



**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, January 22, 2025  
6:00 PM**

**Watch:** <https://www.youtube.com/user/westalliscitychannel>

- 4A. Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St.**
  
- 4B. Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-001).**

**Overview and Zoning**

Nabil Salous purchased the 5.5-acre property last year and has proposed to construct 60 townhome apartments over five buildings. The unit mix within each of the five buildings would consist of one, two, and 3-bedroom units. Each building has separate entrances to respective units, two floors, and includes an attached garage for one vehicle. Surface parking and pedestrian walkways are also shown on the site plan plan. An existing stormwater pond exists on the site as completed by a previous owner (Robert 100). The property sold for about \$750,000 last September. The total project cost is about \$10MM not including land cost. This was a private real estate transaction and the developer has not requested city assistance.

Prior to the current development proposal, this property was formerly occupied by Griffin’s Hub Chrysler Jeep Dodge dealership until they moved in 2008. The property was then sold in 2012 to Milwaukee-based Joseph Property Development LLC and Boulder Venture (Robert 100) who demolished the vacant dealership buildings to make way for future retail development. This ownership subdivided the then 8-acre property into three lots. Two new lots along Hwy 100 (one lot developed as an AutoZone, and the other lot developed as a multi-tenant shopping center – HuHot, Tropical Café, Elements...). The remaining third lot (5.5-acres) has been available since. The prior ownership had contemplated five new retail buildings (small to mid-box), and even installed a stormwater pond and stormwater infrastructure to support this end, but the site wasn’t accepted as marketable for mid box retail despite being in the center of a retail triangle bordered by Highway 100, West National Avenue and West Oklahoma Avenue.

The city also received a number of other development proposals over the past decade including self-storage, vehicle storage yards, vehicle repair and sales, industrial contractor garages, and thrift organization related but none considered appropriate from either a zoning and/or future land use perspective, nor in alignment with the Hwy 100 corridor plan.

Of note, the Hwy 100 corridor plan suggests that there is an opportunity for new, targeted residential development.



**Site and Landscaping Plan**

Site access is proposed to remain the same with an existing drive from W. Oklahoma Ave (County Hwy NN), and S. 108 St. (State Hwy 100). Both Milwaukee County and the Wisconsin Department of Transportation have been informed about the new residential development. A traffic study technical memo is recommended to analyze impact on both County and State Hwy and specifically the main intersection.

Off-street parking - Each dwelling unit includes an attached garage for one vehicle, and access to surface parking. A total of 76 surface parking spaces are proposed throughout the site and around the new buildings. The combination of garage (60 spaces) and surface parking stalls (76 spaces) exceeds the zoning limit (120 spaces max). Staff requests additional information on the need for the quantity and expected use or assignment of surface parking spaces for this residential development. The zoning code utilizes maximum parking requirements. For dwellings of more than 3 units a maximum limit of 2 parking spaces per unit are allowed. See zoning [sec. 19.44 vehicle parking](#).

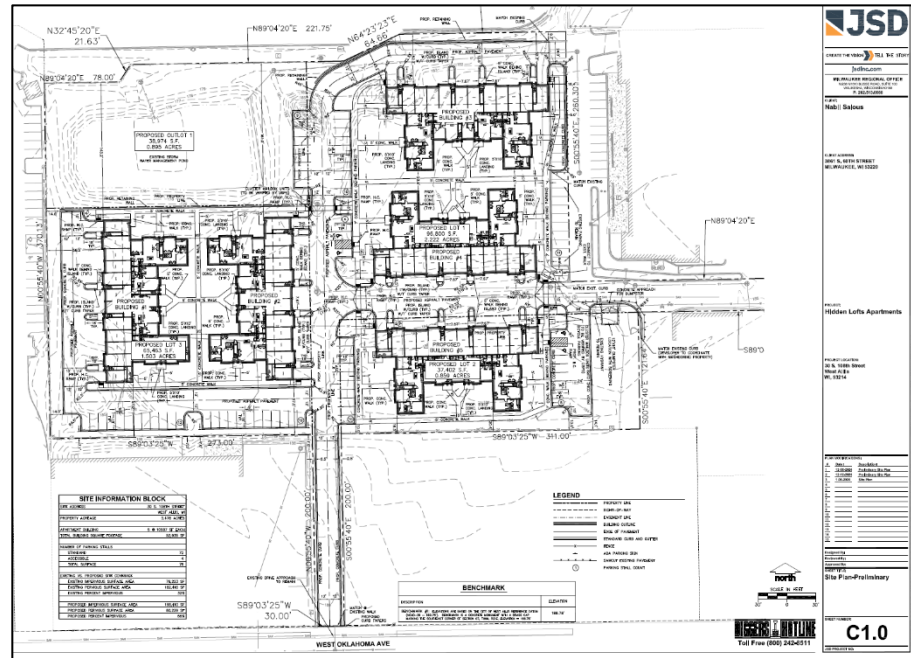
Type of Use	Maximum Parking Spaces
Dwelling (3 or more units)	2 per dwelling unit

The developer indicated they expect some households could have more than two cars. Of note, when considering that most residents may also park vehicles on the approach outside their attached garage, this would offer some support to any assumption that some households could have more than two motor vehicles.

Since this is a conditional use, Common Council may consider exceeding maximum parking limit (the 2 car per unit max). However, staff is recommending reducing the amount of proposed off-street surface parking not to exceed the zoning limit.

The additional space gained could offer an opportunity for more greenspace/curb

appeal, enhance opportunity for resident amenities, snow storage, additional refuse areas on site, and offering improved connectivity both on site and access to surrounding businesses.



*Why Parking maximums - Off-street parking maximum standards in zoning ordinances limit the construction of parking lots that are larger than necessary. Historically, local governments across the U.S. have routinely set parking minimums in their land development regulations for various types of uses. The purpose of parking minimums is to ensure that there are sufficient off-street parking spaces for each development based, typically, on the building use and size. Increasingly, local governments recognize the need to limit parking for a variety of reasons (growth/density, walkable/comfortable neighborhoods and thriving urban corridor, added taxable value proposition, parking isn't free, high cost, sustainability) and therefore establish parking maximums in their regulations, establishing an upper bound for the number of spaces allowed for a specific use, thus controlling the amount of land and impervious surface associated with parking.*

**Bicycle parking -** Per Code, all dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units. Each unit will have at least one garage stall of about 13-ft wide x 28-ft deep which is deep enough to allow some storage area in front of a parked motor vehicle. In addition, staff recommends five outdoor bicycle racks on site (one for each building).

**Refuse area -** A central refuse/recycle area with enclosure is located on the main drive into the site from Hwy 100. Each residence deposits individual waste and recyclables into the centralized area.



Staff are recommending at least one additional centralized refuse area to ease/reduce the distance residents walk or travel to deposited trash. Four sided enclosures are recommended/proposed for the refuse areas. A separate personnel door access so the larger gates don't need to be opened by residents. A commercial hauler will be contracted by the developer.

A centralized mailbox area will also be incorporated toward the east side of the site.

Internally the buildings and surface parking area connected via a series of pedestrian walkways providing access to each building. Staff is recommending a sidewalk connection be added on site to the public right-of-way along both Hwy 100 and W. Oklahoma Ave. Similar staff expects walk-desire lines to develop between

the development site and Fortune Restaurant property and Shoppes on 100 shopping center (Starbucks, UPS store...). Connectivity between properties is an important consideration when redeveloping sites in the city. A sidewalk connection on at least one side of the main private entry drives should be incorporated into the site plans.



**Landscaping** - A detailed landscaping plan will be required as part of the project. The perimeter of the site will feature greenspace varying from 14-ft to 20-ft in width. There are also some areas around and between buildings offering some internal green space. The total percentage of green space is about 32% of the property area.

With respect to the existing stormwater pond on the NW corner of the site, staff is encouraging the developer to incorporate some additional site/landscaping improvements including a walk path and bench(es) around, or at least partially around the existing pond area. Natural plantings could be installed as a common area aesthetic amenity for residents.

### **Architectural Plan**

The architectural plan shows a total of five 2-story buildings. The area of each floor of the building is about 10,600-sf, or a total of 21,000-sf per building. All buildings will be sprinklered.



Unit Mix (per building)

				ADA TYPE-A UNITS			
STUDIO	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	TOTAL UNITS
0	2	5	4	0	1	0	12

First floor tenants have direct access into their units from the attached garages. Second floor tenants will enter via an exterior entrance outside of their attached garage with internal stair access to their respective unit.

The exterior materials of each building will consist of [James Hardie](#) lap siding on the first and second floors with [Halquist](#) decorative stone accent walls (full depth stone) around the resident entry ways. Second floor apartment units will feature aluminum railed balconies. The first-floor garage doors will offer a wood paneled appearance. The massing of the building is broken up with contrasting colors of siding transitioned by a horizontal trim feature, balconies, gabled roof features, and projecting entry elements with full depth stone to avoid a flat unarticulated look.



**Design Guidelines**

Compliance with the design guidelines is mandatory for new development. A summary of this project with respect to applicable guideline requirements is included in the attached Plan Commission checklist.

**Recommendation:** Common Council approval of the Conditional Use Permit for a proposed 5+ Unit Dwelling development and approval of the Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-

001) subject to the following conditions being satisfied in advance of a building permit being issued:

1. Common Council approval of the Conditional use permit (scheduled February 11, 2025).
2. Revised Site, Landscaping, and Architectural plans submitted to show the following: (a) a sidewalk connection on at least one side of the main private entry drives to/from public right of ways of W. Oklahoma Ave. and S. 108 St. (Hwy 100) being incorporated into the site plans; (b) reduction of 16 off-street parking spaces (per sec. 19.44), (c) submittal of a landscaping plan and species reference list for review and approval by City Forester; (d) show/add snow storage areas and at least one additional 4-sided screened refuse area on the site plans. Incorporate personnel door into refuse enclosures; (e) Incorporating a walk path/trail amenity adjacent to existing stormwater pond; (f) a full hammerhead turnaround should be installed at the dead end on the west side of the site (g) one exterior bicycle rack per building; (h) site lighting plan and photometric/lighting plan; (i) turning radius shown on a site plan for fire trucks.
3. A full utility plan (water, storm, sanitary) being submitted for review by Engineering Department. Additional hydrants as required per Fire Department.
4. A stormwater management plan showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Code Enforcement Department by a registered Civil Engineer. The plan should be modeled to show how proposed elevations work with the pond as built. The plan will also be reviewed by the City Stormwater consultant per ordinance.
5. Access management. A traffic study/technical memo being prepared for review and approval by the City Engineer.
6. Planned work or modifications within right-of-way shall be coordinated with City Engineering, Milwaukee County, and WisDOT. Contact Greg Bartelme (414) 302-8367.

# PLAN COMMISSION CHECKLIST

1.

**Goal:**  
Context

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Neighbor	i. Street wall	<input type="checkbox"/>	
	ii. Scale	<input type="checkbox"/>	
	iii. Historic neighbors	<input type="checkbox"/>	
	iv. Connectivity	<input type="checkbox"/>	
b. Site	i. Orientation	<input type="checkbox"/>	
	ii. Unique features	<input type="checkbox"/>	
	iii. Historic elements	<input type="checkbox"/>	
	iv. Additions	<input type="checkbox"/>	

2.

**Goal:**  
Public Realm

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="checkbox"/>	
	ii. Street edge	<input type="checkbox"/>	
	iii. Active uses	<input type="checkbox"/>	
	iv. No blank walls	<input type="checkbox"/>	
b. Build for People	i. Engaging spaces	<input type="checkbox"/>	
	ii. Accessible spaces	<input type="checkbox"/>	
	iii. Built-out site	<input type="checkbox"/>	
	iv. Pedestrian connections	<input type="checkbox"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="checkbox"/>	
	ii. Utilities and services	<input type="checkbox"/>	
	iii. Lighting	<input type="checkbox"/>	
	iv. Fencing	<input type="checkbox"/>	

3.

**Goal:**  
Quality

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Building	i. Quality materials	<input type="checkbox"/>	
	ii. Ground floor	<input type="checkbox"/>	
	iii. Exterior features	<input type="checkbox"/>	
	iv. Quality design	<input type="checkbox"/>	
b. Environment	i. Natural features	<input type="checkbox"/>	
	ii. Manage stormwater	<input type="checkbox"/>	
	iii. Reduce impervious surface	<input type="checkbox"/>	
	iv. Embody sustainability	<input type="checkbox"/>	



## **Hidden Loft LLC**

### **108 Street/Oklahoma**

This project involves the development of 5.5 acres of vacant land into 5 small apartment buildings.

All these buildings are identical in design and area, 2 story high with attached garages.

Slab on grade without basement

Each unit would have separate entrance without any public hallway or common space

We would like to start the project early spring of 2025

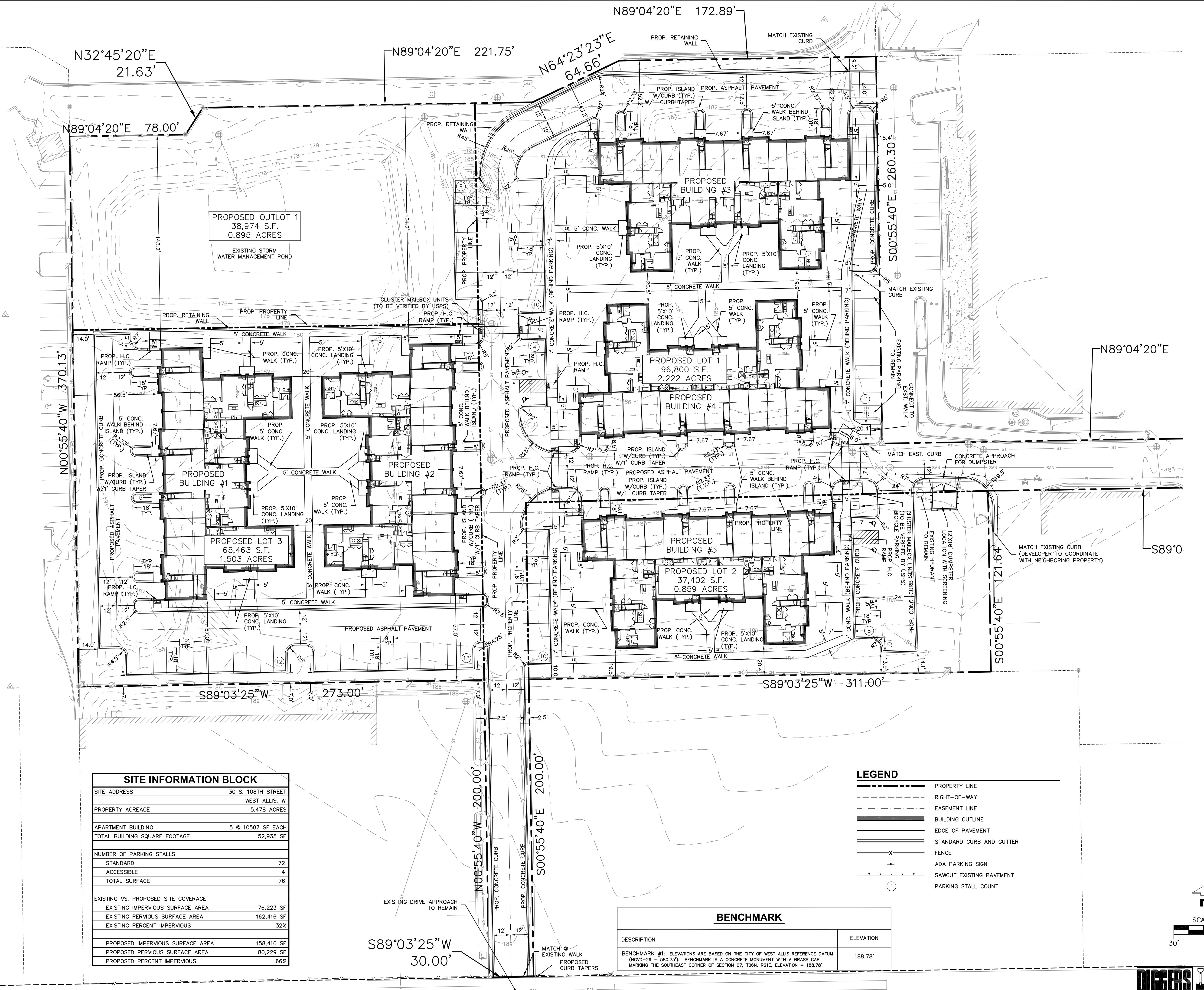


#	Date:	Description:
1	12-06-2024	Preliminary Site Plan
2	12-16-2024	Preliminary Site Plan
3	1-08-2024	Site Plan
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By:  
Reviewed By:  
Approved By:  
SHEET TITLE:  
**Site Plan-Preliminary**

SHEET NUMBER:  
**C1.0**

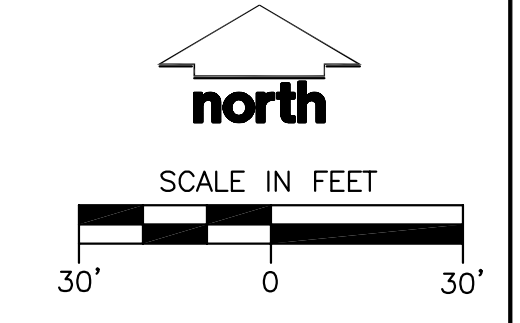
JSD PROJECT NO:



SITE INFORMATION BLOCK	
SITE ADDRESS	30 S. 108TH STREET WEST ALLIS, WI
PROPERTY ACREAGE	5.478 ACRES
APARTMENT BUILDING	5 @ 10587 SF EACH
TOTAL BUILDING SQUARE FOOTAGE	52,935 SF
NUMBER OF PARKING STALLS	
STANDARD	72
ACCESSIBLE	4
TOTAL SURFACE	76
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	76,223 SF
EXISTING PERVIOUS SURFACE AREA	162,416 SF
EXISTING PERCENT IMPERVIOUS	32%
PROPOSED IMPERVIOUS SURFACE AREA	158,410 SF
PROPOSED PERVIOUS SURFACE AREA	80,229 SF
PROPOSED PERCENT IMPERVIOUS	66%

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	EDGE OF PAVEMENT
	STANDARD CURB AND GUTTER
	FENCE
	ADA PARKING SIGN
	SAWCUT EXISTING PAVEMENT
	PARKING STALL COUNT

BENCHMARK	
DESCRIPTION	ELEVATION
BENCHMARK #1: ELEVATIONS ARE BASED ON THE CITY OF WEST ALLIS REFERENCE DATUM (NOV-28 = 880.75). BENCHMARK IS A CONCRETE MONUMENT WITH A BRASS CAP MARKING THE SOUTHEAST CORNER OF SECTION 07, T08N, R21E, ELEVATION = 188.78'	188.78'





## CODE ANALYSIS

### APPLICABLE CODES

BUILDING: IBC 2015 STATE OF WISCONSIN COMMERCIAL BUILDING CODE  
 STRUCTURAL: IBC 2015, STATE OF WISCONSIN COMMERCIAL BUILDING CODE  
 ACCESSIBILITY: ICC/ANSI A117.1-2009 FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

### COMPONENT RATINGS - 5B CONSTRUCTION

TABLE 601  
 FLOOR FRAMING 0 HOUR  
 ROOF FRAMING 0 HOUR  
 EXTERIOR WALLS (BEARING) 0 HOUR  
 INTERIOR WALLS (BEARING) 0 HOUR  
 INTERIOR WALLS (NON-BEARING) 0 HOUR  
 UNIT SEPARATION 1 HOUR  
 GARAGE SEPARATION 1 HOUR

MAXIMUM TRAVEL DISTANCE LESS THAN 250'

ATTIC COMPARTMENTALIZATION: EVERY 2 UNITS OR 3,000 SF MAX (WHICHEVER IS SMALLER)

### BUILDING

RESIDENTIAL R-2 (APARTMENT)  
 UTILITY U (PRIVATE GARAGE)

AREA  
 FIRST FLOOR: 10,672 SF  
 SECOND FLOOR: 10,528 SF  
 TOTAL AREA: 21,056 SF

CONSTRUCTION CLASSIFICATION  
 5B - WOOD FRAMED CONSTRUCTION  
 SPRINKLER PROTECTION THROUGHOUT: YES PER NFPA 13R

ALLOWABLE HEIGHTS AND AREAS  
 INCREASED AREA (FRONTAGE): 7,000 SF / 2 LEVELS  
 -WEIGHTED AVG. OPEN SPACE WIDTH SURROUNDING BLDG = 20 FEET  
 -If =  $(1 - 0.25) \times 25/30 = 0.625$   
 $-7,000 \times 0.625 = 4,375\text{sf}$   
 $-4,375 + 7,000 = 11,375 \text{ PER FLOOR ALLOWED}$

OCCUPANCY USE (IBC CHAPTER 3)  
 PRIMARY OCCUPANCY: RESIDENTIAL (R-2)

EXTERIOR WALLS  
 FIRE SEPARATION DISTANCE: 10'-0" < X < 30'-0" = 0 HOURS  
 WALL OPENINGS PROTECTED/UNPROTECTED: UNPROTECTED

FIRE APPARATUS ACCESS  
 BUILDING UNLIMITED IN AREA: NO  
 BUILDING EQUIPPED W/ FIRE SPRINKLER: YES (NFPA 13R)  
 FIRE LANES WITHIN 150' OF ALL PERIMETERS: YES  
 FIRE APPARATUS ACCESS ROAD AT LEAST 20': YES

## UNIT MIX FOR DEVELOPMENT

STUDIO	ONE BEDROOM			TWO BEDROOM			THREE BEDROOM			TOTAL UNITS
	ONE	TWO	THREE	ONE	TWO	THREE	ONE	TWO	THREE	
0	2	5	4	0	1	0	0	1	0	12
				0	1	0				12
				0	1					

### ACCESSIBILITY NOTES:

- A MINIMUM OF 2% OF ALL UNITS SHALL BE TYPE-A ACCESSIBLE AND PROVIDED THROUGH-OUT DEVELOPMENT
- ALL GROUND FLOOR UNITS ARE DESIGNED TO MEET TYPE-B UNITS FOR ADAPTION.
- ALL UPPER LEVEL UNITS ARE NOT REQUIRED TO MEET TYPE-A OR TYPE-B REQUIREMENTS (NO ELEVATOR).



DENOTES TYPE-B UNIT TO BE UPGRADED TO BE A TYPE-A ACCESSIBLE UNIT. REFER TO DETAILS FOR ADDITIONAL NOTES AND DIMENSIONS

## DRAWING INDEX

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G001	PROJECT INFORMATION AND INDEX
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A001	PROJECT SYMBOLS AND NOTES
A002	ACCESSIBILITY FEATURES (2009 ANSI A117.1)
A005	SCHEDULES AND FINISHES
A010	DOOR TYPES AND SCHEDULES
A020	WALL TYPES AND DETAILS
A021	WALL TYPES AND DETAILS
A022	WALL TYPES AND DETAILS EXTERIOR
A050	ARCHITECTURAL SITE PLAN
A101	CONSTRUCTION PLAN - 1ST FLOOR
A102	CONSTRUCTION PLAN - 2ND FLOOR
A103	CONSTRUCTION PLAN - ROOF
A401	BUILDING ELEVATIONS
A402	BUILDING ELEVATIONS
A403	BUILDING ELEVATIONS-COLOR
A404	BUILDING ELEVATIONS DETAILS
A500	BUILDING SECTION
A501	WALL SECTIONS
A701	ENLARGED UNIT PLANS & ELEVATIONS
A702	ENLARGED UNIT PLANS & ELEVATIONS
A703	ENLARGED UNIT PLANS & ELEVATIONS
A704	ENLARGED UNIT PLANS & ELEVATIONS
A801	PROJECT DETAILS - EXTERIOR
A802	PROJECT DETAILS - EXTERIOR
A803	PROJECT DETAILS - EXTERIOR
A901	PROJECT DETAILS - INTERIOR
A902	PROJECT DETAILS - STAIR DETAILS
<b>STRUCTURAL</b>	
S001	GENERAL NOTES
S101	FOUNDATION PLAN
S102	FLOOR FRAMING PLAN
S103	ROOF FRAMING PLAN
S601	FOUNDATION DETAILS
S602	FLOOR FRAMING DETAILS
S603	ROOF FRAMING DETAILS

## GENERAL CONTRACTOR

### SALOUS CONSTRUCTION MANAGEMENT LLC

3861 S 60TH ST  
 MILWAUKEE, WI 53220-1908  
 CONTACT: NABIL SALOUS  
 PHONE: 414.460.6185  
 FAX: -

## CIVIL

### ETn ENGINEERING

2504 W BRIDGE ST  
 MILWAUKEE, WI 53221  
 CONTACT: EMAD NADI  
 PHONE: 414.324.4129  
 FAX: -

## LANDSCAPE

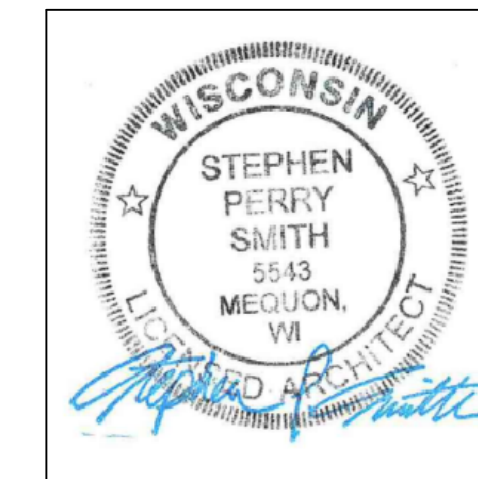
### RA SMITH

16745 W BLUEMOUND RD  
 BROOKFIELD, WI 53005-5938  
 CONTACT: TOM MORTENSEN  
 PHONE: 262.781.1000  
 FAX: 262.781.8466

## ARCHITECTURAL

### STEPHEN PERRY SMITH ARCHITECTS

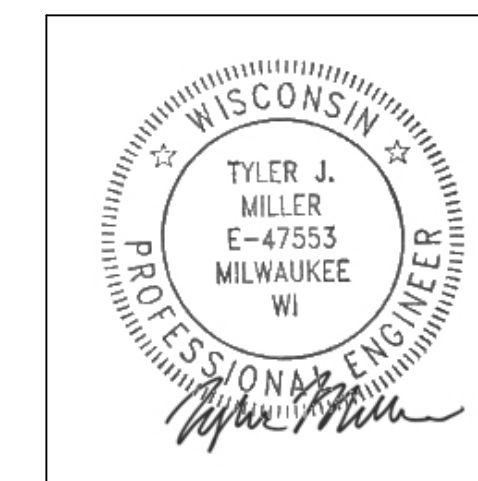
215 N. WATER ST, SUITE 250  
 MILWAUKEE, WI 53202  
 CONTACT: STEPHEN PERRY SMITH  
 PHONE: 414.277.9700  
 FAX: 414.277.9705



## STRUCTURAL

### REYN ENGINEERING, INC.

131 W SEEBOTH ST, SUITE 220  
 MILWAUKEE, WI 53204  
 CONTACT: TYLER MILLER  
 PHONE: 920.517.0164  
 FAX: -



215 N. WATER STREET, SUITE 250  
 MILWAUKEE, WI 53202

T 414.277.9700 | F 414.277.9705  
 spsarchitects.com

## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
 MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET  
 MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

PROJECT INFORMATION AND INDEX

# G001

© STEPHEN PERRY SMITH ARCHITECTS, INC.







**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

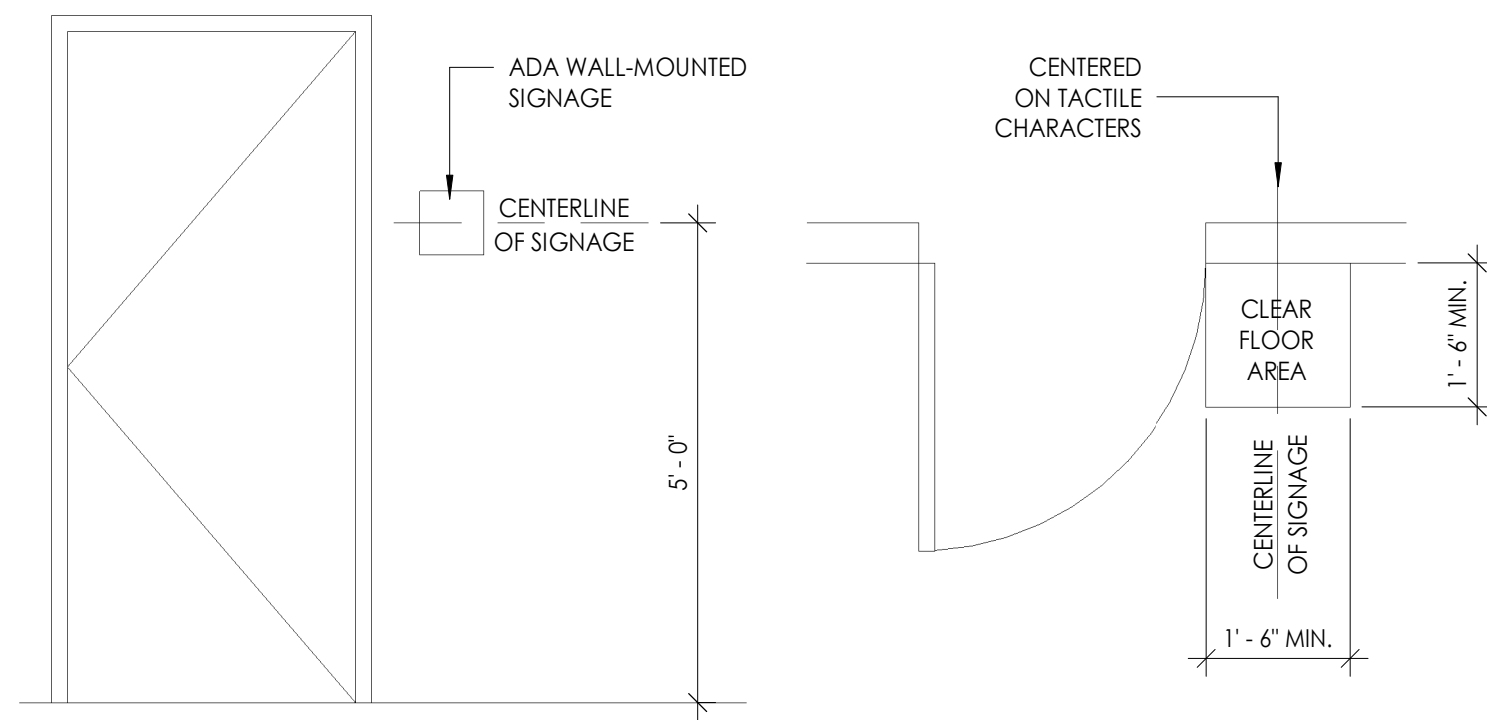
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**INFORMATION**

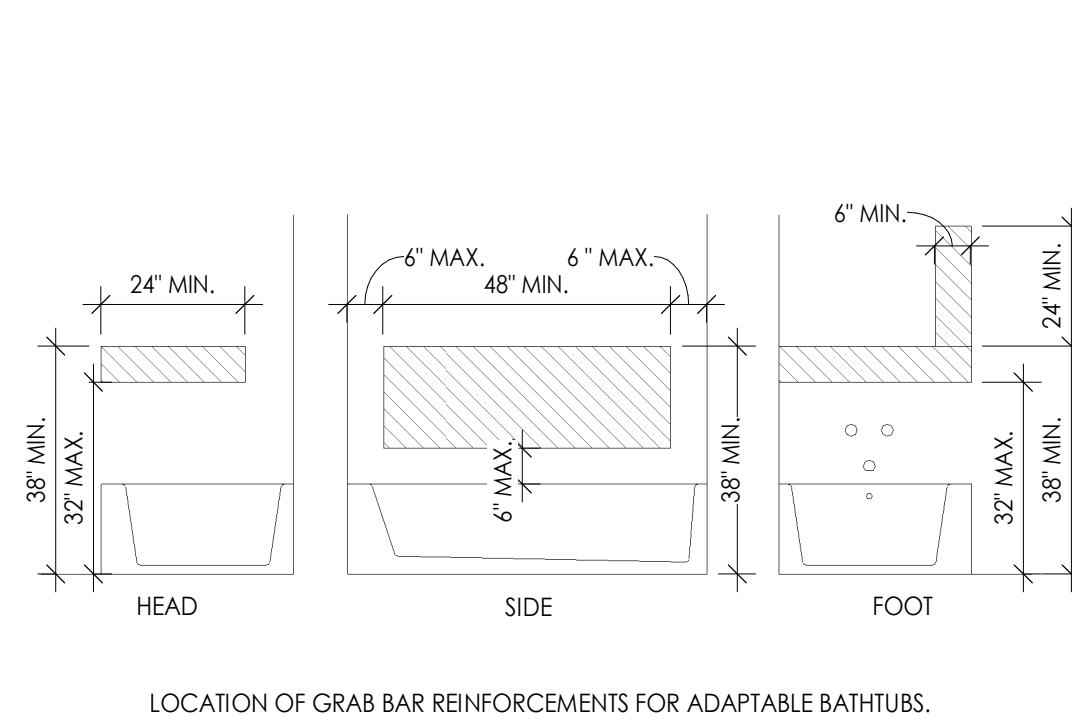
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

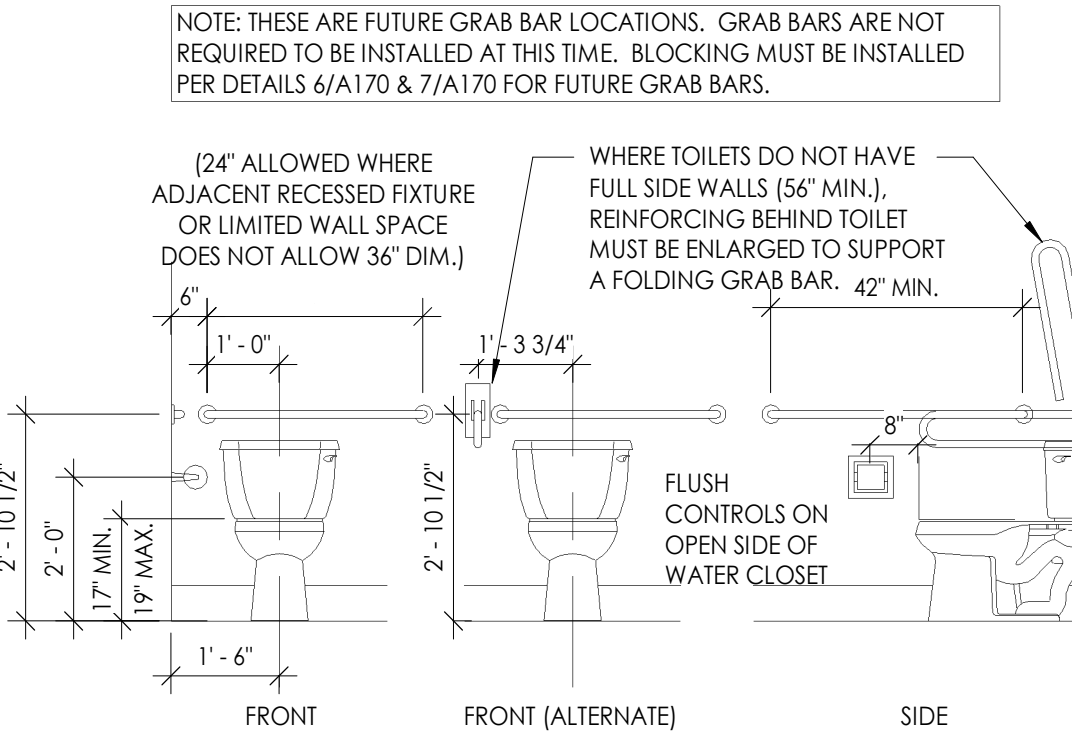
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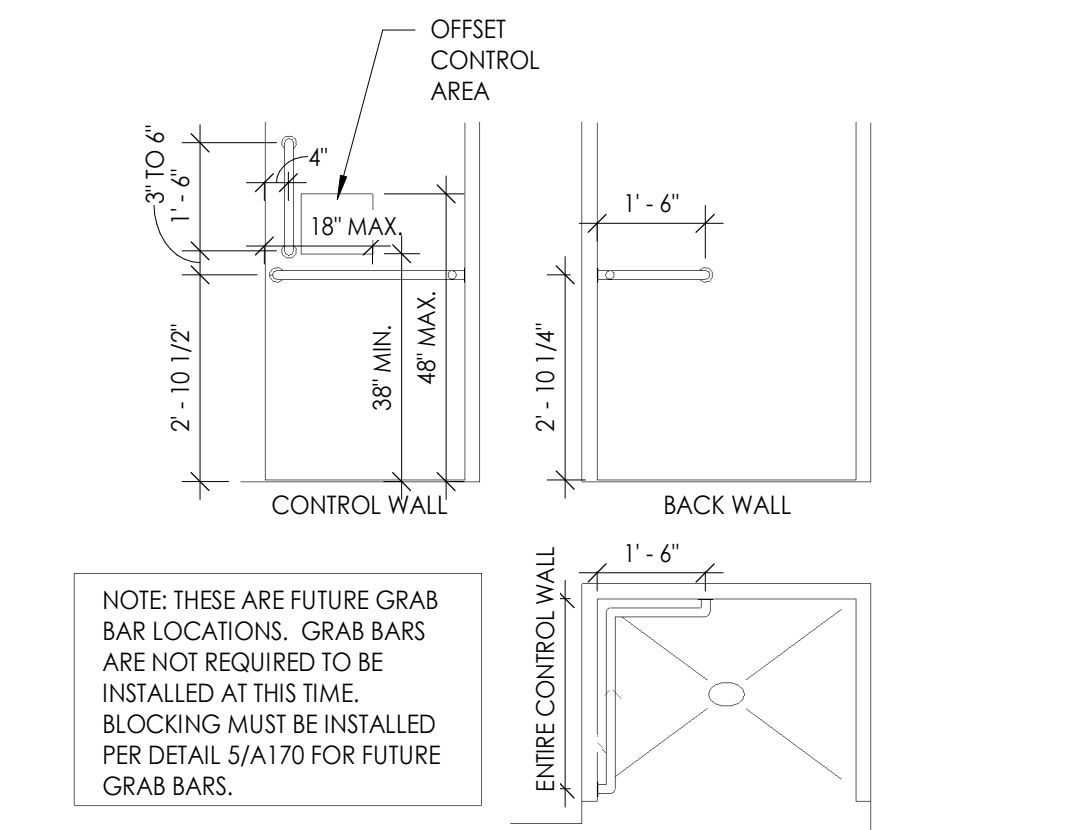
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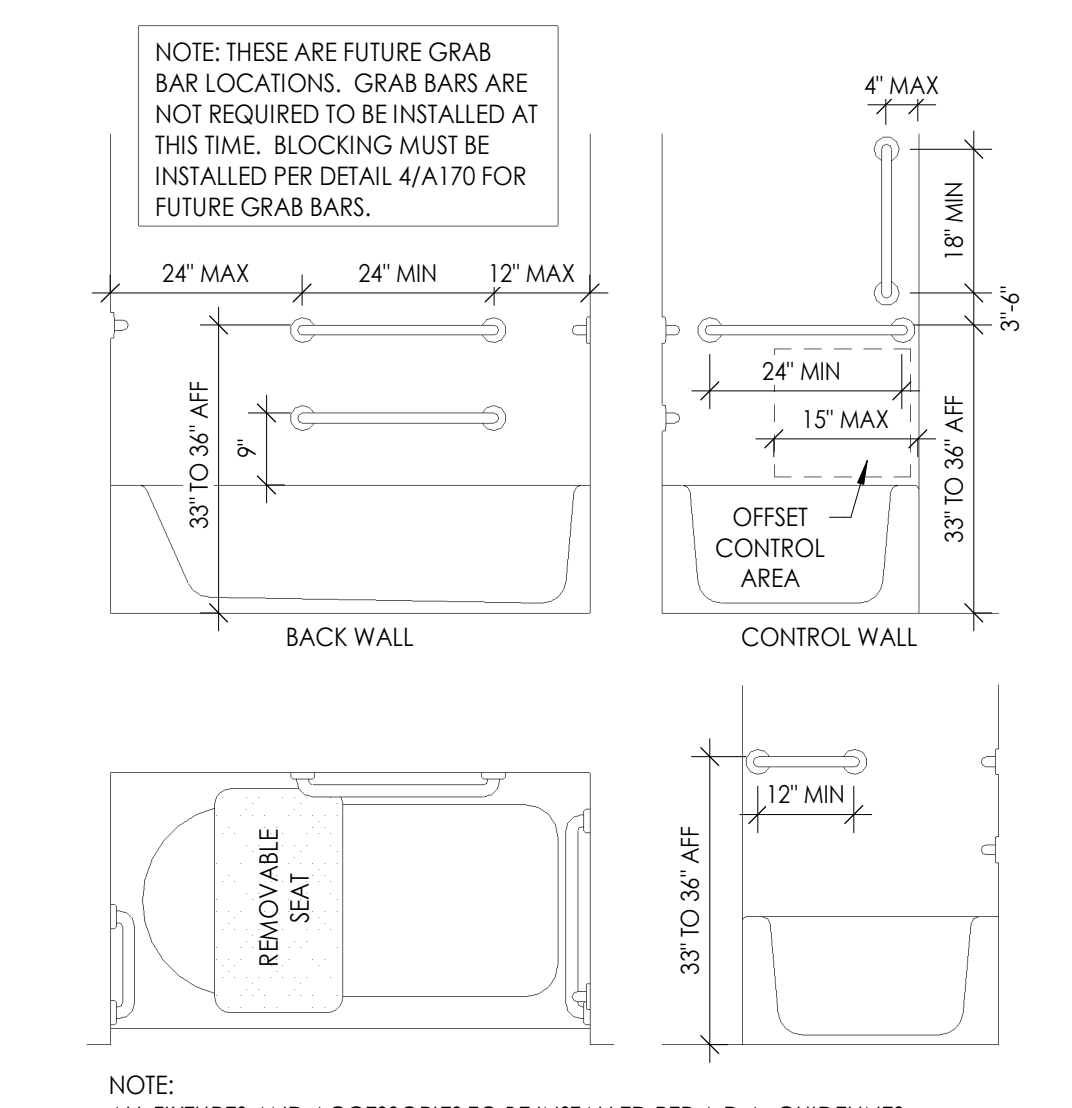
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**6 WATER CLOSET FUTURE GRAB BARS**  
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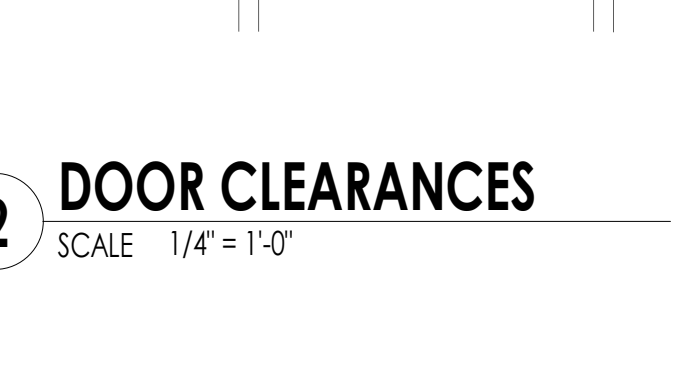
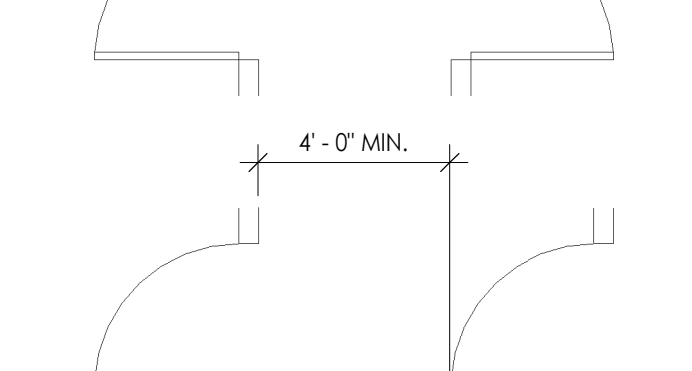
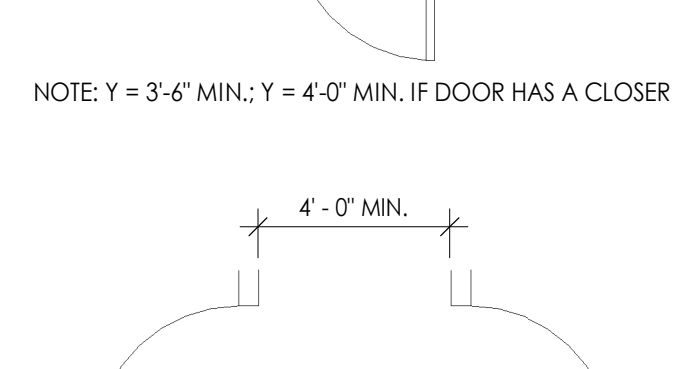
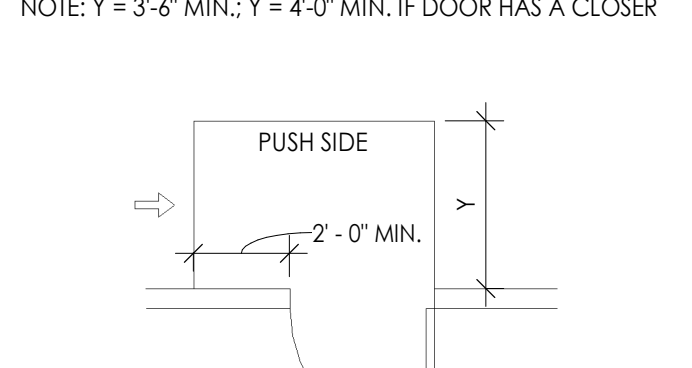
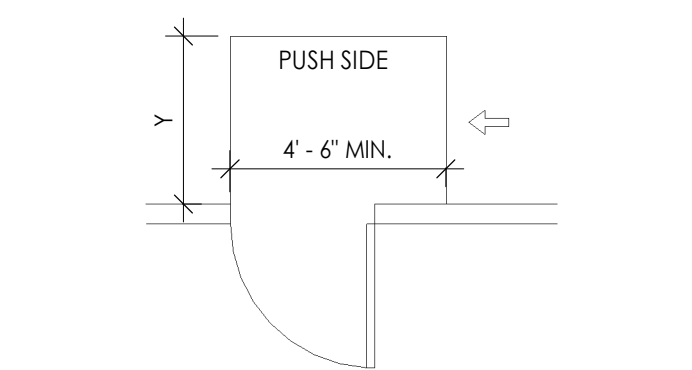
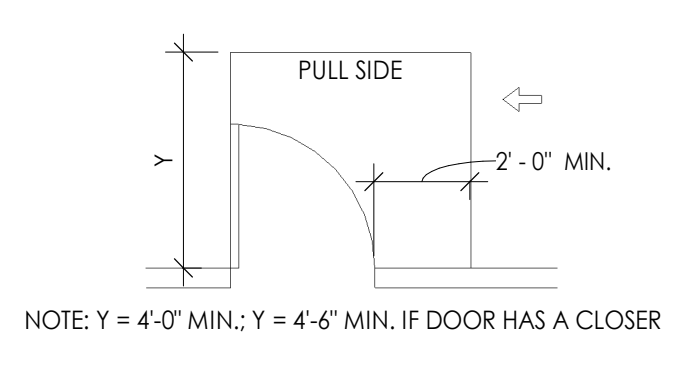
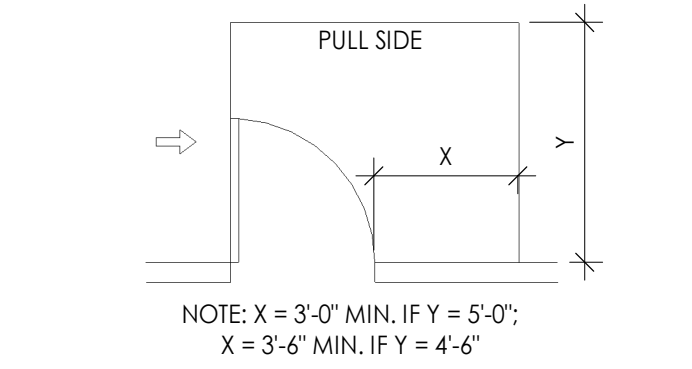
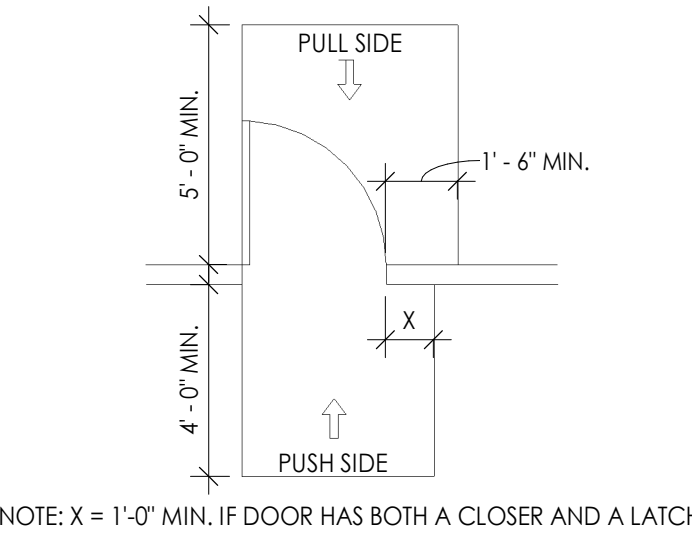


**5 SHOWER FUTURE GRAB BARS**  
SCALE 3/8" = 1'-0"

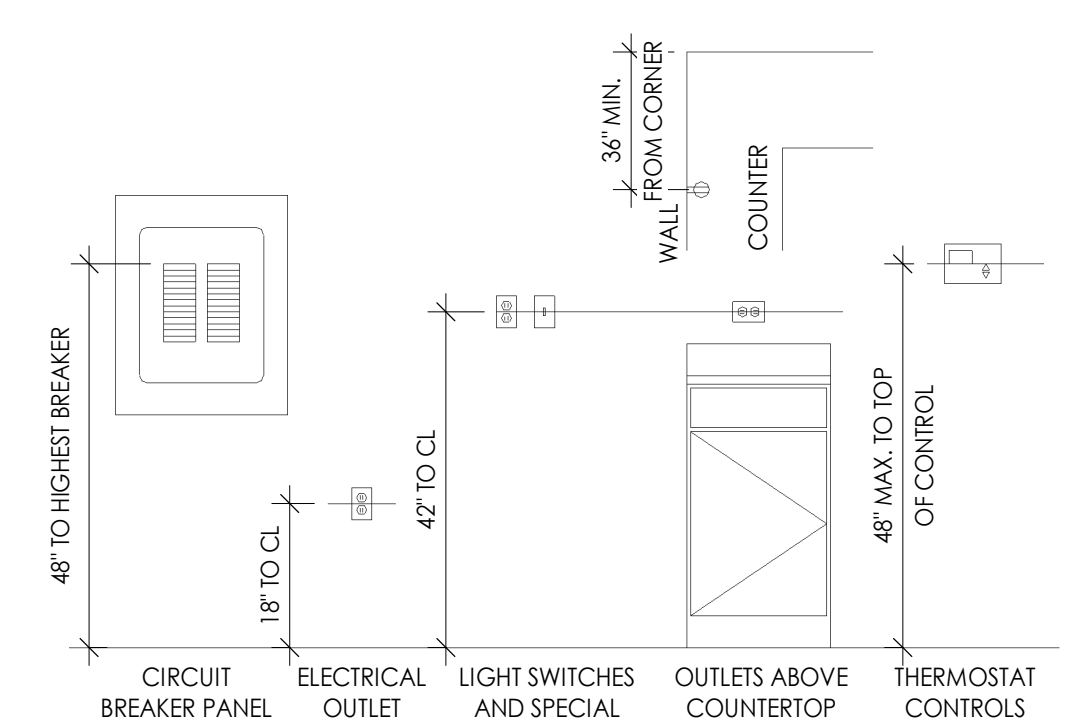
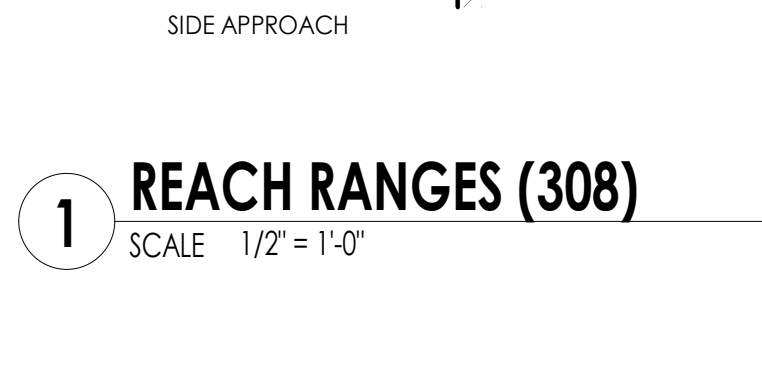
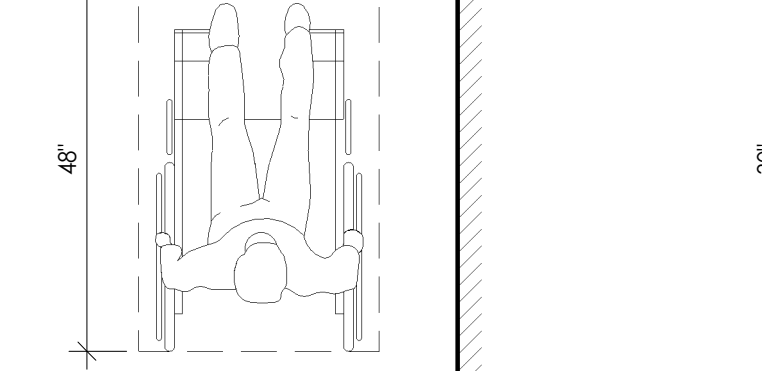
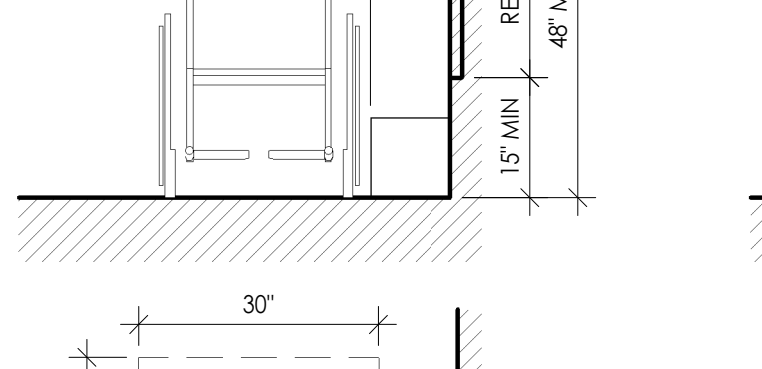
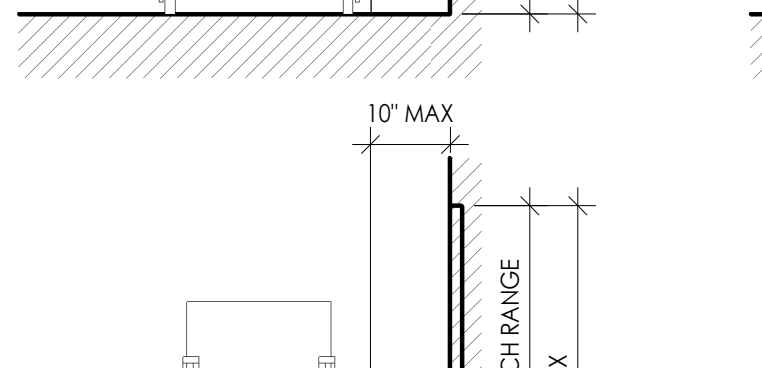
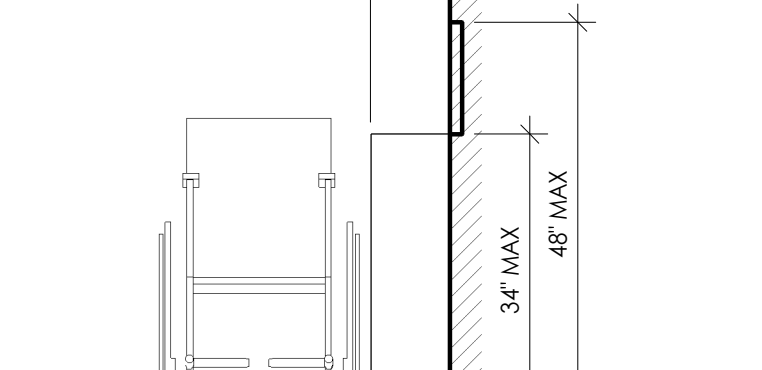
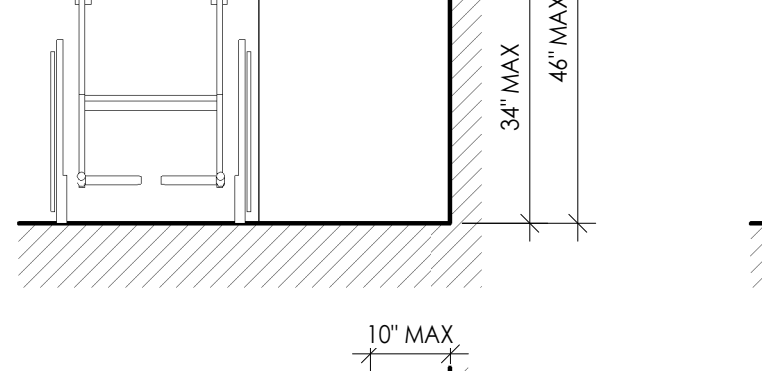
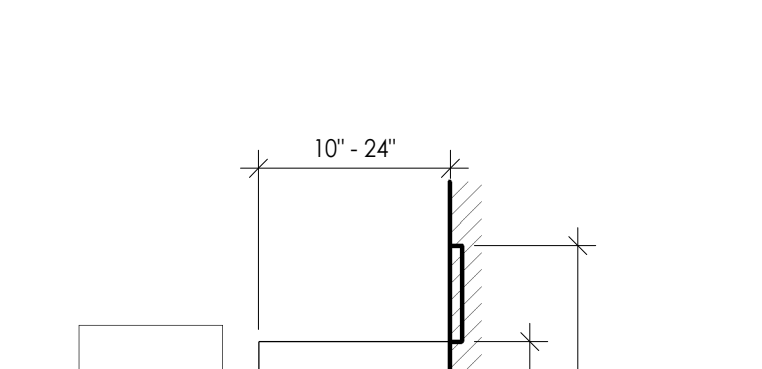


**4 TUB FUTURE GRAB BARS**  
SCALE 1/2" = 1'-0"

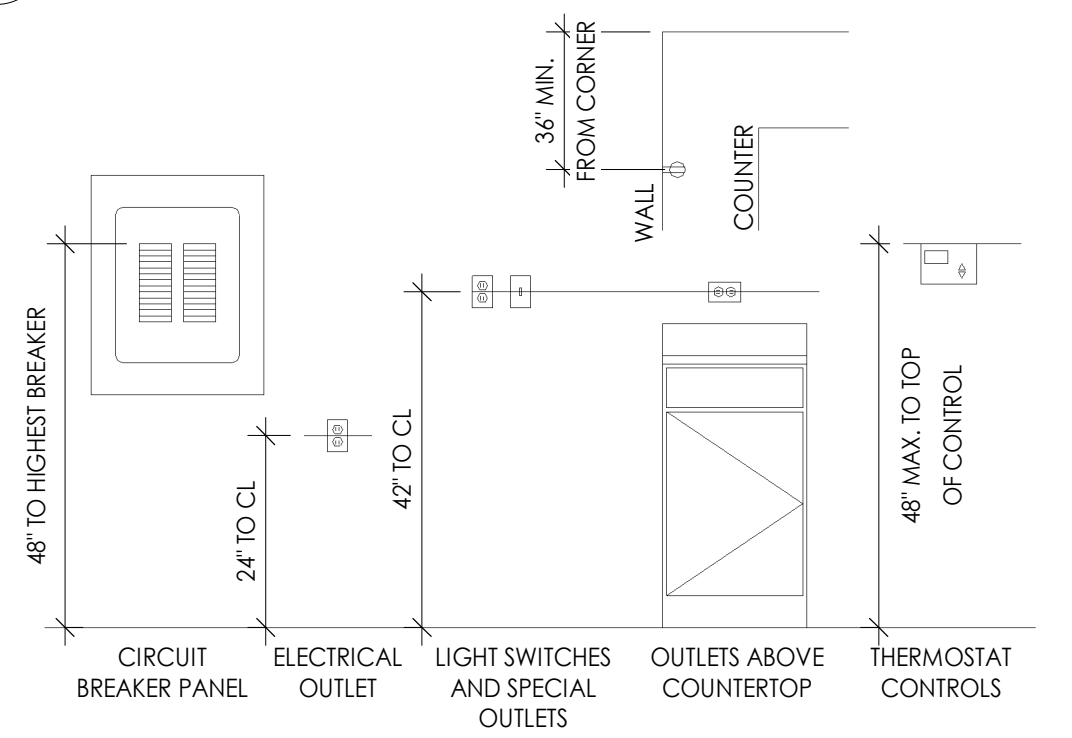
**2 DOOR CLEARANCES**  
SCALE 1/4" = 1'-0"



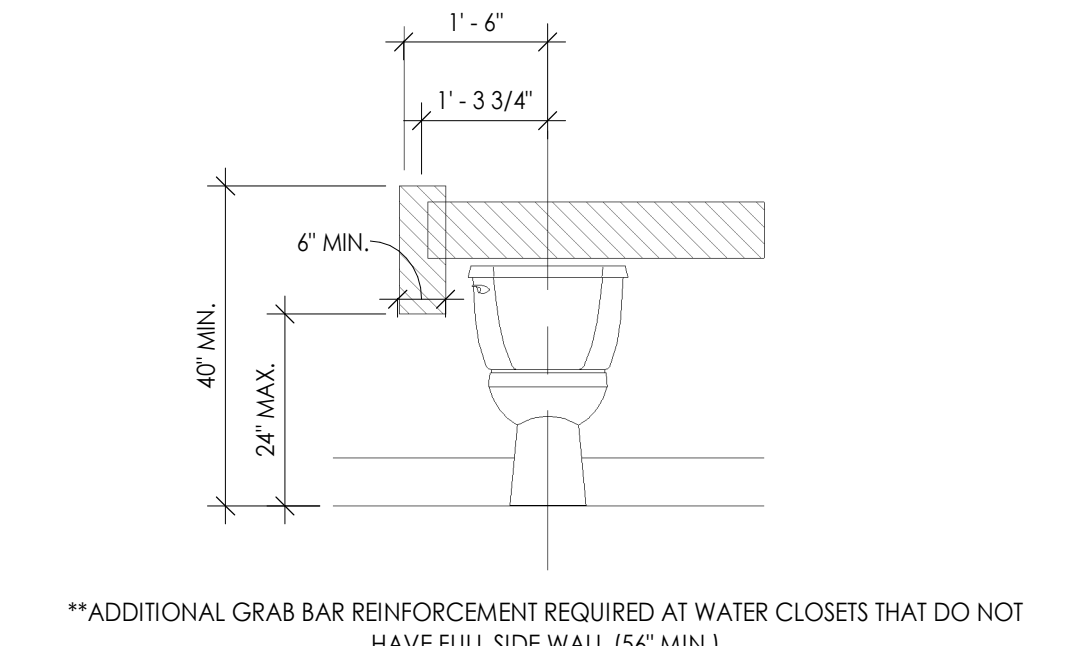
**1 REACH RANGES (308)**  
SCALE 1/2" = 1'-0"



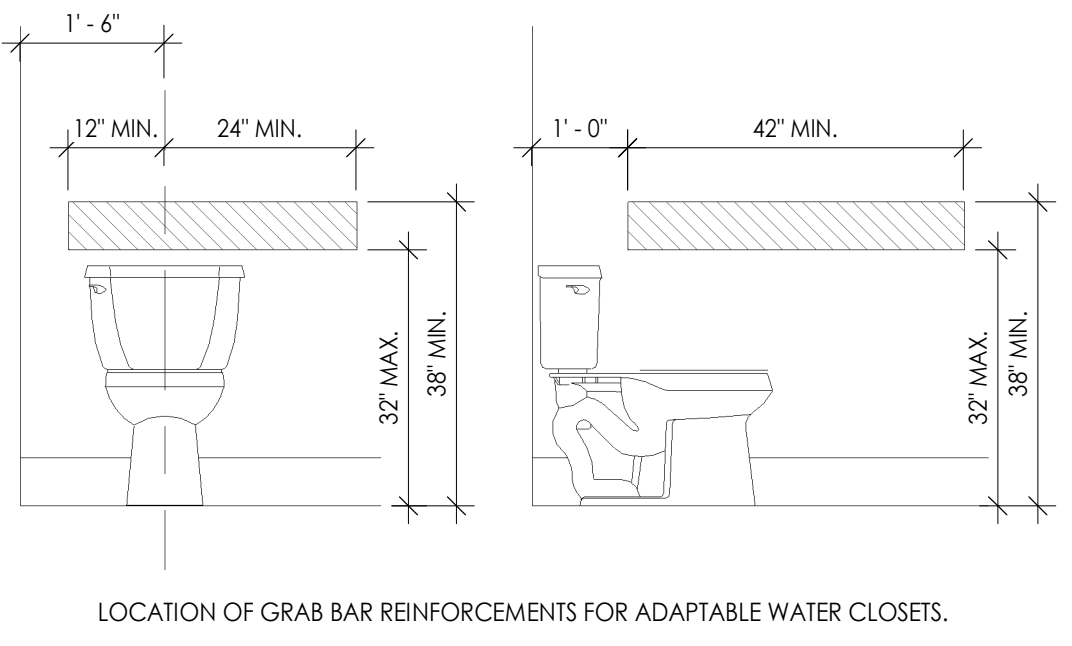
**12 ADA TYPE 'B' DEVICE MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"



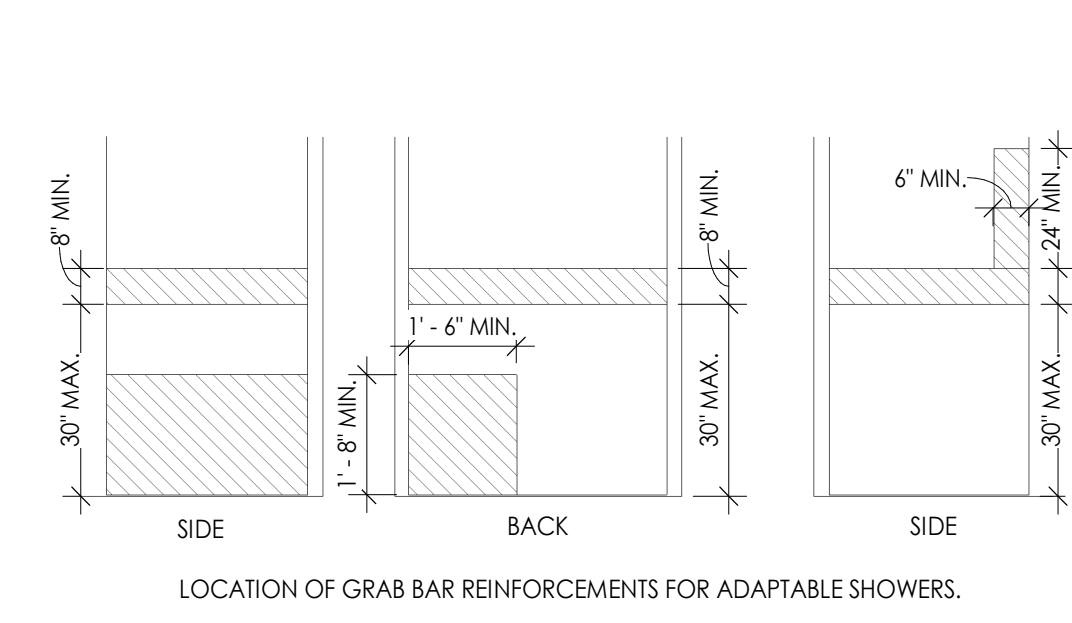
**11 ADA TYPE 'A' DEVICE MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"



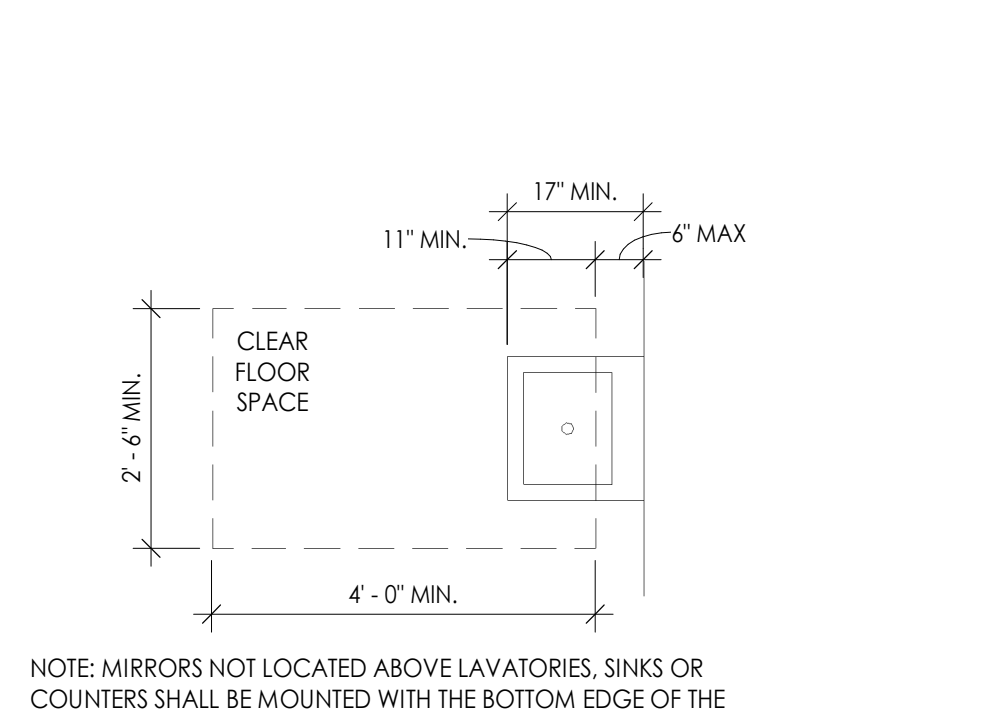
**10 ADA TYPE 'A' & 'B' ALT. BLOCKING FOR TOILET**  
SCALE 1/2" = 1'-0"



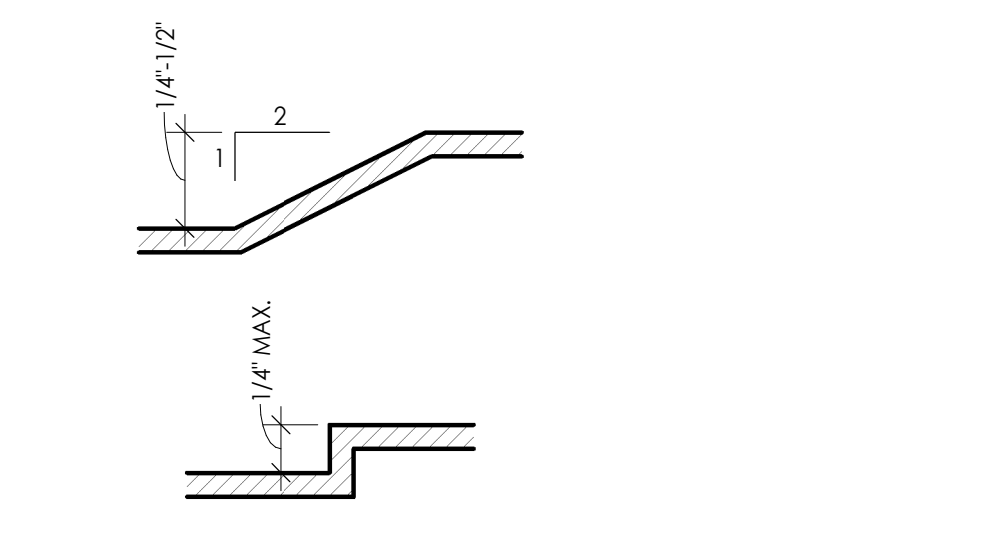
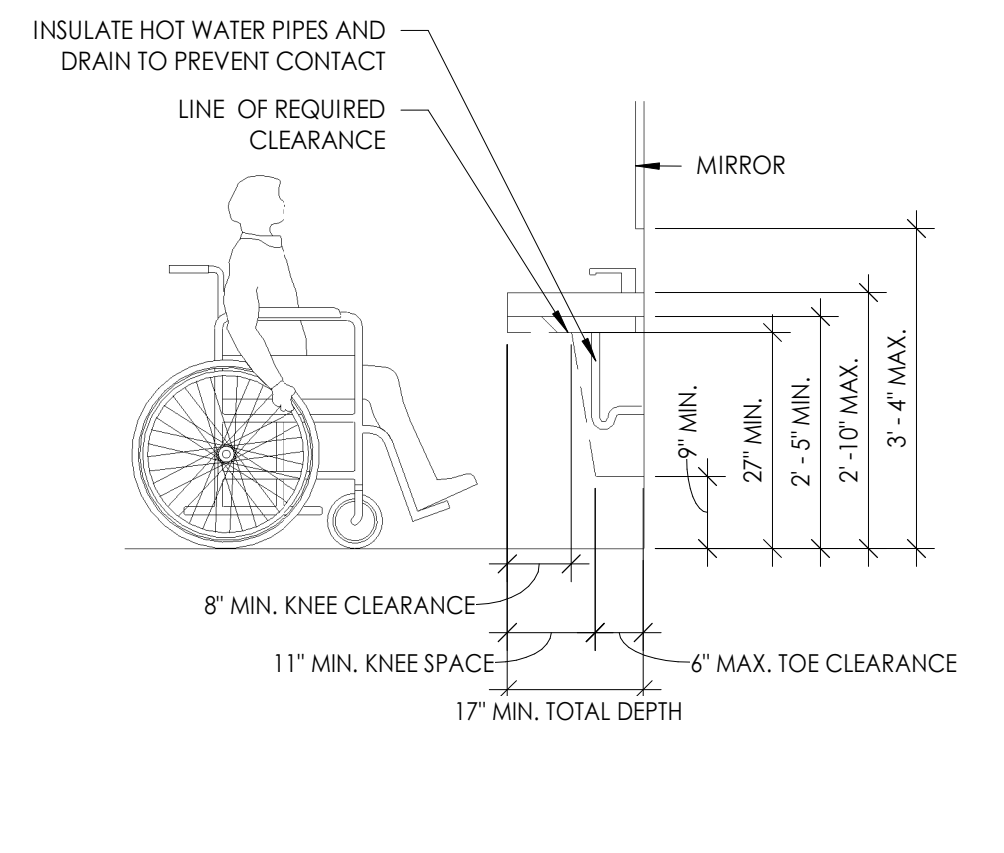
**9 ADA TYPE 'A' & 'B' BLOCKING FOR TOILET**  
SCALE 1/2" = 1'-0"



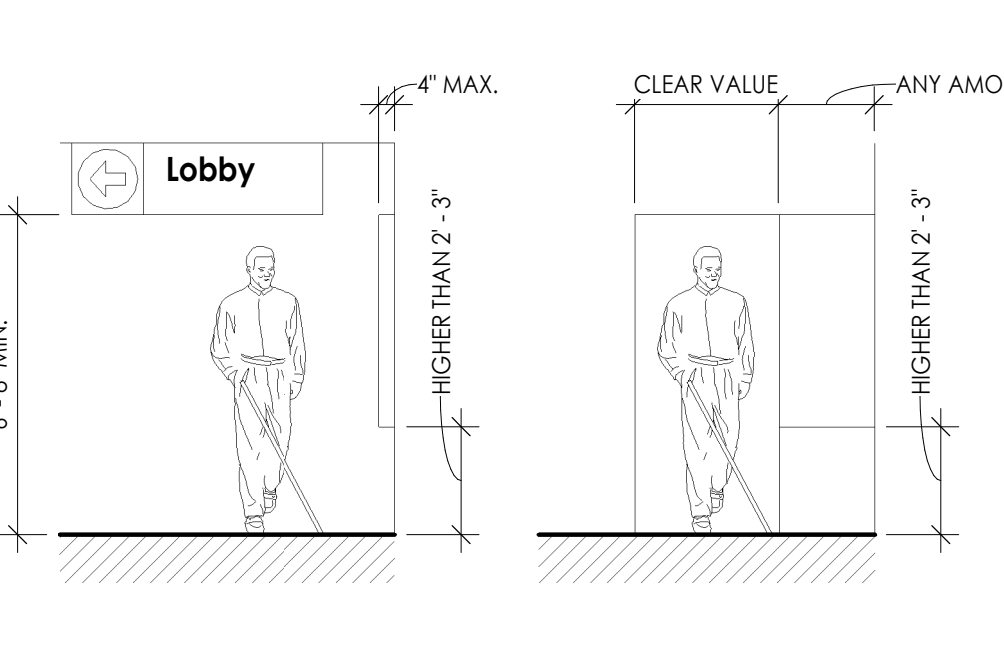
**8 TYPE 'A' & 'B' BLOCKING FOR SHOWER**  
SCALE 3/8" = 1'-0"



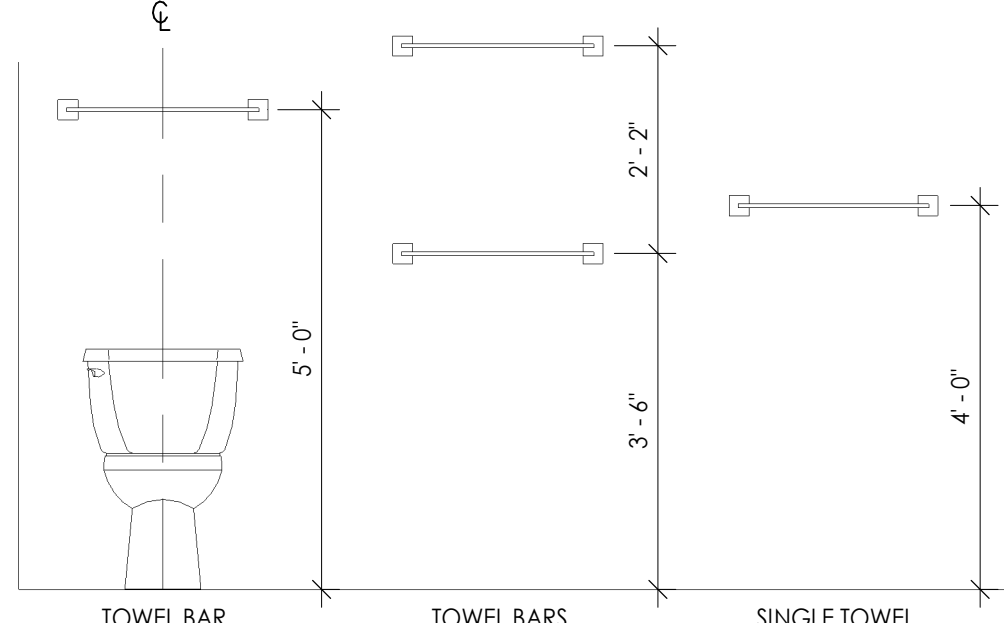
**16 SINK OR VANITY**  
SCALE 1/2" = 1'-0"



**15 THRESHOLDS**  
SCALE 1/2" = 1'-0"



**14 PROTRUDING OBJECTS**  
SCALE 1/4" = 1'-0"



**13 TOWEL MOUNTING HEIGHTS**  
SCALE 1/2" = 1'-0"



## FINISH SELECTIONS

MARK	MODEL	MANUFACTURER	COLOR	FINISH	SIZE	LOCATION	COMMENTS
<b>ACCENT METALS</b>							
AM1	KEYSTONE ALUMINUM RAILING	JAM SYSTEMS		ARCHITECTURAL METAL	5" X 5" GUTTER		
<b>COMPOSITE MATERIAL</b>							
CM1		JAMES HARDIE	EVENING BLUE	COMPOSITE SIDING	4" EXPOSED		INSTALL HORIZONTALLY
CM2		JAMES HARDIE	TIMBER BARK	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM3		JAMES HARDIE	ARCTIC WHITE	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM4		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 4"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM5		TREX	T.B.D.	COMPOSITE DECKING	4/4" X 6"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM6		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 6"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM8		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 8"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM10		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 10"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM12		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 12"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
<b>CONCRETE</b>							
ECN-1		T.B.D.	NATURAL	CAST STONE SILL/BAND	4" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-2		T.B.D.	NATURAL	CAST STONE HEAD	8" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-3		T.B.D.	NATURAL	CAST STONE SILL/BAND	3 1/2" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-4		T.B.D.	NATURAL	CAST STONE HEAD	6" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-5		T.B.D.	NATURAL	CAST STONE SWEEP	4" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
SC-1		T.B.D.	NATURAL	SEALED CONCRETE		GARAGES	
<b>INTERIOR FINISH</b>							
CPT-1	E107	ENGINEERED FLOORS	T.B.D.	CARPET	-	UNIT BEDROOMS, UNIT STAIRS, BEDROOM CLOSETS	
LVP-1	400 WEATHERED BARNBOARD	SHAW	T.B.D.	TBD	-	UNIT LIVING ROOMS, KITCHENS, BATHROOMS, & CORRIDORS:	
WD-1	#433, #474	LIANGA PACIFIC	PRIMED WHITE MDF FIELD PAINTED	TBD	-	WALL BASE/DOOR TRIM	
<b>MASONRY</b>							
EMU-1	KENSINGTON BLEND	HALQUIST STONE	CREAM, TAN, BUFF & GOLD WITH GREY UNDERTONES	STONE	APPROX. 3-5/8" DEEP		FULL DEPTH

## GLAZING

MARK	MODEL	MANUFACTURER	COLOR	U-VALUE	NOTE
<b>GLAZING</b>					
GL11	350 Series	T.B.D.	CLEAR	0.24	TEMPERED LOW-E (WINDOWS)

## PAINT

MATERIAL FINISH TYPE	MARK	MANUFACTURER	COLOR	FINISH COAT	LOCATION	COMMENTS
<b>PAINT - EXTERIOR</b>						
PAINT - EXTERIOR	EPT1	SERVIN WILLIAMS	TDB	SEMI-GLOSS	EXTERIOR METALS AT BALCONY AND CANOPY	MATCH BALCONY AND TRIM COLORS
PAINT - EXTERIOR	EPT2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	EXTERIOR STEEL LINTELS AT BRICK VENEER	MATCH PRECAST/CAST STONE COLOR
<b>PAINT - INTERIOR</b>						
PAINT - INTERIOR	PT-1	HALLMAN LINDSAY	TDB	SEMI-GLOSS	WALLS/CEILINGS	
PAINT - INTERIOR	PT-2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT DOOR TO GARAGE	
PAINT - INTERIOR	PT-3	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT ENTRY, MECH, ROOM DOORS	

## SCHEDULES

### PLUMBING AND TOILET ACCESSORY SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	SIZE	FINISH	NOTES
A	FLOOR MOUNTED TOILET	PROFLO	PF9400 SERIES	-	WHITE	ELONGAGETED BOWL ADA-COMPLIANT AT ALL UNITS
B	TISSUE DISPENSER	SURE-LOC, LUGANO SERIES	LG-PH1	-	SATIN NICKEL	
C	SHOWER TUB COMBO	STERLING, ACCORD	RVMDW	60"X30"	WHITE	TUB/SHOWER SURROUND G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA TYPE-A UNITS)
D	SHOWER	STERLING, ACCORD	7115	60"X36"	WHITE	G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA TYPE-A UNITS)
F	STAINLESS STEEL SINK	PROFLO	PFUC206	-	STAINLESS	ADA COMPLIANT KNEE SPACE BENEATH
G	BATHROOM FAUCET	PROFLO	PFWSC2840	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
H	BATH/SHOWER FAUCET	PROFLO	T17489-PR	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
J	LEVER SYLE FAUCET	PROFLO	PFXC7011	-	STAINLESS	ADA COMPLIANT WITH PULL-OUT SPRAY GARBAGE DISPOSAL INSINKERATOR-BADGER 1HP W/ CORD PROVIDE COUNTERTOP SWITCH FOR ADA COMPLIANCE
K	INTEGRAL SINK	REVERE	RVMDW	-	WHITE	UNDERMOUNT - ADA COMPLIANT AT TYPE -A UNITS
L	WATER HEATER	-	-	40 GALLON	-	PROVIDE WATER HEATER PAN WITH DRAIN BENEATH

### EQUIPMENT AND FURNISHING SCHEDULE

TAG	DESCRIPTION	MATERIAL/COLOR	SIZE	ENERGY STAR	NOTES
1	REFRIGERATOR	STAINLESS	21.3 C/F	YES	TOP FREEZER OR EQUIVALENT, ADA COMPLIANT AT ADA TYPE A' UNITS
2	MICROWAVE	STAINLESS	1.7 CF	YES	OVER THE RANGE
2A	COUNTERTOP MICROWAVE	STAINLESS		YES	-
3	DISH WASHER	STAINLESS		YES	-
3A	ADA DISHWASHER	STAINLESS		-	ADA COMPLIANT AT TYPE A UNITS FOR 34" H COUNTERTOPS
4	STOVE & OVEN	STAINLESS		YES	FLAT TOP ELECTRIC RANGE, PROVIDE ADA-COMPLIANT FRONT CONTROLS AT ADA TYPE-A UNITS
5	WASHER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
6	DRYER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
7	TOWEL BAR	CHROME		-	-
8	HVAC	-		YES	-
9	MIRROR	-		-	FRAMELESS
9A	MIRROR	-		-	FRAMELESS
9B	MIRROR	-		-	FRAMELESS
11	RANGE HOOD	STAINLESS		YES	Item # 02251041000
12	STACKED WASHER/DRYER	WHITE		YES	-
13	BEDROOM CLOSET SHELVING	WHITE		-	-
14	ATTIC HATCH	WOOD/PLYWOOD	30' MIN, CLEAR HEADROOM	-	ATTIC ACCESS LADDER

### UNIT FINISH SCHEDULE - TYPICAL

UNIT SPACE	FLOOR	BASE	WALL PAINT				CEILING	REMARKS
			NORTH	EAST	SOUTH	WEST		
UNIT ENTRY	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT STAIRS	CPT-1	-	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT KITCHEN	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT LIVING	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	SEE ENLARGED UNIT PLANS
UNIT BEDROOM	CPT-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT BATHROOM	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT MECH	-	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM
UNIT LAUNDRY	LPV-1	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	
UNIT CLOSETS	-	WD-1	PF-1	PF-1	PF-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM



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## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

SCHEDULES AND FINISHES

# A005

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## DOOR & FRAME SCHEDULE

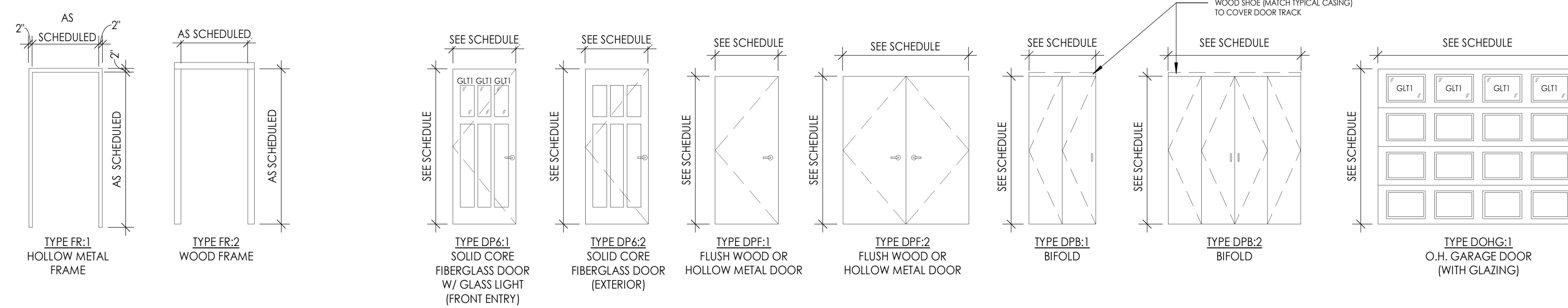
**NOTES:**  
 1. COORDINATE MASTER KEY SYSTEM WITH OWNER.  
 2. ALL HARDWARE TO BE A.D.A. COMPLIANT SCHLAGE AL-SERIES 'NEPTUNE' STYLE LEVER SATIN CHROME (US26d) FINISH UNLESS OTHERWISE NOTED.  
 3. LOCKSETS TO BE KEYPED TO BUILDING MASTER WITH FUNCTION BASED UPON LOCATION.  
 4. DOOR STOPS: USE WALL STOP OR DOME STOP. USE FLOOR STOPS ONLY WHERE WALL STOP CANNOT WORK.

DOOR TYPE	LEAF WIDTH	DOOR				GLASS	HARDWARE	FRAME			FIRE RATING	DETAILS			REMARKS
		SECONDARY LEAF WIDTH	HGT	TYPE	MATL			FINISH	TYPE	MATL		FINISH	HEAD	JAMB	
D01	9'-0"		7'-0"	DOHG:1	STL	PF	H5								INSULATED
D02	3'-0"		6'-8"	DP6:2	FB	PT	H2	FR:1	HM	PT		1/A010	1/A010		INSULATED
U01	3'-0"		6'-8"	DP6:1	FB	PT	H1	FR:1	HM	PT					INSULATED
U01A	3'-0"		6'-8"	DP6:2	FB	PT	H1	FR:1	HM	PT	1 HOUR	3/A010	4/A010		INSULATED
U02	2'-10"		6'-8"	DPF:1	WD	PF	H3	FR:2	WD	PF		3/A010	4/A010		
U03	2'-10"		6'-8"	DPF:1	WD	PF	H4	FR:2	WD	PF		3/A010	4/A010		
U04	3'-0"		6'-8"	DPF:1	WD	PF	H8	FR:2	WD	PF		1/A010	1/A010		
U04D	3'-0"	3'-0"	6'-8"	DPB:2	WD	PF	H7	FR:2	WD	PF		2/A010	1/A010		
U04F	2'-0"		6'-8"	DPB:2	WD	PF	H9	FR:2	WD	PF		2/A010	1/A010		
U04G	3'-0"	3'-0"	6'-8"	DPF:1	WD	PF	H8	FR:2	WD	PF		3/A010	4/A010		
U05	3'-0"		6'-8"	DPF:1	WD	PF	H6	FR:2	WD	PF		1/A010	1/A010		
U05C	3'-0"	3'-0"	6'-8"	DPB:2	WD	PF	H7	FR:2	WD	PF		2/A010	1/A010		
U06	2'-10"		6'-8"	DPF:1	WD	PF	H6	FR:2	WD	PF		3/A010	4/A010		
U06C	2'-6"	2'-6"	6'-8"	DPB:2	WD	PF	H7	FR:2	WD	PF		2/A010	1/A010		
U06D	3'-0"	3'-0"	6'-8"	DPB:1	WD	PF	H7	FR:2	WD	PF		2/A010	1/A010		

## HARDWARE SET

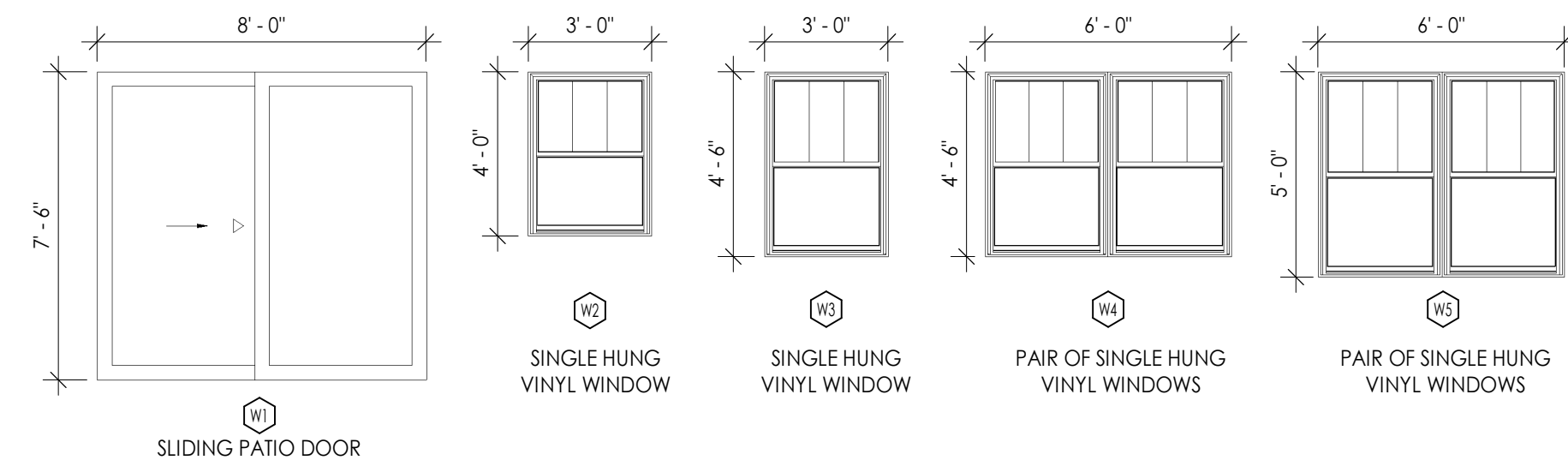
SET #	LOCKSET	HINGES	CLOSER	STOP	COMMENTS
H1	UNIT ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	KNOCKER, VIEWER, ADA THRESHOLD SWEEP AND WEATHER STRIPPING GASKET
H2	UNIT GARAGE ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	ADA THRESHOLD, SWEEP & GASKET WEATHERSTRIPPING, JAMB EXTENSION AS NEEDED (SEE FLOOR PLANS)
H3	UNIT BEDROOM (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL	
H4	UNIT BATH (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL	
H5	OVERHEAD GARAGE	TRACK & ASSOCIATED HARDWARE			ELECTRICAL OPENER W/TIMER TO CLOSE FEATURE (LIFEMASTER 8360 OR EQUAL) EXTERIOR KEYPAD OPENER
H6	CLOSET	1 1/2 PAIR BUTTS		WALL	PASSAGE LATCH SET
H7	BIFOLD (PAIR)	2 SETS OF PIVOT BIFOLD DOOR HARDWARE AND ASSOCIATED TRACK BY DOOR SUPPLIER			PULLS TO MATCH KITCHEN / VANITY HARDWARE
H8	STOREROOM (STOREROOM LOCKETS)	1 1/2 PAIR BUTTS		WALL	
H9	BIFOLD (SINGLE)	1 SET OF PIVOT BIFOLD DOOR HARDWARE			PULLS TO MATCH KITCHEN / VANITY HARDWARE

**NOTES:**  
 1. COORDINATE MASTER KEY SYSTEM WITH OWNER.  
 2. LOCKSETS TO BE KEYPED TO BUILDING MASTER WITH FUNCTION BASED UPON LOCATION.  
 3. DOOR STOP: USE WALL STOP OR DOME STOP. USE FLOOR STOPS ONLY WHERE WALL CANNOT WORK.

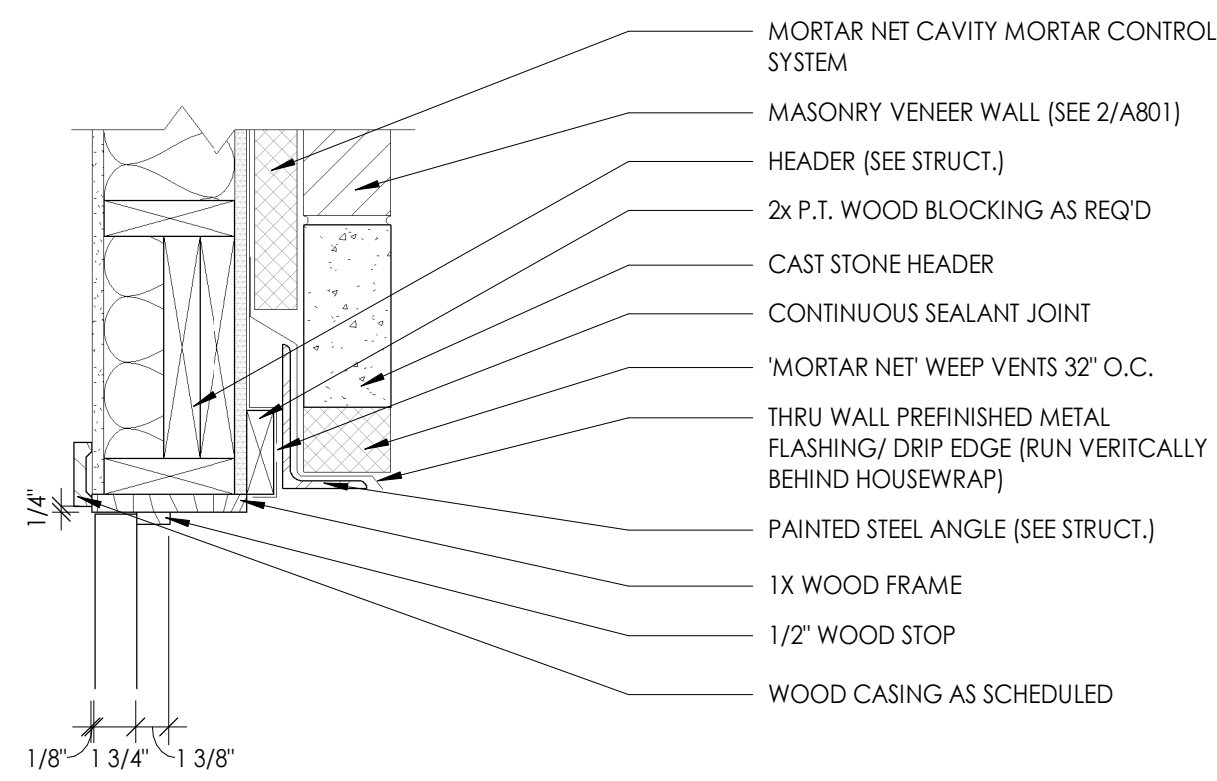


**FRAME TYPES**  
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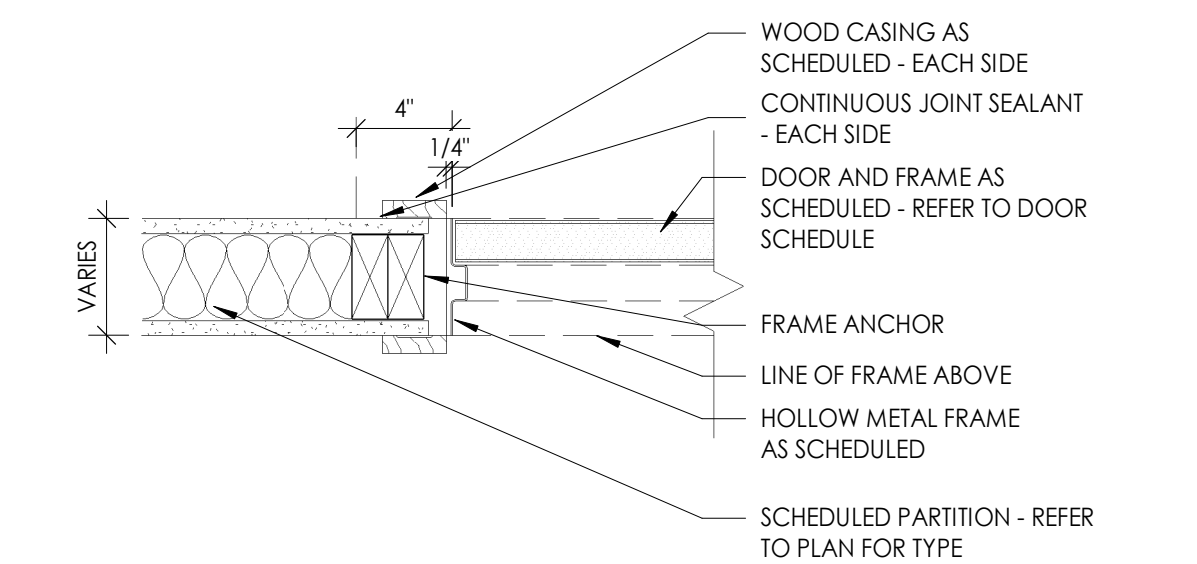
**DOOR TYPES**  
SCALE 1/4" = 1'-0"



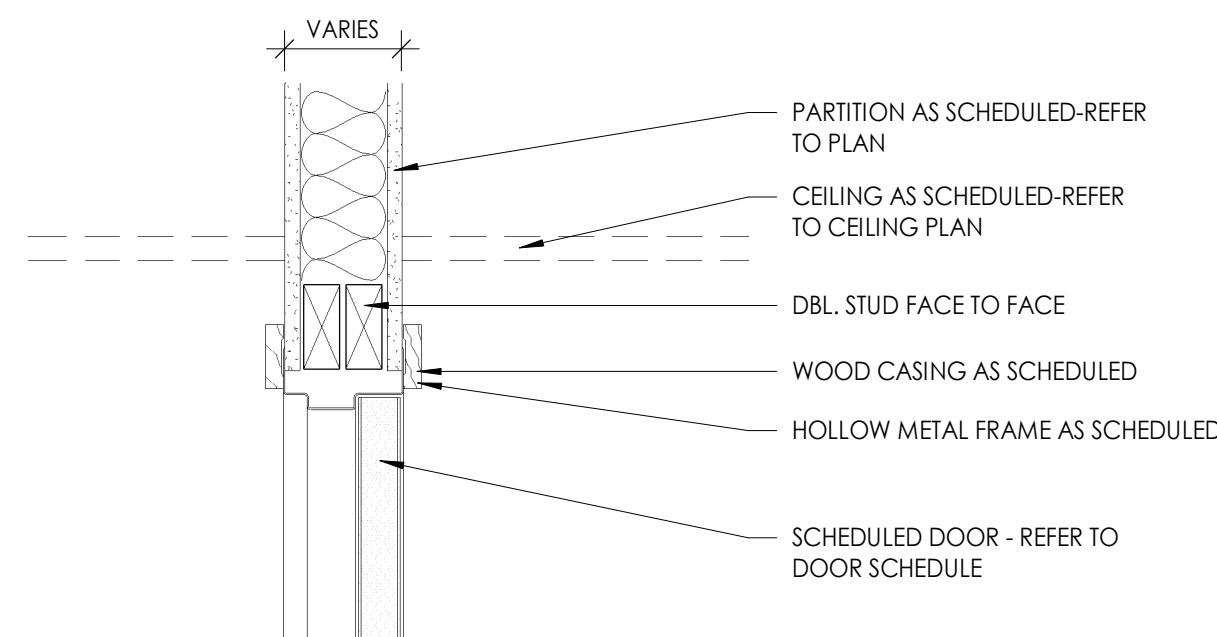
**WINDOW TYPES**  
SCALE 1/4" = 1'-0"



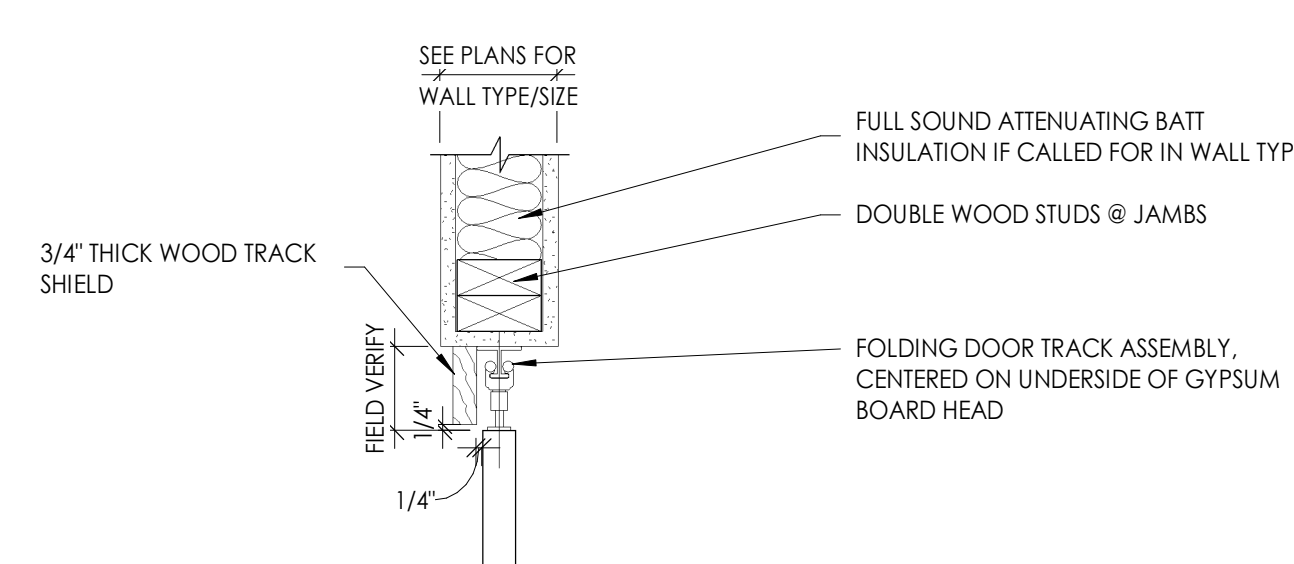
**5 WD HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



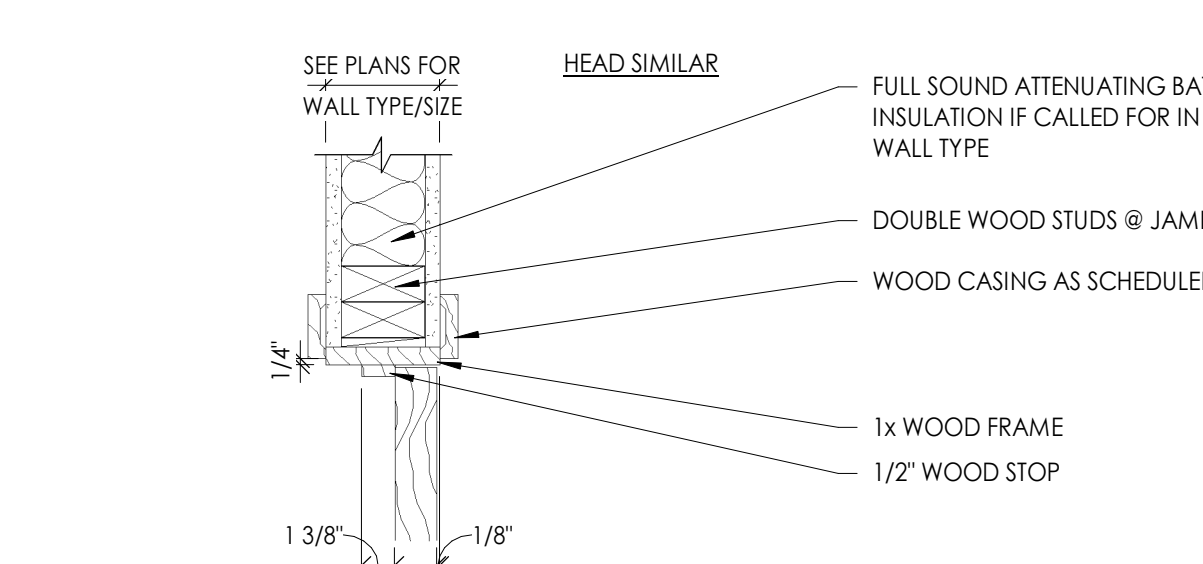
**4 H.M. FRAME JAMB @ WOOD STUD W/ CASING**  
SCALE 1 1/2" = 1'-0"



**3 H.M. FRAME HEAD @ WOOD STUD W/ CASING**  
SCALE 1 1/2" = 1'-0"



**2 BI-FOLDING DOOR HEAD**  
SCALE 1 1/2" = 1'-0"



**1 WD FRAME JAMB @ WD STUD PARTITION**  
SCALE 1 1/2" = 1'-0"



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## REVISIONS

NO.	DESCRIPTION	DATE
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## INFORMATION

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PROJECT MANAGER	EJN
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ISSUED FOR	PERMIT SET
DATE	03.31.23

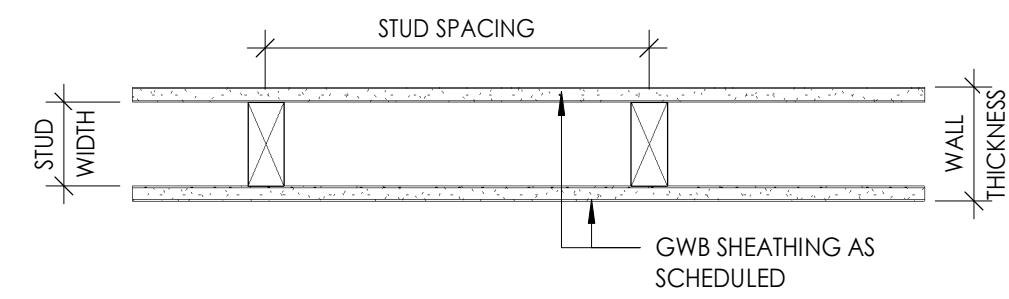
## SHEET

DOOR TYPES AND SCHEDULES

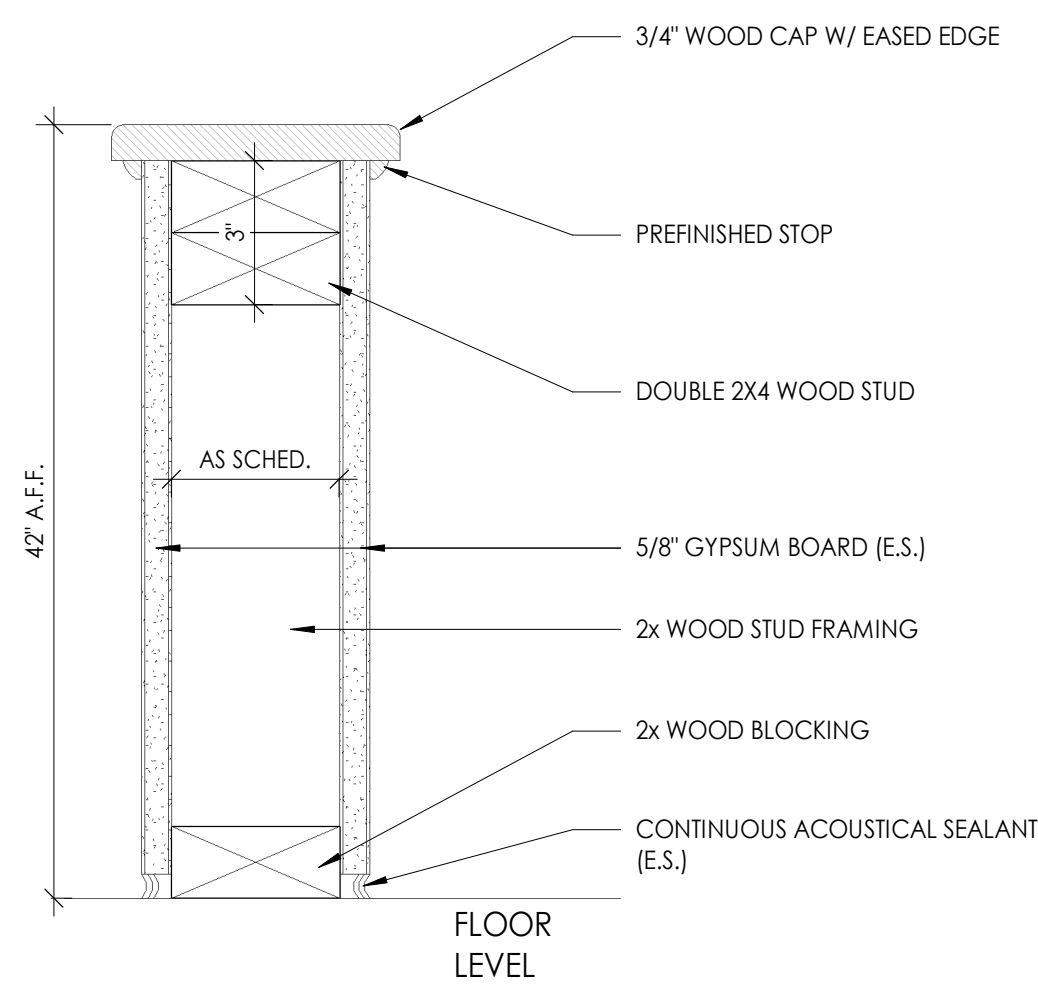
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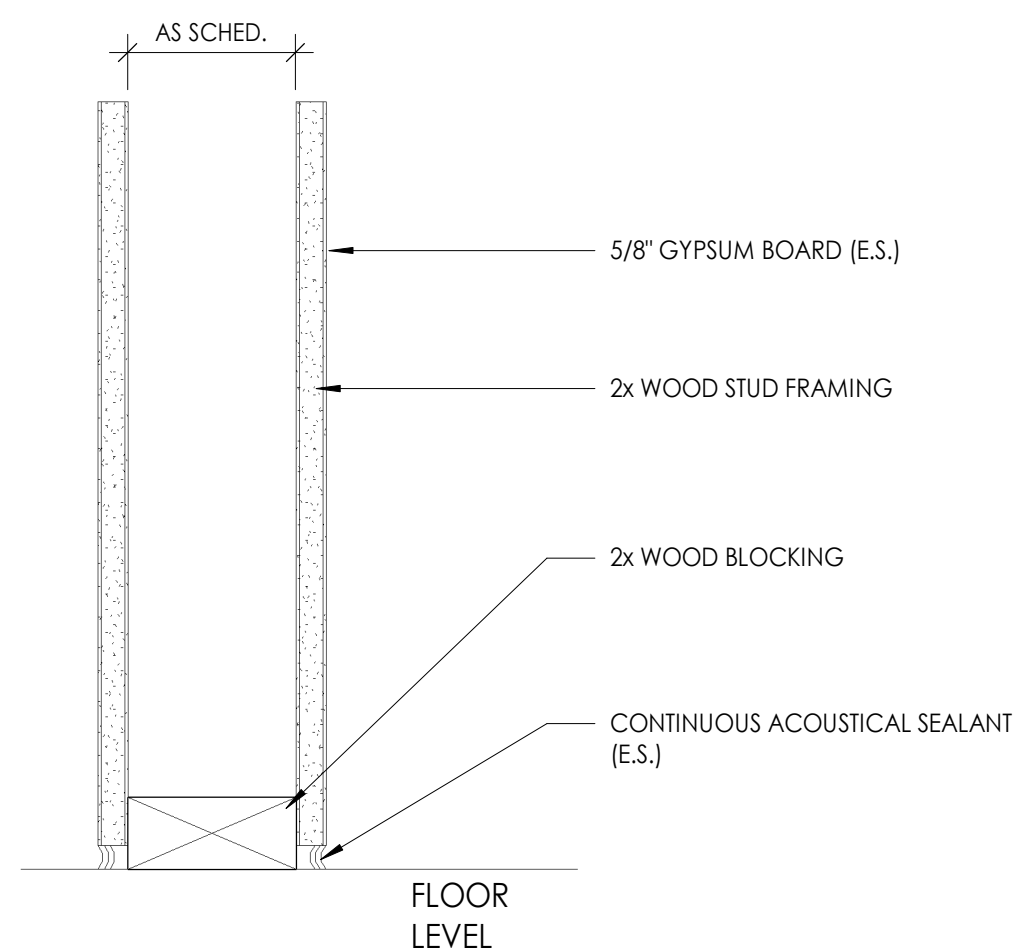
### TYPE 'PD' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4D	4 3/4"	3 1/2"	2x4	16" O.C.	5/8"	P6/A020	P5/A020	0	-	

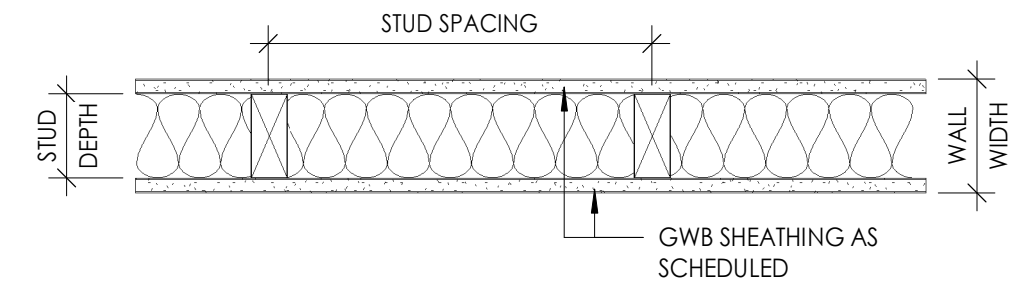


**P6** TYPE 'PD' - TOP OF WALL  
SCALE 3" = 1'-0"

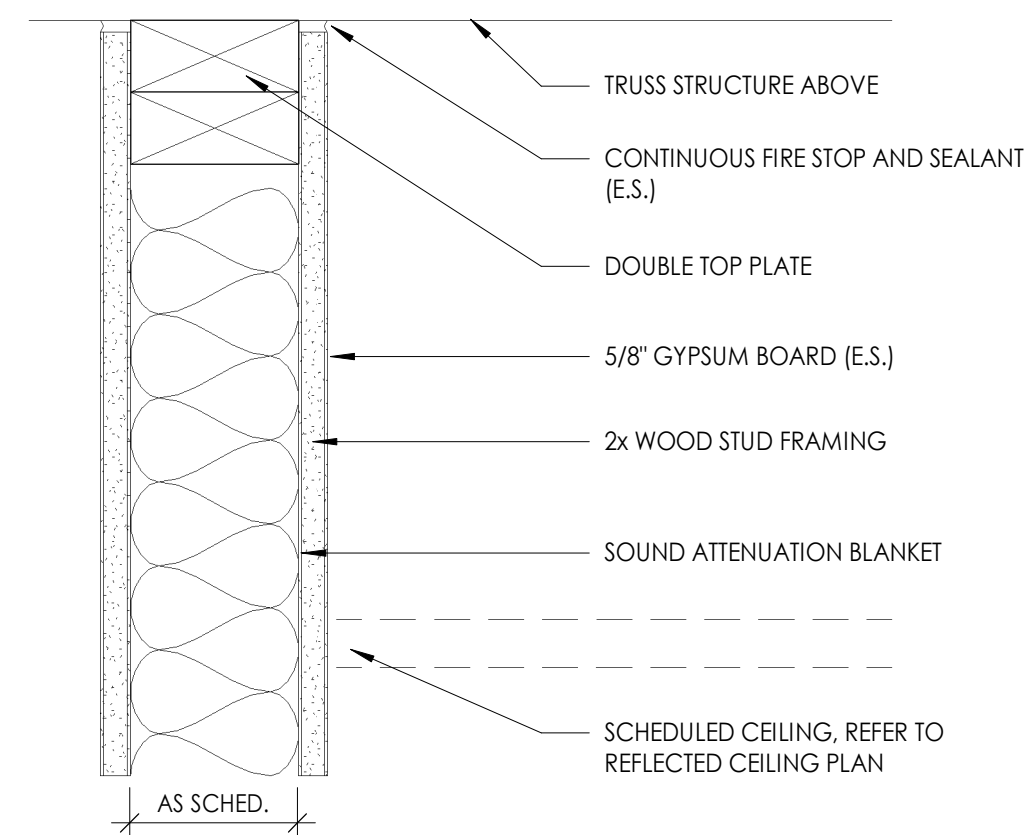


**P5** TYPE 'PD' - BOTTOM OF WALL  
SCALE 3" = 1'-0"

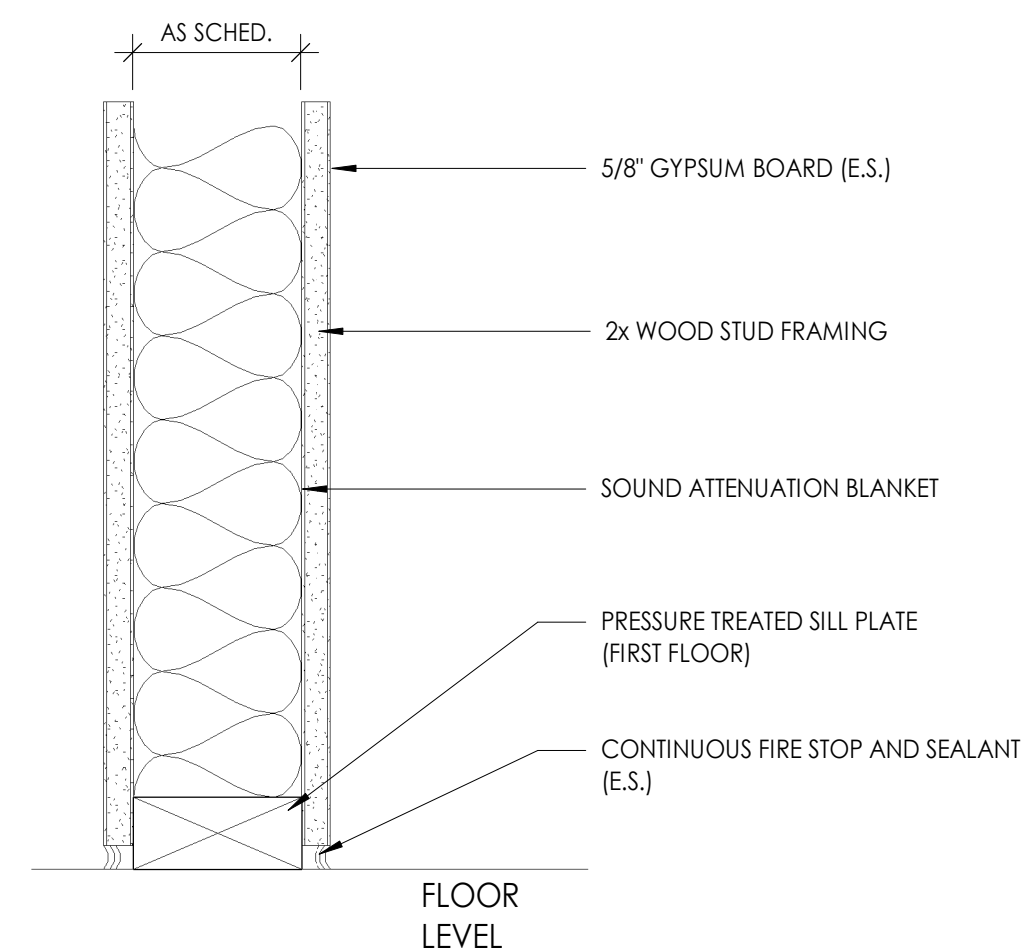
### TYPE 'PB' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4B	4 3/4"	3 1/2"	2x4	16" O.C.	5/8"	P4	P3	1	U305	

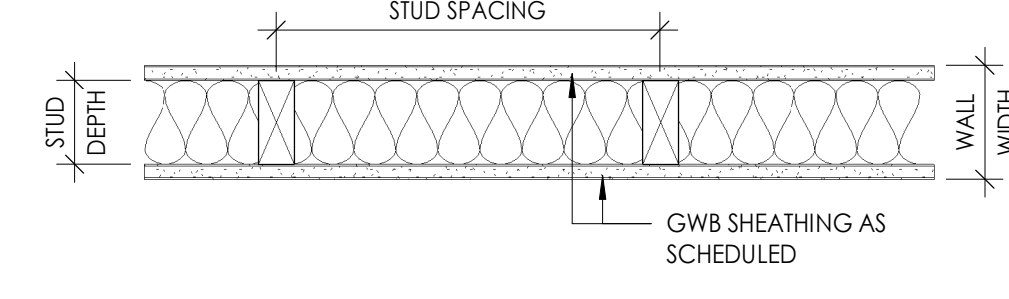


**P4** TYPE 'PB' - TOP OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"

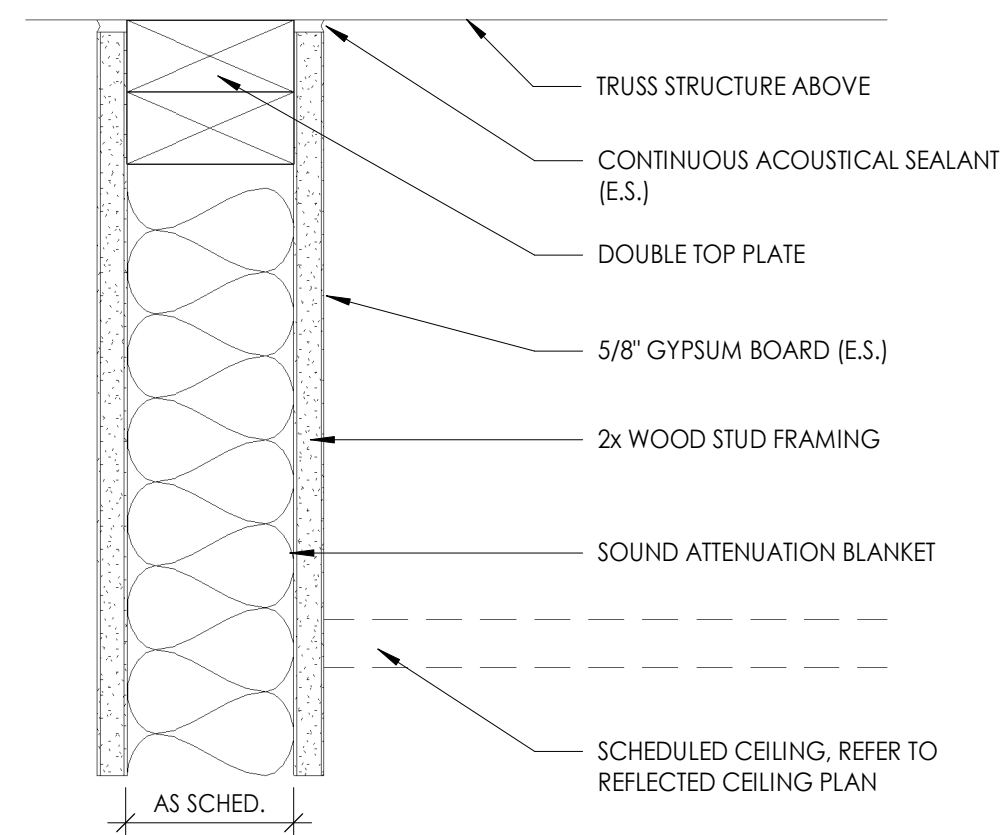


**P3** TYPE 'PB' - BOTTOM OF WALL (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"

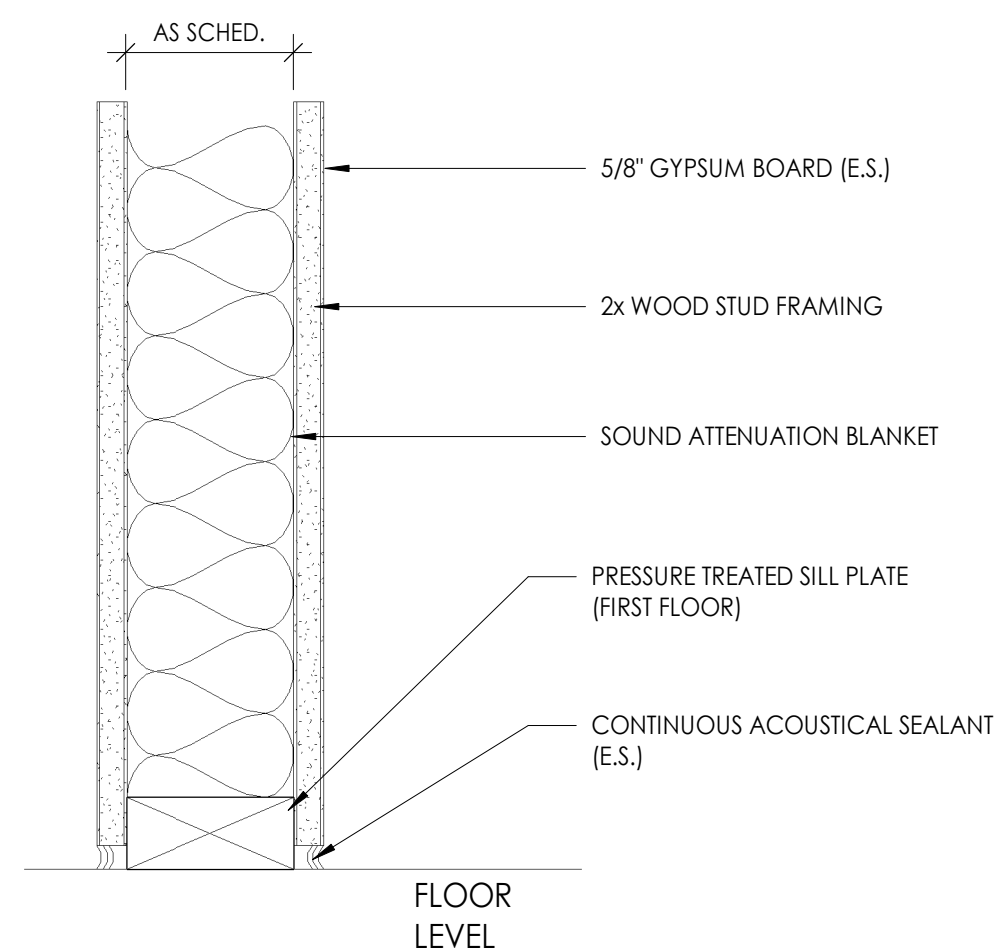
### TYPE 'PA' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
P4A	4 3/4"	3 1/2"	2x4	16" O.C.	5/8"	P2	P1	0	-	
P6A	6 3/4"	5 1/2"	2x6	16" O.C.	5/8"	P2	P1	0	-	

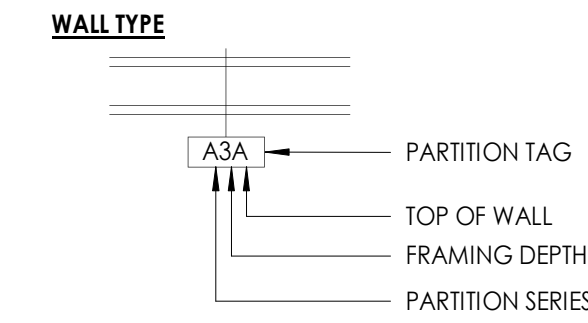


**P2** TYPE 'PA' - TOP OF WALL (NON-RATED)  
SCALE 3" = 1'-0"



**P1** TYPE 'PA' - BOTTOM OF WALL (NON-RATED)  
SCALE 3" = 1'-0"

### GENERAL PARTITION NOTES



PARTITION SERIES	TYPE	SHEATHING	FRAMING	SHEATHING	NOTE
A	1 LAYER	C-STUD		1 LAYER	
B	2 LAYER	C-STUD		2 LAYER	
C	1 LAYER	C-STUD		2 LAYER	
D	1 LAYER	C-STUD		NONE	
E	2 LAYER	C-STUD		NONE	
F	1 LAYER	FURRING		NONE	EXTERIOR FURRING
G	1 LAYER	NONE		NONE	
H	1 LAYER	C-STUD		1 LAYER	PARTIAL HEIGHT WALL
I	1 LAYER	2 C-STUD		1 LAYER	PLUMBING WALL
J	1 LAYER	C-H STUD		LINEAR PANEL	1 HOUR SHAFT WALL
K	2 LAYER	C-H STUD		LINEAR PANEL	2 HOUR SHAFT WALL
L	-	-		-	
M	-	MASONRY		-	
N	-	CONCRETE		-	
O	-	-		-	
P	1 LAYER	STUD		1 LAYER	
Q	1 LAYER	FURRING		NONE	KITCHEN ISLAND/PENINSULA WALLS
R	1 LAYER	2 STUD		1 LAYER	PARTITION WALLS (1 HOUR RATED)
S	1 LAYER	STAGGERED STUD		1 LAYER	1ST FLOOR STAIR WALLS

FRAMING DEPTH/TYPE	DESCRIPTION
-	0 NO FRAMING
0	7/8" FURRING CHANNEL
1	1-5/8" C-STUD
2	2-1/2" C OR C-H STUD FRAMING
3	3-5/8" C-STUD
4	4" C OR C-H STUD, CONCRETE OR MASONRY
6	6" C OR C-H STUD, CONCRETE OR MASONRY
8	8" C OR C-H STUD, CONCRETE OR MASONRY
10	10" C OR C-H STUD, CONCRETE OR MASONRY
12	12" CONCRETE OR MASONRY

TOP OF WALL	DESCRIPTION
A	WALL EXTENDS TO UNDERSIDE OF DECK ABOVE
B	FIRE RATED PARTITION (EXTENDS TO DECK ABOVE)
C	WALL EXTENDS TUO UNDERSIDE OF CEILING GRID
D	WALL EXTENDS 12" ABOVE CEILING HEIGHT
E	PARTIAL HEIGHT WALL (DOES NOT EXTEND TO, OR PAST A CEILING OR STRUCTURE)



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### PROJECT

PROPOSED BUILDING FOR:

### THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

### OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

### REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

### INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

### SHEET

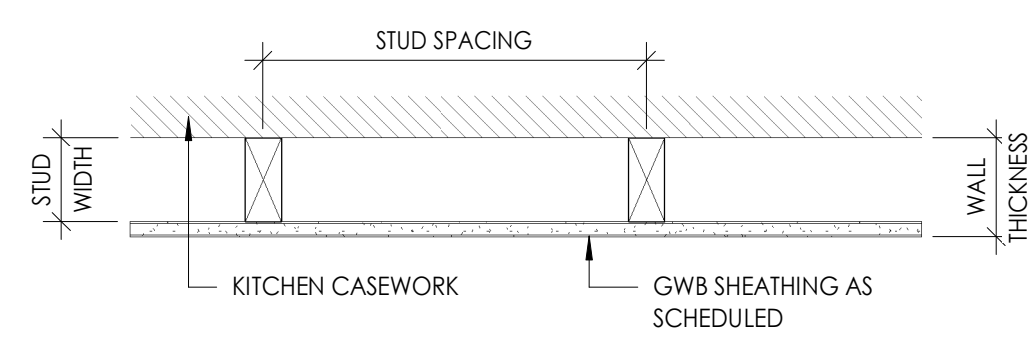
WALL TYPES AND DETAILS

**A020**

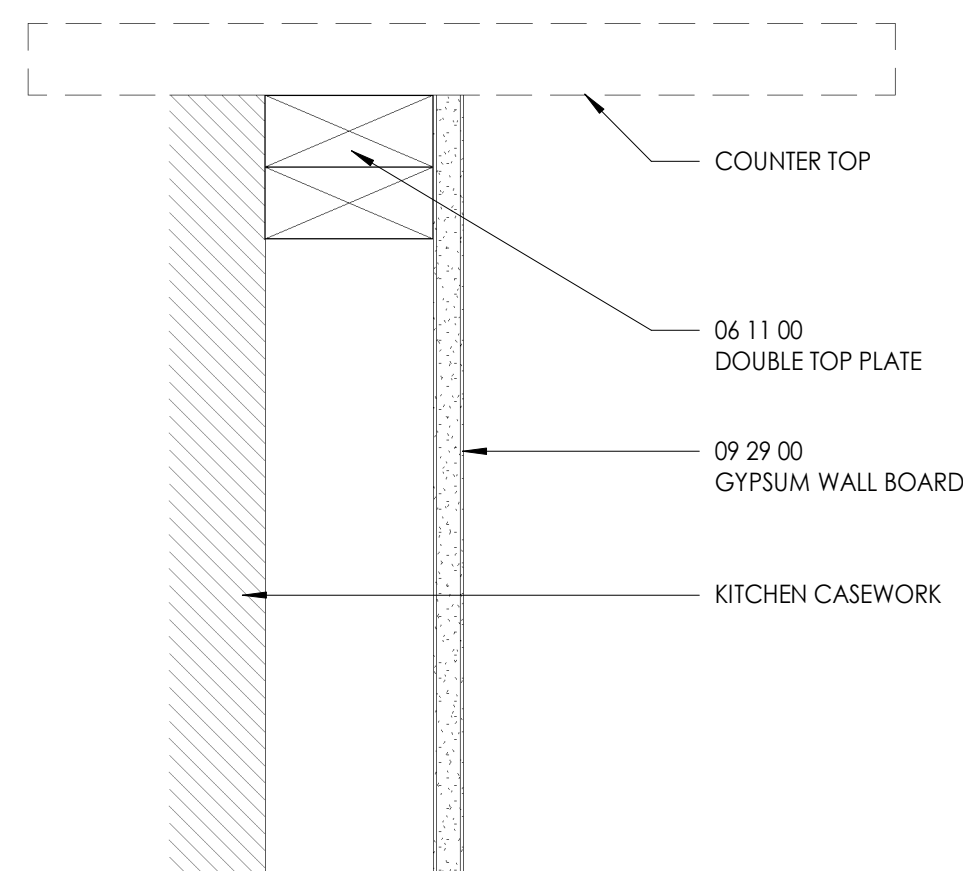
© STEPHEN PERRY SMITH ARCHITECTS, INC.



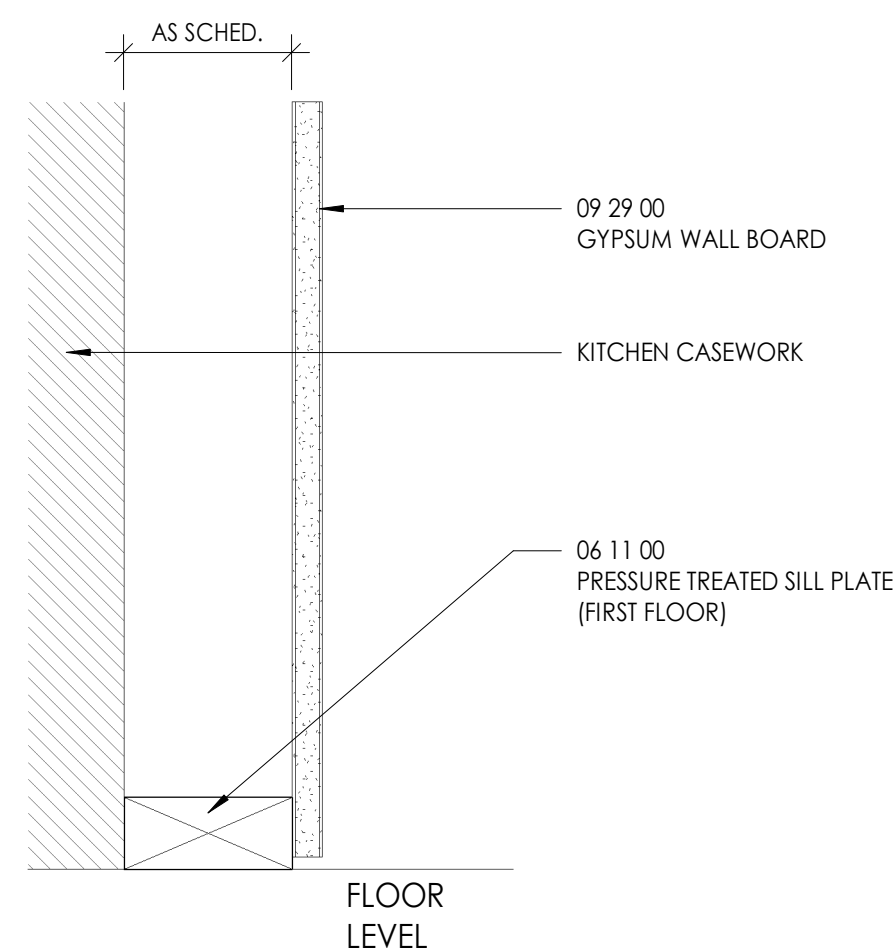
### TYPE 'Q' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
Q6A	6 1/8"	5 1/2"	2x6	16" O.C.	5/8"	Q2	Q1			

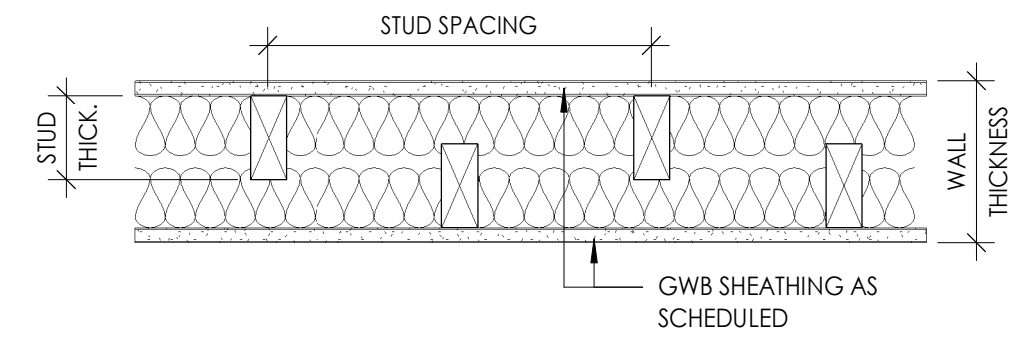


**Q2 TYPE 'Q' - TOP OF WALL**  
SCALE 3" = 1'-0"

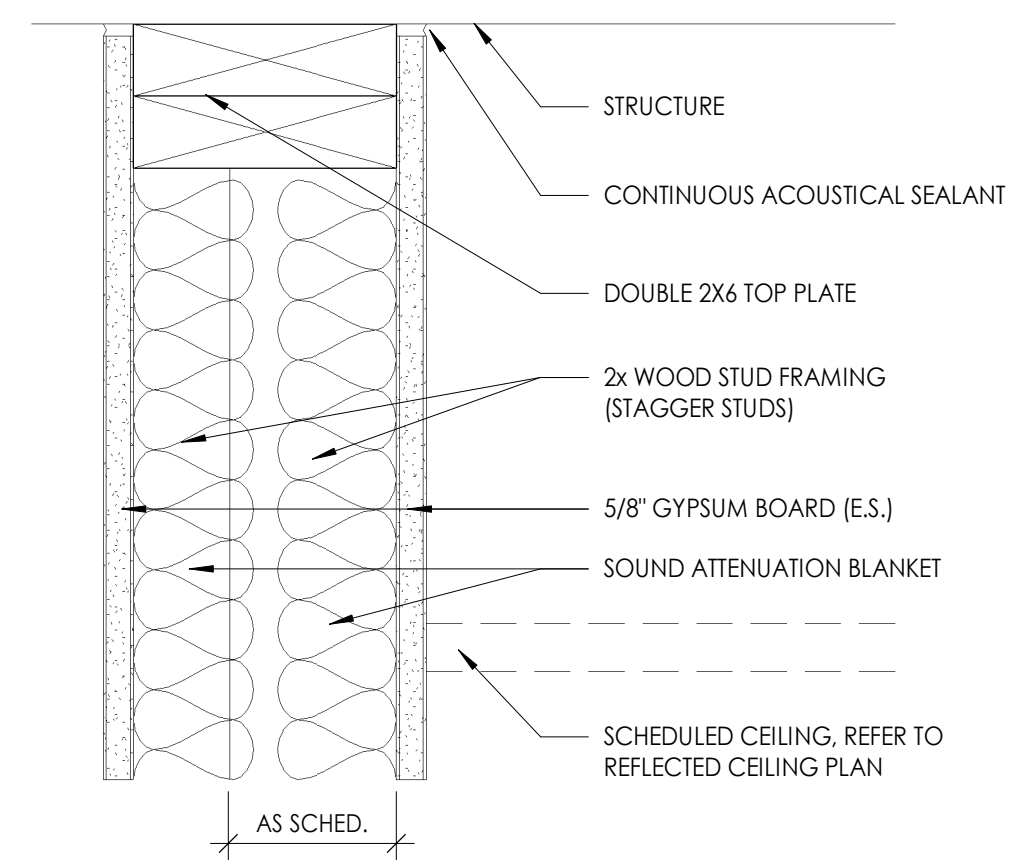


**Q1 TYPE 'Q' - BOTTOM OF WALL**  
SCALE 3" = 1'-0"

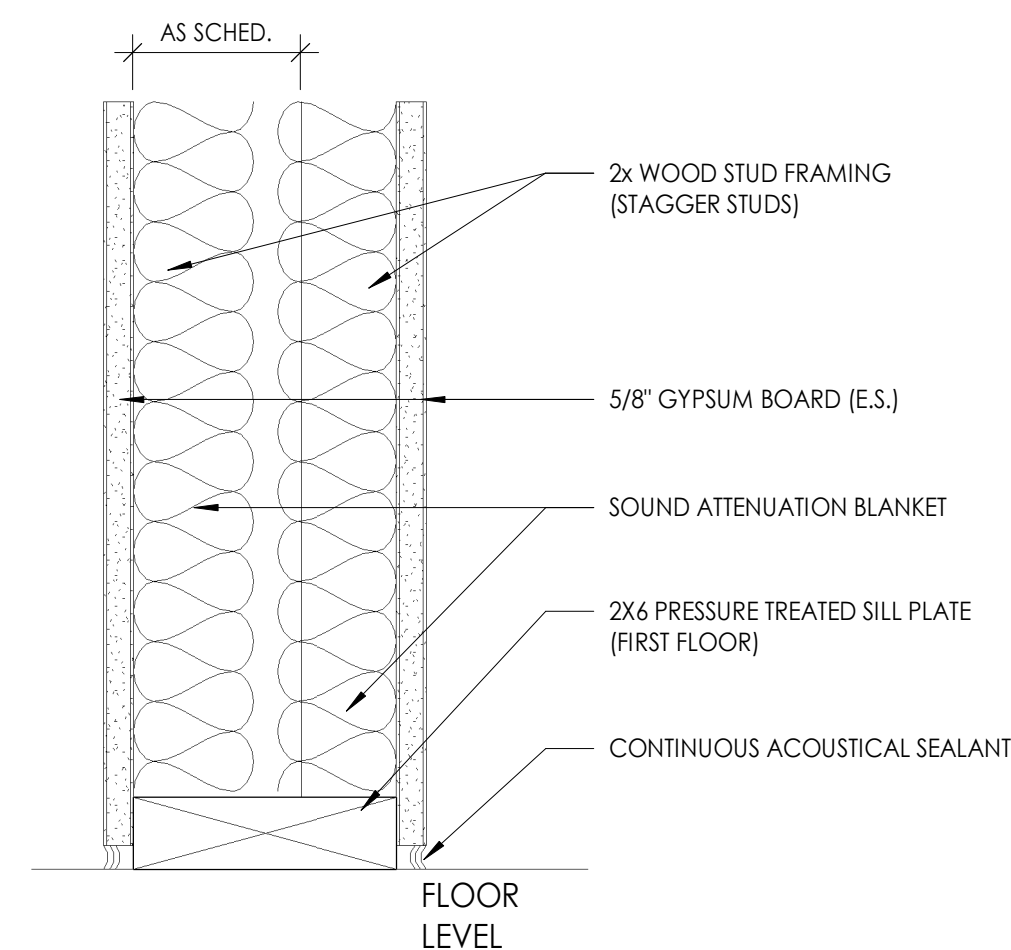
### TYPE 'S' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
S6A	6 3/4"	5 1/2"	2x6	16" O.C.	5/8"	S2	S1	1	US40	

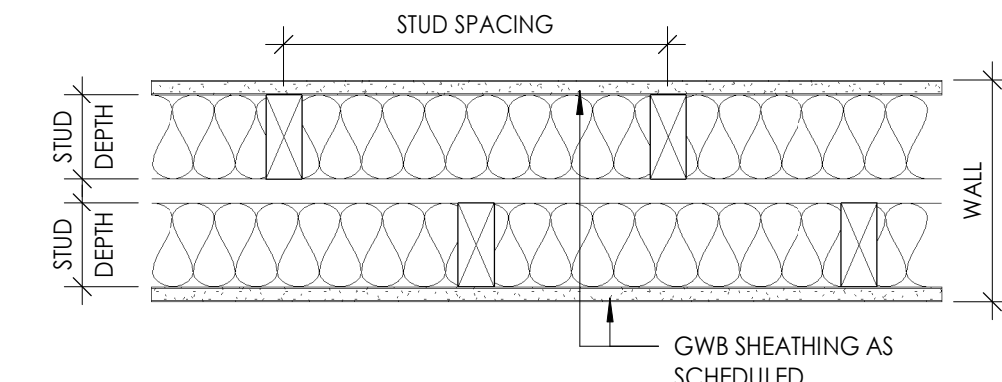


**S2 TYPE 'S' - TOP OF WALL**  
SCALE 3" = 1'-0"

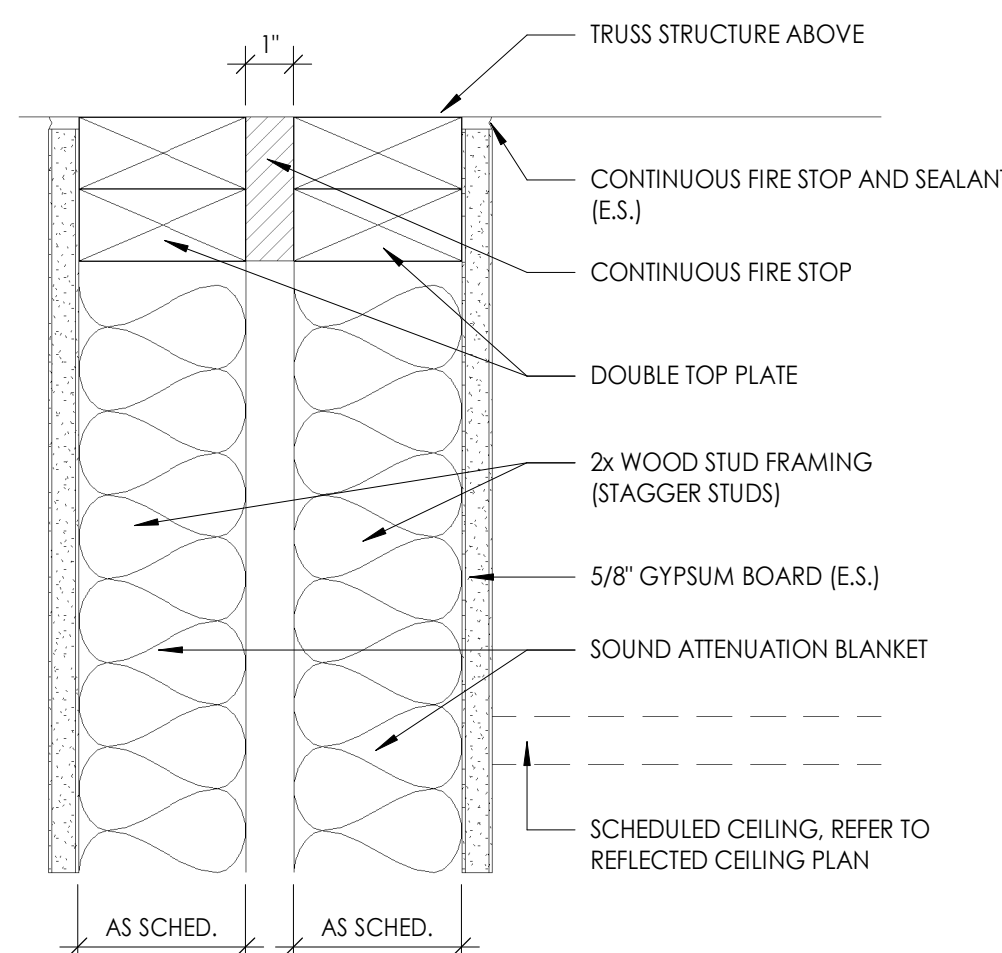


**S1 TYPE 'S' - BOTTOM OF WALL**  
SCALE 3" = 1'-0"

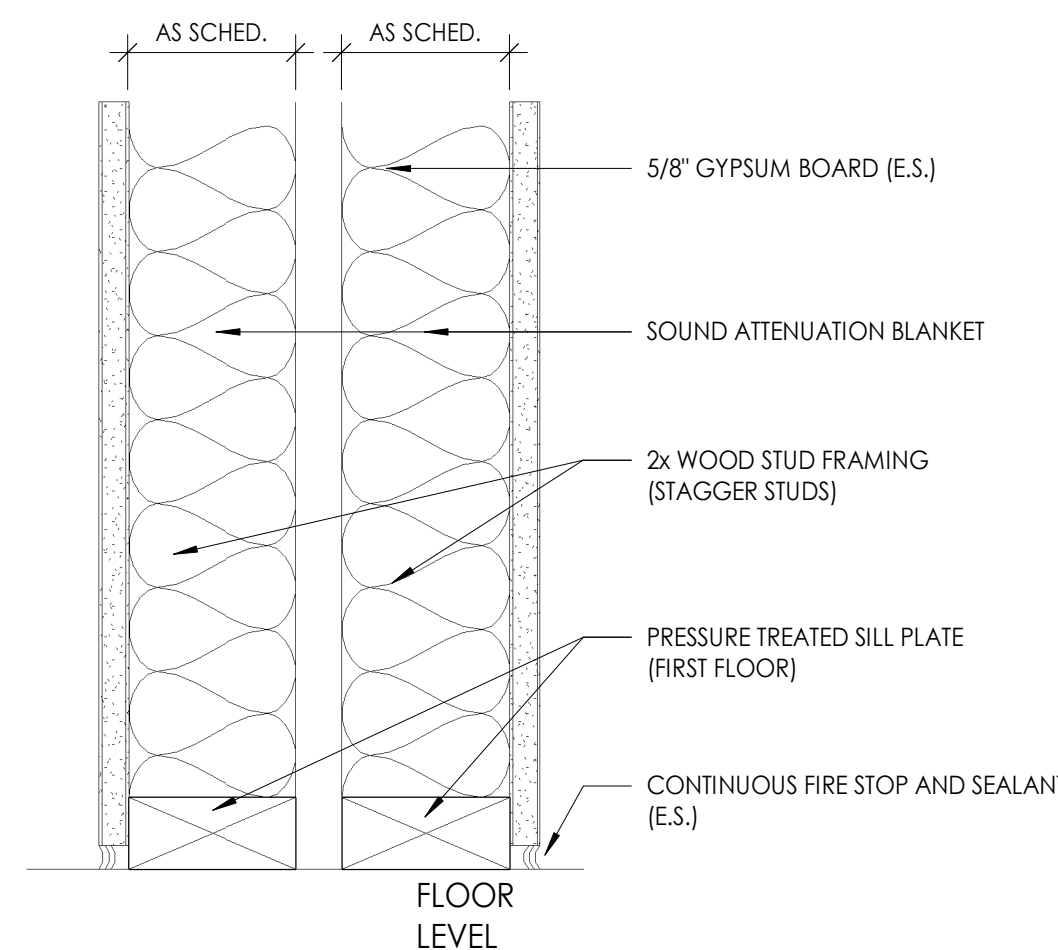
### TYPE 'R' INTERIOR WALL PARTITION



MARK	OVERALL WIDTH	FRAMING			SHEATHING THICKNESS	WALL TERMINATION		FIRE RATING		NOTES
		DEPTH	TYPE	SPACING		TOP	BOTTOM	HOURS	UL NO.	
R4A	9 1/4"	3 1/2"	2x4	16" O.C.	5/8"	R2	R1	1	US41	

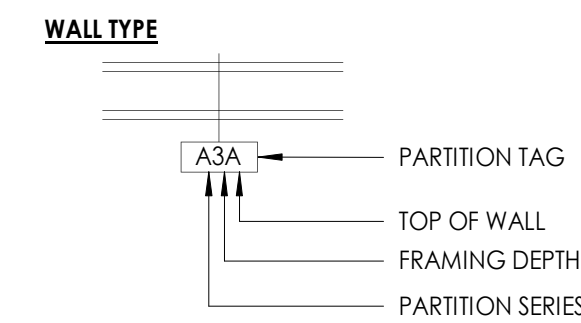


**R2 TYPE 'R' - TOP OF WALL (1-HOUR FIRE RATED)**  
SCALE 3" = 1'-0"



**R1 TYPE 'R' - BOTTOM OF WALL (1-HOUR FIRE RATED)**  
SCALE 3" = 1'-0"

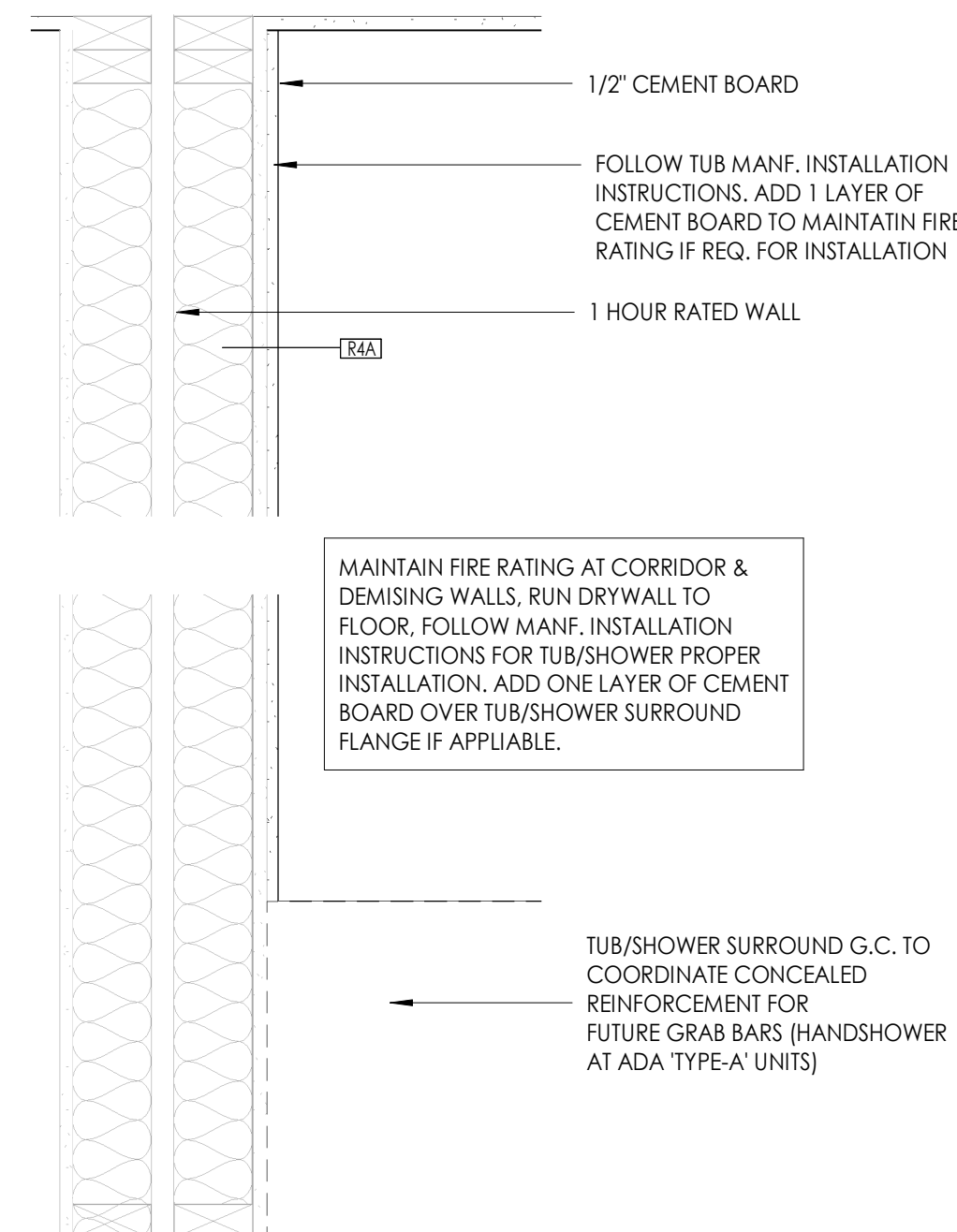
### GENERAL PARTITION NOTES



PARTITION SERIES				
TYPE	SHEATHING	FRAMING	SHEATHING	NOTE
A	1 LAYER	C-STUD	1 LAYER	
B	2 LAYER	C-STUD	2 LAYER	
C	1 LAYER	C-STUD	2 LAYER	
D	1 LAYER	C-STUD	NONE	
E	2 LAYER	C-STUD	NONE	
F	1 LAYER	FURRING	NONE	EXTERIOR FURRING
G	1 LAYER	NONE	NONE	
H	1 LAYER	C-STUD	1 LAYER	PARTIAL HEIGHT WALL
I	1 LAYER	2 C-STUD	1 LAYER	PLUMBING WALL
J	1 LAYER	C-H STUD	LINEAR PANEL	1 HOUR SHAFT WALL
K	2 LAYER	C-H STUD	LINEAR PANEL	2 HOUR SHAFT WALL
L	-	-	-	-
M	-	MASONRY	-	-
N	-	CONCRETE	-	-
O	-	-	-	-
P	1 LAYER	STUD	1 LAYER	
Q	1 LAYER	FURRING	NONE	KITCHEN ISLAND/PENINSULA WALLS
R	1 LAYER	2 STUD	1 LAYER	PARTITION WALLS (1 HOUR RATED)
S	1 LAYER	STAGGERED STUD	1 LAYER	1ST FLOOR STAIR WALLS

FRAMING DEPTH/TYP	
-	0 NO FRAMING
0	7/8" FURRING CHANNEL
1	1-5/8" C-STUD
2	2-1/2" C OR C-H STUD FRAMING
3	3-5/8" C-STUD
4	4" C OR C-H STUD, CONCRETE OR MASONRY
6	6" C OR C-H STUD, CONCRETE OR MASONRY
8	8" C OR C-H STUD, CONCRETE OR MASONRY
10	10" C OR C-H STUD, CONCRETE OR MASONRY
12	12" CONCRETE OR MASONRY

TOP OF WALL	
A	WALL EXTENDS TO UNDERSIDE OF DECK ABOVE
B	FIRE RATED PARTITION (EXTENDS TO DECK ABOVE)
C	WALL EXTENDS TUO UNDERSIDE OF CEILING GRID
D	WALL EXTENDS 12" ABOVE CEILING HEIGHT
E	PARTIAL HEIGHT WALL (DOES NOT EXTEND TO, OR PAST A CEILING OR STRUCTURE)



**F1 MAINTAIN FIRE RATING AT DEMISING WALL**  
SCALE 1 1/2" = 1'-0"



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spsarchitects.com

### PROJECT

PROPOSED BUILDING FOR:

### THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

### OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

### REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

### INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

### SHEET

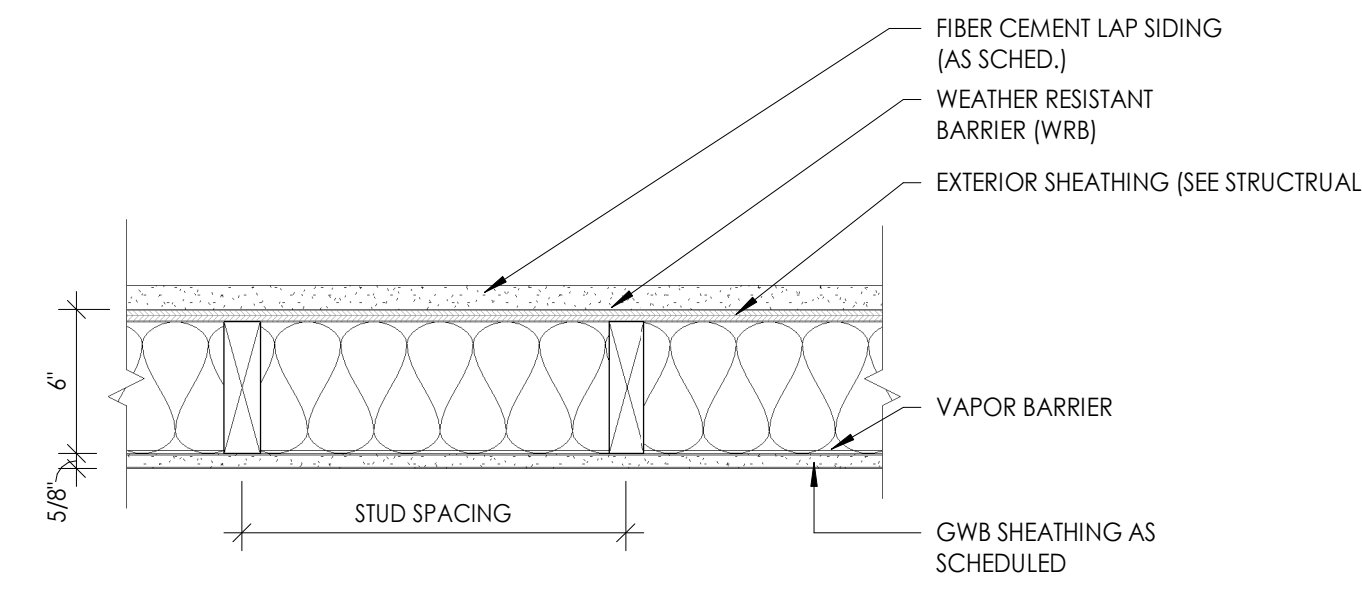
WALL TYPES AND DETAILS

A021

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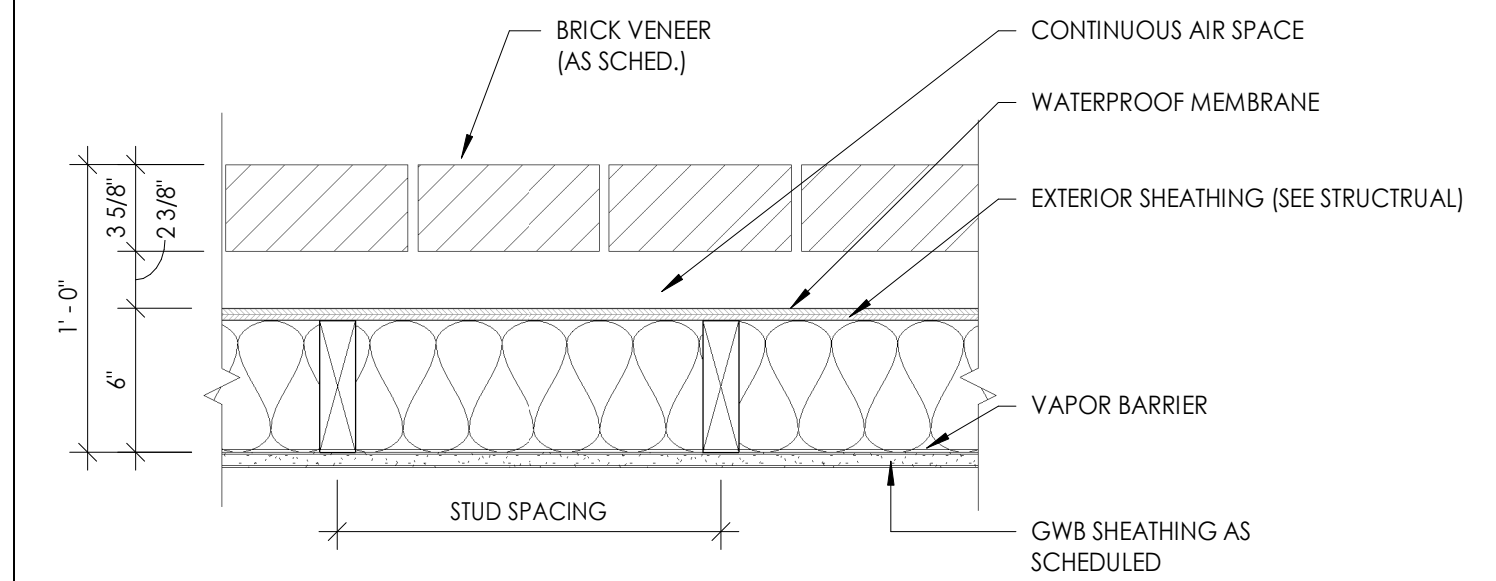


TYPE 'WS' EXTERIOR WALL PARTITION

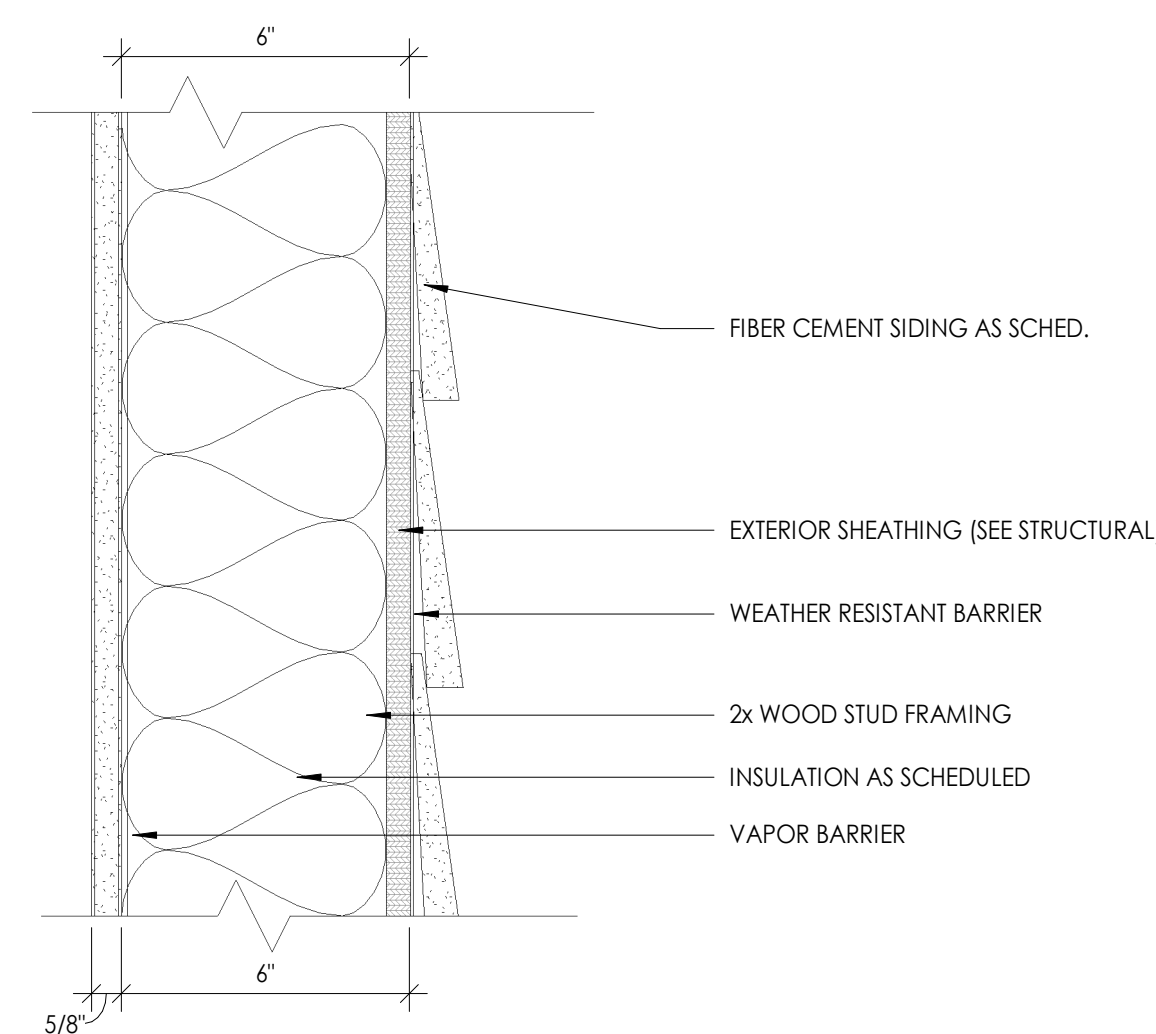


**WS2** TYPE 'WS' SERIES PARTITION (1-HOUR FIRE RATED)  
SCALE 1 1/2" = 1'-0"

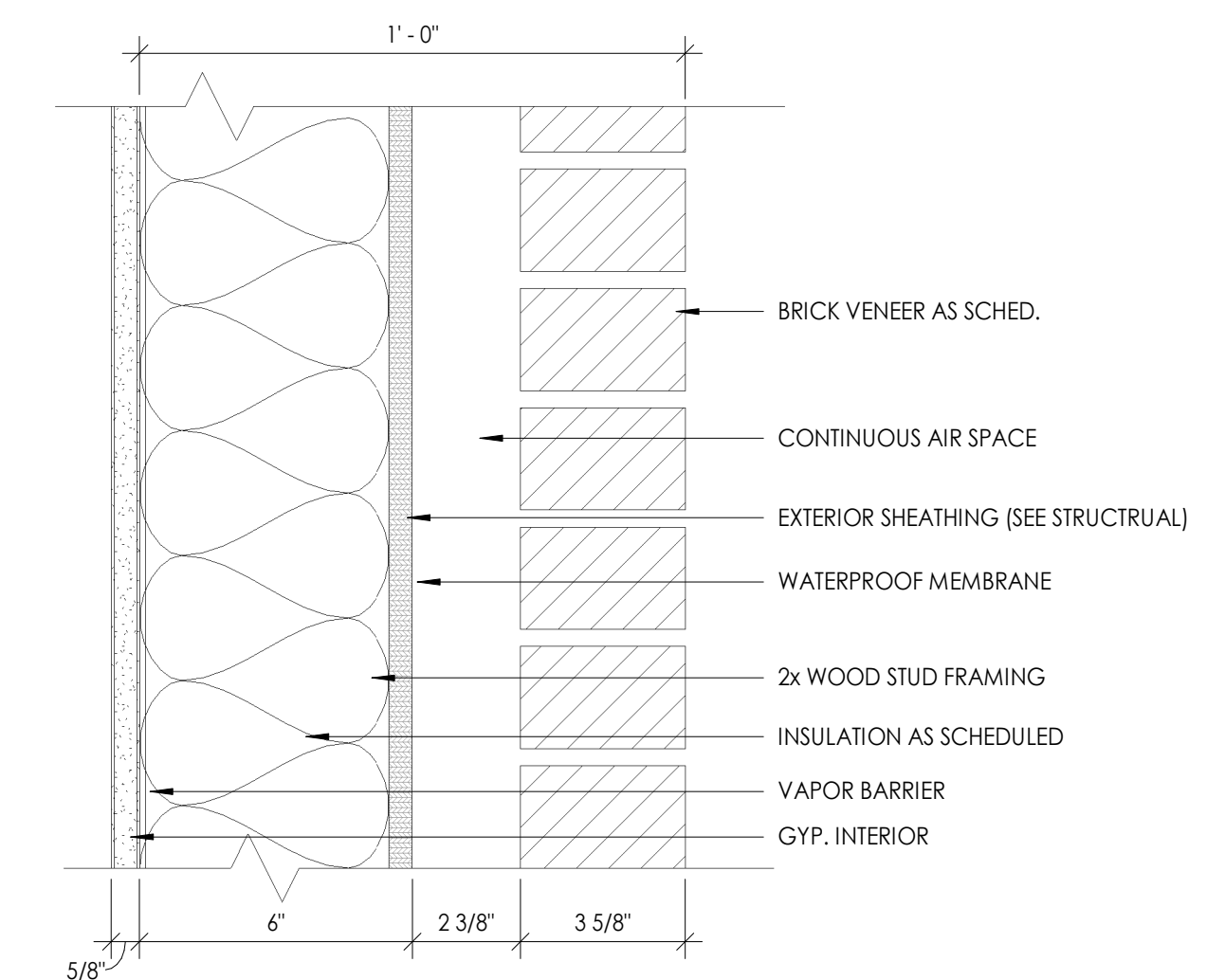
TYPE 'WB' EXTERIOR WALL PARTITION



**WB2** TYPE 'WB' SERIES PARTITION (2-HOUR FIRE RATED)  
SCALE 1 1/2" = 1'-0"



**WS1** TYPE 'WS6' - WALL SECTION (1-HOUR FIRE RATED)  
SCALE 3" = 1'-0"



**WB1** TYPE 'WB' - WALL SECTION (2-HOUR FIRE RATED)  
SCALE 3" = 1'-0"



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

REVISIONS

NO.	DESCRIPTION	DATE
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INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

WALL TYPES AND DETAILS EXTERIOR

A022

## SHEET KEYNOTES

- 01-04 ALIGN FACE OF GYP BD
- 21-01 FIRE DEPARTMENT KNOX BOX (VERIFY LOCATION WITH FIRE MARSHALL)
- 21-02 DESIGN/BUILD FIRE PROTECTION CONTRACTOR TO PROVIDE DRY SYSTEM OR HEAT TAPE WRAP ON (UNHEATED GARAGE) SPRINKLER LINE AS REQUIRED



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## GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT.
- D. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- L. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- N. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- R. COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

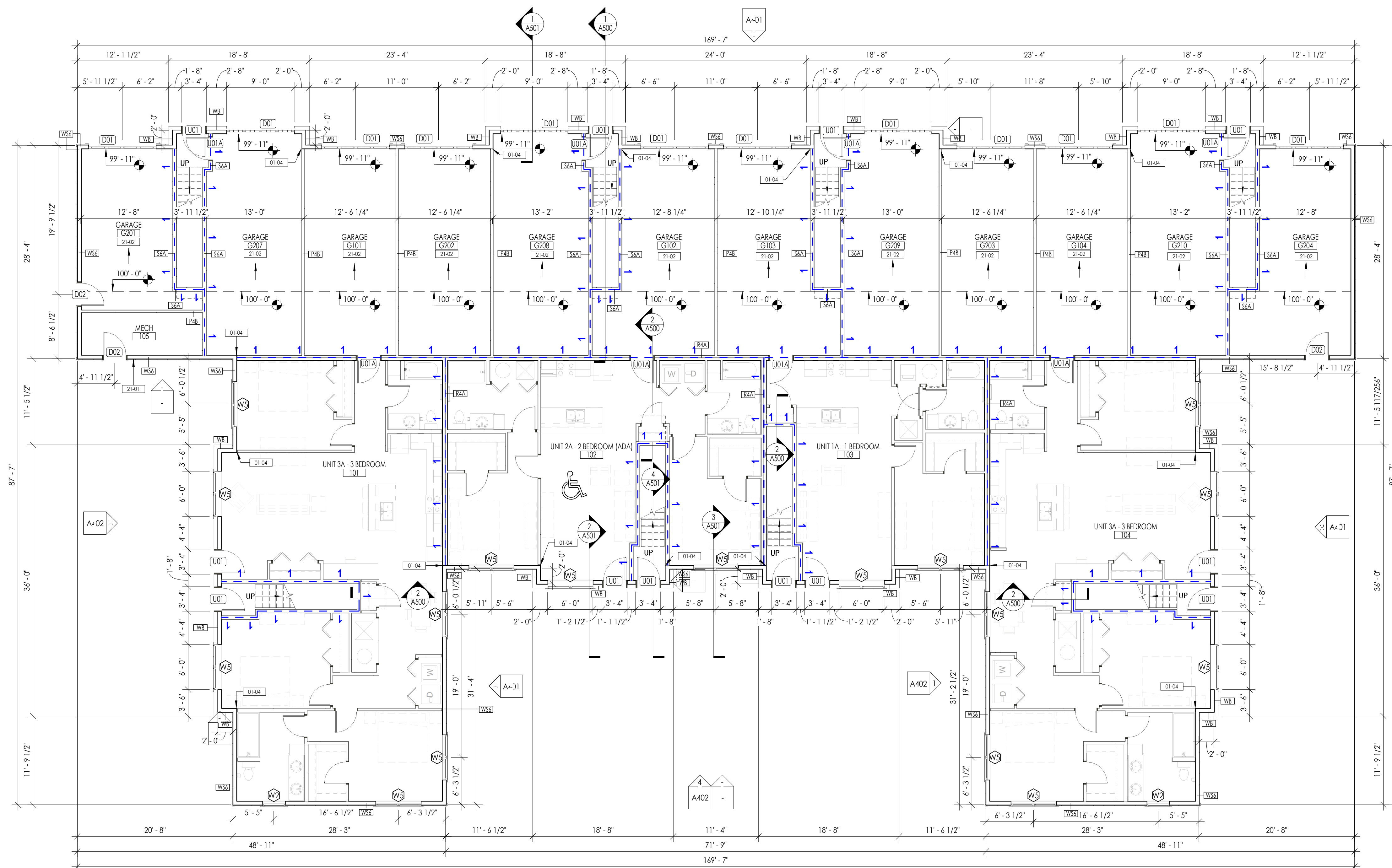
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

CONSTRUCTION PLAN - 1ST FLOOR

# A101

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## 1 CONSTRUCTION PLAN-1ST FLOOR

SCALE 1/8" = 1'-0"



## SHEET KEYNOTES

01-04 ALIGN FACE OF GYP BD



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
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spsrchitects.com

## GENERAL PLAN NOTES

- COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT
- DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE ARCHITECT.
- CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

## PROJECT

PROPOSED BUILDING FOR:

## THE GARDEN APARTMENTS

4450 S 27TH STREET  
MILWAUKEE, WI

## OWNER

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

## REVISIONS

NO.	DESCRIPTION	DATE

## INFORMATION

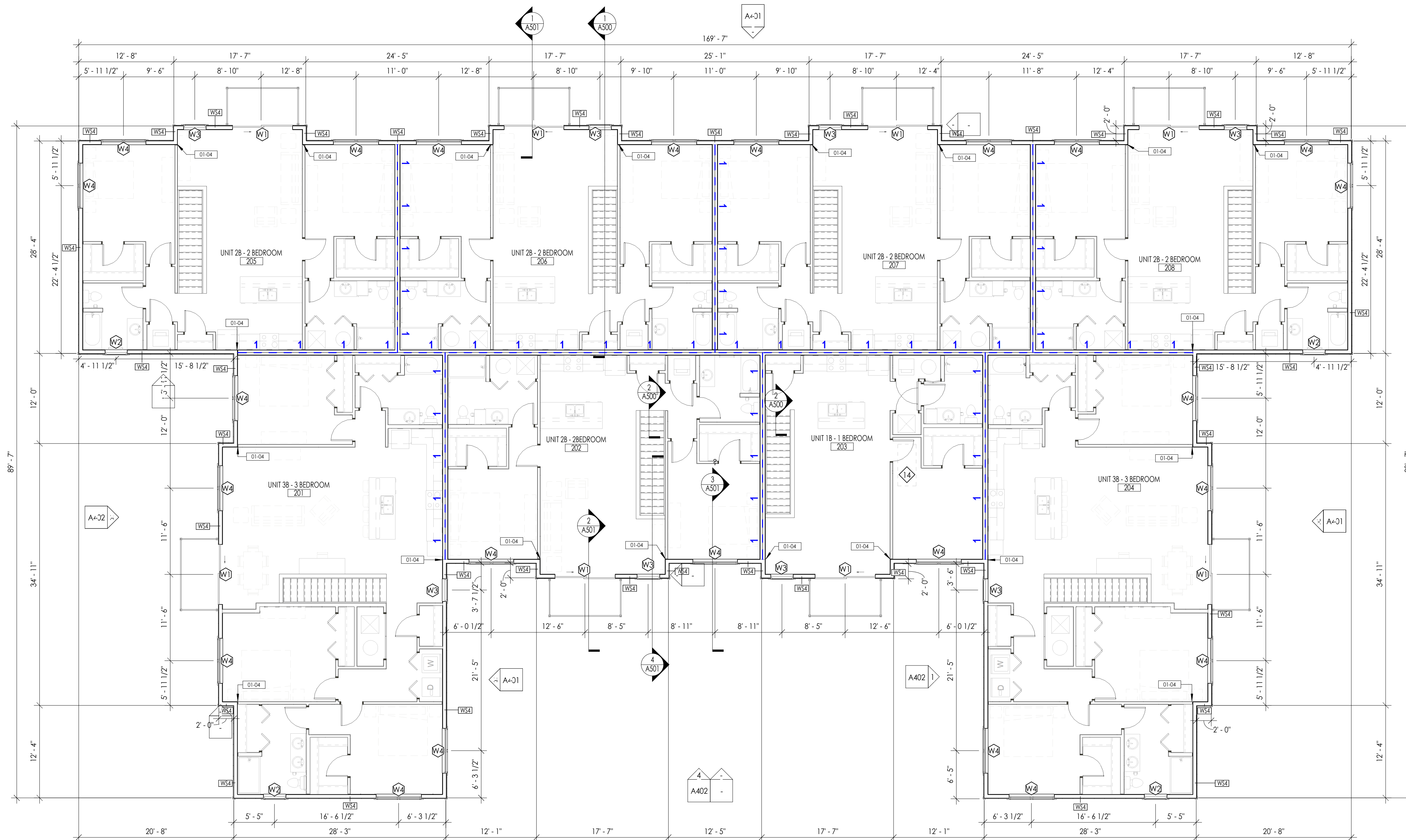
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

## SHEET

CONSTRUCTION PLAN - 2ND FLOOR

# A102

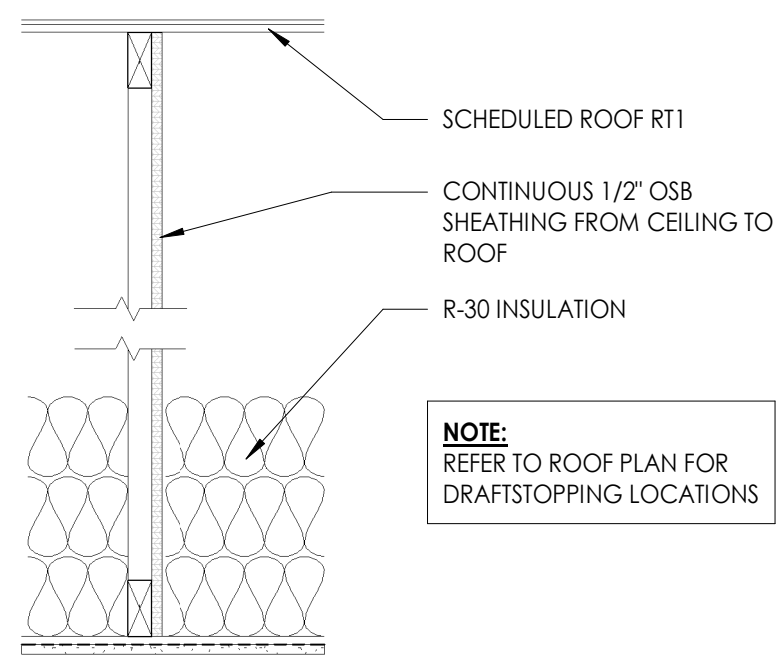
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## 1 CONSTRUCTION PLAN-2ND FLOOR

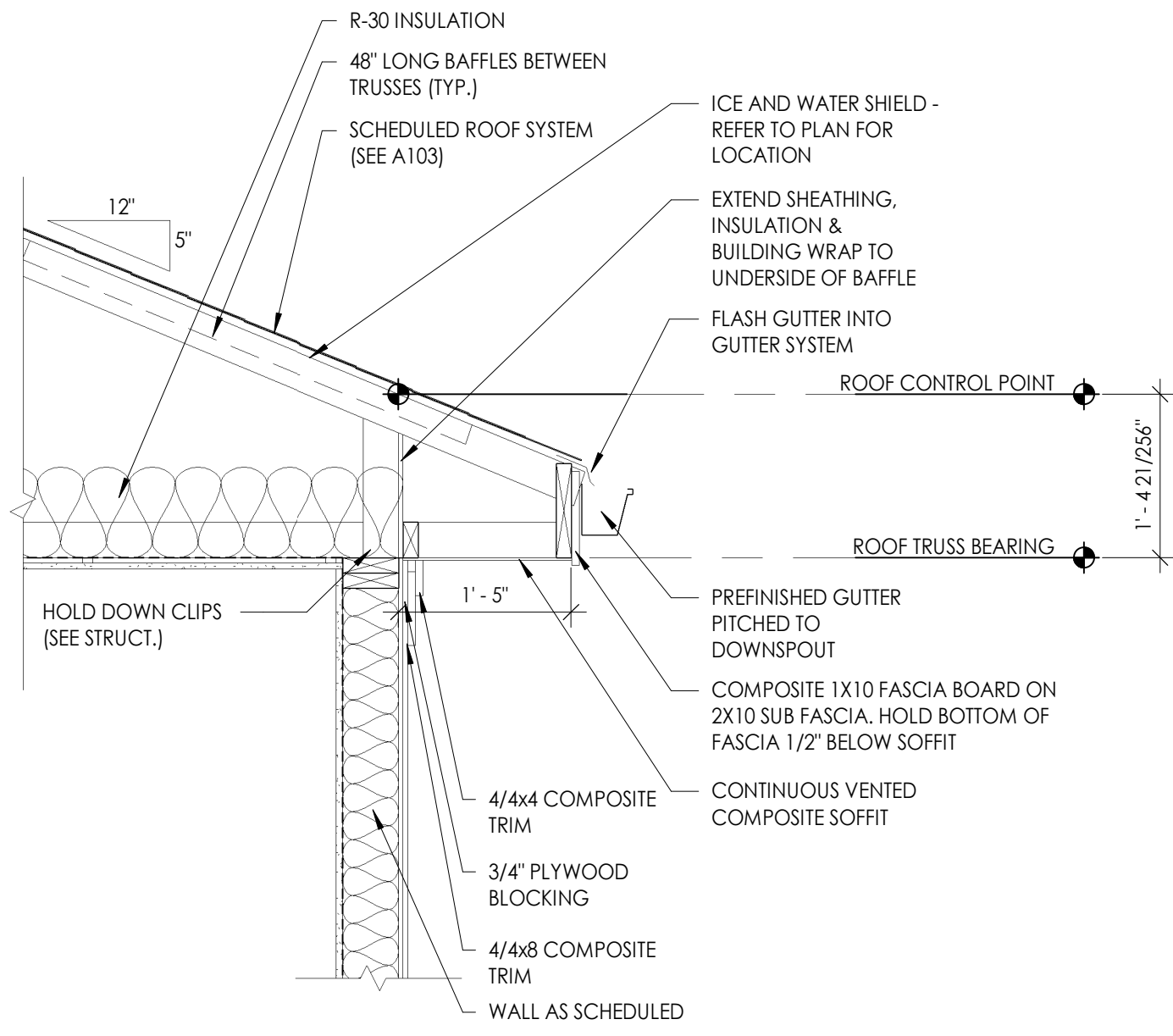
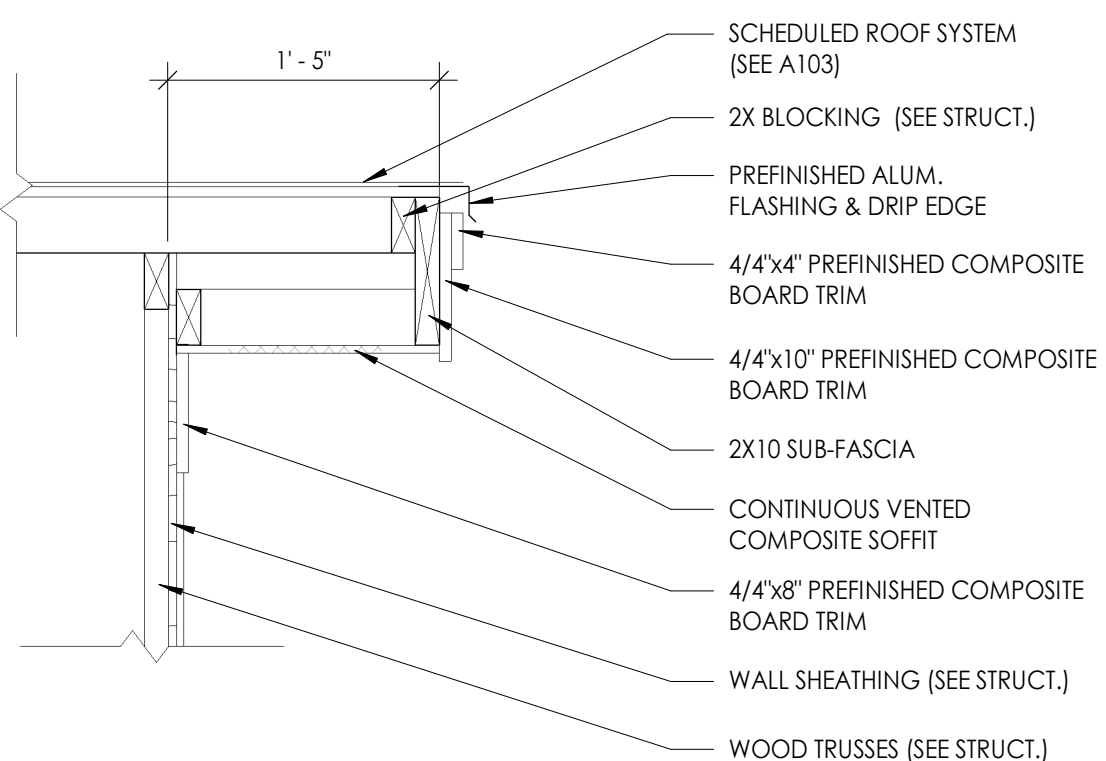
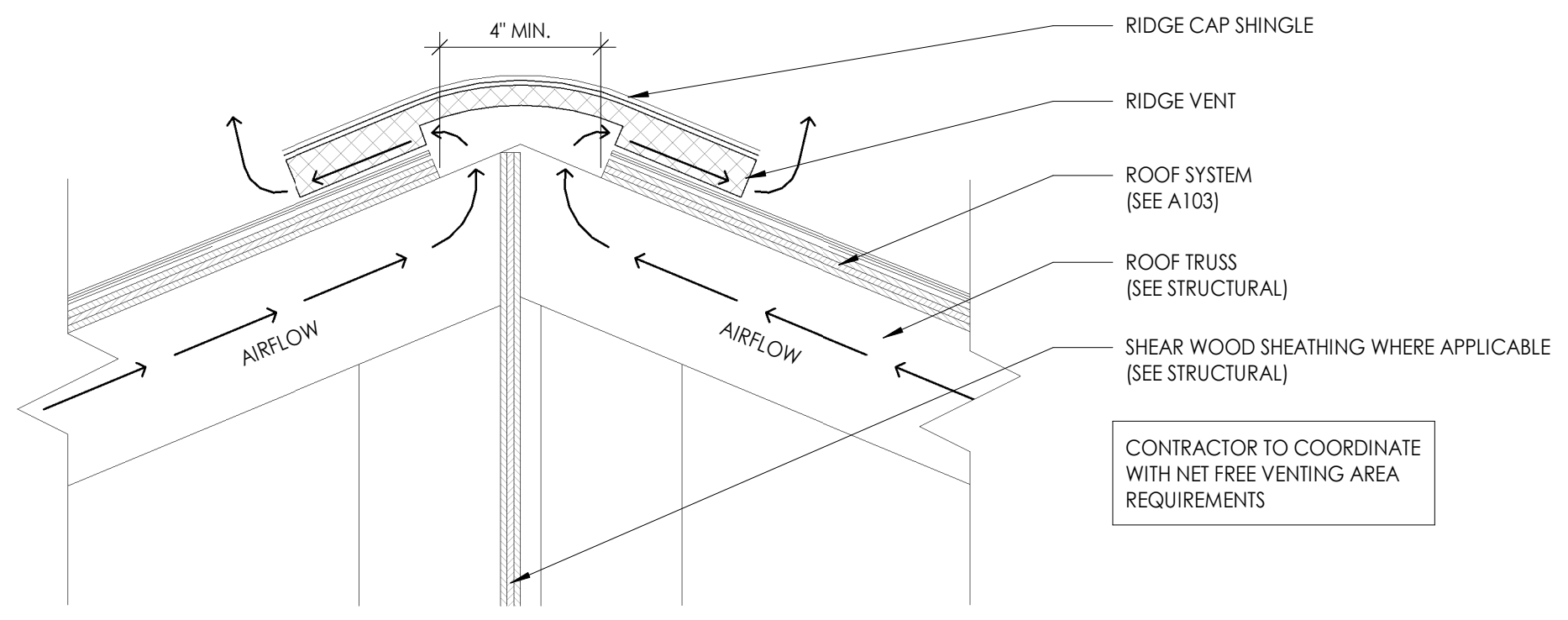
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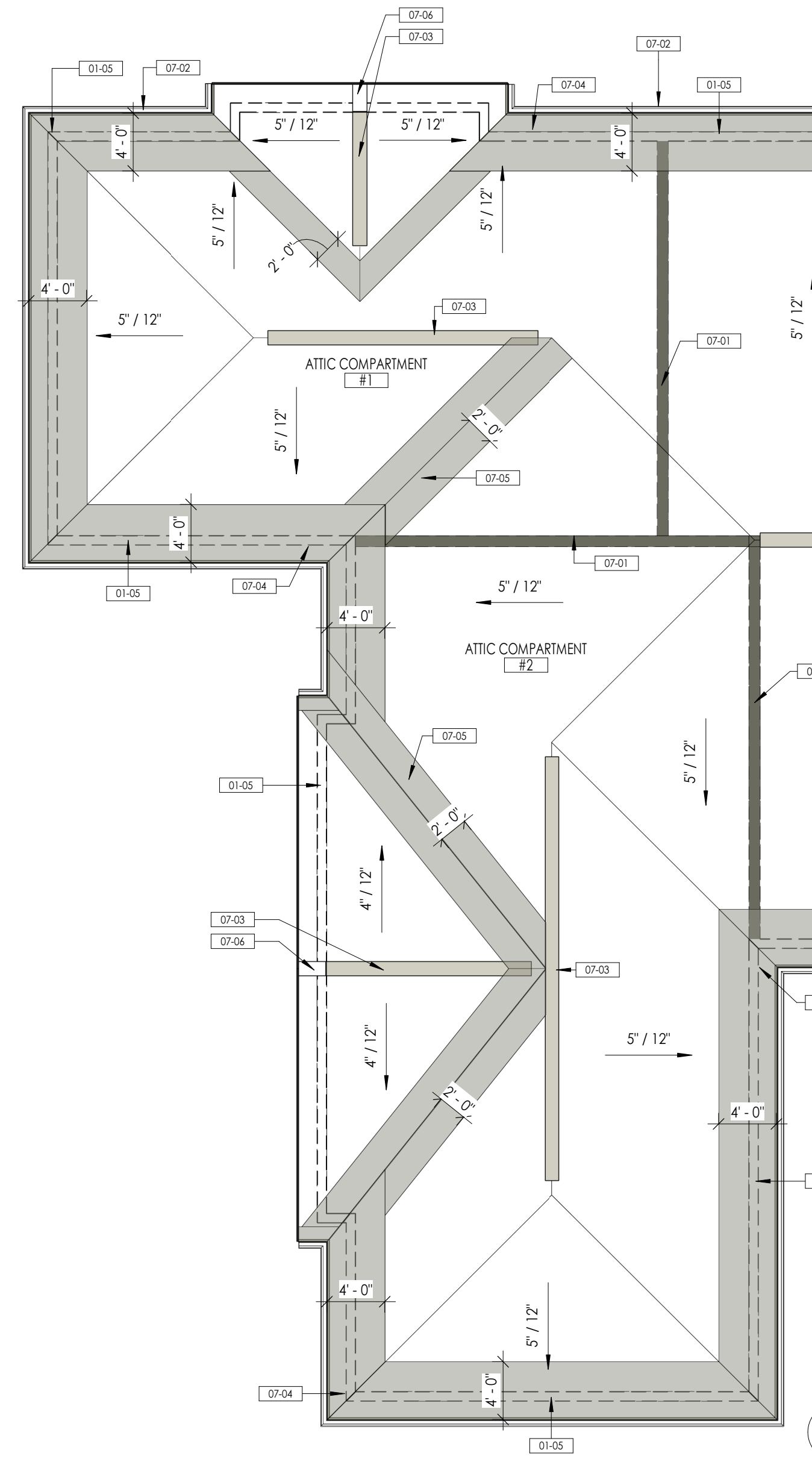


**NOTE:**  
REFER TO ROOF PLAN FOR  
DRAFTSTOPPING LOCATIONS

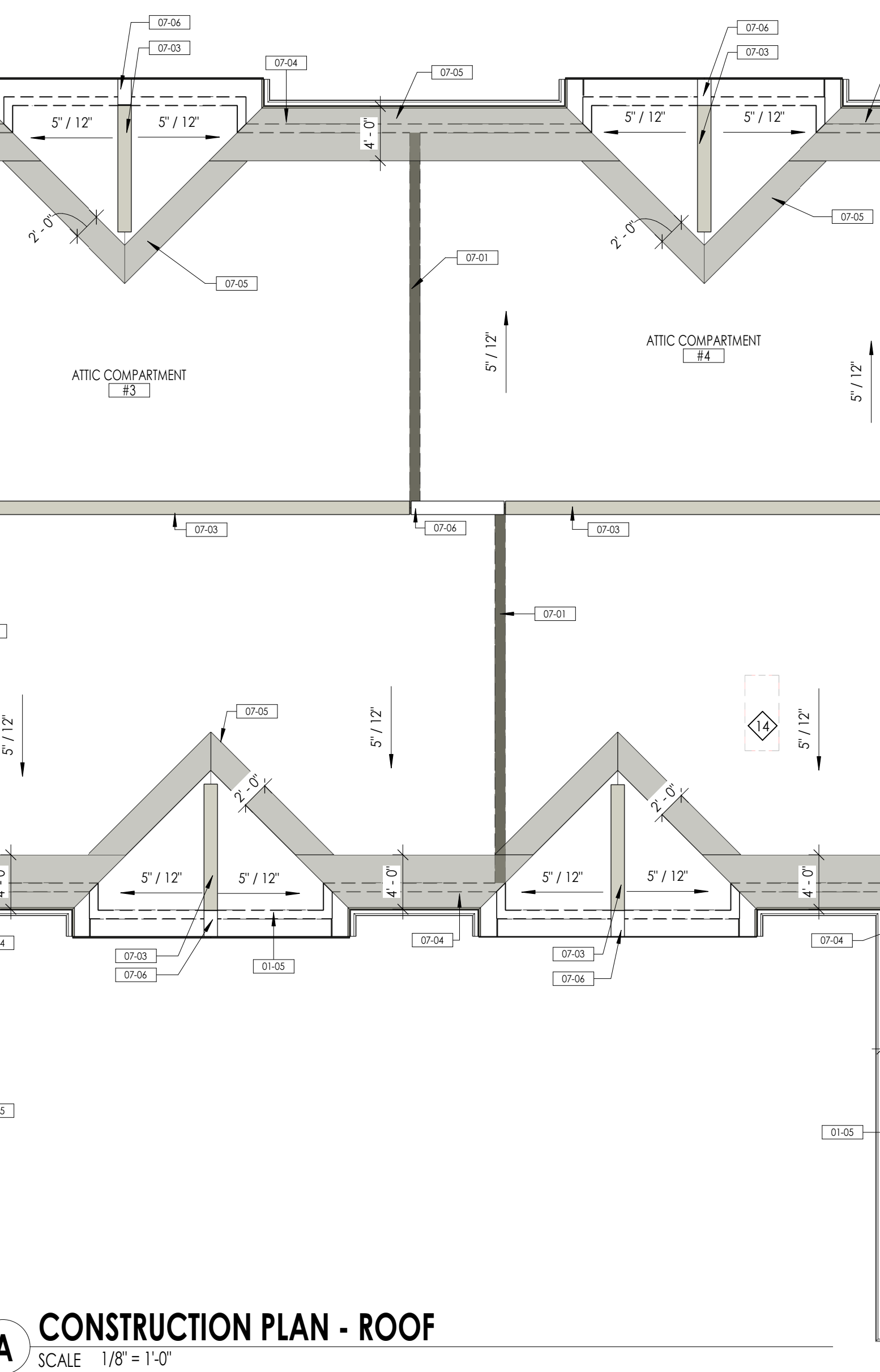
**2 ATTIC DRAFTSTOPPING**  
SCALE 1" = 1'-0"



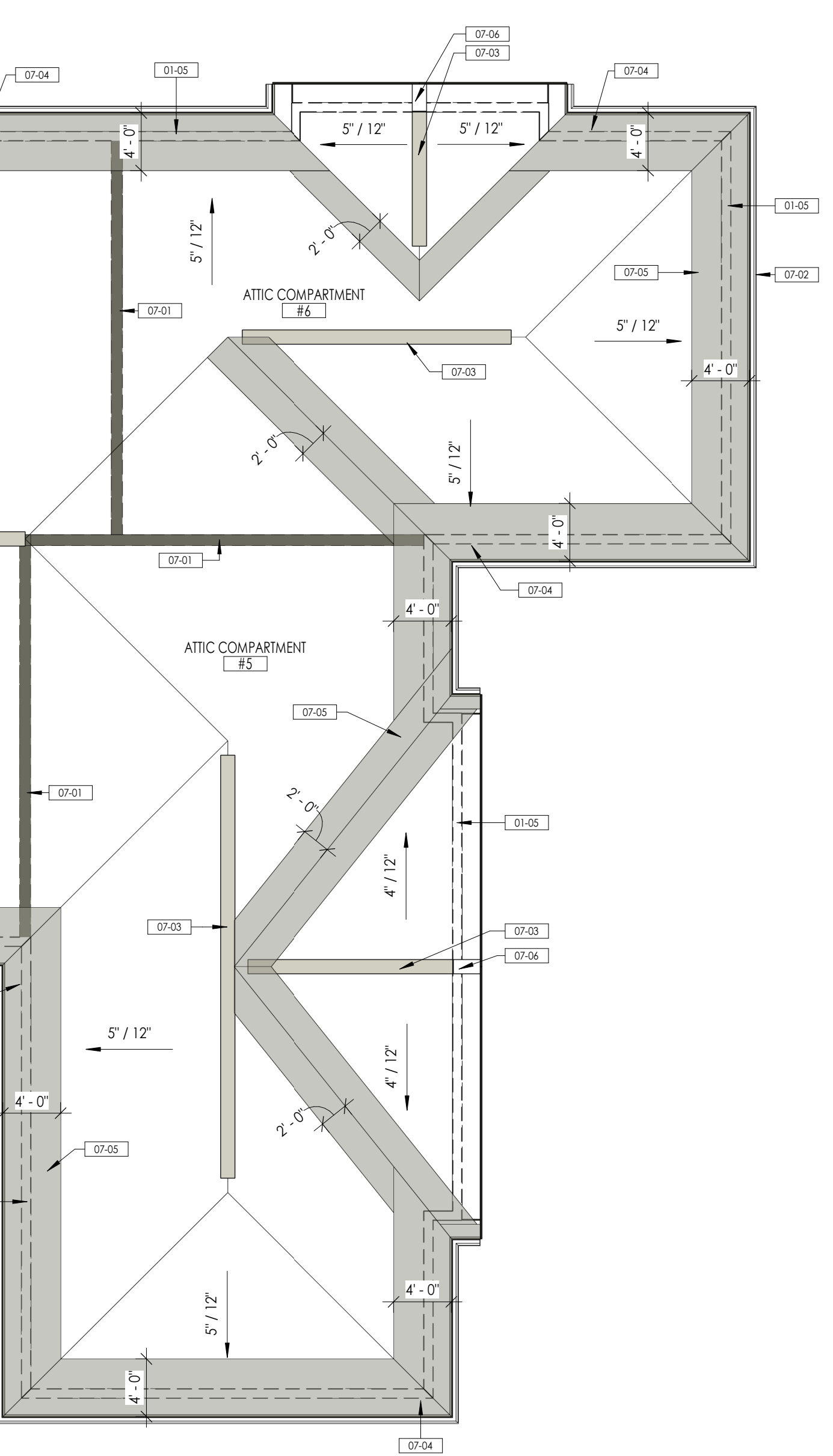
**4 ROOF RIDGE DETAIL**  
SCALE 3" = 1'-0"



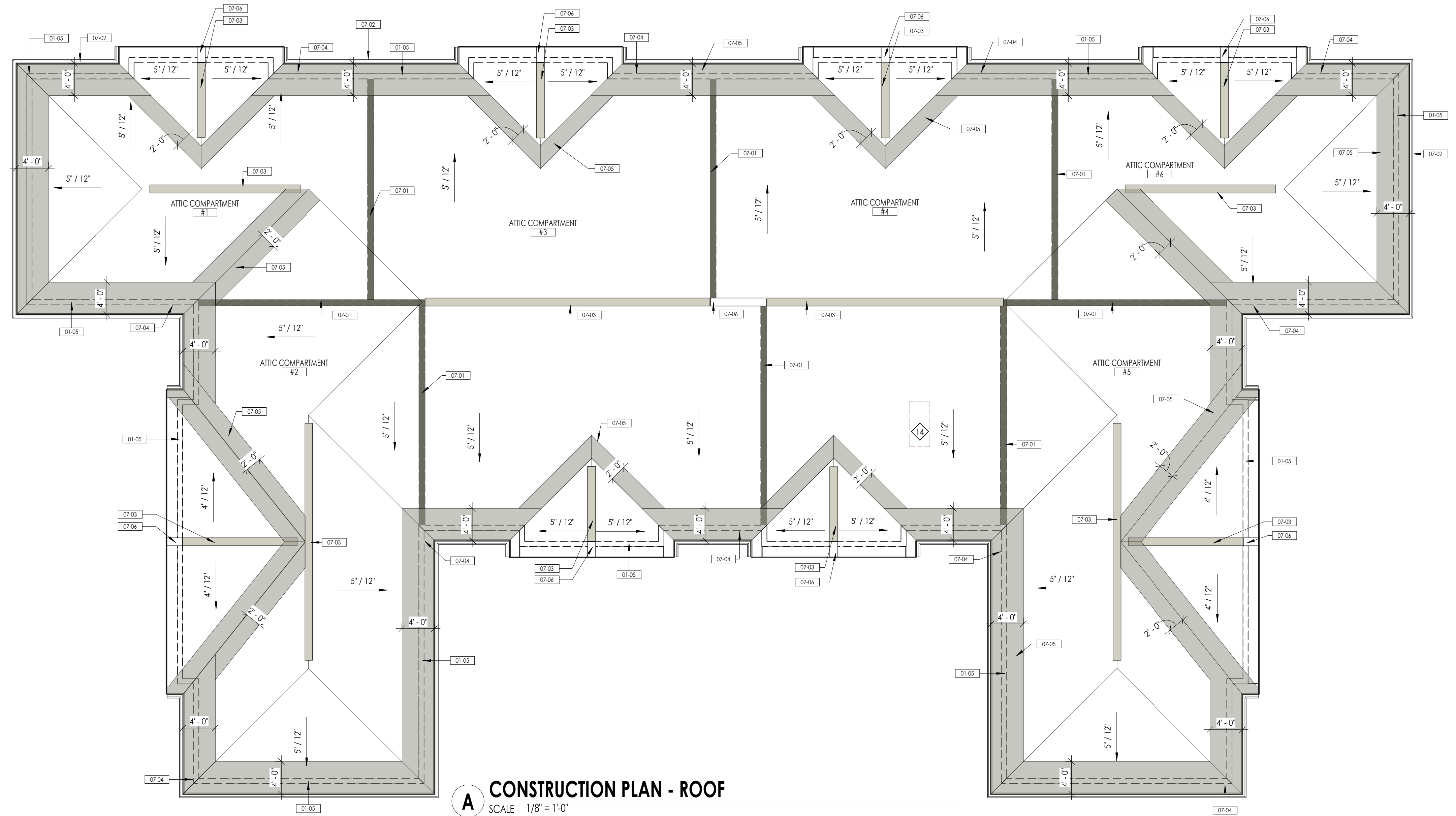
**3 TYPICAL RAKE DETAIL**  
SCALE 1" = 1'-0"



**1 TYPICAL EAVE DETAIL**  
SCALE 3/4" = 1'-0"



**A CONSTRUCTION PLAN - ROOF**  
SCALE 1/8" = 1'-0"



**SHEET KEYNOTES**

- 01-05 BUILDING PROFILE BELOW
- 07-01 ATTIC DRAFT STOP
- 07-02 PREFINISHED GUTTER (PITCH TO DOWNSPOUTS)
- 07-03 RIDGE VENT (REQUIRED AREA CALCULATED BY ROOFING CONTRACTOR). THESE SHALL BE INSTALLED NO MORE THAN 3'-0" FROM TOP OF RIDGE IN ACCORDANCE WITH 2015 IBC WHERE APPLICABLE.
- 07-04 PREFINISHED DOWNSPOUT. TIE INTO UNDERGROUND STORM SEWER (SEE CIVIL) AT FRONT PAVED AREAS.
- 07-05 ICE & WATER SHIELD
- 07-06 AESTHETIC RIDGE TO CONTINUE PAST FUNCTIONAL RIDGE VENT

**ROOF PLAN NOTES**

- A. PROVIDE ICE AND WATER SHIELD AS INDICATED, AREAS AT ALL EAVES & VALLEYS WHERE ROOF ABUTS ADJACENT WALLS, AND LOW LEVEL ROOFS.
- B. FINAL LOCATIONS OF DOWNSPOUTS TO BE VERIFIED WITH INSTALLER, CONTRACTOR, OWNER, AND ARCHITECT AND PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- C. PAINT ALL ROOF PENETRATIONS THAT ARE NOT PREFINISHED TO MATCH FINISH ROOFING MATERIAL.
- D. ALL VENT CAPS SHALL BE LOCATED ON REAR SIDE OF RIDGE. HVAC AND PLUMBING CONTRACTOR TO SUBMIT ROOF VENT LOCATION PLAN TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION/INSTALLATION.
- E. ROOF RIDGE VENTING TO PROVIDE 1 SF OF VENT AREA FOR EVERY 300 SF OF ATTIC AREA. THE VENTING SHALL BE EQUALLY SEPARATED BETWEEN THE RIDGE AND EAVE/SOFFIT.
- F. PROVIDE ATTIC SEPARATION AS INDICATED.
- G. ALL AREAS OF OVER FRAMING TO BE VENTED TO MAIN ATTIC SPACE WITH MINIMUM 3 SF OPENING IN BOTTOM ROW OF SHEATHING. INSTALL RIDGE VENTING AT TOP OF ALL OVER FRAMED HIPS / GABLES.
- H. NFVA CALCULATIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE IN FIELD.

**ROOF TYPES**

- RT1
- 30 YEAR DIMENSIONAL SHINGLES (CLASS B)
- #15 ROOF FELT (SUBSTITUTE ICE & WATER SHIELD AS INDICATED)
- OSB SHEATHING (SEE STRUCTURAL)
- R-30 BLOW-IN INSULATION
- ENGINEERED ROOF TRUSSES (SEE STRUCTURAL)
- 6 MIL VAPOR BARRIER W/ TAPED SEAMS
- RESILIENT CHANNEL @ 12" O.C.
- 5/8" GWB

**REQUIRED VENTING CALCULATION**  
PER 2015 IBC SECTION 1203.2  
AREA/300

SPACE	NUMBER	ATTIC AREA	NET FREE VENTING AREA (NFVA)		
			NFVA (TOTAL)	RIDGE	SOFFIT
ATTIC COMPARTMENT	#1	1,168 SF	560.86 in <sup>2</sup>	280.43 in <sup>2</sup>	280.43 in <sup>2</sup>
ATTIC COMPARTMENT	#2	1,640 SF	787.01 in <sup>2</sup>	393.50 in <sup>2</sup>	393.50 in <sup>2</sup>
ATTIC COMPARTMENT	#3	2,357 SF	1131.28 in <sup>2</sup>	565.64 in <sup>2</sup>	565.64 in <sup>2</sup>
ATTIC COMPARTMENT	#4	2,008 SF	963.91 in <sup>2</sup>	481.96 in <sup>2</sup>	481.96 in <sup>2</sup>
ATTIC COMPARTMENT	#5	1,641 SF	787.61 in <sup>2</sup>	393.81 in <sup>2</sup>	393.81 in <sup>2</sup>
ATTIC COMPARTMENT	#6	1,168 SF	560.86 in <sup>2</sup>	280.43 in <sup>2</sup>	280.43 in <sup>2</sup>

**RIDGE VENTING**  
PER 2015 IBC SECTION 1203.2  
20 SQ. IN NFVA PER LINEAR FOOT

ATTIC #	LENGTH	NFVA PROVIDED (SQ. IN.)
1	27.9 LF	558.1
2	43.5 LF	870
3	44.5 LF	890.7
4	38.6 LF	771.8
5	43.6 LF	871.2
6	28.0 LF	559.5

**SOFFIT VENTING**  
PER 2015 IBC SECTION 1203.2  
NFVA AREA/22

ATTIC NUMBER	NFVA (TOTAL)	VENTS PROVIDED
#1	561 in <sup>2</sup>	25
#2	787 in <sup>2</sup>	36
#3	1131 in <sup>2</sup>	51
#4	964 in <sup>2</sup>	44
#5	788 in <sup>2</sup>	36
#6	561 in <sup>2</sup>	25



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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

PROJECT ARCHITECT SPS  
PROJECT MANAGER EJN  
PROJECT NUMBER 230127  
ISSUED FOR PERMIT SET  
DATE 03.31.23

**SHEET**

CONSTRUCTION PLAN - ROOF

**A103**

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**REVISIONS**

NO.	DESCRIPTION	DATE

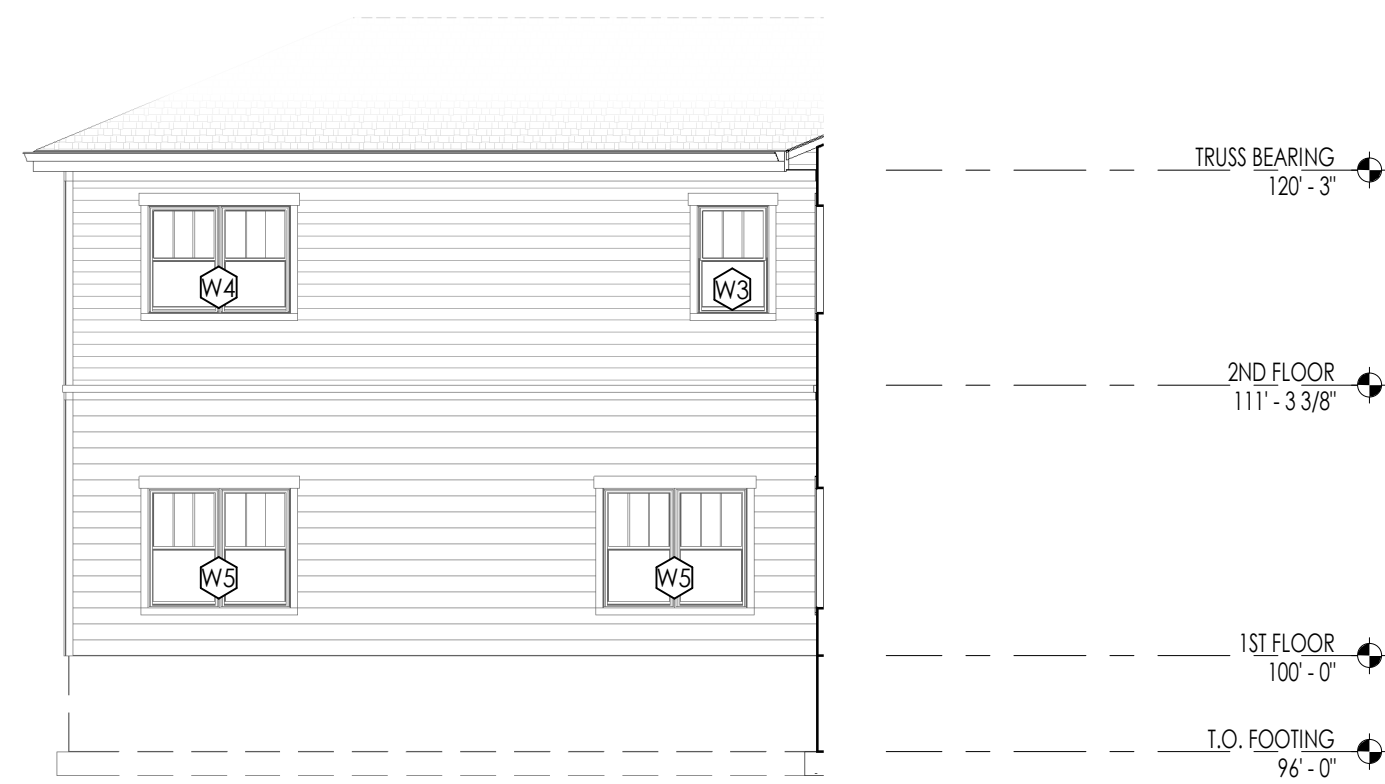
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS

**A401**



**3 EAST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



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**REVISIONS**

NO.	DESCRIPTION	DATE

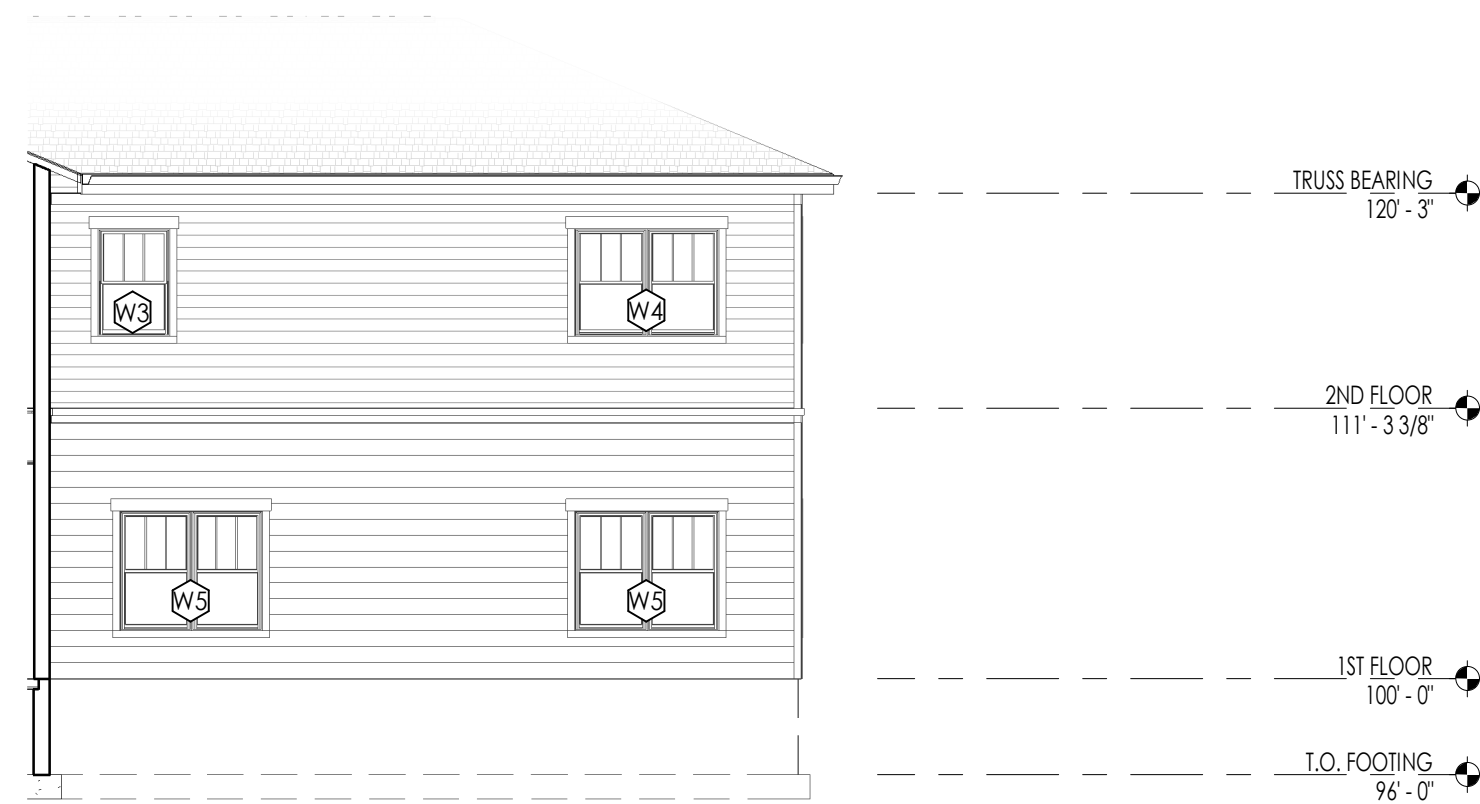
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS

**A402**



**1 WEST INLET ELEVATION**  
SCALE 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**4 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**PROJECT**

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MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

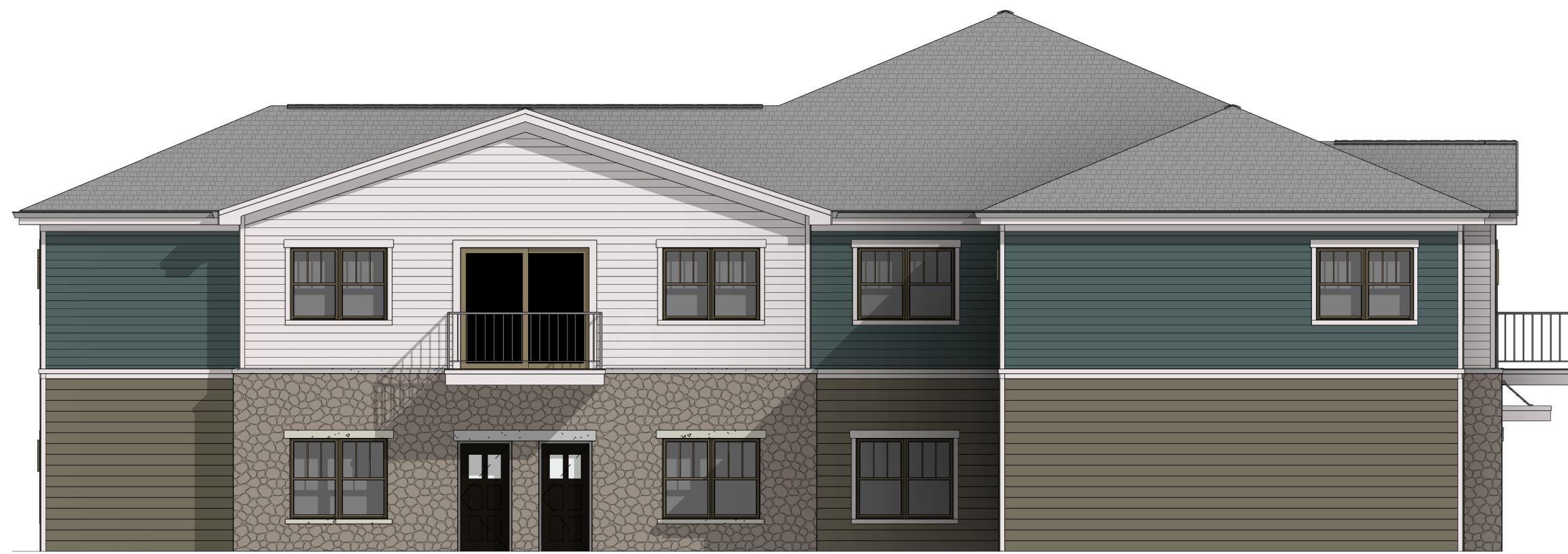
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING ELEVATIONS-COLOR

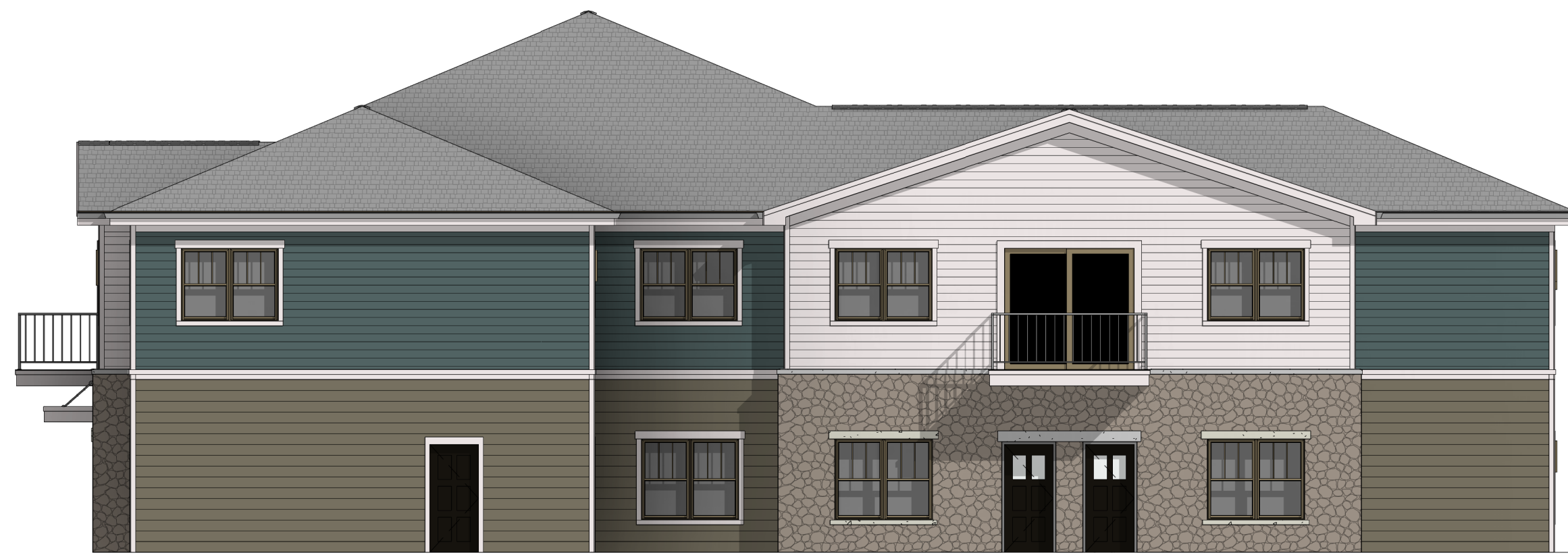
**A403**



**3 EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**4 WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**PROJECT**

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**REVISIONS**

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**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
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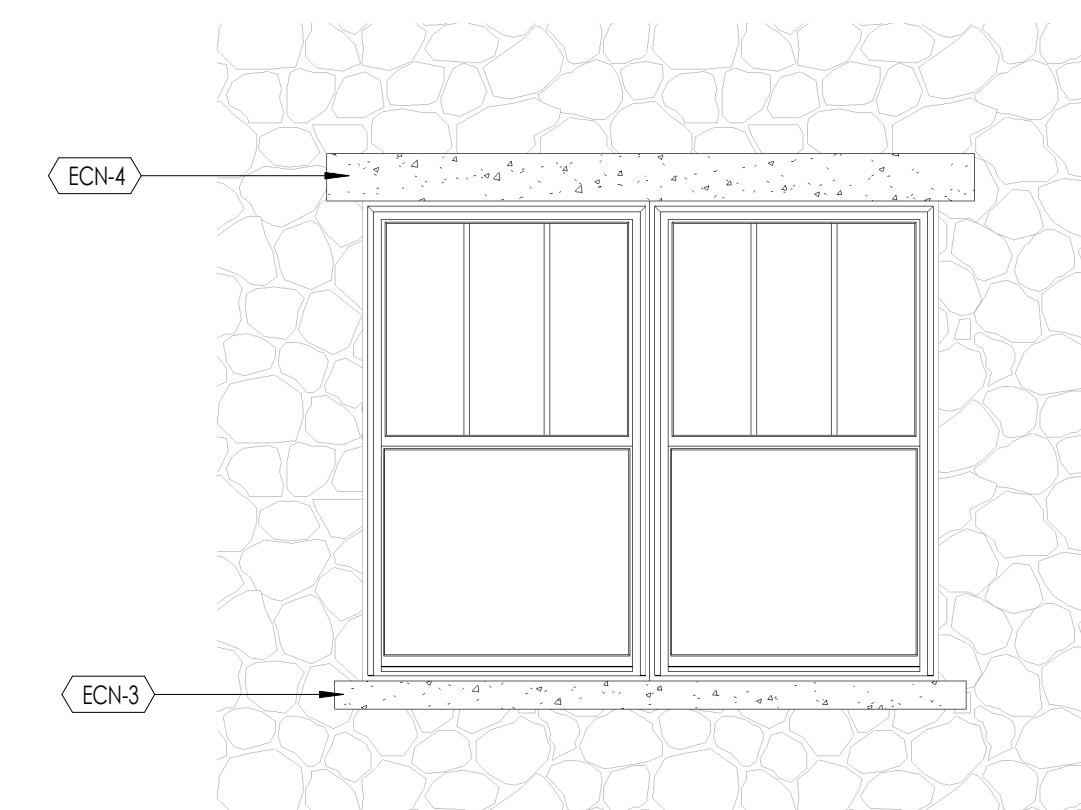
**SHEET**

BUILDING ELEVATIONS DETAILS

**A404**



**1 NORTH ELEVATION MATERIAL DETAIL**  
SCALE 1/2" = 1'-0"



**2 EAST ELEVATION MATERIAL DETAIL**  
SCALE 1/2" = 1'-0"

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**REVISIONS**

NO.	DESCRIPTION	DATE

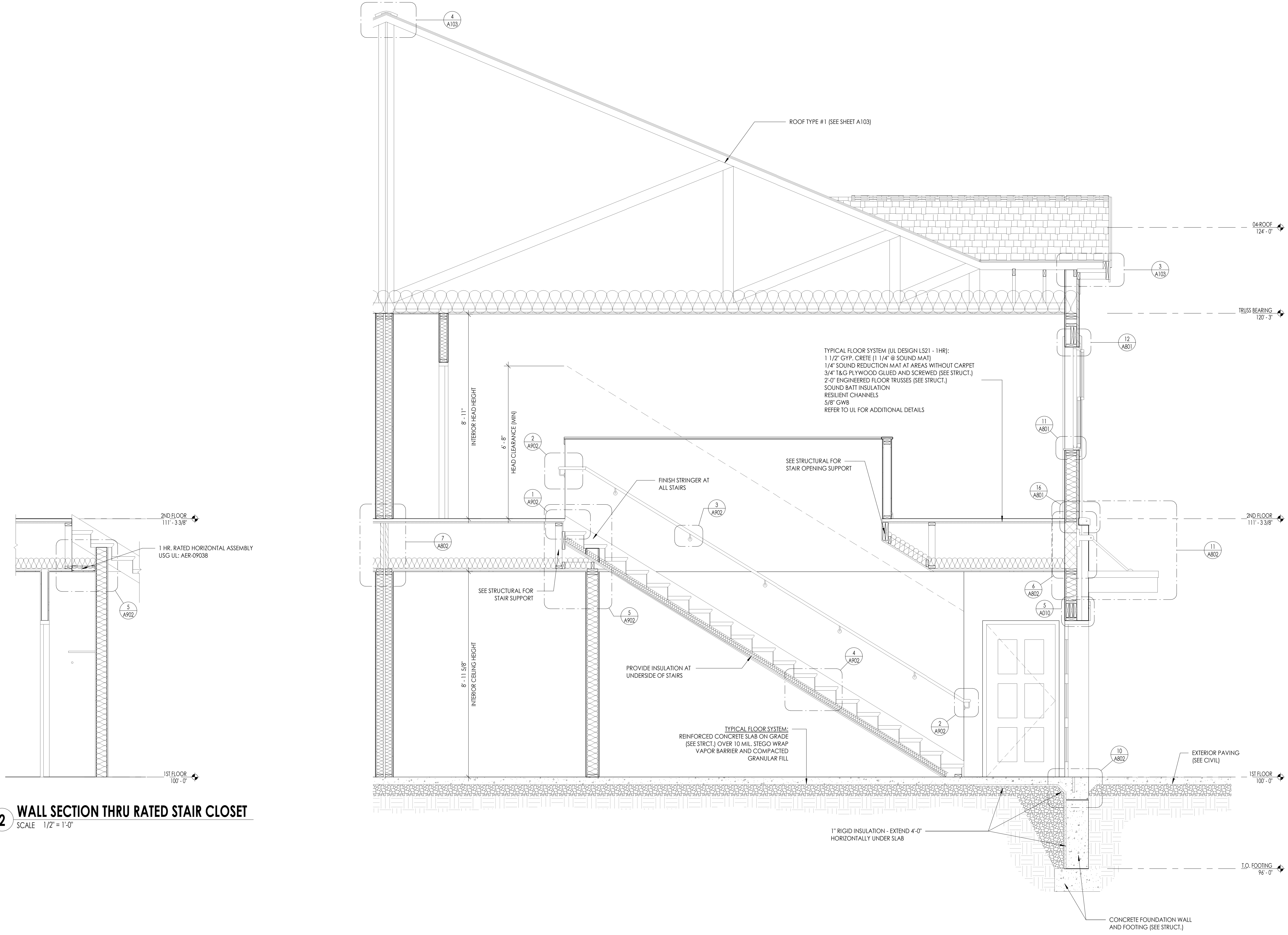
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

BUILDING SECTION

**A500**



**2 WALL SECTION THRU RATED STAIR CLOSET**  
SCALE 1/2" = 1'-0"

**1 BUILDING SECTION TYPICAL**  
SCALE 1/2" = 1'-0"



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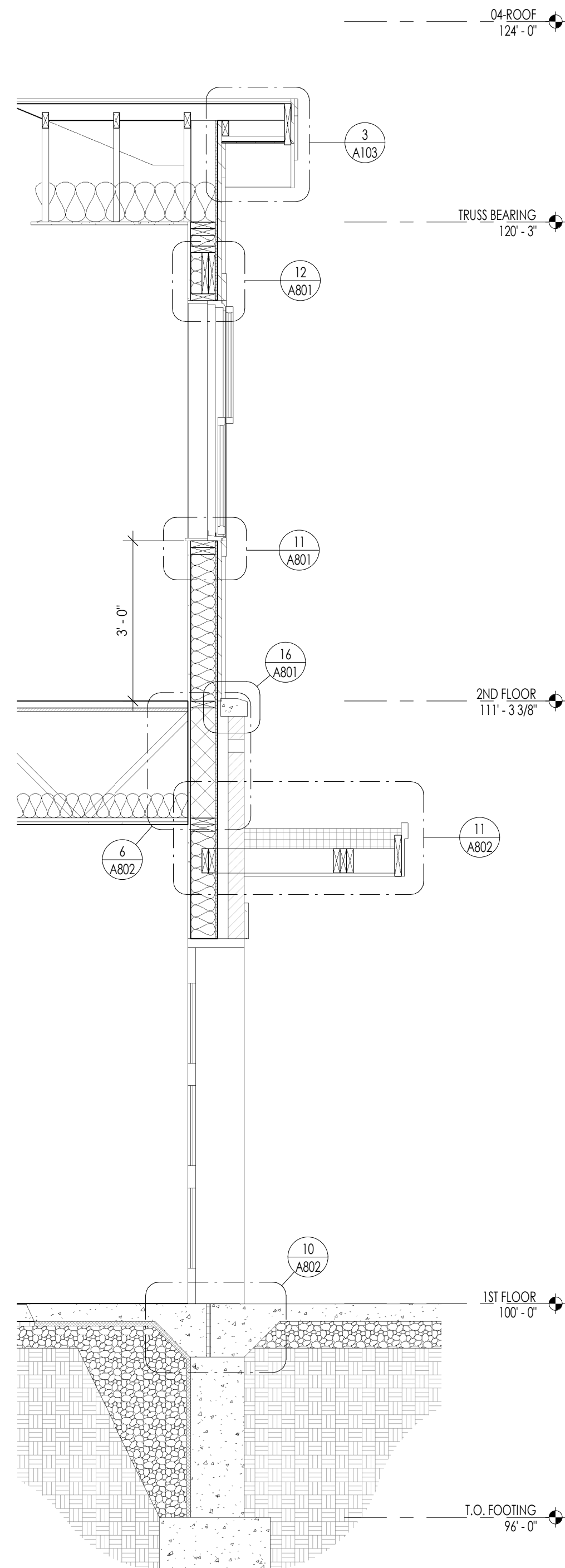
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

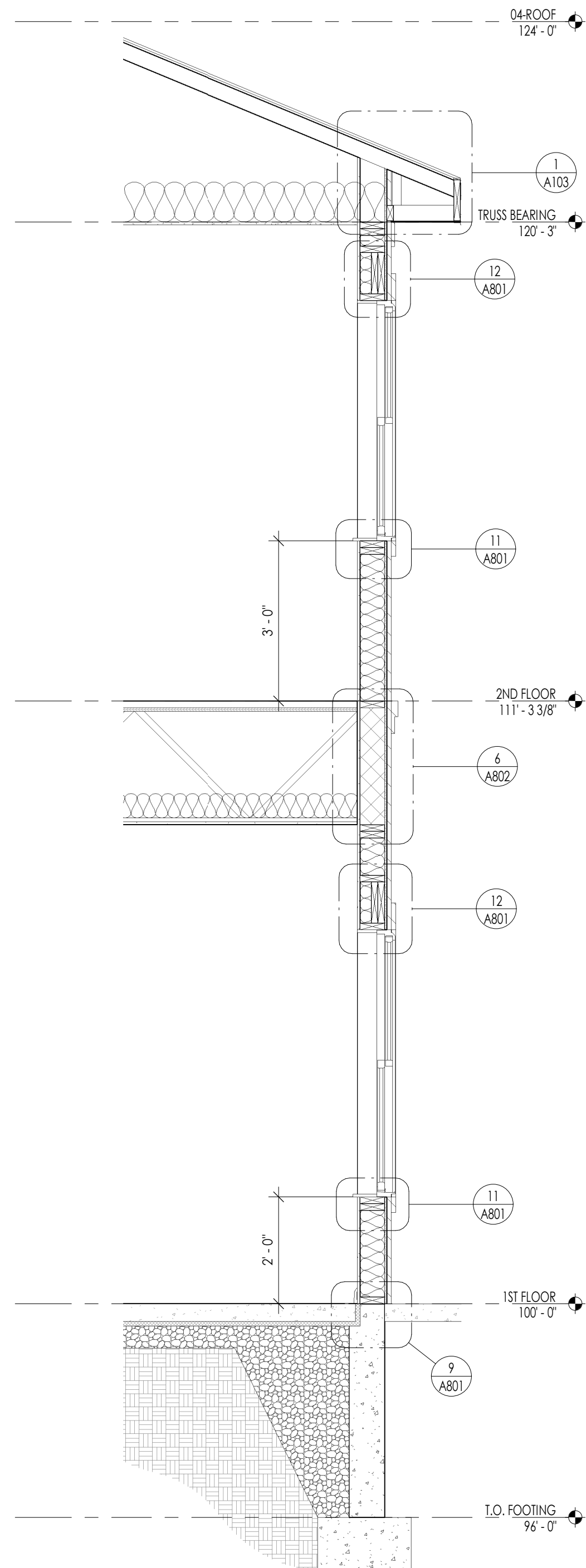
**SHEET**

WALL SECTIONS

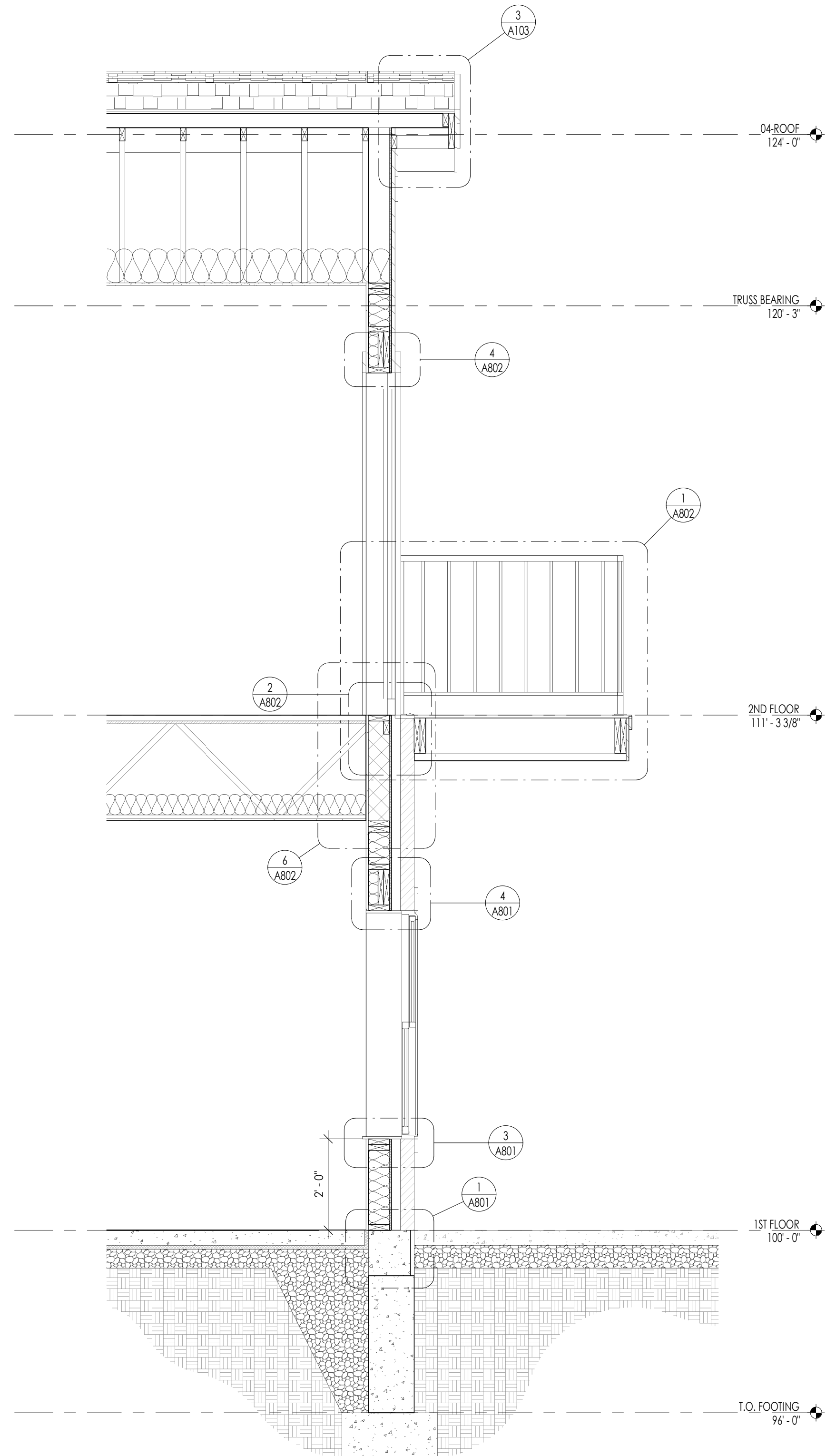
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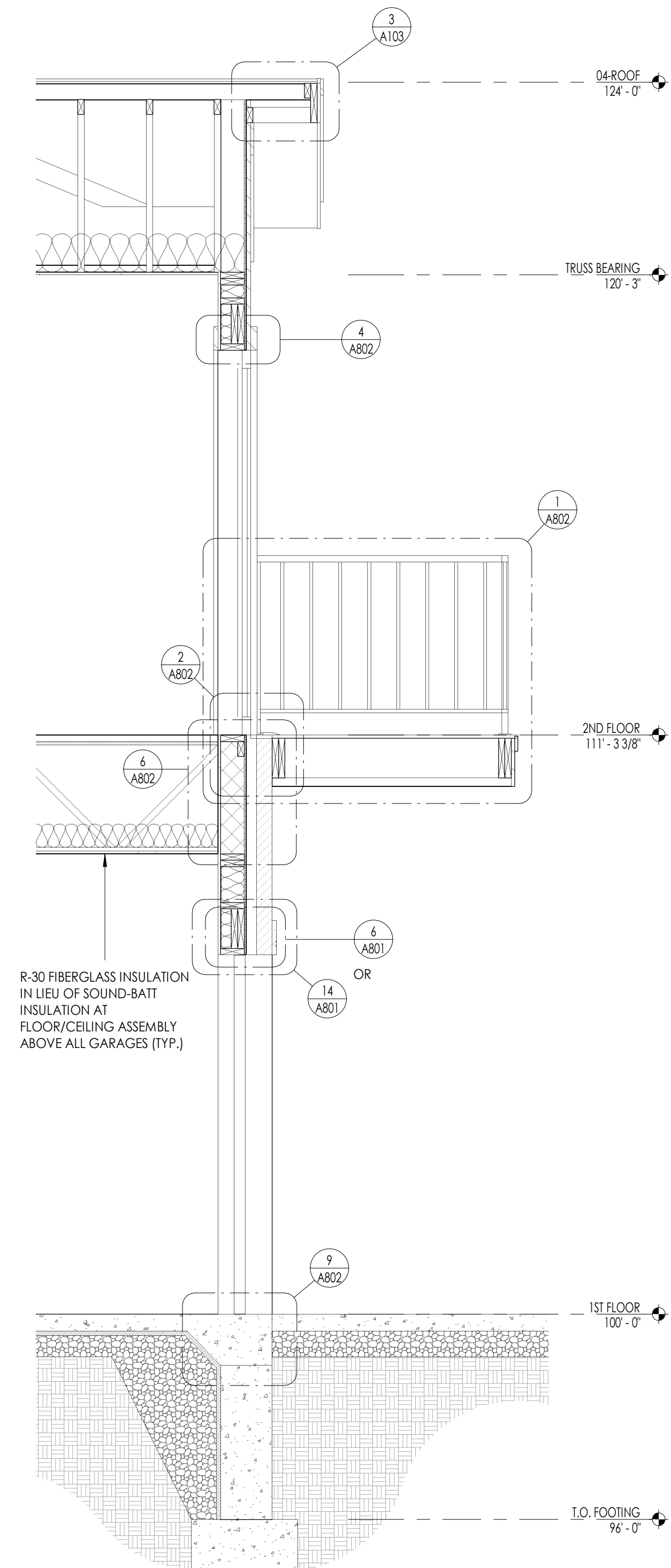
**4** WALL SECTION THRU CANOPY  
SCALE 1/2" = 1'-0"



**3** WALL SECTION AT SIDING/SIDING  
SCALE 1/2" = 1'-0"



**2** WALL SECTION THRU BALCONY AT BRICK/SIDING  
SCALE 1/2" = 1'-0"



**1** WALL SECTION THRU BALCONY/GARAGE  
SCALE 1/2" = 1'-0"

SHEET KEYNOTES

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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PROJECT

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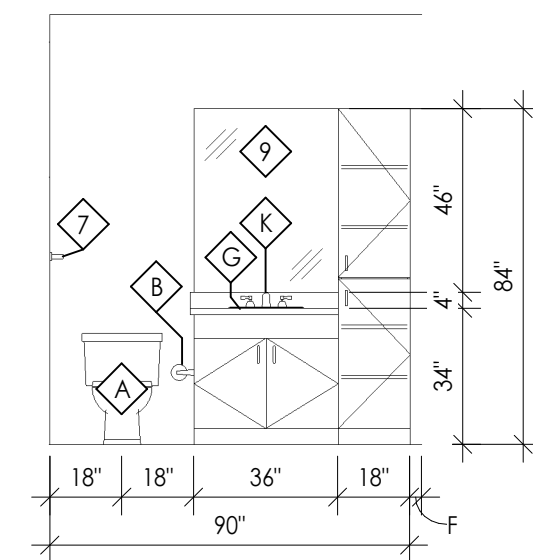
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

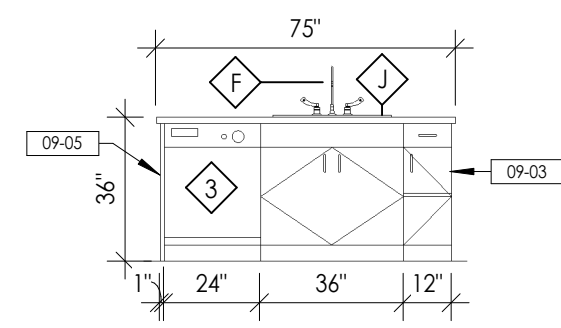
ENLARGED UNIT PLANS & ELEVATIONS

A701

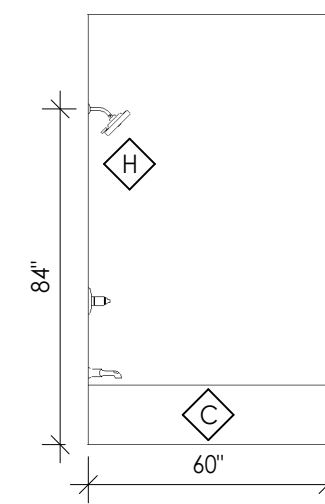
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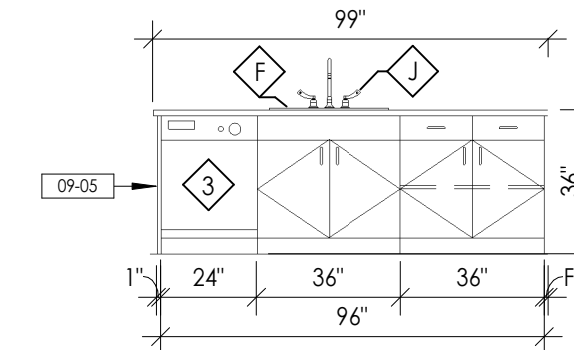
10 UNIT 1B BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



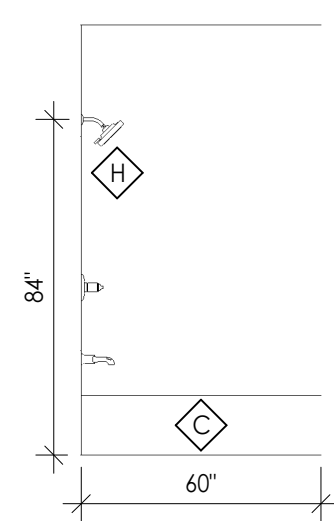
8 UNIT 1B ISLAND  
SCALE 1/4" = 1'-0"



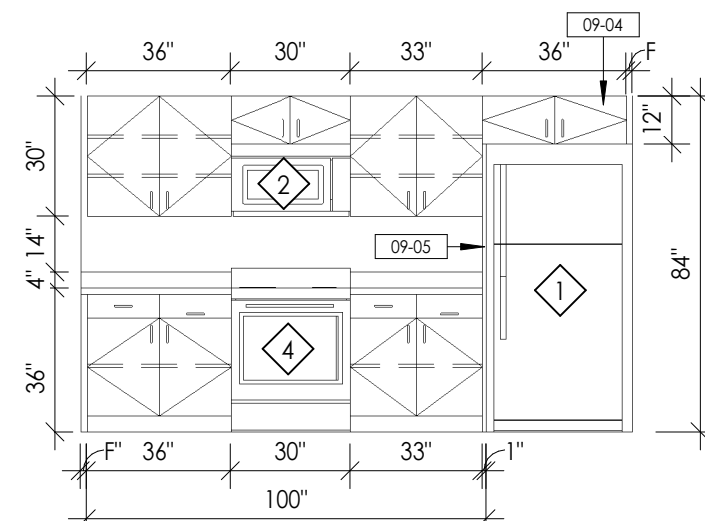
6 UNIT 1A TUB  
SCALE 1/4" = 1'-0"



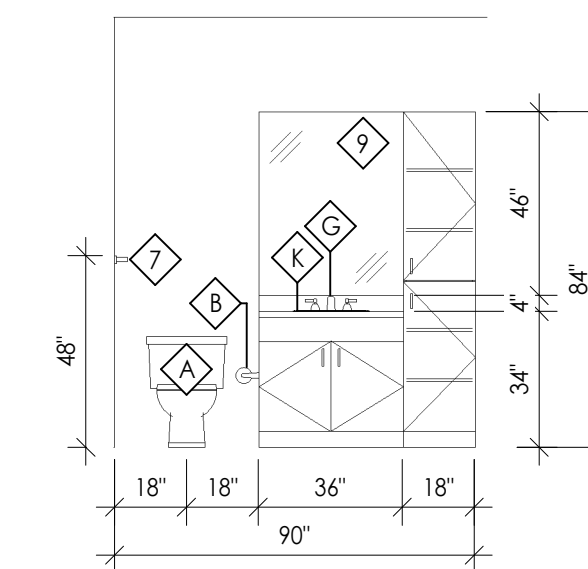
4 UNIT 1A PENINSULA  
SCALE 1/4" = 1'-0"



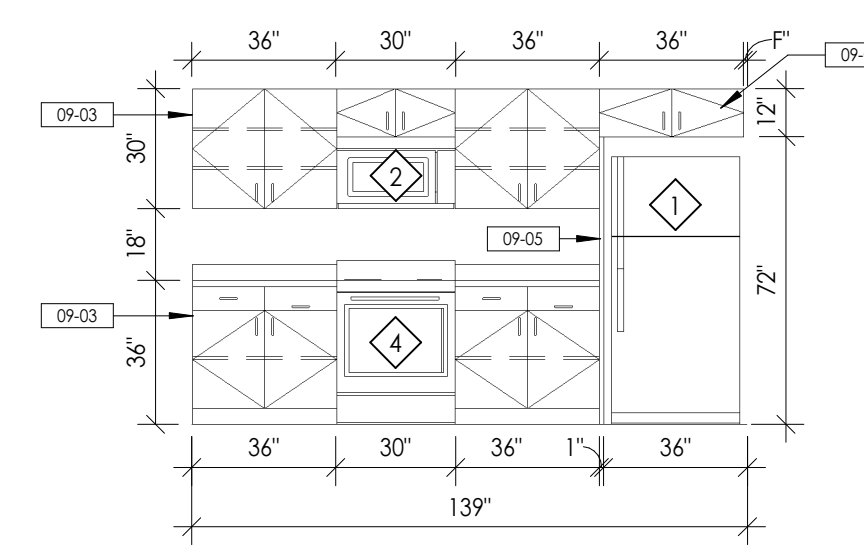
9 UNIT 1B TUB  
SCALE 1/4" = 1'-0"



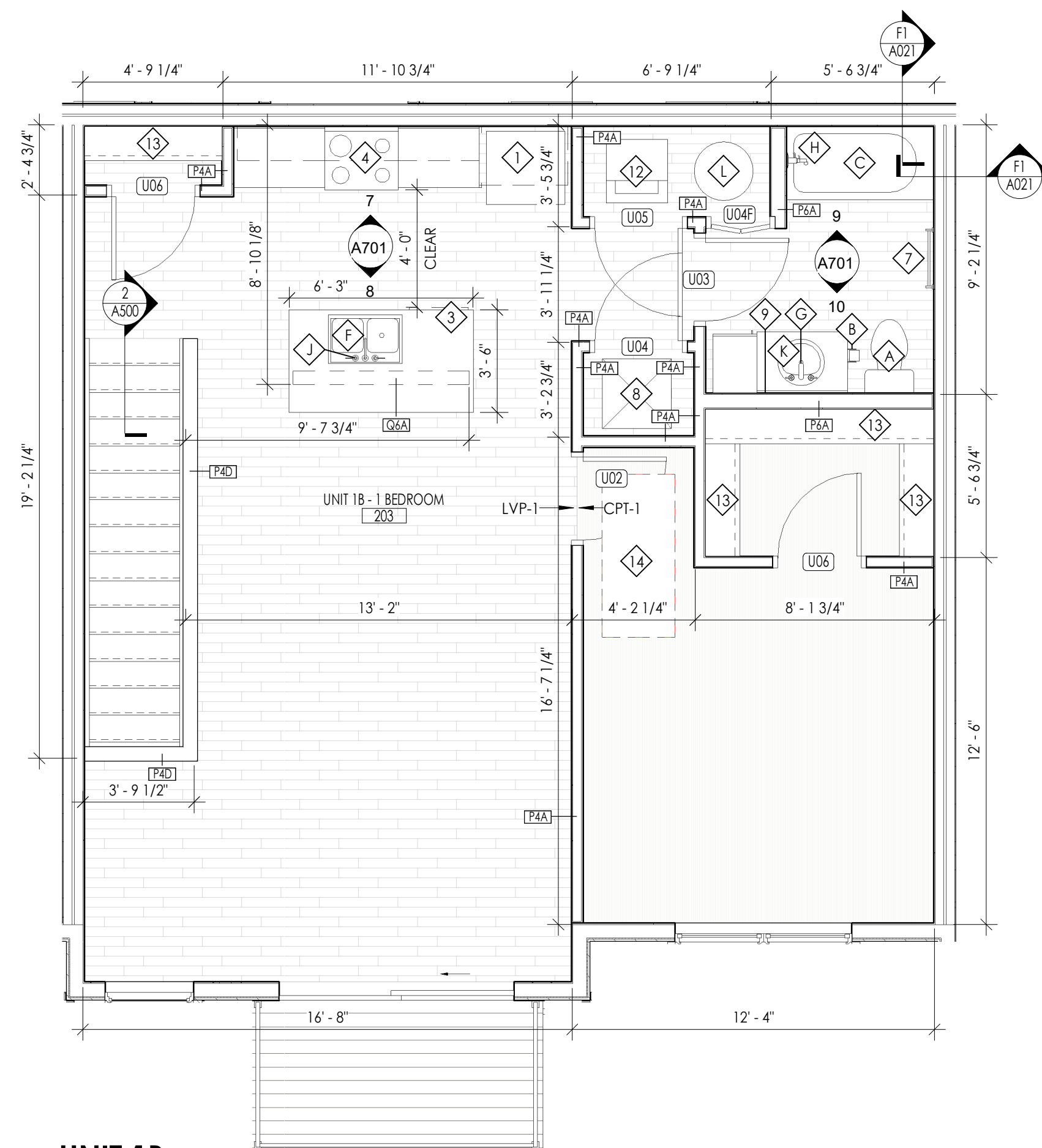
7 UNIT 1B KITCHEN  
SCALE 1/4" = 1'-0"



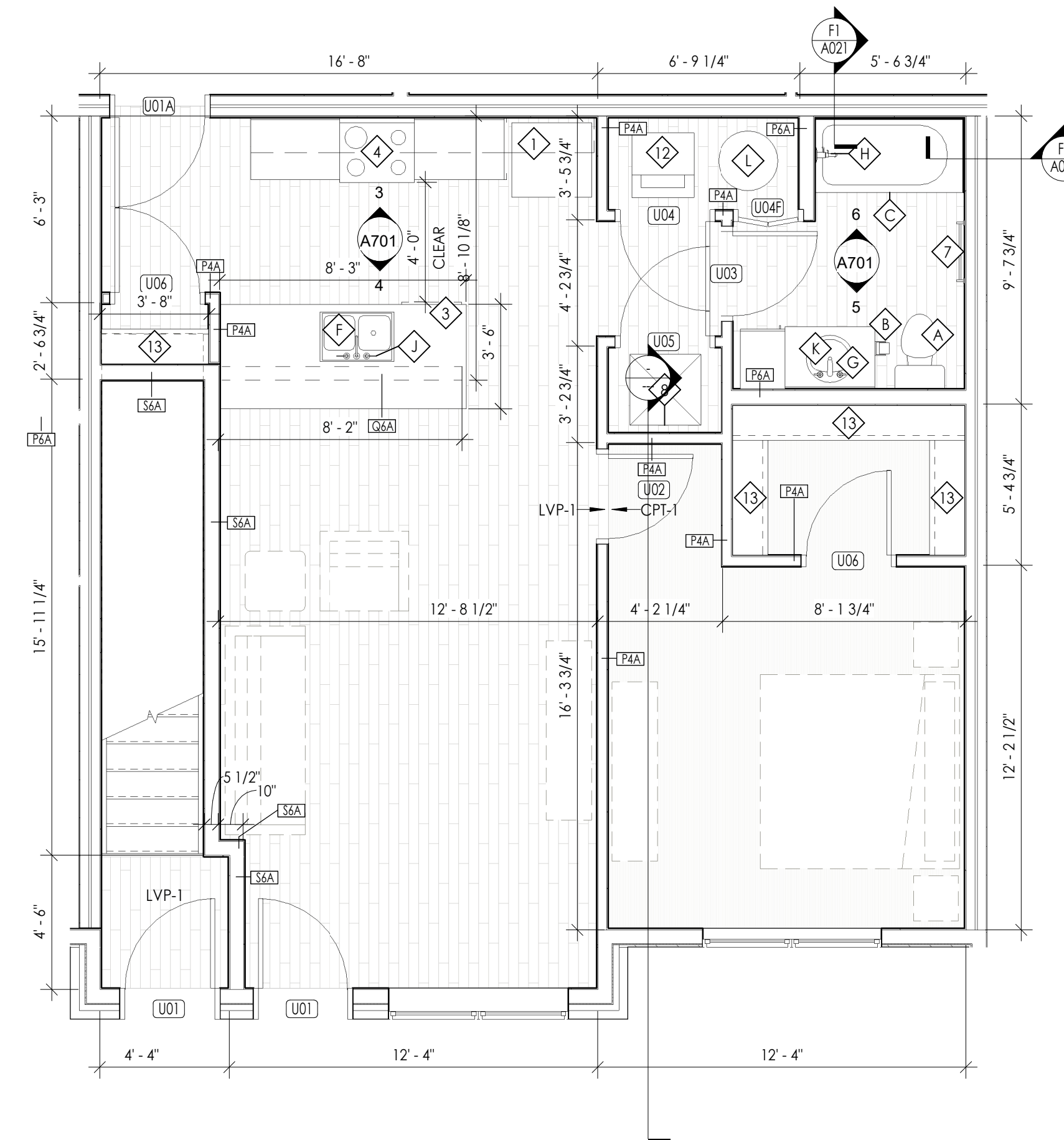
5 UNIT 1A BATH SINK/TOILET  
SCALE 1/4" = 1'-0"



3 UNIT 1A KITCHEN  
SCALE 1/4" = 1'-0"



2 UNIT 1B  
SCALE 1/4" = 1'-0"



1 UNIT 1A  
SCALE 1/4" = 1'-0"



**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL
- 09-11 REMOVABLE BASE CABINET (SEE 1/A901)



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**PROJECT**

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4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

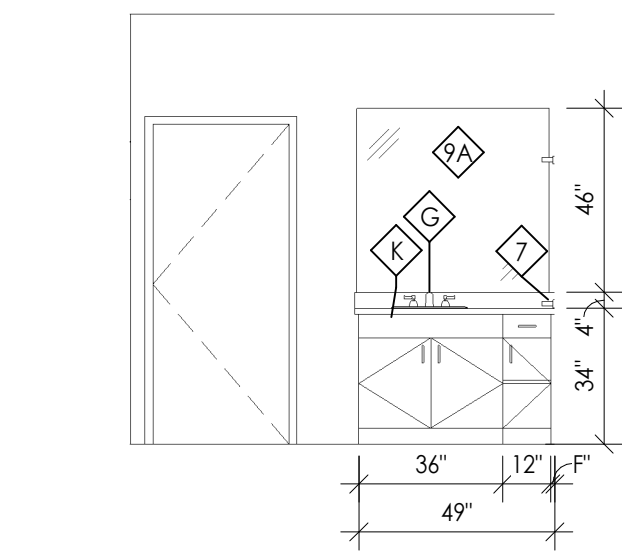
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

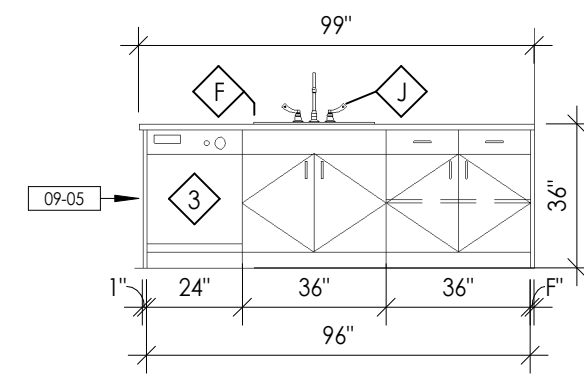
ENLARGED UNIT PLANS & ELEVATIONS

**A702**

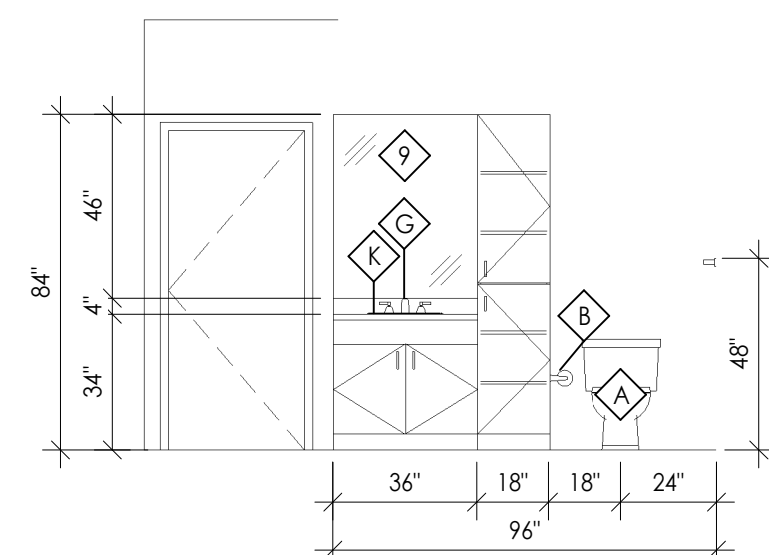
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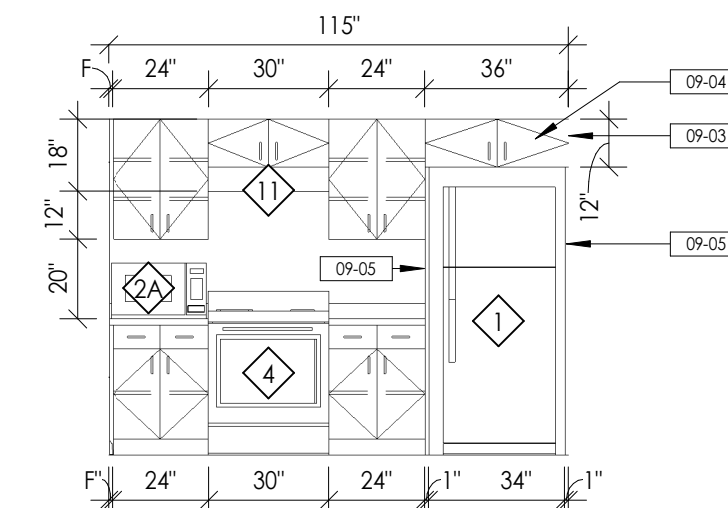
**14 UNIT 2B BATH SINK**  
SCALE 1/4" = 1'-0"



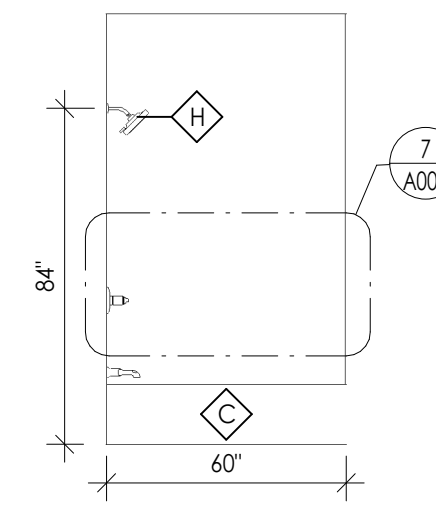
**12 UNIT 2B PENINSULA**  
SCALE 1/4" = 1'-0"



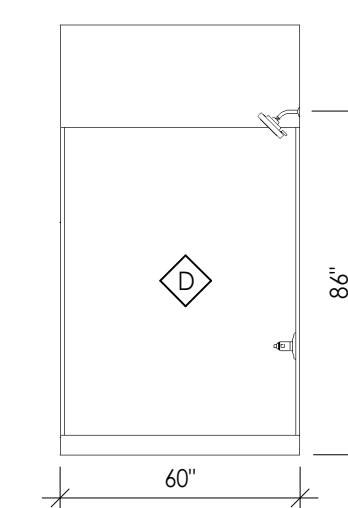
**10 UNIT 2B PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



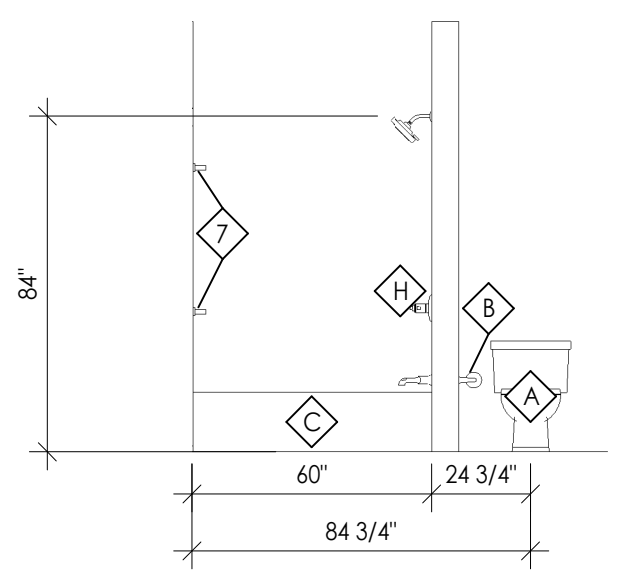
**8 UNIT 2A ADA KITCHEN**  
SCALE 1/4" = 1'-0"



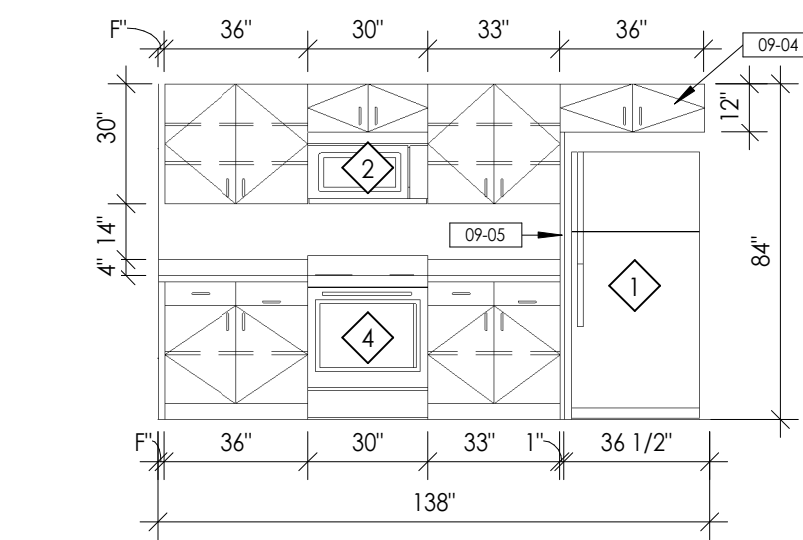
**6 UNIT 2A ADA TUB**  
SCALE 1/4" = 1'-0"



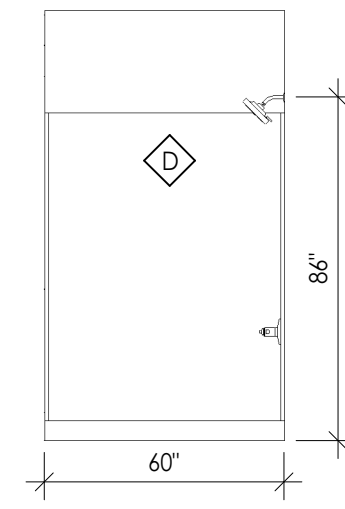
**4 UNIT 2A SHOWER**  
SCALE 1/4" = 1'-0"



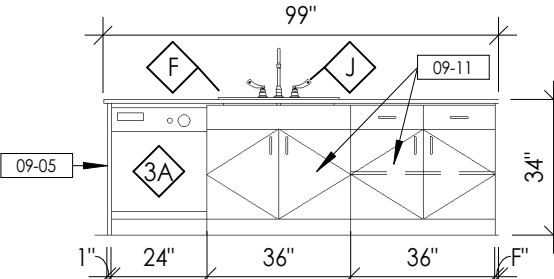
**13 UNIT 2B TOILET**  
SCALE 1/4" = 1'-0"



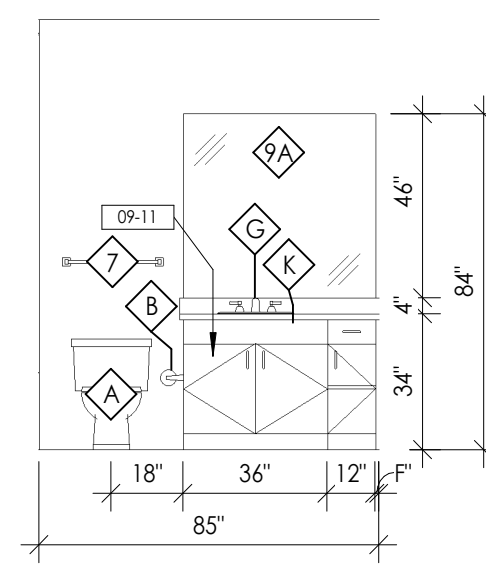
**11 UNIT 2B KITHCEN**  
SCALE 1/4" = 1'-0"



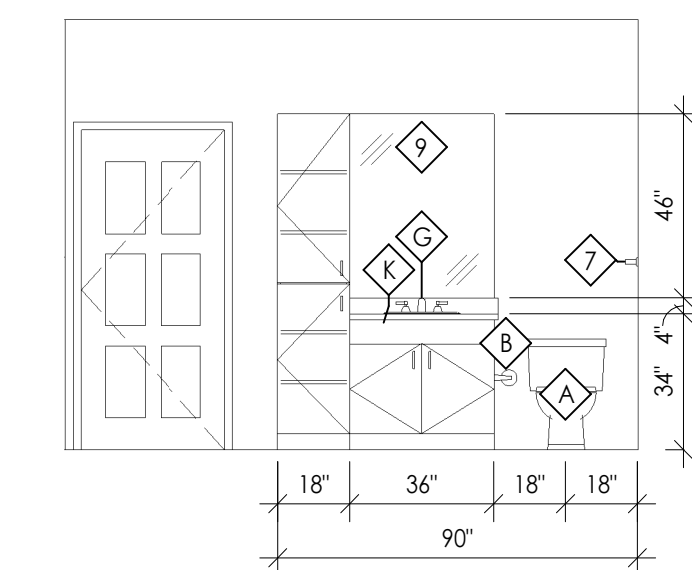
**9 UNIT 2B SHOWER**  
SCALE 1/4" = 1'-0"



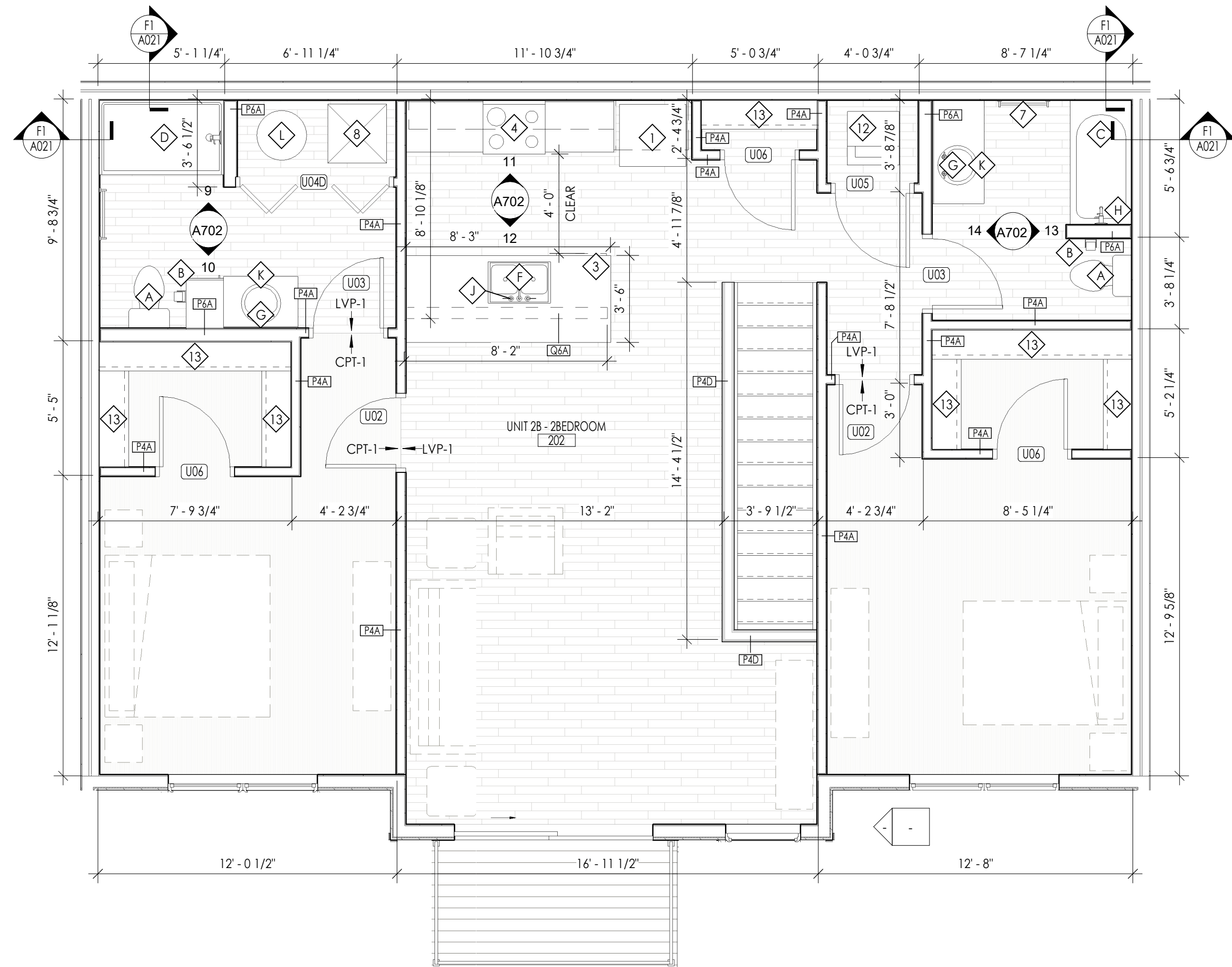
**7 UNIT 2A ADA PENINSULA**  
SCALE 1/4" = 1'-0"



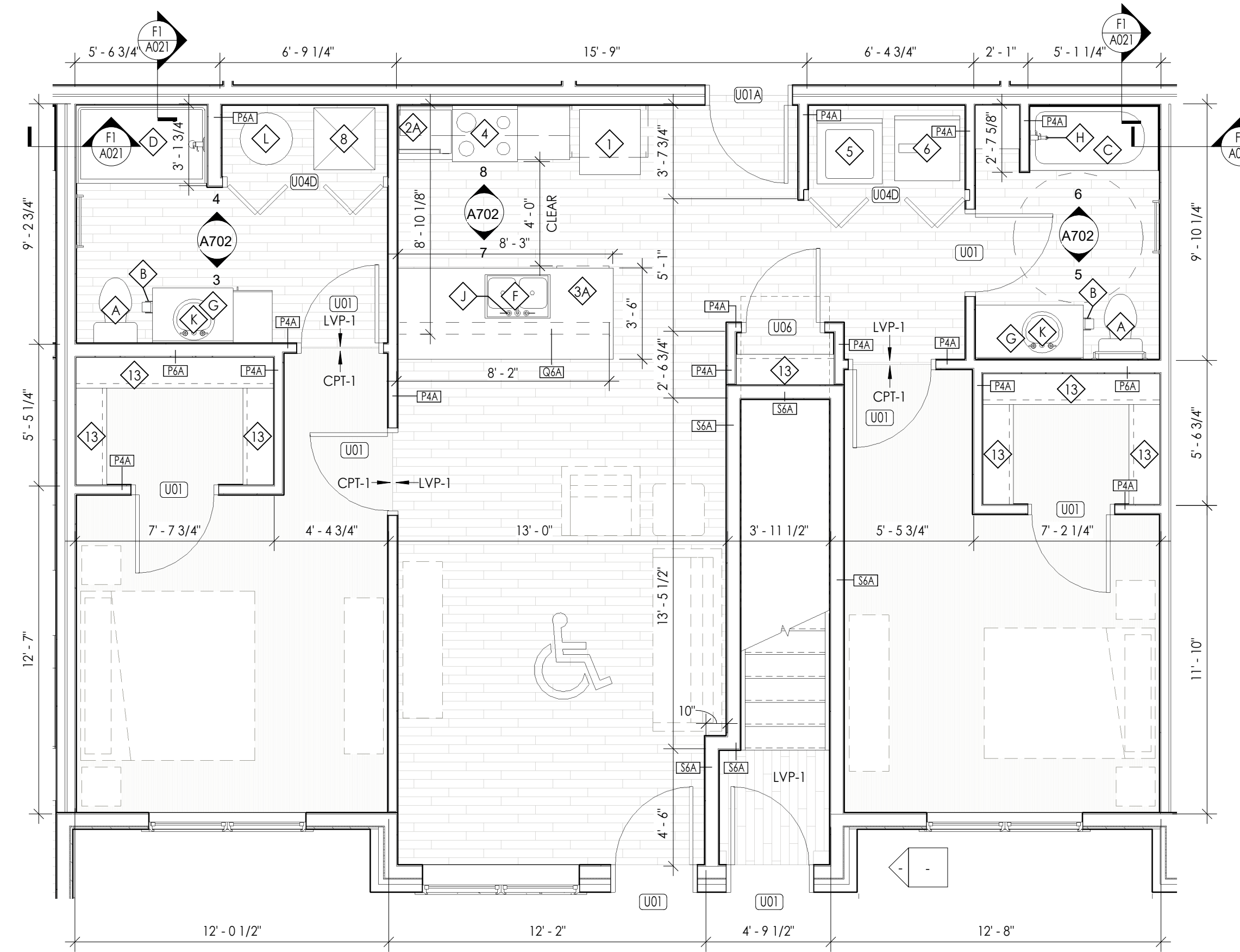
**5 UNIT 2A ADA BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**3 UNIT 2A ADA PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**2 UNIT 2B**  
SCALE 1/4" = 1'-0"



**1 UNIT 2A - 'TYPE-ADA'**  
SCALE 1/4" = 1'-0"

**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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**PROJECT**

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**REVISIONS**

NO.	DESCRIPTION	DATE
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**INFORMATION**

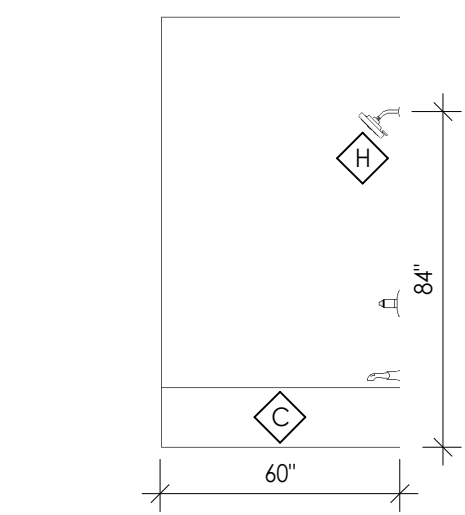
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

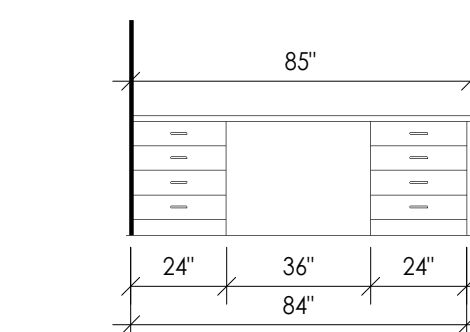
ENLARGED UNIT PLANS & ELEVATIONS

**A703**

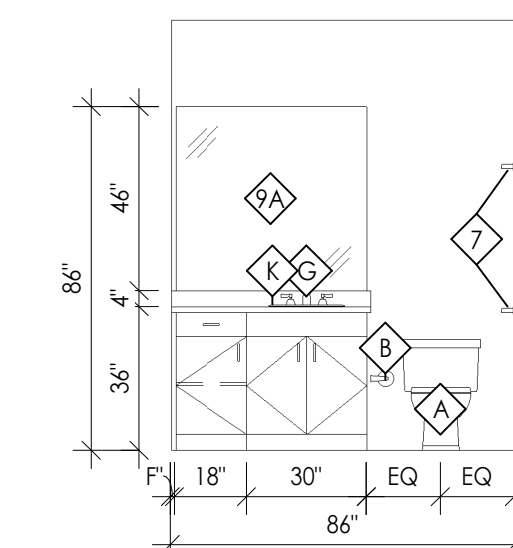
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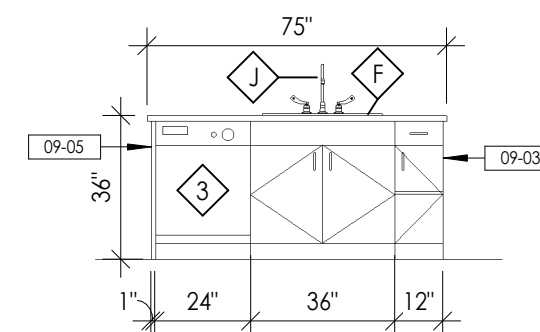
**9 UNIT 3A TUB**  
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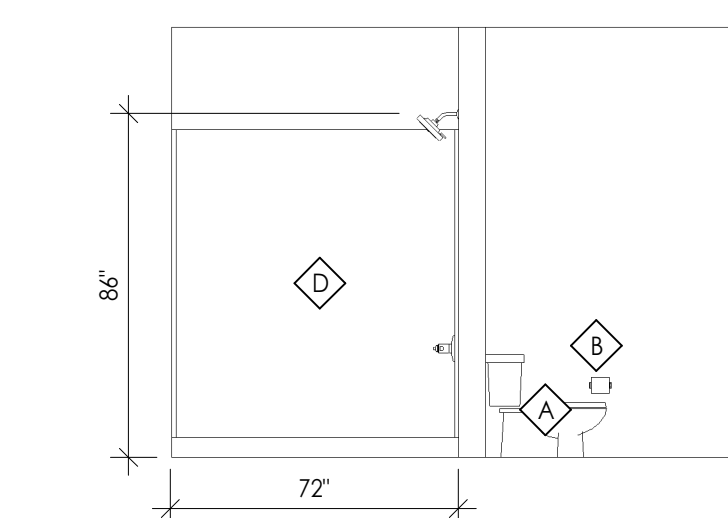
**5 UNIT 3A DESK**  
SCALE 1/4" = 1'-0"



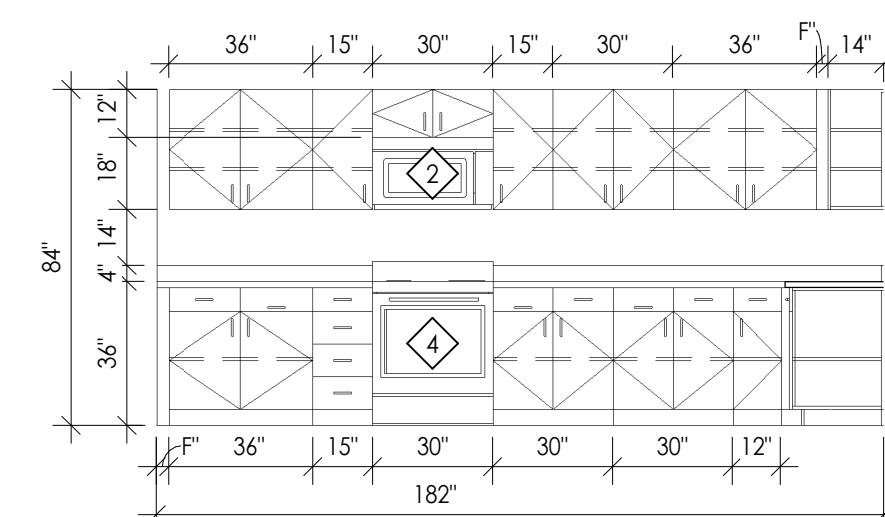
**8 UNIT 3A BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



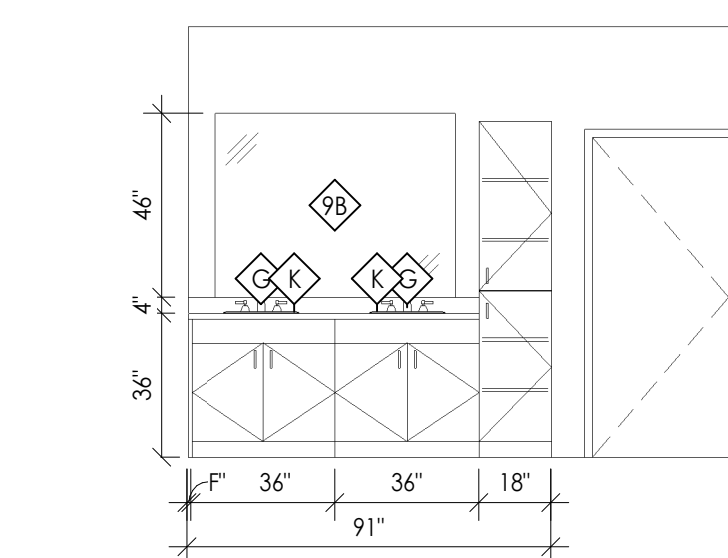
**4 UNIT 3A ISLAND**  
SCALE 1/4" = 1'-0"



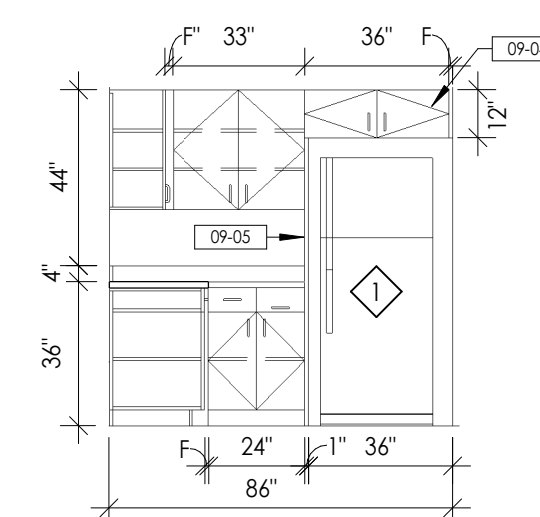
**7 UNIT 3A SHOWER/TOILET**  
SCALE 1/4" = 1'-0"



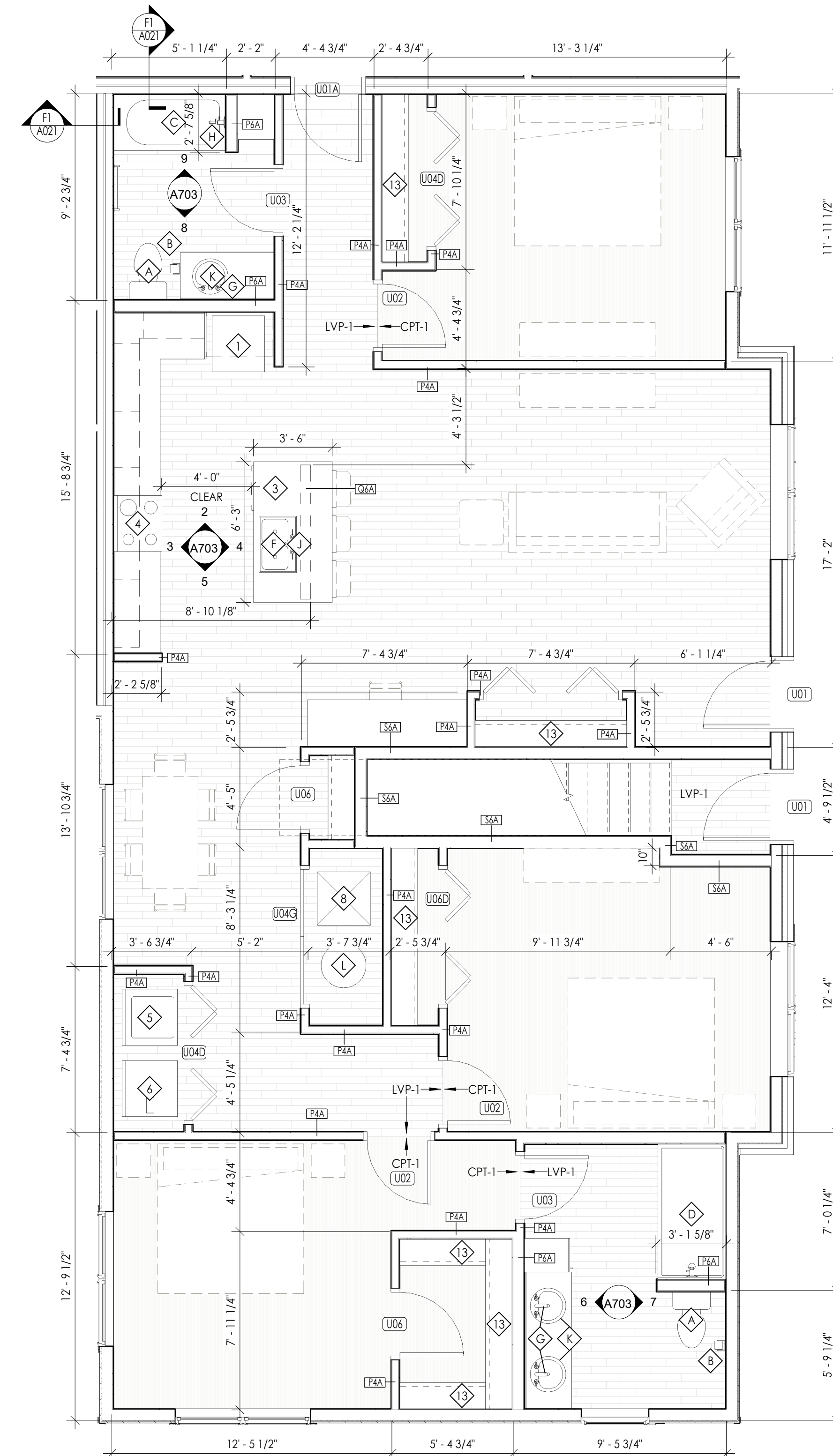
**3 UNIT 3A KITCHEN 2**  
SCALE 1/4" = 1'-0"



**6 UNIT 3A PRIMARY BATH SINK**  
SCALE 1/4" = 1'-0"



**2 UNIT 3A KITCHEN 1**  
SCALE 1/4" = 1'-0"



**1 UNIT 3A**  
SCALE 1/4" = 1'-0"



**SHEET KEYNOTES**

- 09-03 FINISHED END PANEL
- 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



215 N. WATER STREET, SUITE 250  
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**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
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**INFORMATION**

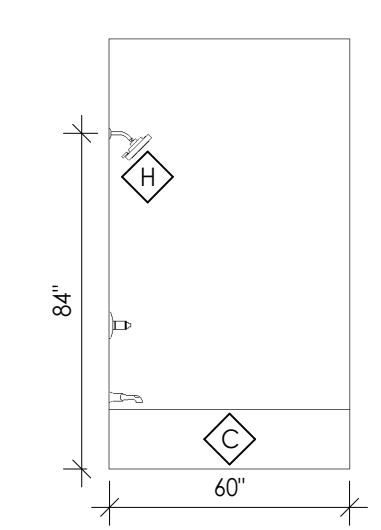
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

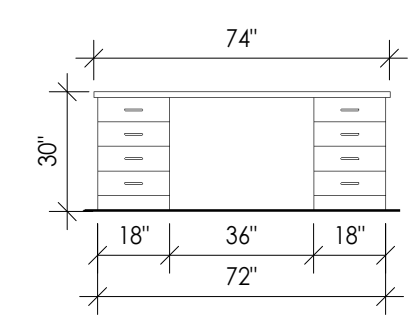
ENLARGED UNIT PLANS & ELEVATIONS

**A704**

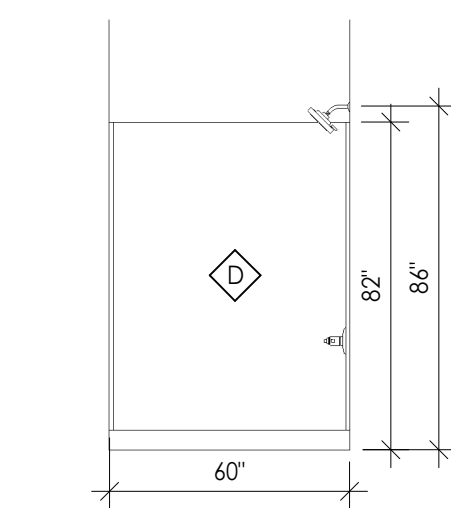
© STEPHEN PERRY SMITH ARCHITECTS, INC.



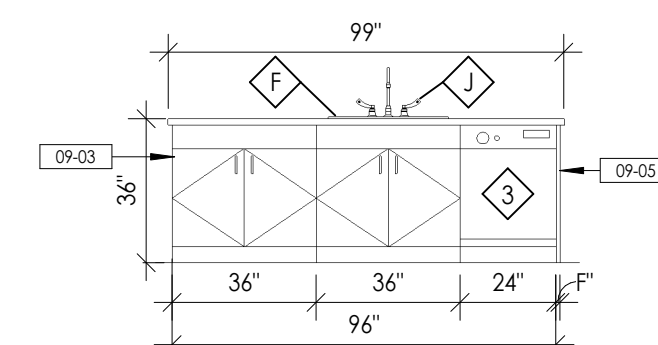
**9 UNIT 3B TUB**  
SCALE 1/4" = 1'-0"



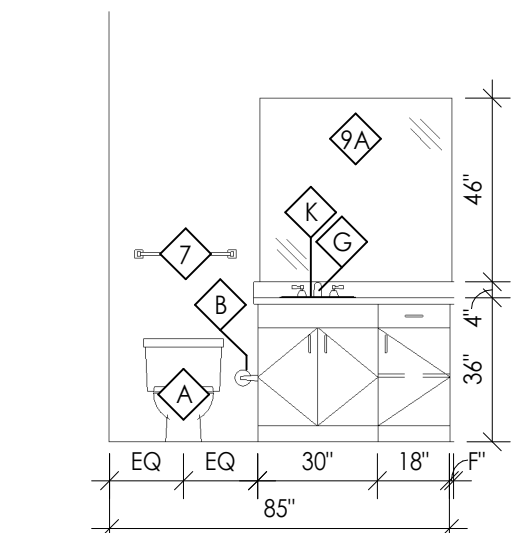
**5 UNIT 3B DESK**  
SCALE 1/4" = 1'-0"



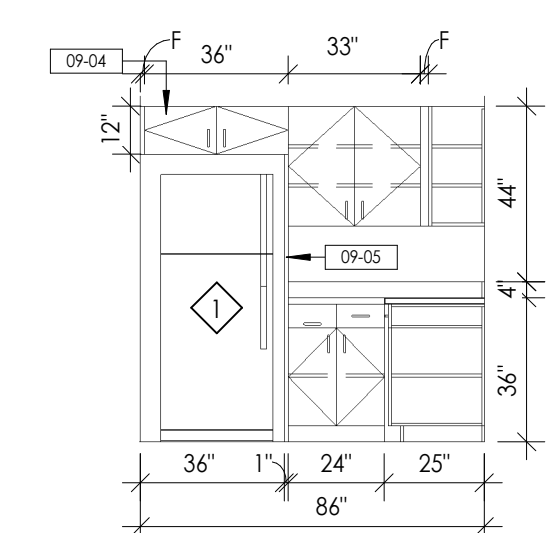
**8 UNIT 3B SHOWER**  
SCALE 1/4" = 1'-0"



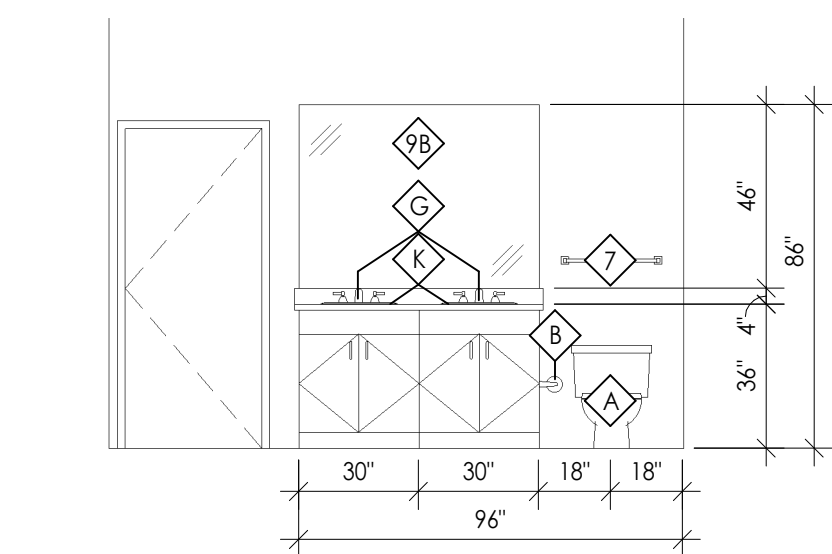
**4 UNIT 3B ISLAND**  
SCALE 1/4" = 1'-0"



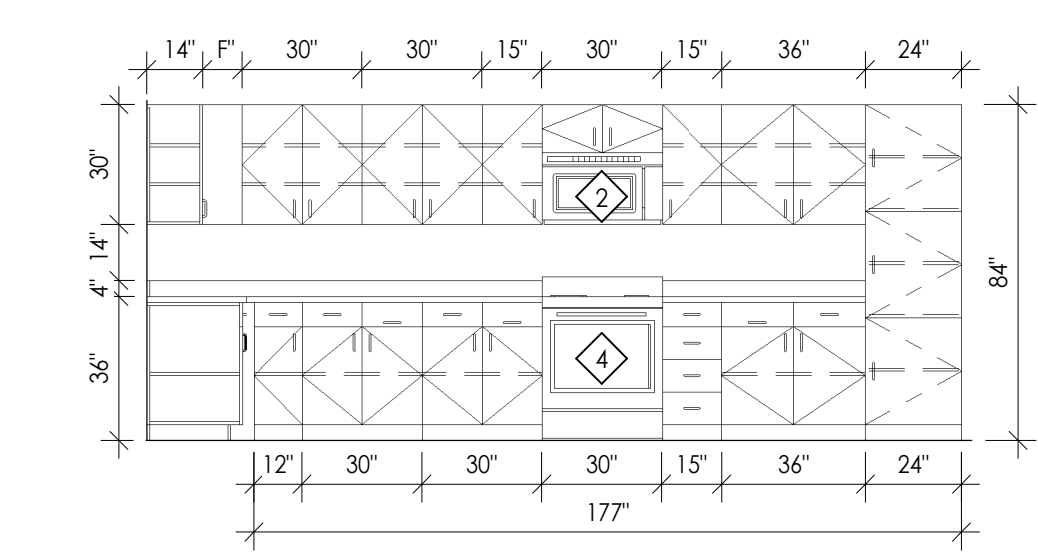
**7 UNIT 3B BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



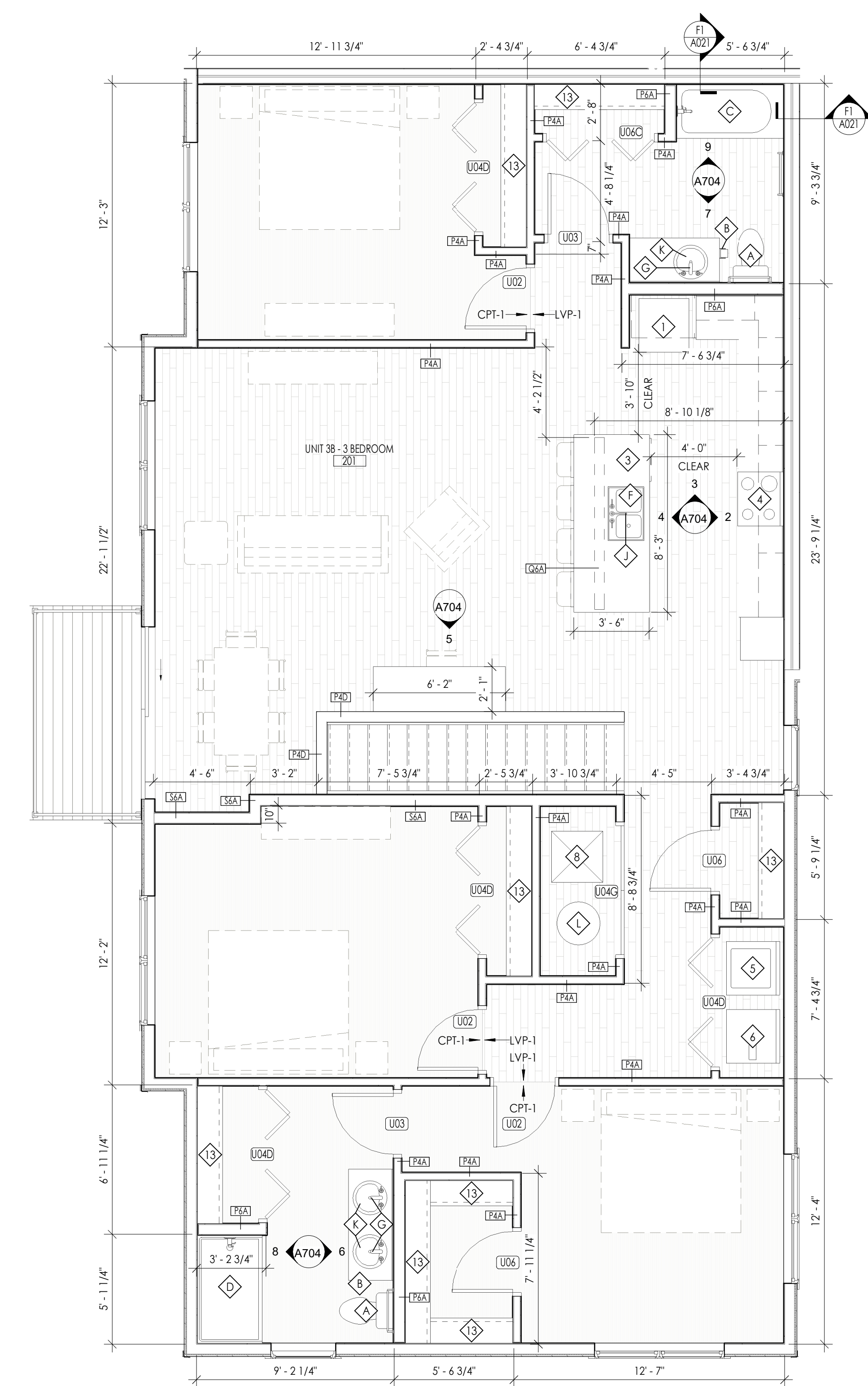
**3 UNIT 3B KITCHEN 1**  
SCALE 1/4" = 1'-0"



**6 UNIT 3B PRIMARY BATH SINK/TOILET**  
SCALE 1/4" = 1'-0"



**2 UNIT 3B KITCHEN 2**  
SCALE 1/4" = 1'-0"



**1 UNIT 3B**  
SCALE 1/4" = 1'-0"



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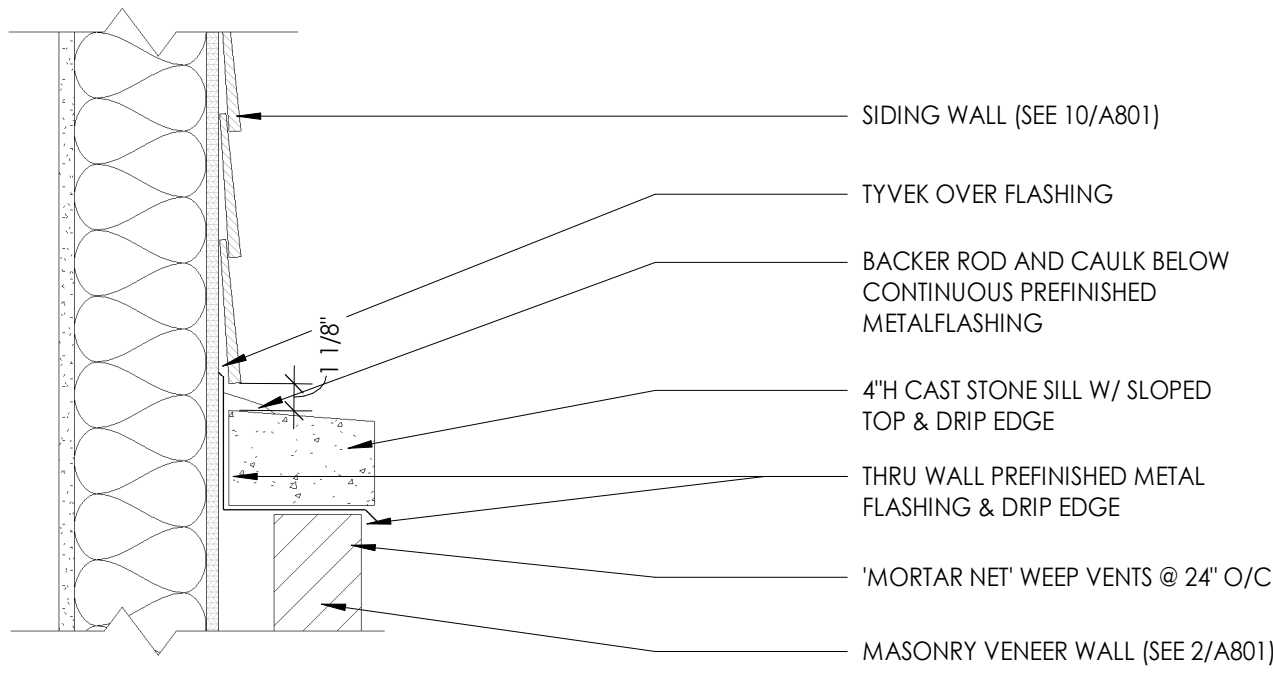
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

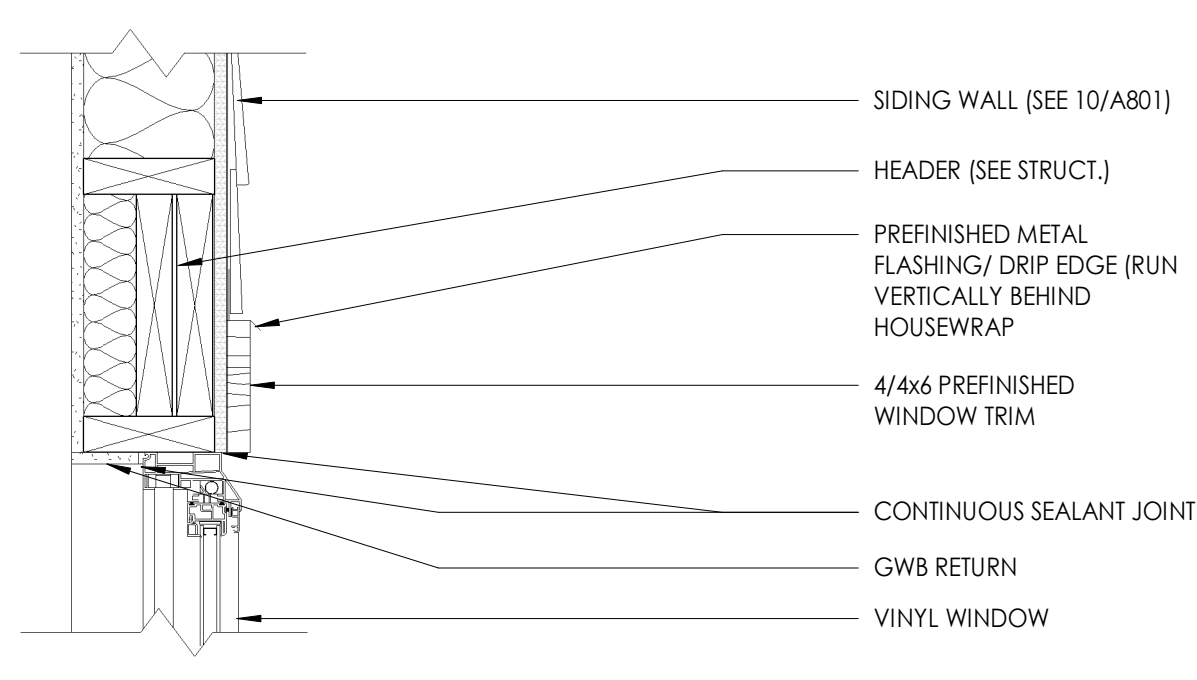
PROJECT DETAILS - EXTERIOR

**A801**

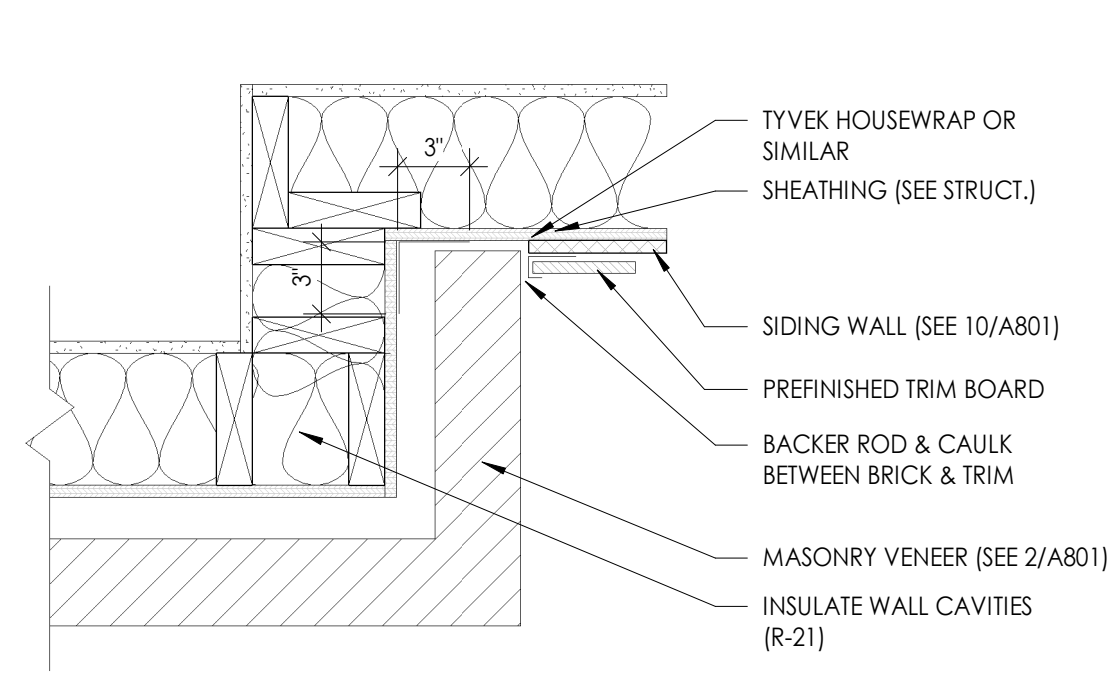
© STEPHEN PERRY SMITH ARCHITECTS, INC.



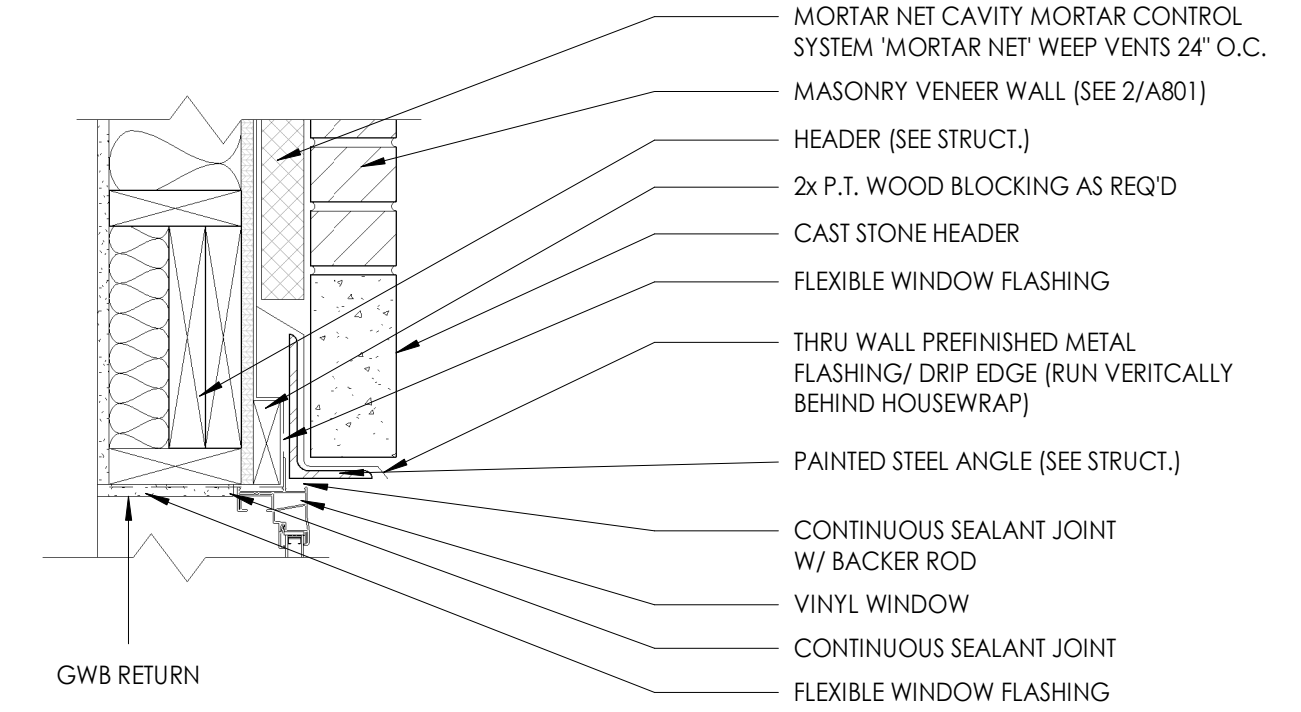
**16 MASONRY VENEER STONE SILL**  
SCALE 1 1/2" = 1'-0"



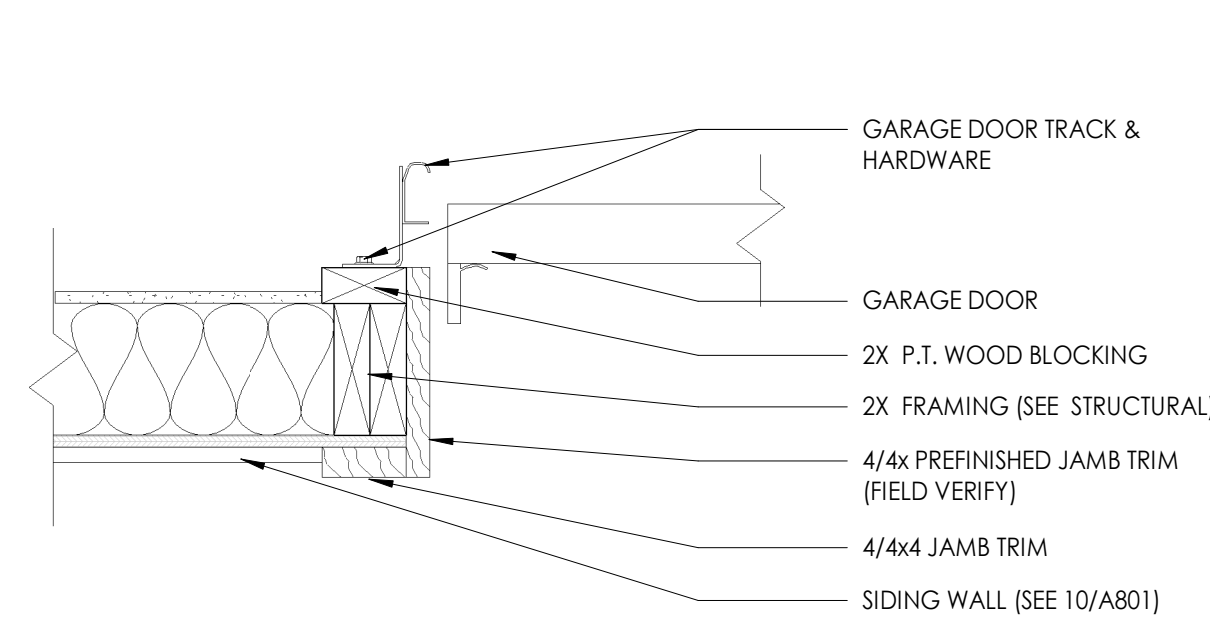
**12 VINYL WINDOW - HEAD AT SIDING**  
SCALE 1 1/2" = 1'-0"



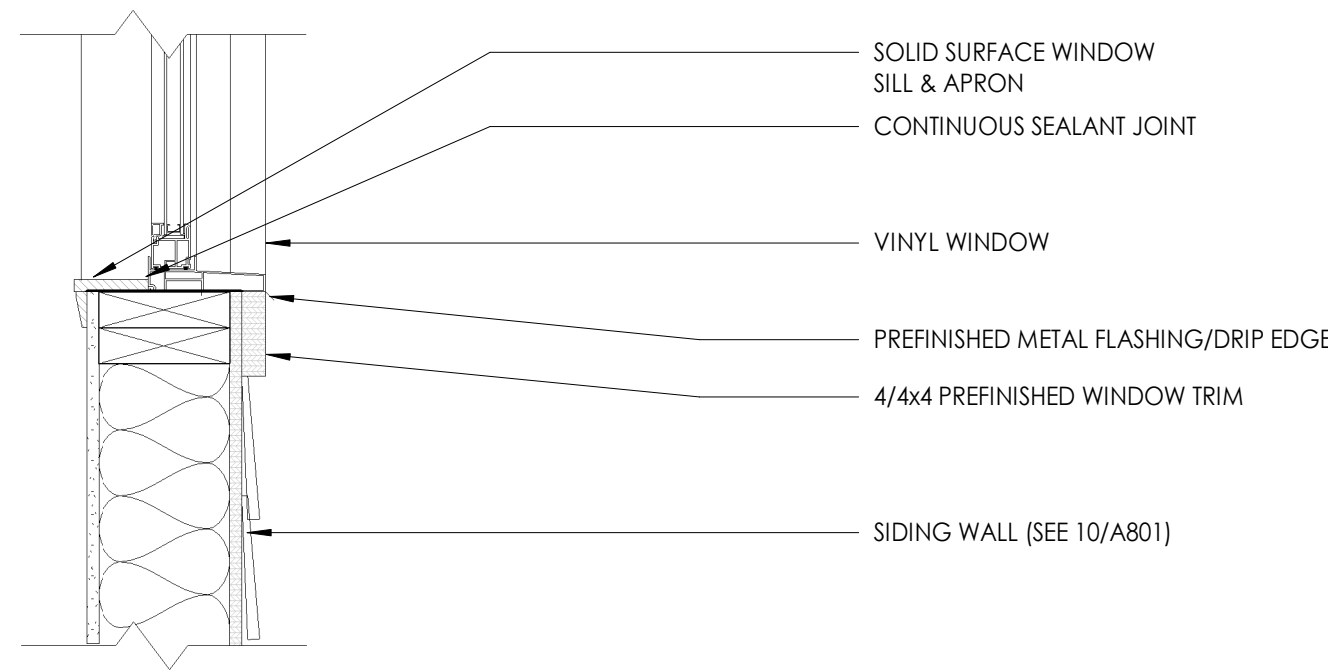
**8 MASONRY AT CORNER**  
SCALE 1 1/2" = 1'-0"



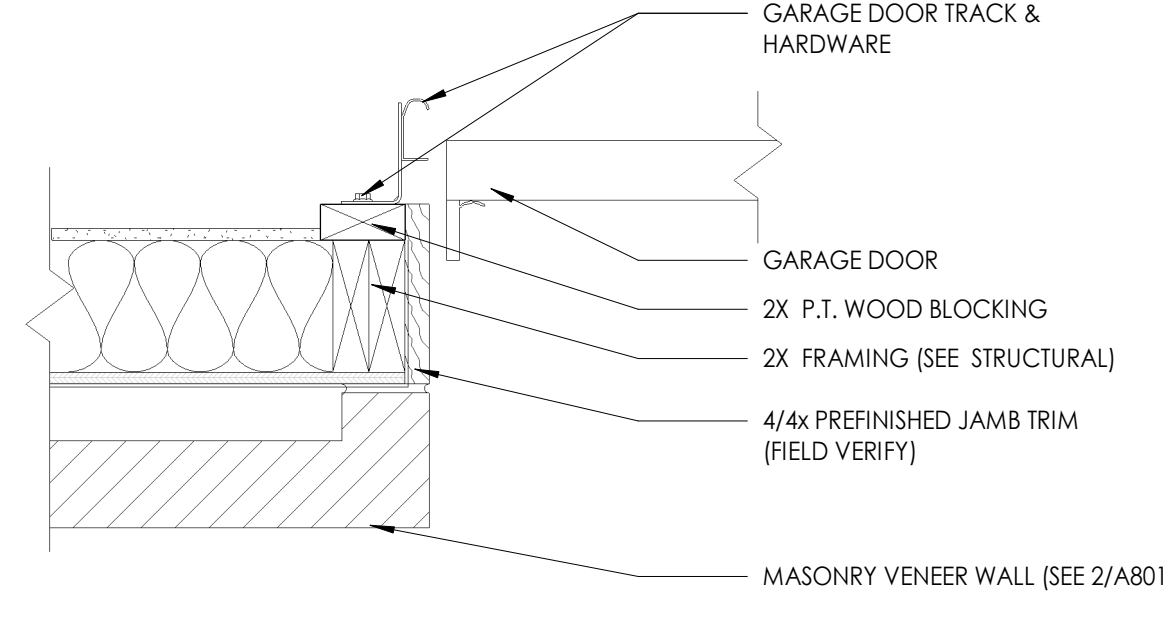
**4 VINYL WINDOW - HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



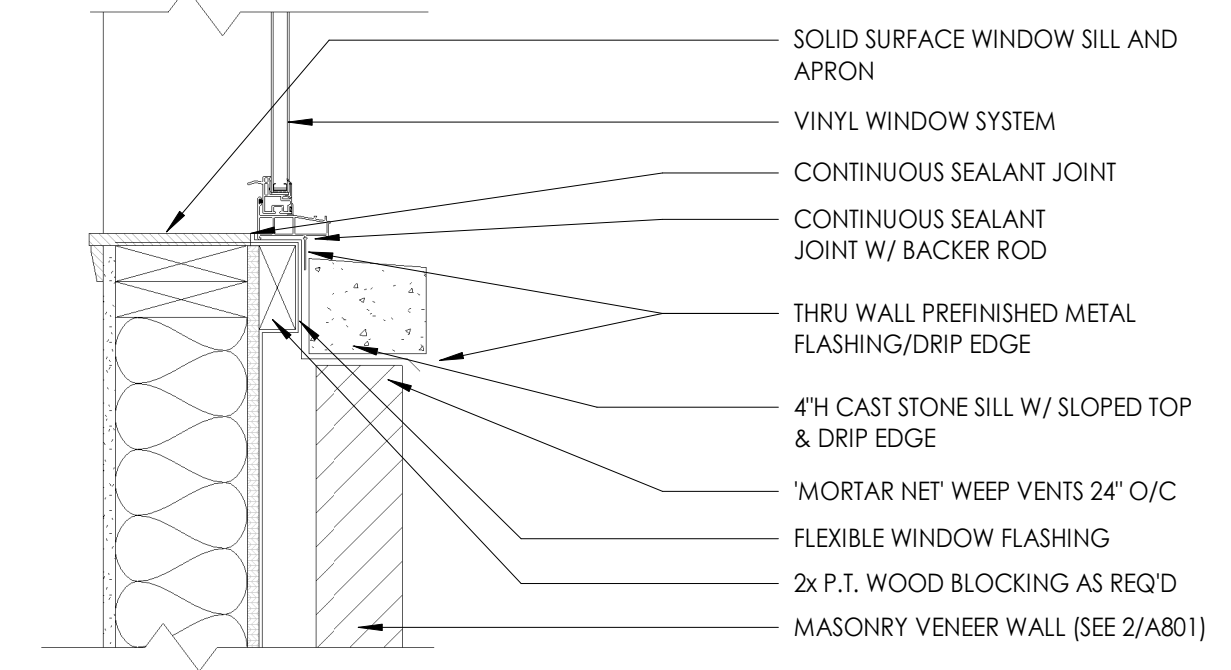
**15 GARAGE DOOR - JAMB AT SIDING**  
SCALE 1 1/2" = 1'-0"



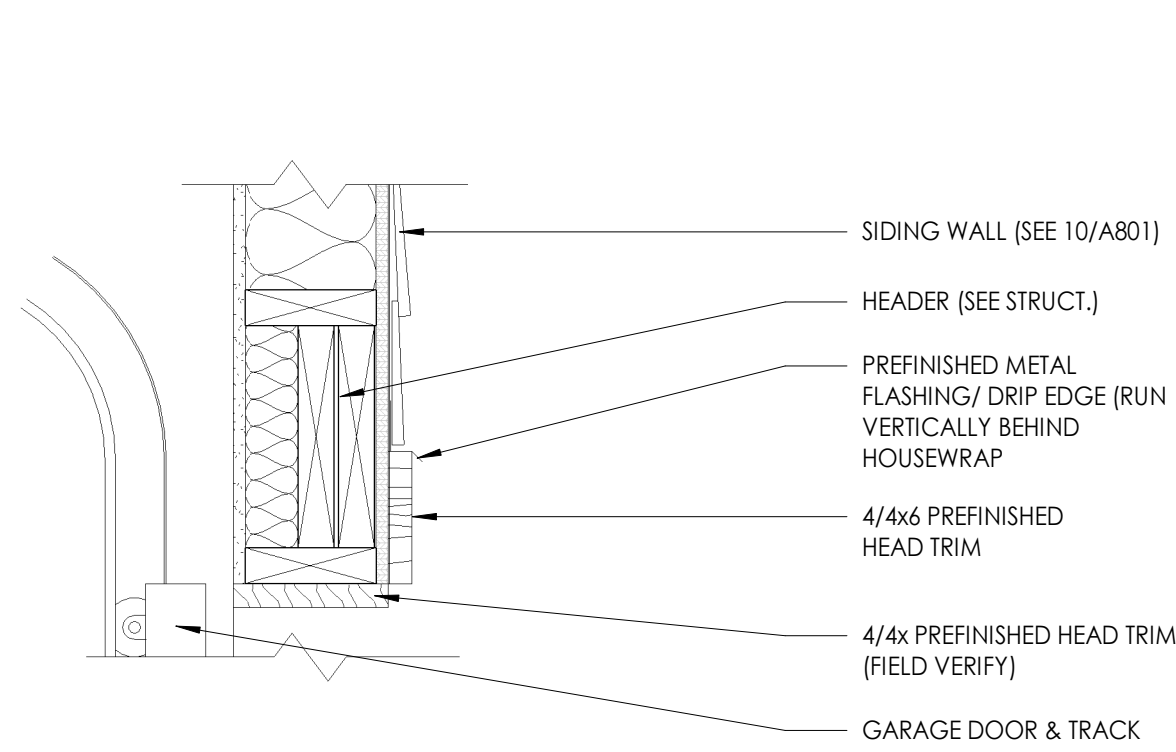
**11 VINYL WINDOW - SILL AT SIDING**  
SCALE 1 1/2" = 1'-0"



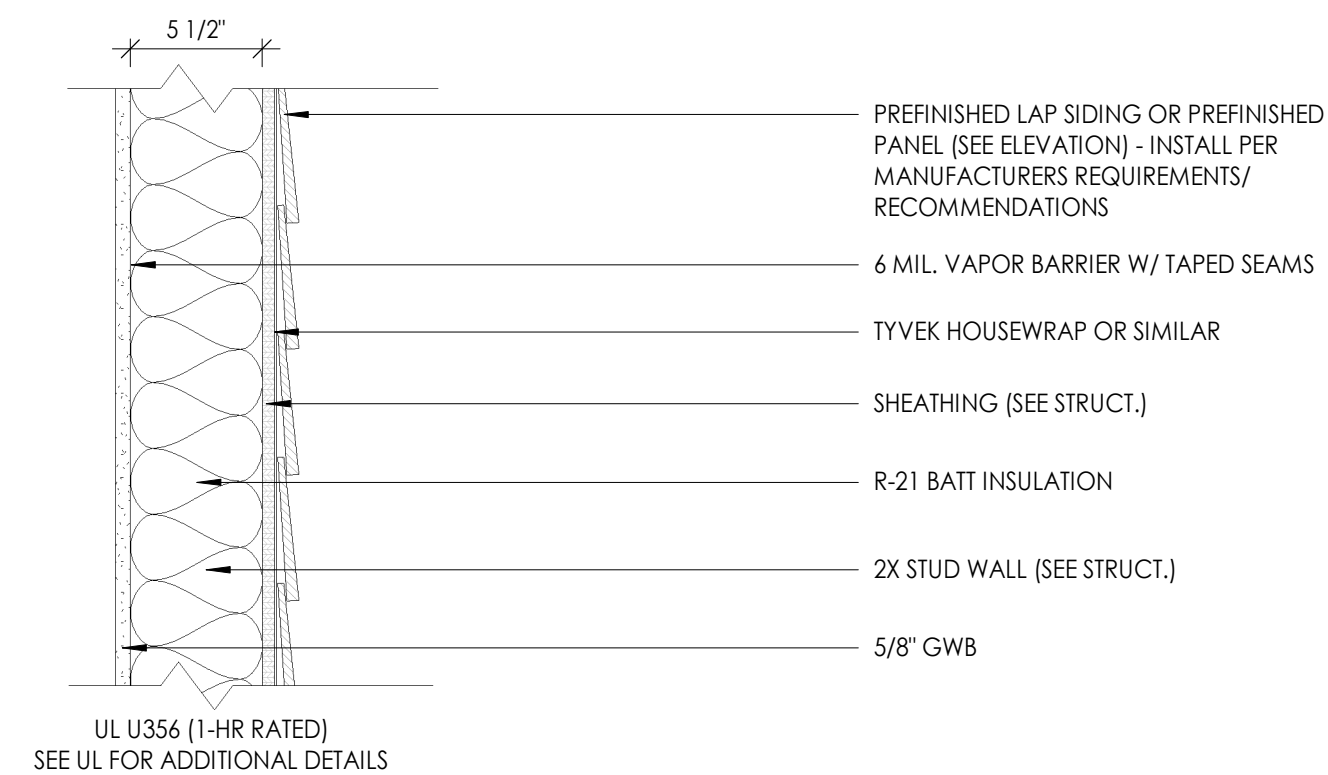
**7 GARAGE DOOR - JAMB AT MASONRY**  
SCALE 1 1/2" = 1'-0"



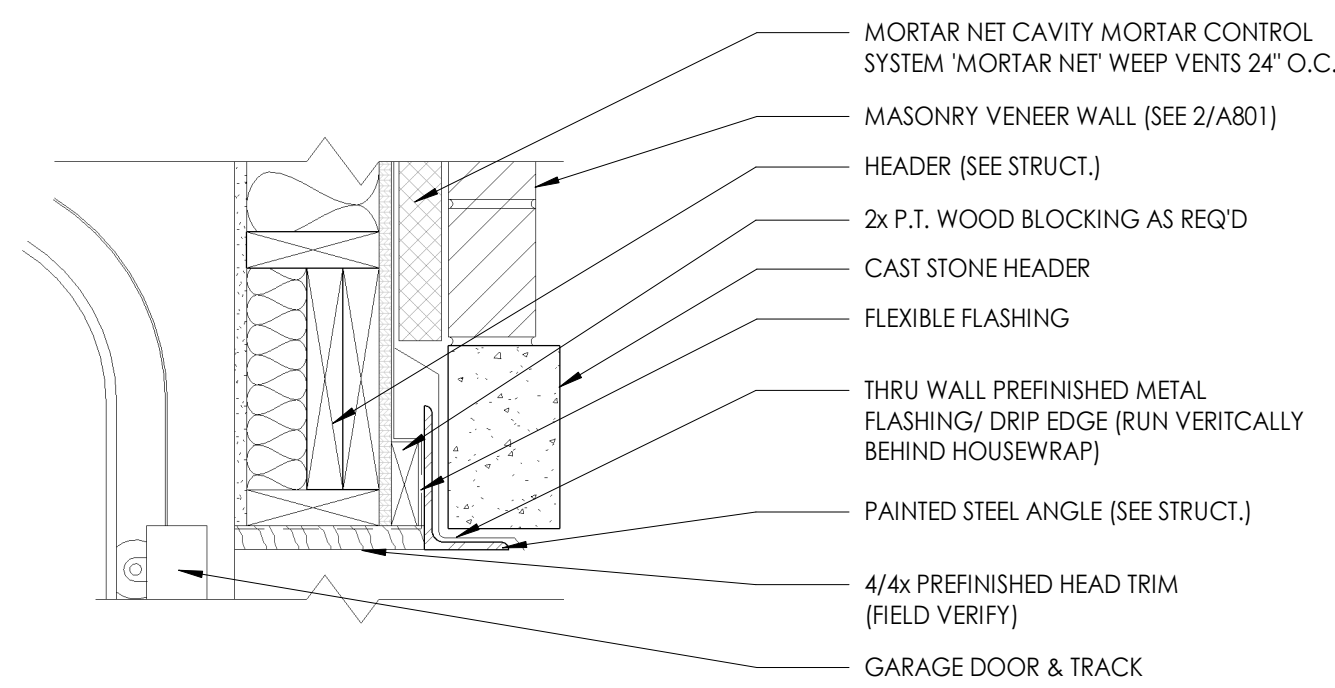
**3 VINYL WINDOW - SILL AT MASONRY**  
SCALE 1 1/2" = 1'-0"



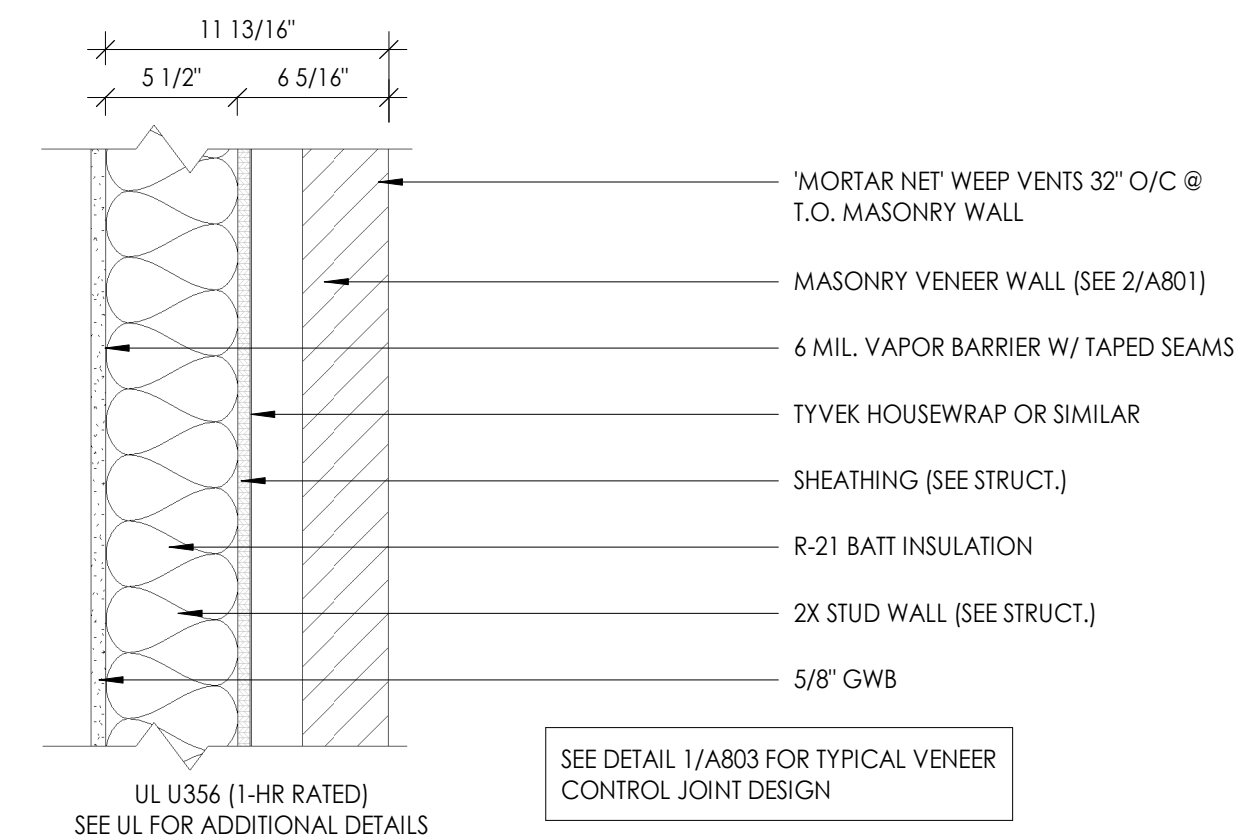
**14 GARAGE DOOR - HEAD AT SIDING**  
SCALE 1 1/2" = 1'-0"



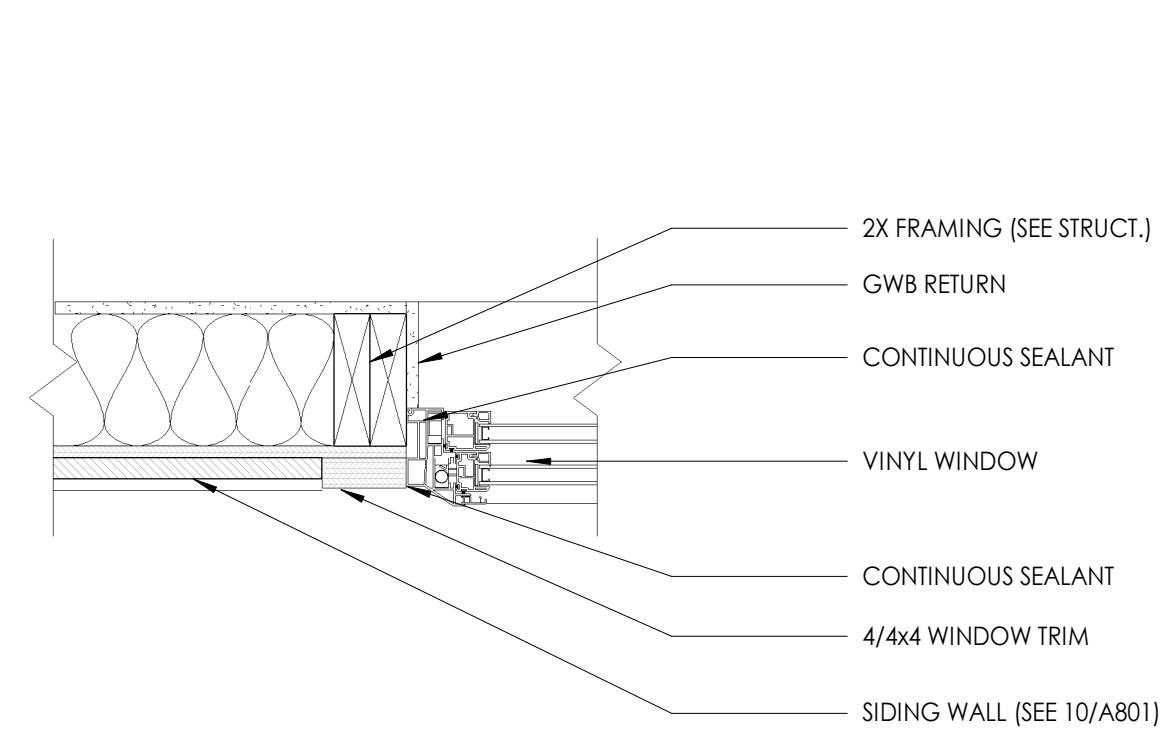
**10 SIDING WALL (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



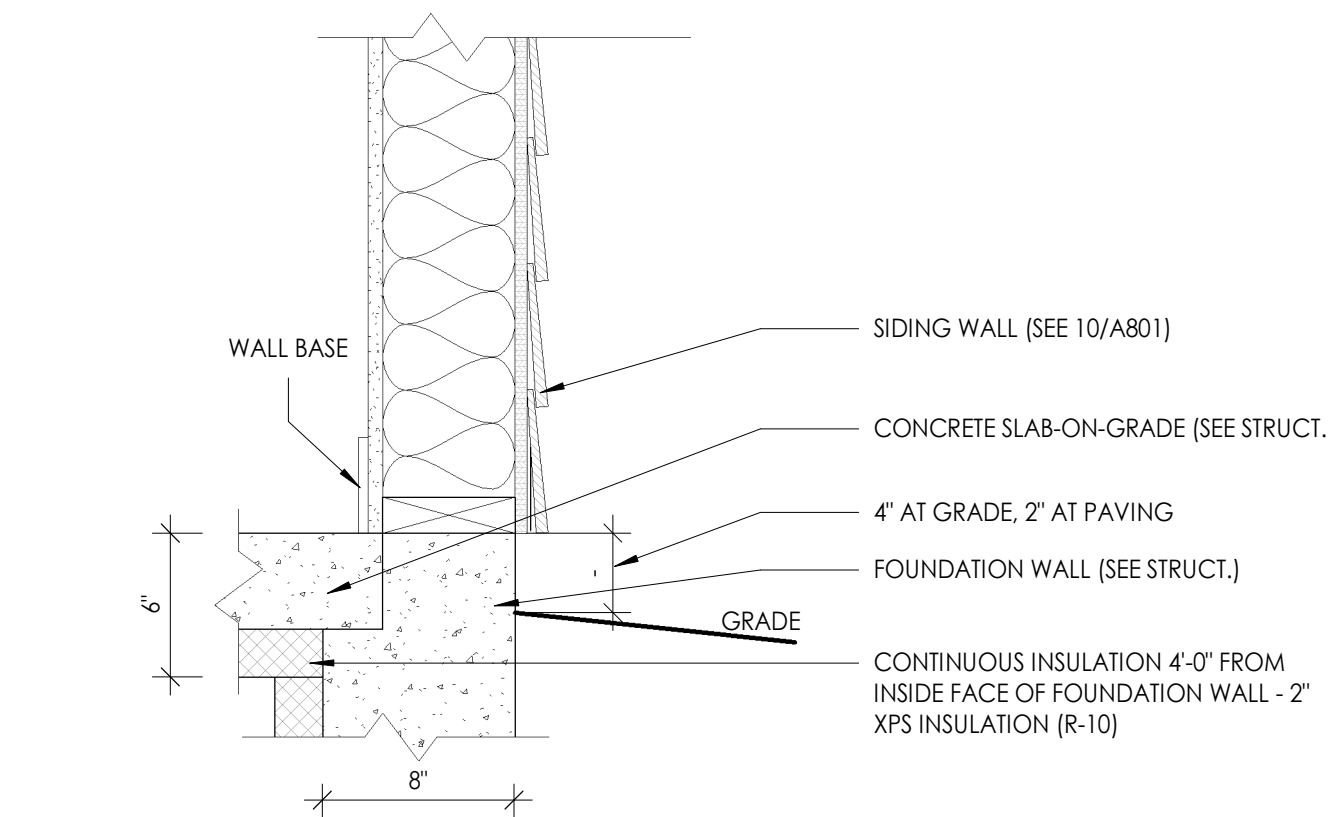
**6 GARAGE DOOR - HEAD AT MASONRY**  
SCALE 1 1/2" = 1'-0"



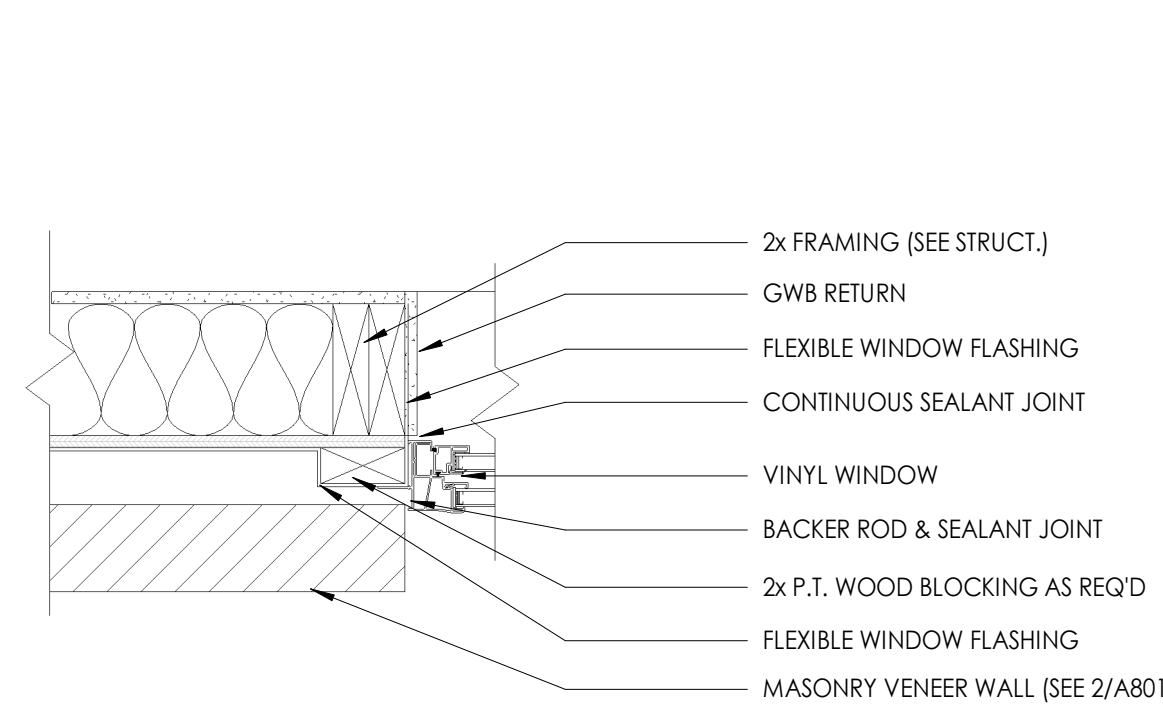
**2 MASONRY VENEER WALL (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



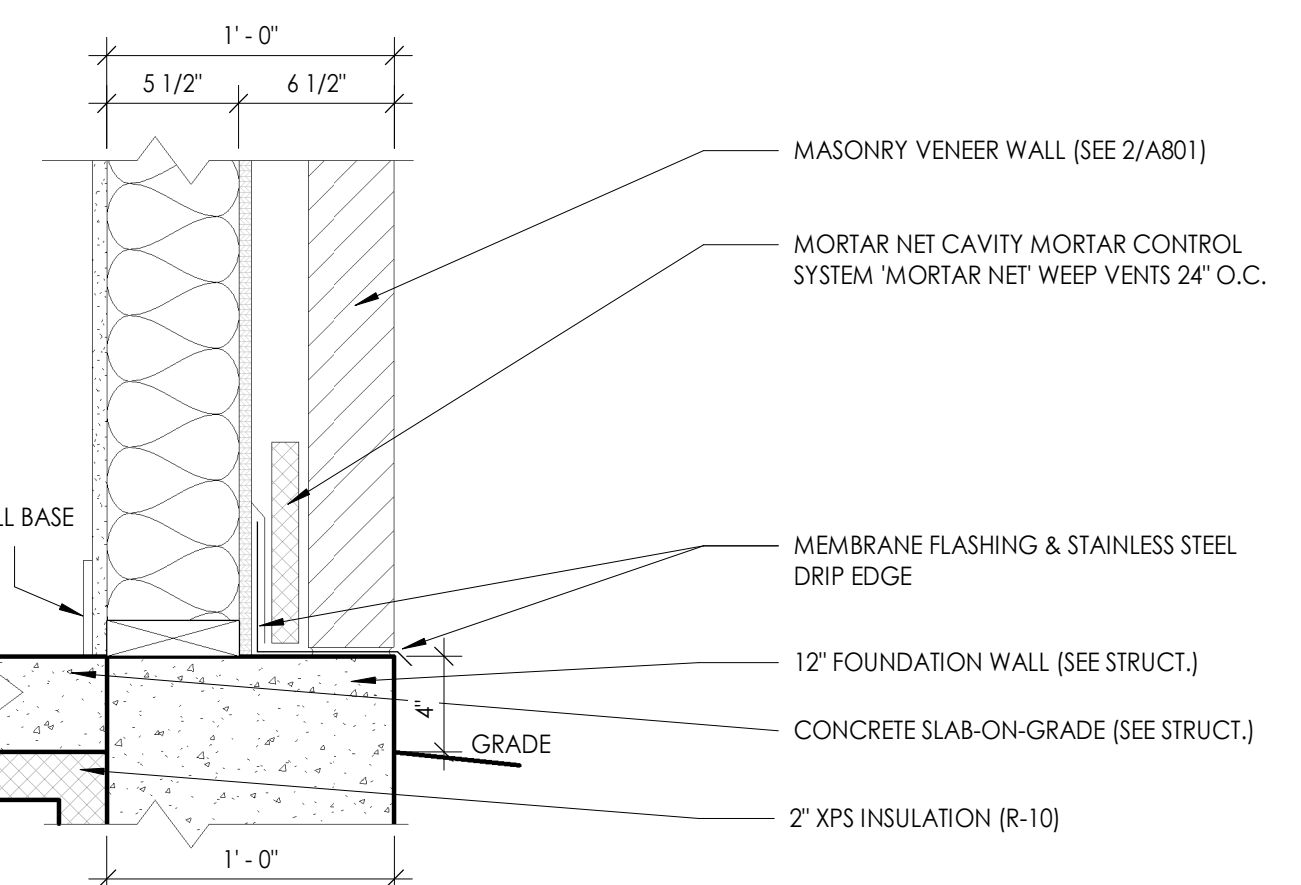
**13 VINYL WINDOW - JAMB AT SIDING**  
SCALE 1 1/2" = 1'-0"



**9 FOUNDATION DETAIL AT SIDING (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



**5 08-VINYL WINDOW - JAMB AT MASONRY**  
SCALE 1 1/2" = 1'-0"



**1 FOUNDATION DETAIL AT MASONRY (TYPICAL)**  
SCALE 1 1/2" = 1'-0"



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3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
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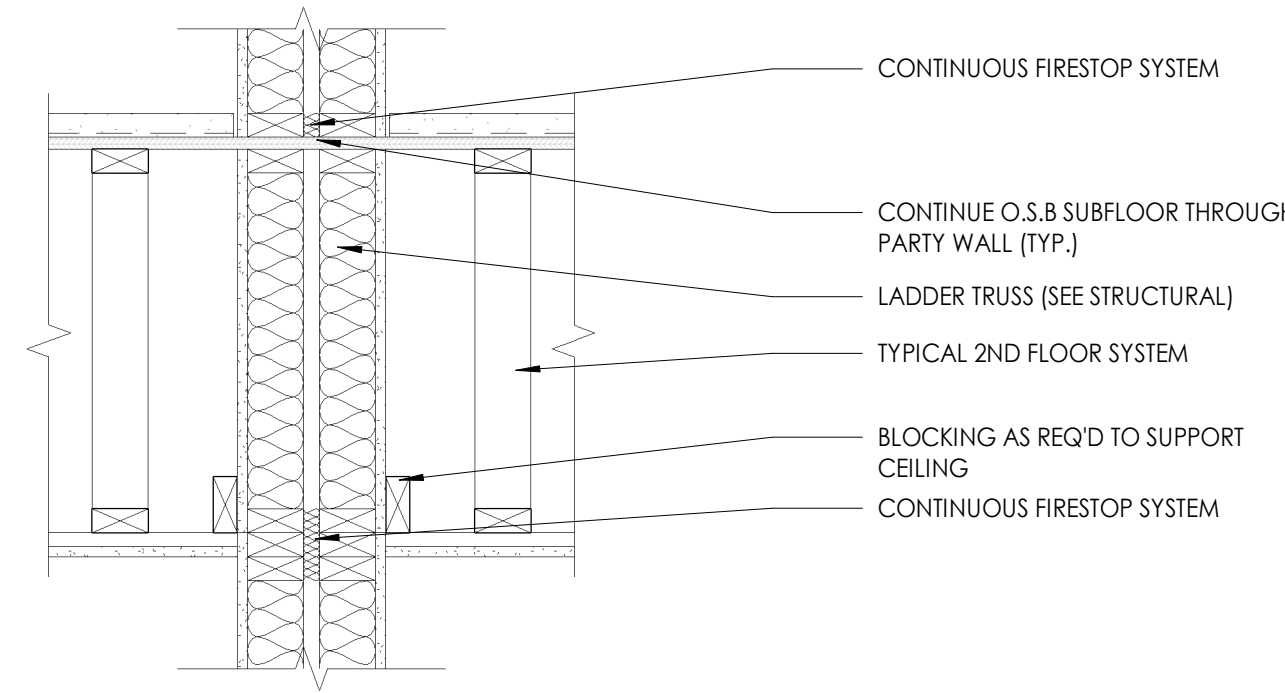
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

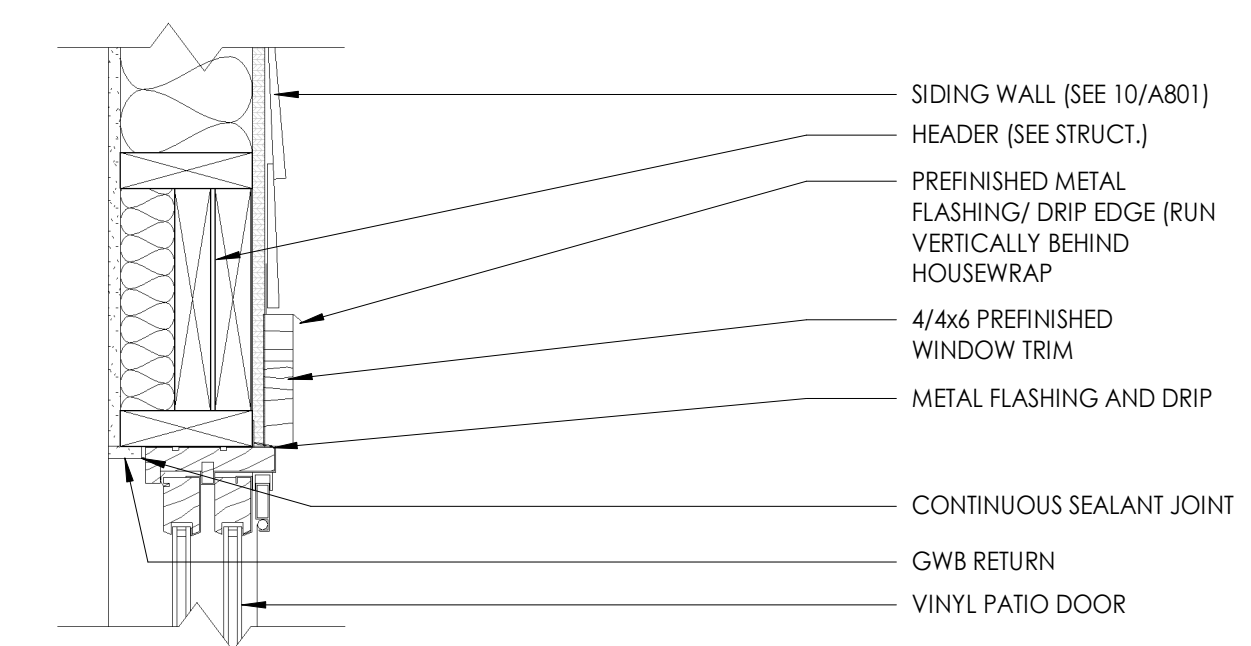
**SHEET**

PROJECT DETAILS - EXTERIOR

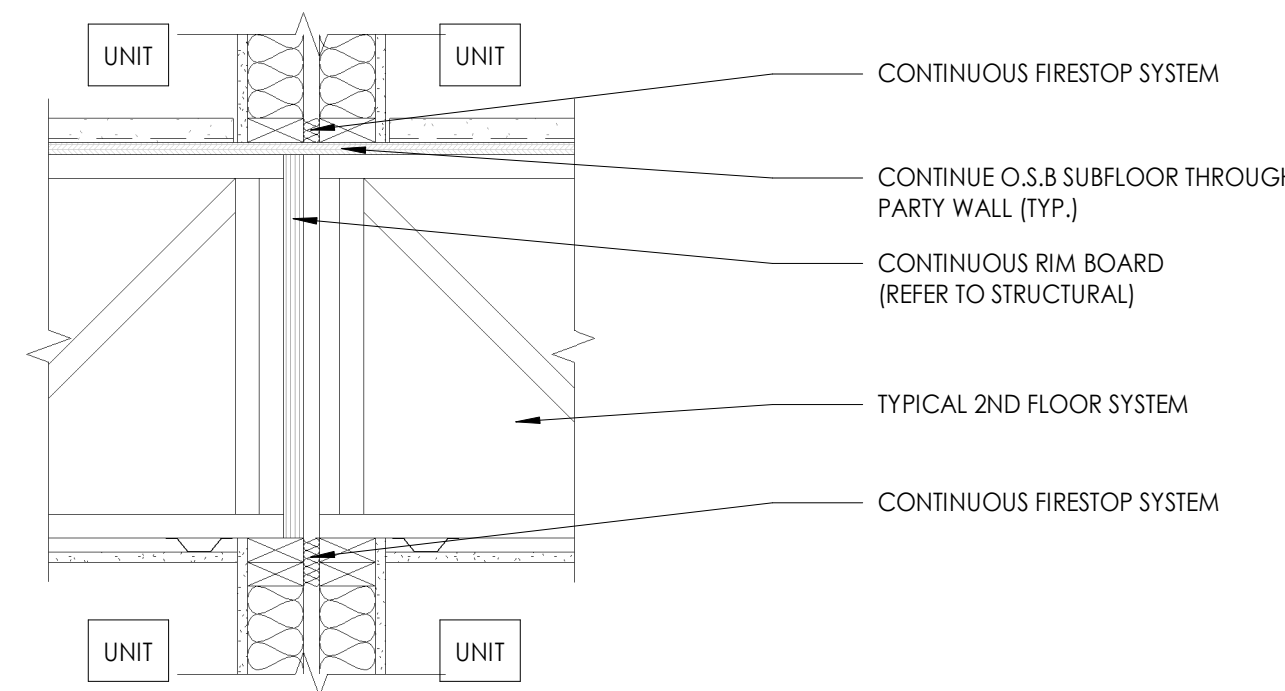
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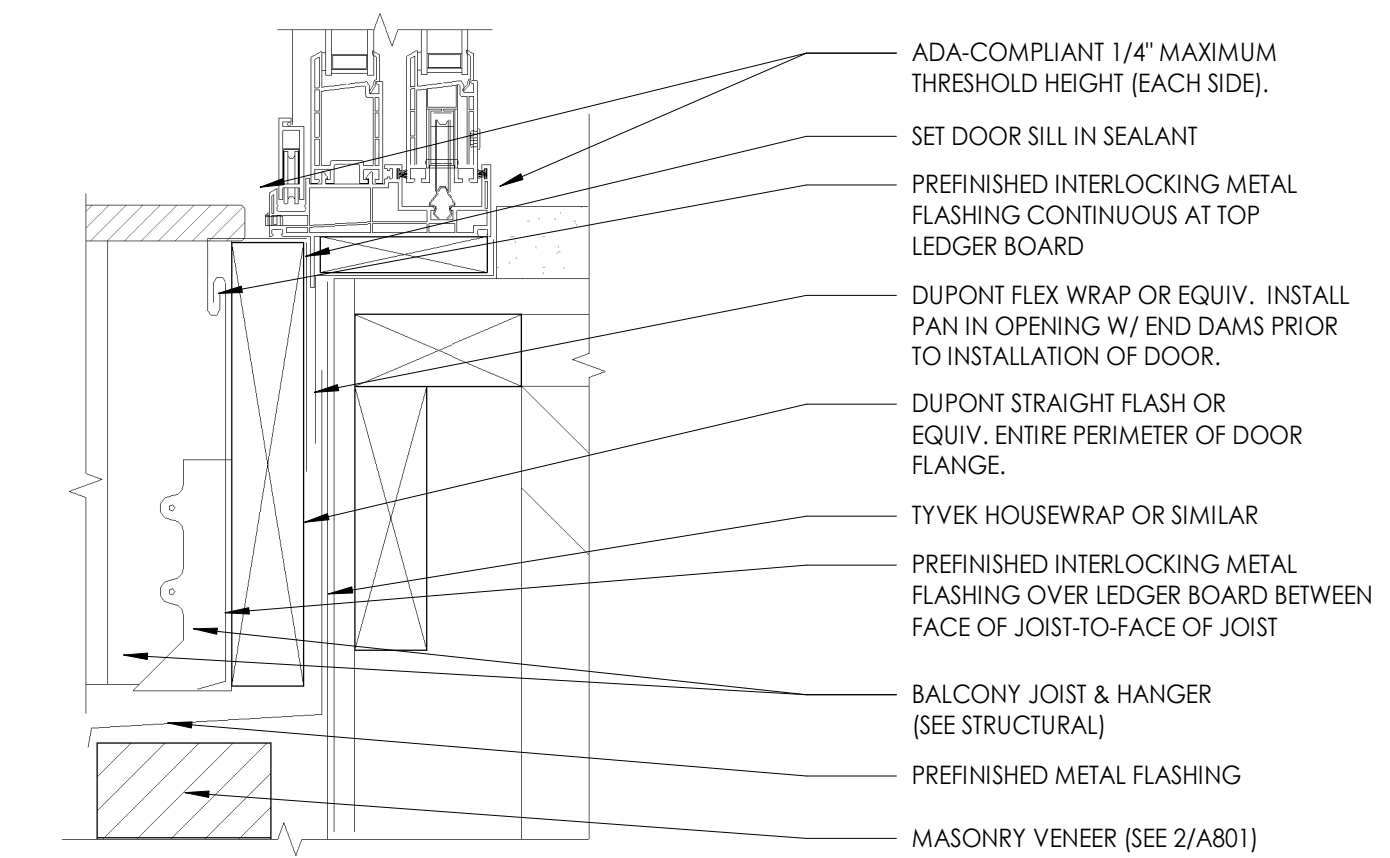
**8 UNIT SEPARATION AT FLOOR / CEILING**  
SCALE 1" = 1'-0"



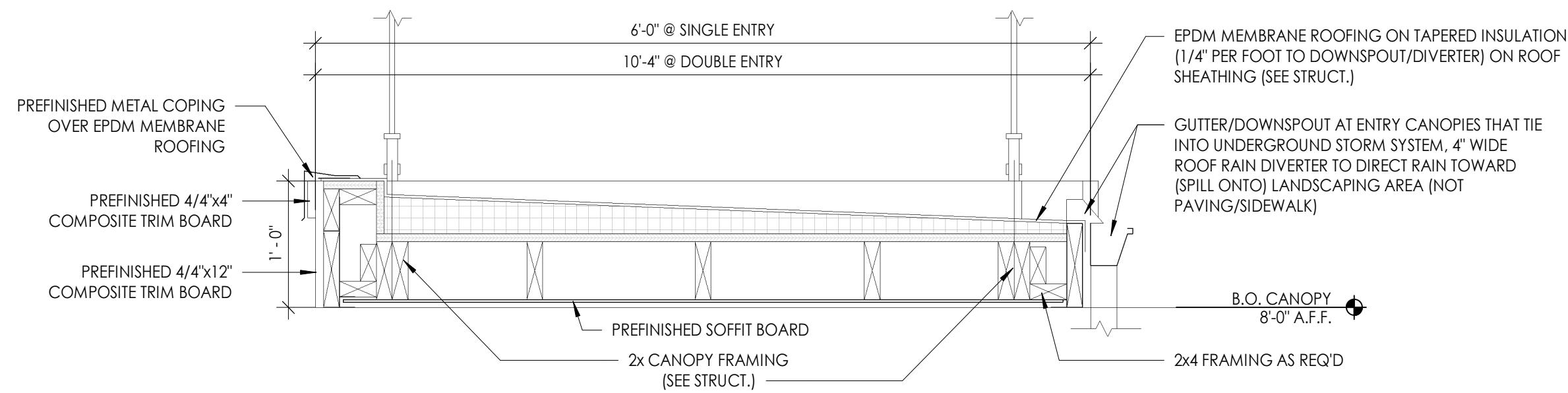
**4 PATIO HEAD DETAIL**  
SCALE 1 1/2" = 1'-0"



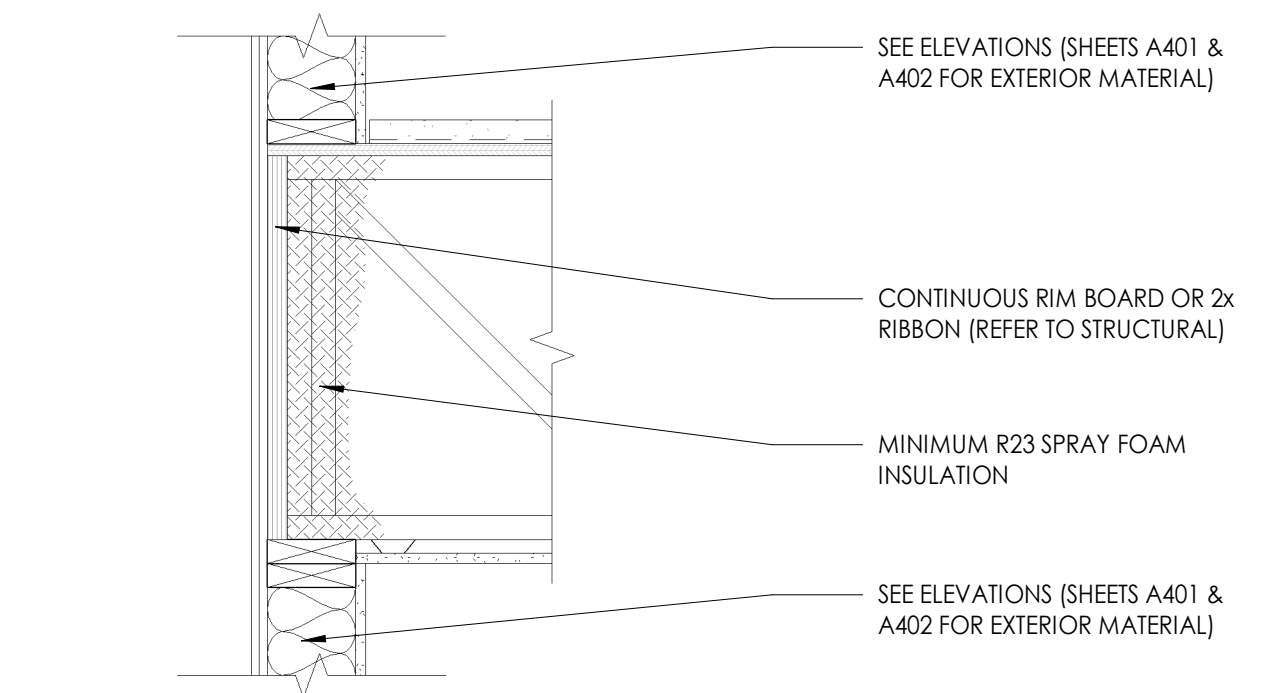
**7 UNIT SEPARATION AT FLOOR TRUSS**  
SCALE 1" = 1'-0"



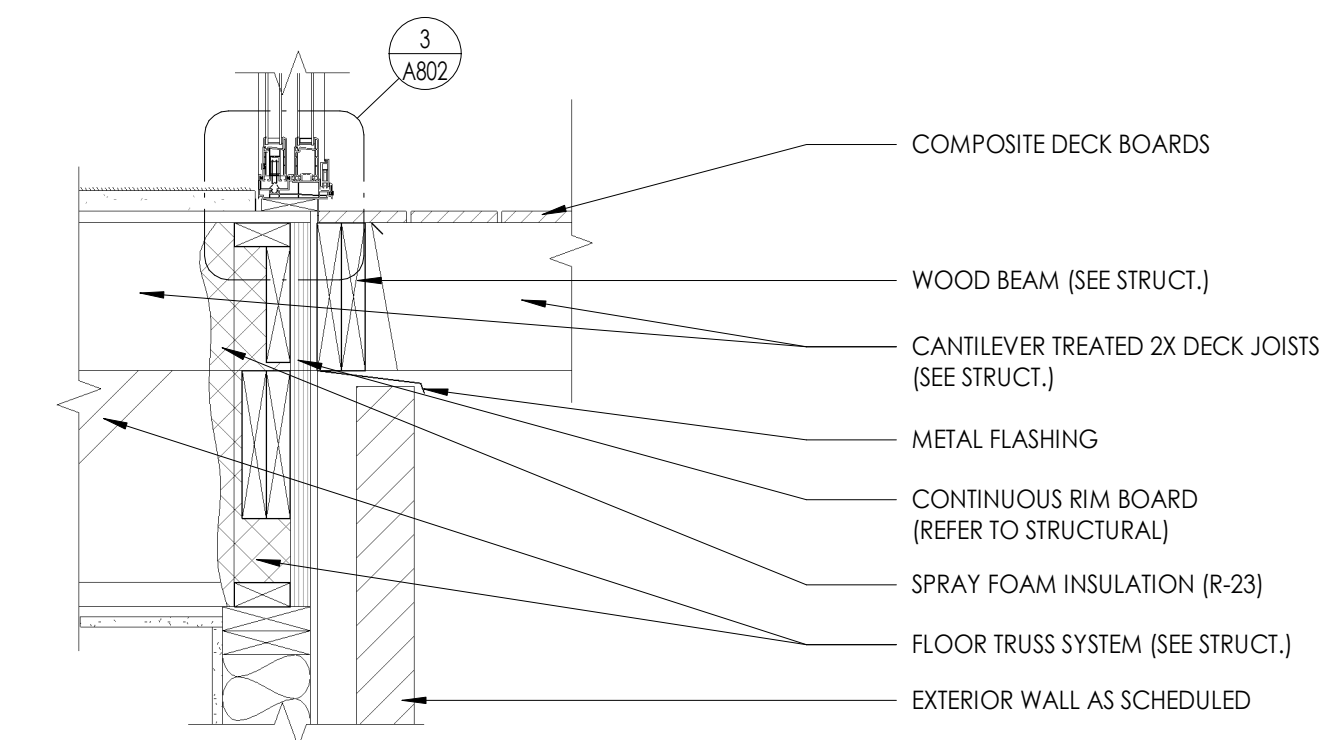
**3 PATIO DOOR SILL AT MASONRY**  
SCALE 3" = 1'-0"



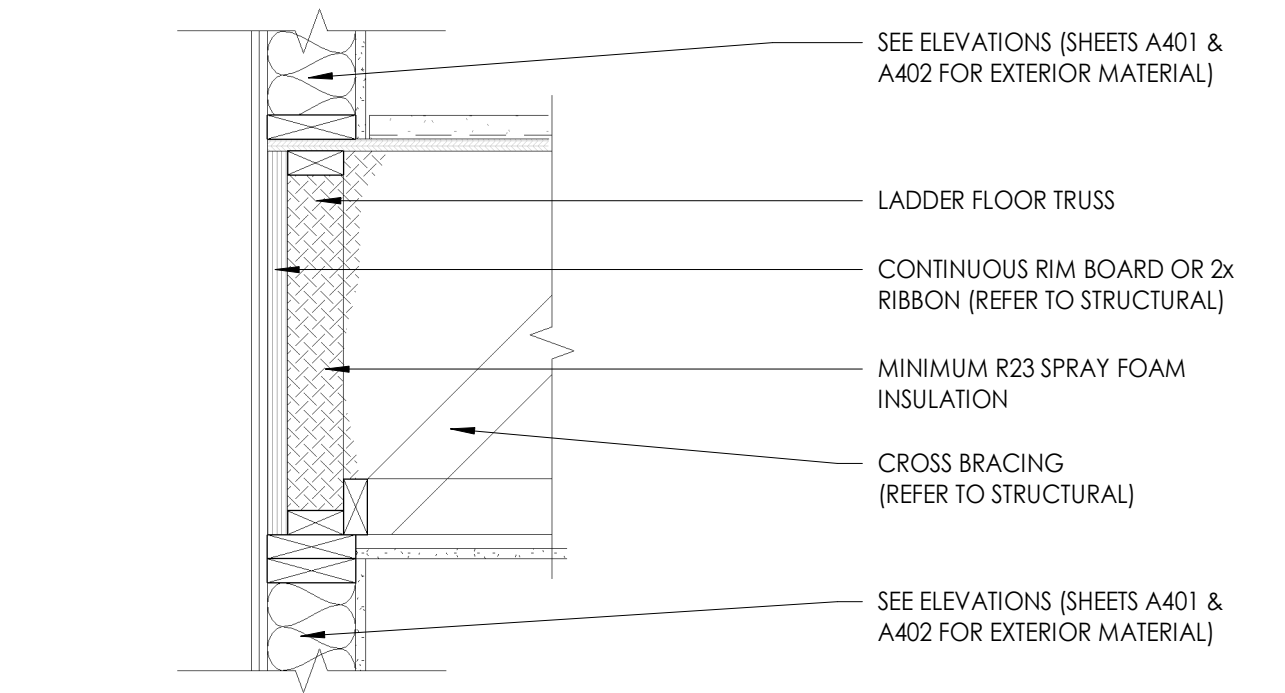
**12 ENTRY CANOPY SECTION**  
SCALE 1" = 1'-0"



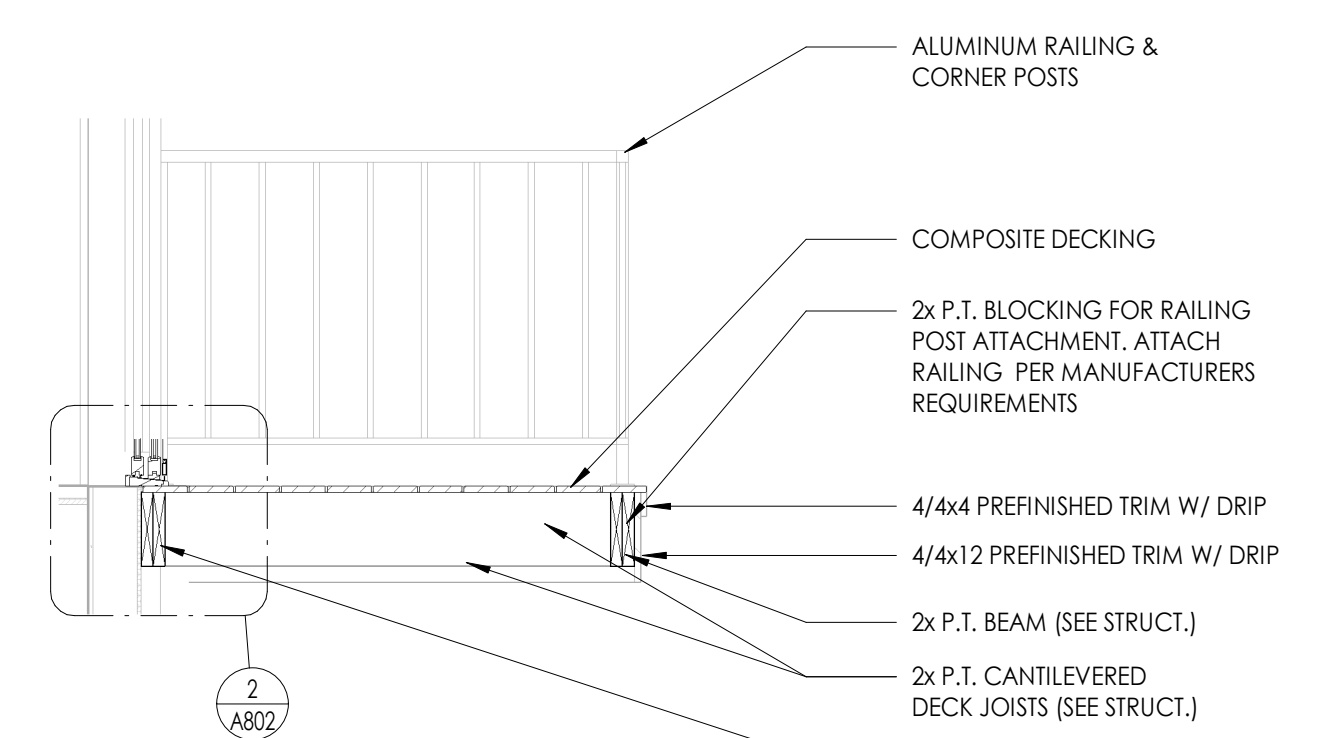
**6 EXTERIOR RIM AT FLOOR TRUSS**  
SCALE 1" = 1'-0"



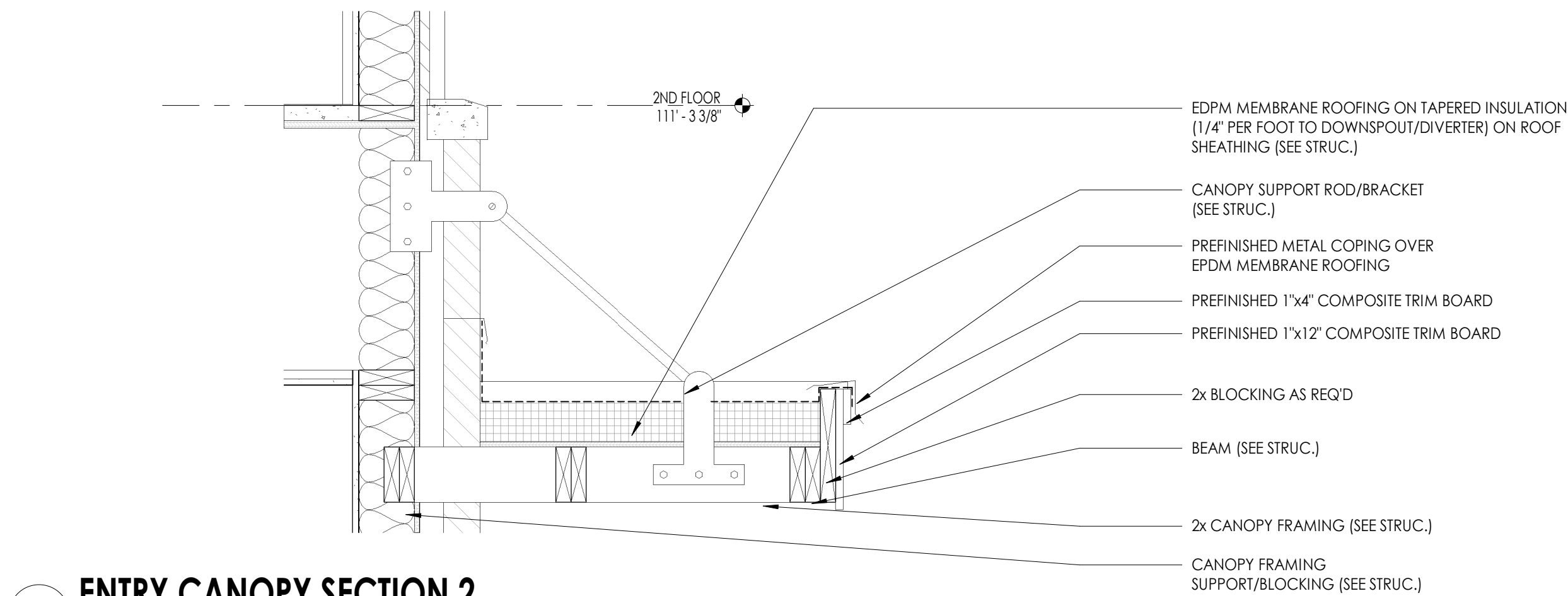
**2 SLIDING PATIO DOOR SILL AT BALCONY**  
SCALE 1" = 1'-0"



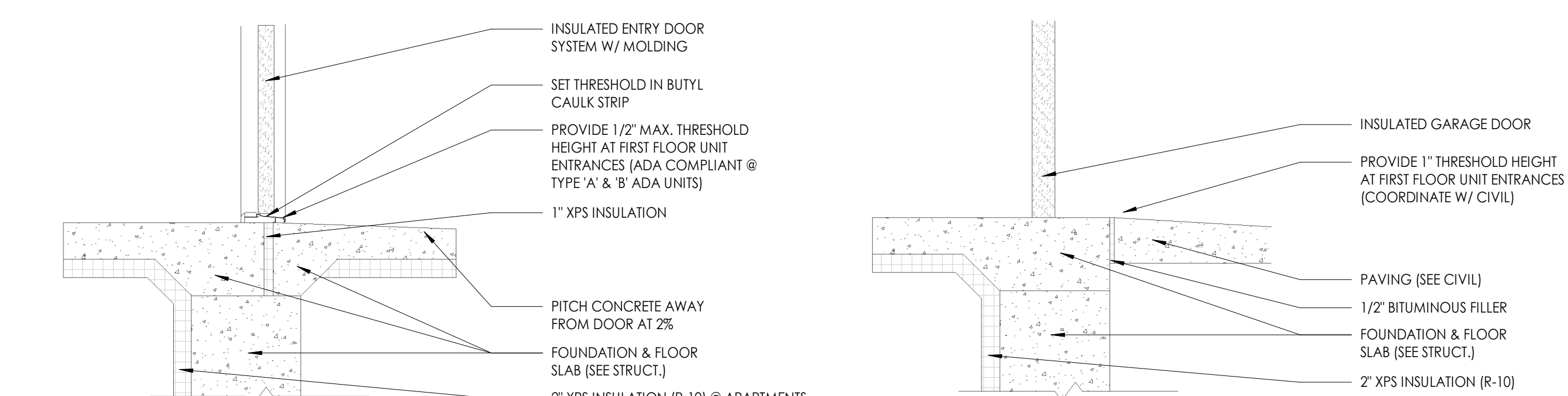
**5 EXTERIOR RIM AT LADDER FLOOR**  
SCALE 1" = 1'-0"



**1 BALCONY SECTION**  
SCALE 1 1/2" = 1'-0"



**11 ENTRY CANOPY SECTION 2**  
SCALE 1" = 1'-0"



**9 THRESHOLD AT GARAGE**  
SCALE 1" = 1'-0"

**10 THRESHOLD AT ENTRY DOOR**  
SCALE 1" = 1'-0"



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3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

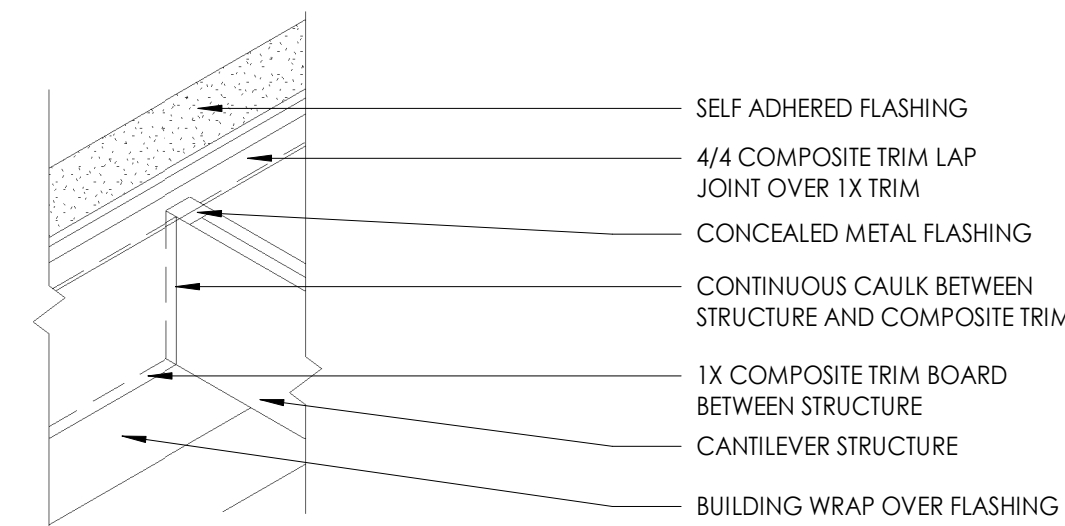
NO.	DESCRIPTION	DATE
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**INFORMATION**

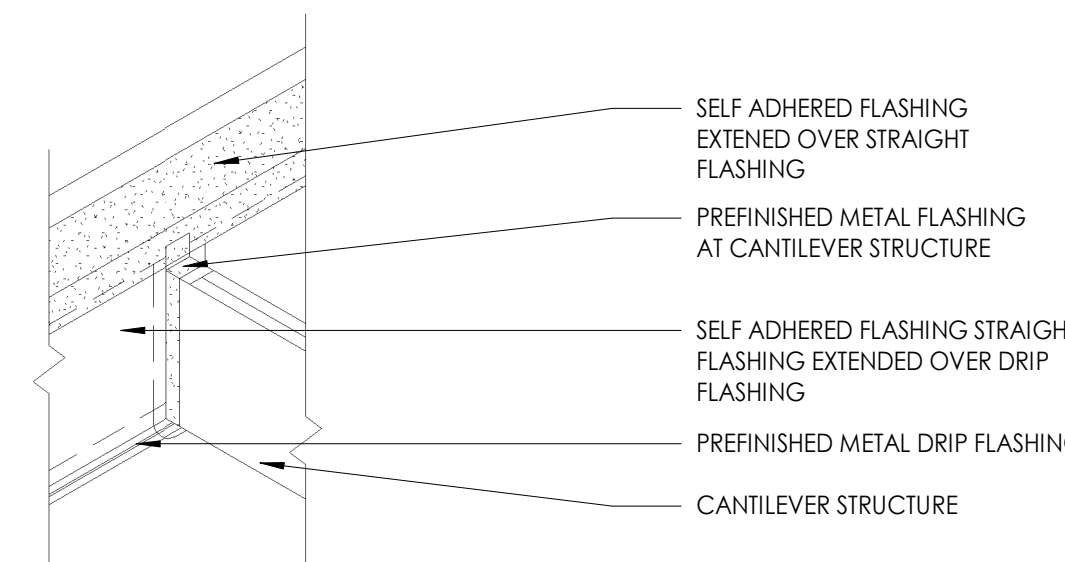
PROJECT ARCHITECT	SFS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

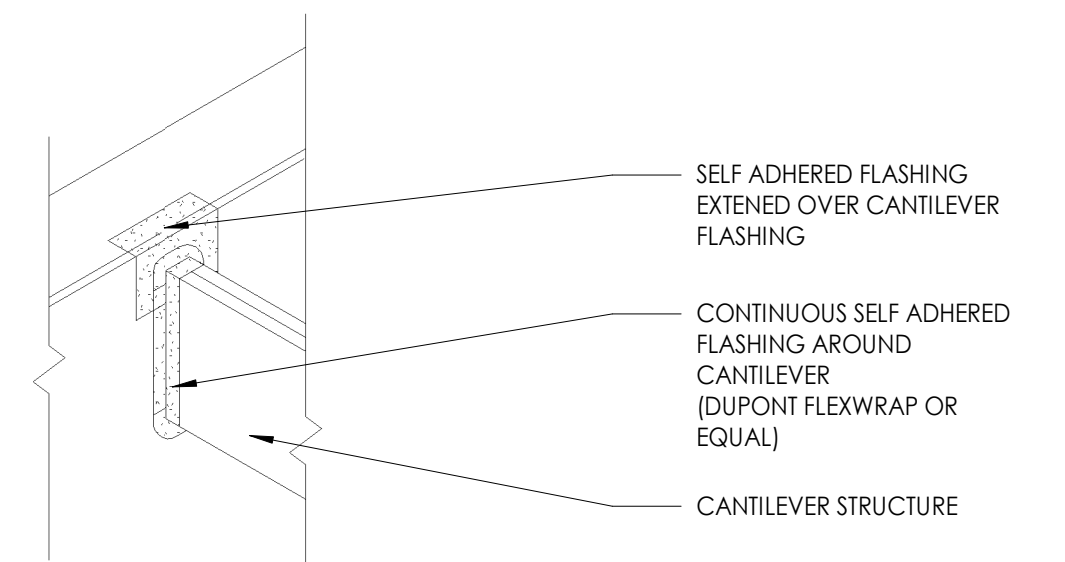
PROJECT DETAILS - EXTERIOR



FINISH DETAIL



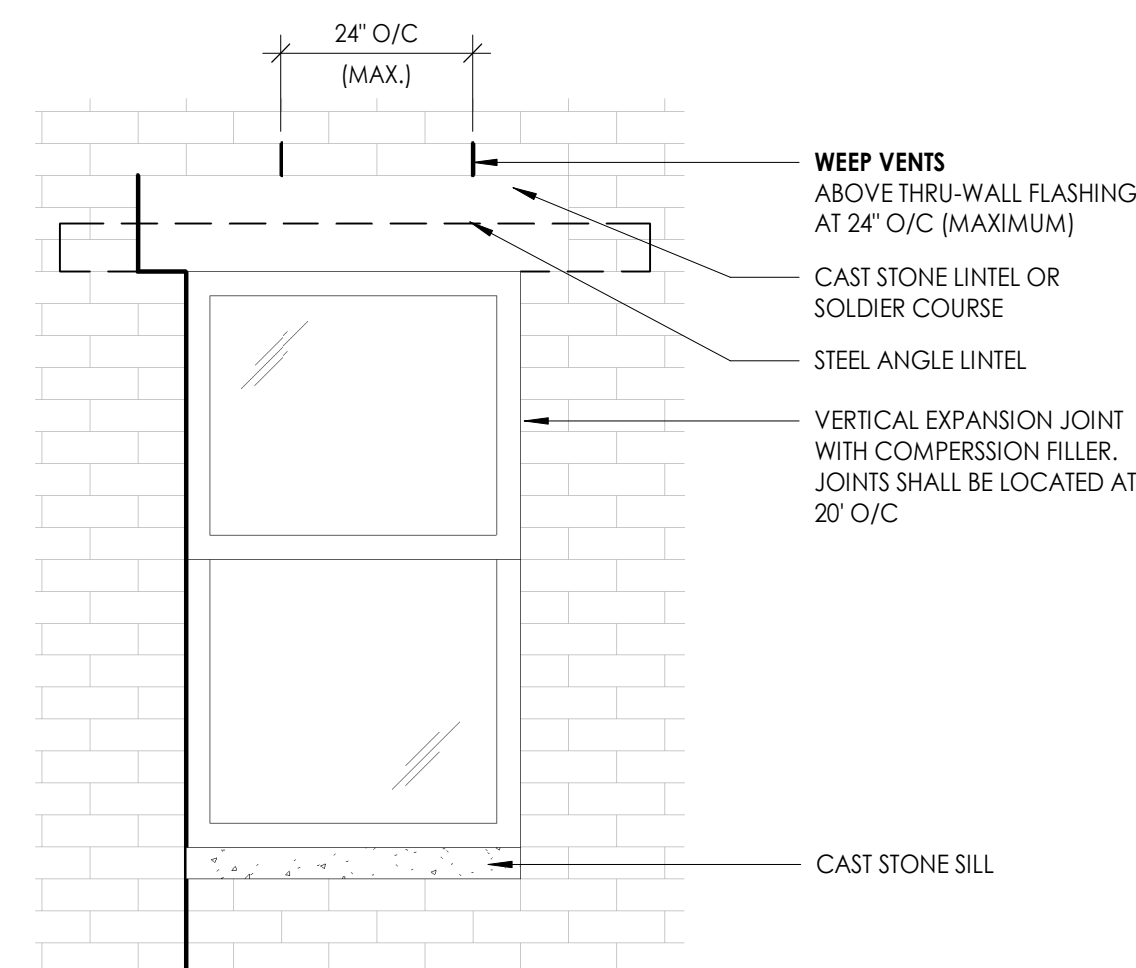
FLASHING DETAIL



SUB-FLASHING DETAIL

**2 DECK FLASHING DETAILS**

SCALE 1" = 1'-0"



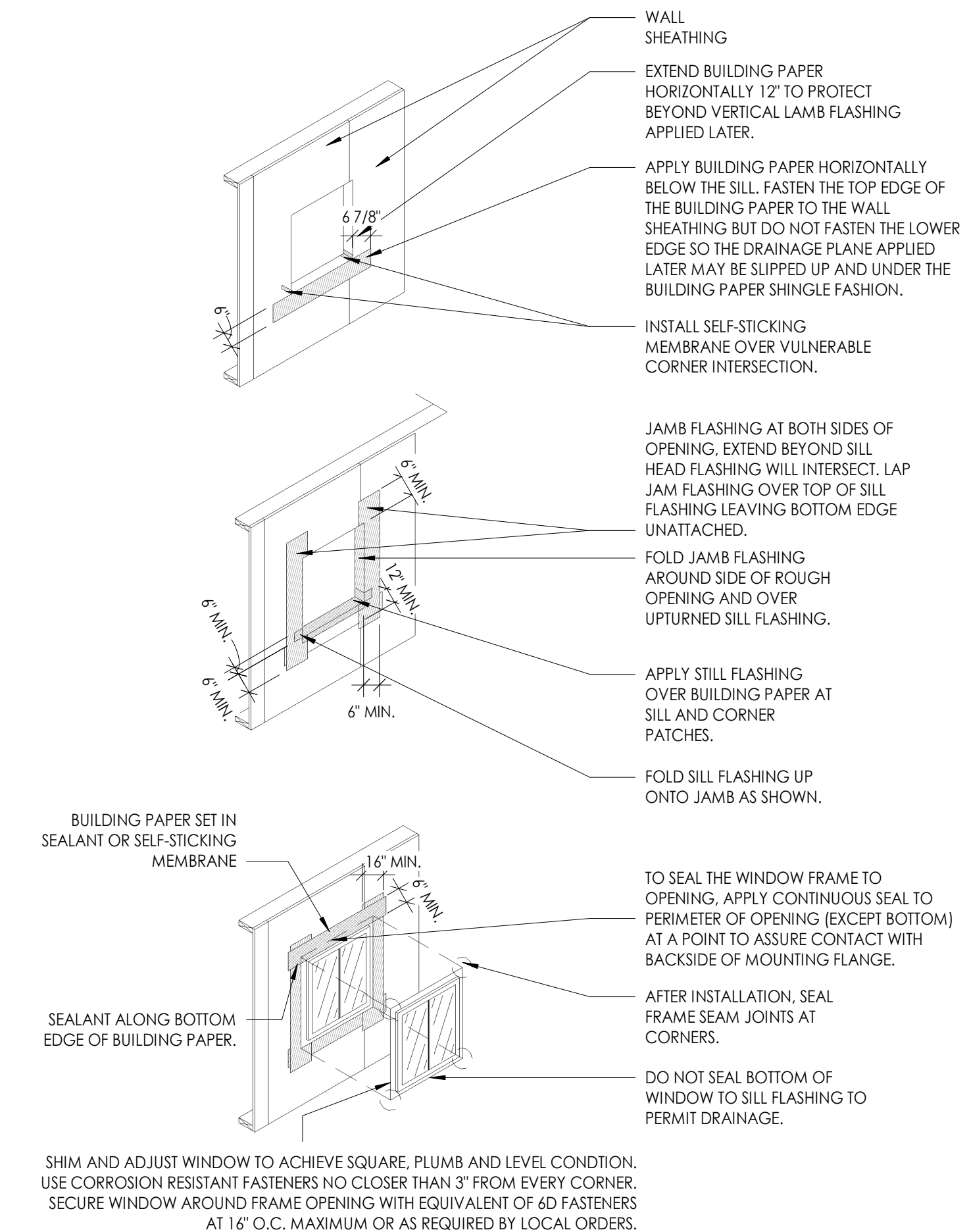
**1 MASONRY CONTROL JOINT DIAGRAM**

SCALE 3/4" = 1'-0"

- CMU VENEER CONTROL JOINTS**  
PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS:
1. AT 20' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE.
  2. AT ALL EXTERIOR CORNERS. LOCATE AT A DISTANCE OF 4" (MAXIMUM) FROM CORNER.
  3. AT ALL INTERIOR CORNERS.
  4. ADDITIONAL JOINTS SHALL BE LOCATED PER THE MASONRY ADVISORY COUNCIL'S RECOMMENDATIONS FOR CRACK CONTROL IN CMU VENEERS.
  5. PROVIDE ADDITIONAL LADDER REINFORCING AT 16' O/C MAXIMUM.
- BRICK/STONE VENEER CONTROL JOINTS**  
PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS:
1. AT 20' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITH OPENINGS.
  2. AT 25' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITHOUT OPENINGS.
  3. AT ALL INTERIOR CORNERS.
  4. ADDITIONAL JOINTS SHALL BE LOCATED PER THE RECOMMENDATIONS OF THE BRICK INDUSTRY ASSOCIATION'S TECHNICAL NOTES 18A DATED NOVEMBER 2006.

**3 WINDOW FLASHING DETAIL**

SCALE 1/4" = 1'-0"





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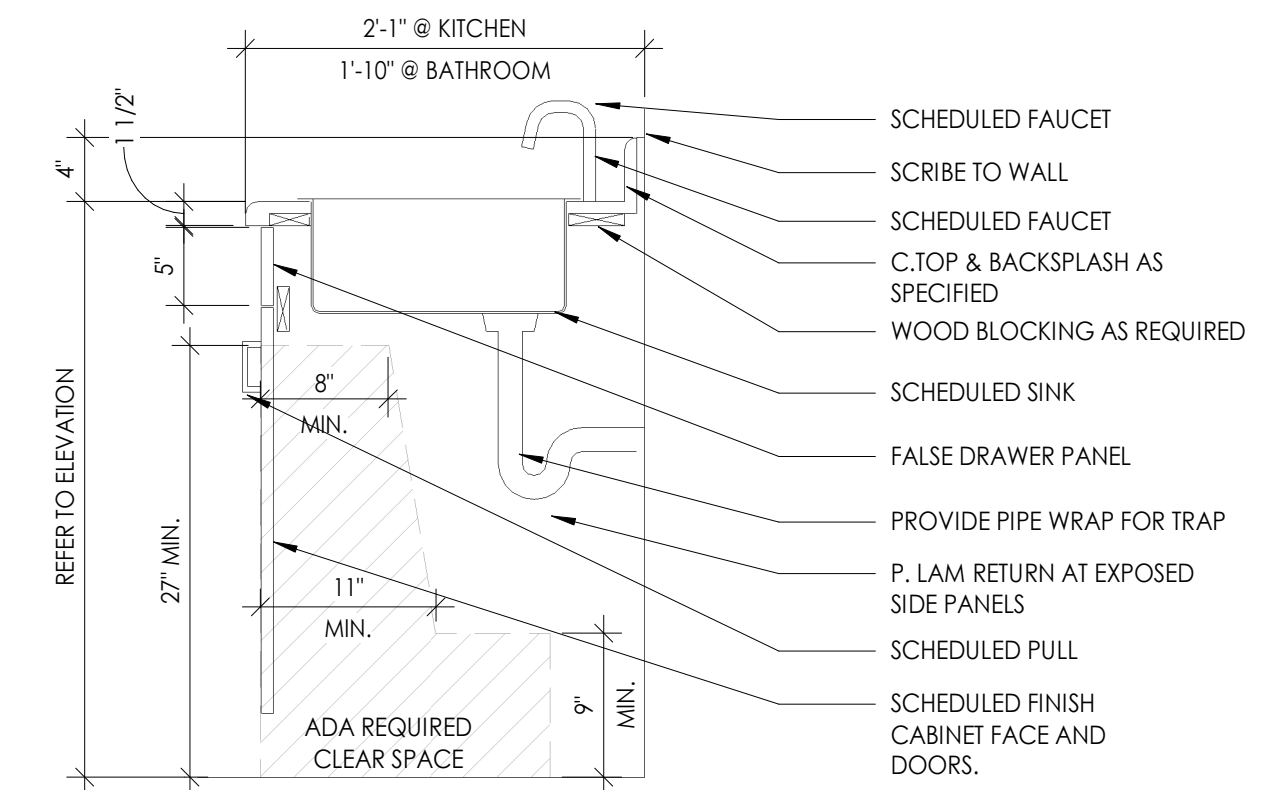
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

**SHEET**

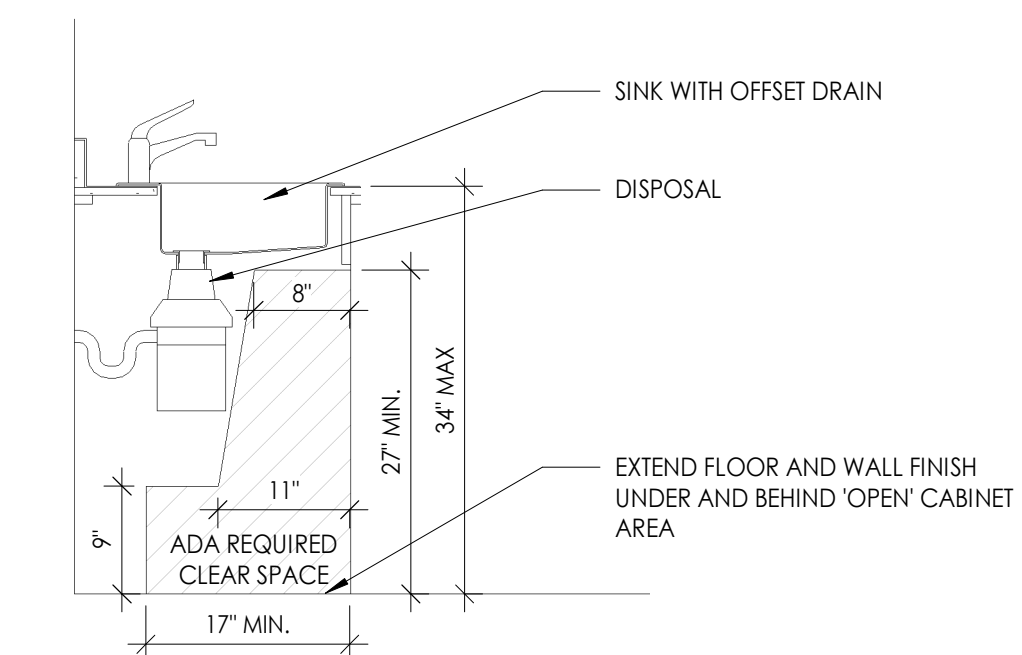
PROJECT DETAILS - INTERIOR

**A901**



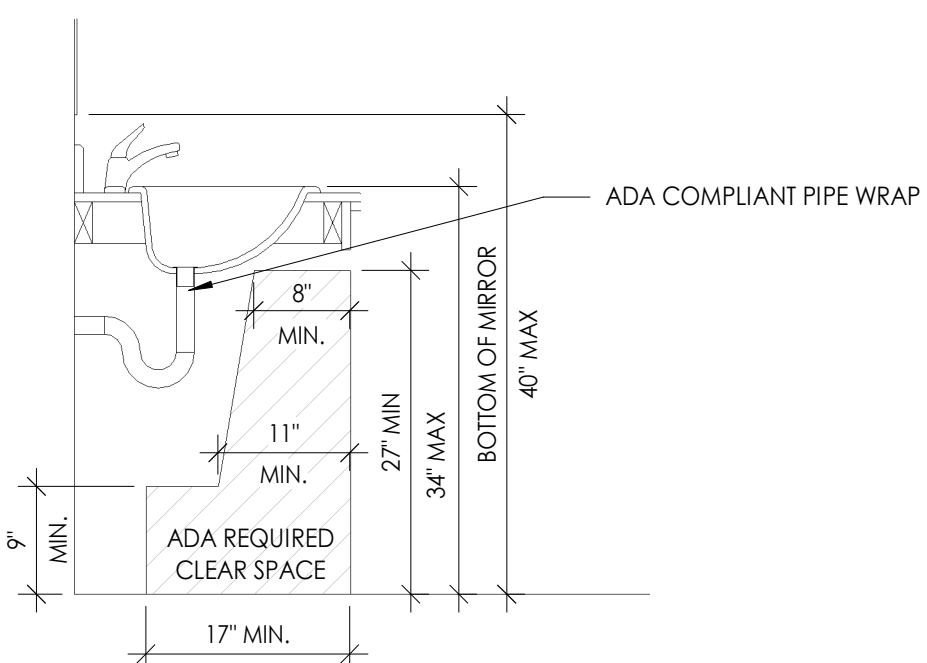
**4 BASE CABINET - ADA SINK CABINET**

SCALE 1" = 1'-0"



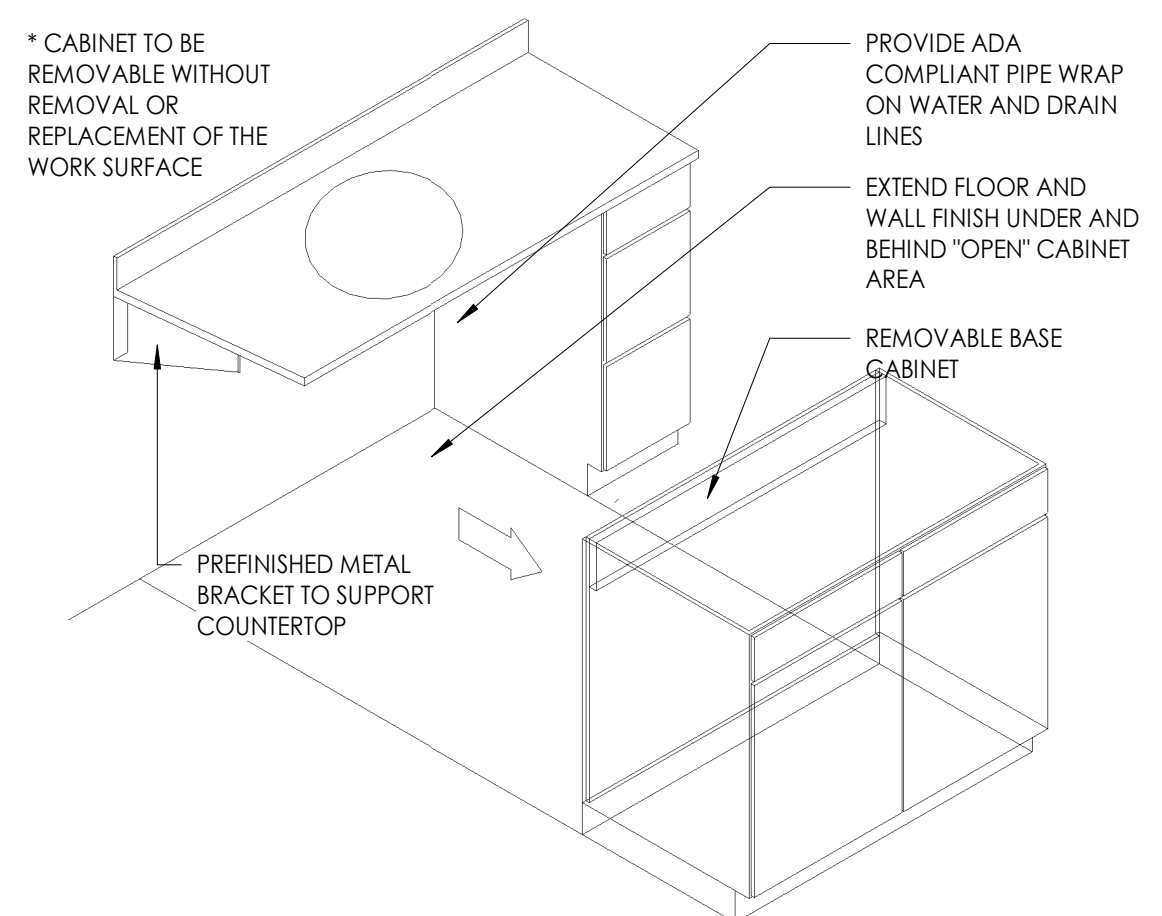
**3 KITCHEN SINK CLEARANCES**

SCALE 3/4" = 1'-0"



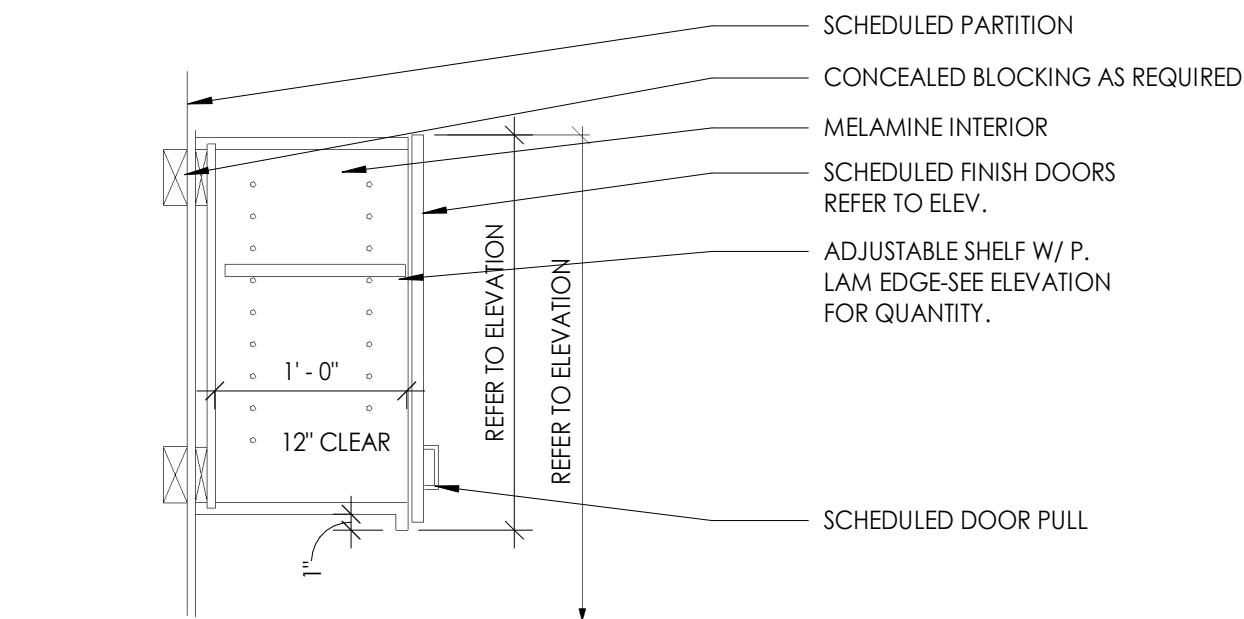
**2 ADA TOE & KNEE CLEARANCES**

SCALE 3/4" = 1'-0"



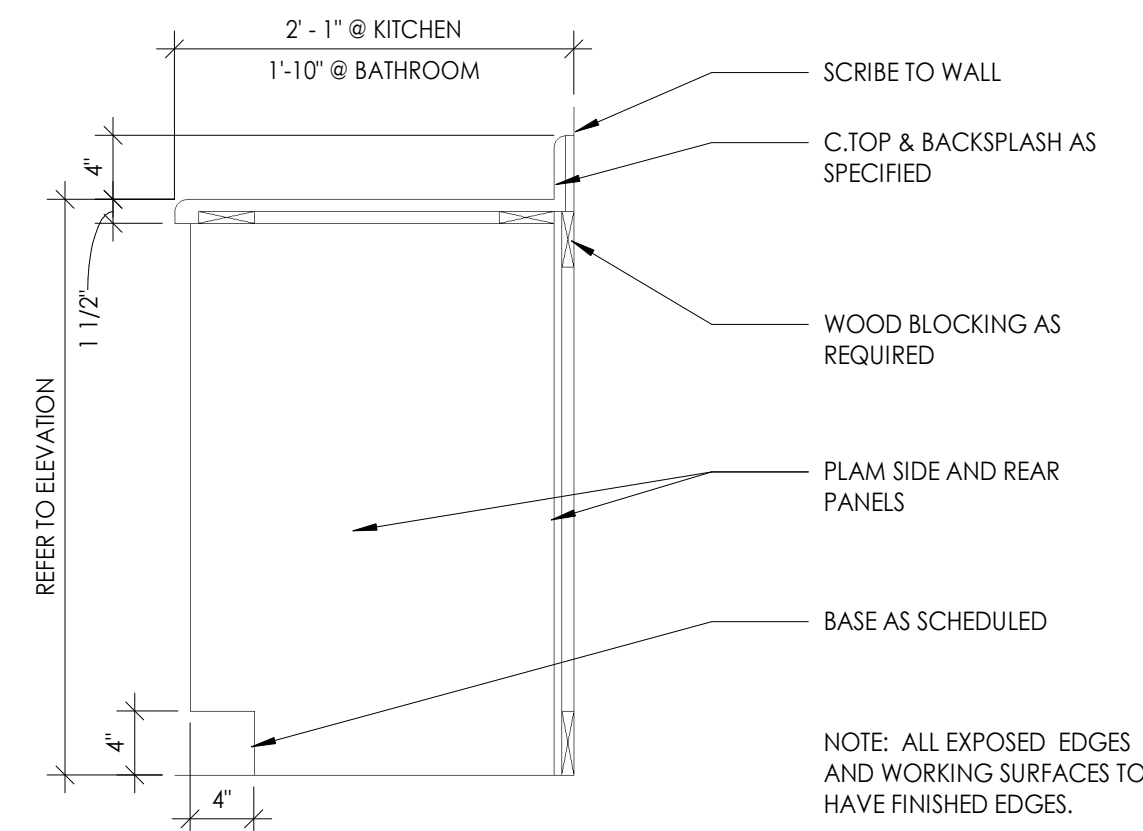
**1 REMOVABLE BASE CABINET**

SCALE 1/2" = 1'-0"



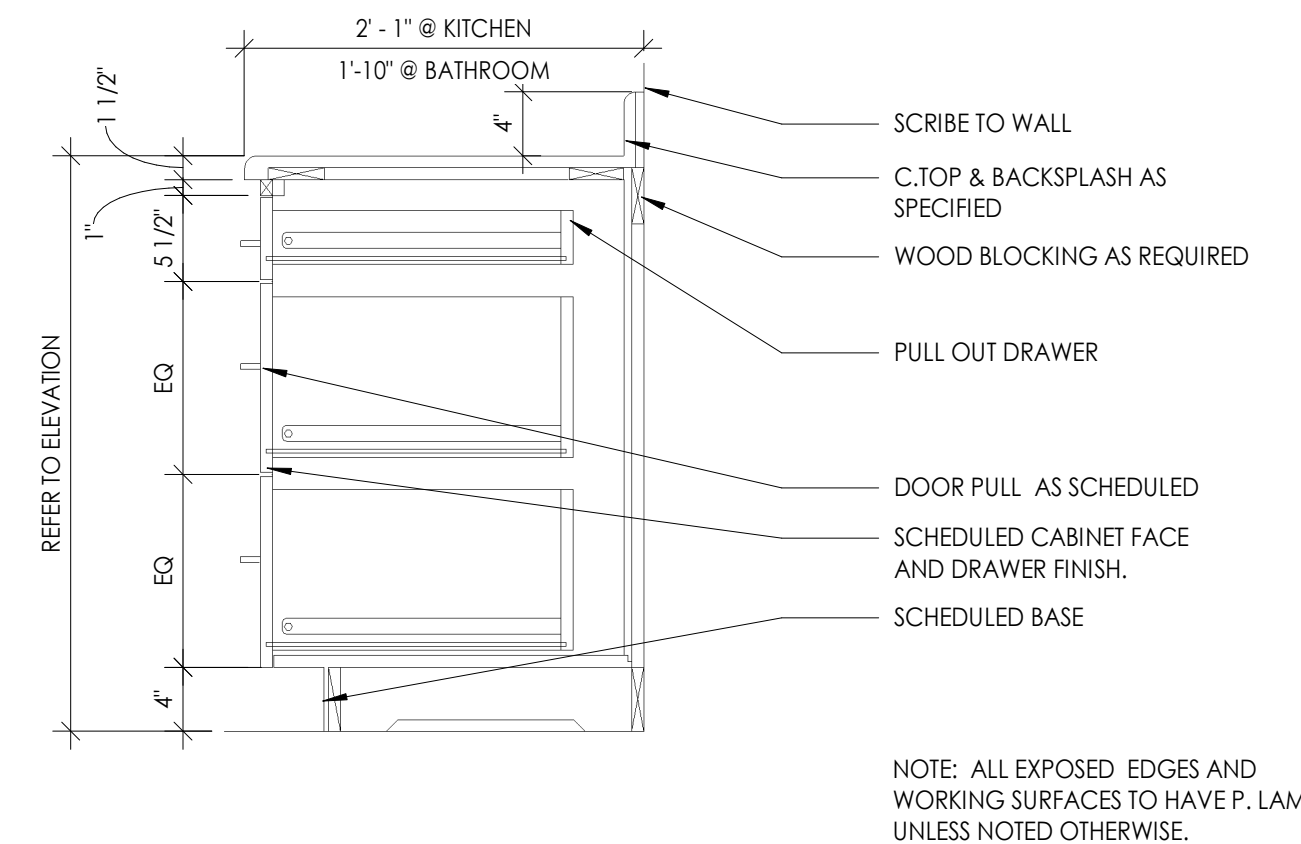
**8 OVERHEAD CABINET**

SCALE 1" = 1'-0"



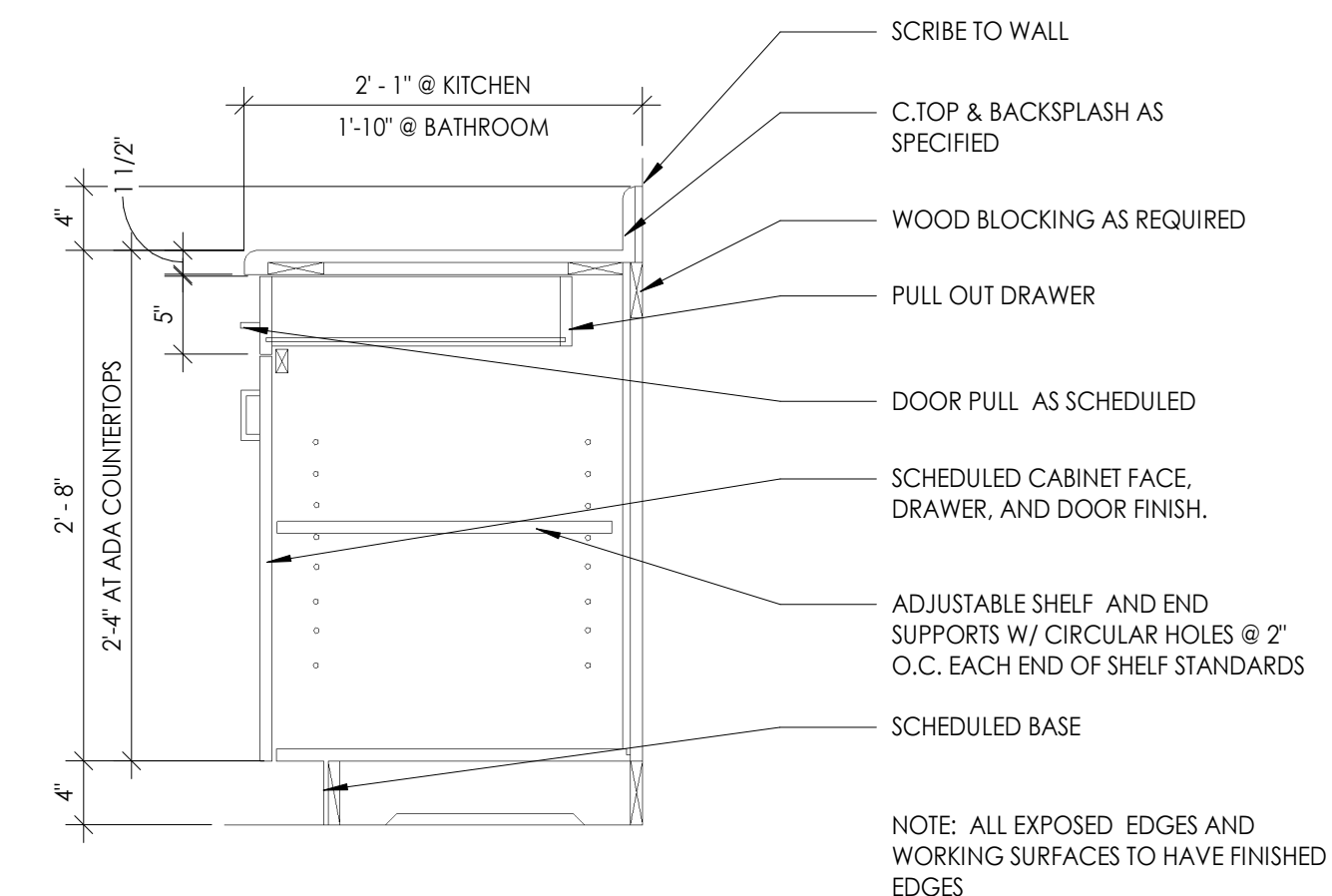
**7 OPENING AT REMOVABLE CABINET**

SCALE 1" = 1'-0"



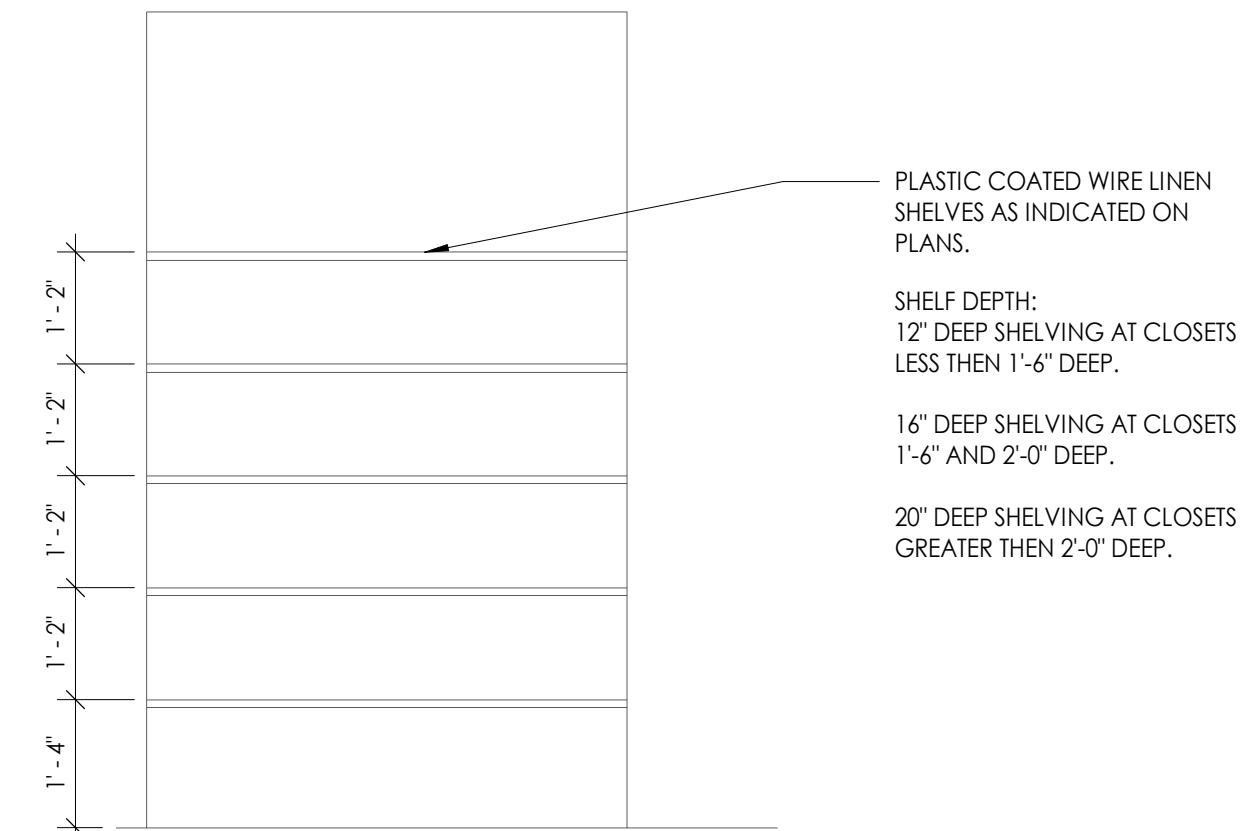
**6 BASE CABINET - 4 DRAWERS**

SCALE 1" = 1'-0"



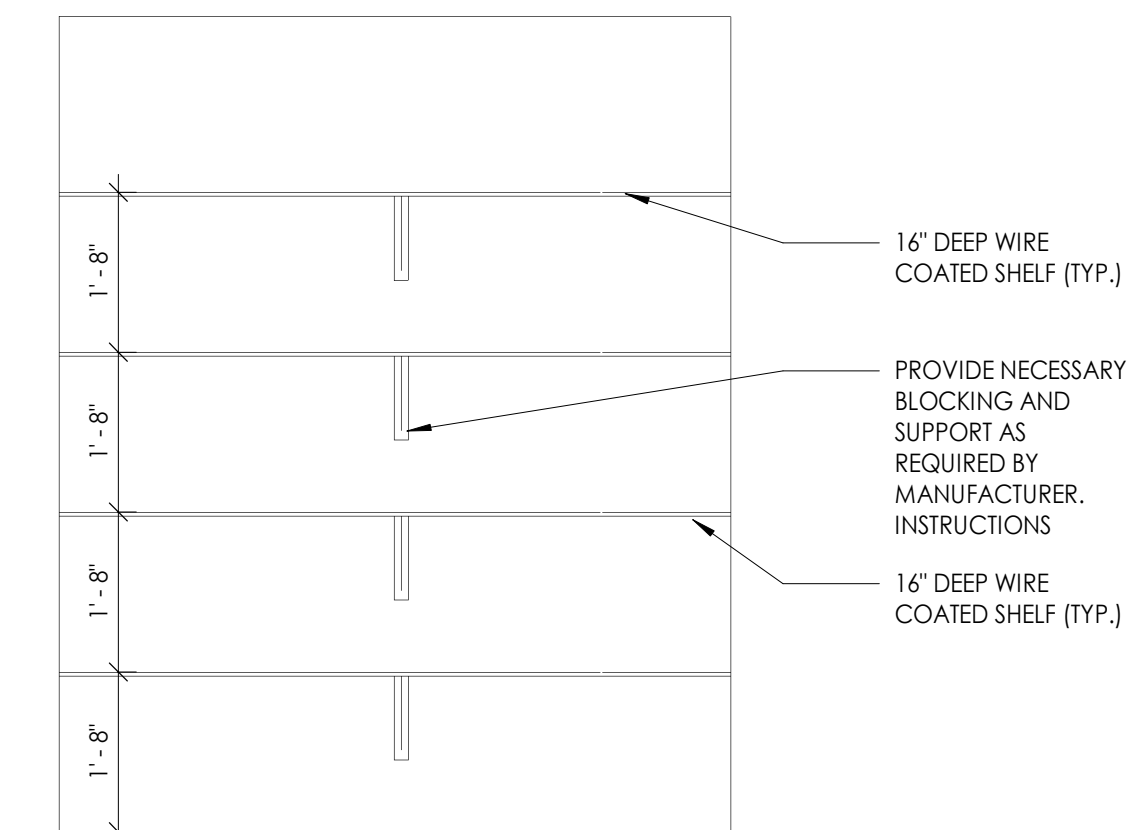
**5 BASE CABINET DOOR AND DRAWER**

SCALE 1" = 1'-0"



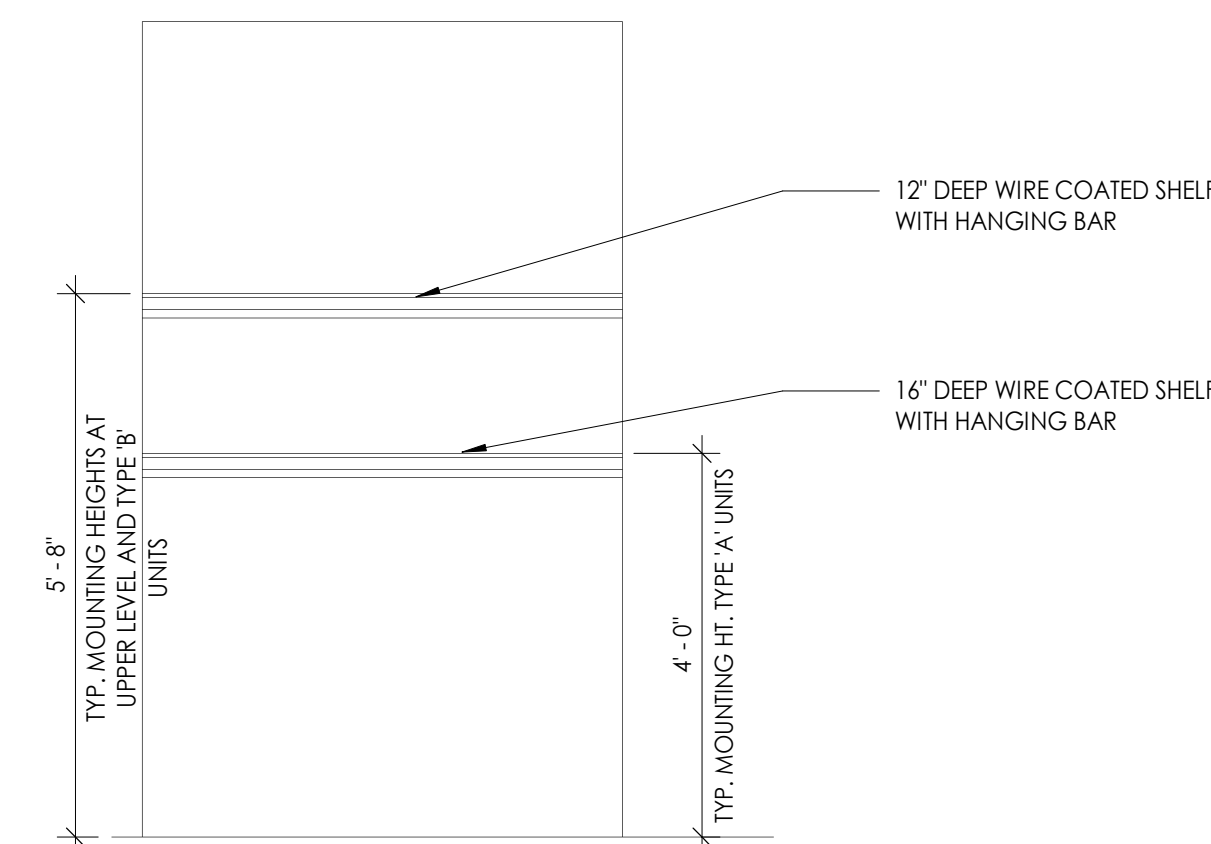
**12 LINEN SHELVES**

SCALE 1/2" = 1'-0"



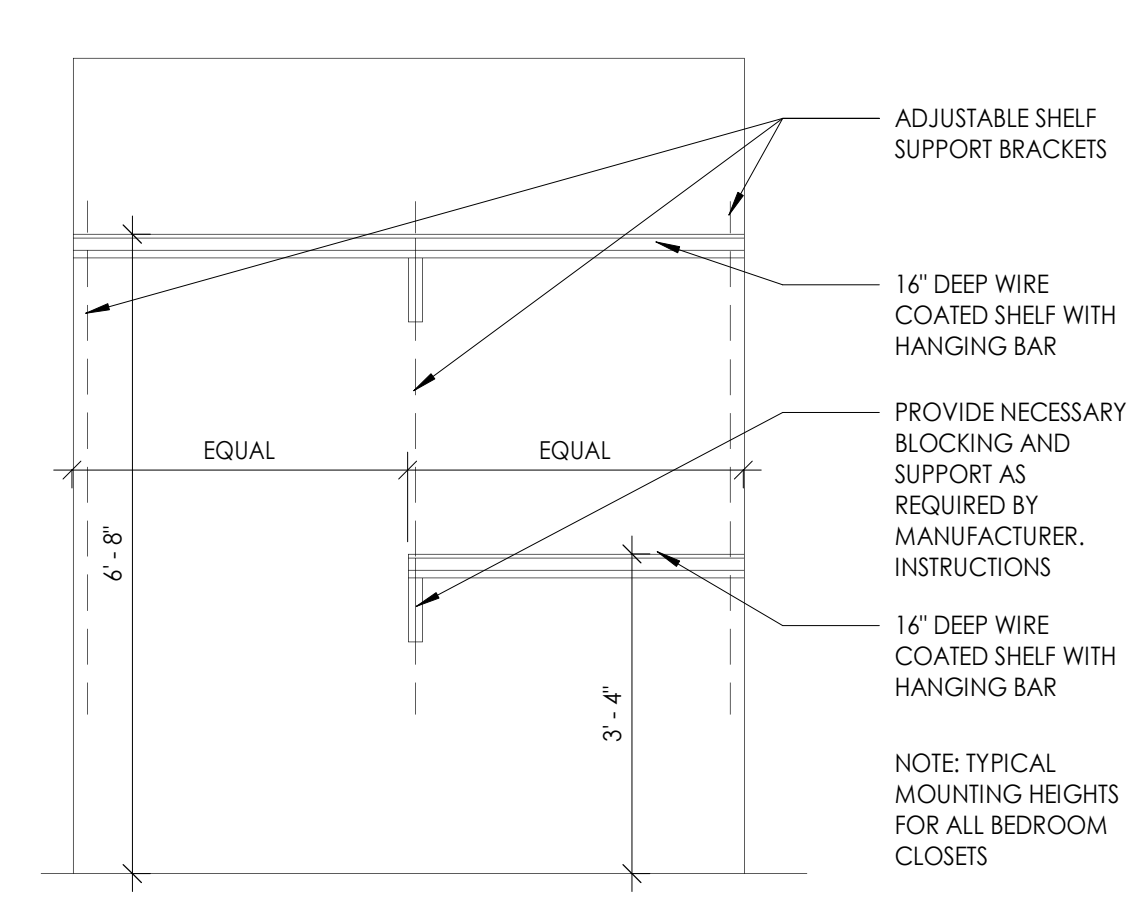
**11 PANTRY/LINEN CLOSET SHELVEING**

SCALE 1/2" = 1'-0"



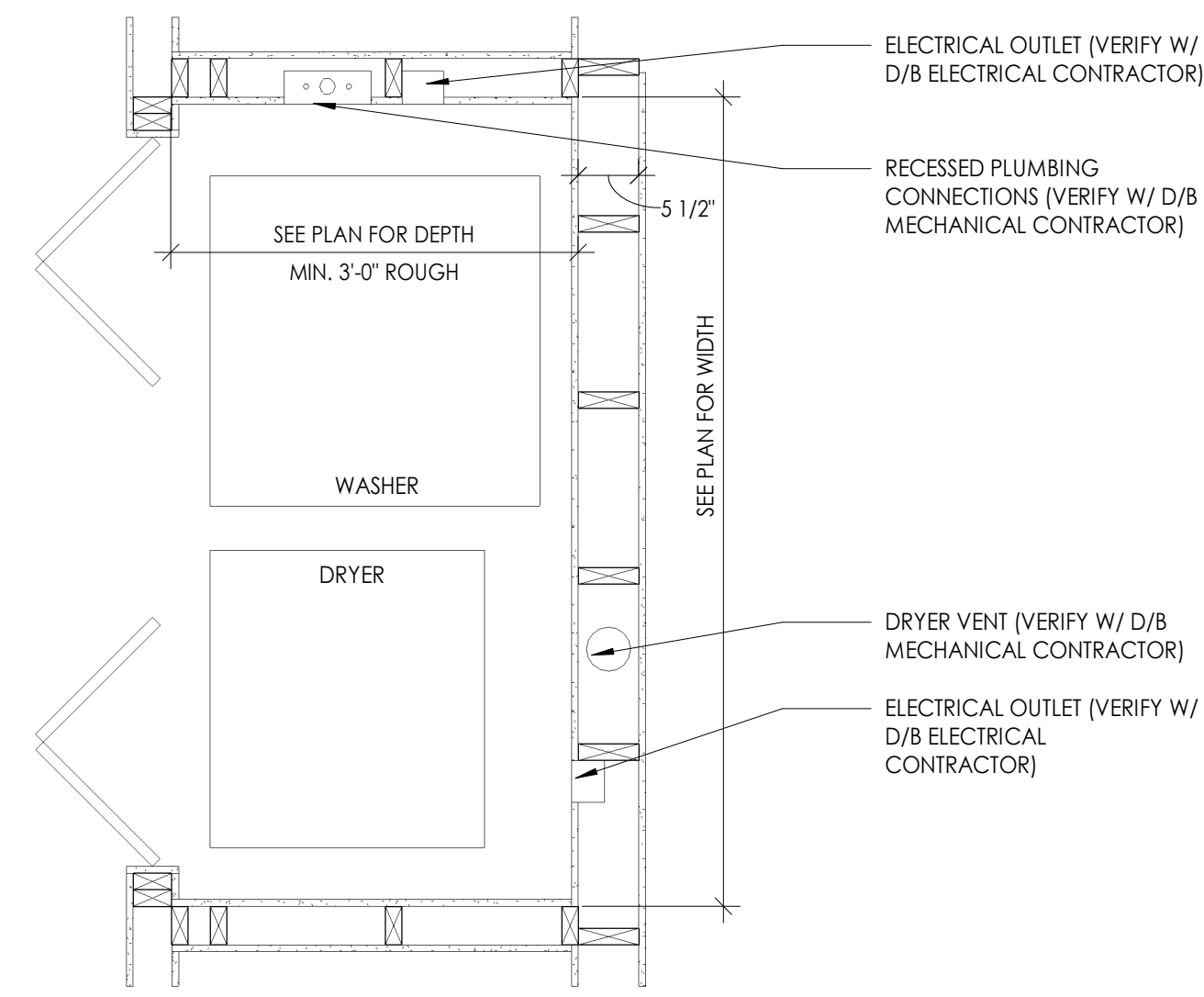
**10 COAT CLOSET SHELVEING**

SCALE 1/2" = 1'-0"



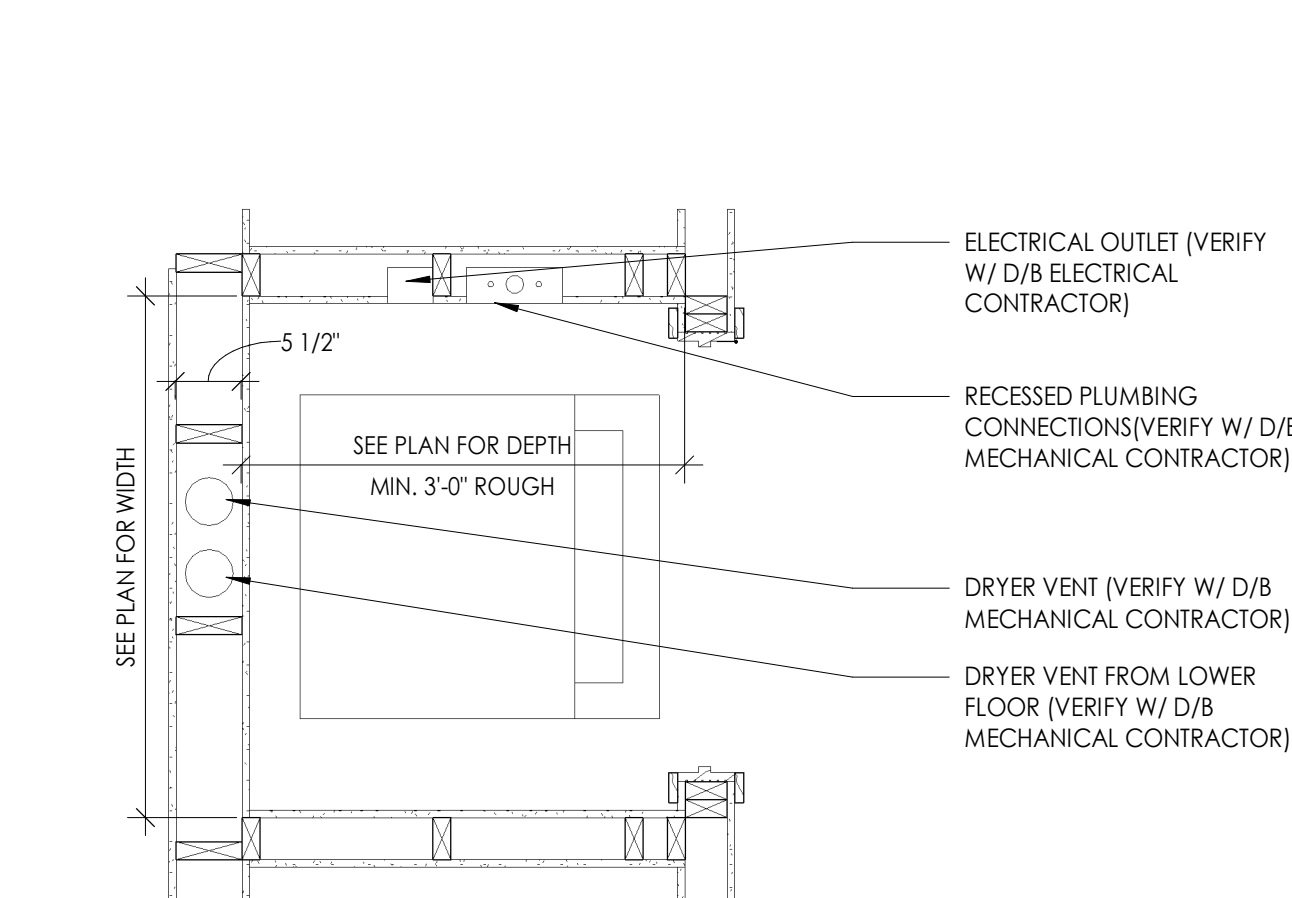
**9 BEDROOM/WALK-IN CLOSET SHELVEING**

SCALE 1/2" = 1'-0"



**14 WASHER / DRYER CLOSET**

SCALE 3/4" = 1'-0"



**13 WASHER / DRYER STACKED CLOSET**

SCALE 3/4" = 1'-0"

**PROJECT**

PROPOSED BUILDING FOR:

**THE GARDEN  
APARTMENTS**

4450 S 27TH STREET  
MILWAUKEE, WI

**OWNER**

FOURTY FOUR FIFTY LLC  
3861 S. 60TH STREET  
MILWAUKEE, WI 53220

**REVISIONS**

NO.	DESCRIPTION	DATE
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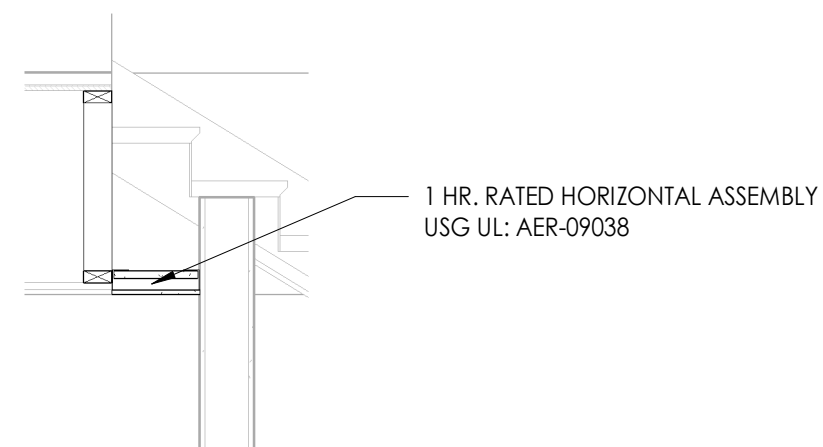
**INFORMATION**

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

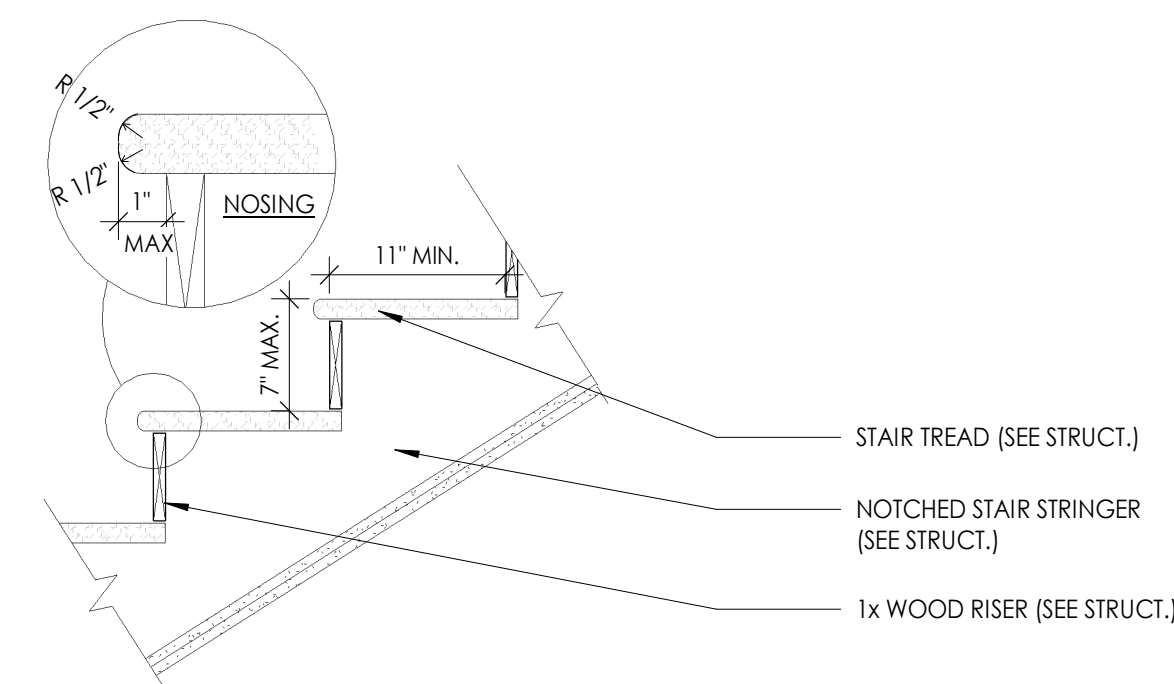
**SHEET**

PROJECT DETAILS - STAIR DETAILS

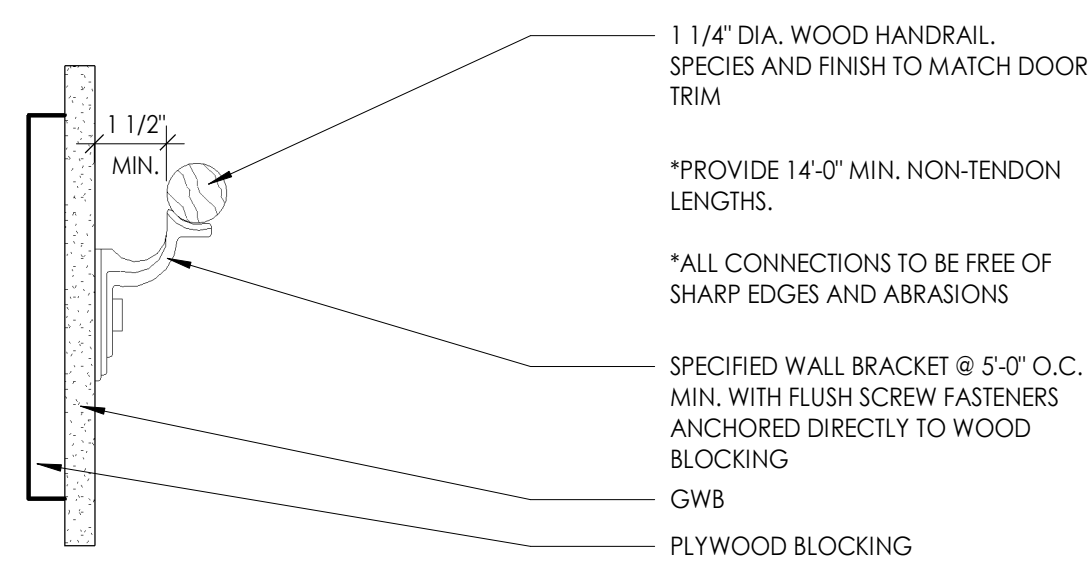
**A902**



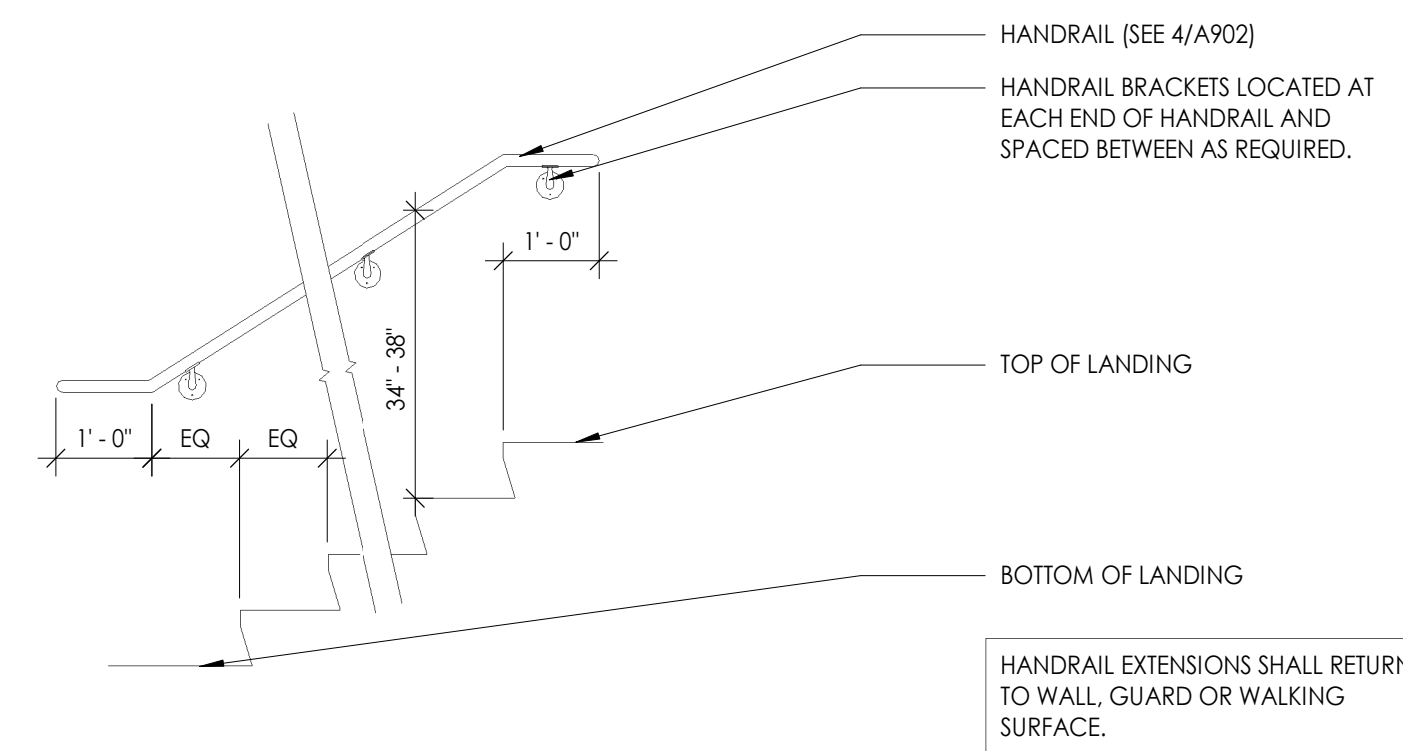
**5 FIRE RATED STAIR SOFFIT**  
SCALE 1/2" = 1'-0"



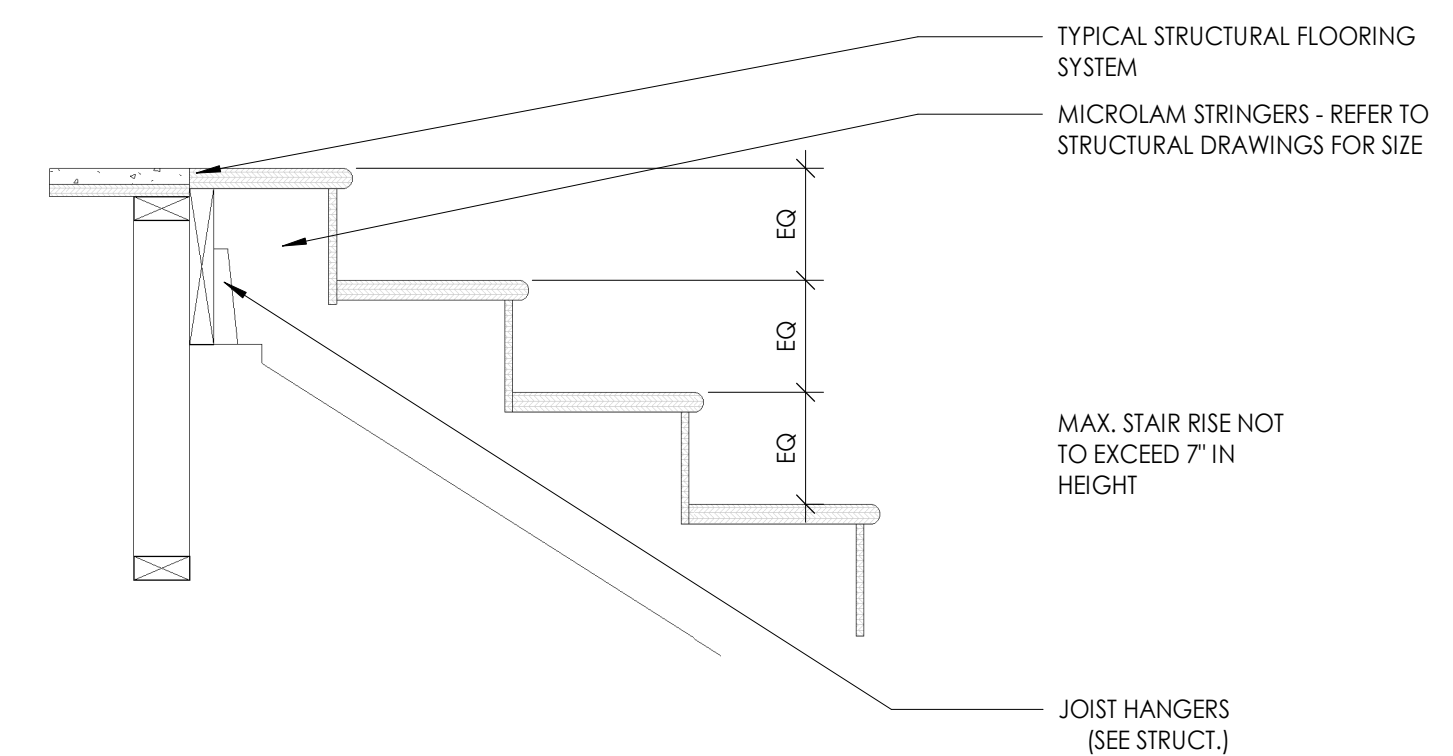
**4 STAIR NOSING DETAIL**  
SCALE 1" = 1'-0"



**3 STAIR HANDRAIL PROFILE**  
SCALE 3" = 1'-0"



**2 STAIR HANDRAIL DETAIL**  
SCALE 1/2" = 1'-0"



**1 TOP OF STAIR**  
SCALE 1" = 1'-0"