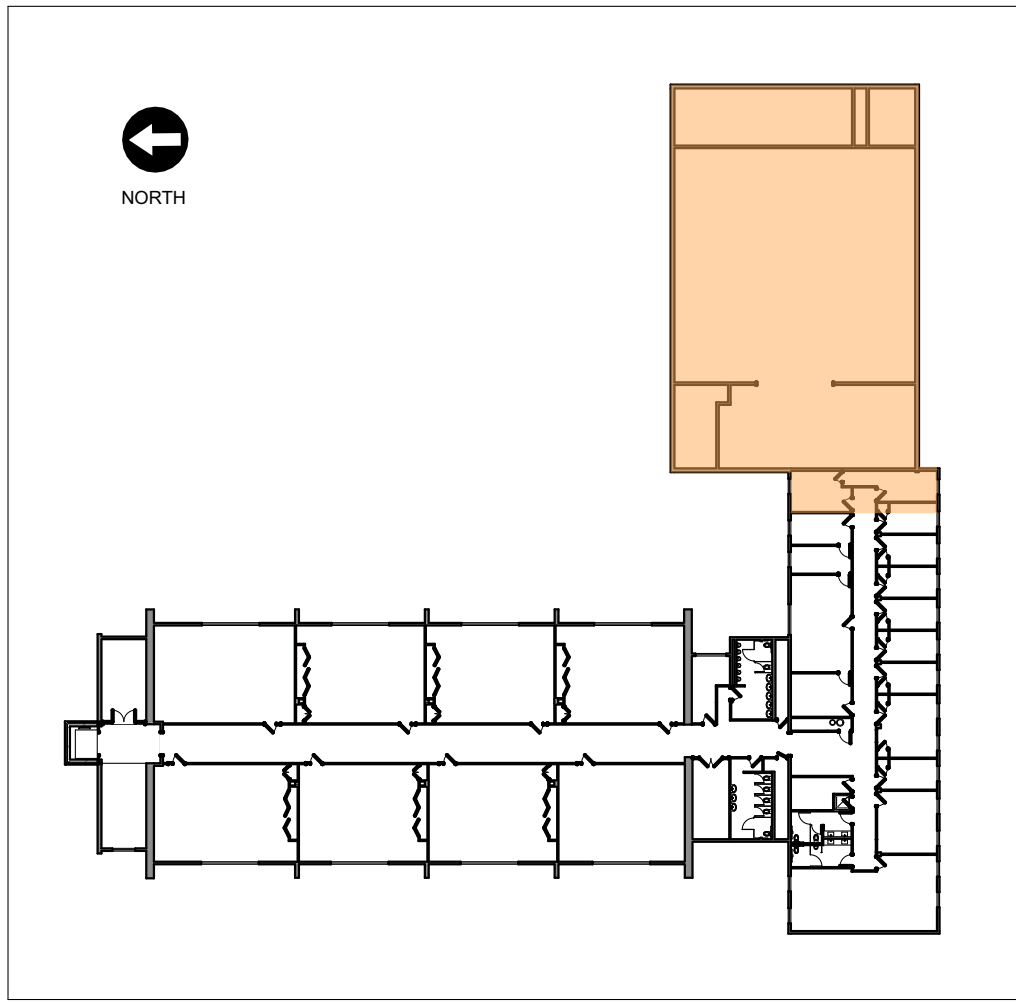
DEMOLITION KEY

- - - - - DASHED LINE INDICATES ELEMENTS TO BE DEMOLISHED.

DEMOLITION - GENERAL NOTES

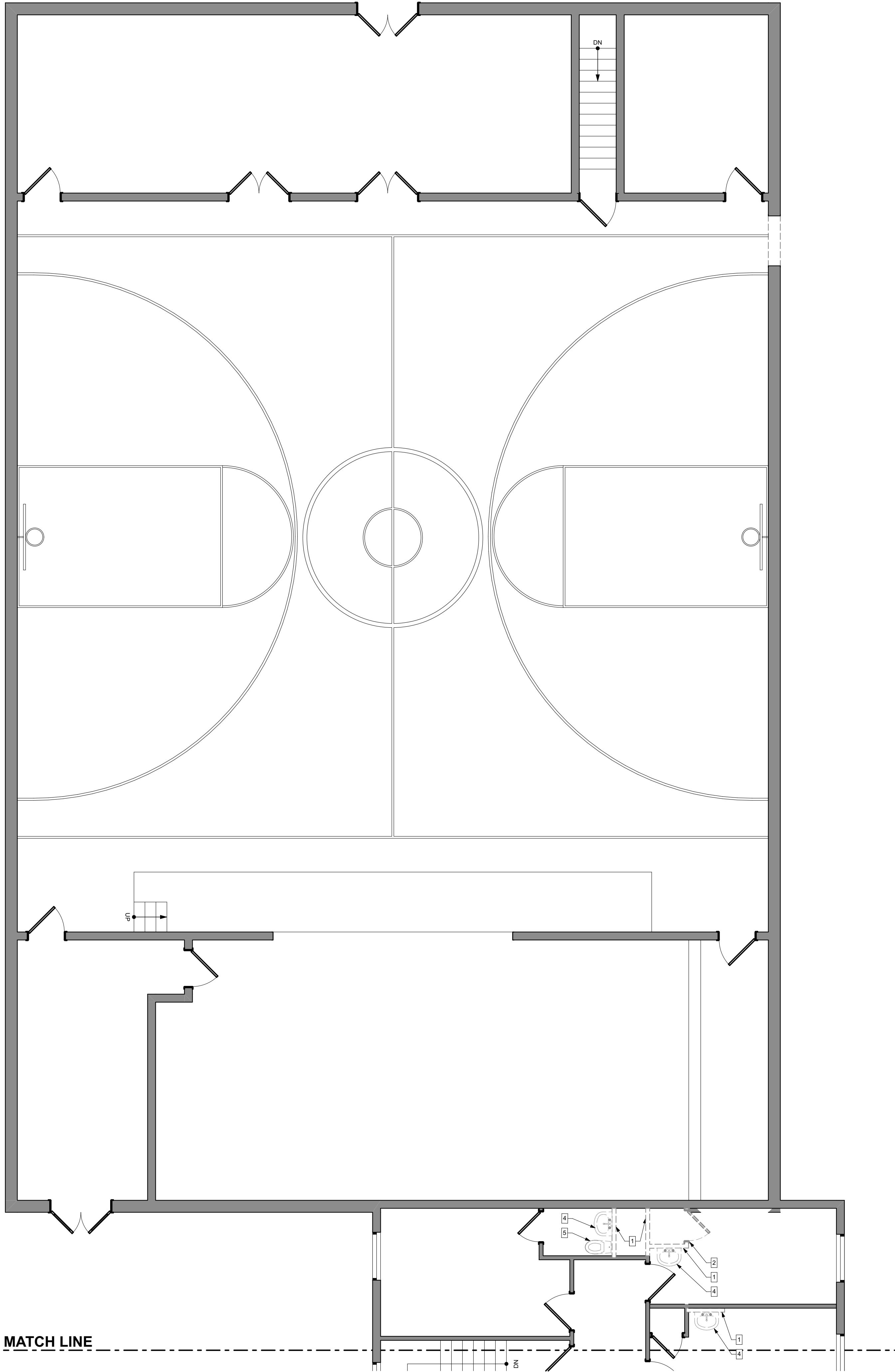
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2. PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
3. REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN THE PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNO).
4. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND / OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
5. REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
6. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
7. UPON REMOVAL OF FINISH MATERIALS INDICATED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REFER ALSO TO ROOM FINISH SCHEDULE FOR NEW MATERIALS. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
8. IN WALLS TO BE REFINISHED, REMOVE EXISTING MISCELLANEOUS ACCESSORIES TO FACILITATE THE INSTALLATION OF NEW FINISHES. PATCH, REPAIR, AND PREP WALLS TO RECEIVE NEW FINISHES. ITEMS REMOVED TO BE SALVAGED AND GIVEN BACK TO OWNER.
9. REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED.
10. REMOVE ALL EXISTING LIGHTING FIXTURES. COORDINATE WITH DESIGN BUILD ELECTRICAL CONTRACTOR WHICH JUNCTION BOXES AND ELECTRICAL RUNS SHOULD REMAIN.

AREA OF WORK



DEMOLITION PLAN KEY NOTES

- 1 REMOVE EXISTING WALL ASSEMBLY.
- 2 REMOVE EXISTING DOOR AND FRAME ASSEMBLY.
- 3 REMOVE EXISTING FLOORING. PREP SURFACE FOR NEW.
- 4 REMOVE SINK AND PLUMBING ALONG WITH ANY SURROUNDING VANITY.
- 5 REMOVE SANITARY FIXTURE AND PLUMBING.
- 6 REMOVE SANITARY FIXTURE AND PREP PLUMBING FOR NEW FIXTURE.
- 7 REMOVE EXISTING PARTITION.
- 8 REMOVE WALL FOR NEW OPENING.
- 9 REMOVE DOOR LEAF ONLY.
- 10 REMOVE SHOWER/BATH FIXTURE AND PLUMBING.
- 11 REMOVE EXISTING WINDOW ASSEMBLY.



MATCH LINE



GYMNASIUM - SECOND  
SCALE: 3/16\"/>

NOT FOR CONSTRUCTION



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SECOND FLOOR  
DEMOLITION PLAN -  
GYMNASIUM

AD102.3

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WALL TYPE LEGEND

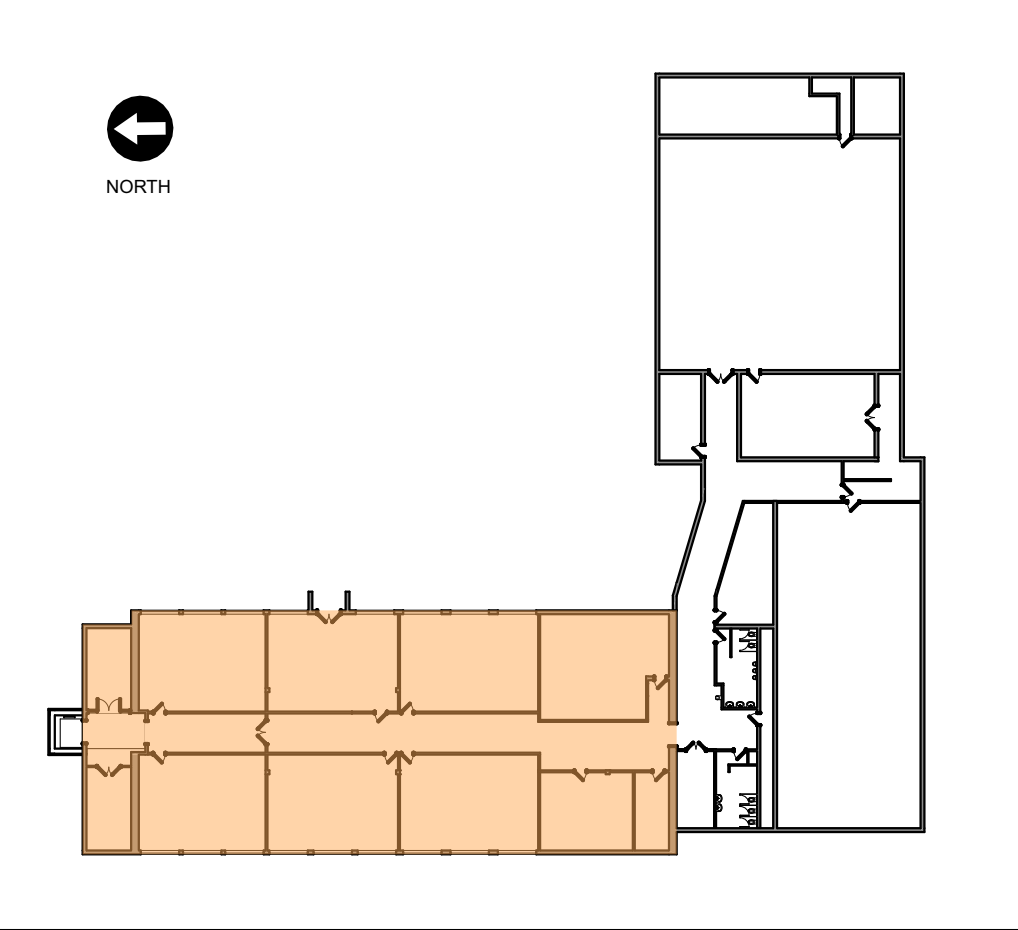
NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

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9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

AREA OF WORK



FLOOR PLAN KEY NOTES

- 1

EXISTING ELECTRICAL LIGHTING TO BE REMOVED AND PREPPED FOR NEW.
- 2

EXISTING WALL IN ROOM TO BE UNTOUCHED.
- 3

EXISTING WALL FINISH IN ROOM TO BE CLEANED AND PREPPED FOR NEW.
- 4

EXISTING WALL FINISH IN ROOM TO BE RESTORED.
- 5

EXISTING CEILING IN ROOM TO BE UNTOUCHED.
- 6

EXISTING CEILING TILES IN ROOM TO BE REPLACED WITH NEW CEILING TILES.
- 7

EXISTING CEILING TILES IN ROOM TO BE RESTORED.
- 8

EXISTING FLOOR IN ROOM TO BE UNTOUCHED.
- 9

EXISTING FLOOR IN ROOM TO BE RESTORED.
- 10

EXISTING FLOOR IN ROOM TO BE REPLACED.
- 11

EXISTING TERRAZO FLOOR TO BE RESTORED.
- 12

ROOM TO BE UNTOUCHED.
- 13

EXISTING WALL SWITCHES IN ROOM TO BE REPLACED WITH NEW.
- 14

EXISTING PLUMBING FIXTURES TO REMAIN.
- 15

EXISTING PLUMBING FIXTURES TO BE REPLACED WITH NEW.
- 16

EXISTING BATHROOM PARTITIONS TO BE REPLACED WITH NEW.
- 17

EXISTING DOOR LEAF TO BE REPLACED WITH NEW.
- 18

EXISTING DOOR FRAME TO BE REPLACED WITH NEW.
- 19

EXISTING DOOR AND LEAF FRAME TO BE REPLACED NEW.
- 7



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LOWER LEVEL  
PLAN - NORTH  
WING

A100.1

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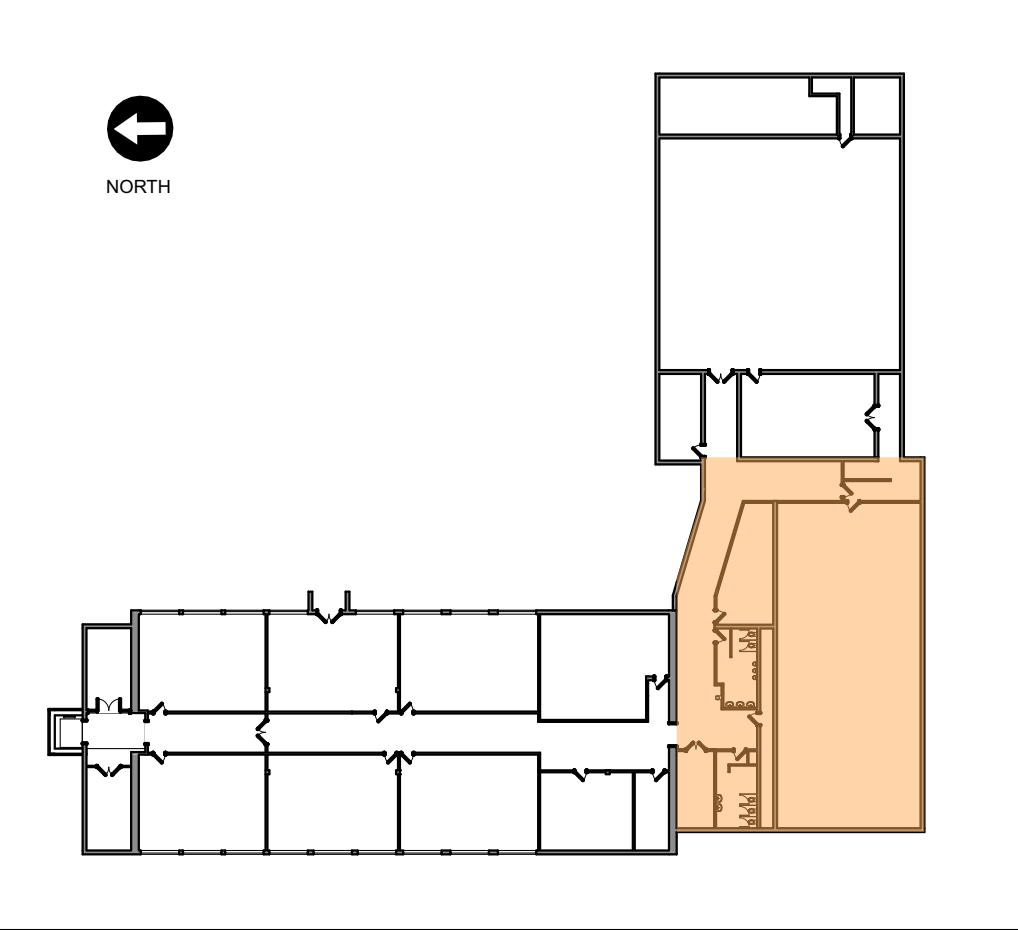
WALL TYPE LEGEND

|             |                         |
|-------------|-------------------------|
| <div></div> | NEW WALL                |
| <div></div> | EXISTING WALL TO REMAIN |

FLOOR PLAN - GENERAL NOTES

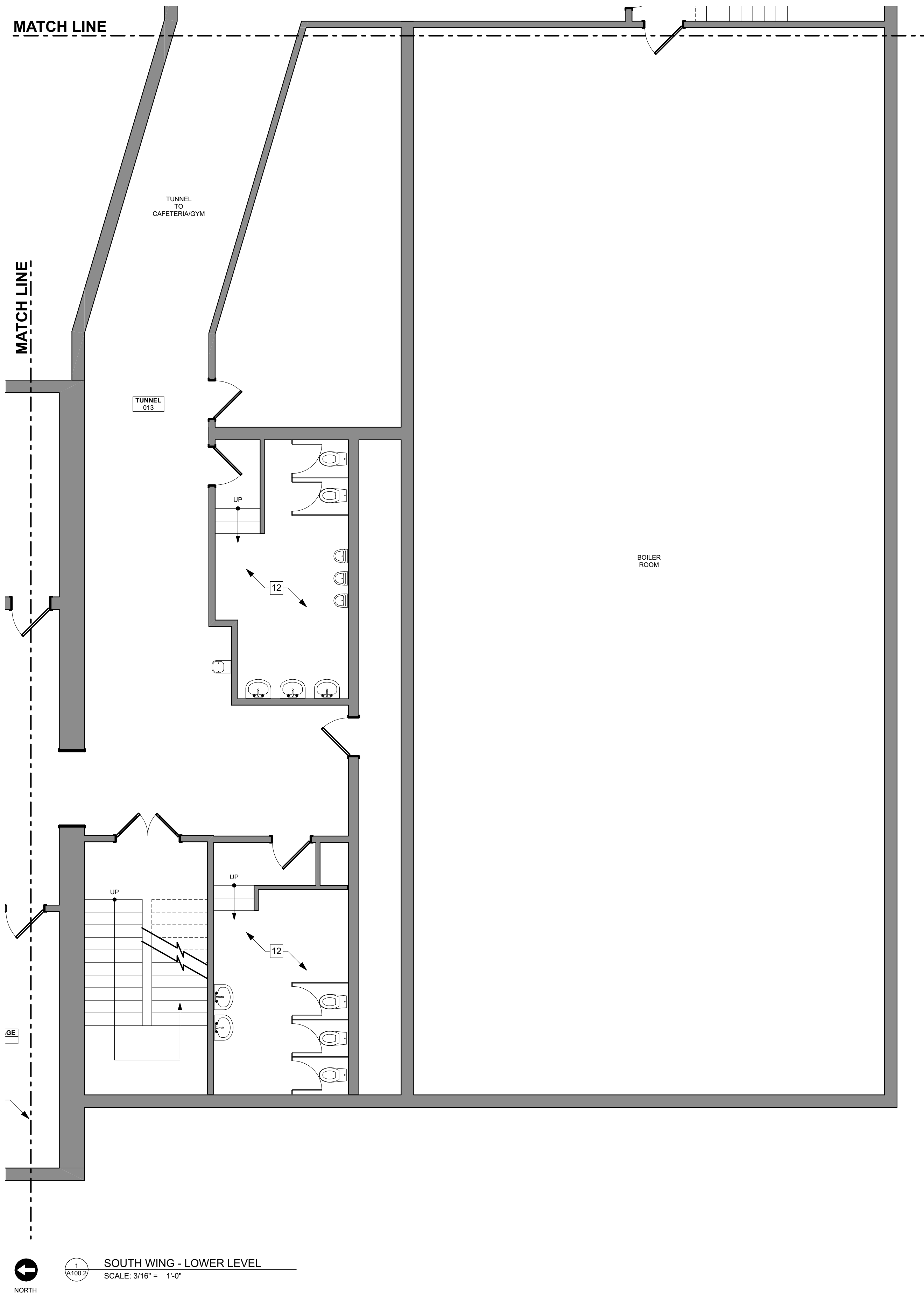
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AREA OF WORK



FLOOR PLAN KEY NOTES

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20. EXISTING STEPS AND AREA TO BE CONFIGURED FOR NEW ACCESS LIFT INSTALLATION.





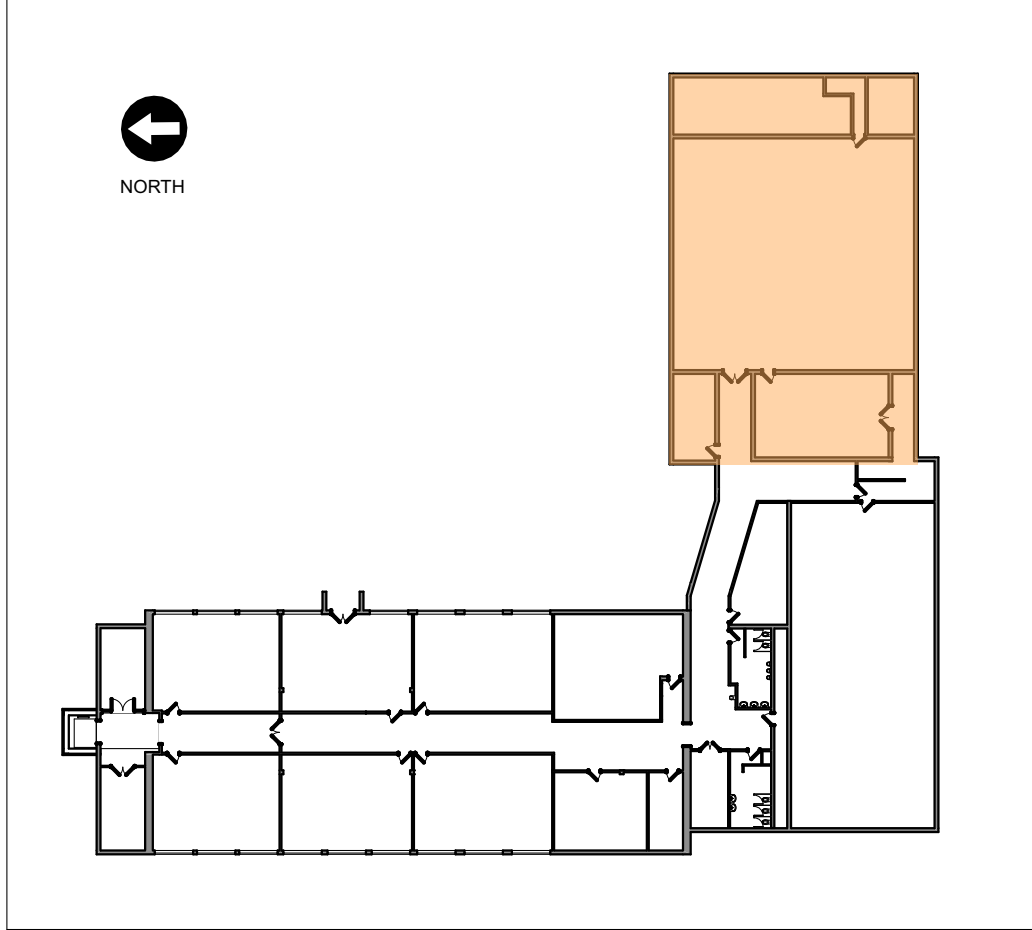
WALL TYPE LEGEND

|             |                         |
|-------------|-------------------------|
| <div></div> | NEW WALL                |
| <div></div> | EXISTING WALL TO REMAIN |

FLOOR PLAN - GENERAL NOTES

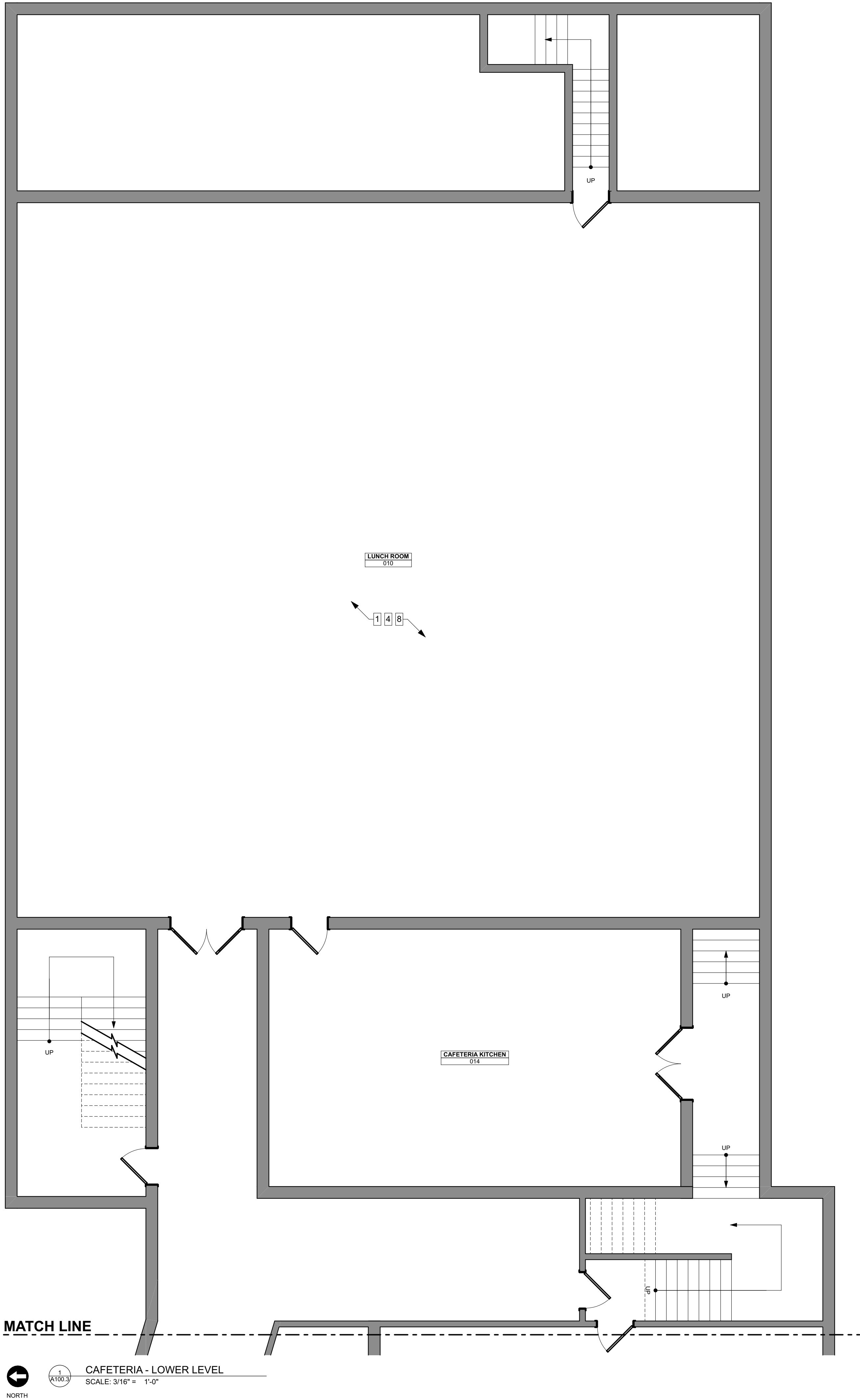
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AREA OF WORK



FLOOR PLAN KEY NOTES

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20. EXISTING STEPS AND AREA TO BE CONFIGURED FOR NEW ACCESS LIFT INSTALLATION.



MATCH LINE

CAFETERIA - LOWER LEVEL  
SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION



WALL TYPE LEGEND

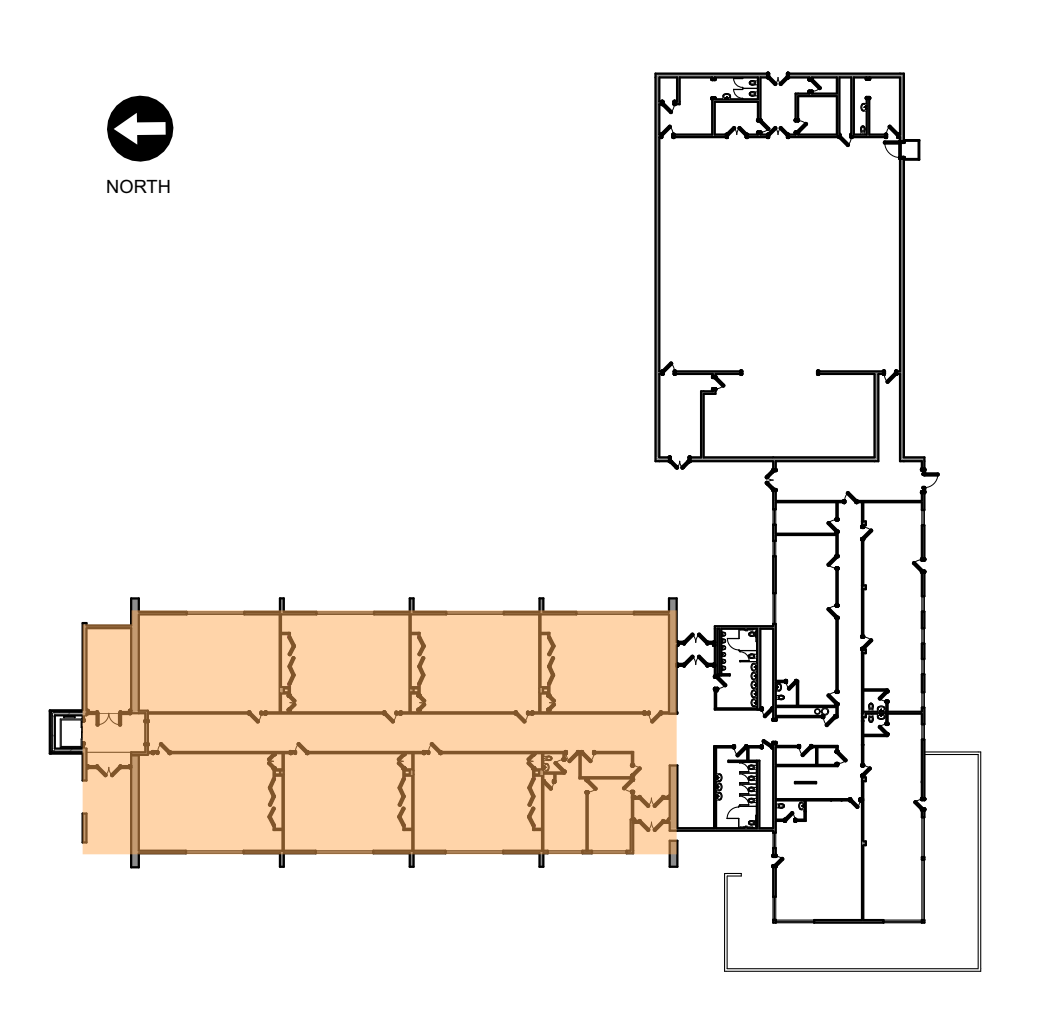
NEW WALL

EXISTING WALL TO REMAIN

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AREA OF WORK



FLOOR PLAN KEY NOTES

- 1

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- 2

EXISTING WALL IN ROOM TO BE UNTOUCHED.
- 3

EXISTING WALL FINISH IN ROOM TO BE CLEANED AND PREPPED FOR NEW.
- 4

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- 5

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- 7

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- 8

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- 9

EXISTING FLOOR IN ROOM TO BE RESTORED.
- 10

EXISTING FLOOR IN ROOM TO BE REPLACED.
- 11

EXISTING TERRAZO FLOOR TO BE RESTORED.
- 12

NOT USED.
- 13

EXISTING WALL SWITCHES IN ROOM TO BE REPLACED WITH NEW.
- 14

EXISTING PLUMBING FIXTURES TO REMAIN.
- 15

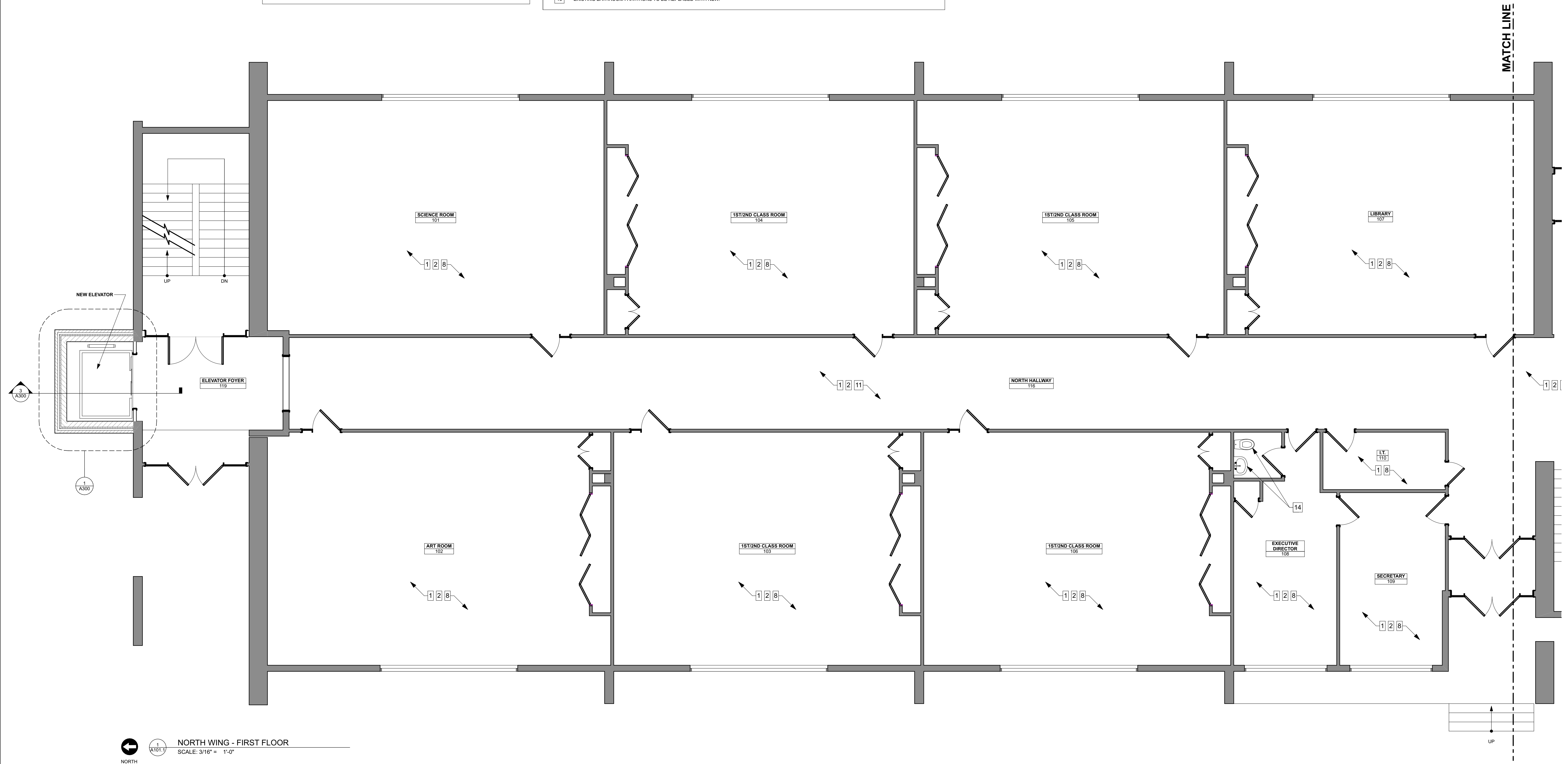
EXISTING PLUMBING FIXTURES TO BE REPLACED WITH NEW.
- 16

EXISTING BATHROOM PARTITIONS TO BE REPLACED WITH NEW.
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EXISTING DOOR FRAME TO BE REPLACED WITH NEW.
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EXISTING DOOR AND LEAF FRAME TO BE REPLACED NEW.
- 7



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FIRST FLOOR PLAN  
- NORTH WING

A101.1



WALL TYPE LEGEND

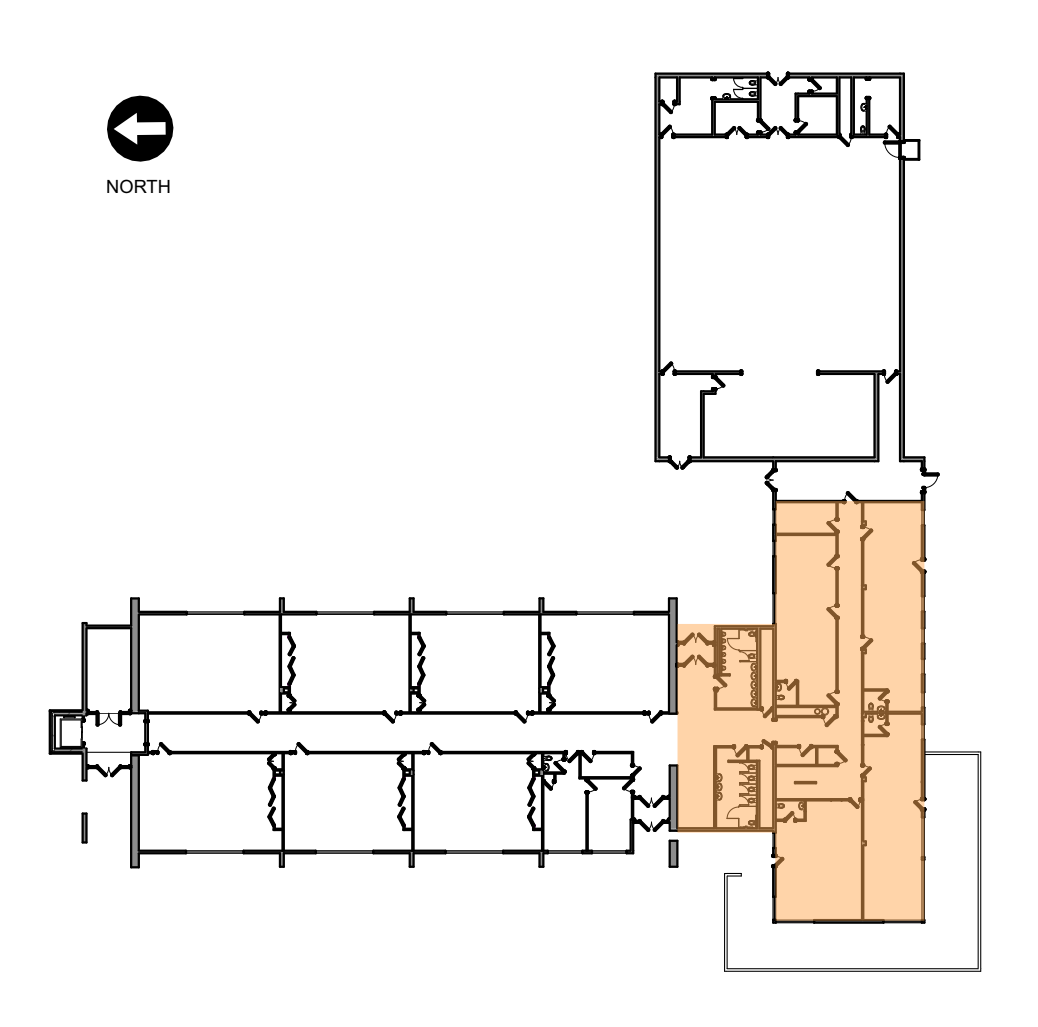
NEW WALL

EXISTING WALL TO REMAIN

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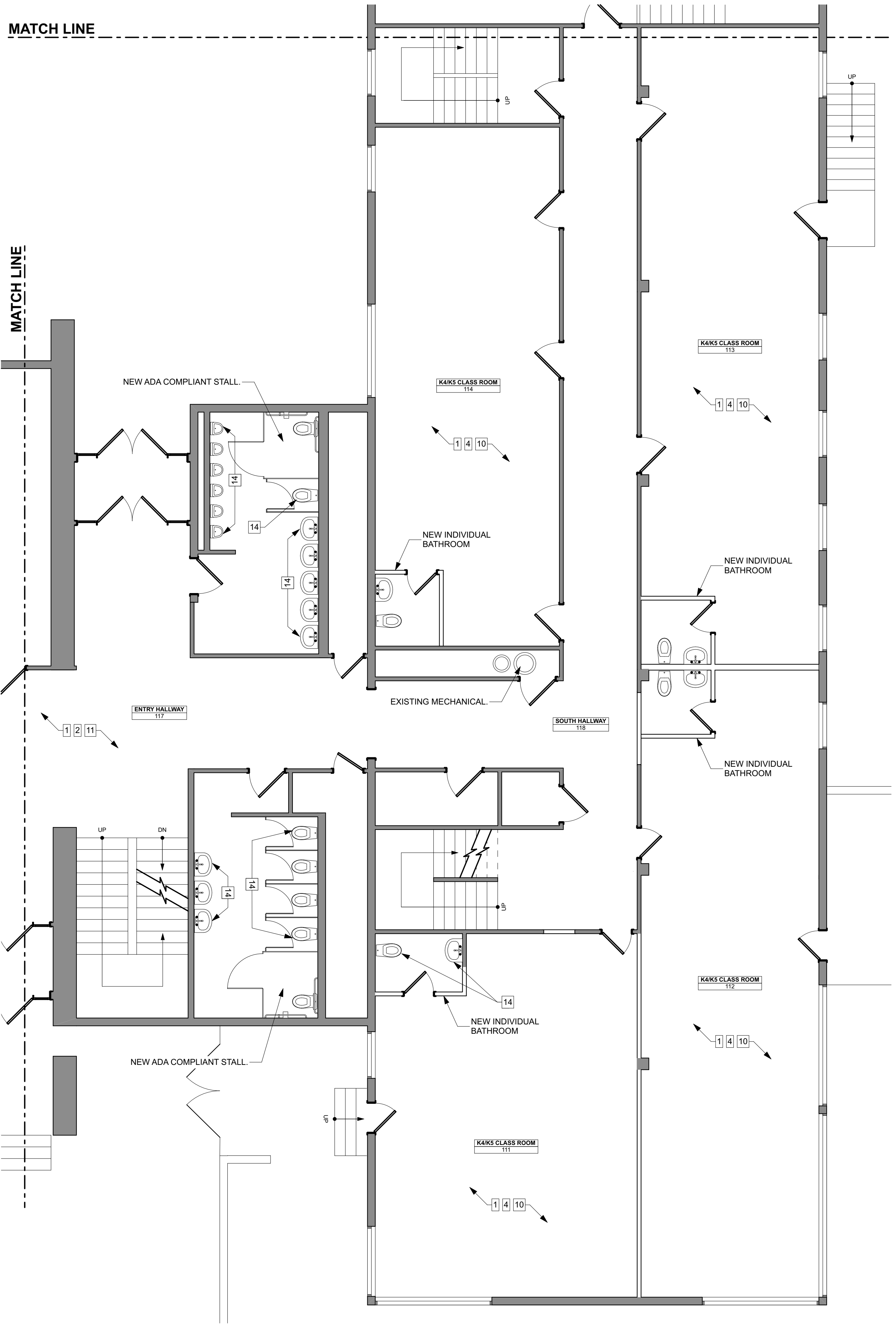
AREA OF WORK



FLOOR PLAN KEY NOTES

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19. EXISTING DOOR AND LEAF FRAME TO BE REPLACED NEW.
20. EXISTING STEPS AND AREA TO BE CONFIGURED FOR NEW ACCESS LIFT INSTALLATION.

MATCH LINE



NORTH

1

A101.2

SOUTH WING - FIRST FLOOR

SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION

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FIRST FLOOR PLAN- SOUTH WING

A101.2

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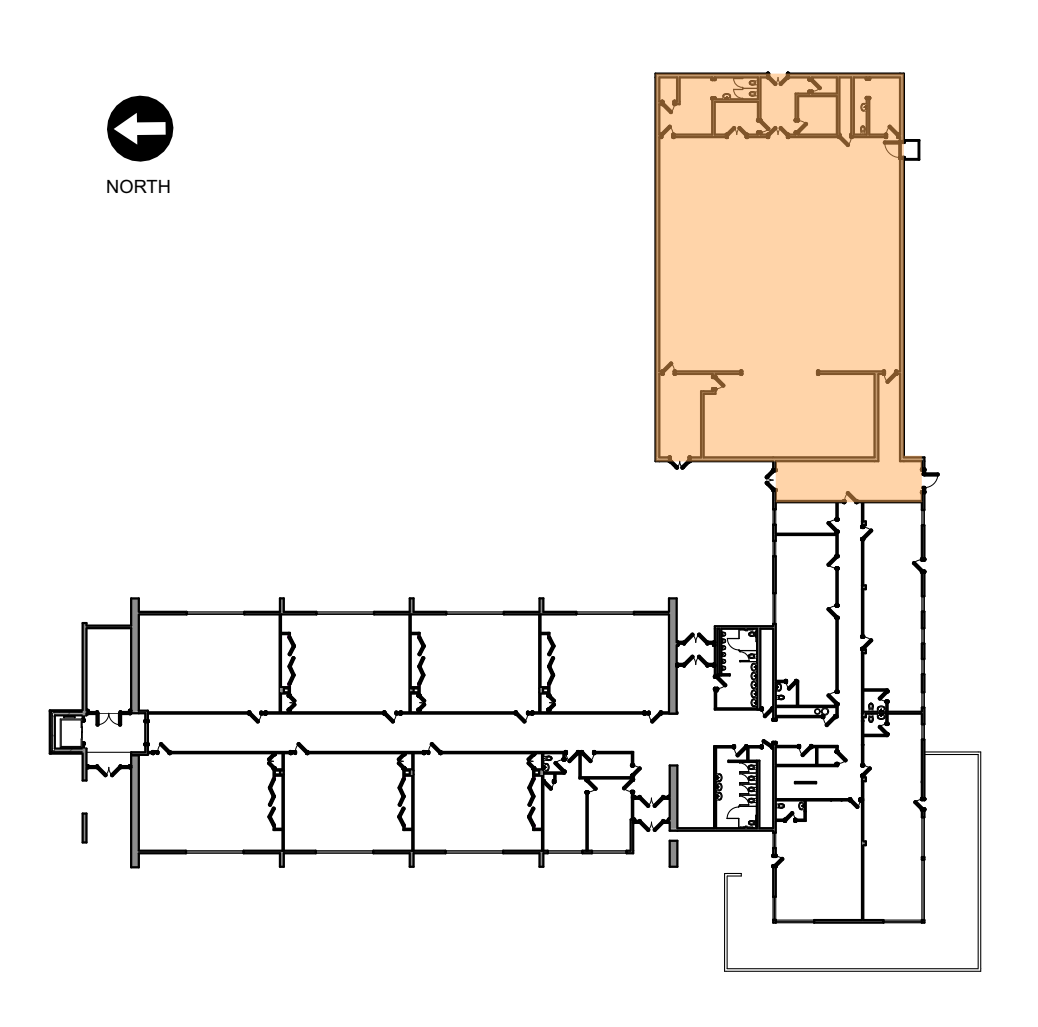
WALL TYPE LEGEND

|  |                         |
|--|-------------------------|
|  | NEW WALL                |
|  | EXISTING WALL TO REMAIN |

FLOOR PLAN - GENERAL NOTES

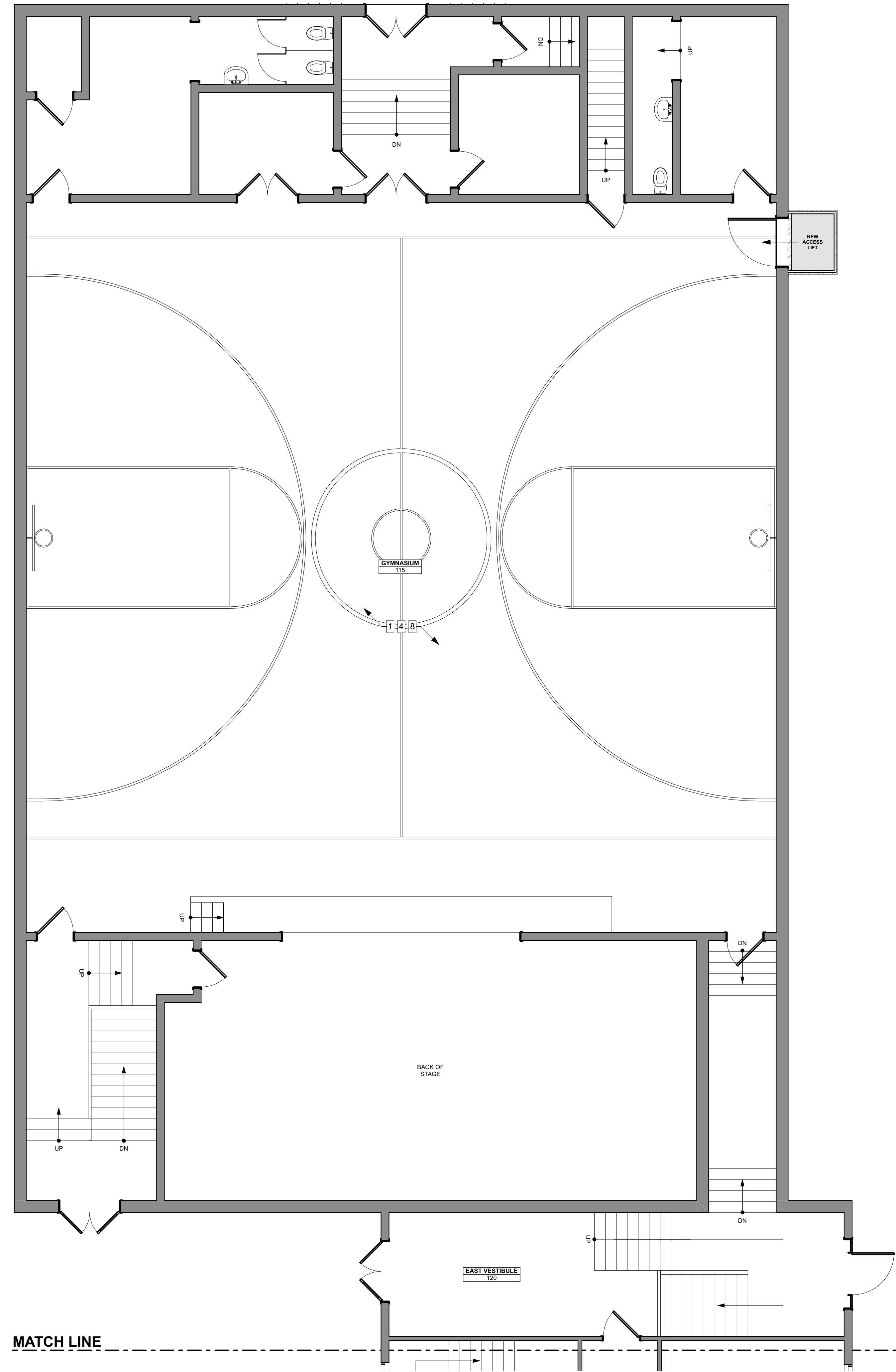
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AREA OF WORK



FLOOR PLAN KEY NOTES

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12. ROOM TO BE UNTOUCHED.
13. EXISTING WALL SWITCHES IN ROOM TO BE REPLACED WITH NEW.
14. EXISTING PLUMBING FIXTURES TO REMAIN.
15. EXISTING PLUMBING FIXTURES TO BE REPLACED WITH NEW.
16. EXISTING BATHROOM PARTITIONS TO BE REPLACED WITH NEW.
17. EXISTING DOOR LEAF TO BE REPLACED WITH NEW.
18. EXISTING DOOR FRAME TO BE REPLACED WITH NEW.
19. EXISTING DOOR AND LEAF FRAME TO BE REPLACED NEW.
20. EXISTING STEPS AND AREA TO BE CONFIGURED FOR NEW ACCESS LIFT INSTALLATION.



MATCH LINE

GYMNASIUM - FIRST FLOOR

SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION



WALL TYPE LEGEND

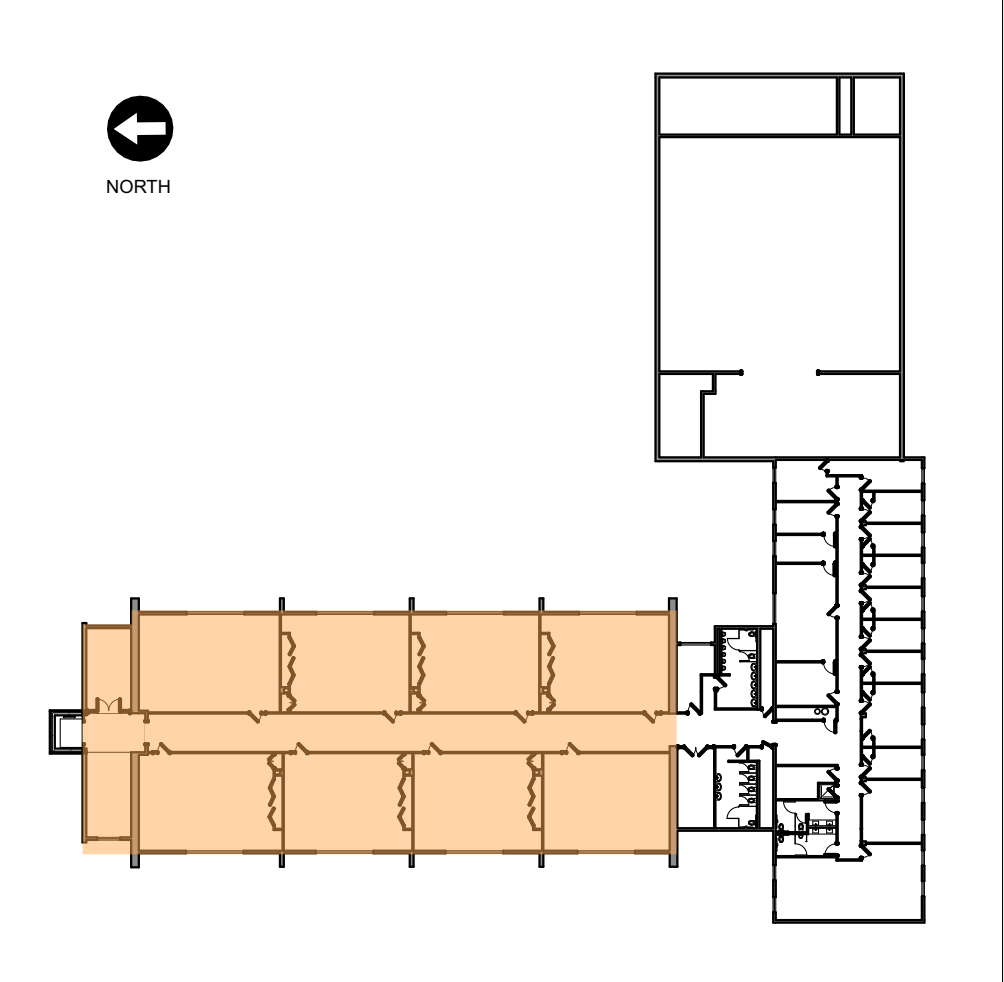
NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

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8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

AREA OF WORK



FLOOR PLAN KEY NOTES

- 1

EXISTING ELECTRICAL LIGHTING TO BE REMOVED AND PREPPED FOR NEW.
- 2

EXISTING WALL IN ROOM TO BE UNTOUCHED.
- 3

EXISTING WALL FINISH IN ROOM TO BE CLEANED AND PREPPED FOR NEW.
- 4

EXISTING WALL FINISH IN ROOM TO BE RESTORED.
- 5

EXISTING CEILING IN ROOM TO BE UNTOUCHED.
- 6

EXISTING CEILING TILES IN ROOM TO BE REPLACED WITH NEW CEILING TILES.
- 7

EXISTING CEILING TILES IN ROOM TO BE RESTORED.
- 8

EXISTING FLOOR IN ROOM TO BE UNTOUCHED.
- 9

EXISTING FLOOR IN ROOM TO BE RESTORED.
- 10

EXISTING FLOOR IN ROOM TO BE REPLACED.
- 11

EXISTING TERRAZO FLOOR TO BE RESTORED.
- 12

NOT USED.
- 13

EXISTING WALL SWITCHES IN ROOM TO BE REPLACED WITH NEW.
- 14

EXISTING PLUMBING FIXTURES TO REMAIN.
- 15

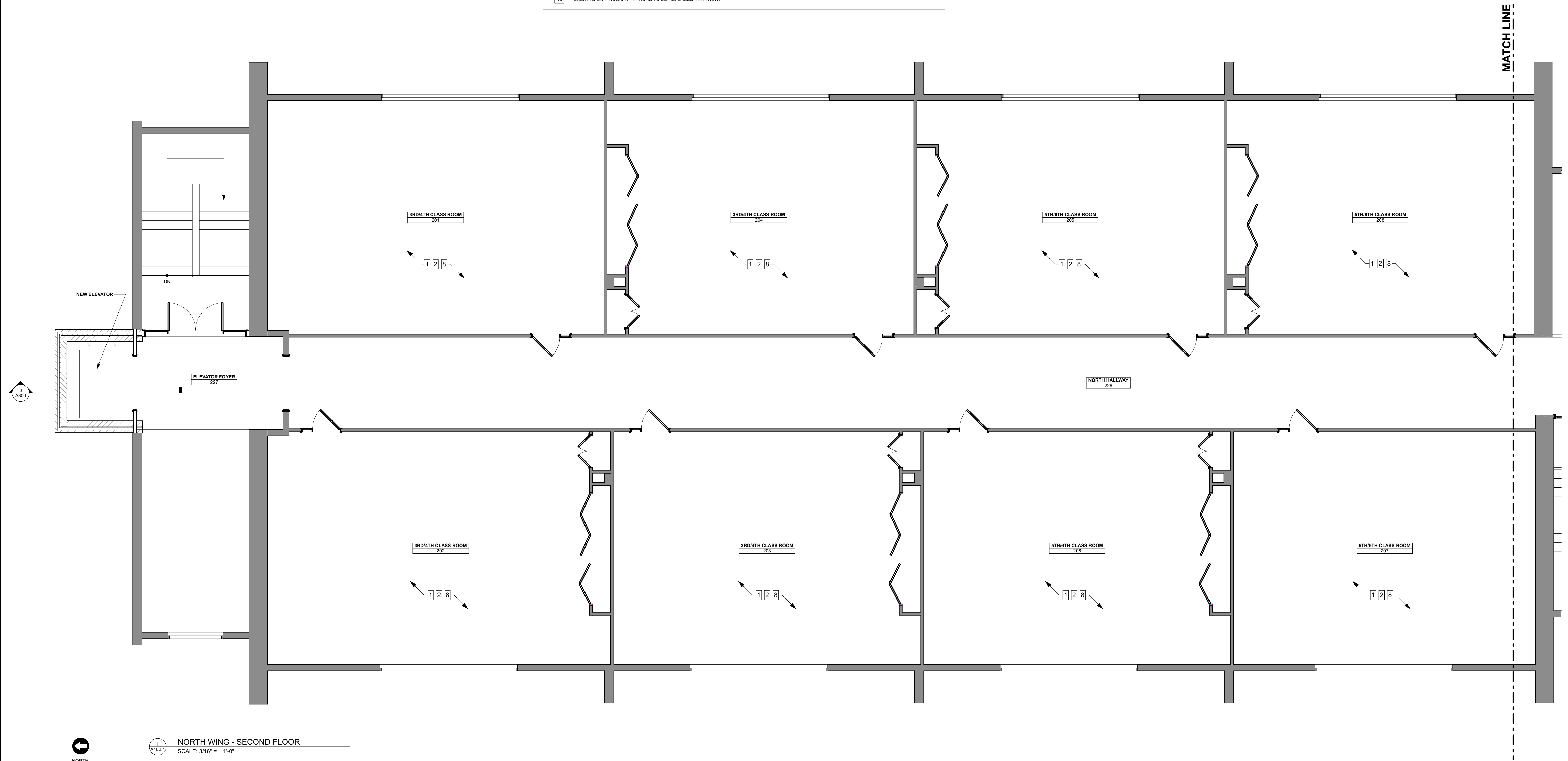
EXISTING PLUMBING FIXTURES TO BE REPLACED WITH NEW.
- 16

EXISTING BATHROOM PARTITIONS TO BE REPLACED WITH NEW.
- 17

EXISTING DOOR LEAF TO BE REPLACED WITH NEW.
- 18

EXISTING DOOR FRAME TO BE REPLACED WITH NEW.
- 19

EXISTING DOOR AND LEAF FRAME TO BE REPLACED NEW.
- 7



1  
A102.1

NORTH WING - SECOND FLOOR  
SCALE: 3/16" = 1'-0"



6404 West North Avenue  
Milwaukee, Wisconsin 53213  
(414) 291-0772 phone  
www.galbraithcarnahan.com

CONSULTANTS:

WOODLANDS SCHOOL - HOLY  
ASSUMPTION SITE  
1526 S 72ND ST WEST ALLIS WI 53214

DRAWING ISSUE  
ISSUE

DATE  
07.23.2024

PROJECT # 23.14

SECOND FLOOR  
PLAN - NORTH  
WING

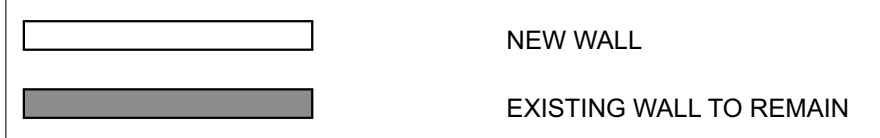
A102.1

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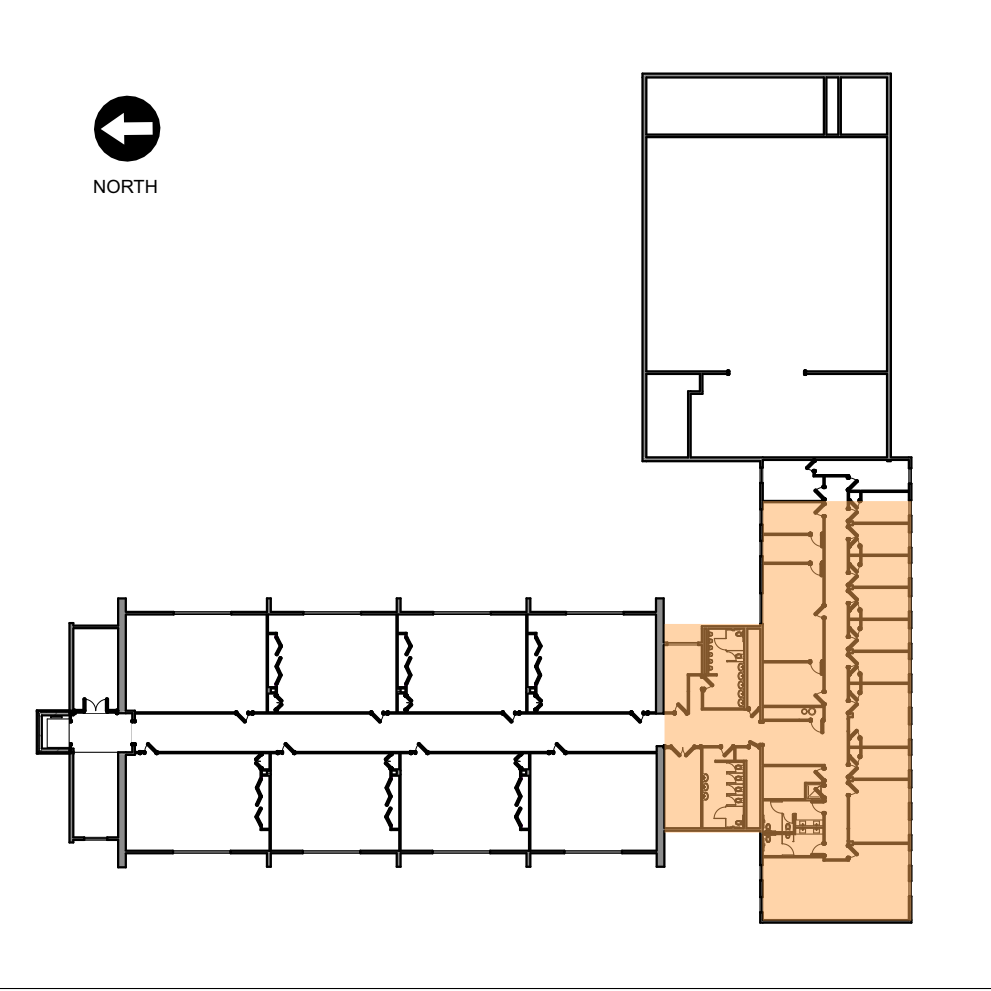
WALL TYPE LEGEND



FLOOR PLAN - GENERAL NOTES

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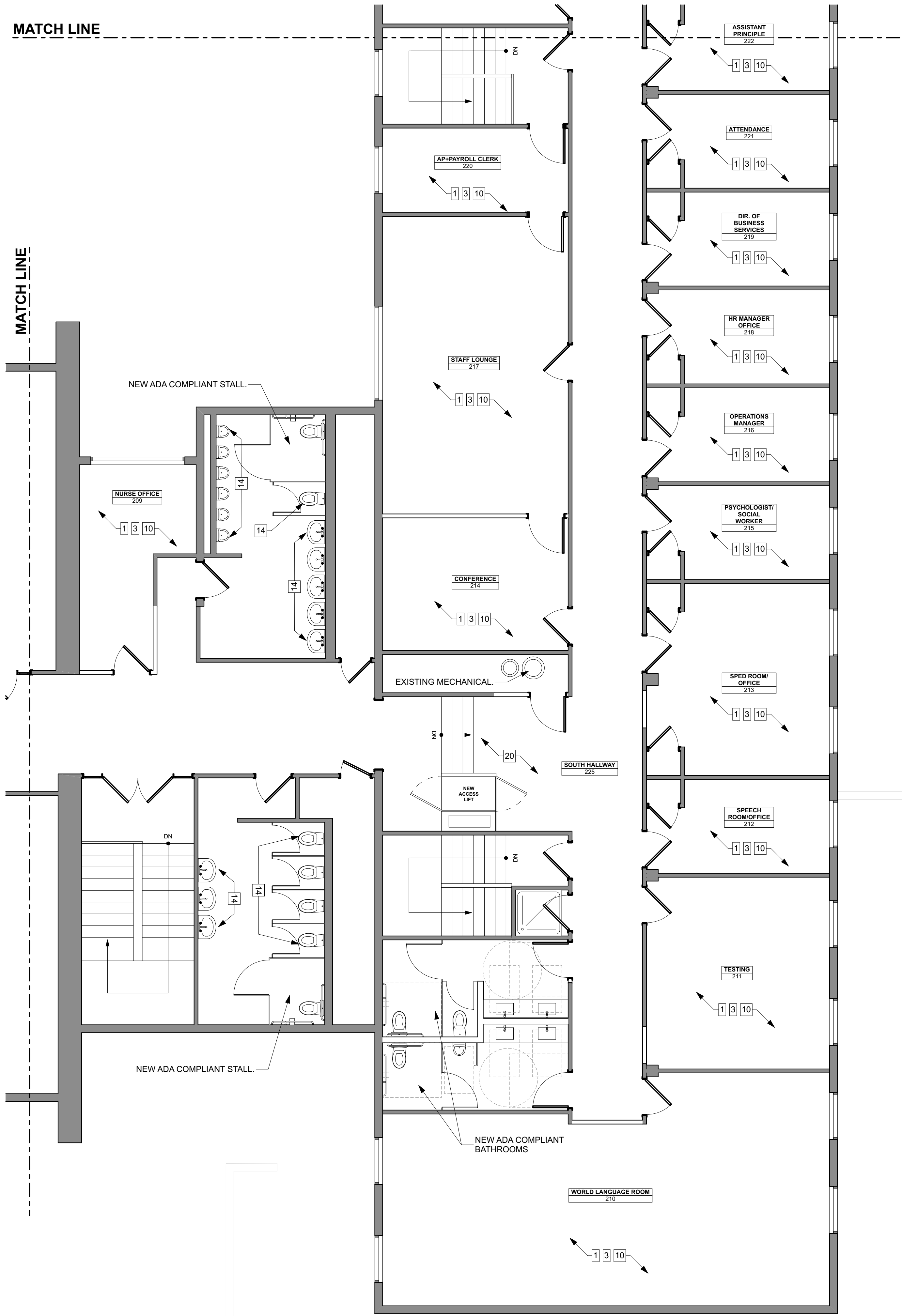
AREA OF WORK



FLOOR PLAN KEY NOTES

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MATCH LINE



1 SOUTH WING - SECOND FLOOR  
A102.2  
SCALE: 3/16" = 1'-0"



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PROJECT # 23.14

SECOND FLOOR  
PLAN- SOUTH WING

A102.2

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NOT FOR CONSTRUCTION



WALL TYPE LEGEND

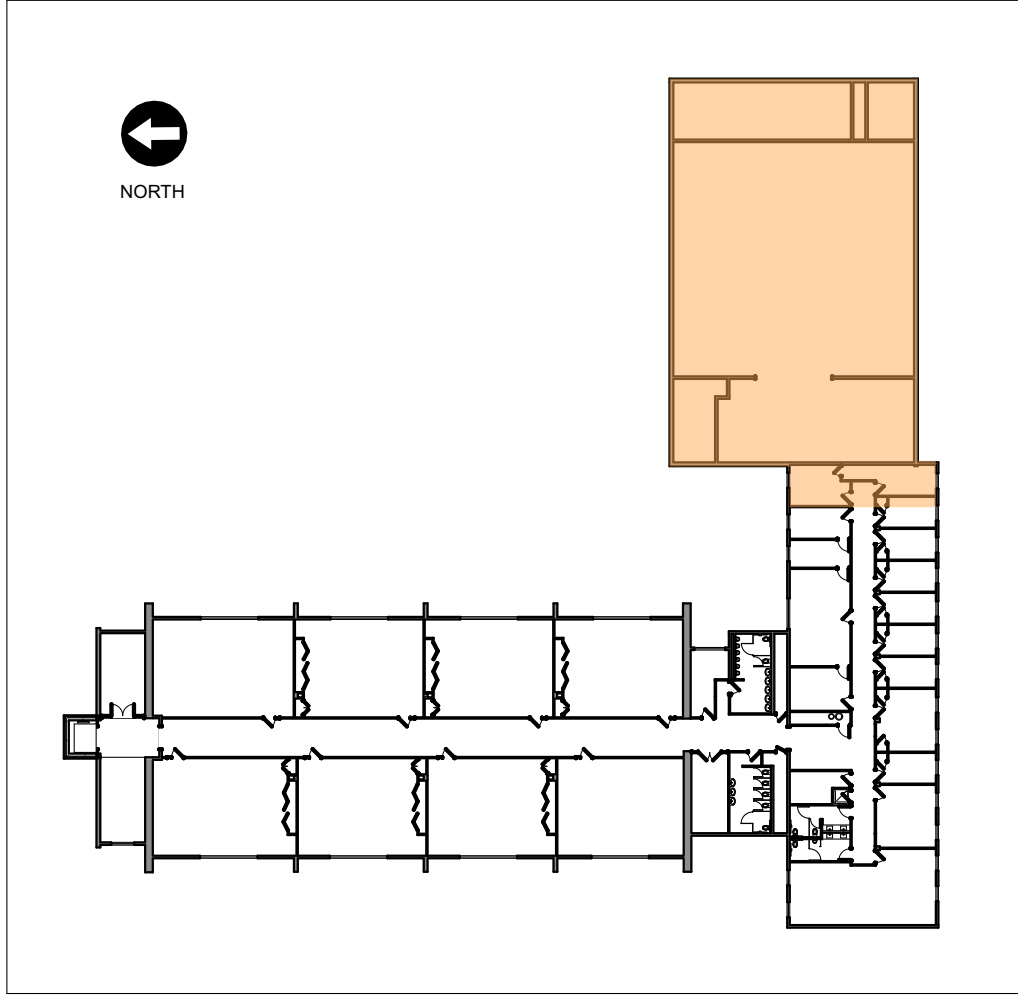
NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

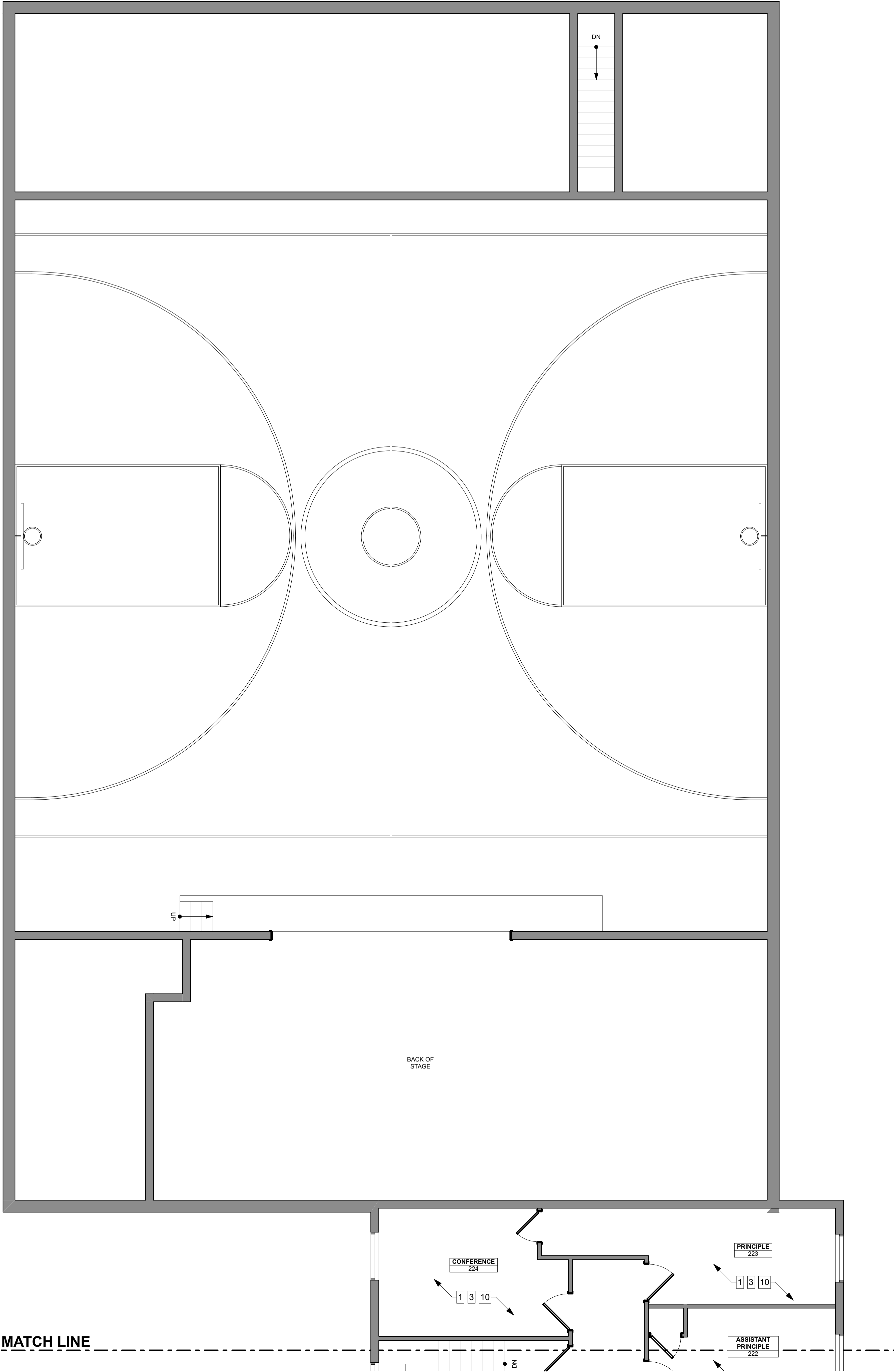
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AREA OF WORK



FLOOR PLAN KEY NOTES

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**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, September 25, 2024**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**3. Site, Landscaping, and Architectural Design Review for façade property at 7113 W. National Ave. (Tax key Parcel: 453-0609-000).**

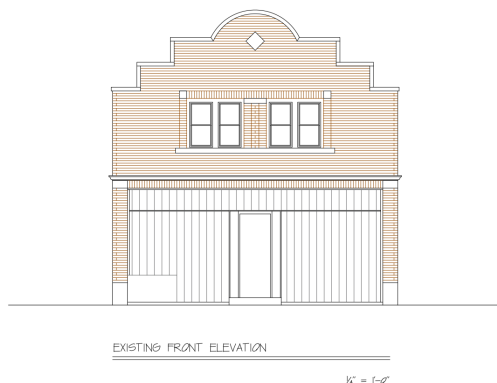
**Overview & Zoning**

The building at 7113 W. National Ave. was built in 1927 and designed by A.L. Steffel. Originally housing John Welsand's harness shop on the lower level, with his residence above, the building continued operating under his name until 1945. Over time, the building housed various businesses, including Dooley's Fur Shop and Gritzmacher Printing Company. The two-story brick building exemplifies Twentieth Century Commercial architecture with elements influenced by the German Renaissance Revival. The building's distinctive features include a stepped parapet with stone coping, stone insets, and brick detailing. The planned facade alteration will restore the building's historic character.



**Architectural Plan**

The proposed exterior renovation for building focuses on restoring the front facade. The plan includes replacing the boarded-up storefront with new aluminum store front windows and doors, sitting atop a limestone window sill. Wood panels with raised wood trim moldings appear directly above the storefront windows. Brick matching the existing brickwork is proposed below the storefront windows. The overall architectural plan enhances the buildings architectural integrity and maintains its historic character.





**Design Guidelines**

The proposal is considered a minor redevelopment; guidelines may be used as a framework but are not a requirement for approval.

**Recommendation:** Approval of Site, Landscaping, and Architectural Design Review for façade property at 7113 W. National Ave. (Tax key Parcel: 453-0609-000) subject to the following condition:

1. A driveway permit being applied for with City Engineering Department for work within the City Right-of-Way.





**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, September 25, 2024**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**5. Ordinance to Amend Chapter 19 of the West Allis Municipal Code, relative to certain automotive uses.**

**Overview**

Most automotive uses are currently Conditional Uses in all Commercial and Industrial zoning districts (see Principal Use Table below). As part of the path to business occupancy, any conditional use permit applicant is required to attend a public hearing before the Common Council.

Planning proposes changing the conditional use criteria for certain automotive uses. The typical conditions included in conditional use criteria table in section [19.34](#).

Why are most automotive uses a conditional use? The principal use table below shares the range of automotive (motor vehicle uses) below. The list ranges from retail permitted uses that don't offer installation services (retail parts store) to vehicle repair uses where the public takes their vehicle for service (for example - auto body, maintenance and repair services, gas stations, and auto sales and leasing). Most of these uses are considered conditional as they may pose a detrimental nuisance to the health, safety, welfare, and enjoyment of neighboring property. Conditional use criteria have been established to protect against edge conflicts where an automotive use is adjacent to a residential zoning district.

At the September 3, Economic Development Committee meeting, the EDC committee directed staff to prepare an ordinance for consideration to update and increase the standard criteria within [sec. 19.34 conditional use criteria](#).

**Zoning Definition of Conditional use**

|                 |   |
|-----------------|---|
| Conditional Use | A use that is allowed upon meeting all conditions specified in the code and those imposed by the common council |
|-----------------|---|

The option for consideration is to increase separation beyond just a residential zoning district but also residential uses to avoid potential nuisance complaints where residential districts and uses meet commercial zones.



## Existing Principal Use Table (19.32) & Conditional Use Criteria (19.34)

| Automotive                         | RA-1 | RA-2 | RA-3 | RB | RC | C-1 | C-2 | C-3 | C-4 | I-1 | I-2 | P | SF |
|------------------------------------|------|------|------|----|----|-----|-----|-----|-----|-----|-----|---|----|
| Automobile Parts Sales             |      |      |      |    |    |     |     | P   | P   | P   | P   |   |    |
| Car Wash Service                   |      |      |      |    |    |     |     |     | C   | C   | L   |   |    |
| Fuel Sales                         |      |      |      |    |    |     | C   | C   | C   | C   | C   |   |    |
| Heavy Motor Vehicle Sales          |      |      |      |    |    |     |     |     |     | C   | P   |   |    |
| Heavy Motor Vehicle Service        |      |      |      |    |    |     |     |     |     |     | C   |   |    |
| Light Motor Vehicle Sales (indoor) |      |      |      |    |    |     |     | C   | C   | C   | P   |   |    |
| Light Motor Vehicle Sales          |      |      |      |    |    |     |     |     | C   | C   | P   |   |    |
| Light Motor Vehicle Service        |      |      |      |    |    |     | C   | C   | C   | C   | C   |   |    |

### 8. Automotive

| Principal Use               | District(s)             | Criteria  |
|-----------------------------|-------------------------|---|
| Car Wash Service            | C-4, I-1                | No conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot |
| Light Motor Vehicle Sales   | C-4, I-1                | No conditional use permit may be issued unless at least 20% of the lot is landscaped and the lot is at least 1 acre |
| Light Motor Vehicle Service | C-2, C-3, C-4, I-1, I-2 | No conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot |
| Heavy Motor Vehicle Sales   | I-1                     | No conditional use permit may be issued unless at least 20% of the lot is landscaped and the lot is at least 1 acre |

## Proposed Conditional Use Criteria

### 8. Automotive

| Principal Use               | District(s)             | Criteria  |
|-----------------------------|-------------------------|---|
| Car Wash Service            | C-4, I-1                | No conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot |
| Light Motor Vehicle Sales   | C-4, I-1                | No conditional use permit may be issued unless at least 20% of the lot is landscaped and the lot is at least 1 acre |
| Light Motor Vehicle Service | C-2, C-3, C-4, I-1, I-2 | No conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot |
| Heavy Motor Vehicle Sales   | I-1                     | No conditional use permit may be issued unless at least 20% of the lot is landscaped and the lot is at least 1 acre |

➡ No CUP may be issued when adjacent to a lot with a residential use or a residential zoning district

➡ No CUP may be issued when adjacent to a lot with a residential use or a residential zoning district

|   |                             |                         |   |
|---|-----------------------------|-------------------------|---|
| + | Fuel Sales                  | C-2, C-3, C-4, I-1, I-2 | No CUP may be issued when adjacent to a lot with a residential use or a residential zoning district |
| + | Heavy Motor Vehicle Service | I-2                     | No CUP may be issued when adjacent to a lot with a residential use or a residential zoning district |



**Recommendation:** Common Council approval of the ordinance to Amend Chapter 19 of the West Allis Municipal Code, relative to certain automotive uses.





**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, September 25, 2024**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**6. Ordinance to Amend Chapter 19 of the West Allis Revised Municipal Code, relative to massage therapy uses.**

**Overview**

Massage therapy uses are currently Conditional Uses, in all Commercial and Industrial zoning districts (see Principal Use Table below). As part of the path to business occupancy, any conditional use permit applicant is required to attend a public hearing before the Common Council.



Planning has been considering changing massage therapy uses to a Limited Use, meaning imposing the same conditions of approval that Council typically imposes under conditional use, but without a Public Hearing. The typical conditions included in items a-e below the principal use table.

Why is massage therapy a conditional use? Massage therapy used to be a permitted use, but after some illegitimate business practices, followed by Police sting operations, the use became a conditional use in

|                 |   |
|-----------------|---|
| Permitted Use   | A use that is allowed without any specified conditions  |
| Limited Use     | A use that is allowed upon meeting all conditions specified in the code   |
| Conditional Use | A use that is allowed upon meeting all conditions specified in the code and those imposed by the common council |

2018 under the past zoning ordinance. Of note, the old ordinance didn't offer Limited Uses. In other words, back in 2018, our old zoning ordinance offered only permitted uses or conditional

**Principal Use Table & Conditional Use Criteria**

| Service                   | RA-1 | RA-2 | RA-3 | RB | RC | C-1 | C-2 | C-3 | C-4 | I-1 | I-2 | P | SF |
|---------------------------|------|------|------|----|----|-----|-----|-----|-----|-----|-----|---|----|
| Animal Boarding           |      |      |      |    |    |     |     | L   | L   | L   | P   |   |    |
| Animal Breeding           |      |      |      |    |    |     |     |     |     |     |     |   |    |
| Animal Shelter            |      |      |      |    |    |     |     |     |     | C   | C   |   |    |
| Animal Training           |      |      |      |    |    | L   | L   | L   | L   | L   | P   |   |    |
| Dry Cleaning              |      |      |      |    |    |     |     | C   | C   | C   | C   |   |    |
| Employment Agency         |      |      |      |    |    | L   | L   | L   | L   | P   | P   |   |    |
| Food Production (limited) |      |      |      |    |    | L   | L   | L   | L   | L   | L   |   |    |
| Food Production           |      |      |      |    |    | C   | C   | C   | C   | P   | P   |   |    |
| General Service           |      |      |      |    |    |     |     | P   | P   | P   | P   |   |    |
| Laundry (self-service)    |      |      |      |    |    | C   | P   | P   | P   | P   | P   |   |    |
| Massage Therapy           |      |      |      |    |    | C   | C   | C   | C   | C   | C   |   |    |
| Neighborhood Service      |      |      |      |    |    | P   | P   | P   | P   | P   | P   |   |    |
| Payday Lender             |      |      |      |    |    |     |     |     | C   | C   | C   |   |    |
| Restaurant                |      |      |      |    |    | C   | C   | C   | C   | C   | C   |   |    |
| Restaurant (limited)      |      |      |      |    |    | L   | L   | L   | L   | L   | L   |   |    |
| Tavern                    |      |      |      |    |    |     |     |     |     |     | P   |   |    |

- State of WI licensed operation.
- Maintain customer appointment records.
- All customers enter/exit through common/public areas.
- 24/7 Video camera within common public access points.
- Daytime Hours (not open before 7am or after 10pm).





uses (no middle). The new zoning ordinance offers Limited uses which offer essentially a permitted use with some teeth as defined in the referenced range of definitions.

**Recommendation:** Common Council approval of the proposed ordinance to Amend Chapter 19 of the West Allis Revised Municipal Code, relative to massage therapy uses.





**Staff Report**  
**West Allis Plan Commission**  
**Wednesday, September 25, 2024**  
**6:00 PM**

**Room 128 – City Hall – 7525 W. Greenfield Ave.**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

7. **Revised Site, Landscaping, and Architectural Design Review for an accessory parking facility, at 9422-30 W. National Ave. submitted by John Fuchs and Nick Fuchs on behalf of Source One Enterprise LLC (Tax Key No. 479-0674-003).**

**Overview and Zoning**

The 9422-30 W. National Ave. lot has been combined via CSM with the property at 9440 W. National Ave. (Tax Key No. 479-0674-003 & Tax Key Parcel: 479-0676-004). A revised site and landscaping plan has been submitted to remove previously proposed cross access between the east and west sides of the site. The applicant has hired a new contractor and engineer and determined the previous cross access plan was not feasible without significant cost and regrading of the overall property.

Since changes are intended from what was approved by Plan Commission in May, the new plan is before Plan Commission for consideration.



May site plan - The prior plan include changing the gradient of the property to match the east to the west. In other words, base material fill/soil will be added to increase the new parking area pavement surface to match the existing level of pavement at the west side of the site (9440 W. National Ave.). The fill then being graded to slope/drain from north to south. A retaining wall was proposed on the east side of the site, abutting the commercial property to the east.



**Revised/September Site plan** - The revised plan provides 24 parking spaces in the new parking area and maintains a grade separation between east and west sides of the site. A retaining wall proposed to support the grade difference between east and west parking areas and along the north side abutting residential. The site being graded to slope/drain from north to south to an existing catch basin.



New decorative fencing with masonry would be installed along the W. National Ave. street frontage (south side of the site). Landscaping areas would also be installed in front of the new fence area as previously planned. And some additional planter areas within the parking lot. A pedestrian accessway between the new parking area and the public sidewalk along W. National Ave.

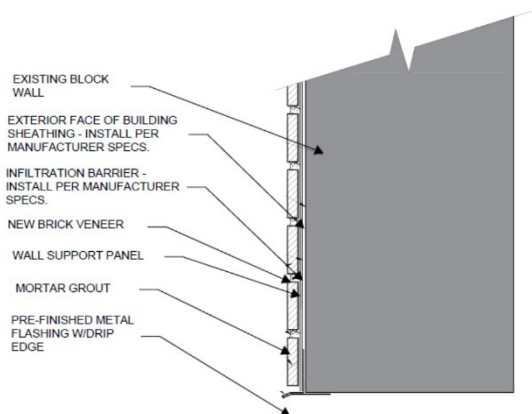
Along the north side of the property a new board on board wood fence would be installed to match the height of existing north fence (blending existing with new along the north side of the site). A similar fence and concrete wheel stops would help provide a visual and physical barrier between upper and lower parking areas on site.

On the east side of the site a new board on board wood fence would be installed and taper/end nearing W. National Ave. maintaining vision angles for traffic exiting from the new parking area.

Access to and from the new parking area will be right turn in and out. Signage is also shown on the plan to help reinforce the desired traffic flow.

### Architectural

The east wall of the Heartbreakers building will be repaired to add brick veneer to refurbish areas left behind post demo of the former commercial building (9422 W. National Ave.). The brick type and color will best match or compliment the existing brick on the exterior of the Heartbreakers building.



7 NEW BRICK VENEER ON THE WALL



**Recommendation:** Approval of the revised Site, Landscaping, and Architectural plans are being prepared for an accessory parking facility, at 9422-30 W. National Ave. submitted by John Fuchs and Nick Fuchs on behalf of Source One Enterprise LLC (Tax Key No. 479-0674-003 & Tax Key Parcel: 479-0676-004), and subject to the following:

(Items to be completed prior to issuance of any building permits to construct a parking lot).

1. A revised Site and Architectural Plan being submitted to the Department of Development to show the following: (a) exterior building wall detail of brick veneer type/color (Heartbreakers bldg); (b) better define the new fence line locations on the site plan and along the east property line show the end point of the fence being about 20-ft setback from W. National Ave. to promote visibility; (c) Please provide the correct details and reference their location on the site plan with the correct reference detail number/sheet number. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. Exterior lighting plan (location and fixture type).
3. A [Street excavation permit](#) and sidewalk permit being applied for prior to work beginning. Any concrete work in the street right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367.



















