

STAFF REPORT WEST ALLIS PLAN COMMISSION Wednesday, January 22, 2025 6:00 PM

Watch: https://www.youtube.com/user/westalliscitychannel

- 4A. Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St.
- 4B. Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-001).

Overview and Zoning

Nabil Salous purchased the 5.5-acre property last year and has proposed to construct 60 townhome apartments over five buildings. The unit mix within each of the five buildings would consist of one, two, and 3-bedroom units. Each building has separate entraces to respective units, two floors, and includes an attached garage for one vehicle. Surface parking and pedestrian walkways are also shown on the site plan plan. An existing stormwater pond exists on the site as completed by a previous owner (Robert 100). The property sold for about \$750,000 last September. The total project cost is about \$10MM not including land cost. This was a private real estate transaction and the developer has not requested city assistance.

Prior to the current development proposal, this property was formerly occupied by Griffin's Hub Chrysler Jeep Dodge dealership until they moved in 2008. The property was then sold in 2012 to Milwaukee-based Joseph Property Development LLC and Boulder Venture (Robert 100) who demolished the vacant dealership buildings to make way for future retail development. This ownership subdivided the then 8-acre property into three lots. Two new lots along Hwy 100 (one lot developed as an AutoZone, and the other lot developed as a multi-tenant shopping center – HuHot, Tropical Café, Elements...). The remaining third lot (5.5-acres) has been available since. The prior ownership had contemplated five new retail buildings (small to mid-box), and even installed a stormwater pond and stormwater infrastructure to support this end, but the site wasn't accepted as marketable for mid box retail despite being in the center of a retail triangle bordered by Highway 100, West National Avenue and West Oklahoma Avenue.

The city also received a number of other development proposals over the past decade including self-storage, vehicle storage yards, vehicle repair and sales, industrial contractor garages, and thrift organization related but none considered appropriate from either a zoning and/or future land use perspective, nor in alignment with the Hwy 100 corridor plan.

Of note, the Hwy 100 corridor plan suggests that there is an opportunity for new, targeted residential development.



Site and Landscaping Plan

Site access is proposed to remain the same with an existing drive from W. Oklahoma Ave (County Hwy NN), and S. 108 St. (State Hwy 100). Both Milwaukee County and the Wisconsin Department of Transportation have been informed about the new residential development. A traffic study technical memo is recommended to analyze impact on both County and State Hwy and specifically the main intersection.

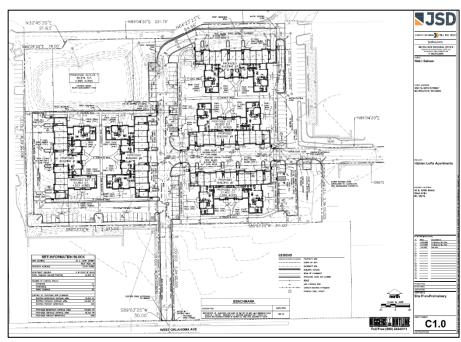
Off-street parking - Each dwelling unit includes an attached garage for one vehicle, and access to surface parking. A total of 76 surface parking spaces are proposed throughout the site and around the new buildings. The combination of garage (60 spaces) and surface parking stalls (76 spaces) exceeds the zoning limit (120 spaces max). Staff requests additional information on the need for the quantity and expected use or assignment of surface parking spaces for this residential development. The zoning code utilizes maximum parking requirements. For dwellings of more than 3 units a maximum limit of 2 parking spaces per unit are allowed. See zoning sec. 19.44 vehicle parking.

Type of Use	Maximum Parking Spaces
Dwelling (3 or more units)	2 per dwelling unit

The developer indicated they expect some households could have more than two cars. Of note, when considering that most residents may also park vehicles on the approach outside their attached garage, this would offer some support to any assumption that some households could have more than two motor vehicles.

Since this is a conditional use,
Common Council may consider exceeding maximum parking limit (the 2 car per unit max).
However, staff is recommending reducing the amount of proposed off-street surface parking not to exceed the zoning limit.

The additional space gained could offer an opportunity for more greenspace/curb



appeal, enhance opportunity for resident amenities, snow storage, additional refuse areas on site, and offering improved connectivity both on site and access to surrounding businesses.

Why Parking maximums - Off-street parking maximum standards in zoning ordinances limit the construction of parking lots that are larger than necessary. Historically, local governments across the U.S. have routinely set parking minimums in their land development regulations for various types of uses. The purpose of parking minimums is to ensure that there are sufficient off-street parking spaces for each development based, typically, on the building use and size. Increasingly, local governments recognize the need to limit parking for a variety of reasons (growth/density, walkable/comfortable neighborhoods and thriving urban corridor, added taxable value proposition, parking isn't free, high cost, sustainability) and therefore establish parking maximums in their regulations, establishing an upper bound for the number of spaces allowed for a specific use, thus controlling the amount of land and impervious surface associated with parking.

Bicycle parking - Per Code, all dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units. Each unit will have at least one garage stall of about 13-ft wide x 28-ft deep which is deep enough to allow some storage area in front of a parked motor vehicle. In addition, staff recommends five outdoor bicycle racks on site (one for each building).

Refuse area - A central refuse/recycle area with enclosure is located on the main drive into the site from Hwy 100. Each residence deposits individual waste and recyclables into the centralized area.

Staff are recommending at least one additional centralized refuse area to ease/reduce the distance residents walk or travel to deposited trash. Four sided enclosures are recommended/proposed for the refuse areas. A separate personnel door access so the larger gates don't need to be opened by residents. A commercial hauler will be contracted by the developer.

A centralized mailbox area will also be incorporated toward the east side of the site.

Internally the buildings and surface parking area connected via a series of pedestrian walkways providing access to each building. Staff is recommending a sidewalk connection be added on site to the public right-of-way along both Hwy 100 and W. Oklahoma Ave. Similar staff expects walk-

desire lines to develop between the development site and Fortune Restaurant property and Shoppes on 100 shopping center (Starbucks, UPS store...). Connectivity between properties is an important consideration when redeveloping sites in the city. A sidewalk connection on at least one side of the main private entry drives should be incorporated into the site plans.



Landscaping - A detailed landscaping plan will be required as part of the project. The perimeter of the site will feature greenspace varying from 14-ft to 20-ft in width. There are also some areas around and between buildings offering some internal green space. The total percentage of green space is about 32% of the property area.

With respect to the existing stormwater pond on the NW corner of the site, staff is encouraging the developer to incorporate some additional site/landscaping improvements including a walk path and bench(es) around, or at least partially around the existing pond area. Natural plantings could be installed as a common area aesthetic amenity for residents.

Architectural Plan

The architectural plan shows a total of five 2-story buildings. The area of each floor of the building is about 10,600-sf, or a total of 21,000-sf per building. All buildings will be sprinklered.

Unit Mix (per building)

					ADA TYPE-A UN		
STUDIO	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	TOTAL UNITS
0	2	5	4	0	1	0	12

First floor tenants have direct access into their units from the attached garages. Second floor tenants will enter via an exterior entrance outside of their attached garage with internal stair access to their respective unit.

The exterior materials of each building will consist of <u>James Hardie</u> lap siding on the first and second floors with <u>Halquist</u> decorative stone accent walls (full depth stone) around the resident

entry ways. Second floor apartment units will feature aluminum railed balconies. The first-floor garage doors will offer a wood paneled appearance. The massing of the building is broken up with contrasting colors of siding transitioned by a horizontal trim feature, balconies, gabled roof features, and projecting entry elements with full depth stone to avoid a flat unarticulated look.







Design Guidelines

Compliance with the design guidelines is mandatory for new

development. A summary of this project with respect to applicable guideline requirements is included in the attached Plan Commission checklist.

Recommendation: Common Council approval of the Conditional Use Permit for a proposed 5+ Unit Dwelling development and approval of the Site, Landscaping, and Architectural Design Review for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-

001) subject to the following conditions being satisfied in advance of a building permit being issued:

- 1. Common Council approval of the Conditional use permit (scheduled February 11, 2025).
- 2. Revised Site, Landscaping, and Architectural plans submitted to show the following: (a) a sidewalk connection on at least one side of the main private entry drives to/from public right of ways of W. Oklahoma Ave. and S. 108 St. (Hwy 100) being incorporated into the site plans; (b) reduction of 16 off-street parking spaces (per sec. 19.44), (c) submittal of a landscaping plan and species reference list for review and approval by City Forester; (d) show/add snow storage areas and at least one additional 4-sided screened refuse area on the site plans. Incorporate personnel door into refuse enclosures; (e) Incorporating a walk path/trail amenity adjacent to existing stormwater pond; (f) a full hammerhead turnaround should be installed at the dead end on the west side of the site (g) one exterior bicycle rack per building; (h) site lighting plan and photometric/lighting plan; (i) turning radius shown on a site plan for fire trucks.
- 3. A full utility plan (water, storm, sanitary) being submitted for review by Engineering Department. Additional hydrants as required per Fire Department.
- 4. A stormwater management plan showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Code Enforcement Department by a registered Civil Engineer. The plan should be modeled to show how proposed elevations work with the pond as built. The plan will also be reviewed by the City Stormwater consultant per ordinance.
- 5. Access management. A traffic study/technical memo being prepared for review and approval by the City Engineer.
- Planned work or modifications within right-of-way shall be coordinated with City Engineering, Milwaukee County, and WisDOT. Contact Greg Bartelme (414) 302-8367.

PLAN COMMISSION CHECKLIST

Goal:

Context

Objective	Criteria	Notes
	i. Street wall	
a. Neighbor	ii. Scale	
a. Neighbor	iii. Historic neighbors	
	iv. Connectivity	
	i. Orientation	
b. Site	ii. Unique features	
D. Oile	iii. Historic elements	
	iv. Additions	

2.

Goal:

Public Realm

Objective	Criteria	V	Notes
	i. Tall and clear ground floor		
a. Active Ground Floor	ii. Street edge		
	iii. Active uses		
	iv. No blank walls		
	i. Engaging spaces		
b. Build for	ii. Accessible spaces		
People	iii. Built-out site		
	iv. Pedestrian connections		
	i. Vehicle parking		
c. Mitigate	ii. Utilities and services		
Impacts	iii. Lighting		
	iv. Fencing		

Goal:

Quality

Objective	Criteria	Notes
	i. Quality materials	
a. Building	ii. Ground floor	
a. Building	iii. Exterior features	
	iv. Quality design	
	i. Natural features	
b. Environment	ii. Manage stormwater	
	iii. Reduce impervious surface	
	iv. Embody sustainability	

Hidden Loft LLC

108 Street/Oklahoma

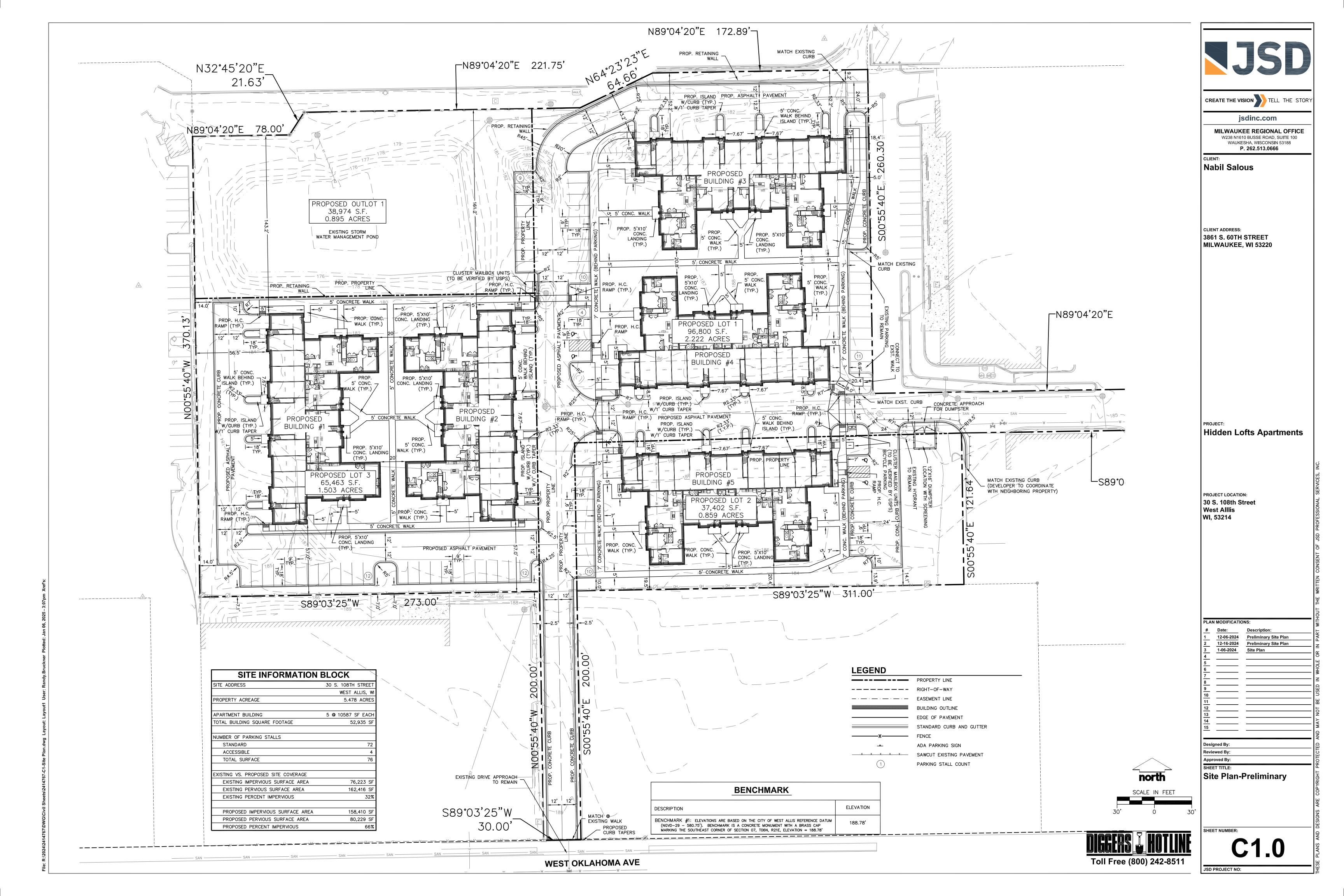
This project involves the development of 5.5 acres of vacant land into 5 small apartment buildings.

All these buildings are identical in design and area, 2 story high with attached garages.

Slab on grade without basement

Each unit would have separate entrance without any public hallway or common space

We would like to start the project early spring of 2025



CODE ANALYSIS

APPLICABLE CODES

IBC 2015 STATE OF WISCONSIN COMMERCIAL BUILDING CODE STRUCTURAL: IBC 2015, STATE OF WISCONSIN COMMERCIAL BUILDING CODE ACCESSIBILITY: ICC/ANSI A117.1-2009 FOR ACCESSIBLE AND USABLE BUILDINGS AND

COMPONENT RATINGS - 5B CONSTRUCTION

FLOOR FRAMING 0 HOUR **ROOF FRAMING** EXTERIOR WALLS (BEARING) 0 HOUR INTERIOR WALLS (BEARING) 0 HOUR INTERIOR WALLS (NON-BEARING) 0 HOUR UNIT SEPARATION 1 HOUR GARAGE SEPARATION 1 HOUR

MAXIMUM TRAVEL DISTANCE:LESS THAN 250'

ATTIC COMPARTMENTALIZATION: EVERY 2 UNITS OR 3,000 SF MAX (WHICHEVER IS SMALLER)

<u>BUILDING</u> RESIDENTIAL R-2 (APARTMENT) UTILITY U (PRIVATE GARAGE)

AREA FIRST FLOOR: 10,672 SF SECOND FLOOR: 10,528 SF TOTAL AREA: 21,056 SF

CONSTRUCTION CLASSIFICATION 5B -WOOD FRAMED CONSTRUCTION SPRINKLER PROTECTION THROUGHOUT: YES PER NFPA 13R ALLOWABLE HEIGHTS AND AREAS 7,000 SF / 2 LEVELS INCREASED AREA (FRONTAGE): -WEIGHTED AVG. OPEN SPACE WIDTH SURROUNDING BLDG = 20 FEET

FIRE APPARATUS ACCESS BUILDING UNLIMITED IN AREA:

BUILDING EQUIPPED W/ FIRE SPRINKLER: FIRE LANES WITHIN 150' OF ALL PERIMETERS:

UNIT MIX FOR DEVELOPMENT

					ada type-a un		
STUDIO	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	ONE BEDROOM	TWO BEDROOM	THREE BEDROOM	total units
0	2	5	4	0	1	0	12
				0	1	0	12
				0	1		

1. A MINIMUM OF 2% OF ALL UNITS SHALL BE TYPE-A ACCESSIBLE AND PROVIDED THROUGH-OUT DEVELOPMENT 2. ALL GROUND FLOOR UNITS ARE DESIGNED TO MEET TYPE-B UNITS FOR ADAPTION. 3. ALL UPPER LEVEL UNITS ARE NOT REQUIRED TO MEET TYPE-A OR TYPE-B REQUIREMENTS (NO ELEVATOR).



DENOTES TYPE-B UNIT TO BE UPGRADED TO BE A TYPE-A ACCESSIBLE UNIT. REFER TO DETAILS FOR ADDITIONAL NOTES AND

G000 TITLE PAGE G001 PROJECT INFORMATION AND INDEX A001 PROJECT SYMBOLS AND NOTES A002 SCHEDULES AND FINISHES DOOR TYPES AND SCHEDULES WALL TYPES AND DETAILS

ARCHITECTURAL SITE PLAN CONSTRUCTION PLAN - 2ND FLOOR

> STRUCTURAL S001

> > \$101

\$602

 $-If = (1-0.25) \times 25/30 = 0.625$ $-7,000 \times 0.625 = 4,375sf$

-4,375+ 7,000 = 11,375 PER FLOOR ALLOWED

PRIMARY OCCUPANCY:

NO

YES (NFPA 13R) FIRE APPARATUS ACCESS ROAD AT LEAST 20': YES

DRAWING INDEX

TITLE ARCHITECTURAL ACCESSIBILITY FEATURES (2009 ANSI A117.1)

A021 WALL TYPES AND DETAILS WALL TYPES AND DETAILS EXTERIOR CONSTRUCTION PLAN - 1ST FLOOR

BUILDING ELEVATIONS-COLOR

BUILDING ELEVATIONS DETAILS

ENLARGED UNIT PLANS & ELEVATIONS

PROJECT DETAILS - EXTERIOR

PROJECT DETAILS - EXTERIOR

PROJECT DETAILS - EXTERIOR

PROJECT DETAILS - INTERIOR

GENERAL NOTES

FOUNDATION PLAN FLOOR FRAMING PLAN ROOF FRAMING PLAN FOUNDATION DETAILS

FLOOR FRAMING DETAILS ROOF FRAMING DETAILS

PROJECT DETAILS - STAIR DETAILS

BUILDING SECTION

WALL SECTIONS

CONSTRUCTION PLAN - ROOF **BUILDING ELEVATIONS BUILDING ELEVATIONS**

OCCUPANCY USE (IBC CHAPTER 3) RESIDENTIAL (R-2)

EXTERIOR WALLS FIRE SEPARATION DISTANCE: 10'-0"<X<30'-0" = 0 HOURS

WALL OPENINGS PROTECTED/UNPROTECTED: UNPROTECTED

PROJECT

PROPOSED BUILDING FOR:

STEPHEN

ARCHITECTS, INC.

215 N. WATER STREET, SUITE 250

MILWAUKEE, WI 53202

T 414.277.9700 | F 414.277.9705

spsarchitects.com

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

GENERAL CONTRACTOR

SALOUS CONSTRUCTION MANAGEMENT LLC

3861 S 60TH ST MILWAUKEE, WI 53220-1908 CONTACT: NABIL SALOUS PHONE: 414.460.6185 FAX: -

CIVIL

ETN ENGINEERING

2504 W BRIDGE ST MILWAUKEE, WI 53221 CONTACT: EMAD NADI PHONE: 414.324.4129 FAX: -

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

LANDSCAPE

RA SMITH

16745 W BLUEMOUND RD BROOKFIELD, WI 53005-5938 CONTACT: TOM MORTENSEN PHONE: 262.781.1000 FAX: 262.781.8466

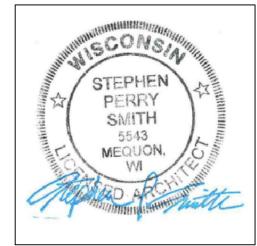
REVISIONS

DESCRIPTION

ARCHITECTURAL

STEPHEN PERRY SMITH ARCHITECTS

215 N. WATER ST, SUITE 250 MILWAUKEE, WI 53202 CONTACT: STEPHEN PERRY SMITH PHONE: 414.277.9700 FAX: 414.277.9705



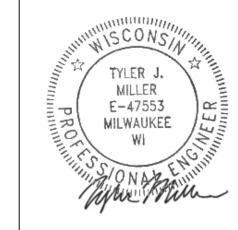
INFORMATION

PROJECT ARCHITECT	SP
PROJECT MANAGER	EJI
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

STRUCTURAL

REYN ENGINEERING, INC.

131 W SEEBOTH ST, SUITE 220 MILWAUKEE, WI 53204 CONTACT: TYLER MILLER PHONE: 920.517.0164 FAX: -



SHEET

PROJECT INFORMATION AND INDEX



FIRE PROTECTION D/B NOTES

- ALL FIRE PROTECTION INFORMATION IS SHOWN FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR A COMPLETE SYSTEM DESIGN, CONSTRUCTION, AND COORDINATION WITH OTHER TRADES, OWNER AND/OR CONTRACTOR SUPPLIED EQUIPMENT AND EXISTING
- FIRE PROTECTION CONTRACTOR TO PROVIDE ANY AND ALL DRAWINGS AND CALCULATIONS AS REQUIRED BY STATE AND LOCAL CODES FOR PERMIT.
- EXISTING FIRE SPRINKLER AND MECHANICAL TO BE FIELD VERIFIED. UPGRADE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION IN ACCORDANCE WITH FEDERAL, STATE AND

ELECTRICAL D/B NOTES

- ALL ELECTRICAL INFORMATION, INCLUDING BUT NOT LIMITED TO, LIGHTING POWER, EXIT LIGHTING, DATA, AND TELEPHONE IS SHOWN FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR SYSTEM DESIGN, CONSTRUCTION, AND COORDINATION WITH OTHER TRADES, OWNER AND/OR CONTRACTOR SUPPLIED EQUIPMENT AND EXISTING CONDITIONS.
- ELECTRICAL CONTRACTOR TO PROVIDE ANY AND ALL DRAWINGS AND CALCULATIONS AS REQUIRED BY STATE AND LOCAL CODES FOR PROPER INSTALLATION AND CIRCUITRY. INCLUDE EMERGENCY AND EXIT LIGHTING AS REQUIRED.
- C. DUAL SWITCH ALL LIGHT FIXTURES WITHIN 15' OF GLASS.
- PROVIDE EXIT LIGHTS AND EMERGENCY BATTERY PACK LIGHTING AS REQUIRED BY CODE.
- PROVIDE EACH ROOM WITH A LIGHT SWITCH OR SWITCHES DESIGNATED FOR THE LIGHTS IN THAT ROOM. THE SWITCH OR SWITCHES SHALL BE LOCATED ADJACENT TO THE ROOM ENTRANCE
- ROOMS WITH MULTIPLE ENTRANCE DOORS SHALL HAVE LIGHTS SWITCHED FROM EACH ENTRANCE DOOR LOCATION.
- PROVIDE THREE-WAY SWITCHES AT PRIMARY ENTRANCES CONTROLLING OPEN WORKSTATION AREA LIGHTING. FLUORESCENT FIXTURES TO BE ENERGY SAVING ELECTRONIC BALLAST WITH T8 LAMPS AND ARRANGED AS NECESSARY TO PROVIDE REQUIRED FOOT CANDLES BY OWNER/TENANT. PROVIDE ARCHITECT WITH LIGHTING LAYOUT PLAN PRIOR TO INSTALLATION U.N.O.
- PROVIDE ONE SHEET 3/4"x48"x96" PAINTED PLYWOOD FOR TENANT TELEPHONE EQUIPMENT TO BE CUT AND MOUNTED HORIZONTALLY 3'-0" AFF (IF BOARD EXISTS, REPAINT PRIOR TO PHONE INSTALLATION).
- PROVIDE ELECTRICAL CIRCUITS AND CONNECT POWER FOR ALL SYSTEMS FURNITURE. COORDINATE ELEC. REQUIREMENTS AND LOCATIONS WITH TENANT SUPPLIED FURNITURE.
- INSTALL PLASTER RING AND PULL STRINGS IN WALL AS NECESSARY FOR COMMUNICATION WIRING.
- K. ALL ELECTRICAL PANEL CIRCUIT SCHEDULES TO BE COMPLETE AND LEGIBLE.

HVAC D/B NOTES

- ALL HVAC INFORMATION IS SHOWN FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR A COMPLETE SYSTEM DESIGN, CONSTRUCTION, AND COORDINATION WITH OTHER TRADES, OWNER AND/OR CONTRACTOR SUPPLIED EQUIPMENT AND EXISTING CONDITIONS.
- ALL HVAC WORK TO BE PERFORMED BY A LICENSED MECHANICAL CONTRACTOR AND CONFORM TO ALL STATE AND LOCAL CODES.
- HVAC CONTRACTOR TO PROVIDE ANY AND ALL DRAWINGS AND CALCULATIONS AS REQUIRED BY STATE AND LOCAL CODES FOR PERMIT.
- MECHANICAL CONTRACTOR TO REVIEW ALL HVAC DIFFUSERS, ZONES, AND THERMOSTAT CONTROLS WITH TENANT.
- MECHANICAL CONTRACTOR TO RE-BALANCE SYSTEM AT COMPLETION OF
- MECHANICAL CONTRACTOR TO VERIFY LOCATION OF ADDITIONAL ROOF
- TOP UNITS WITH STRUCTURAL ENGINEER AND PROVIDE REINFORCING AS REQUIRED. ALL ROOF TOP UNIT DIMENSIONS AND LOCATIONS TO BE APPROVED BY OWNER PRIOR TO COMMENCEMENT OF WORK.

G. ALL ROOMS TO HAVE ADEQUATE HVAC CAPACITY INSTALLED AND

- BALANCED AFTER SPACE IS FULLY OCCUPIED. PROVIDE BALANCE REPORT AT JOB CLOSE OUT. HVAC DESIGN AND ENGINEERING SHOULD BE CAPABLE OF MAINTAINING A
- CONSTANT COMFORT LEVEL, 30-50% RELATIVE HUMIDITY. HVAC DESIGN FOR ALL NEW EQUIPMENT SHALL MEET CALIFORNIA TITLE
- ALL EXISTING DUCTS, PLENUMS AND AIR UNIT CASING SHOULD BE CLEANED OF ALL DEBRIS, DIRT AND DUST BEFORE INSTALLING GRILLS, REGISTERS, OR
- WHERE DUCTWORK, PIPING OR CONDUITS PASS THROUGH FIRE RATED PARTITION(S), FIRE WALLS OR FLOORS, FIRESTOP SHOULD BE PROVIDED TO ENSURE AN EFFECTIVE BARRIER FOR THE SPREAD OF FIRE, GASES, OR SMOKE.
- WHERE DUCT WORK PASSED THROUGH FIRE RATED PARTITIONS AND FLOORS, PROVIDE FIRE DAMPER AND ACCESS PANELS.
- ALL ANNULAR SPACES BETWEEN PIPING, DUCTWORK OR SLEEVES WHICH DO NOT REQUIRE FIRE-STOPS SHOULD BE PACKED WITH MINERAL WOOL AND CAULKED.
- M. COORDINATE THERMOSTAT LOCATIONS WITH ARCHITECTURAL FLOOR PLAN FOR EFFECTIVENESS TO ELIMINATE INTERFERENCE WITH FURNITURE.

CEILING SYMBOLS

EXISTING ACOUSTICAL CEILING TILE AND GRID EXISTING 2' X 4' RECESSED CEILING LIGHT

EXISTING 2' X 2' RECESSED CEILING LIGHT

EXISTING ACOUSTICAL CEILING TILE AND GRID TO BE

+ |+| +EXISTING 2' X 4' RECESSED CEILING LIGHT TO BE REMOVED/RELOCATED

_ removed

EXISTING 2' X 2' RECESSED CEILING LIGHT TO BE REMOVED/RELOCATED

NEW ACO NEW ACOUSTICAL CEILING TILE AND GRID - REFER TO PLAN

NEW 2' X 4' RECESSED CEILING LIGHT FIXTURE TYPE

NEW 2' X 2' RECESSED CEILING LIGHT FIXTURE TYPE

RELOCATED 2' X 4' RECESSED CEILING LIGHT

RELOCATED 2' X 2' RECESSED CEILING LIGHT

RECESSED DOWN LIGHT -FIXTURE TYPE

RECESSED WALL WASH DOWN LIGHT -FIXTURE TYPE

CEILING/WALL MOUNTED EXIT SIGNAGE

© CEILING MOUNTED OCCUPANCY SENSOR © CEILING MOUNTED OCCUPANCY AND DAYLIGHT SENSOR

CEILING/WALL MOUNTED STROBE LIGHT

- FINISHED CEILING HEIGHT ABOVE FINISH FLOOR
- CEILING FINISH TAG
- DENOTES EXISTING TO REMAIN
- P DENOTES RELOCATED FIXTURES
- S WALL MOUNTED LIGHT SWITCH

POWER & DATA

GRAPHIC SYMBOLS

⊕x → HEIGHT ABOVE FINISH FLOOR (IN INCHES)

QUANTITY OF VOICE AND DATA OUTLETS V_{E} = E = EXISTING

HEIGHT ABOVE FINISH FLOOR (IN INCHES)

- WALL MOUNTED DEVICES WALL MOUNTED, DUPLEX RECEPTACLE
- WALL MOUNTED, QUADRAPLEX RECEPTACLE
- WALL MOUNTED, SINGLE RECEPTACLE
- WALL MOUNTED, GROUND FAULT INTERRUPT DUPLEX RECEPTACLE
- WALL MOUNTED, DEDICATED DUPLEX RECEPTACLE
- WALL MOUNTED, VOICE/DATA RECEPTACLE
- WALL MOUNTED, DATA RECEPTACLE
- WALL MOUNTED, VOICE RECEPTACLE
- WALL MOUNTED, SYSTEMS WORKSTATION PANEL POWER INFEED
- WALL MOUNTED, SYSTEMS WORKSTATION PANEL VOICE/DATA INFEED
- WALL MOUNTED, CABLE TELEVISION RECEPTACLE
- WALL MOUNTED, AV RECEPTACLE
- WALL MOUNTED, OCCUPANCY SENSOR
- WALL MOUNTED, SWITCH

FLUSH FLOOR MOUNTED DEVICES

- FLUSH FLOOR MOUNTED, DUPLEX RECEPTACLE
- FLUSH FLOOR MOUNTED, QUADRAPLEX RECEPTACLE
- FLUSH FLOOR MOUNTED, SINGLE RECEPTACLE
- FLUSH FLOOR MOUNTED, DEDICATED DUPLEX RECEPTACLE
- FLUSH FLOOR MOUNTED, VOICE/DATA RECEPTACLE
- FLUSH FLOOR MOUNTED, DATA RECEPTACLE FLUSH FLOOR MOUNTED, VOICE RECEPTACLE
- FLUSH FLOOR MOUNTED, SYSTEMS WORKSTATION PANEL POWER INFEED
- FLUSH FLOOR MOUNTED, SYSTEMS WORKSTATION PANEL VOICE/DATA INFEED
- FLUSH FLOOR MOUNTED, CABLE TELEVISION RECEPTACLE
- FLUSH FLOOR MOUNTED, AV RECEPTACLE

PLAN SYMBOLS

COLUMN GRID LINE AND REFERENCE NUMBER

EXISTING WALL TO REMAIN

NEW PARTITION WALL

(SEE PLAN FOR WALL TYPE)

NEW PARTITION INFILL TO MATCH

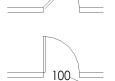
== == PARTITION WALL TO BE REMOVED

ADJACENT WALL TYPE



EXISTING DOOR TO BE REMOVED

EXISTING DOOR TO REMAIN



NEW DOOR AND HARDWARE SEE DOOR SCHEDULE FOR TYPE

DOOR TAG ROOM NAME **ROOM NAME**

ROOM NUMBER INTERIOR FINISH KEYNOTE

WALL PARTITION TYPE

BBB

(CPT1)

PLUMBING FIXTURES/TOILET ACCESSORIES

EQUIPMENT/FURNISHING



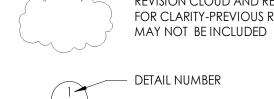
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PLANS AND EXTERIOR ELEVATION KEYNOTE WINDOW TYPE

FULLY RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER



EXTINGUISHER REVISION CLOUD AND REVISION NUMBER FOR CLARITY-PREVIOUS REVISION CLOUDS

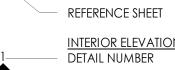


DETAIL NUMBER \backslash A1 \checkmark — REFERENCE SHEET

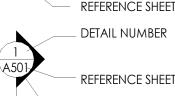
WALL HUNG FIRE



DETAIL NUMBER ELEVATION DIRECTION



ELEVATION DIRECTION REFERENCE SHEET



REFERENCE SHEET DIRECTION OF SECTION



AREA NOT IN CONTRACT

PLUMBING D/B NOTES

ALL PLUMBING INFORMATION IS SHOWN FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR A COMPLETE SYSTEM DESIGN, CONSTRUCTION, AND COORDINATION WITH OTHER TRADES, OWNER AND/OR CONTRACTOR SUPPLIED EQUIPMENT AND EXISTING

DBL

DEG

DEMO

DEPT

DIAG

DIFF

DIM

DIST

DIV

DO

DOC

DWG(S)

DWL

EHD

DET

DEMO(LISH) (LITION)

DRINKING FOUNTAIN

DIFFEREN(CE) (TIAL)

DISTRIBUT(E) (ION)

DEFLECTION JOINT

DIVI(DE) (DED) (DER) (SION)

DOUBLE

DEGREE(S)

DIAMETER

DIAGONAL

DIFFUSER

DIMENSION

DEAD LOAD

DOCUMENT(S)

DRAWING(S)

DOWEL (REBAR)

EAST, EASTING

EACH FACE

ELEVATION

ELEVATION

ELECTRIC(AL

ELECTRIC HAND DRYER

EXPANSION JOINT

DOWN

DITTO

DOOR DOWNSPOU^{*}

EACH

DEPARTMENT

INSUL

INT

JAN

JST

KD

KYBD

LLH

LLTL

LLV

LOC

INSULAT(E) (ED)

JANITOR CLOSET

KIP (1000 POUNDS)

KNOCKED DOWN

ANGLE (STRUC SHAPE)

LAMINAT(E) (ED) (ION)

LONG LEG HORIZONTAL

LONG LEG VERTICAL

LONG, LENGTH

LINEAL FOOT, FEET

JANITOR'S SINK

JOIST BEARING ELEVATION

INTERIOR

JANITOR

JOIST

JOINT

KITCHEN

KNOCK OU

KNEE SPACE

KEYBOARD

LAVATORY

LIVE LOAD

LOOSE LINTEL

LOCAT(E) (ION)

LONGITUDINAL(LY)

POUND

- PLUMBING CONTRACTOR TO PROVIDE ANY AND ALL DRAWINGS AND CALCULATIONS AS REQUIRED BY STATE AND LOCAL CODES FOR
- ALL PLUMBING WORK TO BE PERFORMED BY A LICENSED PLUMBER WHO IS TO PROVIDE DRAWINGS AND CALCULATIONS REQUIRED BY CODE AND CONFORM TO ALL STATE AND LOCAL CODES.
- COPPER. NO PVC PIPING TO BE ALLOWED UNLESS COMPLETELY WRAPPED WITH AN APPROVED (1) HOUR FIRE RATED PROTECTIVE

ARCHITECT AND OWNER.

ALL PLUMBING PIPES IN CEILING PLENUM TO BE CAST IRON OR

ANY PLUMBING FIXTURE SUBSTITUTIONS SHALL BE APPROVED BY

PLAN ABBREVIATIONS

^		F		1		c		CT
—— A -	AIR	EMER	EMERGENCY	- —— L - LPT	LOW POINT		S SHAPE (STRUC SHAPE)	X > DI
A/C	AIR CONDITIONING	ENCL	ENCLOS(E)(ED)(URE)	LT	LIGHT	S	south, southing	
A/E	ARCHITECT/ENGINEER	ENGR	ENGINEER(S)	LTG	LIGHTING	SA	SUPPLY AIR	
AB ABV	ANCHOR BOLT ABOVE	ENTR EQ	ENTRANCE EQUAL	LTL LVL	LINTEL LEVEL	SBLK SCHED	SPLASH BLOCK SCHEDULE	
ACC	ACCESS(IBLE) (ORIES)	EQUIP	EQUIPMENT	LW	LIGHTWEIGHT	SECT	SECTION	
ACT	ACOUTICAL CEILING TILE	ES	EACH SIDE	M -		SF	SQUARE FOOT/FEET	
ACOUS ACS	ACOUSTICAL AUTOMATIC CONTROL SYSTEM	ETR EW	EXISTING TO REMAIN EACH WAY	MANF	MANUFACTURER	SHR SHT	SHOWER SHEET(ING)	ARCH
ADD	ADDENDUM	EWC	ELECTRIC WATER COOLER	MAS	MASONRY	SHTG	SHEATHING	
ADDL	ADDITIONAL	EX	EXAMPLE (FD) ((ON)	MATL	MATERIAL	SIM	SIMILAR	215 N. WATER STR
ADH ADJ	ADHESIVE ADJUSTABLE	EXC EXCL	EXCAVAT(E) (ED) (ION) EXCLUD(E) (ED) (ING)	MAX MBR	MAXIMUM MEMBER	SKLT SL(R)	SKYLIGHT(S) SEAL(ER)	MILWAUKEE,
ADJC	ADJACENT	EXCP	EXCEPT	MC	MISCELLANEOUS CHANNEL (STRUC	SOG	SLAB ON GRADE	·
AES	ARCHITECTURALLY EXPOSED FABRICATION STEEL	EXG EXH	EXISTING EXHAUST	MECH	SHAPE) MECHANICAL(LY)	SP(S) SPEC(S)	SPACE(S) SPECIFICATION(S)	T 414.277.9700 I
AESS	ARCHITECTURALLY EXPOSED	EXIST	EXISTING	MED	MEDIUM	SPKR	SPEAKER	spsarchited
	STRUCTURAL STEEL	EXP	EXPAN(D) (SION)	MEMB	MEMBRANE	SQ	SQUARE	
AFF AL	ABOVE FINISH FLOOR ALUMINUM	EXT	EXTERIOR	MET MEZZ	METAL MEZZANINE	SRB SRCJ	STRAIGHT RUBBER BASE SPECIALLY ROUGHENED CONSTR JT	
ALT	ALTERNATE	— F		MFD	MANUFACTURED	SS	STAINLESS STEEL	
ALUM	ALUMINUM	F F/F	FARENHEIT	MFR	MANUFACTURER	STC	STREET	
AN ANC	ANODIZED ANCHOR(AGE)	F/F FA	FACE TO FACE FIRE ALARM	MGR MH	MANAGER METAL HALIDE	STC STD	SOUND TRANSMISSION CLASS STANDARD	
ANOD	ANODIZED	FAB	FABRICAT(E) (ED) (OR)	MIN	MINIMUM	STIF	STIFFENER	
APPROX	APPROXIMATE(LY)	FAS	FASTEN(ED) (ER)	MIN	MINUTE MIRROR	STOR	STEEL STORAGE	PROJECT
ARCH AUTO	ARCHITECT(URAL) AUTOMATIC	FC(S) FD	FACE(S) FLOOR DRAIN	MIR MISC	MISCELLANEOUS	STOR STRUC	STRUCTUR(E) (AL)	
AV	AUDIO VISUAL	FDN	FOUNDATION	MLDG	MOULDING	SUSP	SUSPEN(D) (DED) (SION)	
AVG _	AVERAGE	FDV FE	FIRE DEPARTMENT VALVE FIRE EXTINGUISHER	MO MON	MASONRY OPENING MONITOR	SW SYM	SWITCH SYMMETR(Y) (ICAL)	PROPOSED BUI
— В -		FEC	FIRE EXTINGUISHER CAB	MOR	MORTAR	SYS	SYSTEM(S)	
ВВ	BALL BEARING	FF	FINISH FLOOR	MT(D)	MOUNT(ED)	— т		
BD BEL	BOARD BELOW	FFE FGL	FINISH FLOOR ELEVATION FIBERGLASS	MUL MWO	MULLION MICROWAVE OVEN	Т	THERMOSTAT	
BFE	BOTTOM OF FOOTING ELEVATION	FIN	FINISH		MICKOWAVEOVEN	T	TOILET	
BL	BORROWED LIGHT	FIX	FIXTURE	— N -		T	TREAD	
BLDG BLE	BUILDING BRICK LEDGE ELEVATION	FLASH FLEX	flashing flexible	N N	NITROGEN NORTH, NORTHING	T & B T & G	TOP AND BOTTOM TONGUE AND GROOVE	
BLKG	BLOCKING	FLG	FLANGE	N/A	NOT APPLICABLE	T/D	TELEPHONE DATA OUTLET	
BM	BEAM	FLR	FLOOR(ING)	NECRY	NECESSARY	TBE	TOP OF BEAM ELEVATION	THE GA
BO BOT	BY OWNER BOTTOM	FLTL FLUOR	FIXED LINTEL FLUORESCENT	NIC NO	NOT IN CONTRACT NUMBER	TCE	TOP OF PILE CAP (CAISSON) ELEVATION	
BR	BACKER ROD	FOW	FACE OF WALL	NO2	nitrous oxide	TD	TRENCH DRAIN	APARTI
BRDG	BRIDGING	FR	FRAME	NOM	NOMINAL	TDE	TOP OF DECK ELEVATION TELEPHONE	
BRG BRK	BEARING BRICK	FS FS	FAR SIDE FOOTING STEP	NRC NS	NOISE REDUCTION COEFFICIENT NEAR SIDE	TEL TEMP	TEMPERATURE	4450 S 27TH
BSMT	BASEMENT	FT	FOOT, FEET	NSG	NON-SHRINK GROUT	TEMP	TEMPORARY	MILWAUK
BRKT BTW	BRACKET BETWEEN	FTG FTR	FOOTING FINNED TUBE RADIATION	nts nw	NOT TO SCALE NORMAL WEIGHT	TERM TFE	TERMINA(L) (TE) (TION) TOP OF FOOTING ELEVATION	
BW	BOTH WAYS	FURG	FURRING	—— O -	NORMAL WLIGHT	THK	THICK (NESS)	
— C -		— G				THR	THRESHOLD	
С	AMERICAN STD CHANNEL (STRUC	GA	GAUGE	O OA	OXYGEN OVERALL	TJE TLE	TOP OF JOIST ELEVATION TOP OF LEDGE ELEVATION	
C	SHAPE)	GAL	GALLON	OC	ON CENTER	TME	TOP OF MASONRY ELEVATION	
C/C	CENTER TO CENTER	GALV	GALVANIZED	OD	OUTSIDE DIAMETER/DIMENSION	TMPD	TEMPERED	
CAB CB	CABINET CERAMIC BASE	GB GC	GRANITE BASE GENERAL CONTRACTOR	OF OFCI	OUTSIDE FACE OWNER FURNISHED, CONTRACTOR	TPE TPG	TOP OF PIER ELEVATION TOPPING	
CCTV	CLOSED CIRCUIT TELEVISION	GENL	GENERAL		INSTALLED	TR	TRANSOM	
CEN	CENT(ER) (TRAL) CONTRACTOR FURNISHED	GFI	GROUND FAULT CIRCUIT INTERRUPTER	OFOI	OWNER FURNISHED, OWNER INSTALLED	TR	TREAD	
CF CHAM	CHAMFER	GL	GLASS	OFVI	OWNER FURNISHED, VENDOR	trans transl	TRANSITION TRANSLUCENT	
CIP	CAST IN PLACE	GLB	GLUE LAMINATED BEAM		INSTALLED	TRANSP	TRANSPARENT	
CIR CJ	CIRCLE CONTROL/CONSTRUCTION JOINT	GND GR	GROUND GRADE	OH OHD	OVERHEAD OVERHEAD DOOR	transv ts	TRANSVERSE TACKABLE SURFACE	OWNER
CJP	COMPLETE JOINT PENETRATION	GRL	GRILLE	OHD	OWNER INSTALLED	TS	TALL STORAGE	OTTILL
CL	CENTER LINE	GRV	GRAVITY ROOF VENTILATOR	OPG	OPENING	TSE	TOP OF SLAB ELEVATION	
CLG CLO	CEILING CLOSET	GSKT GT	GASKET GRANITE TILE	OPP OPT	OPPOSITE OPTION(AL)	TV TWE	TELEVISION TOP OF WALL ELEVATION	
CLR	CLEAR(ANCE)	GWB	GYPSUM WALL BOARD	OS	OVERFLOW SCUPPER	TYP	TYPICAL	FOURTY FOUR
CMU	CONCRETE MASONRY UNIT	— н		- P-		U		20/16 /01
CNR CNTR	CORNER COUNTER	Н	HIGH, HEIGHT	P&S	POLE & SHELF	UC	UNDER CABINET	3861 S. 60TI
COL	COLUMN	НВ	HOSE BIB	PA	PUBLIC ADDRESS	UG	UNDERGROUND	MILWAUKEE,
COMB COMP	COMBINATION COMPOSITE	HCP HD	HANDICAP HEAD	PAR PART	Parallel Partition	UL UNEX	UNDERWRITERS LABORATORIES UNEXCAVATED	
COMPU	COMPUTER	HD	HEADY DUTY	PB	PANIC BAR	UNFIN	UNFINISH(ED)	
CONC	CONCRETE	HDR	HEADER	PB	PUSH BUTTON	UNO	UNLESS OTHERWISE NOTED	
COND CONN	CONDITION CONNECTION	HDWD	HARDWARE HARDWOOD	PC(S) PCF	PIECE(S) POUNDS PER CUBIC FOOT	UR UTIL	URINAL UTILITY	
CONST	CONSTRUCTION	HDWE	HARDWARE	PCST	PRECAST	UV	ULTRAVIOLET	
CONT	CONTINU(E) (OUS) (ATION)	HM	HOLLOW METAL	PERF	PERFORATE(D)	V		DE\ //01@\ 10
CONTR COP	CONTRACT(OR) COPING	HO HORIZ	HOLD OPEN HORIZONTAL	PERIM PERM	PERIMETER PERMANENT(LY)	V	VALVE	REVISIONS
CORR	CORRIDOR	HPT	HIGH POINT	PFB	PREFABRICATE(D)	V	VENT	
CP	CONSTRUCTION PACKAGE	HR	HANDRAIL(S)	PFN	PREFINISH(ED)	VAC	VACUUM	NO. DESCRIPTIO
CPT CPU	CARPET CENTRAL PROCESSING UNIT	HR HSS	HOUR HOLLOW STRUCTURAL SECTION	PL PL	PLATE PROPERTY LINE	VAR VB	VAR(Y) (IES) (IATION) VINYL BASE	
CRB	COVE RUBBER BASE		(STRUC SHAPE)	PLBG	PLUMBING	VBRI	VIEW BOX ROUGH IN	
CRS	COURSE(S)	HT	HEIGHT	PLF	POUNDS PER LINEAL FOOT	VEN	VENEER	
CS CSK	CLINICAL SINK COUNTER (SINK) (SUNK)	HTG HTR	HEATING HEATER	PLYWD PNL	PLYWOOD PANEL	VENT VERT	ventilat(ion) (or) vertical	
CT	CERAMIC TILE	HVAC	HEATING, VENTILATING AND AIR	POL	POLISH(ED)	VEST	VESTIBULE	
CUH _	CABINET UNIT HEATER		CONDITIONING	PR PROJ	PAIR PROJECT(ION) (OR)	VIF VOL	VERIFY IN FIELD VOLUME	
— D -		I		PROP	PROJECTION) (OR) PROPERTY	VOL VP	VENEER PLASTER	
D	DATA OUTLET	ID	INSIDE DIAMETER/DIMENSION	PRV	POWER ROOF VENTILATOR	VRBR	VAPOR BARRIER	
D D&E	DEEP, DEPTH DRILL AND EPOXY GROUT	IF IN	INSIDE FACE INCH(ES)	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH	VSL VT	VACUUM BOTTLE SLIDE VINYL TILE	
DBA	DEFORMED BAR ANCHOR	INCL	inclu(de) (ded) (ding) (sive)	PT	POINT	W		
DBE	DECK BEARING ELEVATION	INFO	INFORMATION	PT	PRESSURE TREATED WOOD	, ,		

PNEUMATIC TUBE STATION

PAINTED

PARTITION

QUARRY TILE

RADIUS, RADII

RETURN AIR

RUBBER BASE

ROOF DRAIN

REFER(ENCE)

REFRIGERAT(OR) (ED)

REMOV(E) (ED) (ABLE)

RECESSED

REGISTER

REQUIRED

RETURN(ED)

ROOGING

REVERSE(D)

ROOM

REQUIREMENT(S)

REVIS(E) (ED) (ION)

ROUGH OPENING

RAIN WATER LEADER

R AND R REMOVE(D) AND REPLACE(D)

REFLECTED CEILING PLAN

REINFORC(E) (ED) (ING) (EMENT)

QUANTITY

PTD

PTS

QTY

REINF

REQD

REQM

INFORMATION

PROJECT ARCHITECT	SI
PROJECT MANAGER	E.
PROJECT NUMBER	23012
ISSUED FOR	PERMIT S
DATE	03.31.2

ARCHITECTS, INC

215 N. WATER STREET, SUITE 250

MILWAUKEE, WI 53202

T 414.277.9700 | F 414.277.9705 spsarchitects.com

PROPOSED BUILDING FOR:

THE GARDEN

APARTMENTS

4450 S 27TH STREET

MILWAUKEE, WI

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET

MILWAUKEE, WI 53220

DESCRIPTION

SHEET

W SHAPE (STRUC SHAPE)

WEST, WESTING

WIDE, WIDTH

WALL CABINET

WATER CLOSET

WALL HYDRANT

WATER HEATER

WIND LOAD

WATERPROOF

WAINSCOT

EXPOSE(D)

Ø DIAMETER / PER

SPECIAL SYMBOLS

WORK(ING) POINT

WEATHERSTRIPPING

WELDED WIRE FABRIC

CENTERLINE # NUMBER

STRUCTURAL TEE (STRUC SHAPE)

PERPENDICULAR

WITH

WITHOUT

WOOD

WSCT

WSG

WT

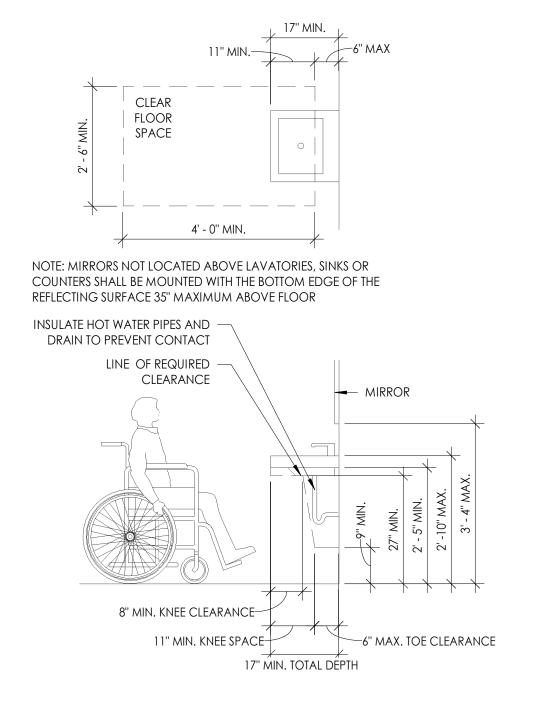
WWF

XP(D)

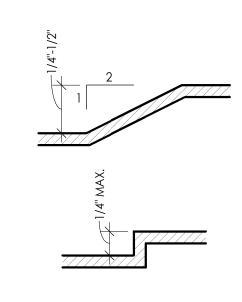
@ AT

PROJECT SYMBOLS AND NOTES



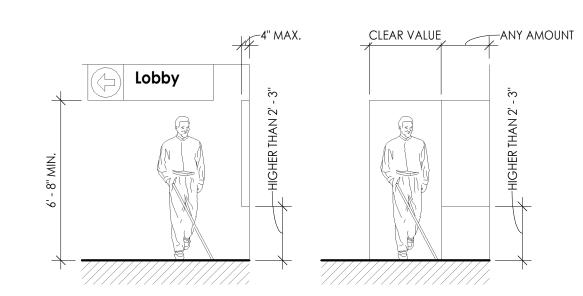






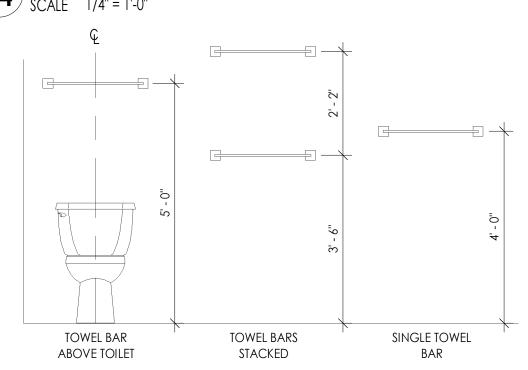
THRESHOLDS

SCALE 12" = 1'-0"

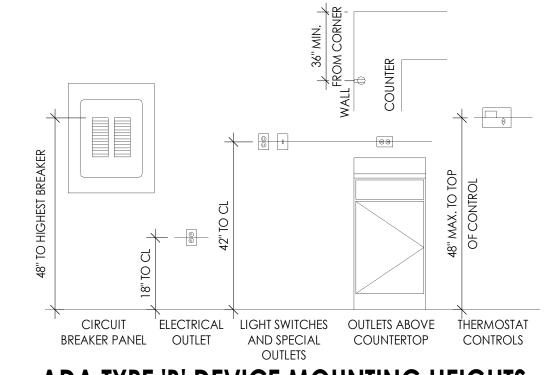


PROTRUDING OBJECTS

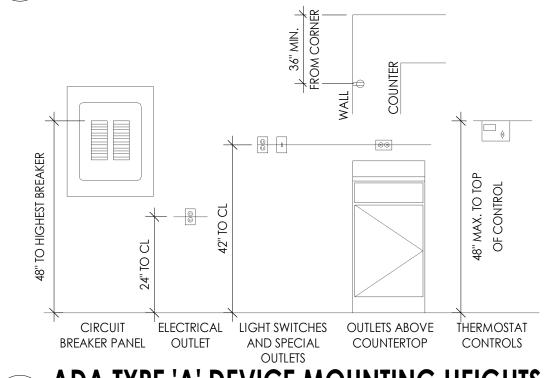
SCALE 1/4" = 1'-0"



13 TOWEL MOUNTING HEIGHTS
SCALE 1/2" = 1'-0"

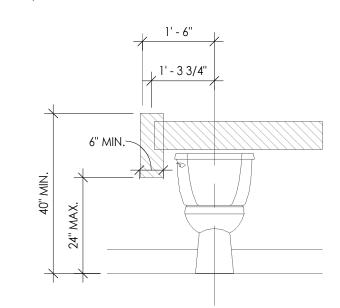


ADA TYPE 'B' DEVICE MOUNTING HEIGHTS SCALE 1/2" = 1'-0"



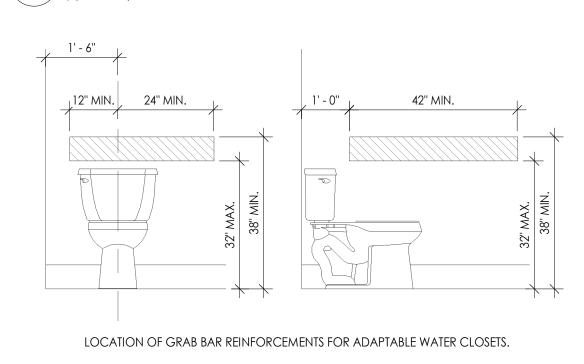
ADA TYPE 'A' DEVICE MOUNTING HEIGHTS

SCALE 1/2" = 1'-0"

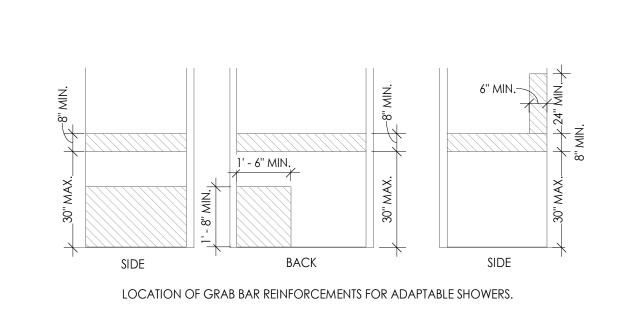


**ADDITIONAL GRAB BAR REINFORCEMENT REQUIRED AT WATER CLOSETS THAT DO NOT HAVE FULL SIDE WALL (56" MIN.)

ADA TYPE 'A' & 'B' ALT. BLOCKING FOR TOILET

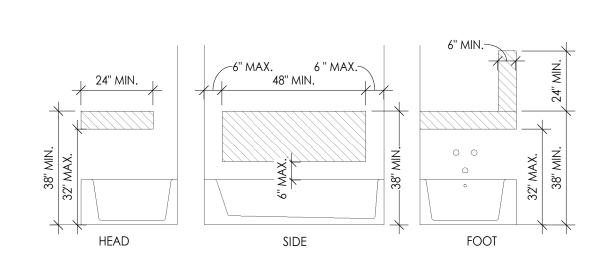


ADA TYPE 'A' & 'B' BLOCKING FOR TOILET



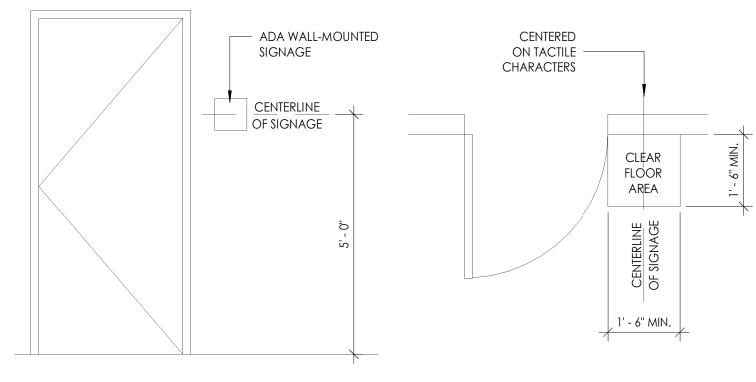
8 TYPE 'A' & 'B' BLOCKING FOR SHOWER

SCALE 3/8" = 1'-0"

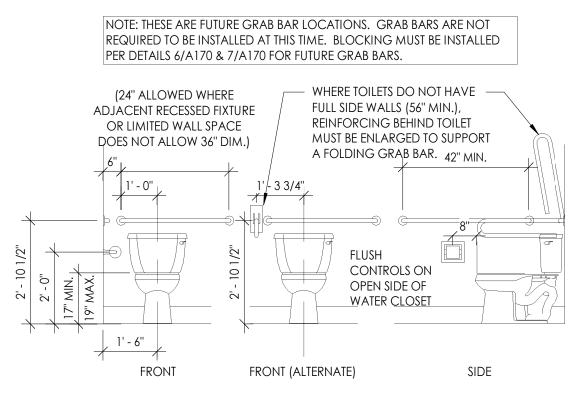


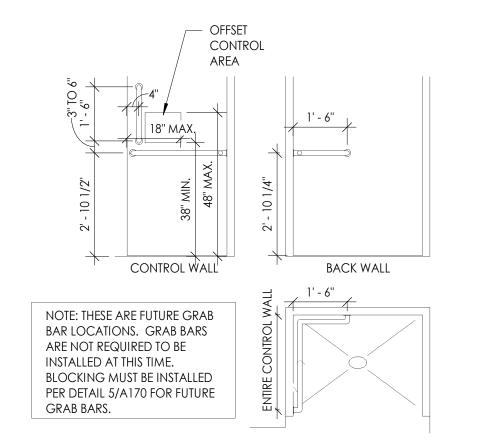
LOCATION OF GRAB BAR REINFORCEMENTS FOR ADAPTABLE BATHTUBS.

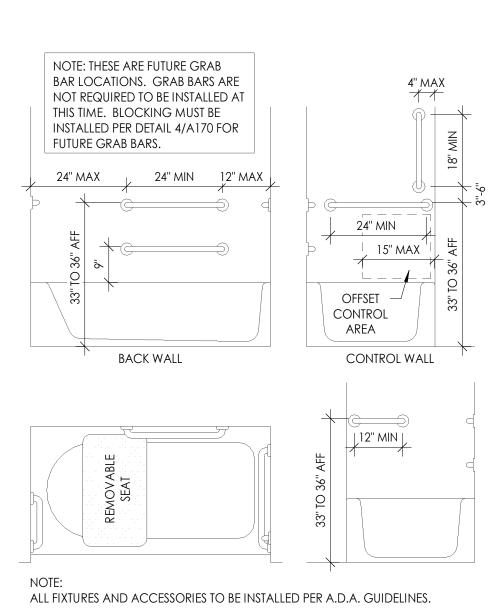
7 TYPE 'A' & 'B' BLOCKING FOR TUB SCALE 3/8" = 1'-0"



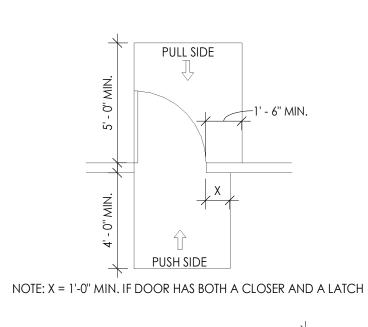
TYP. ADA SIGNAGE MOUNTING LOCATION SCALE 1/2" = 1'-0"







4 TUB FUTURE GRAB BARS SCALE 1/2" = 1'-0"



PULL SIDE

NOTE: X = 3'-0" MIN. IF Y = 5'-0"; X = 3'-6" MIN. IF Y = 4'-6"

PULL SIDE

NOTE: Y = 4'-0" MIN.; Y = 4'-6" MIN. IF DOOR HAS A CLOSER

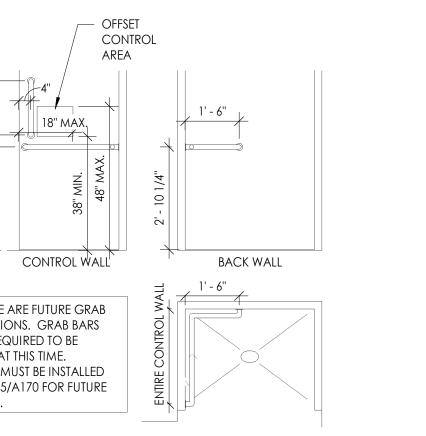
PUSH SIDE

4' - 6" MIN.

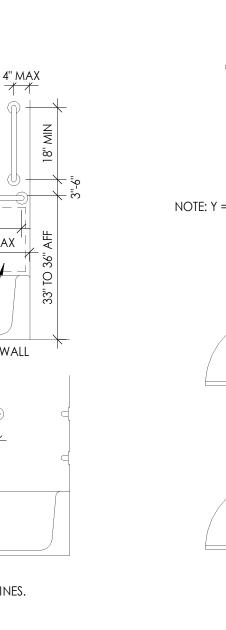
NOTE: Y = 3'-6" MIN.; Y = 4'-0" MIN. IF DOOR HAS A CLOSER

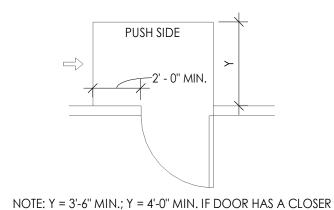
WATER CLOSET FUTURE GRAB BARS

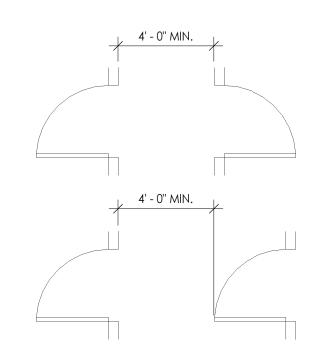
SCALE 3/8" = 1'-0"

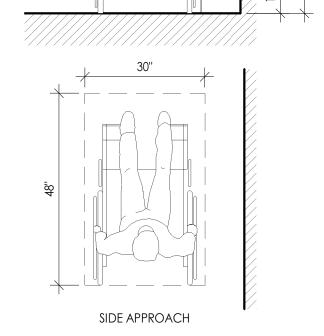


SHOWER FUTURE GRAB BARS









ARCHITECTS, INC. 215 N. WATER STREET, SUITE 250

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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

20" - 25"

20" MAX

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SE
DATE	03.31.23

SHEET

ACCESSIBILITY FEATURES (2009 ANSI



DOOR CLEARANCES

SCALE 1/4" = 1'-0"

1 REACH RANGES (308)
SCALE 1/2" = 1'-0"

FORWARD APPROACH

FINISH SELECTIONS

MARK	MODEL	MANUFACTURER	COLOR	FINISH	SIZE	LOCATION	COMMENTS
ACCENT METALS							
AM1	KEYSTONE ALUMINUM RAILING	JAM SYSTEMS		ARCHITECTURAL METAL	5" X 5" GUTTER		
COMPOSITE MATE	EDIAI						
CM1		JAMES HARDIE	EVENING BLUE	COMPOSITE SIDING	4" EXPOSED		INSTALL HORIZONTALLY
CM2		JAMES HARDIE	TIMBER BARK	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM3		JAMES HARDIE	ARCTIC WHITE	COMPOSITE SIDING	6" EXPOSED		INSTALL HORIZONTALLY
CM4		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 4"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICAB
CM5		TREX	T.B.D.	COMPOSITE DECKING	4/4" X 6"	REFER TO BUILDING ELEVATIONS	TILLE TRIVINGE TO THE WHILE A TELEVISION
CM6		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 6"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICABLE
CM8		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 8"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICAB
CM10		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 10"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICAB
CM12		JAMES HARDIE	ARCTIC WHITE	COMPOSITE TRIM	4/4" X 12"	REFER TO BUILDING ELEVATIONS	FIELD TRIMMED TO FIT WHERE APPLICAB
0,1112		37 (17)20 177 (17)212	, wene will	COM COME MAN	1, 1 / 1.Z	KELEK TO BOLEBIT O ELE TI MIOTO	TIELD TRIVINGED TO THE VITERE 7 IT EIG/101
CONCRETE							
ECN-1		T.B.D.	NATURAL	CAST STONE SILL/BAND	4" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-2		T.B.D.	NATURAL	CAST STONE HEAD	8" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-3		T.B.D.	NATURAL	CAST STONE SILL/BAND	3 1/2" HIGH	CAST SILL/BAND	SLOPED TOP & DRIP EDGE
ECN-4		T.B.D.	NATURAL	CAST STONE HEAD	6" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
ECN-5		T.B.D.	NATURAL	CAST STONE SWEEP	4" HIGH	CAST STONE HEAD	SLOPED TOP & DRIP EDGE
SC-1		T.B.D.	NATURAL	SEALED CONCRETE		GARAGES	
					•		·
INTERIOR FINISH							
CPT-1	E107	ENGINEERED FLOORS	T.B.D.	CARPET	-	UNIT BEDROOMS, UNIT STAIRS, BEDROOM CLOSETS	
LVP-1	400 WEATHERED BARNBOARD	SHAW	T.B.D.	TBD	-	UNIT LIVING ROOMS, KITCHENS, BATHROOMS, & CORRIDORS:	
WD-1	#433, #474	LIANGA PACIFIC	PRIMED WHITE MDF FIELD PAINTED	TBD	-	WALL BASE/DOOR TRIM	
MASONRY							
EMU-1	KENSINGTON BLEND	HALQUIST STONE	CREAM, TAN, BUFF & GOLD WITH GREY UNDERTONES	STONE	APPROX. 3-5/8" DEEP		FULL DEPTH

GLAZING

MARK	MODEL	MANUFACTURER	COLOR	U-VALUE	NOTE
GLAZING					
GL1T	350 Series	T.B.D.	CLEAR	0.24	TEMPERED LOW-E (WINDOWS)

PAINT

MATERIAL: FINISH TYPE	MARK	MANUFACTURER	COLOR	FINISH COAT	LOCATION	COMMENTS
PAINT - EXTERIOR						
PAINT - EXTERIOR	EPT1	SERWIN WILLIAMS	TDB	SEMI-GLOSS	EXTERIOR METALS AT BALCONY AND CANOPY	MATCH BALCONY AND TRIM COLORS
PAINT - EXTERIOR	EPT2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	EXTERIOR STEEL LINTELS AT BRICK VENEER	MATCH PRECAST/CAST STONE COLOR
PAINT - INTERIOR						
PAINT - INTERIOR	PT-1	HALLMAN LINDSAY	TDB	SEMI-GLOSS	WALLS/CEILINGS	
PAINT - INTERIOR	PT-2	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT DOOR TO GARAGE	
PAINT - INTERIOR	PT-3	HALLMAN LINDSAY	TDB	SEMI-GLOSS	UNIT ENTRY, MECH. ROOM DOORS	

SCHEDULES

PLUMBING AND TOILET ACCESSORY SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	SIZE	FINISH	NOTES
Α	FLOOR MOUNTED TOILET	PROFLO	PF9400 SERIES	-	WHITE	ELONGAGETED BOWL ADA-COMPLIANTANT AT ALL UNITS
В	TISSUE DISPENSER	SURE-LOC, LUGANO SERIES	LG-PH1	-	SATIN NICKEL	
С	SHOWER TUB COMBO	STERLING, ACCORD	RVMDW	60"X30"	WHITE	TUB/SHOWER SURROUND G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA 'TYPE-A' UNITS)
D	SHOWER	STERLING, ACCORD	7115	60"X36"	WHITE	G.C. TO COORDINATE CONCEALED REINFORCEMENT FOR FUTURE GRAB BARS (HANDSHOWER AT ADA 'TYPE-A' UNITS)
F	STAINLESS STEEL SINK	PROFLO	PFUC206	-	STAINLESS	ADA COMPLIANT KNEE SPACE BENEATH
G	BATHROOM FAUCET	PROFLO	PFWSC2840	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
Н	BATH/SHOWER FAUCET	PROFLO	T17T489-PR	-	SATIN NICKEL	G.C. TO COORDINATE ADA-COMPLIANT FIXTURES IN ADA TYPE-A UNITS
J	LEVER SYLE FAUCET	PROFLO	PFXC7011	-	STAINLESS	ADA COMPLIANT WITH PULL-OUT SPRAY GARBAGE DISPOSAL INSINKERATOR: BADGER 1HP W/ CORD PROVIDE COUNTERTOP SWITCH FOR ADA COMPLIANCE
K	INTEGRAL SINK	REVERE	RVMDW	-	WHITE	UNDERMOUNT - ADA COMPLIANT AT TYPE -A UNITS
L	WATER HEATER	-	-	40 GALLON	-	PROVIDE WATER HEATER PAN WITH DRAIN BENEATH

EQUIPMENT AND FURNISHING SCHEDULE

TAG	DESCRIPTION	MATERIAL/C OLOR	SIZE	ENERGY STAR	NOTES
1	REFRIGERATOR	STAINLESS	21.3 C/F	YES	TOP FREEZER OR EQUIVALENT, ADA COMPLIANT AT ADA 'TYPE A' UNITS
2	MICROWAVE	STAINLESS	1.7 CF	YES	OVER THE RANGE
2A	COUNTERTOP MICROWAVE	STAINLESS		YES	-
3	DISH WASHER	STAINLESS		YES	-
3A	ada dishwasher	STAINLESS		-	ADA COMPLIANT AT TYPE A UNITS FOR 34" H COUNTERTOPS
4	STOVE & OVEN	STAINLESS		YES	FLAT TOP ELECTRIC RANGE, PROVIDE ADA-COMPLIANT FRONT CONTROLS AT ADA TYPE-A UNITS
5	WASHER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
6	DRYER	WHITE		YES	ADA COMPLIANT AT TYPE A UNITS
7	TOWEL BAR	CHROME		-	-
8	HVAC	-		YES	-
9	MIRROR	-		-	FRAMELESS
9A	MIRROR	-		-	FRAMELESS
9B	MIRROR	-		-	FRAMELESS
11	RANGE HOOD	STAINLESS		YES	Item # 02251041000
12	STACKED WASHER/DRYER	WHITE		YES	-
13	BEDROOM CLOSET SHELVING	WHITE		-	-
14	ATTIC HATCH	WOOD/PLYWOOD	30" MIN. CLEAR HEADROOM	-	ATTIC ACCESS LADDER

UNIT FINISH SCHEDULE - TYPICAL

		BASE		WALL	PAINT			
UNIT SPACE	FLOOR		NORTH	EAST	SOUTH	WEST	CEILING	REMARKS
UNIT ENTRY	LPV-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT STAIRS	CPT-1	-	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT KITCHEN	LPV-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT LIVING	LPV-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	SEE ENLARGED UNIT PLANS
UNIT BEDROOM	CPT-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT BATHROOM	LPV-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT MECH	-	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM
UNIT LAUNDRY	LPV-1	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	
UNIT CLOSETS	-	WD-1	PT-1	PT-1	PT-1	PT-1	PT-1	MATCH FLOOR FINISH OF ASSOCIATED ROOM



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS NO. DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
<u>ISSUED FOR</u>	PERMIT SE
DATE	03.31.23

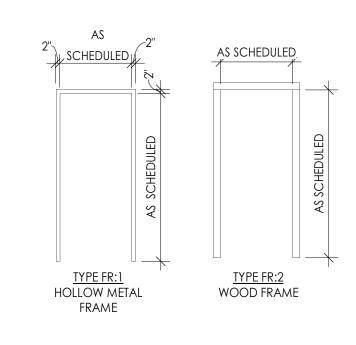
SHEET

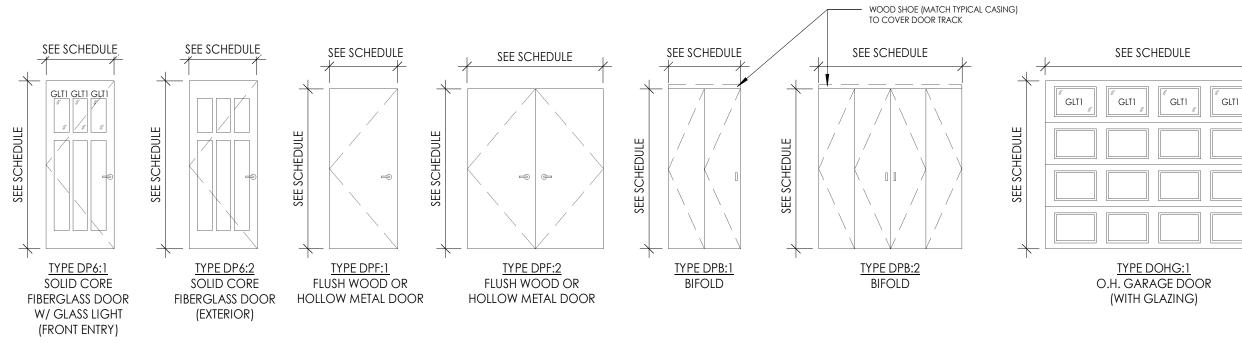
SCHEDULES AND FINISHES



							DOC	R & FRA	MF SC	`HFDIJI	F					
NOTES:									17112 00							
1. COORDINA 2. ALL HARDW 3. LOCKSETS TO	O BE KEYED TO BUIL	TEM WITH OWNER. COMPLIANT SCHLAGE AL-SEI LDING MASTER WITH FUNCTION OR DOME STOP. USE FLOOR	ON BASED UPON	LOCATION.		ISH UNLESS OTHER	WISE NOTED.									
DOOR TYPE	LEAF WIDTH			DOOR						FRAME				DETAILS		
DOORTIFE	LEAF WIDTH	SECONDARY LEAF WIDTH	HGT	TYPE	MAT'L	FINISH	GLASS	HARDWARE	TYPE	MAT'L	FINISH	FIRE RATING	HEAD	JAMB	MISC.	REMARKS
D01	9' - 0''		7' - 0''	DOHG:1	STL	PF	Y	H5					-	-	INSULATED	
D02	3' - 0"		6' - 8''	DP6:2	FB	PT		H2	FR:1	HM	PT		1/A010	1/A010	INSULATED	
U01	3' - 0"		6' - 8''	DP6:1	FB	PT	Y	H1	FR:1	HM	PT		-	-	INSULATED	
U01A	3' - 0"		6' - 8''	DP6:2	FB	PT		H1	FR:1	HM	PT	1 HOUR	3/A010	4/A010	INSULATED	
U02	2' - 10"		6' - 8''	DPF:1	WD	PF		H3	FR:2	WD	PF		3/A010	4/A010		
U03	2' - 10''		6' - 8''	DPF:1	WD	PF		H4	FR:2	WD	PF		3/A010	4/A010		
U04	3' - 0"		6' - 8''	DPF:1	WD	PF		H8	FR:2	WD	PF		1/A010	1/A010		
U04D	3' - 0"	3' - 0''	6' - 8''	DPB:2	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010		
UO4F	2' - 0"		6' - 8''	DPB:2	WD	PF		H9	FR:2	WD	PF		2/A010	1/A010		
U04G	3' - 0"	3' - 0''	6' - 8''	DPF:1	WD	PF		H8	FR:2	WD	PF		3/A010	4/A010		
U05	3' - 0"		6' - 8''	DPF:1	WD	PF		H6	FR: 2	WD	PF		1/A010	1/A010		
U05C	3' - 0"	3' - 0"	6' - 8''	DPB:2	WD	PF		H7	FR: 2	WD	PF		2/A010	1/A010		
U06	2' - 10"		6' - 8"	DPF:1	WD	PF		H6	FR:2	WD	PF		3/A010	4/A010		
U06C	2' - 6"	2' - 6"	6' - 8''	DPB:2	WD	PF		H7	FR: 2	WD	PF		2/A010	1/A010		
U06D	3' - 0"	3' - 0"	6' - 8''	DPB:1	WD	PF		H7	FR:2	WD	PF		2/A010	1/A010		

	HARDWARE SET											
SET #	LOCKSET	HINGES	CLOSER	STOP	COMMENTS							
H1	UNIT ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	KNOCKER, VIEWER, ADA THRESHOLD SWEEP AND WEATHER STRIPPING GASKET							
H2	UNIT GARAGE ENTRY & DEADBOLT	1 1/2 PAIR BUTTS	SPRING HINGE	WALL	ADA THRESHOLD, SWEEP & GASKET WEATHERSTRIPPING, JAMB EXTENSION AS NEEDED (SEE FLOOR PLANS)							
Н3	UNIT BEDROOM (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL								
H4	UNIT BATH (BATHROOM PRIVACY LOCKSET)	1 1/2 PAIR BUTTS		WALL								
H5	OVERHEAD GARAGE	TRACK & ASSOCIATED HARDWARE			ELECTRICAL OPENER W/TIMER-TO CLOSE FEATURE (LIFEMASTER 8360 OR EQUAL) EXTERIOR KEYPAD OPENER							
H6	CLOSET	1 1/2 PAIR BUTTS		WALL	PASSAGE LATCH SET							
H7	BIFOLD (PAIR)	2 SETS OF PIVOT BIFOLD DOOR HARDWARE AND ASSOCATED TRACK BY DOOR SUPLLIER			PULLS TO MATCH KITCHEN /VANITY HARDWARE							
Н8	STOREROOM (STOREROOM LOCKETS)	1 1/2 PAIR BUTTS		WALL								
H9	BIFOLD (SINGLE)	1 SET OF PIVOT BIFOLD DOOR HARDWARE			PULLS TO MATCH KITCHEN /VANITY HARDWARE							
2. LOCKE	DINATE MASTER KEY SYSTEM WITH OWNER. IS TO BE KEYED TO BUIDLING MASTER WITH FUNCTIO STOP: USE WALL STOP OR DOME STOP. USE FLOOR S											



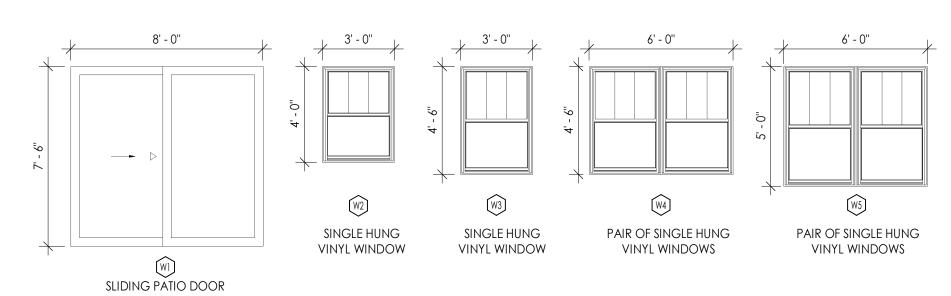






WINDOW TYPES

SCALE 1/4" = 1'-0"

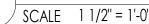


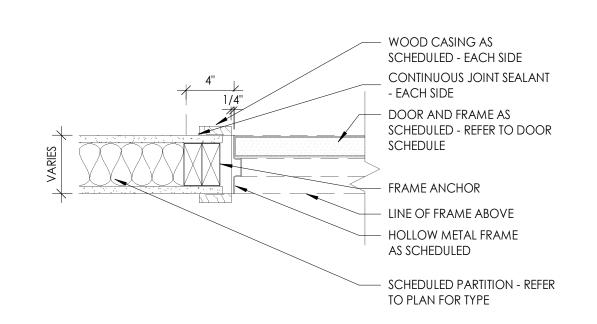
- HEADER (SEE STRUCT.) - 2x P.T. WOOD BLOCKING AS REQ'D - CAST STONE HEADER - CONTINUOUS SEALANT JOINT 'MORTAR NET' WEEP VENTS 32" O.C. THRU WALL PREFINISHED METAL FLASHING/ DRIP EDGE (RUN VERITCALLY BEHIND HOUSEWRAP) PAINTED STEEL ANGLE (SEE STRUCT.) 1X WOOD FRAME 1/2" WOOD STOP WOOD CASING AS SCHEDULED

MORTAR NET CAVITY MORTAR CONTROL

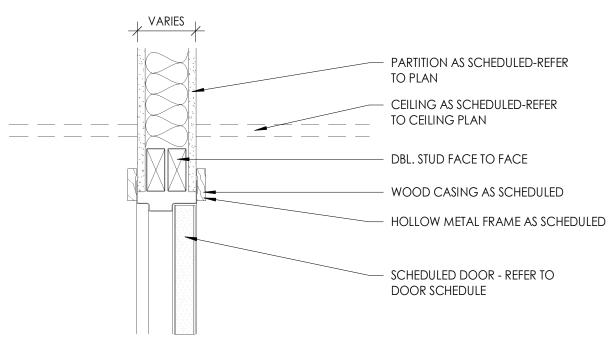
MASONRY VENEER WALL (SEE 2/A801)

5 WD HEAD AT MASONRY SCALE 1 1/2" = 1'-0"

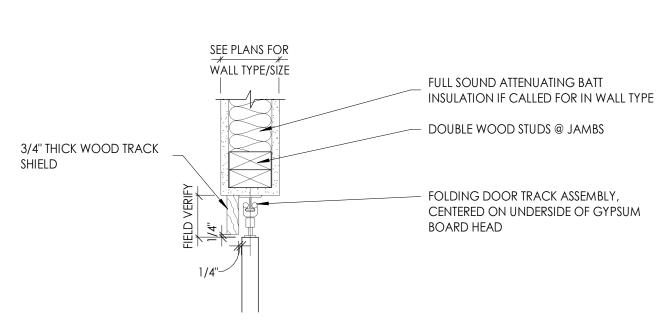






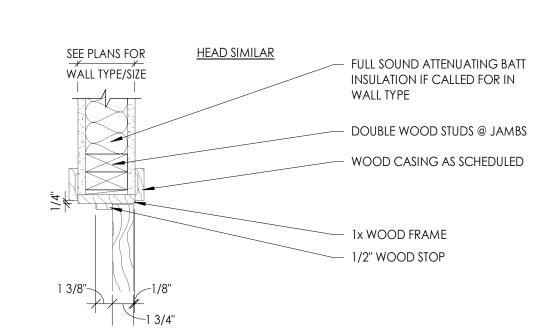


3 H.M. FRAME HEAD @ WOOD STUD W/ CASING
SCALE 1 1/2" = 1'-0"



BI-FOLDING DOOR HEAD

SCALE 1 1/2" = 1'-0"



WD FRAME JAMB @ WD STUD PARTITION

SCALE 1 1/2" = 1'-0"



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS DESCRIPTION

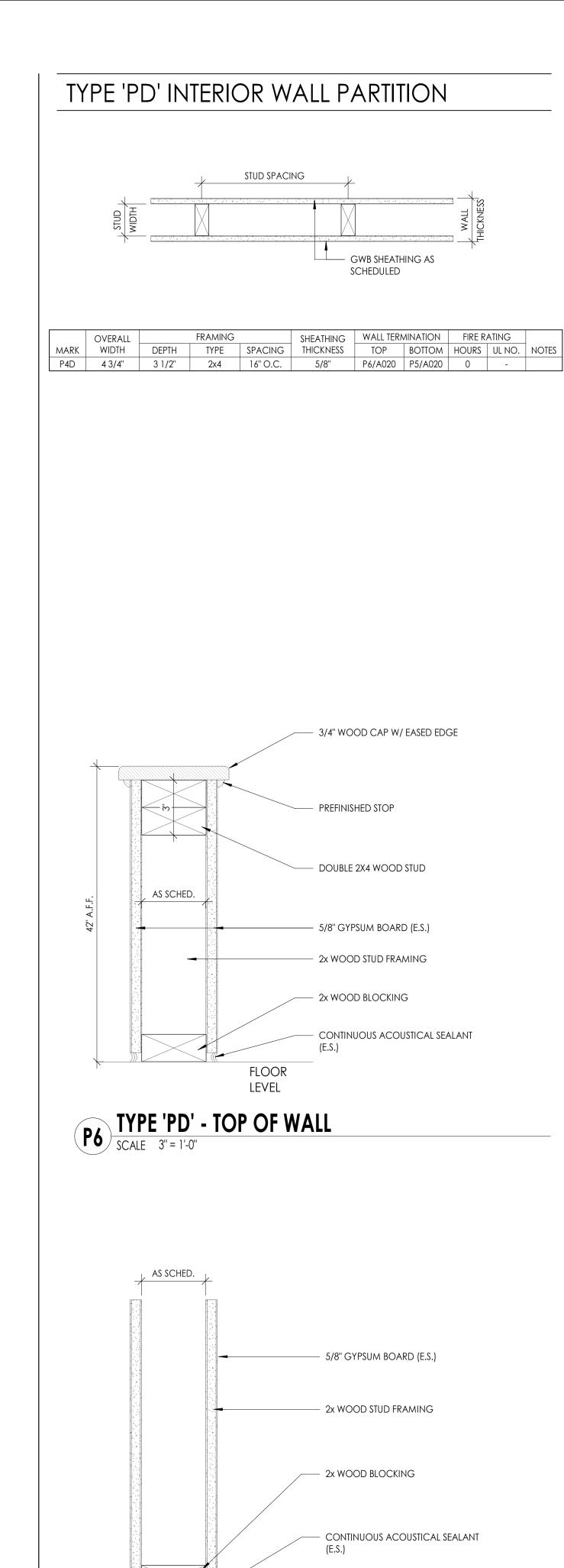
INFORMATION

PROJECT ARCHITECT	SP
PROJECT MANAGER	EJI
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

SHEET

DOOR TYPES AND SCHEDULES





GWB SHEATHING AS

SCHEDULED

SHEATHING | WALL TERMINATION | FIRE RATING

3/4" WOOD CAP W/ EASED EDGE

PREFINISHED STOP

— DOUBLE 2X4 WOOD STUD

- 5/8" GYPSUM BOARD (E.S.)

2x WOOD STUD FRAMING

CONTINUOUS ACOUSTICAL SEALANT

5/8" GYPSUM BOARD (E.S.)

2x WOOD STUD FRAMING

- 2x WOOD BLOCKING

FLOOR LEVEL

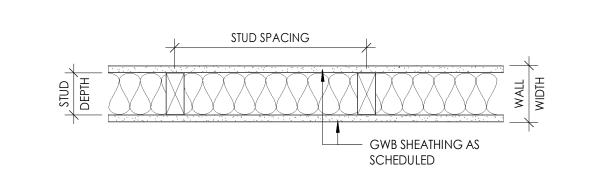
P5 TYPE 'PD' - BOTTOM OF WALL

SCALE 3" = 1'-0"

CONTINUOUS ACOUSTICAL SEALANT

2x WOOD BLOCKING

TYPE 'PB' INTERIOR WALL PARTITION



	OVERALL		FRAMING		SHEATHING	WALL TERM	NOITANIN	FIRE RATING		
MARK	WIDTH	DEPTH	TYPE	SPACING	THICKNESS	TOP	BOTTOM	HOURS	UL NO.	NOTES
P4B	4 3/4"	3 1/2"	2x4	16" O.C.	5/8"	P4	P3	1	U305	

TRUSS STRUCTURE ABOVE

5/8" GYPSUM BOARD (E.S.)

2x WOOD STUD FRAMING

- SOUND ATTENUATION BLANKET

- SCHEDULED CEILING, REFER TO REFLECTED CEILING PLAN

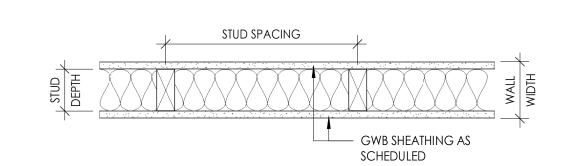
- DOUBLE TOP PLATE

(E.S.)

AS SCHED.

- CONTINUOUS FIRE STOP AND SEALANT

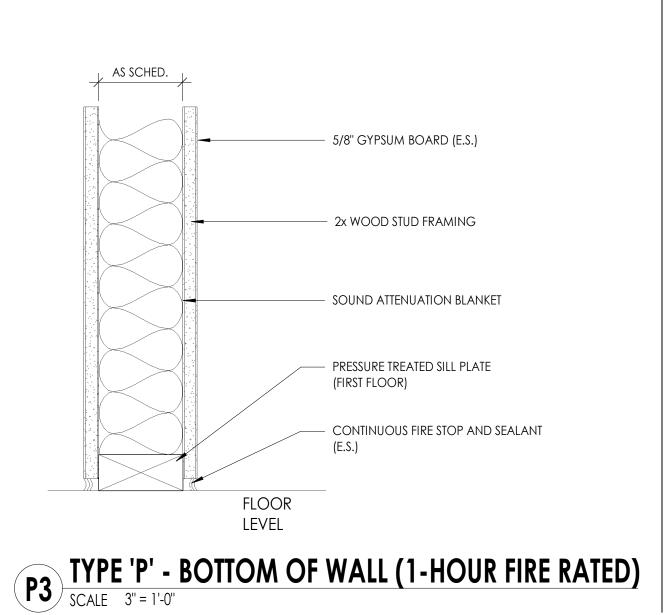
TYPE 'PA' INTERIOR WALL PARTITION



	OVERALL		FRAMING		SHEATHING	WALL TERM	WALL TERMINATION		FIRE RATING	
MARK	WIDTH	DEPTH	TYPE	SPACING	THICKNESS	TOP	BOTTOM	HOURS	UL NO.	NOTES
P4A	4 3/4"	3 1/2"	2X4	16" O.C.	5/8"	P2	P1	0	-	
P6A	6 3/4"	5 1/2"	2x6	16" O.C.	5/8"	P2	P1	0	-	

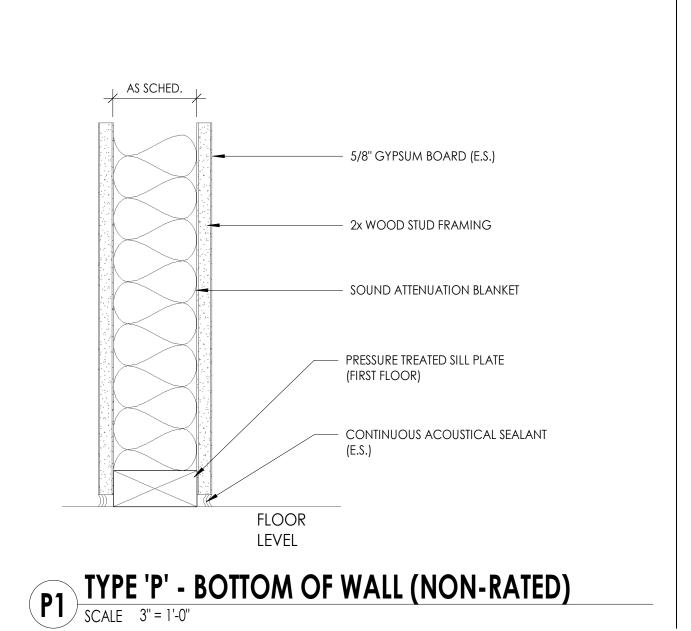
TRUSS STRUCTURE ABOVE CONTINUOUS ACOUSTICAL SEALANT - DOUBLE TOP PLATE — 5/8" GYPSUM BOARD (E.S.) - 2x WOOD STUD FRAMING SOUND ATTENUATION BLANKET SCHEDULED CEILING, REFER TO REFLECTED CEILING PLAN AS SCHED.



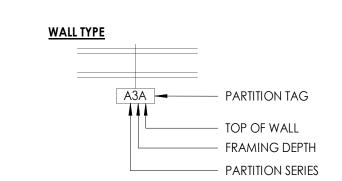


TYPE 'P' - TOP OF WALL (1-HOUR FIRE RATED)

SCALE 3" = 1'-0"



GENERAL PARTITION NOTES



TYPE	SHEATHING	FRAMING	SHEATHING	NOTE
Α	1 LAYER	C-STUD	1 LAYER	
В	2 LAYER	C-STUD	2 LAYER	
С	1 LAYER	C-STUD	2 LAYER	
D	1 LAYER	C-STUD	NONE	
E	2 LAYER	C-STUD	NONE	
F	1 LAYER	FURRING	NONE	EXTERIOR FURRING
G	1 LAYER	NONE	NONE	
Н	1 LAYER	C-STUD	1 LAYER	PARTIAL HEIGHT WALL
l	1 LAYER	2 C-STUD	1 LAYER	PLUMBING WALL
J	1 LAYER	C-H STUD	LINEAR PANEL	1 HOUR SHAFT WALL
K	2 LAYER	C-H STUD	LINEAR PANEL	2 HOUR SHAFT WALL
L	-	-	-	
M		MASONRY		
Ν	-	CONCRETE		
0	-	-	-	
Ρ	1 LAYER	STUD	1 LAYER	
Q	1 LAYER	FURRING	NONE	KITCHEN ISLAND/PENISULA WAL
R	1 LAYER	2 STUD	1 LAYER	PARTITION WALLS (1 HOUR RATE
S	1 LAYER	STAGGERED STUD	1 LAYER	1ST FLOOR STAIR WALLS

FRAMING DEPTH/TYPE - 0 NO FRAMING 0 7/8" FURRING CHANNEL 1-5/8" C-STUD 2 2-1/2" C OR C-H STUD FRAMING 3 3-5/8" C-STUD 4 4" C OR C-H STUD, CONCRETE OR MASONRY 6 6" C OR C-H STUD, CONCRETE OR MASONRY 8 8" C OR C-H STUD, CONCRETE OR MASONRY 10 10" C OR C-H STUD, CONCRETE OR MASONRY 12 12" CONCRETE OR MASONRY

A WALL EXTENDS TO UNDERSIDE OF DECK ABOVE FIRE RATED PARTITION (EXTENDS TO DECK ABOVE) WALL EXTENDS TUO UNDERSIDE OF CEILING GRID

WALL EXTENDS 12" ABOVE CEILING HEIGHT PARTIAL HEIGHT WALL (DOES NOT EXTEND TO, OR PAST A CEILING OR STRUCTURE)



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS DESCRIPTION

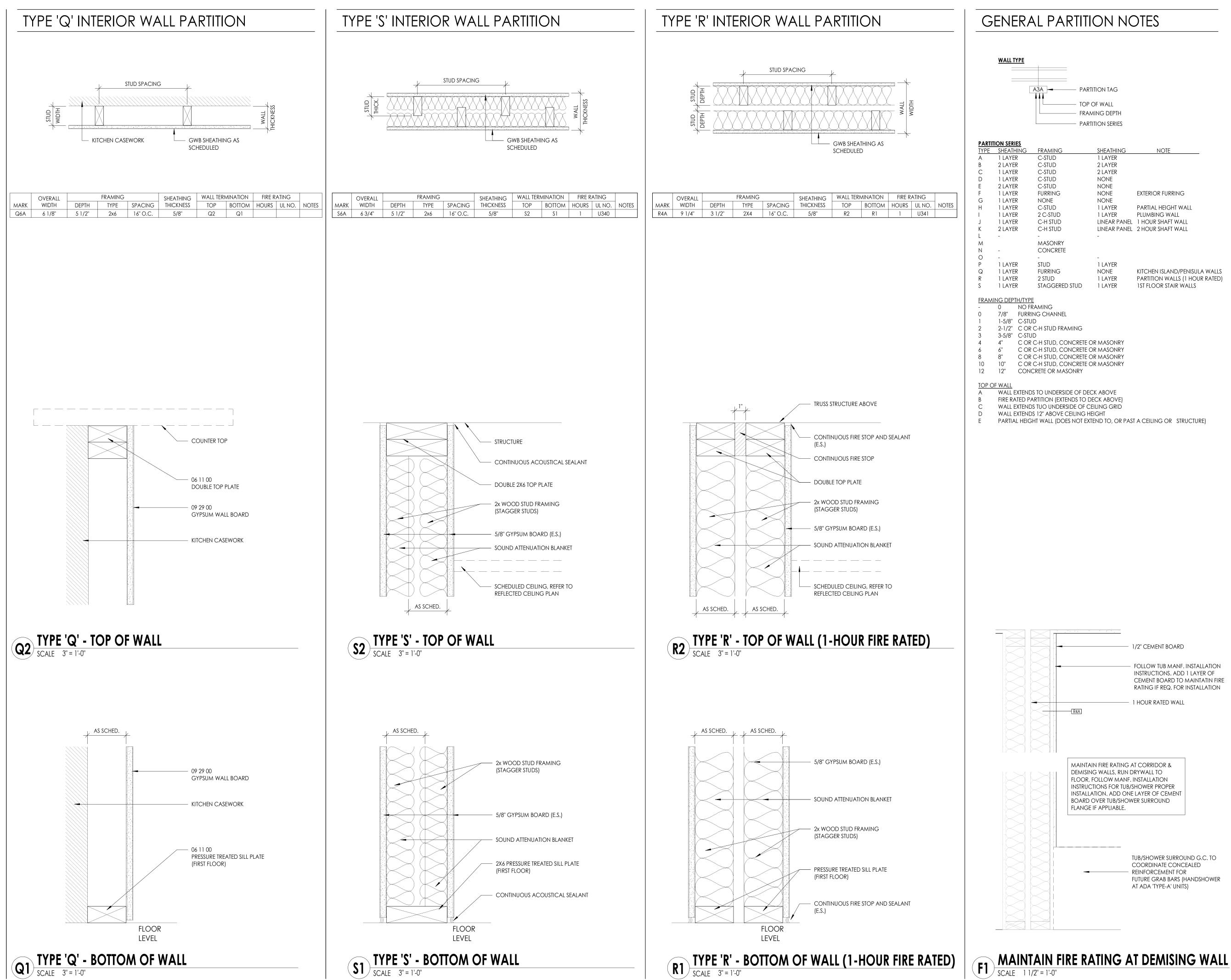
INFORMATION

PROJECT ARCHITECT	SI
PROJECT MANAGER	E.
PROJECT NUMBER	23012
ISSUED FOR	PERMIT S
DATE	03.31.

SHEET

WALL TYPES AND DETAILS







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PROJECT

PROPOSED BUILDING FOR:

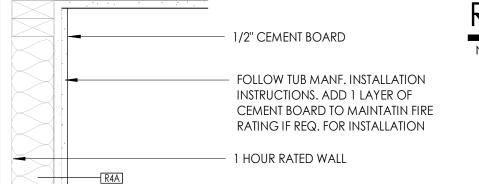
THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220



REVISIONS DESCRIPTION

TUB/SHOWER SURROUND G.C. TO

INFORMATION

PROJECT AF	RCHITECT		SPS
PROJECT M	ANAGER		EJN
PROJECT NI	JMBER		230127
ISSUED FOR		PE	ERMIT SET
DATE			03.31.23

SHEET

WALL TYPES AND DETAILS





TYPE 'WS' EXTERIOR WALL PARTITION STUD SPACING TYPE 'WS' SERIES PARTITION (1-HOUR FIRE RATED) SCALE 1 1/2" = 1'-0" TYPE 'WS6' - WALL SECTION (1-HOUR FIRE RATED) SCALE 3" = 1'-0"

TYPE 'WB' EXTERIOR WALL PARTITION

- FIBER CEMENT LAP SIDING

- EXTERIOR SHEATHING (SEE STRUCTRUAL)

(AS SCHED.)

WEATHER RESISTANT BARRIER (WRB)

- VAPOR BARRIER

- GWB SHEATHING AS

FIBER CEMENT SIDING AS SCHED.

EXTERIOR SHEATHING (SEE STRUCTURAL)

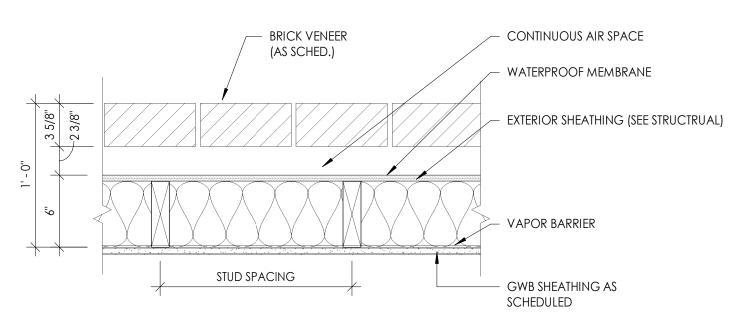
WEATHER RESISTANT BARRIER

- 2x WOOD STUD FRAMING

- VAPOR BARRIER

INSULATION AS SCHEDULED

SCHEDULED



TYPE 'WB' SERIES PARTITION (2-HOUR FIRE RATED) SCALE 1 1/2" = 1'-0"

1' - 0"

2 3/8" 3 5/8"

TYPE 'WB' - WALL SECTION (2-HOUR FIRE RATED)

SCALE 3" = 1'-0"

BRICK VENEER AS SCHED.

- CONTINUOUS AIR SPACE

- WATERPROOF MEMBRANE

- 2x WOOD STUD FRAMING

- INSULATION AS SCHEDULED

 VAPOR BARRIER - GYP. INTERIOR

- EXTERIOR SHEATHING (SEE STRUCTRUAL)



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REVISIONS

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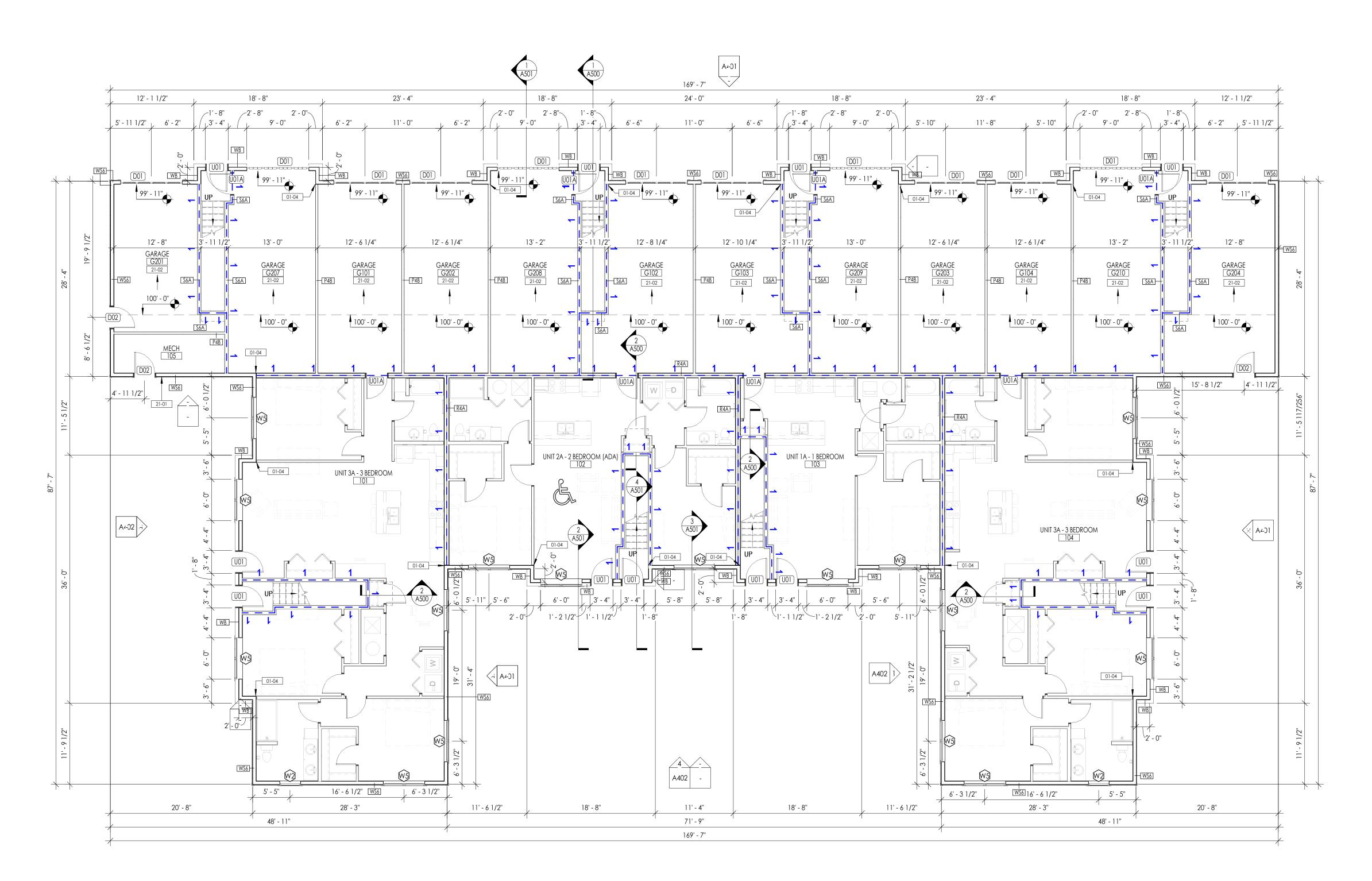
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

WALL TYPES AND DETAILS EXTERIOR





CONSTRUCTION PLAN-1ST FLOOR SCALE 1/8" = 1'-0"

SHEET KEYNOTES

4 ALIGN FACE OF GYP BD

21-01 FIRE DEPARTMENT KNOX BOX (VERIFY LOCATION WITH FIRE MARSHALL)
21-02 DESIGN/BUILD FIRE PROTECTION CONTRACTOR TO PROVIDE DRY SYSTEM
OR HEAT TAPE WRAP ON (UNHEATED GARAGE) SPRINKLER LINE AS
REQUIRED



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GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT
- D. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- L. ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND
- N. GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- R. COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

EVISIONS

NO. DESCRIPTION DA

INFORMATION

PROJECT ARCHITECT	SP
PROJECT MANAGER	EJI
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

SHEET

CONSTRUCTION PLAN - 1ST FLOOR



01-04 ALIGN FACE OF GYP BD



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GENERAL PLAN NOTES

- A. COMPLY WITH CODES, LAWS, ORDINANCES, RULES OF AUTHORITIES HAVING JURISDICTION.
- B. GENERAL CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- C. ALL SHADED AREAS ARE NOT INCLUDED IN THE TENANT BUILD-OUT
- D. DO NOT SCALE THE DRAWINGS, WRITTEN DIMENSIONS OR NOTES SHALL GOVERN, AND IF THERE ARE ANY MISSING DIMENSIONS OR DISCREPANCIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSULT THE ARCHITECT BEFORE PERFORMING ANY WORK IN QUESTION.
- E. THE NOTE 'ALIGN' WILL SUPERSEDE ANY DIMENSIONAL NOTE AND IF THERE IS A DISCREPANCY, THE CONTRACTOR SHOULD CONSULT THE ARCHITECT.
- F. IF THERE ARE ANY CONFLICTS BETWEEN FLOOR PLAN AND INTERIOR DETAILS AND ELEVATIONS, GENERAL CONTRACTOR TO CONSULT THE
- G. CONTRACTOR TO PROVIDE A COMPLETE AND THOROUGH CLEANING FOR THE ENTIRE BUILD-OUT.
- H. ALL INTERIOR GYPSUM BOARD PARTITIONS SHOULD BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. ANY PATCH WORK THAT IS REQUIRED ON EXISTING WALLS THAT ARE ADJACENT TO NEW WALLS SHALL BE FLUSH.
- I. OWNER/TENANT WILL PROVIDE WORK NOTED "BY OTHER" OR "NIC" UNDER SEPARATE CONTRACT. GENERAL CONTRACTOR TO COORDINATE THIS WORK IN ORDER TO ASSURE APPROPRIATE INSTALLATION AND PROPER SEQUENCE OF INSTALLATION.
- J. BUILDING OWNER AND TENANT TO APPROVE KEYING ALL NEW AND RE-KEYING OF EXISTING HARDWARE.
- K. CONTRACTOR TO PROVIDE ALL WALL REINFORCING OR BLOCKING REQUIRED FOR ALL HARDWARE AND FIXTURES.
- ALL DIMENSIONS ARE TO FACE OF MASONRY, CENTERLINES OF COLUMN LINES, OR NOMINAL DIMENSION OF PARTITION WALLS. NON-MODULAR WALLS ARE DIMENSIONED TO CRITICAL FACES.
- M. GENERAL CONTRACTOR TO REPAIR BUILDING STANDARD FRAMES AND DOORS AND INSTALL AS INDICATED IN THE PROPOSED BUILD-OUT.
- GENERAL CONTRACTOR TO INSTALL BUILDING STANDARD HARDWARE THAT IS IN PROPER WORKING ORDER.
- O. ALL EXISTING WALLS TO BE REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW WALL FINISHES.
- P. REPAIR ALL FRAMES, DOORS, HARDWARE, ETC. THAT ARE SALVAGED PRIOR TO INSTALLATION IN TENANT SPACE.
- Q. THE IMPRINTING OR ADHERING OF COMPANY CONTACT INFORMATION IS PROHIBITED ON ANY FINISHED SURFACE.
- . COORDINATE THE SCHEDULE AND ANY REQUIRED PROTECTIVE MEASURES WITH THE OWNER PRIOR TO USING THE BUILDING LOBBY.

OTES PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION DATE

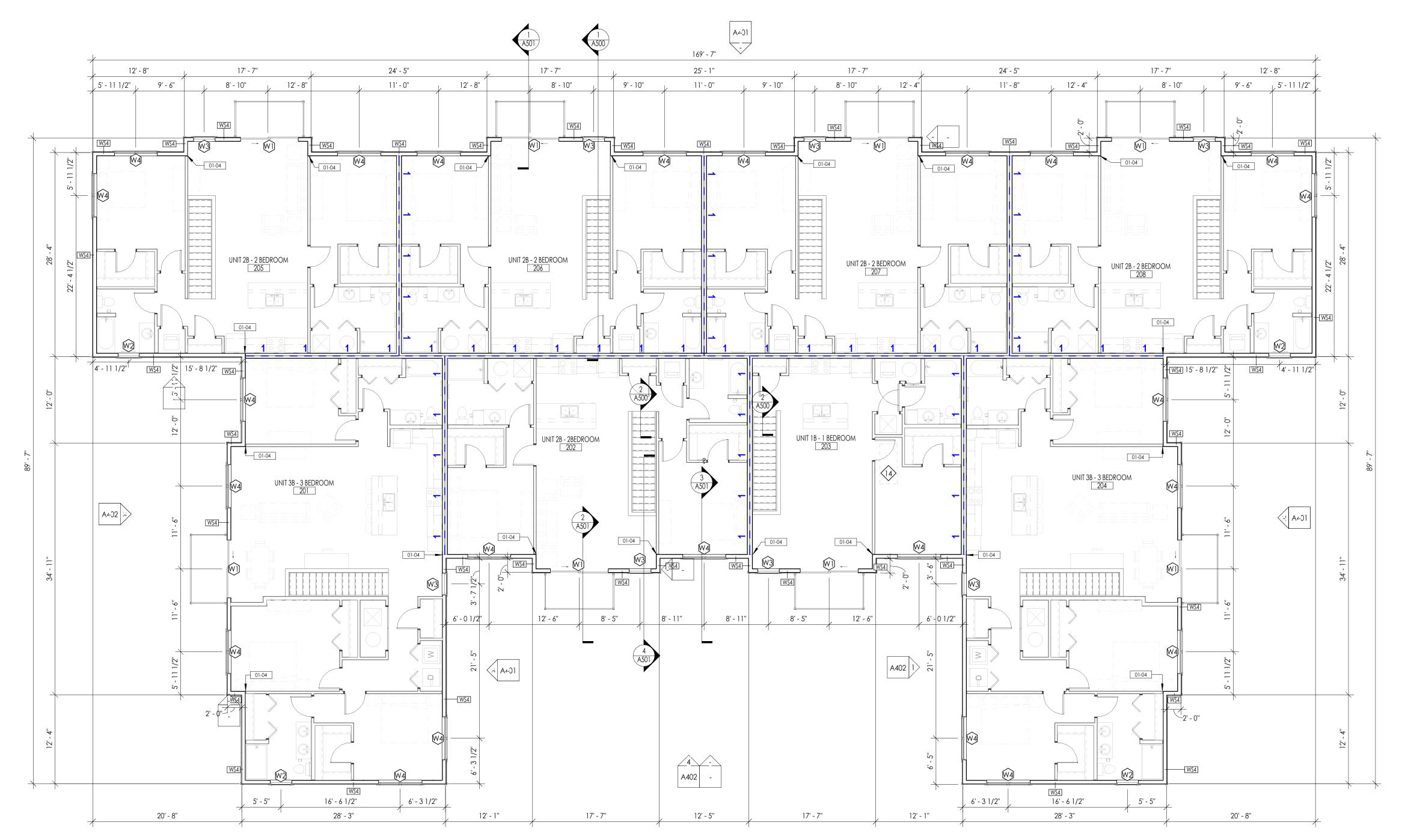
INFORMATION

PROJECT ARCHITECT	SF
PROJECT MANAGER	EJ
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

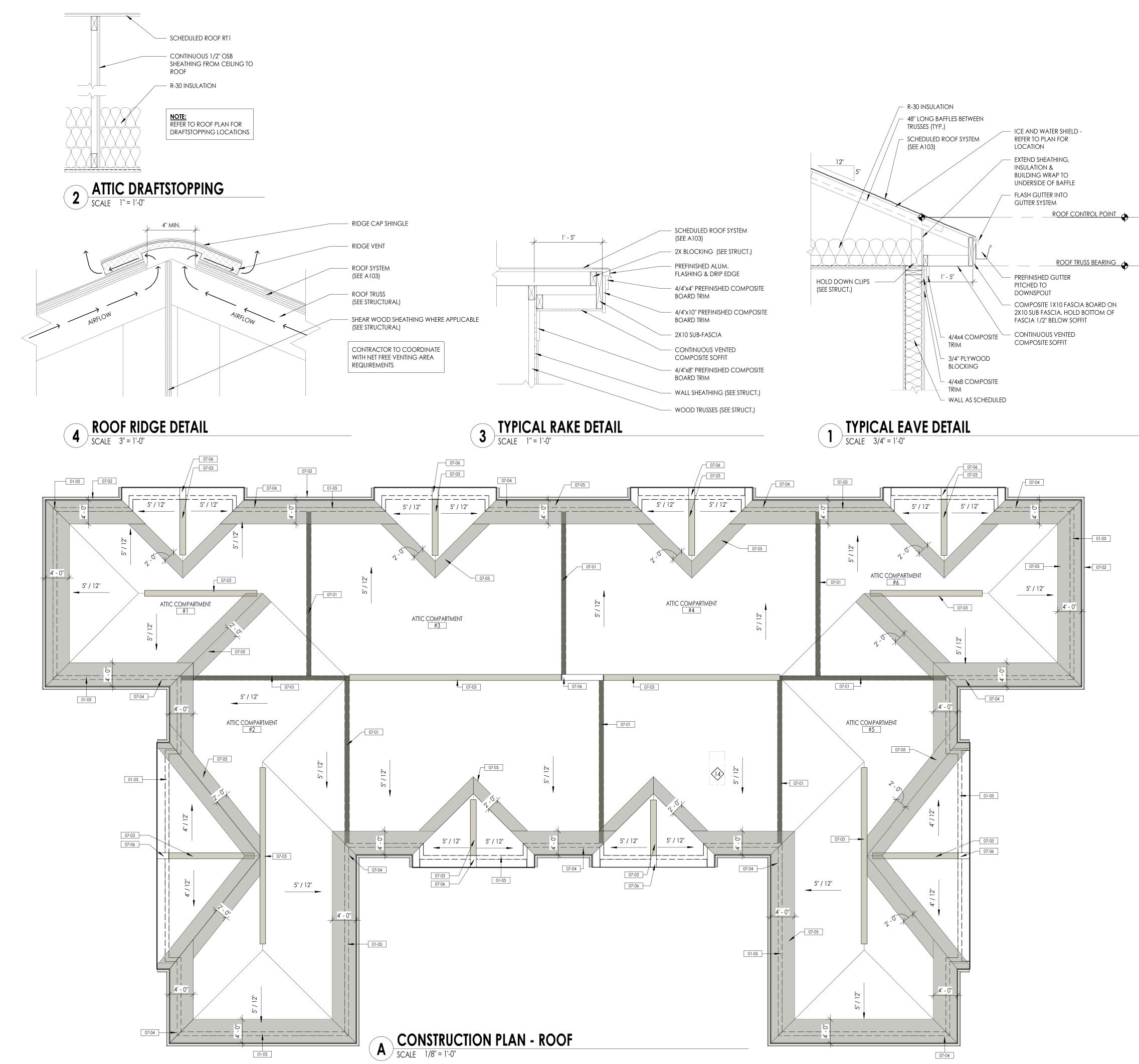
SHEET

CONSTRUCTION PLAN - 2ND FLOOR





1 CONSTRUCTION PLAN-2ND FLOOR
SCALE 1/8" = 1'-0"



01-05 BUILDING PROFILE BELOW 07-01

ATTIC DRAFT STOP PREFINISHED GUTTER (PITCH TO DOWNSPOUTS)

07-02 RIDGE VENT (REQUIRED AREA CALCULATED BY ROOFING CONTRACTOR).

THESE SHALL BE INSTALLED NO MORE THAN 3'-0" FROM TOP OF RIDGE IN ACCORDANCE WITH 2015 IBC WHERE APPLICABLE.

PREFINISHED DOWNSPOUT. TIE INTO UNDERGROUND STORM SEWER (SEE CIVIL) AT FRONT PAVED AREAS.

ICE & WATER SHIELD 07-06 AESTHETIC RIDGE TO CONTINUE PAST FUNCTIONAL RIDGE VENT



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

ROOF PLAN NOTES

- A. PROVIDE ICE AND WATER SHIELD AS INDICTED. AREAS AT ALL EAVES & VALLEYS WHERE ROOF ABUTS ADJACENT WALLS, AND LOWE LEVEL ROOFS.
- FINAL LOCATIONS OF DOWNSPOUTS TO BE VERIFIED WITH INSTALLER, CONTRACTOR,
- OWNER, AND ARCHITECT AND PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. PAINT ALL ROOF PENETRATIONS THAT ARE NOT PREFINISHED TO MATCH FINISH ROOFING
- ALL VENT CAPS SHALL BE LOCATED ON REAR SIDE OF RIDGE. HVAC AND PLUMBING CONTRACTOR TO SUBMIT ROOF VENT LOCATION PLAN TO ARCHITECT FOR REVIEW PRIOR
- TO CONSTRUCTION/INSTALLATION. ROOF RIDGE VENTING TO PROVIDE 1 SF OF VENT AREA FOR EVERY 300 SF OF ATTIC AREA.
- THE VENTING SHALL BE EQUALLY SEPARATED BETWEEN THE RIDGE AND EAVE/SOFFIT. PROVIDE ATTIC SEPARATION AS INDICATED. ALL AREAS OF OVER FRAMING TO BE VENTED TO MAIN ATTIC SPACE WITH MINIMUM. 3 SF
- OPENING IN BOTTOM ROW OF SHEATHING. INSTALL RIDGE VENTING AT TOP OF ALL OVER
- H. NFVA CALCULATIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE IN FIELD.

ROOF TYPES

- 30 YEAR DIMENSIONAL SHINGLES (CLASS B) #15 ROOF FELT (SUBSTITUTE ICE & WATER SHIELD AS INDICATED)
- OSB SHEATHING (SEE STRUCTURAL) R-30 BLOWN-IN INSULATION
- ENGINEERD ROOF TRUSSES (SEE STRUCTURAL)
- 6 MIL. VAPOR BARRIER W/ TAPED SEAMS RESILENT CHANNEL @ 12" O.C.
- 5/8" GWB

REQUIRED VENTING CALULATION

				PER 2015 IB	C SECTION 120
					AREA/
			NET FREE	VENTING ARE	A (NFVA)
SPACE	NUMBER	ATTIC AREA	NFVA		
			(TOTAL)	RIDGE	SOFFIT
ATTIC COMPARTMENT	#1	1,168 SF	560.86 in ²	280.43 in ²	280.43 in ²
ATTIC COMPARTMENT	#2	1,640 SF	787.01 in ²	393.50 in ²	393.50 in ²
ATTIC COMPARTMENT	#3	2,357 SF	1131.28 in²	565.64 in ²	565.64 in ²
ATTIC COMPARTMENT	#4	2,008 SF	963.91 in ²	481.96 in ²	481.96 in ²
ATTIC COMPARTMENT	#5	1,641 SF	787.61 in ²	393.81 in ²	393.81 in ²
ATTIC COMPARTMENT	#6	1,168 SF	560.86 in ²	280.43 in ²	280.43 in ²

RIDGE VENTING		SC	OFIT V	'ENTING	
PER 2015 IBC SECTION 1203.2 20 SQ. IN NFVA PER LINEAR FOOT				F	PER 2015 IBC SECTION 1203.2 NFVA AREA/22
ATTIC #	LENGTH	NVFA PROVIDED (SQ.IN.)	ATTIC NUMBER	NFVA (TOTAL)	VENTS PROVIDED
1	27.9 LF	558.1	#1	561 in²	25
2	43.5 LF	870	#2	787 in²	36
3	44.5 LF	890.7	#3	1131 in²	51
4	38.6 LF	771.8	#4	964 in²	44
5	43.6 LF	871.2	#5	788 in²	36
6	28.0 LF	559.5	#6	561 in ²	25

REVISIONS

OWNER

DESCRIPTION

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET

MILWAUKEE, WI 53220

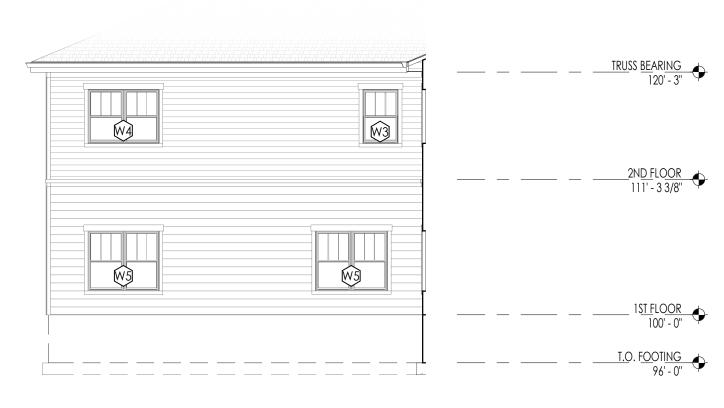
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

CONSTRUCTION PLAN - ROOF

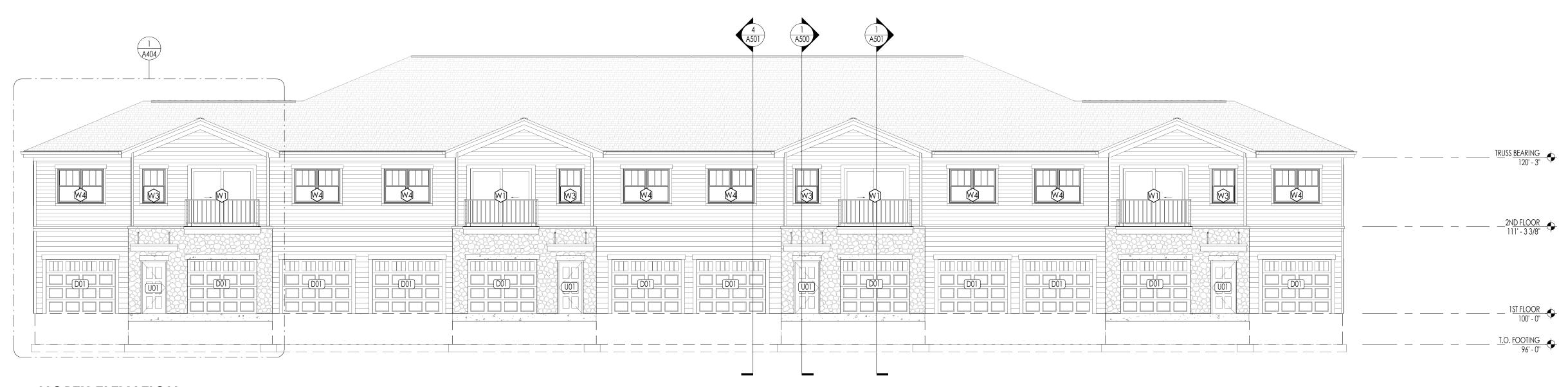




3 EAST INLET ELEVATION SCALE 1/8" = 1'-0"



2 EAST ELEVATION SCALE 1/8" = 1'-0"





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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

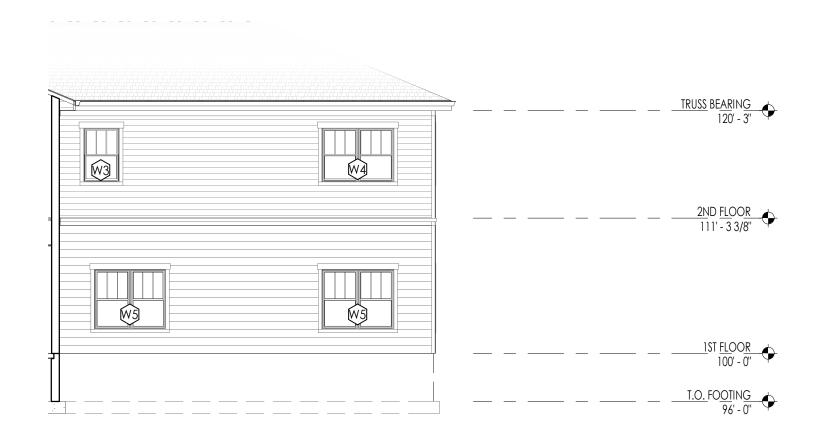
SHEET

BUILDING ELEVATIONS



NORTH ELEVATION

SCALE 1/8" = 1'-0"



WEST INLET ELEVATION SCALE 1/8" = 1'-0"



3 WEST ELEVATION SCALE 1/8" = 1'-0"







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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS NO. DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
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DATE	03.31.23

SHEET

BUILDING ELEVATIONS









NORTH ELEVATION

SCALE 1/8" = 1'-0"







SCALE 1/8" = 1'-0"



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PROJECT

PROPOSED BUILDING FOR:

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4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

D. DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

BUILDING ELEVATIONS-COLOR





PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

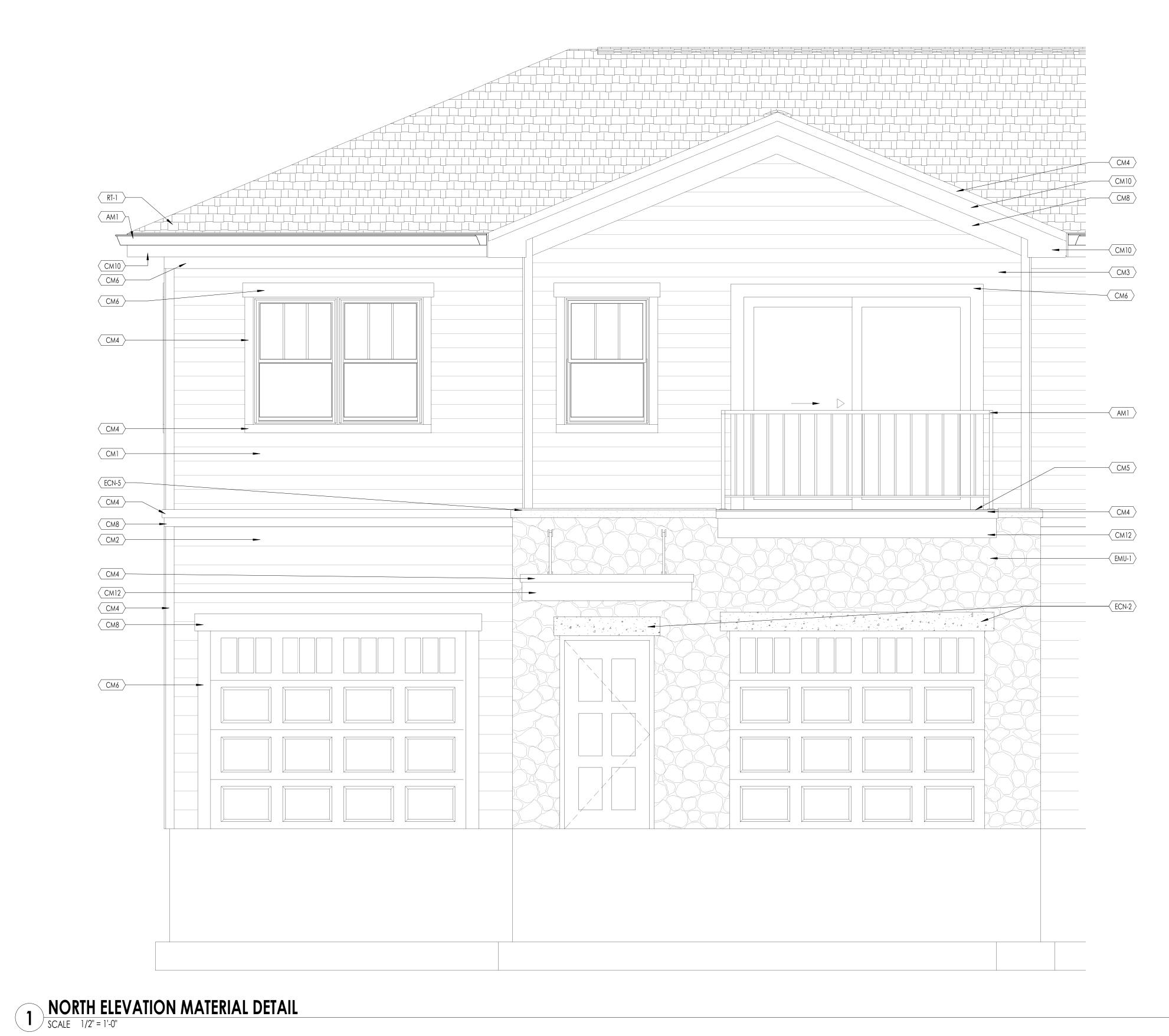
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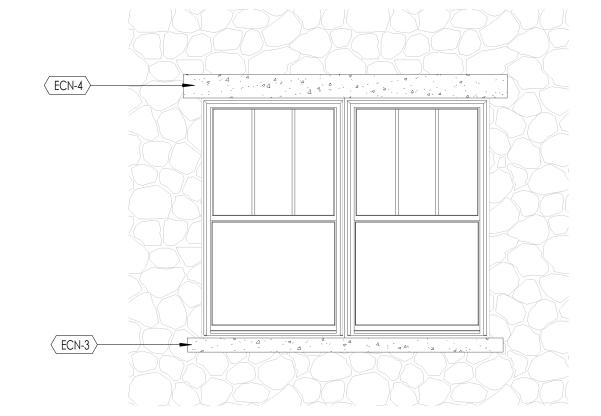
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PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

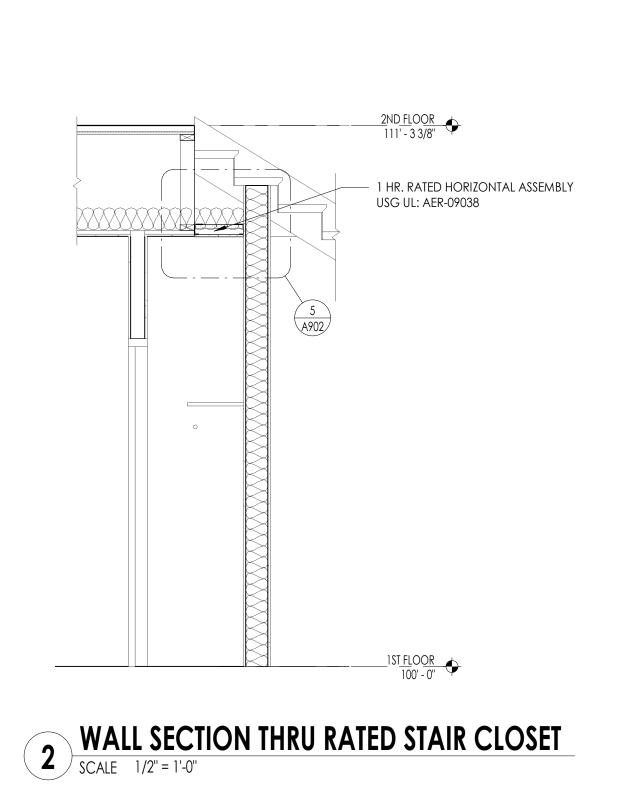
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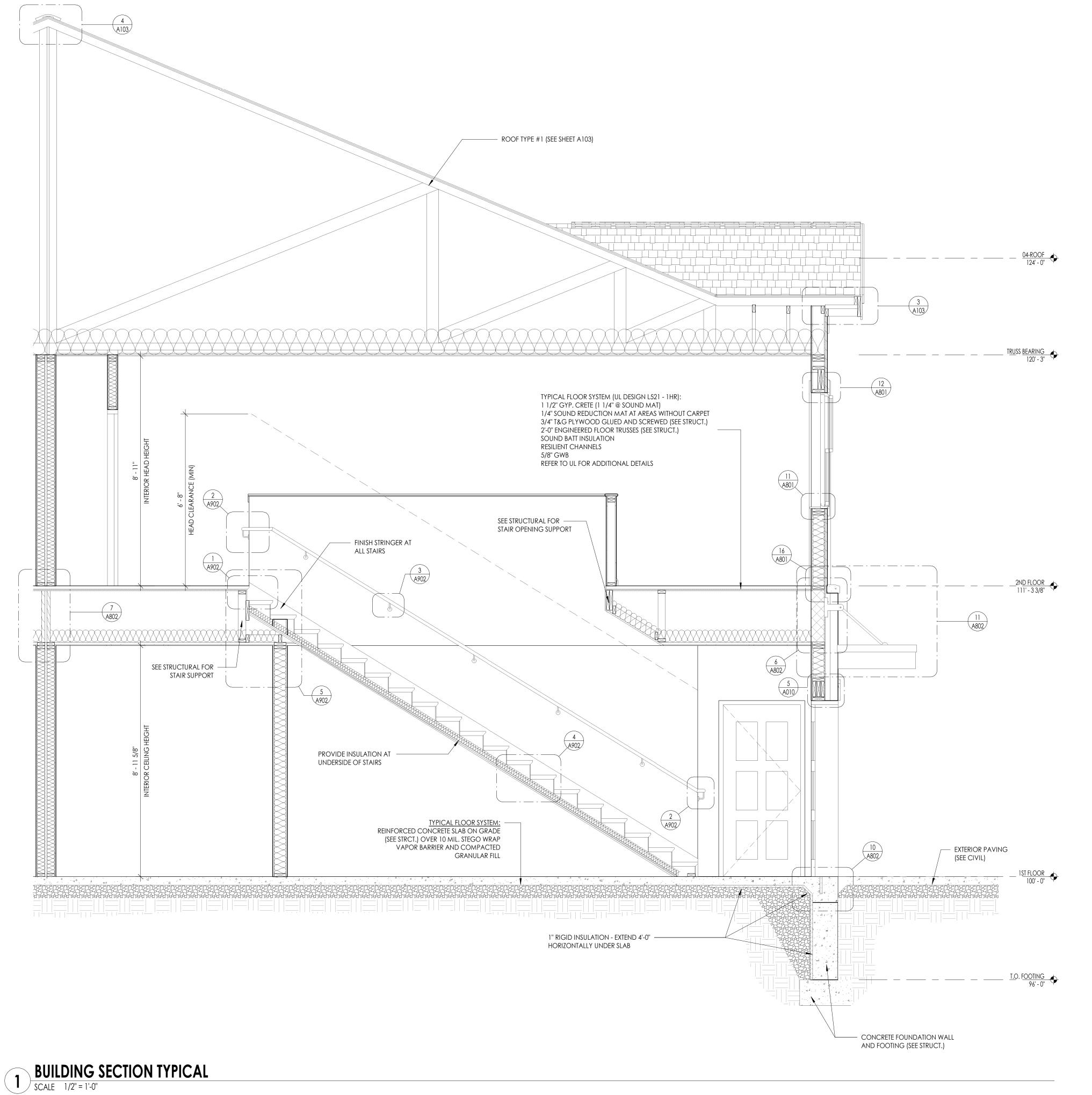
BUILDING ELEVATIONS DETAILS













PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

NO. DESCRIPTION

INFORMATION

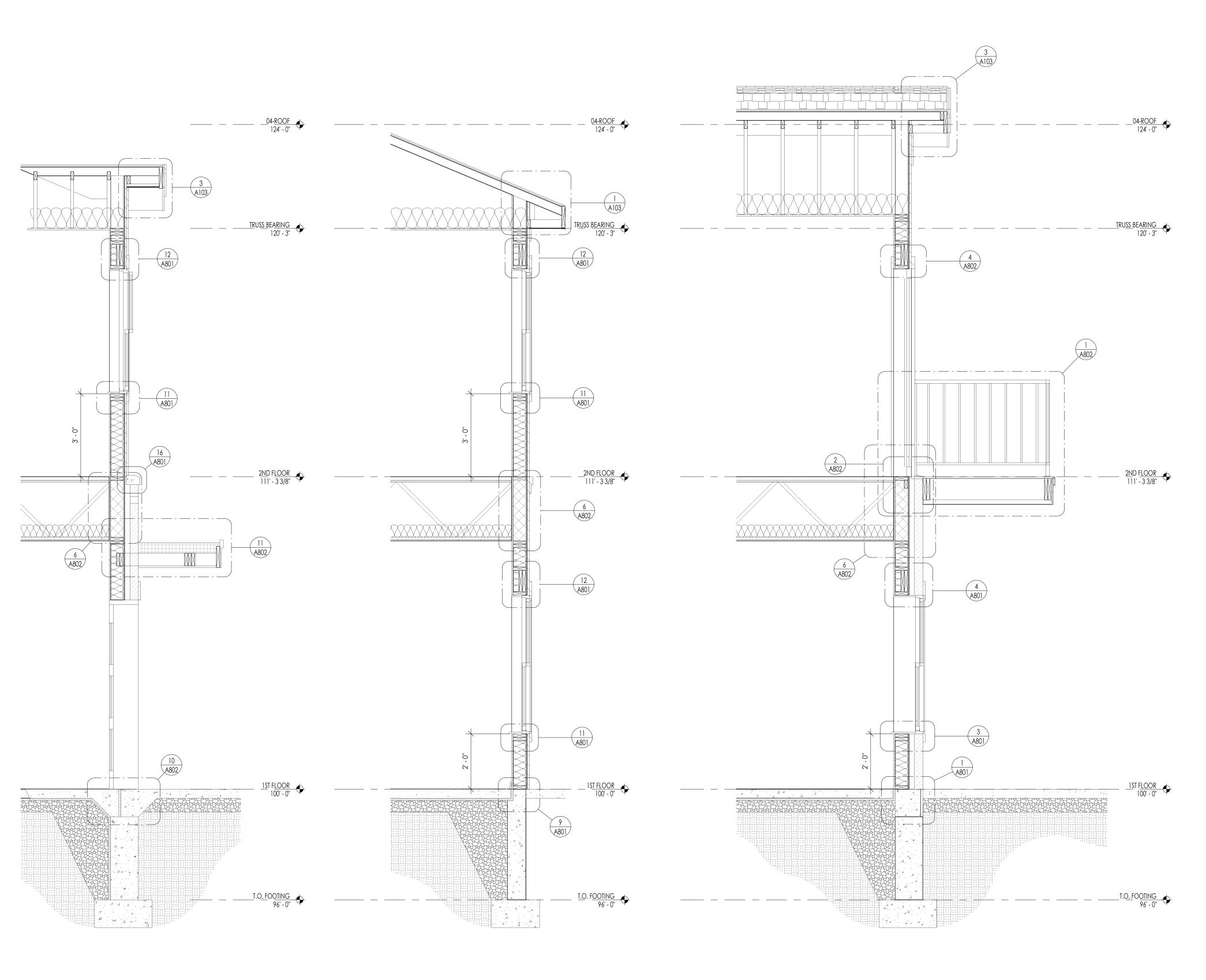
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PROJECT MANAGER	EJ
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

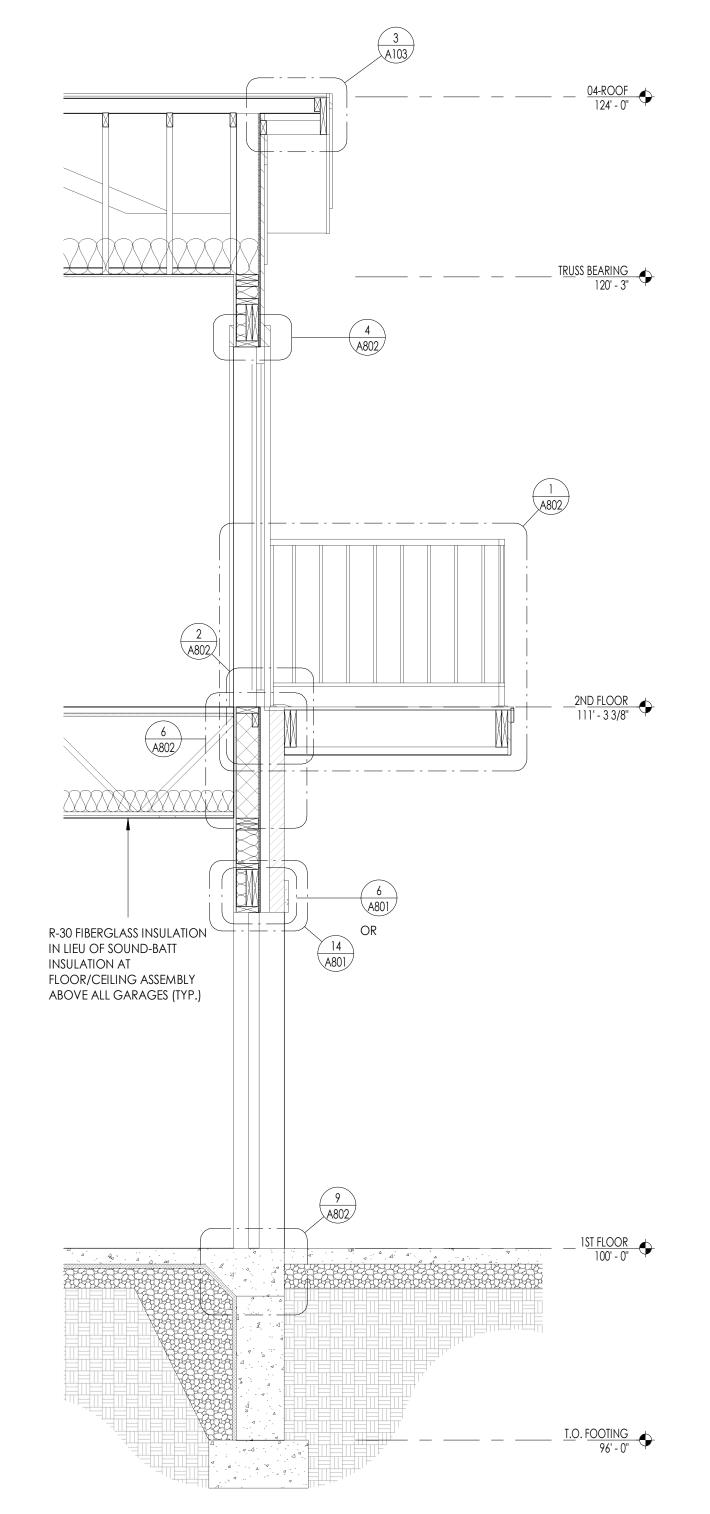
SHEET

BUILDING SECTION









PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

D. DESCRIPTION

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

WALL SECTIONS

WALL SECTION THRU BALCONY/GARAGE

SCALE 1/2" = 1'-0"









- 09-03 FINISHED END PANEL
 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

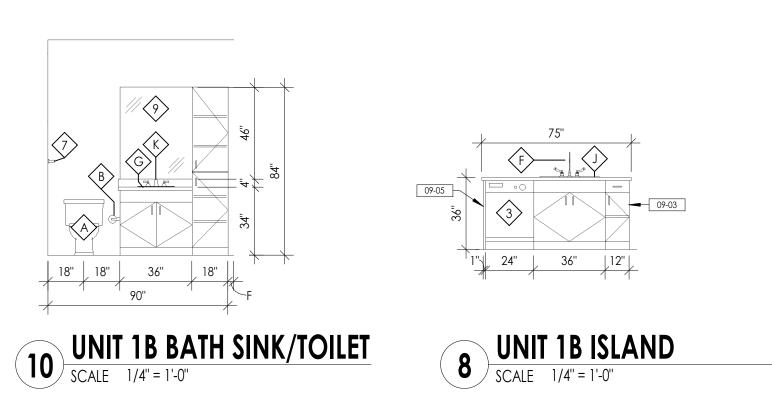
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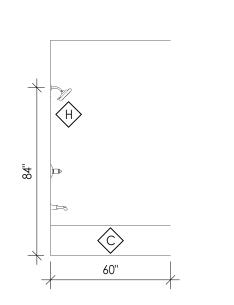
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

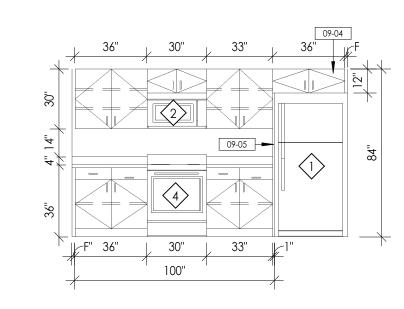
SHEET

ENLARGED UNIT PLANS & ELEVATIONS



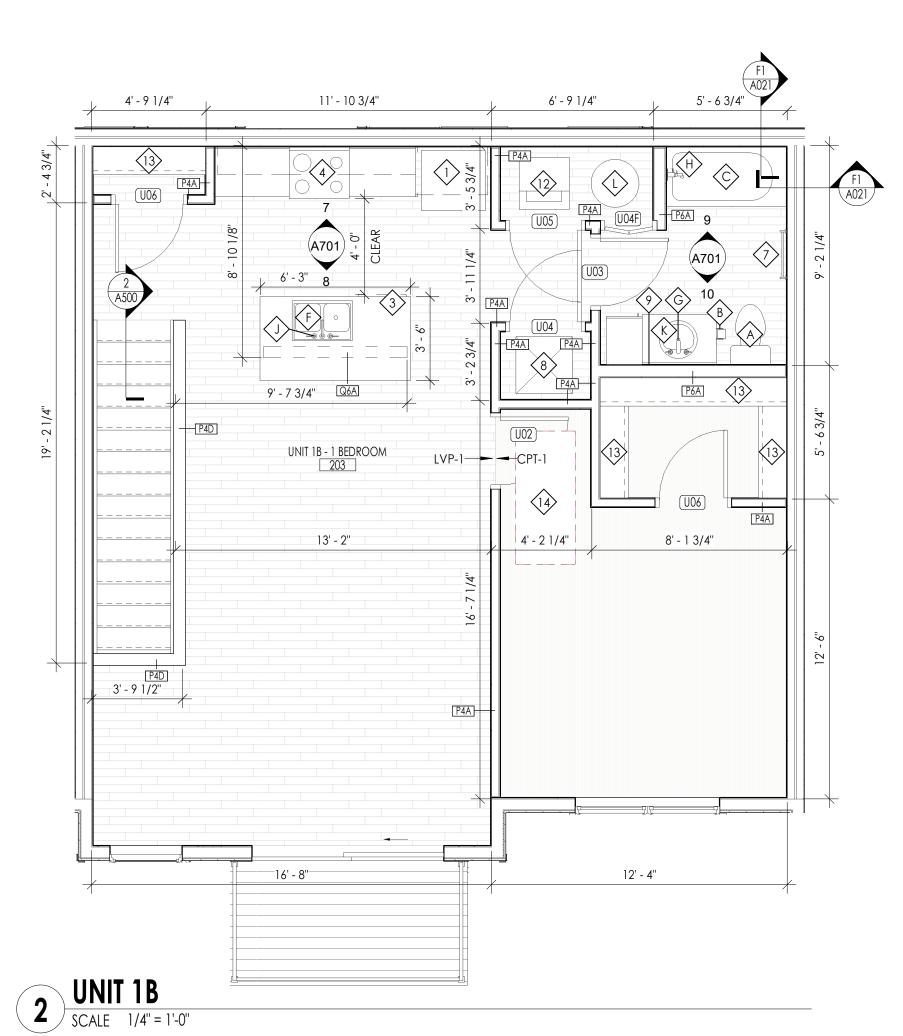


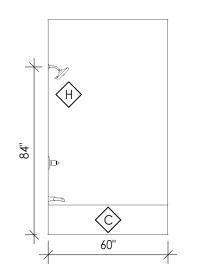


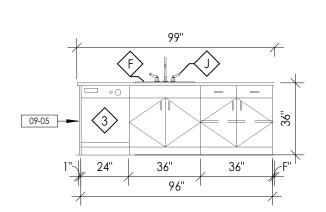


9 UNIT 1B TUB
SCALE 1/4" = 1'-0"

7 UNIT 1B KITCHEN
SCALE 1/4" = 1'-0"





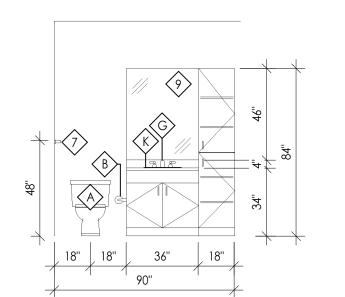


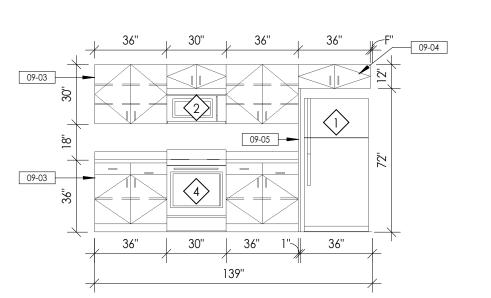
6 UNIT 1A TUB

SCALE 1/4" = 1'-0"

4 UNIT 1A PENINSULA

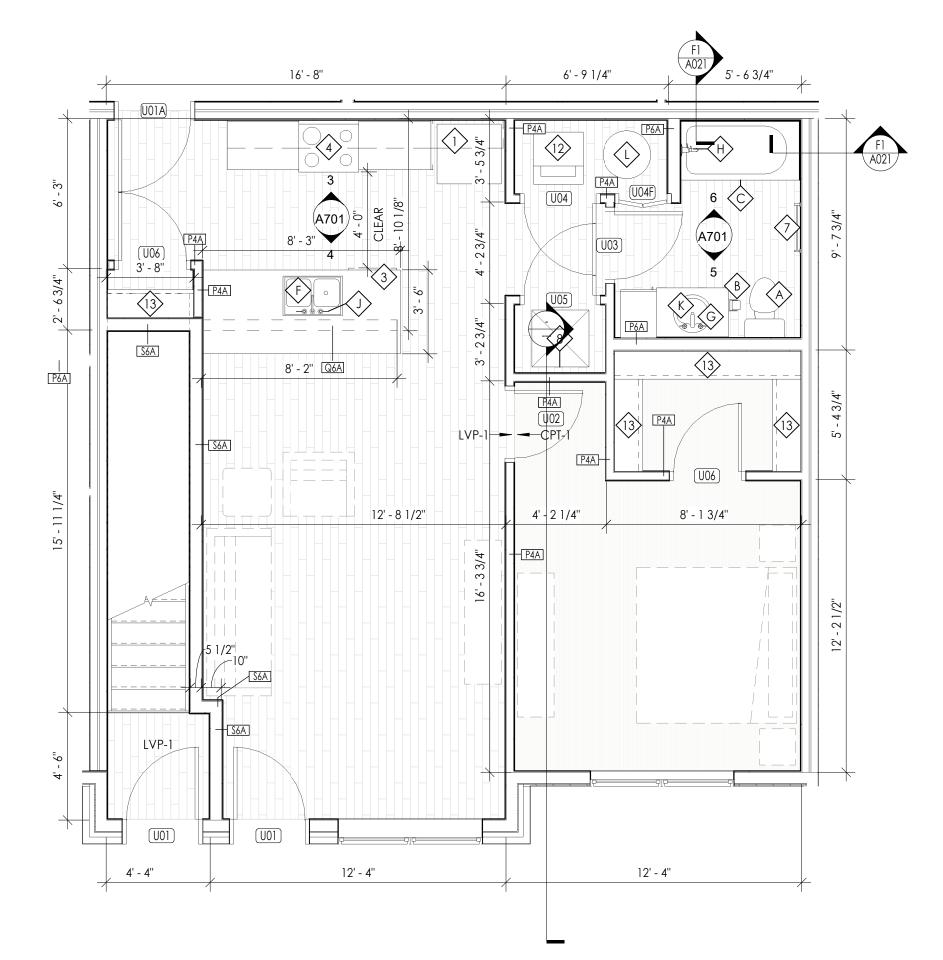
SCALE 1/4" = 1'-0"





5 UNIT 1A BATH SINK/TOILET
SCALE 1/4" = 1'-0"

3 UNIT 1A KITCHEN
SCALE 1/4" = 1'-0"



1 UNIT 1A

SCALE 1/4" = 1'-0"

 \bigcirc D

60"

UNIT 2A SHOWERSCALE 1/4" = 1'-0"

- 09-03 FINISHED END PANEL09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- FINISHED SIDE PANEL REMOVABLE BASE CABINET (SEE 1/A901)



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI



OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS DESCRIPTION

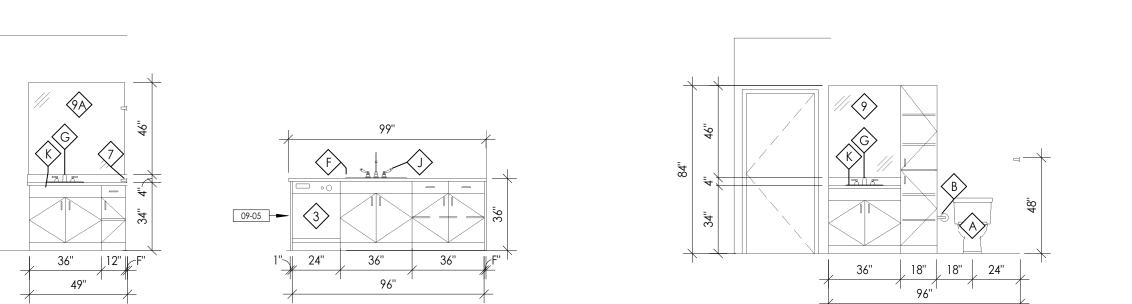
INFORMATION PROJECT ARCHITECT

ROJECT ARCHITECT	SPS
ROJECT MANAGER	EJN
ROJECT NUMBER	230127
SSUED FOR	PERMIT SET
)ATE	03.31.23

SHEET

ENLARGED UNIT PLANS & ELEVATIONS

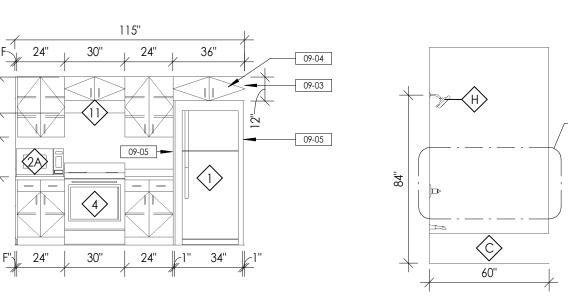




UNIT 2B PENINSULA

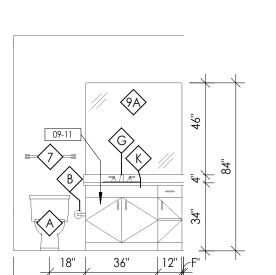
SCALE 1/4" = 1'-0"



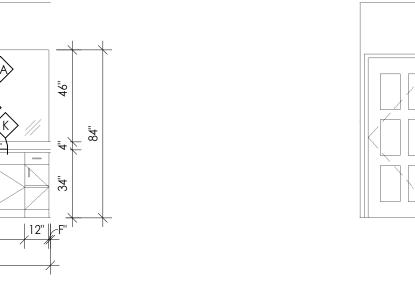


8 UNIT 2A ADA KITCHEN
SCALE 1/4" = 1'-0"





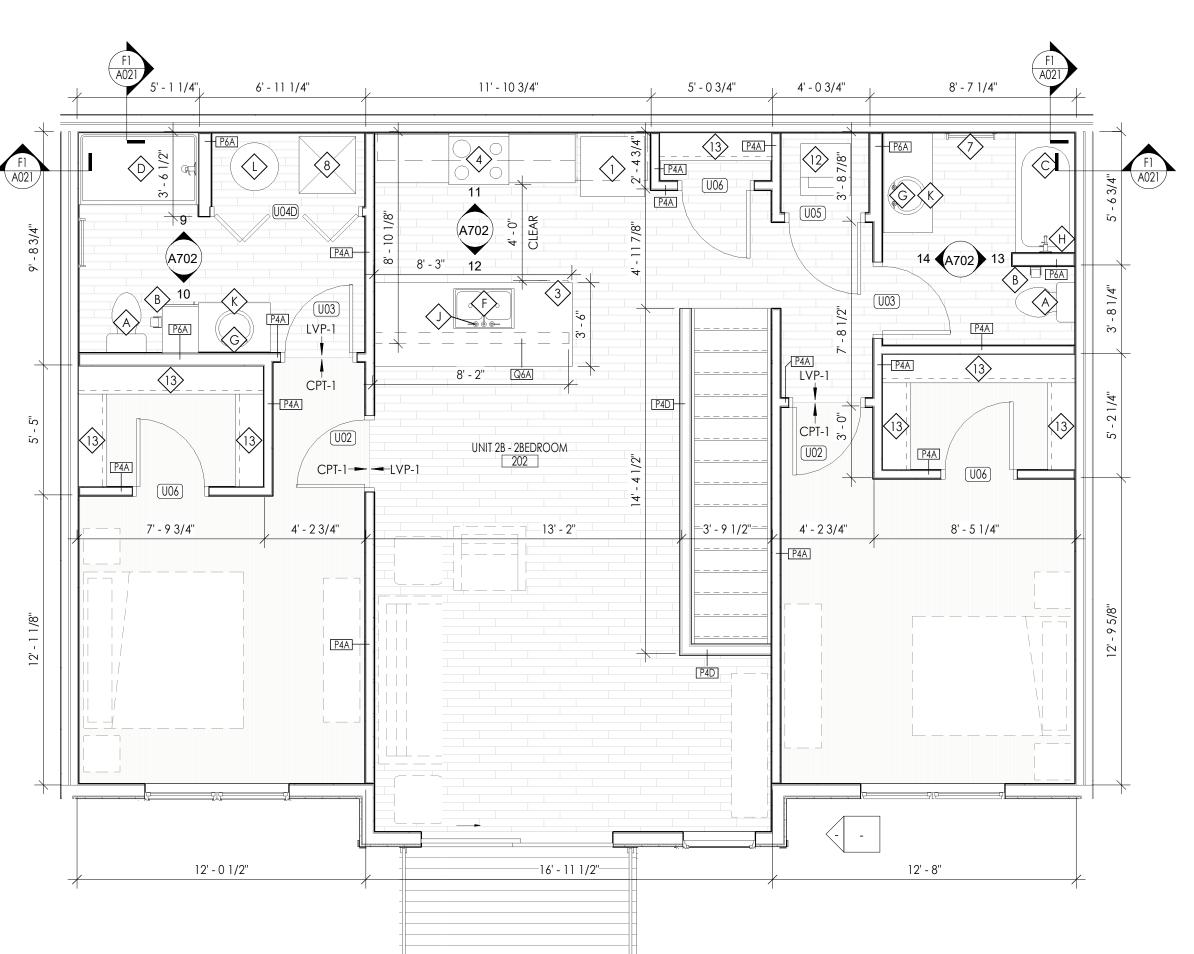
5 UNIT 2A ADA BATH SINK/TOILET
SCALE 1/4" = 1'-0"

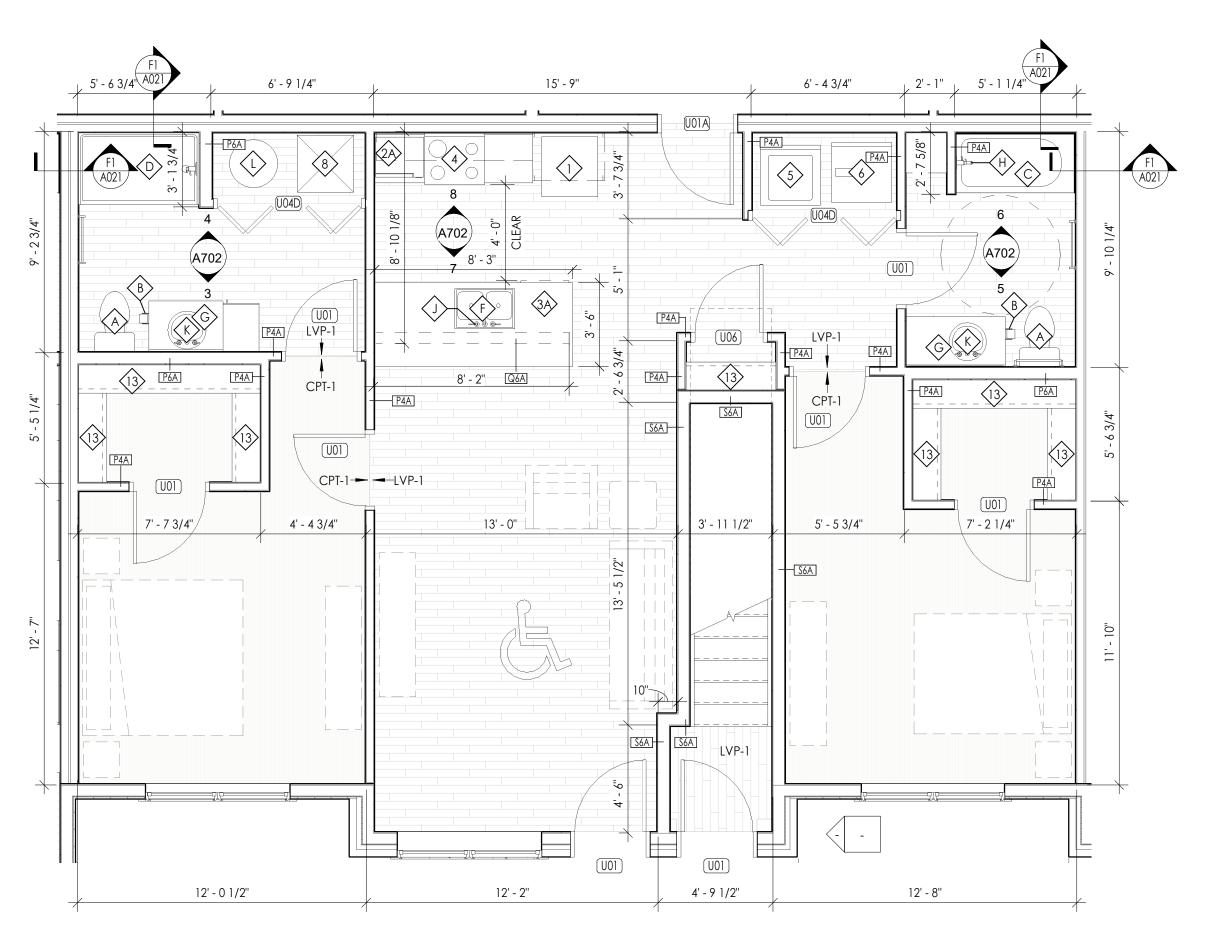


3 UNIT 2A ADA PRIMARY BATH SINK/TOILET

SCALE 1/4" = 1'-0"







1 UNIT 2A - 'TYPE-ADA'
| SCALE | 1/4" = 1'-0"

2 UNIT 2B SCALE 1/4" = 1'-0"

UNIT 2B BATH SINK

SCALE 1/4" = 1'-0"

24 3/4"

60''

13 UNIT 2B TOILET

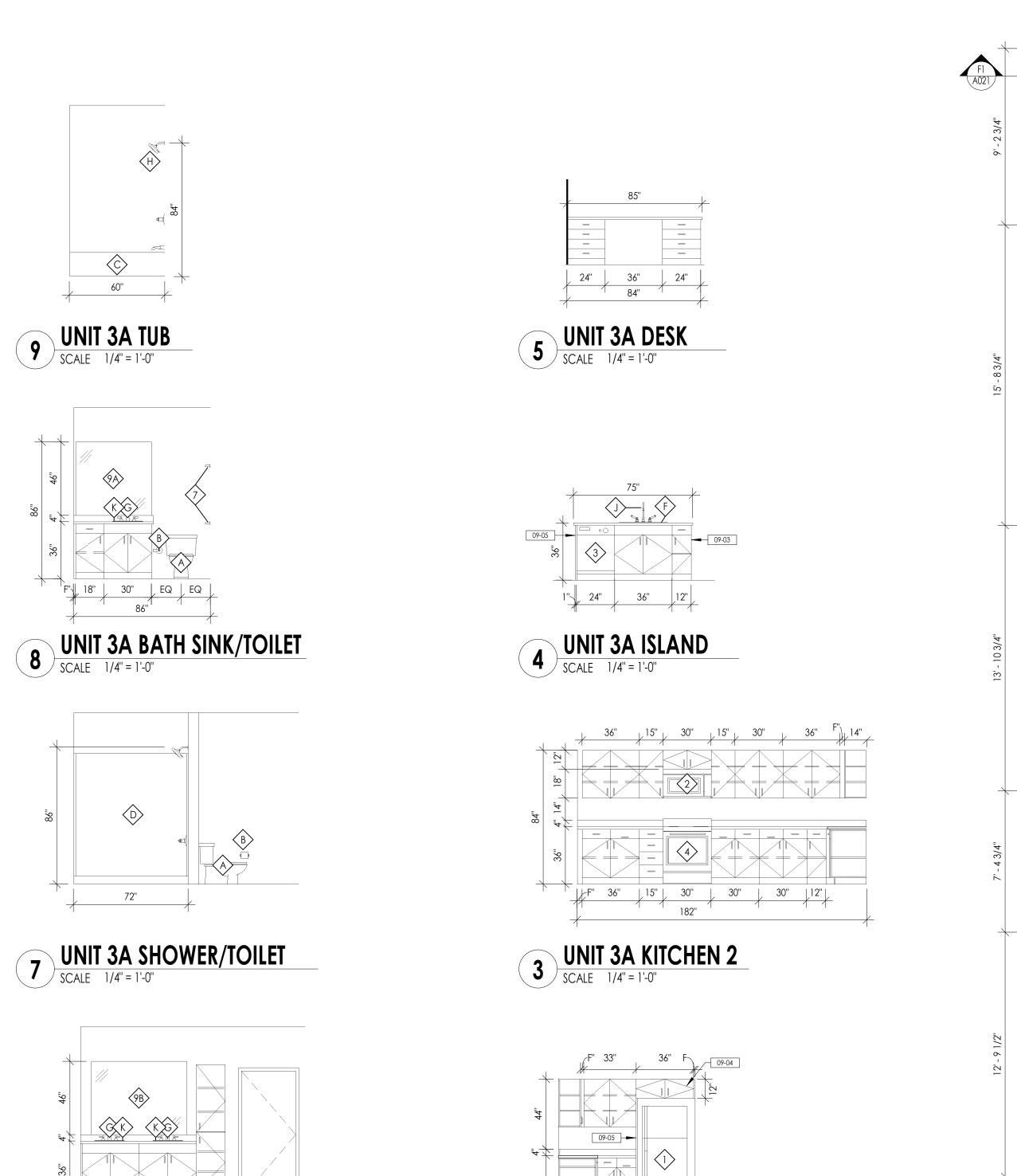
SCALE 1/4" = 1'-0"

EINICHED END DANEI

09-03 FINISHED END PANEL
09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
09-05 FINISHED SIDE PANEL

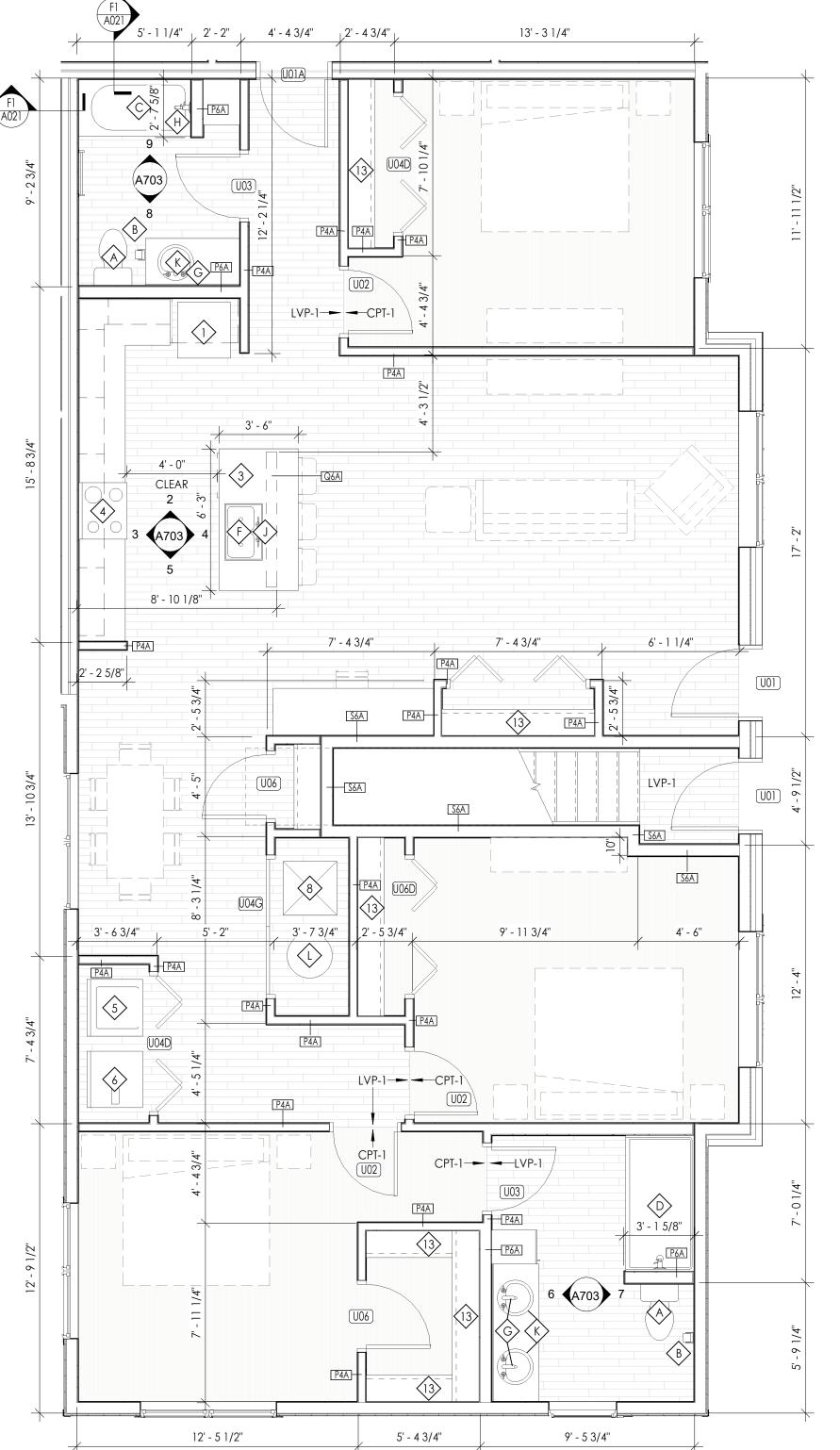


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2 UNIT 3A KITCHEN 1
SCALE 1/4" = 1'-0"

6 UNIT 3A PRIMARY BATH SINK
SCALE 1/4" = 1'-0"



1 UNIT 3A
SCALE 1/4" = 1'-0"

PROJECT

PROPOSED BUILDING FOR:

THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC 3861 S. 60TH STREET MILWAUKEE, WI 53220

DESCRIPTION

REVISIONS

INFORMATION

PROJECT ARCHITECT	S
PROJECT MANAGER	E,
PROJECT NUMBER	2301
ISSUED FOR	PERMIT S
DATE	03.31.

SHEET

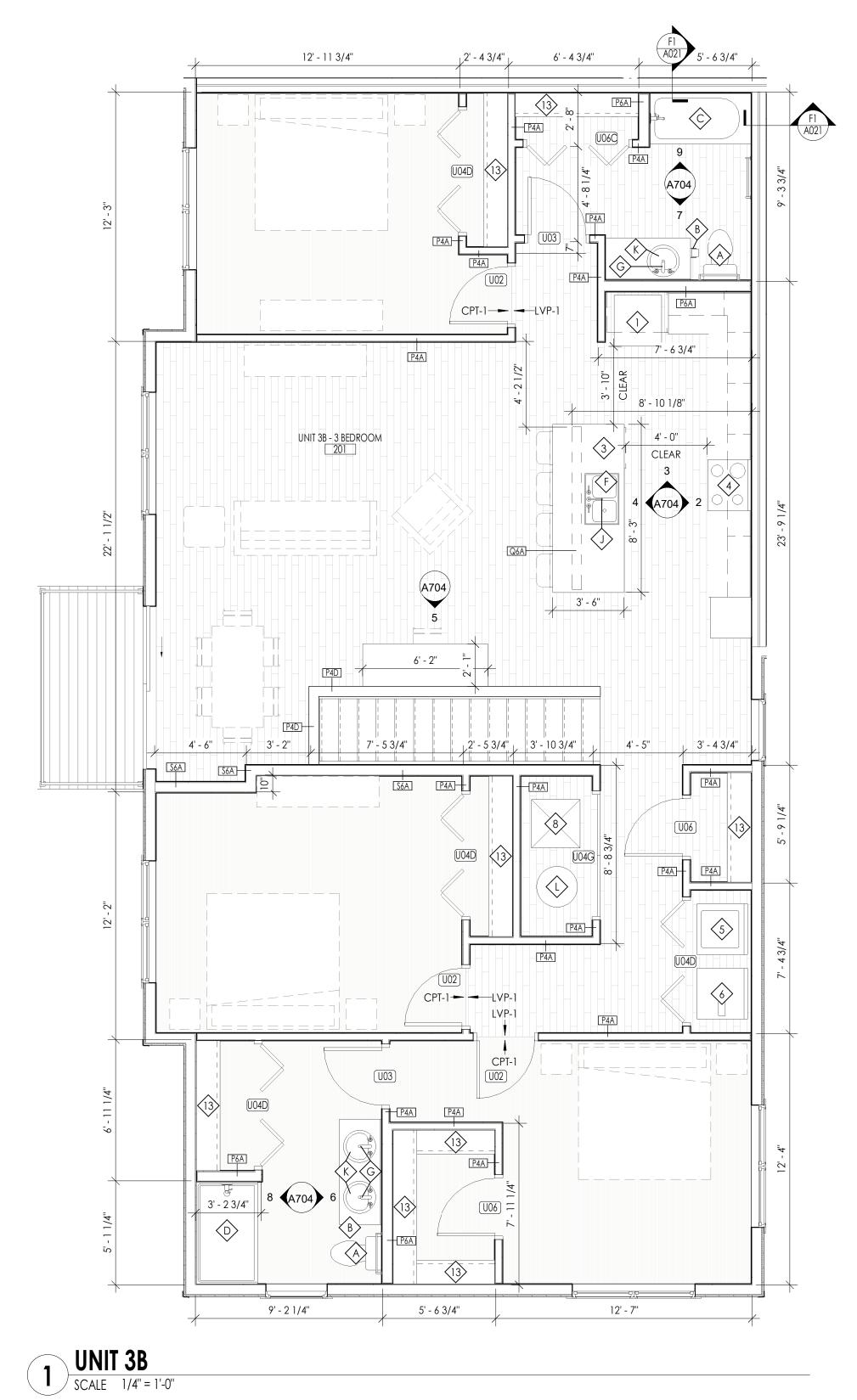
ENLARGED UNIT PLANS & ELEVATIONS



- 09-03 FINISHED END PANEL
 09-04 FULL DEPTH UPPER CABINET (ABOVE REFRIGERATOR ONLY)
- 09-05 FINISHED SIDE PANEL



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PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 \$ 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC 3861 S. 60TH STREET MILWAUKEE, WI 53220

DESCRIPTION

REVISIONS

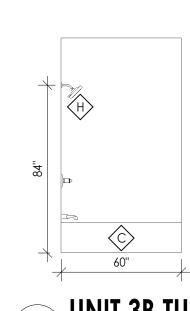
INFORMATION

PROJECT ARCHITECT	SP
PROJECT MANAGER	EJ
PROJECT NUMBER	23012
ISSUED FOR	PERMIT SE
DATE	03.31.2

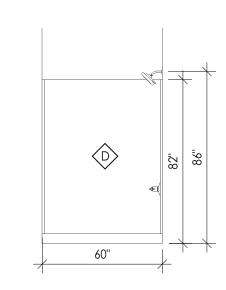
SHEET

ENLARGED UNIT PLANS & ELEVATIONS

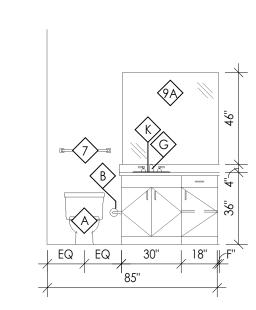




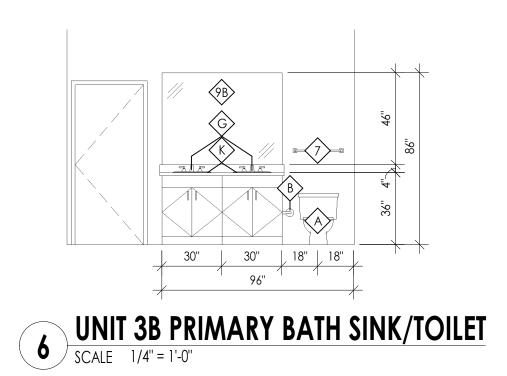


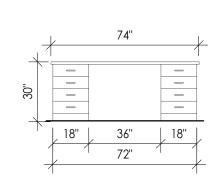


8 UNIT 3B SHOWER
SCALE 1/4" = 1'-0"

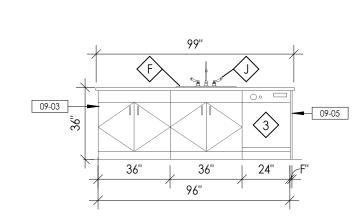


7 UNIT 3B BATH SINK/TOILET
SCALE 1/4" = 1'-0"

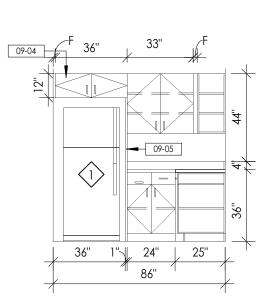




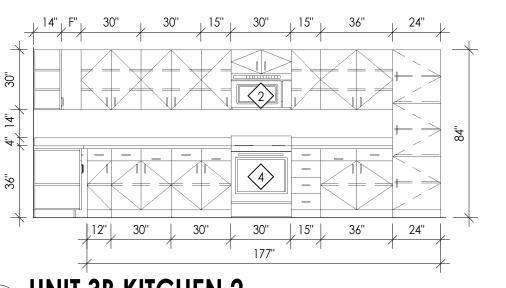
5 UNIT 3B DESK
SCALE 1/4" = 1'-0"



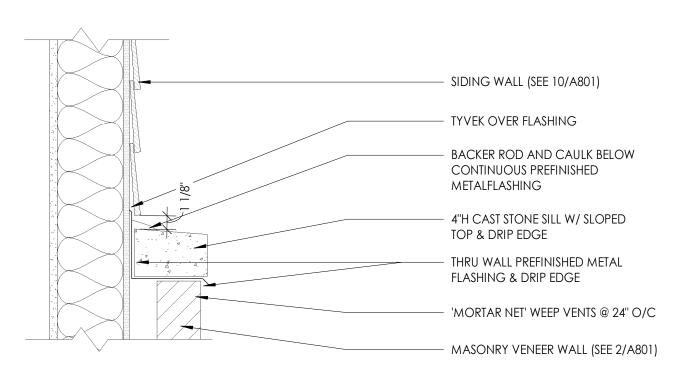
4 UNIT 3B ISLAND
| SCALE | 1/4" = 1'-0"

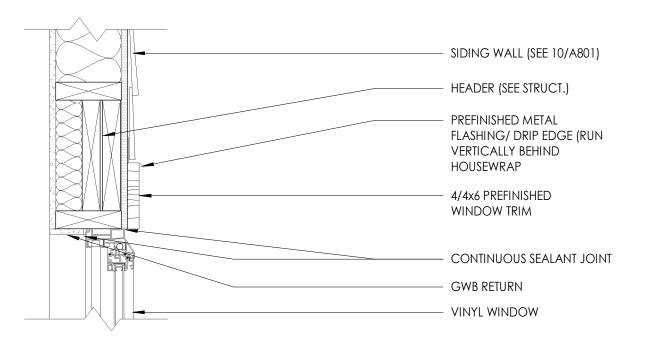


3 UNIT 3B KITCHEN 1
SCALE 1/4" = 1'-0"



2 UNIT 3B KITCHEN 2
SCALE 1/4" = 1'-0"





SOLID SURFACE WINDOW

CONTINUOUS SEALANT JOINT

PREFINISHED METAL FLASHING/DRIP EDGE

4/4x4 PREFINISHED WINDOW TRIM

SIDING WALL (SEE 10/A801)

SIDING WALL (SEE 10/A801)

4" AT GRADE, 2" AT PAVING

XPS INSULATION (R-10)

FOUNDATION WALL (SEE STRUCT.)

CONTINUOUS INSULATION 4'-0" FROM

INSIDE FACE OF FOUNDATION WALL - 2"

CONCRETE SLAB-ON-GRADE (SEE STRUCT.)

SILL & APRON

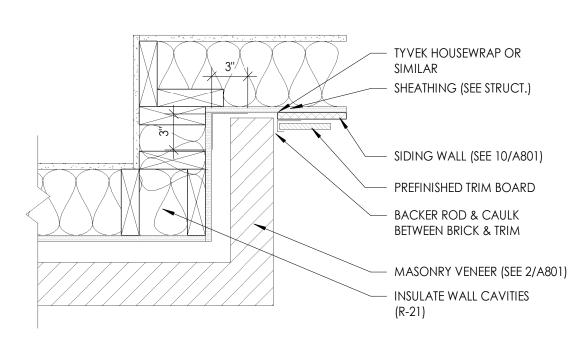
VINYL WINDOW

VINYL WINDOW - HEAD AT SIDING

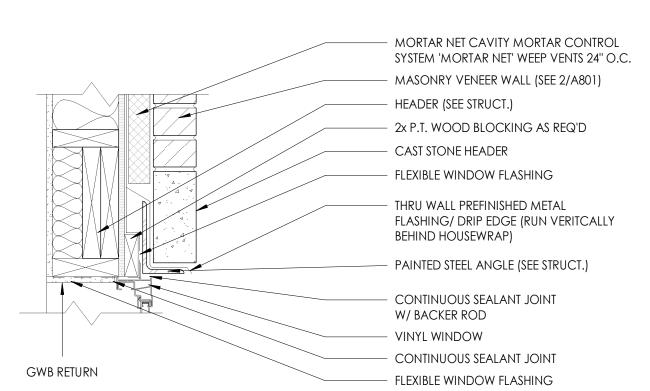
SCALE 1 1/2" = 1'-0"

VINYL WINDOW - SILL AT SIDING

SCALE 1 1/2" = 1'-0"



8 MASONRY AT CORNER
SCALE 1 1/2" = 1'-0"





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PROPOSED BUILDING FOR:

APRON VINYL WINDOW SYSTEM THE GARDEN CONTINUOUS SEALANT JOINT CONTINUOUS SEALANT JOINT W/ BACKER ROD THRU WALL PREFINISHED METAL FLASHING/DRIP EDGE

SOLID SURFACE WINDOW SILL AND

4"H CAST STONE SILL W/ SLOPED TOP

'MORTAR NET' WEEP VENTS 24" O/C

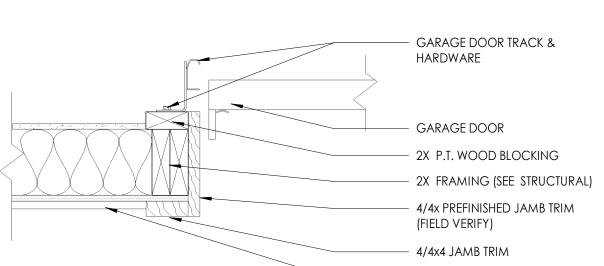
FLEXIBLE WINDOW FLASHING

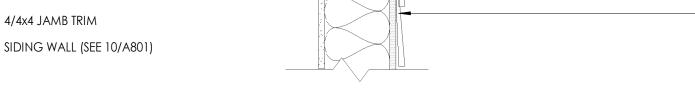
& DRIP EDGE

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PROJECT

APARTMENTS

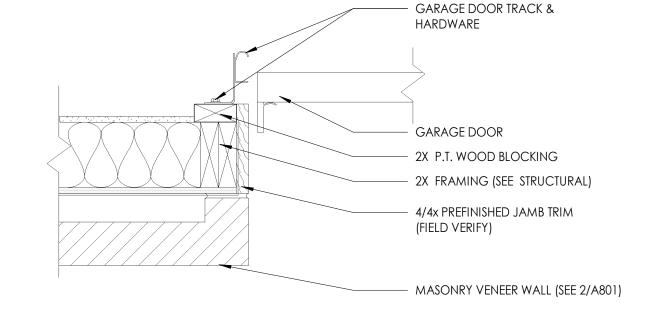




SEE UL FOR ADDITIONAL DETAILS

SIDING WALL (TYPICAL)
SCALE 1 1/2" = 1'-0"

WALL BASE



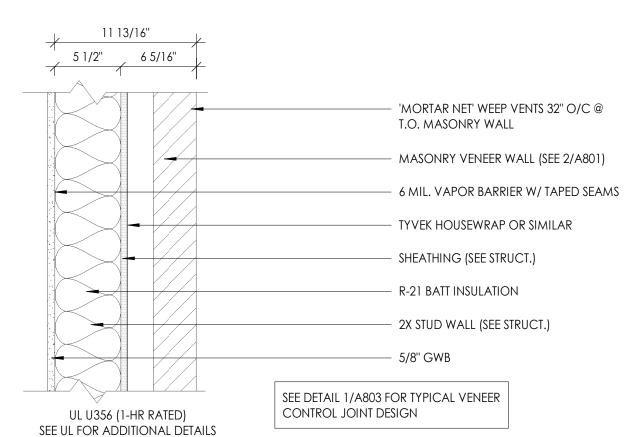
7 GARAGE DOOR - JAMB AT MASONRY
SCALE 1 1/2" = 1'-0"

6 GARAGE DOOR - HEAD AT MASONRY
SCALE 1 1/2" = 1'-0"



VINYL WINDOW - HEAD AT MASONRY

SCALE 1 1/2" = 1'-0"



OWNER

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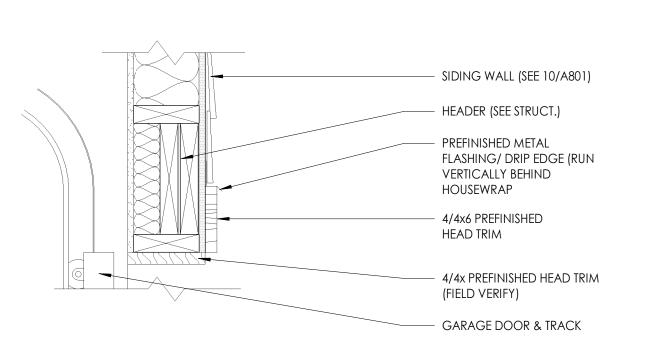
FOURTY FOUR FIFTY LLC

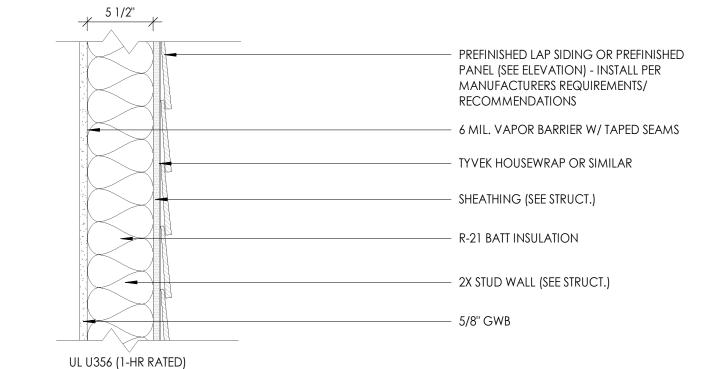
REVISIONS DESCRIPTION

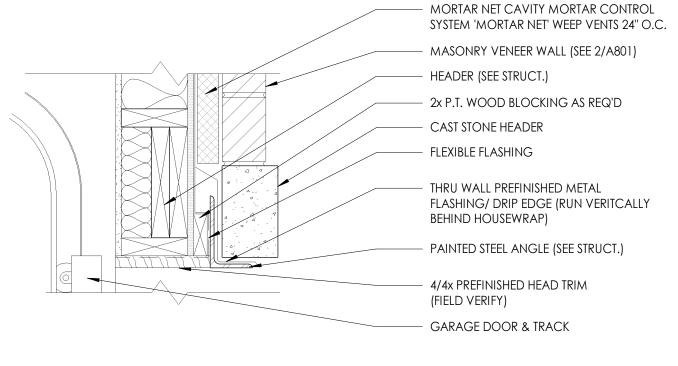
GARAGE DOOR - JAMB AT SIDING SCALE 1 1/2" = 1'-0"

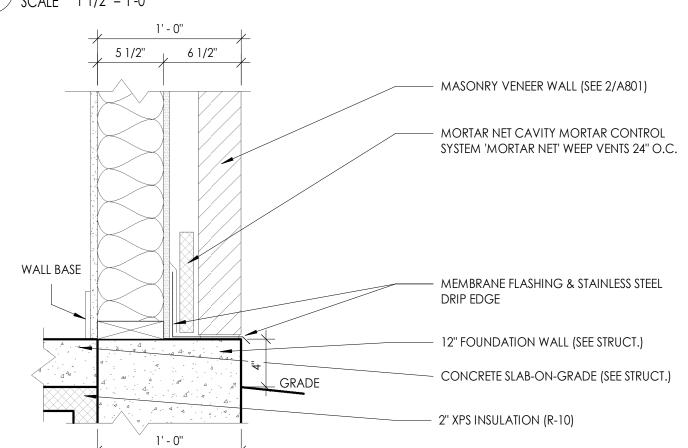
MASONRY VENEER STONE SILL

SCALE 1 1/2" = 1'-0"

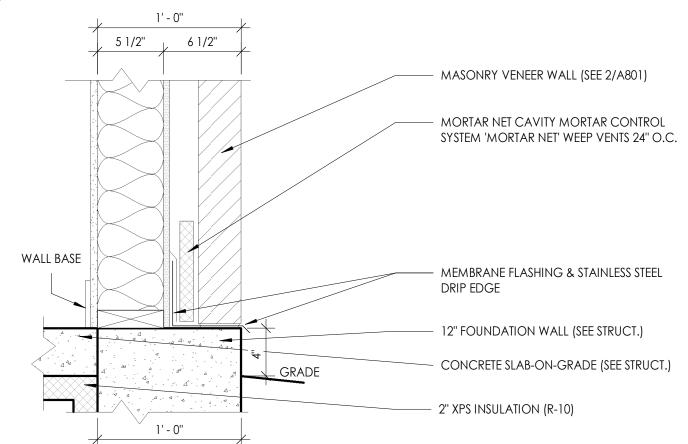








2 MASONRY VENEER WALL (TYPICAL) SCALE 1 1/2" = 1'-0"



SHEET

ISSUED FOR

DATE

PROJECT DETAILS - EXTERIOR

INFORMATION

SPS

EJN

230127

03.31.23

PERMIT SET

PROJECT ARCHITECT

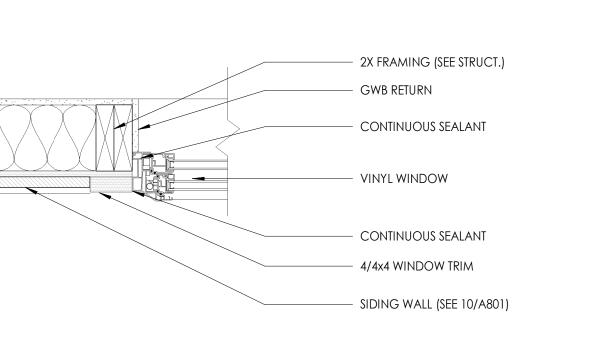
PROJECT MANAGER

PROJECT NUMBER

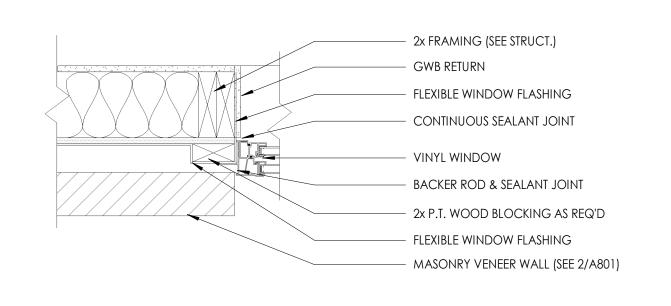
13 VINYL WINDOW - JAMB AT SIDING SCALE 1 1/2" = 1'-0"

GARAGE DOOR - HEAD AT SIDING

SCALE 1 1/2" = 1'-0"

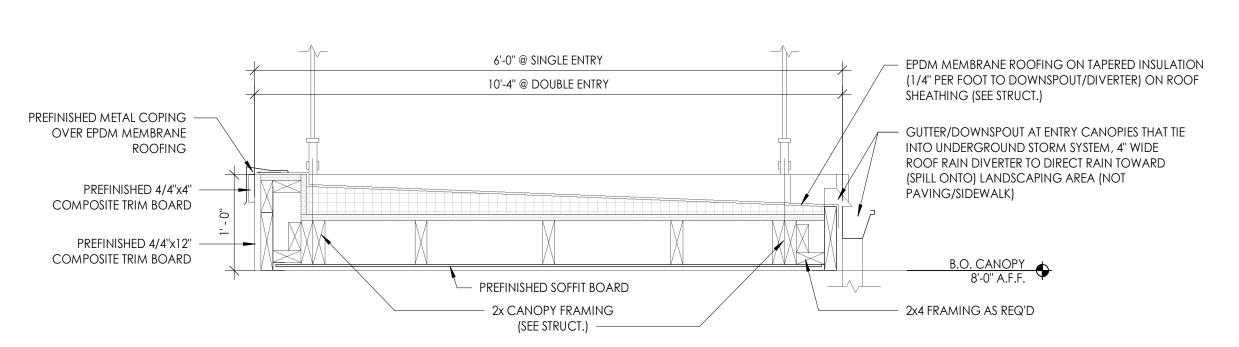




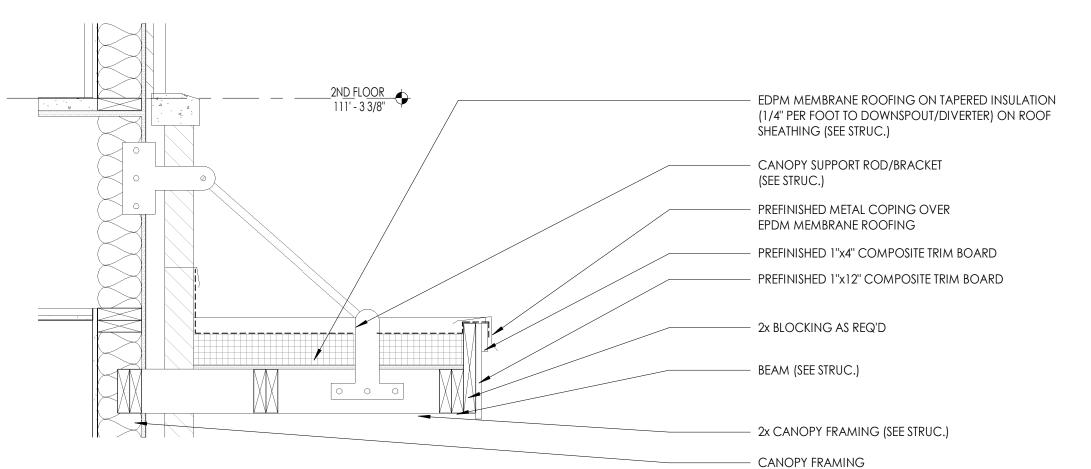


	08-VINYL WINDOW - JAMB AT MASONRY SCALE 1 1/2" = 1'-0"	
(3 /	SCALE 1 1/2" = 1'-0"	

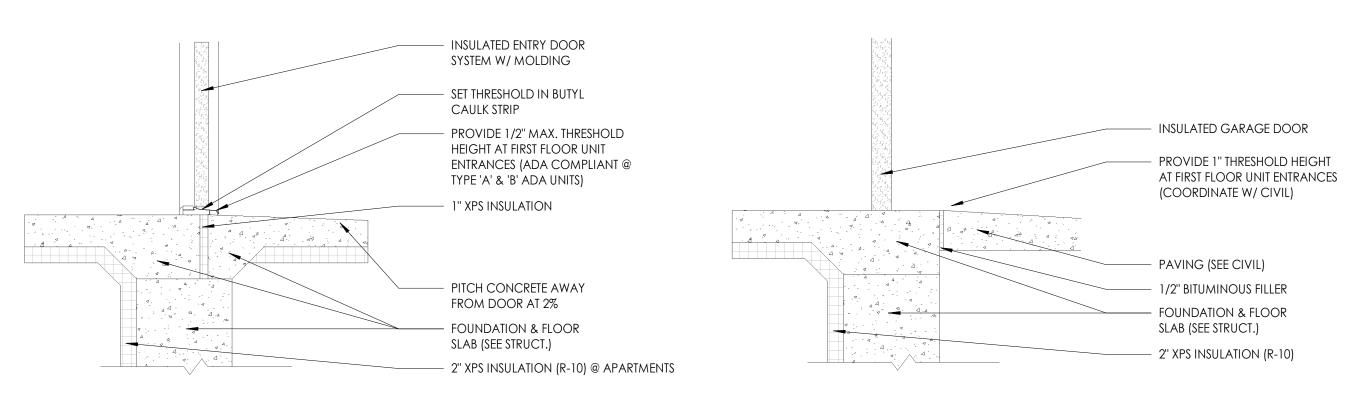
FOUNDATION DETAIL AT MASONRY (TYPICAL) SCALE 1 1/2" = 1'-0"



12 ENTRY CANOPY SECTION SCALE 1" = 1'-0"



ENTRY CANOPY SECTION 2 SCALE 1" = 1'-0"

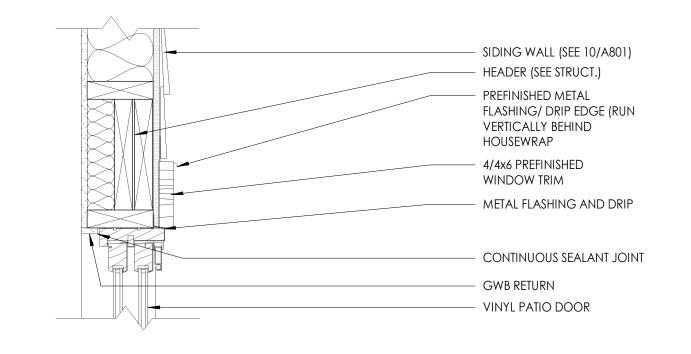


10 THRESHOLD AT ENTRY DOOR SCALE 1" = 1'-0"

9 THRESHOLD AT GARAGE
SCALE 1" = 1'-0"

SUPPORT/BLOCKING (SEE STRUC.)

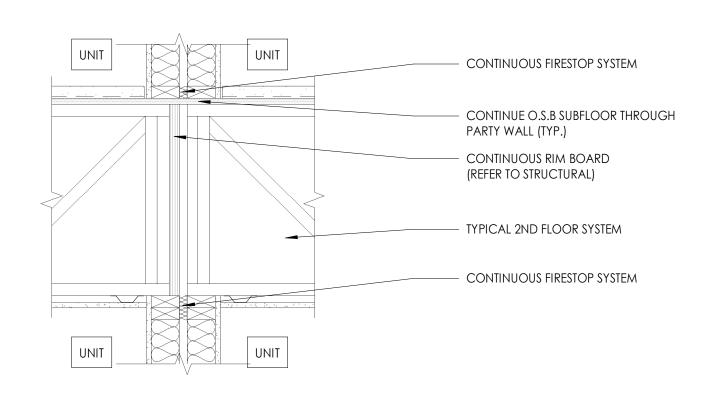
CONTINUOUS FIRESTOP SYSTEM CONTINUE O.S.B SUBFLOOR THROUGH PARTY WALL (TYP.) LADDER TRUSS (SEE STRUCTURAL) TYPICAL 2ND FLOOR SYSTEM BLOCKING AS REQ'D TO SUPPORT CEILING - CONTINUOUS FIRESTOP SYSTEM



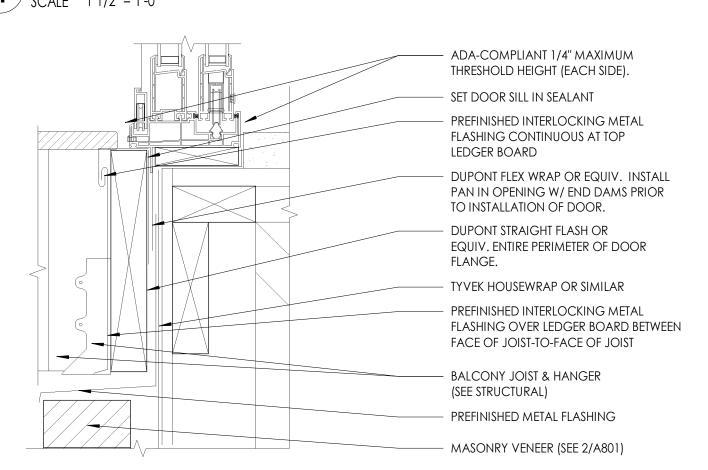


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8 UNIT SEPARATION AT FLOOR / CEILING SCALE 1" = 1'-0"



PATIO HEAD DETAIL SCALE 1 1/2" = 1'-0"



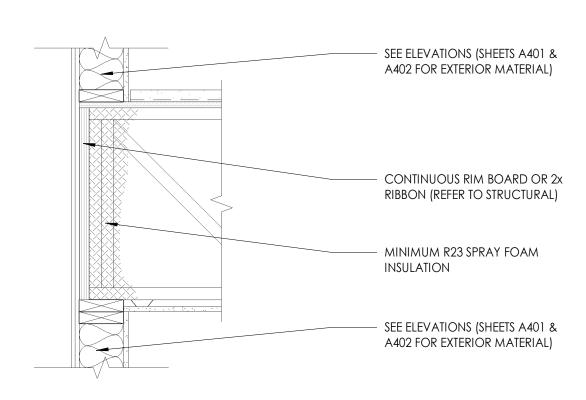
PROJECT

PROPOSED BUILDING FOR:

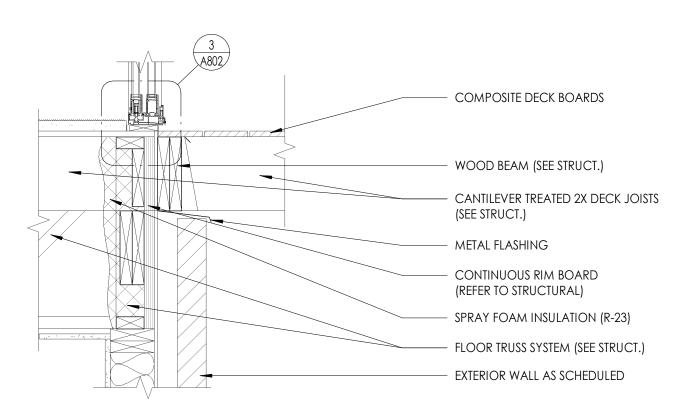
THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

7 UNIT SEPARATION AT FLOOR TRUSS SCALE 1" = 1'-0"



PATIO DOOR SILL AT MASONRY



OWNER

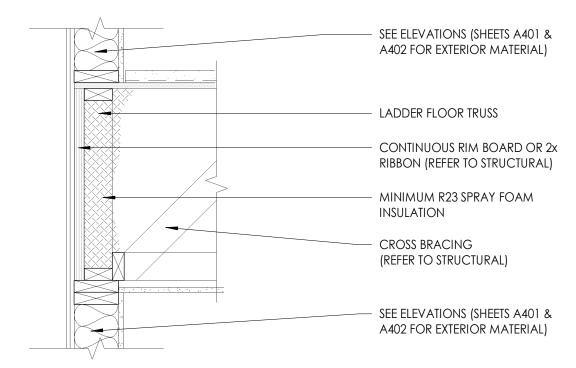
FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

6 EXTERIOR RIM AT FLOOR TRUSS SCALE 1" = 1'-0"



5 EXTERIOR RIM AT LADDER FLOOR SCALE 1" = 1'-0"

ALUMINUM RAILING & CORNER POSTS COMPOSITE DECKING 2x P.T. BLOCKING FOR RAILING POST ATTACHMENT. ATTACH RAILING PER MANUFACTURERS REQUIREMENTS 4/4x4 PREFINISHED TRIM W/ DRIP 4/4x12 PREFINISHED TRIM W/ DRIP - 2x P.T. BEAM (SEE STRUCT.) 2x P.T. CANTILEVERED 2 A802 DECK JOISTS (SEE STRUCT.) 2x P.T. BEAM (SEE STRUCT.)

SLIDING PATIO DOOR SILL AT BALCONY

BALCONY SECTION SCALE 1/2" = 1'-0"

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	230127
ISSUED FOR	PERMIT SET
DATE	03.31.23

SHEET

PROJECT DETAILS - EXTERIOR





PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

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DATE

ALL EXTERIOR CORNERS PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER IN CMU VENEER ONLY (NOT BRICK VENEER). LOCATE AT A DISTANCE OF

- Wall Sheathing

APPLIED LATER.

EXTEND BUILDING PAPER HORIZONTALLY 12" TO PROTECT

BEYOND VERTICAL LAMB FLASHING

APPLY BUILDING PAPER HORIZONTALLY

THE BUILDING PAPER TO THE WALL

BUILDING PAPER SHINGLE FASHION.

MEMBRANE OVER VULNERABLE CORNER INTERSECTION.

JAMB FLASHING AT BOTH SIDES OF OPENING, EXTEND BEYOND SILL

JAM FLASHING OVER TOP OF SILL

FLASHING LEAVING BOTTOM EDGE

HEAD FLASHING WILL INTERSECT. LAP

INSTALL SELF-STICKING

UNATTACHED.

FOLD JAMB FLASHING

AROUND SIDE OF ROUGH OPENING AND OVER

UPTURNED SILL FLASHING.

APPLY STILL FLASHING

FOLD SILL FLASHING UP

ONTO JAMB AS SHOWN.

TO SEAL THE WINDOW FRAME TO

OPENING, APPLY CONTINUOUS SEAL TO PERIMETER OF OPENING (EXCEPT BOTTOM)

AT A POINT TO ASSURE CONTACT WITH

BACKSIDE OF MOUNTING FLANGE.

AFTER INSTALLATION, SEAL

FRAME SEAM JOINTS AT

DO NOT SEAL BOTTOM OF

PERMIT DRAINAGE.

WINDOW TO SILL FLASHING TO

CORNERS.

SILL AND CORNER

PATCHES.

OVER BUILDING PAPER AT

BELOW THE SILL. FASTEN THE TOP EDGE OF

SHEATHING BUT DO NOT FASTEN THE LOWER

EDGE SO THE DRAINAGE PLANE APPLIED

LATER MAY BE SLIPPED UP AND UNDER THE

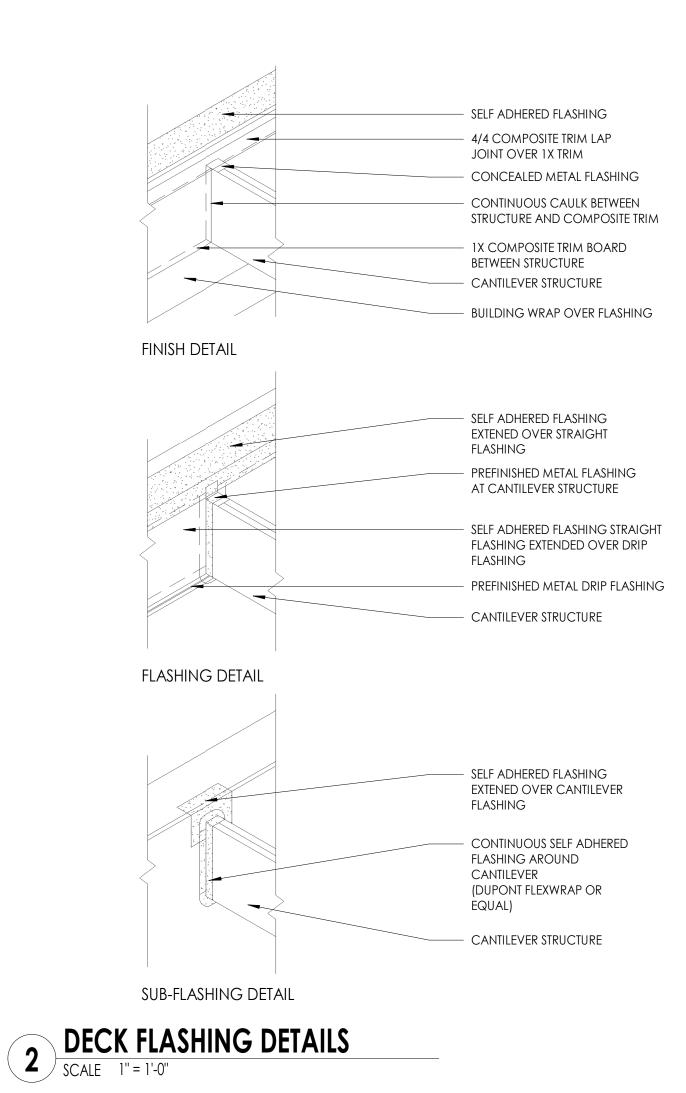
4" (MAX.) FROM CORNER ALL INTERIOR CORNERS

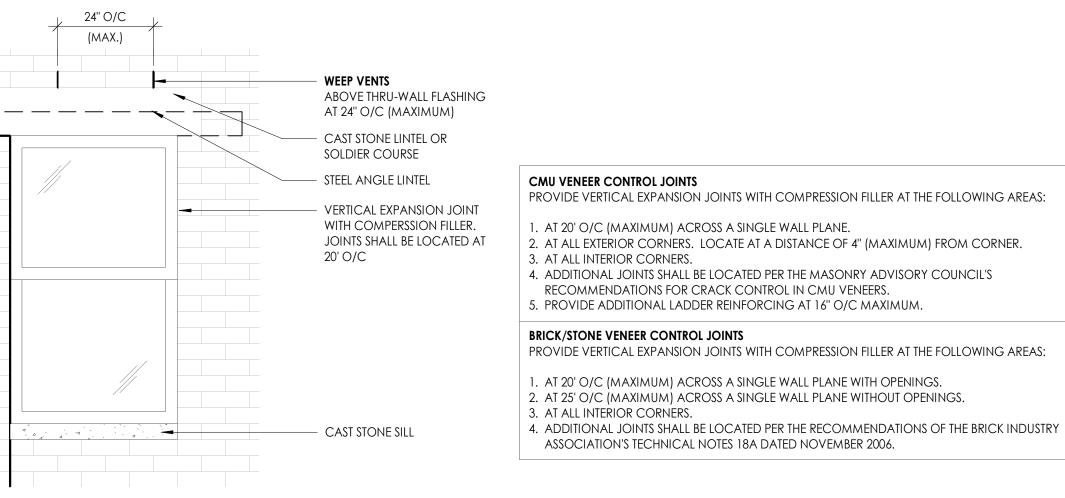
PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER IN BRICK/STONE/CMU VENEER

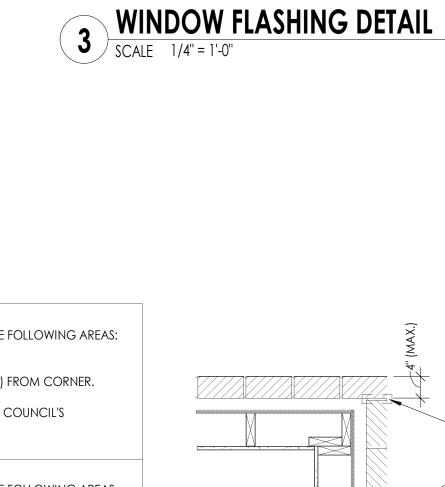
SHEET

PROJECT DETAILS - EXTERIOR

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BUILDING PAPER SET IN SEALANT OR SELF-STICKING

SEALANT ALONG BOTTOM

EDGE OF BUILDING PAPER.

MEMBRANE

PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS: 2. AT ALL EXTERIOR CORNERS. LOCATE AT A DISTANCE OF 4" (MAXIMUM) FROM CORNER. 4. ADDITIONAL JOINTS SHALL BE LOCATED PER THE MASONRY ADVISORY COUNCIL'S 5. PROVIDE ADDITIONAL LADDER REINFORCING AT 16" O/C MAXIMUM. PROVIDE VERTICAL EXPANSION JOINTS WITH COMPRESSION FILLER AT THE FOLLOWING AREAS: 1. AT 20' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITH OPENINGS. 2. AT 25' O/C (MAXIMUM) ACROSS A SINGLE WALL PLANE WITHOUT OPENINGS.

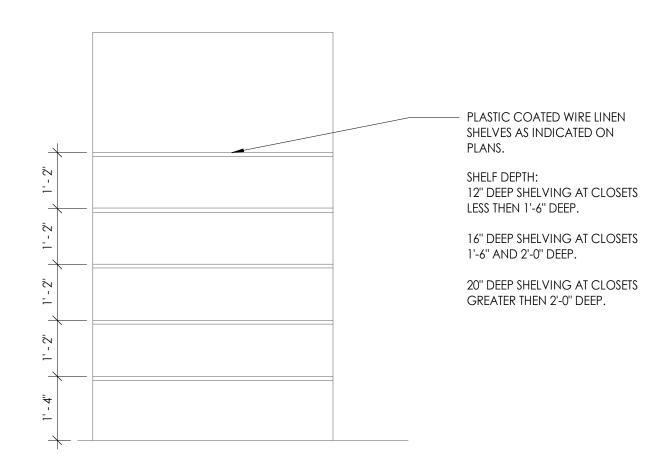
6" MIN.

SHIM AND ADJUST WINDOW TO ACHIEVE SQUARE, PLUMB AND LEVEL CONDTION. USE CORROSION RESISTANT FASTENERS NO CLOSER THAN 3" FROM EVERY CORNER. SECURE WINDOW AROUND FRAME OPENING WITH EQUIVALENT OF 6D FASTENERS

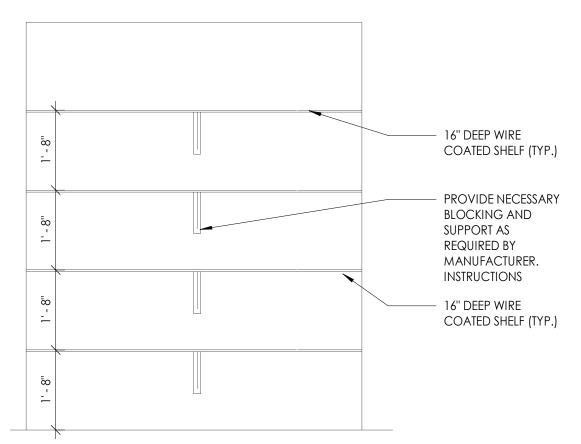
AT 16" O.C. MAXIMUM OR AS REQUIRED BY LOCAL ORDERS.

1 MASONRY CONTROL JOINT DIAGRAM

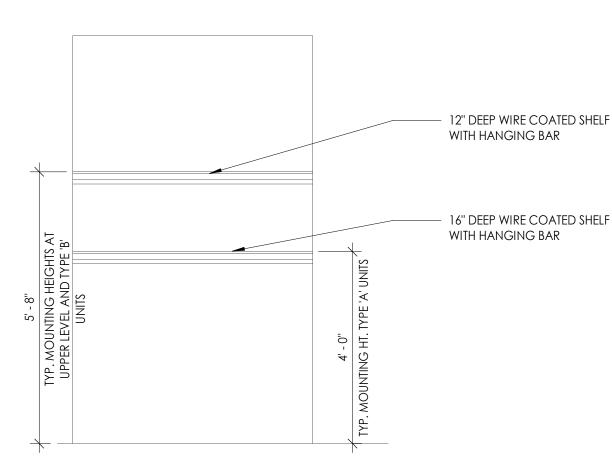
SCALE 3/4" = 1'-0"



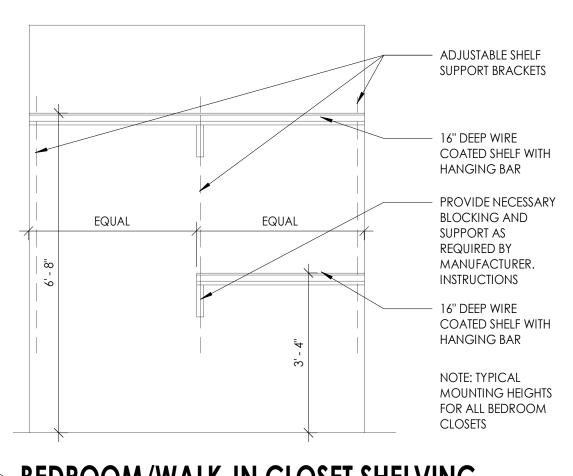
LINEN SHELVES SCALE 1/2" = 1'-0"



PANTRY/LINEN CLOSET SHELVING SCALE 1/2" = 1'-0"



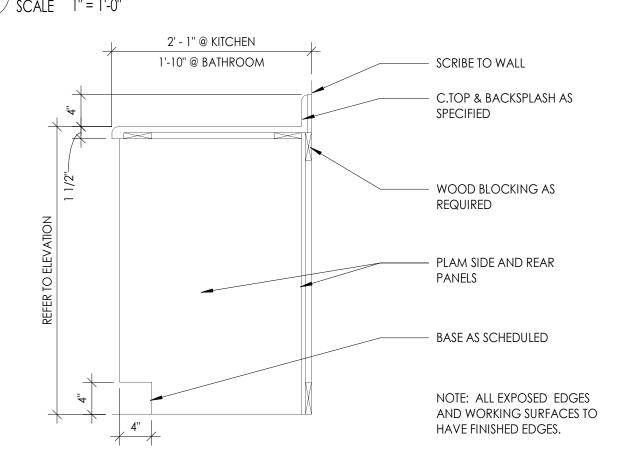
COAT CLOSET SHELVING SCALE 1/2" = 1'-0"



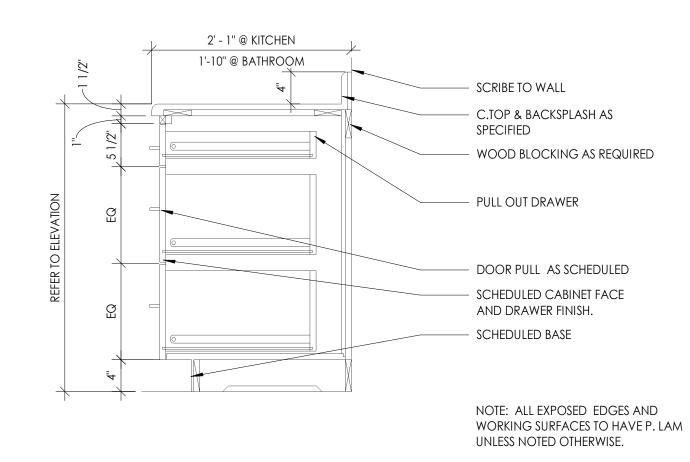
9 BEDROOM/WALK-IN CLOSET SHELVING
SCALE 1/2" = 1'-0"

SCHEDULED PARTITION CONCEALED BLOCKING AS REQUIRED MELAMINE INTERIOR SCHEDULED FINISH DOORS REFER TO ELEV. ADJUSTABLE SHELF W/ P. LAM EDGE-SEE ELEVATION FOR QUANTITY. 1' - 0" 12" CLEAR - SCHEDULED DOOR PULL

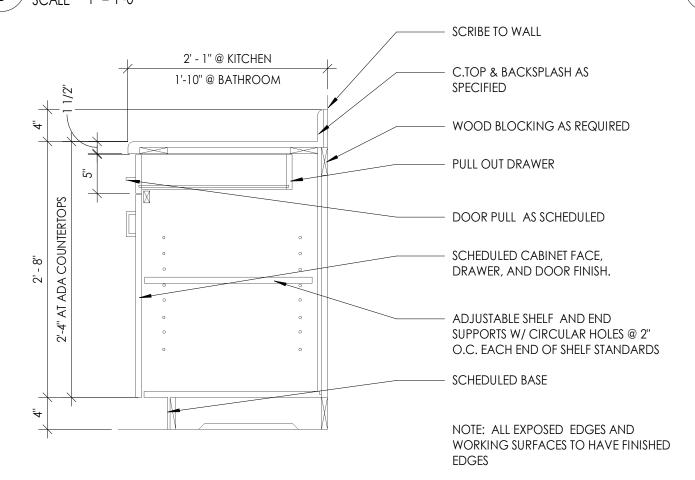
8 OVERHEAD CABINET SCALE 1" = 1'-0"



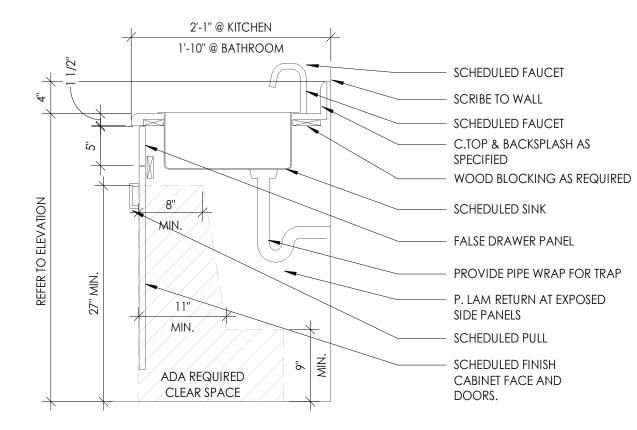
OPENING AT REMOVABLE CABINET



6 BASE CABINET - 4 DRAWERS SCALE 1" = 1'-0"



5 BASE CABINET DOOR AND DRAWER SCALE 1" = 1'-0"



BASE CABINET - ADA SINK CABINET SCALE 1" = 1'-0"

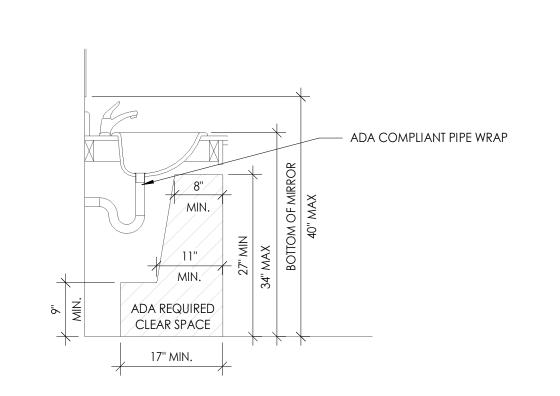
SINK WITH OFFSET DRAIN

EXTEND FLOOR AND WALL FINISH UNDER AND BEHIND 'OPEN' CABINET

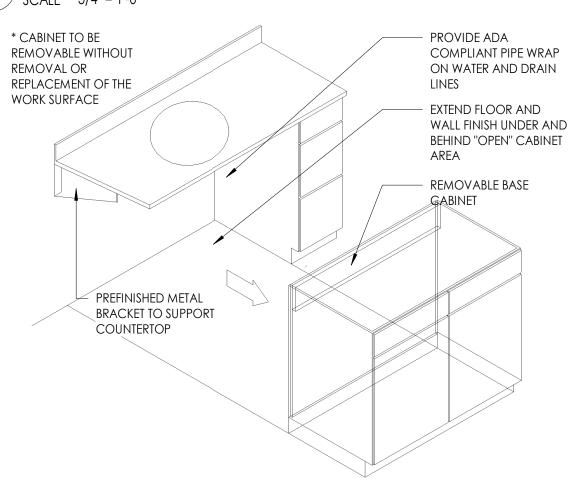
KITCHEN SINK CLEARANCES

ADA REQUIRED

CLEAR SPACE 17" MIN.



ADA TOE & KNEE CLEARANCES



REMOVABLE BASE CABINET



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PROJECT

PROPOSED BUILDING FOR:

THE GARDEN **APARTMENTS**

4450 S 27TH STREET MILWAUKEE, WI

OWNER

FOURTY FOUR FIFTY LLC

3861 S. 60TH STREET MILWAUKEE, WI 53220

REVISIONS

DESCRIPTION

INFORMATION

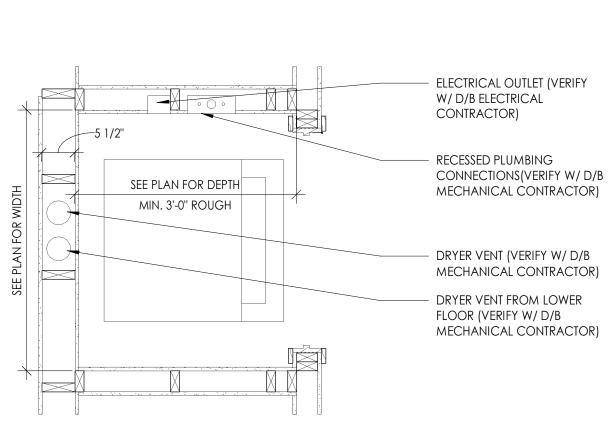
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
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SHEET

PROJECT DETAILS - INTERIOR



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WASHER / DRYER STACKED CLOSET

SCALE 3/4" = 1'-0"

SEE PLAN FOR DEPTH

MIN. 3'-0" ROUGH

WASHER

DRYER

WASHER / DRYER CLOSET
SCALE 3/4" = 1'-0"

ELECTRICAL OUTLET (VERIFY W/ D/B ELECTRICAL CONTRACTOR)

CONNECTIONS (VERIFY W/ D/B MECHANICAL CONTRACTOR)

DRYER VENT (VERIFY W/ D/B

D/B ELECTRICAL

CONTRACTOR)

MECHANICAL CONTRACTOR)

ELECTRICAL OUTLET (VERIFY W/

RECESSED PLUMBING



PROJECT

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THE GARDEN APARTMENTS

4450 S 27TH STREET MILWAUKEE, WI

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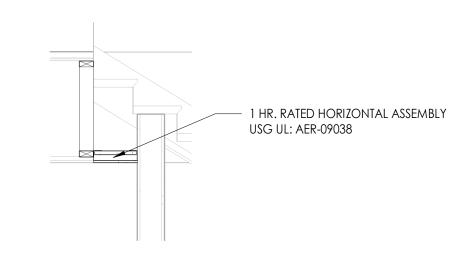
SHEET

TYPICAL STRUCTURAL FLOORING SYSTEM

MICROLAM STRINGERS - REFER TO STRUCTURAL DRAWINGS FOR SIZE

PROJECT DETAILS - STAIR DETAILS





5 FIRE RATED STAIR SOFFIT SCALE 1/2" = 1'-0"

