



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23rd, 2025
6:00 PM

2. Site, Landscaping, and Architectural Design Review for F Street 92, LLC, a proposed 5+ Unit Dwelling use, at 1405 S. 92nd St. (Tax Key No. 450-0502-000)

3. Certified Survey Map to split the existing parcel at 1405 S. 92nd St. into two parcels. (Tax Key No. 450-0502-000)

Items 2 and 3 may be considered together.

Overview and Zoning

With the previously approved demolition of the former St. Aloysius Church's buildings underway, Nick Jung, Director of Development for F Street is now seeking approval to redevelop the site located at 1405-35041 S. 92nd St. and 1414 S. 93rd St. The demolition of these buildings is a crucial first step to redeveloping this site to accommodate two phases of proposed residential development, totaling 142 housing units.

Aligning with the West Allis 2045 Comprehensive plan goal to “Promote population growth by encouraging density and diversity of housing”, this development proposal arrives at a time in which housing need in the City is extremely high. Compounding factors such as the reduction in household size, demographic and economic changes, existing housing’s low vacancy rates, and the rise of remote work have shaped the housing need of West Allis and the greater region. The proposed development of 143 total housing units would aid in advancing the goals of the City’s 2045 Comprehensive Plan.



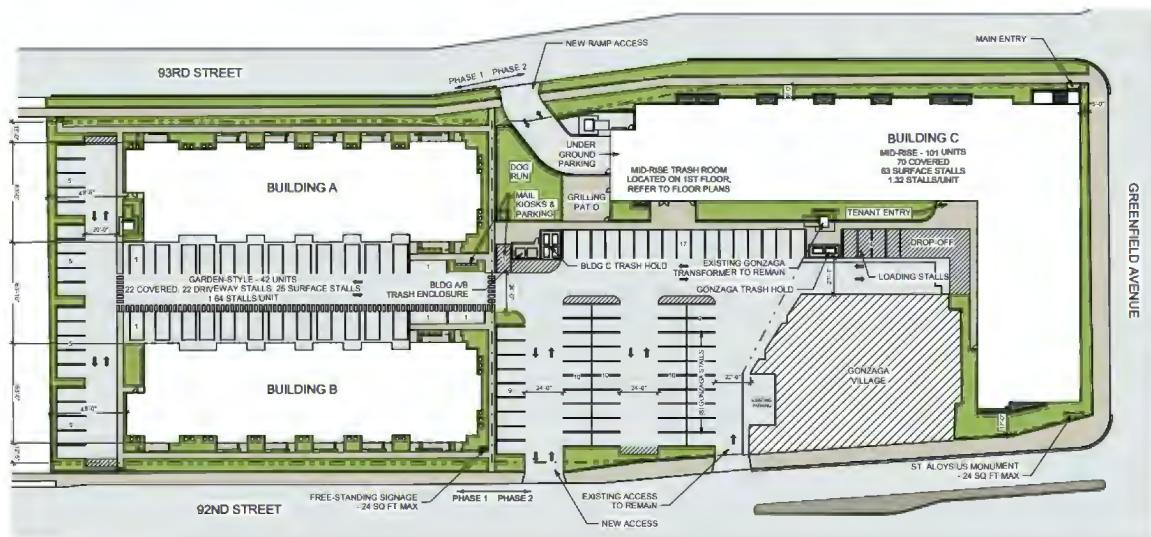
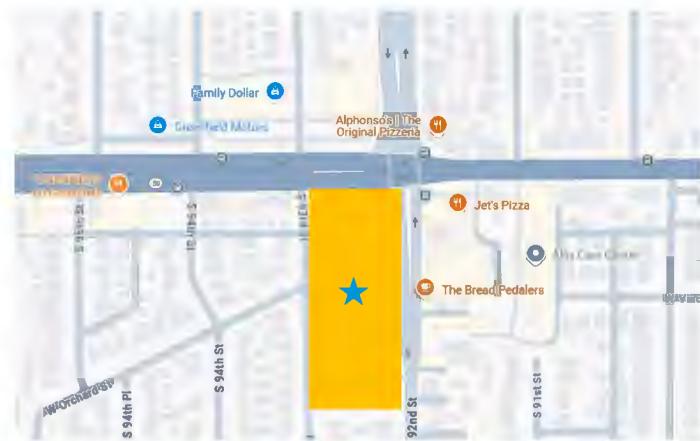
F Street anticipates beginning construction upon the conclusion of their demolition efforts, set to end in September 2025. The townhome project estimated completion date is quarter-three 2026 with the midrise apartment project completion estimated by quarter-two 2027.

1405 S. 92nd St. is zoned RC, “Intended for dense, multi-unit housing development in areas throughout the city”. A 5+ Unit Dwellings use is permitted within the RC zoning district. The proposed Certified Survey map aims to split the lot into two. The first lot created will encompass the northern half of the site with 64,158 sq.ft. in area, or approximately 1.47 acres. Lot two will be located to the south, totaling 66,519 sq.ft. or approximately 1.52 acres in area.



Site Plan

Three separate buildings are shown on the site plan: Buildings A, B, and C. Building A fronts S. 93rd St. and is comprised of 22 garden-style townhome units with 11 covered parking stalls. Building B mirrors Building A, with an additional 22 garden-style apartment units and 11 covered parking stalls. Between these buildings, 22 driveway and 25 surface parking stalls are indicated. Building C is indicated to be the midrise apartments at the northern end of the site, totaling 101 units, and will contain an additional 70 covered parking spaces accessible via an entrance off of 93rd St. The bulk of the site's interior will contain parking, with additional parking provided in a lot along the southern end of the site. Gonzaga senior living will remain adjacent to the site, with 8 parking stalls being allocated to that use (in addition to the existing covered parking provided on the Gonzaga site). Sidewalks will be constructed throughout the interior of the site for pedestrian circulation within the site, allowing residents safe access to amenities. Outdoor



amenities for this project include a dog run, grilling patio, and mail kiosks for townhome residents. The dog run and grilling patio areas will be fenced with a 4' high aluminum picket-style fence.

Landscaping Plan

While the grading plan for this site notes slope variation on site that may pose some challenge, a landscaping plan has been submitted with thoughtful attention turned to enhancing tree cover, shrubbery, ornamental grasses, and perennials on this property.

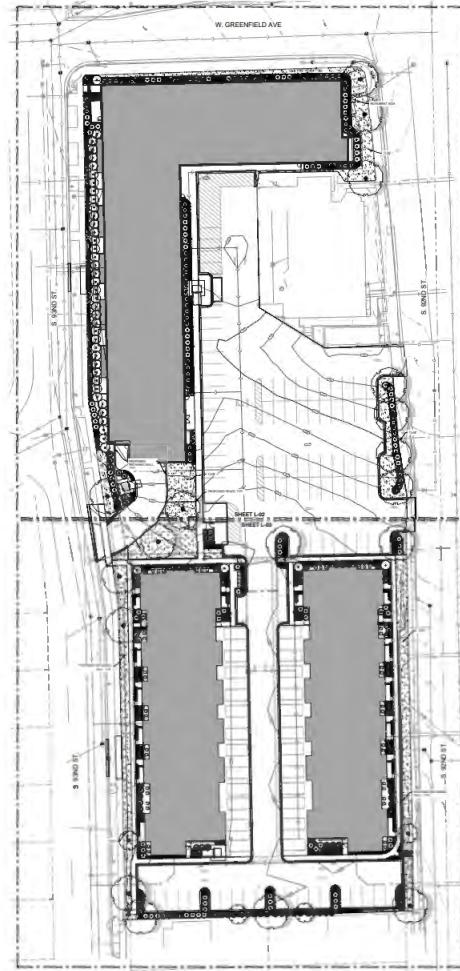
The site will be landscaped along the different building types adjacent to the public right of way as well as along the southern parking lot. To create a visual buffer, enhance the pedestrian experience along 92nd and 93rd Streets, and provide screening between the southern lot and nearby residences, several plant species have been proposed.

Deciduous trees on site may include maples, honey locust, and silver lindens. Ornamental trees suggested include crabapple trees and hawthorn. Shrubberies on site may include juniper, arborvitae, yew, magnolia, hydrangea, and lilac, with unnamed perennials interspersed throughout the site. Turf hydroseed will be planted as the primary grass, with ornamental grasses dotting the perimeter.

Specific attention must be turned to maintaining this turf, as the slopes presented on site may pose a challenge to grass seeding. Staff also note that the ash trees lining S. 92nd St. are in poor condition and will likely require removal by the developer.

Toward the southern end of the site, there is an existing chain link fence that will be replaced by a 5' cedar fence to provide heightened privacy and screening for the residential neighbors to the south. Staff note that increased landscaping should also be leveraged to enhance screening and privacy in this location.

Some refuse enclosure details are still needed for this project, though refuse locations are indicated on the site plan in two locations in the site's interior. RINKA has detailed that a steel framed, aluminum panel 6'6" tall trash enclosure with gate system will be used for outdoor refuse enclosures. Fencing and retaining wall types, materials, and height details should be submitted by the applicant, as these features are proposed in the plan. An exterior lighting plan is required, and staff note that this plan must be submitted for review. Particular attention should be paid to accent lighting, pedestrian walkway lighting, and lighting at entry points and covered parking areas. Full cut features are recommended to ensure that light does not splay from vehicles onto neighboring residences.



Architectural Plan



Building A: Building A is comprised of 21 garden-style townhome units, two stories in height abutting S. 93rd St. Architectural components on this building include an asphalt single roof, wood nickel gap siding in light and dark gray, wood-look lap siding, and wood structured balconies with aluminum railings. This building will be 138 ft. tall. Along this building's eastern elevation, garage entrances are provided for 11 of these units, with 7 shared unit entrances. Along this building's western elevation (facing S. 93rd St.), 12 entryways to the units are indicated with two large balconies shown.

Building B: Building B largely mirrors the architectural style of Building A, with a few noted differences. Along the western elevation, fewer balconies are indicated in consideration of proximity to Gonzaga Senior Living, with just one balcony shown. 10 entrances are indicated with 11 covered parking garages facing the site's interior. Facing S. 92nd St., 12 doorway entrances are marked, along with two large balconies. Building materials here are the same as Building A.





Building C:

West: Primary façade materials used here will include fiber cement walls of four colors – tan, white, and dark brown with blue accents. The building responds to this key design element by using full-height windows, plentiful balconies, and a shared walk-up entrance off of Greenfield Ave.

South: The southern elevations of this building extend the brown and white fiber cement walls and incorporate wood-look wall system articulations throughout between the elevation's plentiful windows. Recessed balconies are indicated along these proposed elevation plans. South Elevation 1 indicates architectural details to accommodate this building's covered parking entrance with textured gray concrete paneling.

East/North: This elevation continues to include the dark brown, white and tan fiber cement wall paneling with blue paneling accents

throughout. Additional articulations include textured gray concrete and tan wood-look wall paneling along this facade. This building's "C East Elevation" plans show three balconies adjacent to Greenfield Ave. The



northern elevations show two additional balconies as well as one additional wall sign and two projecting signs in accent paneling.

Staff note that the architectural plans for the mid-rise apartments require further submission details and review. Along the northeast side of the building, the appearance of the apartments looks compressed as the first-floor units are built into grade in this region. While staff awaits reasoning for this decision from the project's design team, staff recommend that the first-floor level be increased in height. Additionally, the northeast and southeast corners of this building could be amended to include more windows to enhance the architectural features along the busy corridor. Staff also recommend that greater articulations be worked into the plans for the southeast section of the building along 92nd St. as the current design appears to be rather static in comparison to other architectural façade plans for the building.

View from Greenfield and 92nd St.



View from Greenfield and 93rd – Shared entry



Floor Plans

Buildings A and B offer a mix of units from junior 1-bedroom to 3-bedroom units. The first floor of this floor plan indicates that the junior units will be located toward the northern portion of these buildings, with 1-bedroom units in the interior and 3-bedroom units to the south. The second floor shows 2-bedroom units toward the northern portion of the building, with 1-bedroom units in the interior, and a mix of 2- and 3-bedroom units toward the south.

Unit Mix

The 143 units include:

Buildings A and B:

- JR 1 Bed: 8 units
- 1 Bed: 24 units
- 2 Bed: 6 units
- 3 Bed: 4 units
- **Total: 42 units**

LEGEND	
LEVEL 01	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
LEVEL 02	
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)

UNIT MIX	
(8) JR 1 BEDROOMS	
(24) 1 BEDROOMS	
(6) 2 BEDROOMS	
(4) 3 BEDROOMS	
42 TOTAL UNITS	
PARKING	
(22) GARAGE STALLS	
(22) DRIVEWAY STALLS	
(25) SURFACE STALLS	
89 TOTAL PARKING STALLS	
1.64 PARKING RATIO	

The northern first floor plans for Building C show primarily junior 1-bedroom and 2-bedroom units, a lounge, and an outdoor terrace amenity. The western portion of this building indicates a mix of primarily 1- and 2-bedroom units, one junior 1-bedroom unit, a clubroom, a fitness center, pet spa, leasing office, mail room, and refuse room. The northern portion of this building's second floor shows a mix of primarily junior 1-bedroom and 2-bedroom units, one 3-bedroom unit, and a small storage room. The western end of the second floor indicates largely 1-bedroom and 2-bedroom units.



Building C: Mid Rise

- Jr 1 Bed: 18 units
- 1 Bed: 43 units
- 2 Bed: 38 units
- 3 Bed: 2 units
- Total: 101 units**

LEGEND	
	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
	AMENITY SPACE
	ANCILLARY SPACE

UNIT MIX	
(28) JR 1 BEDROOMS	
(43) 1 BEDROOMS	
(34) 2 BEDROOMS	
(2) 3 BEDROOMS	

PARKING	
(69) COVERED STALLS	
(62) SURFACE STALLS	

105 TOTAL UNITS
131 TOTAL PARKING STALLS
1.25 PARKING RATIO



Parking

F Street will include 201 total parking stalls, with a parking ratio of 1.48 stalls per unit. This is below the maximum requirement of 286 stalls (2 per unit).

Phase 1 Parking: This parking will primarily accommodate the residents of the garden-style townhome buildings and offers a variety of styles. Parking options here include 22 covered in-unit parking garages, 22 driveway stalls, and 25 surface stalls. No accessible stalls have been indicated in this phasing.

Phase 2 Parking: The parking of this phase will primarily accommodate the residents of the midrise apartments with two styles of parking. Plans indicate that 63 surface parking stalls will be on site, with an additional 70 covered parking stalls located beneath the dwelling units of the apartment building. The covered parking will be accessible off 93rd St. A total of three accessible parking spaces are shown on the underground parking plan, as well as locations for bicycle parking. [Sec. 19.44](#) of the West Allis Municipal code for indoor bicycle parking stating, "All dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units". According to this ratio, the developer will have to show that their bicycle parking plans will provide 28 indoor bicycle parking spaces. Outdoor bicycle parking is planned by the developer, but staff awaits plans detailing the location of this amenity. Lastly, while no Electric Vehicle (EV) charging stations have been specified on this plan, staff recommend that at least one EV charging station should be incorporated into the parking plan.

Design Guidelines

Compliance with the design guidelines is mandatory for new development. The proposed project satisfies all applicable guideline requirements.

PLAN COMMISSION CHECKLIST

1.

**Goal:
Context**

Objective	Criteria	Notes
a. Neighbor	I. Street wall	<input checked="" type="checkbox"/>
	II. Scale	<input checked="" type="checkbox"/>
	III. Historic neighbors	<input checked="" type="checkbox"/>
	IV. Connectivity	<input checked="" type="checkbox"/>
b. Site	I. Orientation	<input checked="" type="checkbox"/>
	II. Unique features	<input checked="" type="checkbox"/>
	III. Historic elements	<input checked="" type="checkbox"/>
	IV. Additions	<input type="checkbox"/>

2.

**Goal:
Public
Realm**

Objective	Criteria	Notes
a. Active Ground Floor	I. Tall and clear ground floor	<input type="checkbox"/>
	II. Street edge	<input checked="" type="checkbox"/>
	III. Active uses	<input checked="" type="checkbox"/>
	IV. No blank walls	<input checked="" type="checkbox"/>
b. Build for People	I. Engaging spaces	<input checked="" type="checkbox"/>
	II. Accessible spaces	<input type="checkbox"/>
	III. Built-out site	<input checked="" type="checkbox"/>
	IV. Pedestrian connections	<input checked="" type="checkbox"/>
c. Mitigate Impacts	I. Vehicle parking	<input checked="" type="checkbox"/>
	II. Utilities and services	<input checked="" type="checkbox"/>
	III. Lighting	<input type="checkbox"/>
	IV. Fencing	<input checked="" type="checkbox"/>

3.

**Goal:
Quality**

Objective	Criteria	Notes
a. Building	I. Quality materials	<input checked="" type="checkbox"/>
	II. Ground floor	<input checked="" type="checkbox"/>
	III. Exterior features	<input checked="" type="checkbox"/>
	IV. Quality design	<input checked="" type="checkbox"/>
b. Environment	I. Natural features	<input checked="" type="checkbox"/>
	II. Manage stormwater	<input checked="" type="checkbox"/>
	III. Reduce impervious surface	<input checked="" type="checkbox"/>
	IV. Embody sustainability	<input checked="" type="checkbox"/>

West Allis Design Review Guidelines 19

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for F Street 92, LLC, a proposed 5+ Unit Dwelling use, at 1405 S. 92nd St. (Tax Key No. 450-0502-000) and Certified Survey Map to split the existing parcel at 1405 S. 92nd St. into two parcels. (Tax Key No. 450-0502-000) subject to the following conditions:

1. Common Council approval of the Certified Survey Map subject to technical corrections.
2. Revised Site, Landscaping, and Architectural plans submitted to show the following: a) at least 28 indoor bicycle parking spaces and show location of outdoor bicycle parking to comply with Sec. 19.44 Vehicle Parking; (b) The provision of one EV charging station in the parking plan; (c) Updated elevations to reflect the enhanced façade rendering details for the garden apartments and mid-rise buildings; (d) increase landscaping screening for the southern parking lot and overall plan subject to City Forester review approval; (e) coordination with City Forestry on adding and/or replacement of street trees around the site; (f) fence details for the overall site, and replacement of chain link fencing with a more decorative variety of fencing; (g) submission of refuse enclosure plan details; (h)

- submission of retaining wall type, height, and grading details; (i) grading plan with respect to the slope of the driveway entrance to the underbuilding parking.
3. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
 4. Planned work or modifications within City right-of-way shall be coordinated with City Engineering:
 - a) traffic impact memo being prepared for City Engineering to indicate vehicle trips given change in use.
 - b) driveway permits being applied for and obtained through City Engineering for proposed modifications, and;
 - c) The northern entrance on S. 92 St. should be a right in/right out situation and the island extended to prevent left turns from the driveway nearest the intersection with W. Greenfield Ave.
 5. Signage and site lighting plan being submitted for design review.

Project Description

Project will be submitted and completed in two phases; garden-style and multi-family, a total of 143 units combined.

- (2) two-story residential garden-style buildings, located within the southern half of the property. Buildings are mirror images of each other. (42) units combined, a mix of studios, one-bedroom, two-bedroom, and three-bedroom units.
 - Project completion estimated by quarter-three 2026.
- (1) four-story residential multi-family building, located within the northern half of the property. One level of parking below. (101) total units, a mix of junior-one bedroom, one-bedroom, two-bedroom, three-bedroom units. Building also houses various amenity spaces shared with both southern garden-style residences.
 - Project completion estimated by quarter-two 2027.
- Tenants will have shared amenities (controlled access and secured) for tenants that could include an indoor Clubroom, Fitness Center, Dog Wash Station, Outdoor Seating (at grade, porch and/or terraces), Gas Grills (at grade), a Gas Fire Pit (at grade) and an outdoor fenced Dog Run area. A Leasing / Property Management Team will have offices located on the first floor of the proposed four (4) story Multi-Family Bldg.
- The Shared Amenities will have set hours that yet to be determined / confirmed with any outdoor areas adhering to all/any federal / state / municipal laws, ordinances and/or neighborhood requirements for use, noise and curfew. The Property Management team members that will be located onsite work hours are yet to be determined / confirmed but will likely be Monday – Friday 8/9am to 5/6pm, with the Leasing Agent scheduling meetings and walk-throughs with potential tenants as needed up to seven (7) days a week.

MEMORANDUM

DATE: 7/17/2025
TO: City of West Allis
CC: Ryan Neidinger – RINKA
PROJECT: 92nd and Greenfield Multifamily
PROJECT NO.: 24101
RE: Responses to City Staff Plan Commission Comments

92 & Greenfield Ave.St Al's Redevelopment Planning comments 7-8-25 PLAN-25-44 - OpenGov

CSM

1. The CSM will need to be applied for separate from the Design review. Use the following link to apply:
Planning Application - City of West Allis, WI
RINKA Response: Noted. The CSM was submitted on July 8th, Planning Application #PLAN-25-44. The design and engineering team have updated the owner information.
2. City Certificate Page
 - a. Common Council approval part: Eliminate Rebecca Grill and Replace with Erin M. Hirn, MPA, City Administrator
 - b. Eliminate Plan Commission approval part
RINKA Response: City admin task, no action for design team.

Garden Apartments Site Plan

3. Garden Apartments - Density of the overall development has been reduced by 8 units. 69 parking stalls are provided off-street. This includes 20 new parking spaces that have been added on the south end of the site. While the parking ratio doesn't exceed the parking maximum of the zoning code, our preference would be for more units vs more parking. Please provide more info on striking the density vs parking balance in the decision to reduce the number of units.
RINKA Response: Correct. Between the initial site plan and the plan commission submittal, the overall unit count was reduced by 8 garden style (GS) units. This change was in response to feedback from the leasing team, who indicated that larger GS units with attached garages are far more favorable to prospective renters. By reducing the units, and incorporating more attached garages, we were able to increase the ratio of attached garages, better-meeting market needs. Note that since the submission, the overall unit count has increased by 4 mid-rise (MR) units, totaling total 147. This helps with density across the site, while also considering parking ratio between building types. Refer to attached revised plan excerpts.
4. Will take a closer look at landscaping considerations on site. On the south end staff would recommend species to buffer parking from residences to the south.
RINKA Response: Refer to response #5.

5. South end of site - Existing currently is a chain link fence, perhaps a more decorative opaque fencing option could be utilized to provide more privacy. Ensure proposed landscaping will screen parking lot and lines of sight.

RINKA Response: A combination of screening landscape and/or 5' cedar fence is being considered along the southern property line.

6. Grades: what are the grades between public sidewalk and private garden apartment walks (at sidewalk intersections). How does accessibility factor in with steps/grade difference?



RINKA Response: The above image is for graphic representation only. Refer to civil drawings for grading information. The proposed private sidewalks are accessible, and offer multiple connections to the existing sidewalks (to remain).

7. Is the accessible walkway striping shown in between buildings intended or just shown for reference. Maintenance over time, method of install (milled in pavement or just painted).

RINKA Response: The striping denotes accessible access across the site, and will be painted and maintained by owner.

8. Refuse enclosure details

RINKA Response: Steel framed, aluminum panel, 6'-6" tall trash enclosure and gate system, to allow water drainage throughout site.

9. Fencing type and height detail

RINKA Response: Refer to response #5.

10. Retaining wall type and detail

Pinnacle Response: Landscape block, color to compliment the building.

Garden Apartment Architectural Plan

11. Garden Apartments – on the south elevation of building A and B what are the large panels labeled as wood nickel gap siding?

RINKA Response: This was an annotation error. The arrow was intended to point to the wall cladding. Panels in question represent gas/electric meter locations. Further coordination with We Energies is required.

12. Are more detailed floor plans of each unit available for reference/review?

RINKA Response: Refer to attached typical GS unit plans.

13. How are the undersides of the balconies being finished (ex. Aluminum soffit or exposed structure)?

RINKA Response: Exposed wood structure, painted or stained to achieve design intent.

14. Bicycle Parking: The plans should indicate not only the location of bicycle parking, but also how many parking spots they're providing. According to our regulations for indoor bicycle parking, they need to hit the "1 parking spot for every 5 residential units" requirement. They would need 28 bike parking spaces at their current unit count of 143.

RINKA Response: Could the City confirm where this regulation lives, so design team can reference it in the future? Information was not present at initial time of submission.

Bicycle parking is being considered separately at each of the building types.

- 22 GS units have private garages for bike housing, with room for private bicycle storage. Surface parked GS tenants will utilize exterior bicycle racks, to be provided on-site.
- The MR building will provide space for 21+ bicycle parking in the underground garage (105 MR units / 5 units/bicycle). The remaining MR unit tenants will utilize exterior bicycle racks, provided on-site.

15. Provide location of details of AC units.

RINKA Response: AC units to be of standard residential size, located on Level 01, within building recesses, screened with plantings. Refer to plans.

Mid-Rise Site Plan

16. On S. 93 St. side there is an existing asphalt terrace in front of the school. Recommended this area be replaced with grass. Coordinate with City Forestry on street trees.

RINKA Response: This area will be replaced with grass, as requested.



17. Refuse enclosure details

RINKA Response: Steel framed, aluminum panel, 6'-6" tall trash enclosure and gate system, to allow water drainage throughout site.

18. Fencing type and height detail

RINKA Response: Dog run/grilling patio to have 4'-0" aluminum picket style fence and gate system.

19. Retaining wall type and detail

RINKA Response: Retaining walls will be cast in place cantilevered retaining walls on each side of the parking ramp, height to account for grade change from street level to underground parking.

20. Submit a rooftop unit plan (RTU) to show location and determine if screening is necessary.

RINKA Response: Rinka to provide rooftop plan. MR building will have some units with internal mini-split systems. All other units will have rooftop AC units, of a standard residential size, located along central spine of building away from parapets and sight lines.

Mid-Rise Architectural

21. NE Corner first floor units built into grade. The appearance looks compressed. Design solution to offer more vertical or elevated appearance above adjacent sidewalk grade. First floor level be increased in height?
RINKA Response: The first-floor elevation has been thoroughly studied/coordinated with the steep grading and balances the needs throughout the site. The floor height incorporates the underground parking ramp function, minimizes excessive exposed foundation wall along 93rd street, and provides an accessible path of egress to the rear/main resident entrance and adjacent Gonzaga parking (to remain). The design team is proposing to relocate the main entrance to the NE corner, which will result in a more active / glassy street presence. The previous lobby location at the NW corner will be a private terrace, facing the slower-paced 93rd Street.
22. NE Corner and SE corner more windows or looking for a bit more presence primarily NE corner with that intersection.
RINKA Response: Refer to response #21. Also, NE corner will house a permanent historic memorial to St. Aloysius church and school.
23. Page labelled PC-12: South elevation – plain façade. The elevations covered on this page are so plain and flat compared to others, which contain articulations, balconies, color accents, etc. Please reconsider integrating some articulation or accents (ex. Color accents, wood panels. Understood that balconies aren't proposed on this side due to Gonzaga Village, but this side of the building (especially SE near S. 92 St.) is particularly very plain in terms of façade design.
RINKA Response: Noted. RINKA to incorporate additional articulation, similar to massing along 93rd St.
24. Are more detailed floor plans of each unit available for reference/review?
RINKA Response: Refer to attached typical MR unit plans. Atypical corner units are yet to be fully developed.

Stormwater

25. Complete stormwater checklist
Pinnacle Response: We will submit this with the final stormwater design.

Site & building Lighting

26. Will a separate exterior lighting plan be submitted for review?
RINKA Response: Refer to progress photometric plan, which was included in the Plan Commission submission. A revised layout will be provided, after site plan modifications are finalized.
27. Exterior building architectural accent lighting and pedestrian walkway/path lighting, entry points, garage areas...
RINKA Response: Refer to response #26.
28. Full cut off fixtures recommended. Ensure light does not splay from vehicles onto neighboring residences, and especially within the new parking lot on south side of the property.
RINKA Response: Design team will work with lighting distributor to ensure no light spillage occurs on site.

DPW/Engineering Coordination

29. We'll be seeking coordination with City Forestry and Engineering to evaluate improvements within right-of-way. Example - evaluate sidewalk conditions/improvements, street trees (some look pretty sad along S. 92 St.), driveway closures...

Pinnacle Response: We are happy to work with staff on necessary streetscape improvements. Please provide a markup with initial thoughts for discussion.

30. Please clarify driveway entrance directionals. Need confirmation of whether each driveway will be a right-in right-out or multi-directional.

RINKA Response: Refer to architectural site plan for intended directionals.

31. Extend the median island along 92nd to make the entrance immediately adjacent to median a right-in right-out only, leaving the second entrance multi-directional.

Pinnacle Response: This can be accommodated assuming the raised median is extended within the painted median only and no roadway widening is required.

32. Confirm grading details on site: Specific concerns regarding the grading of the entrance to covered parking – how likely is it that cars may scrape upon entering/exiting?

Pinnacle Response: PEG will create a design out that incorporates a transition at the driveway to avoid too severe of a grade change. This will be shown on the final paving plans.

33. Please submit a stormwater management plan for review.

Pinnacle Response: This will be completed with the final plans. The stormwater focuses on water quality only and will consist of Upflo filters only, which fit in a standard manhole, therefore no space allocation is needed on the site plan to meet stormwater needs.

Site & building Lighting

34. Confirm roofing construction materials used.

RINKA Response: Asphalt shingles at GS, EPDM at MR.

35. Add standpipes along roof or internally for additional fire house connections.

RINKA Response: Standpipe is anticipated.

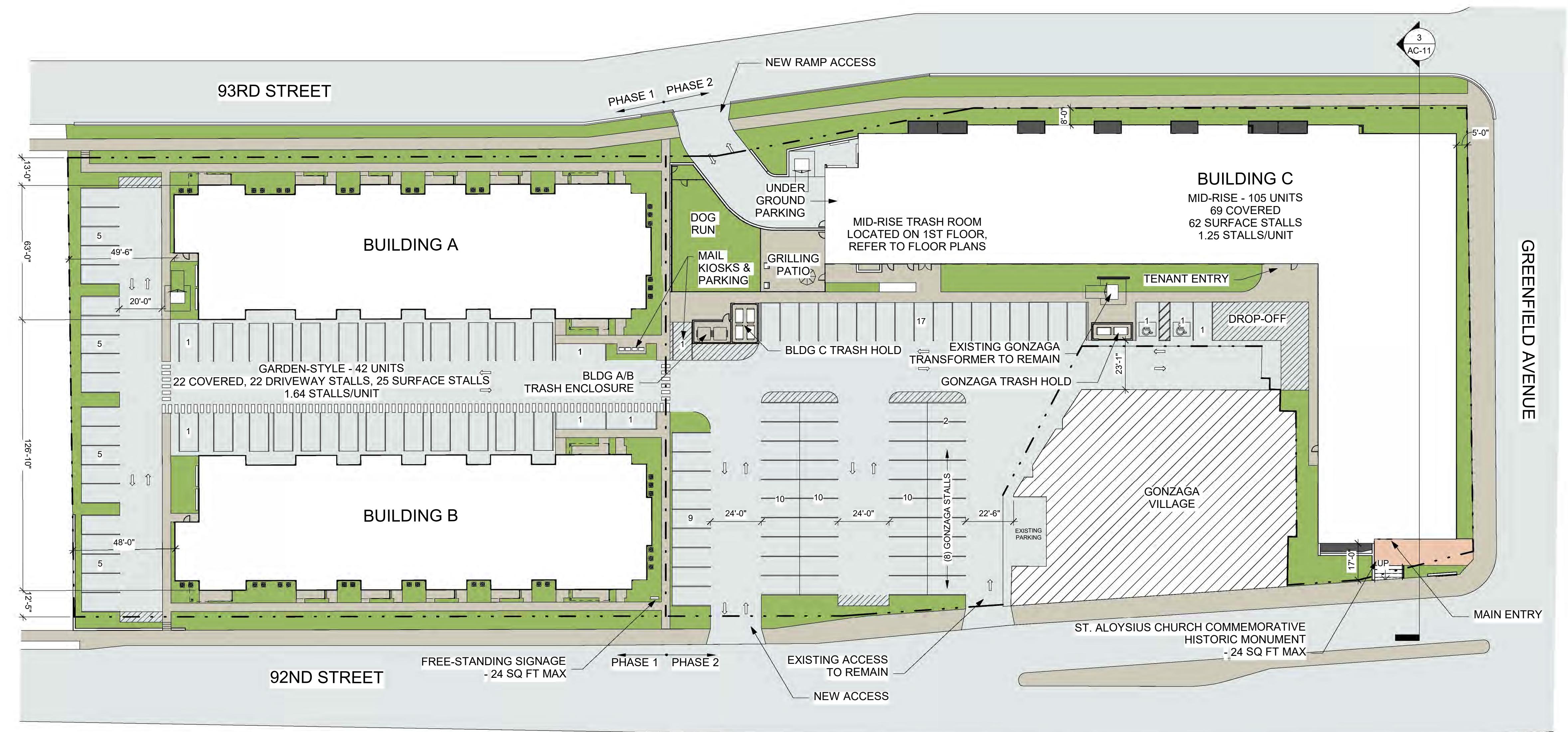
BY: Ryan Neidinger – Project Delivery Manager
 RINKA



92ND & GREENFIELD MULTI-FAMILY



RINKA+





BUILDING C RENDERING PC-14

SCALE:

92ND & GREENFIELD MULTIFAMILY

#24101 | 0705725

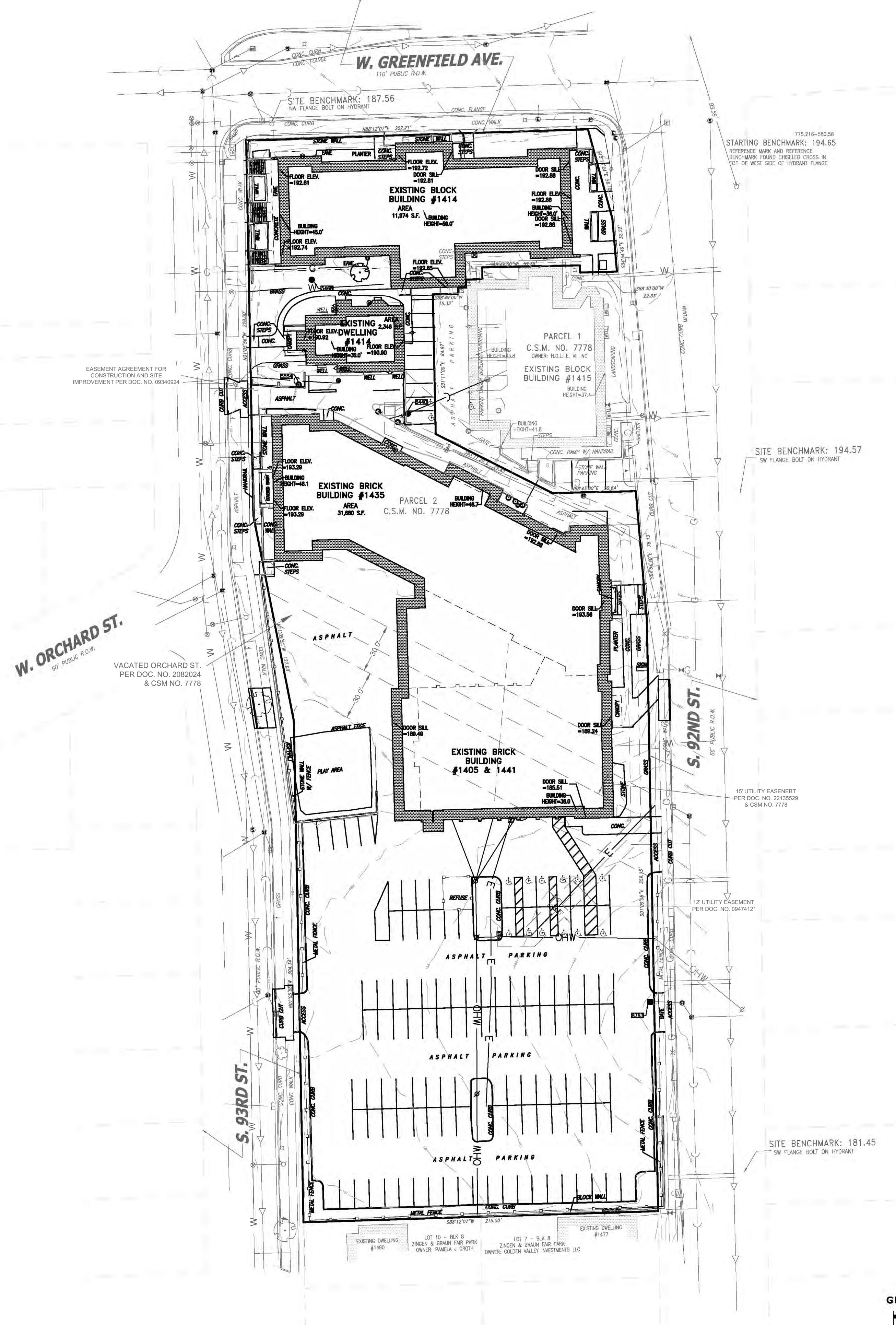


BUILDING C RENDERING PC-15

SCALE:

92ND & GREENFIELD MULTIFAMILY

#24101 | 0705725


CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

COORDINATE UTILITY REMOVAL WITH APPROPRIATE UTILITY COMPANIES

GENERAL SITESWORK DEMOLITION:
CONTRACTOR TO REMOVE ALL SITE FEATURES THAT INTERFERE WITH NEW DEVELOPMENT INCLUDING BUILDINGS, ASPHALT, CONCRETE, CURB, FENCES, LIGHT POLES, UTILITIES, TREES, LANDSCAPING, FOUNDATIONS. FOUNDATIONS SHALL BE REMOVED TO 1 FOOT BELOW EXISTING GRADE. CONTRACTOR SHALL COORDINATE REMOVAL OF UTILITIES WITH CITY AND UTILITY COMPANIES. SOME UTILITIES MAY BE ABANDONED IN PLACE. ALL LATERALS TO BE ABANDONED SHALL BE ABANDONED PER CITY REQUIREMENTS. TURN WATER SERVICE VALVES OFF. SEWER AND WATER LATERALS MAY BE REUSED. CAP AND MARK IF ENCOUNTERED ON SITE. PROTECT SITE FEATURES AND UTILITIES WHICH ARE TO REMAIN FROM DAMAGE. CONTRACTOR MAY ELECT TO PULVERIZE EXISTING ASPHALT AND REUSE ON SITE. IF DONE, ASPHALT SHALL BE PULVERIZED AND MIXED INTO THE EXISTING STONE BASE. ANY DISTURBED GRASS AREAS SHALL BE RESTORED WITH NEW SEEDING.

△ Revisions

FOR REVIEW ONLY

92ND &
GREENFIELD
MULTIFAMILY

92ND & GREENFIELD

Date Issued: 07/03/2025

RINKA project #: 24101

Sheet Title

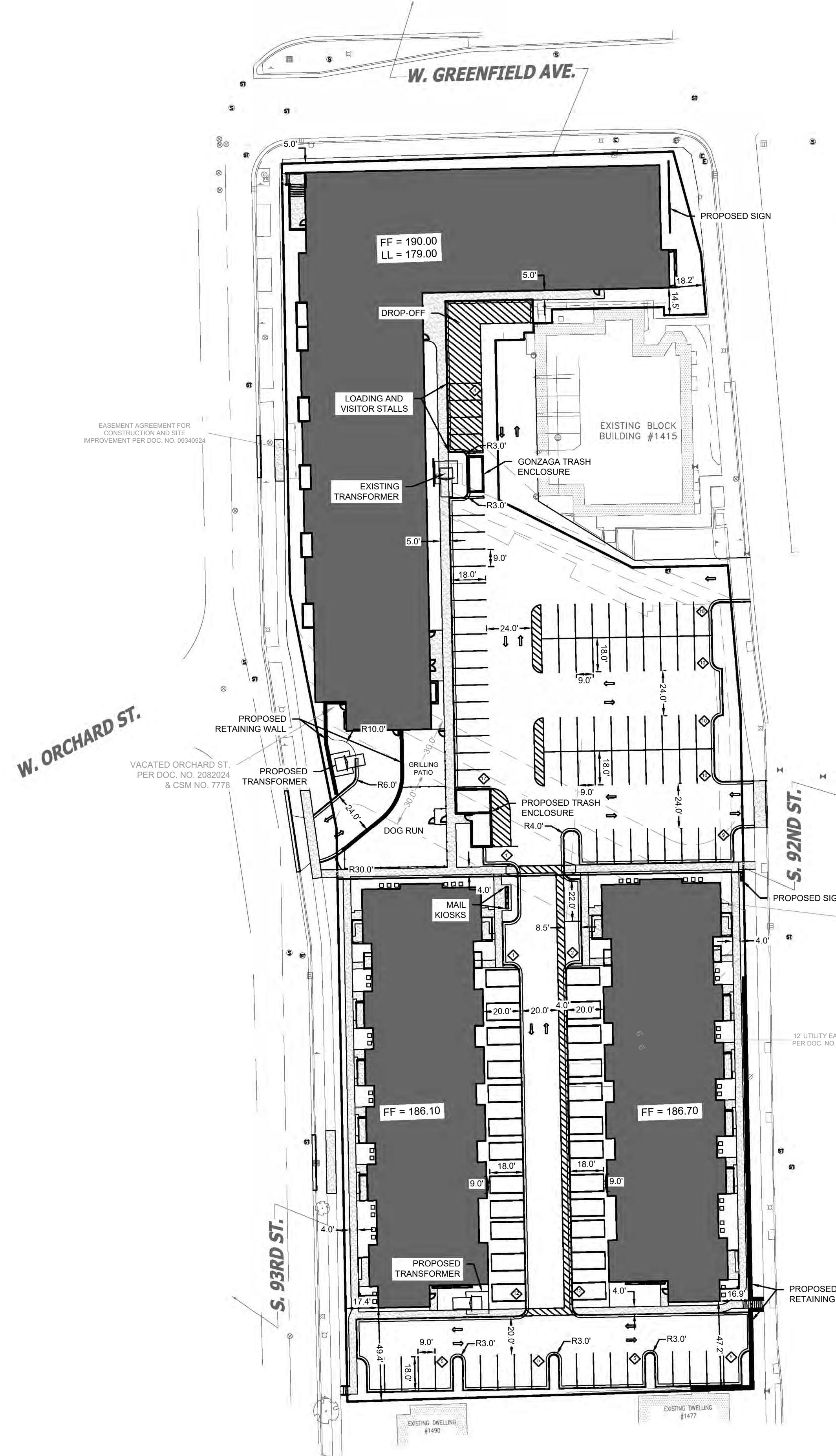


GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

Sheet #

C-01

EXISTING CONDITIONS
& DEMOLITION PLAN



LEGEND	
	REGULAR DUTY PAVEMENT (SEE DETAILS)
	CONCRETE SIDEWALK (SEE DETAILS)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA TABLE	
TOTAL AREA: 130,677 SF (3.00 AC)	
EXISTING PERVIOUS AREA: 13,590 SF (0.31 AC)	
EXISTING IMPERVIOUS AREA: 117,087 SF (2.69 AC)	
PROPOSED PERVIOUS AREA: 18,590 SF (0.43 AC)	
PROPOSED IMPERVIOUS AREA: 112,087 (2.57 AC)	
PROPOSED PARKING STALL COUNT:	
- GARAGE/UNDERGROUND PARKING:	92 STALLS
- APRON OF GARAGE PARKING:	24 STALLS
- SURFACE PARKING:	94 STALLS
- TOTAL PARKING:	210 STALLS

△ Revisions

FOR REVIEW ONLY

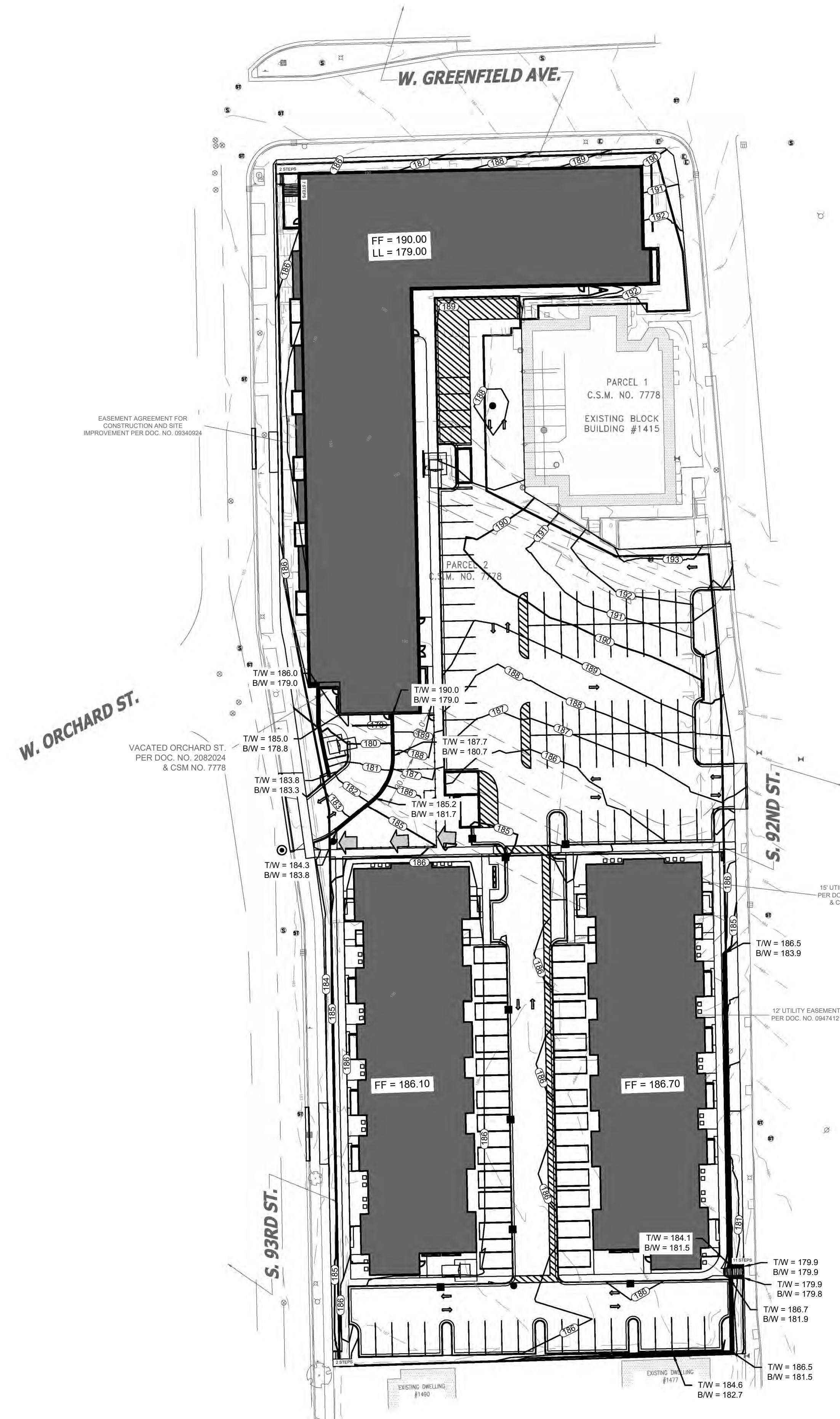
92ND & GREENFIELD MULTIFAMILY

 92ND & GREENFIELD
 Date Issued: 07/03/2025

 RINKA project #: 24101
 Sheet Title

 GRAPHICAL SCALE (FEET)
 0 1" = 40' 80'

 SITE PLAN
 Sheet # C-02

**LEGEND**

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▲ PROPOSED CONCRETE FLARED END SECTION
- ◆ PROPOSED CONTOUR
- EXISTING CONTOUR
- OVERFLOW RELIEF ROUTING

CONSTRUCTION SEQUENCE

ALL WORK SHALL BE IN CONFORMANCE WITH THE DNR WPDES PERMIT AND CITY OF WEST ALLIS EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION, DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WRITING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2. REMOVAL OF ALL SITE FEATURES THAT INTERFERE WITH NEW DEVELOPMENT INCLUDING ASPHALT, CONCRETE, CURB & GUTTER, FENCES, LIGHT POLES, UTILITIES, TREES, LANDSCAPING & ANY FOUNDATIONS.
3. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. STABILIZE STOCKPILE BY MULCHING, VEGETATIVE COVER, TARP, OR OTHER MEANS IF REMAINING MORE THAN 20 DAYS.
4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS OR TEMPORARY SEDIMENT BASIN/TRAP AS NEEDED.
5. BEGIN BUILDING CONSTRUCTION.
6. INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
7. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSE, PLACEMENT OF CURBS, PAVEMENT, WALKS, ETC
8. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

△ Revisions

FOR REVIEW ONLY

**92ND &
GREENFIELD
MULTIFAMILY**

92ND & GREENFIELD

Date Issued: 07/03/2025

RINKA project #: 24101

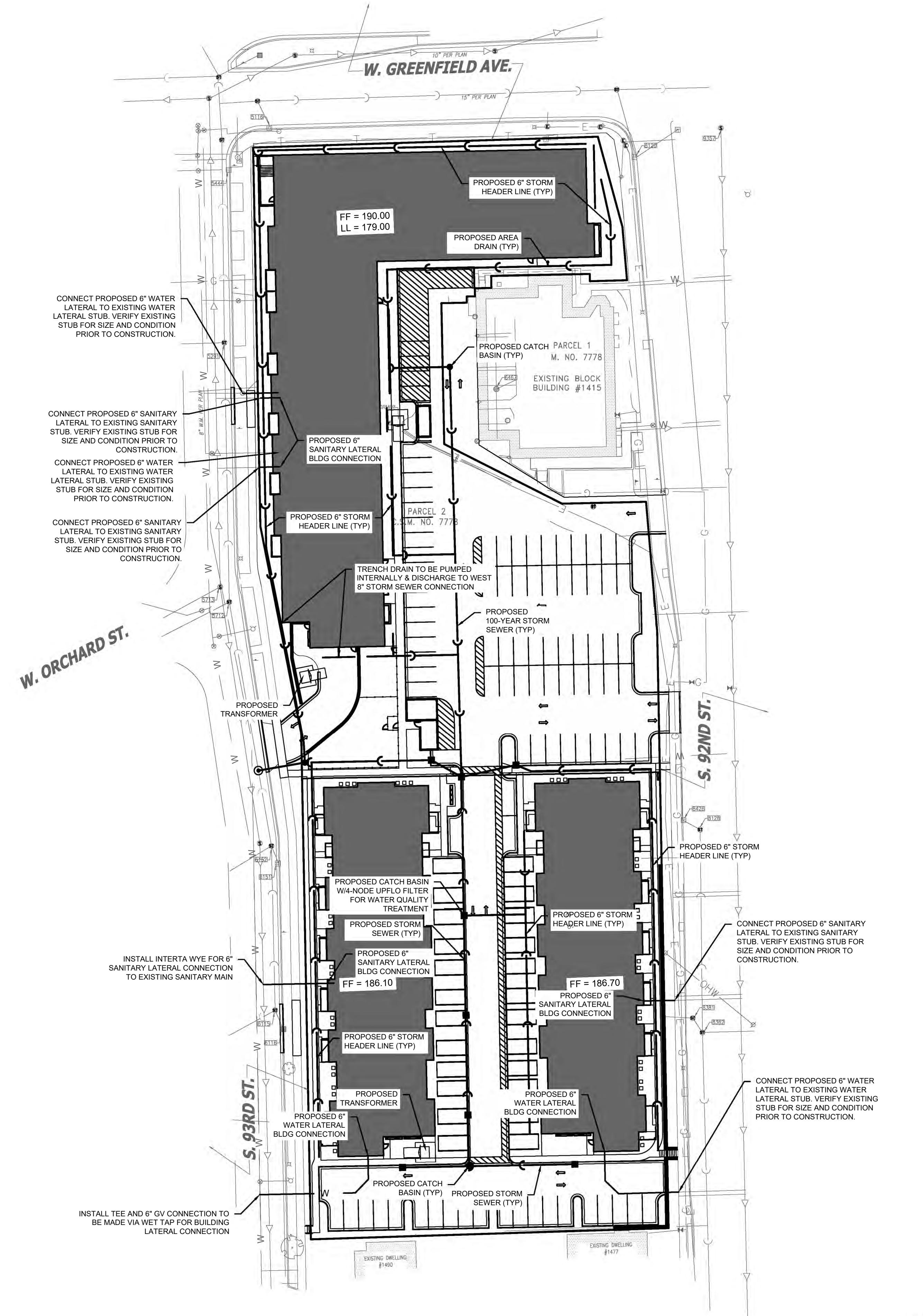
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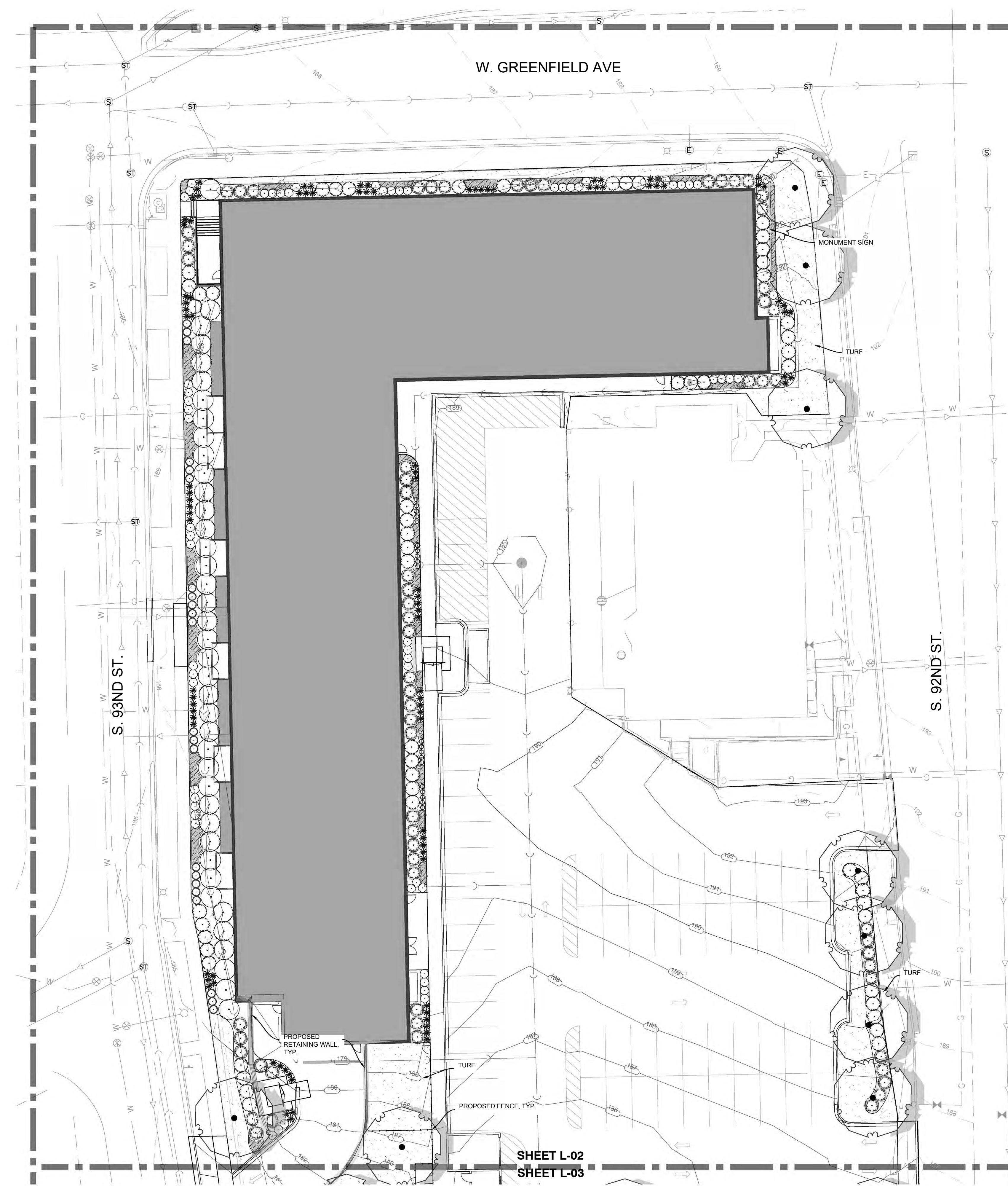
GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

Sheet #

C-03



△ Revisions



CONCEPT PLANT KEY		
SYMBOL	BOTANICAL NAME	COMMON NAME
	DECIDUOUS TREE	FOR POSSIBLE SPECIES SEE L-1
	ORNAMENTAL TREE	FOR POSSIBLE SPECIES SEE L-1
SHRUBS		
	LARGE EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	LARGE DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	TALL ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
	SHORT ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
SHRUB AREAS	PERENNIALS	VARIOUS SPECIES
TURF	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix

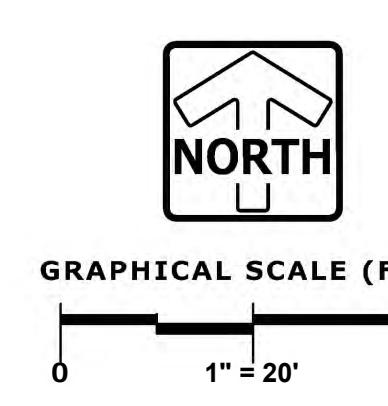
△ Revisions

FOR REVIEW ONLY

92ND & GREENFIELD MULTIFAMILY

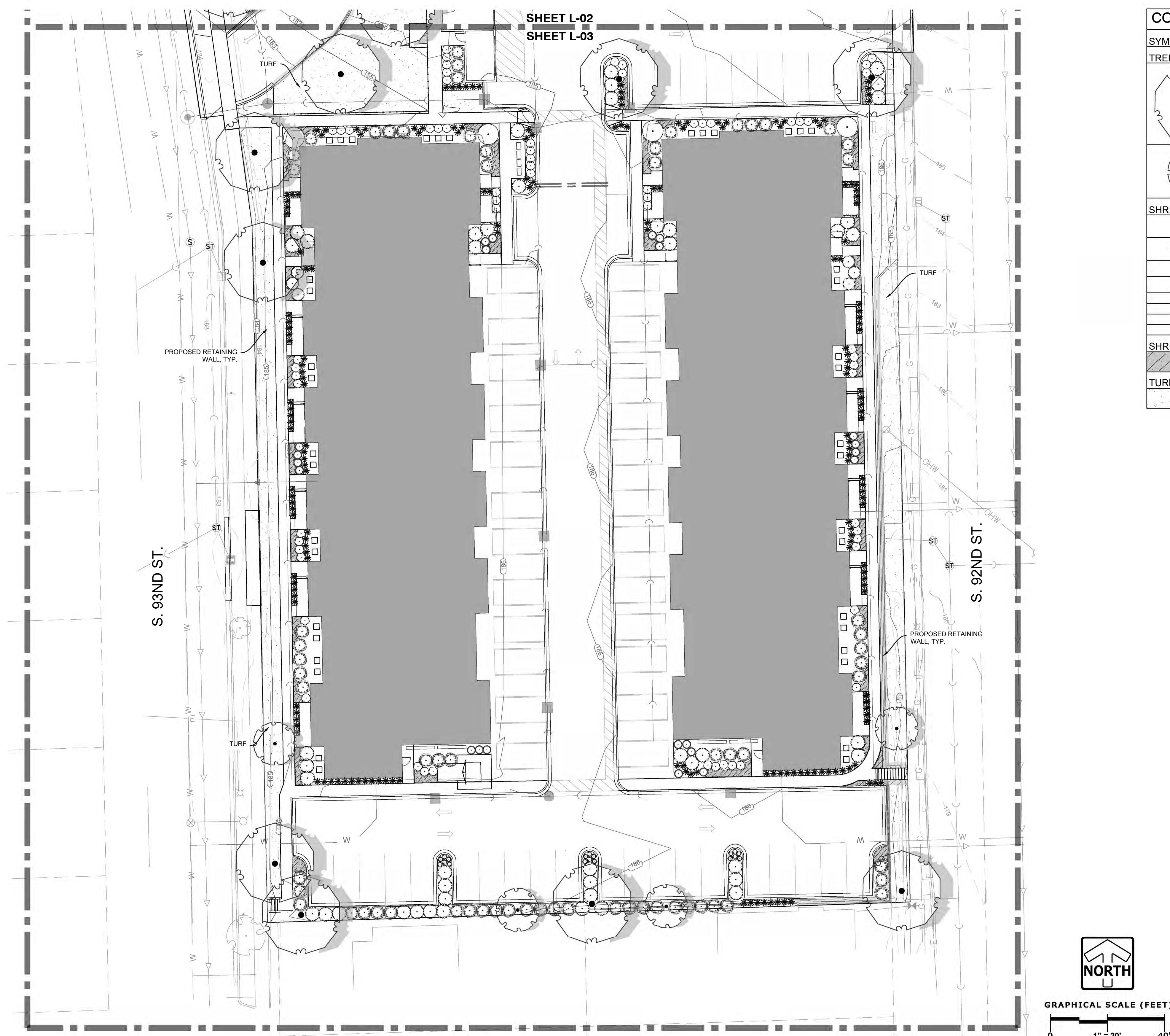
92ND & GREENFIELD
Date Issued: 05/02/25

RINKA project #: 24101
Sheet Title



LANDSCAPE
ENLARGEMENT

Sheet # L-02



CONCEPT PLANT KEY		
SYMBOL	BOTANICAL NAME	COMMON NAME
	DECIDUOUS TREE	FOR POSSIBLE SPECIES SEE L-1
	ORNAMENTAL TREE	FOR POSSIBLE SPECIES SEE L-1
SHRUBS		
	LARGE EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	LARGE DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	TALL ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
	SHORT ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
SHRUB AREAS	PERENNIALS	VARIOUS SPECIES
TURF	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix

△ Revisions

FOR REVIEW ONLY

92ND &
GREENFIELD
MULTIFAMILY92ND & GREENFIELD
Date Issued: 05/02/25RINKA project #: 24101
Sheet TitleLANDSCAPE
ENLARGEMENT

Sheet #

L-03

CERTIFIED SURVEY MAP NO. _____

A redivision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

Owner : F Street 92, LLC

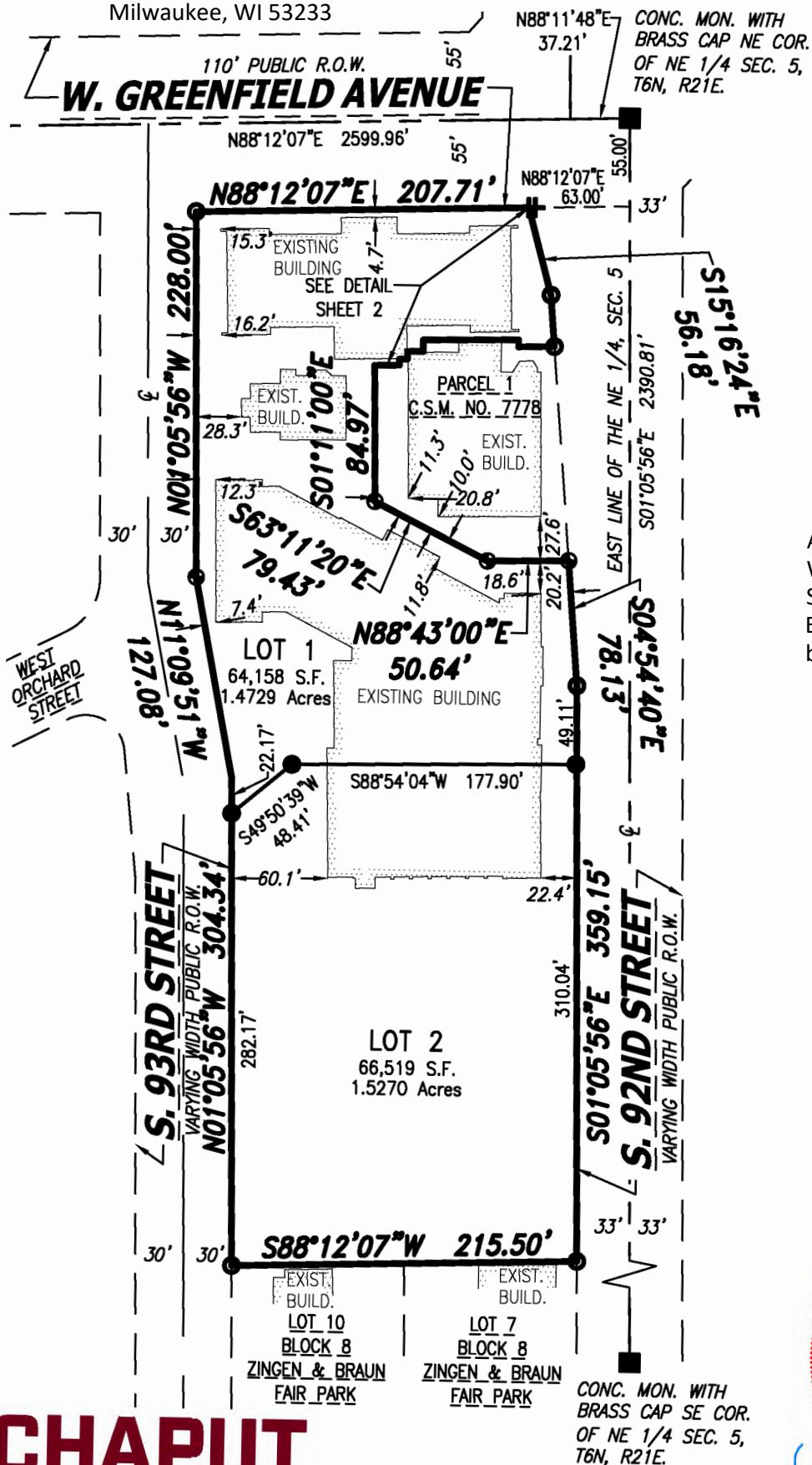
Nick Jung
1134 N 9th St #200
Milwaukee, WI 53233

Tax Key : 450-0502-000

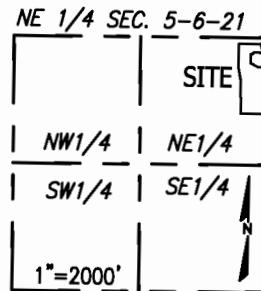
Zoning: RC Residential District

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- + - Denotes Found Cross
- ✖ - Denotes Found Mag Nail



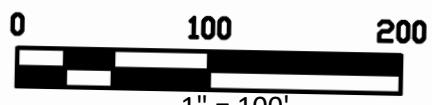
VICINITY MAP



All bearings are referenced to the Wisconsin State Plane Coordinate System, South-zone in which the East line of the NE 1/4, Sec. 5 bears S01°05'56"E.



Graphic Scale



Date: June 30, 2025

Survey No. 6454.00-lpm
Sheet 1 of 7 Sheets

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Jesse Zoltowski
Professional Land Surveyor S-3094

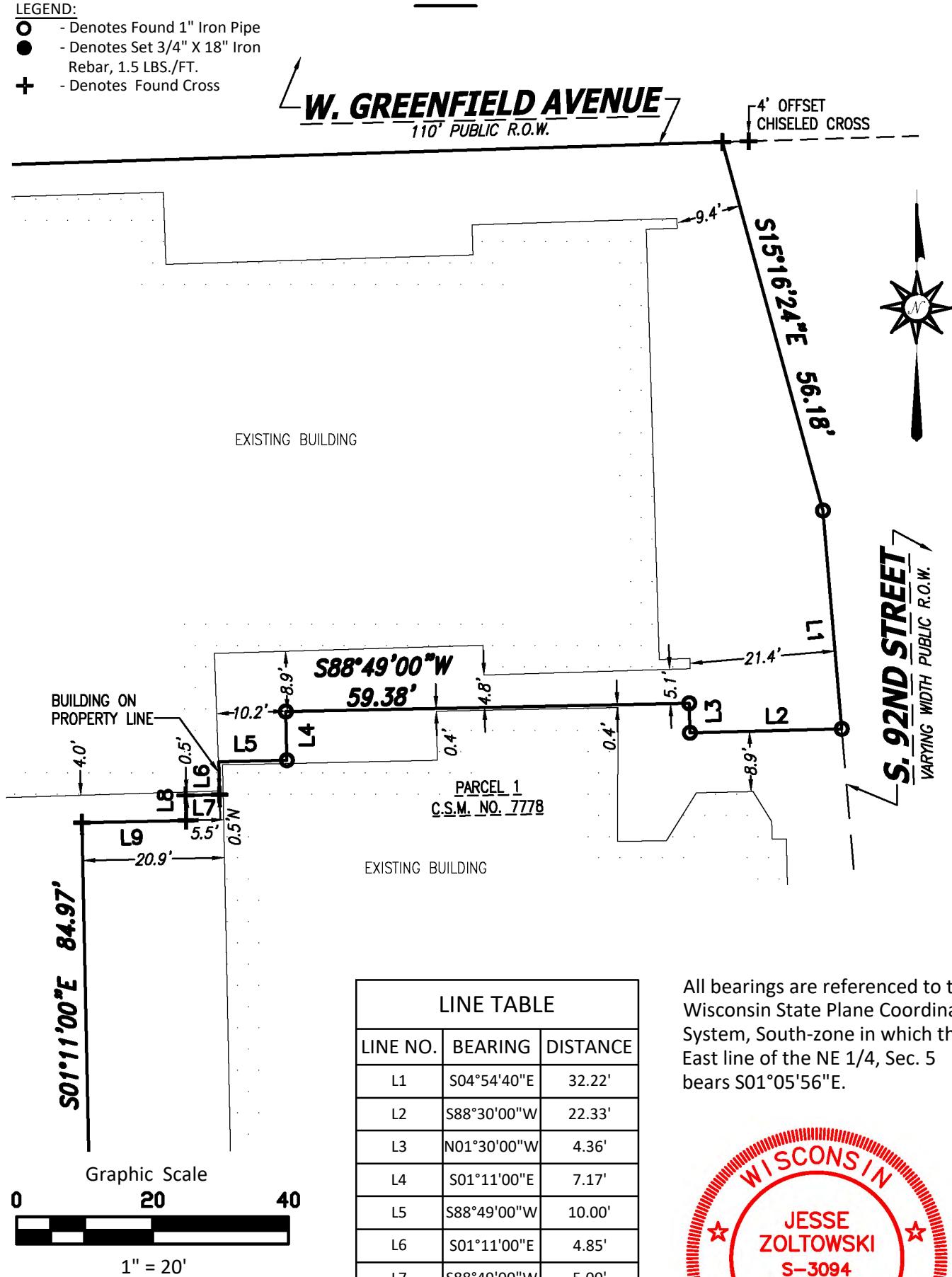
CERTIFIED SURVEY MAP NO.

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LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- + - Denotes Found Cross

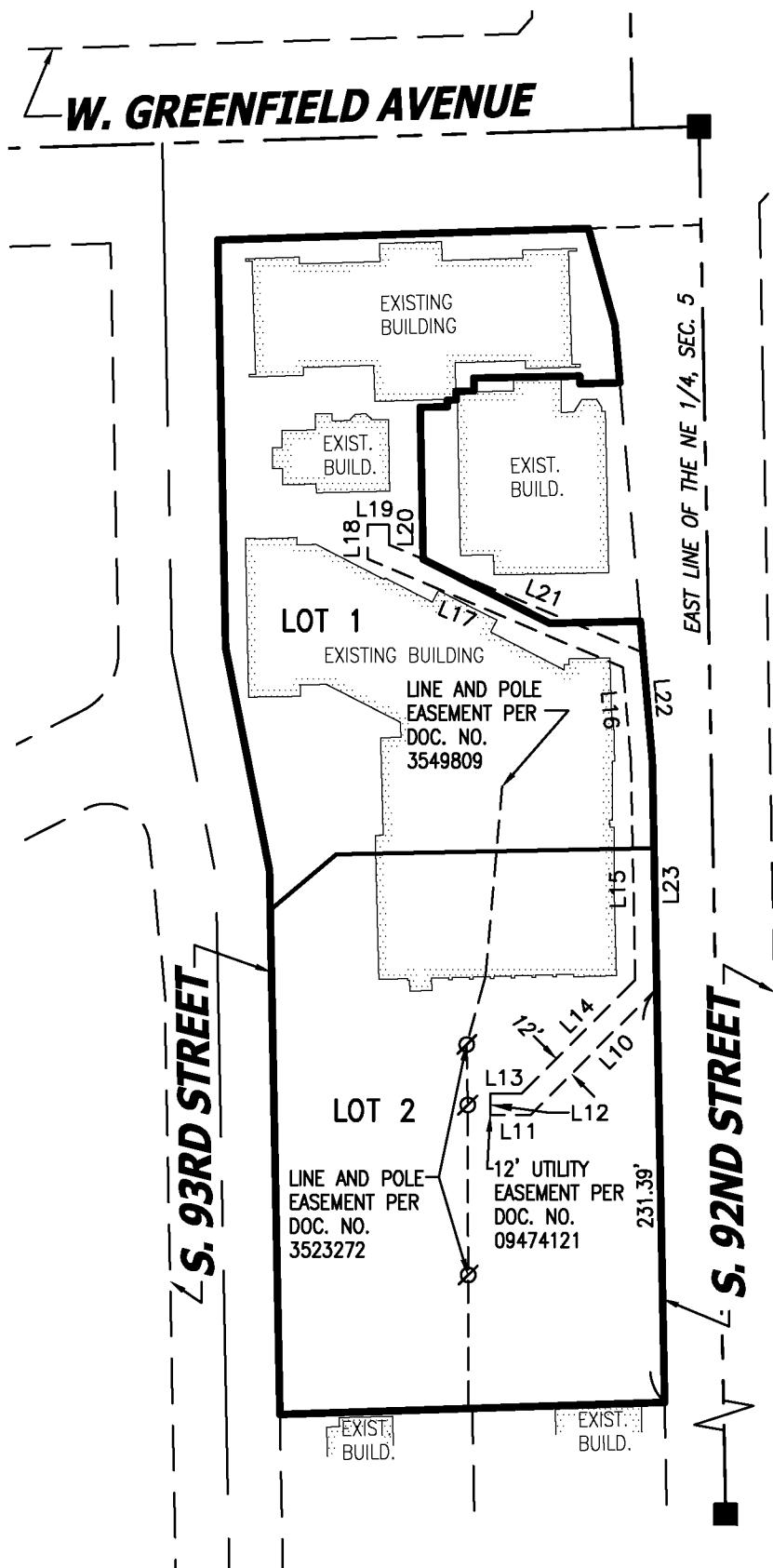
DETAIL



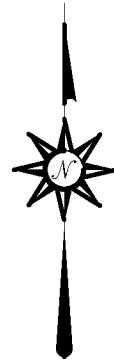
CERTIFIED SURVEY MAP NO.

A redivision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

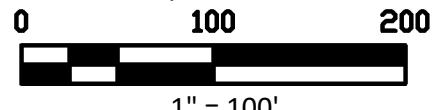
EASEMENTS OF RECORD SHOWN FOR REFERENCE ONLY



LINE TABLE		
LINE NO.	BEARING	DISTANCE
L10	S45°00'00"W	100.04'
L11	N90°00'00"W	22.49'
L12	N00°00'00"E	12.00'
L13	N90°00'00"E	17.51'
L14	N45°00'00"E	89.96'
L15	N01°05'56"W	122.25'
L16	N04°54'40"W	52.90'
L17	N67°00'00"W	155.36'
L18	N00°00'00"E	18.97'
L19	N90°00'00"E	12.00'
L20	S00°00'00"E	11.03'
L21	S67°00'00"E	154.64'
L22	S04°54'40"E	60.52'
L23	S01°05'56"E	127.75'



Graphic Scale



CERTIFIED SURVEY MAP NO.

A redvision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
WAUKESHA COUNTY}

I, JESSE ZOLTOWSKI, a professional land surveyor, do hereby certify:

THAT I have survey, divided and mapped a redvision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin, bounded and described as follows:

Commencing at the Northeast corner of the Northeast 1/4 of said Section 5; thence South 01°05'56" East along the East line of the said 1/4 Section 55.00 feet to a point; thence South 88°12'07" West 63.00 feet to a point on the West line of South 92nd Street and the point of beginning of the lands hereinafter described; thence South 15°16'24" East along said West line 56.18 feet to a point; thence South 04°54'40" East along said West line 32.22 feet to a point on the North line of Lot 1 Certified Survey Map No. 7778; thence South 88°30'00" West along said North line 22.33 feet to a point; thence North 01°30'00" West along said North line 4.36 feet to a point; thence South 88°49'00" West along said North line 59.38 feet to a point; thence South 01°11'00" East along said North line 7.17 feet to a point; thence South 88°49'00" West along said North line 10.00 feet to a point; thence South 01°11'00" East along said North line 4.85 feet to a point; thence South 88°49'00" West along said North line 5.00 feet to a point; thence South 01°11'00" East along said North line 3.70 feet to a point; thence South 88°49'00" West along said North line 15.33 feet to a point on the West line of said Lot 1; thence South 01°11'00" East along said West line 84.97 feet to a point on the Southwesterly line of said Lot 1; thence South 63°11'20" East along said Southwesterly line 79.43 feet to a point on the South line of said Lot 1; thence North 88°43'00" East along said South line 50.64 feet to a point on the West line of South 92nd Street; thence South 04°54'40" East along said West line 78.13 feet to a point; thence South 01°05'56" East along said West line 359.15 feet to a point on the North line of Lot 7, Block 8 in Zingen & Braun Fair Park Subdivision; thence South 88°12'07" West along said North line and its extension 215.50 feet to a point on the East line of South 93rd Street; thence North 01°05'56" West along said East line 304.34 feet to a point; thence North 11°09'51" West along said East line 127.08 feet to a point; thence North 01°05'56" West along said East line 228.00 feet to a point on the South line of West Greenfield Avenue; thence North 88°12'07" East along said South line 207.71 feet to the point of beginning.

Containing 130,677 square feet or 2.9999 acres of land.

THAT I have made this survey, land division and map by the direction of the F Street 92, LLC, owner of said land.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, the Land Division Ordinance of the City of West Allis in surveying, dividing and mapping the same.



DATE: June 30, 2025

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068

www.chaputlandsurveys.com

This instrument was drafted by Jesse Zoltowski
Professional Land Surveyor S-3094

Date: June 30, 2025
Survey No. 6454.00-lpm
Sheet 4 of 7 Sheets

CERTIFIED SURVEY MAP NO.

A redvision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

F Street 92, LLC, a limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said entity caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 12 of the West Allis Code of Ordinances.

This agreement is binding on the undersigned and successors and assigns.

Date: _____

Entity Name: F Street 92, LLC

Signature: _____

Type or Print Name: _____

Title: _____

STATE OF _____ }
 }:SS
_____ COUNTY}

Personally came before me this _____ day of _____, 2025, _____ (name),
the _____ (title) of the above named entity, to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: _____

Print Notary Name: _____

Notary Public, State of _____

My commission expires: _____

(Notary Seal)



Date: June 30, 2025
Survey No. 6454.00-lpm
Sheet 5 of 7 Sheets

CERTIFIED SURVEY MAP NO.

A redvision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

CONSENT OF ENTITY MORTGAGEE

_____, _____, duly organized and existing under and by virtue of the laws of the State of _____, as mortgagee of the above described land, consents to the surveying, dividing and mapping of the land described on this map and in the surveyor's certificate, and to the certificate of the owner of said land.

Date: _____

Entity Name: _____

Signature: _____

Type or Print Name: _____

Title: _____

STATE OF _____ }
 }:SS
_____ COUNTY}

Personally came before me this _____ day of _____, 2025, _____ of the above named entity, to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: _____

Print Notary Name: _____

Notary Public, State of _____. My commission expires: _____

(Notary Seal)



CERTIFIED SURVEY MAP NO.

A redvision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

COMMON COUNCIL APPROVAL

Be it resolved by the Common Council of the City of West Allis, Wisconsin, that the Certified Survey Map of a parcel of land in the Northwest 1/4 of the Southwest 1/4 of Section 8, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin be and the same is hereby adopted.

Approved: _____ Adopted: _____

Dan Devine, Mayor

Rebecca Grill, City Clerk

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of West Allis on this _____ day of _____, 2025.

Date

Dan Devine, Chairperson

Date

Wayne Clark, Vice Chairperson



Date: June 30, 2025

Survey No. 6454.00-lpm

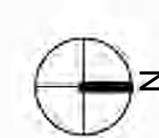
Sheet 7 of 7 Sheets

LEGEND	
<u>LEVEL 01</u>	
	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
<u>LEVEL 02</u>	
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)

UNIT MIX	
- (8) JR 1 BEDROOMS	
- (24) 1 BEDROOMS	
- (6) 2 BEDROOMS	
- (4) 3 BEDROOMS	
42 TOTAL UNITS	
PARKING	
- (22) GARAGE STALLS	
- (22) DRIVEWAY STALLS	
- (25) SURFACE STALLS	
69 TOTAL PARKING STALLS	
1.64 PARKING RATIO	



1 BUILDINGS A/B LEVEL 01
1/16" = 1'-0"

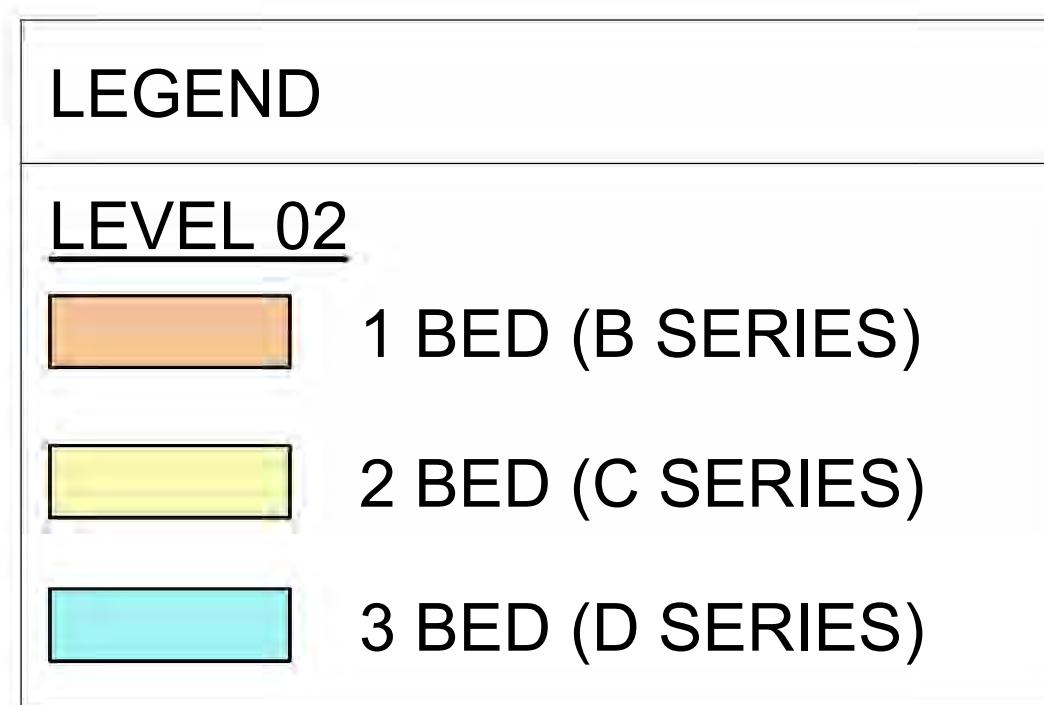


BUILDINGS A/B LEVEL 01 PLAN PC-02

SCALE: As indicated

92ND & GREENFIELD MULTIFAMILY

#24101 | 0705725



UNIT MIX

- (8) JR 1 BEDROOMS
- (24) 1 BEDROOMS
- (6) 2 BEDROOMS
- (4) 3 BEDROOMS

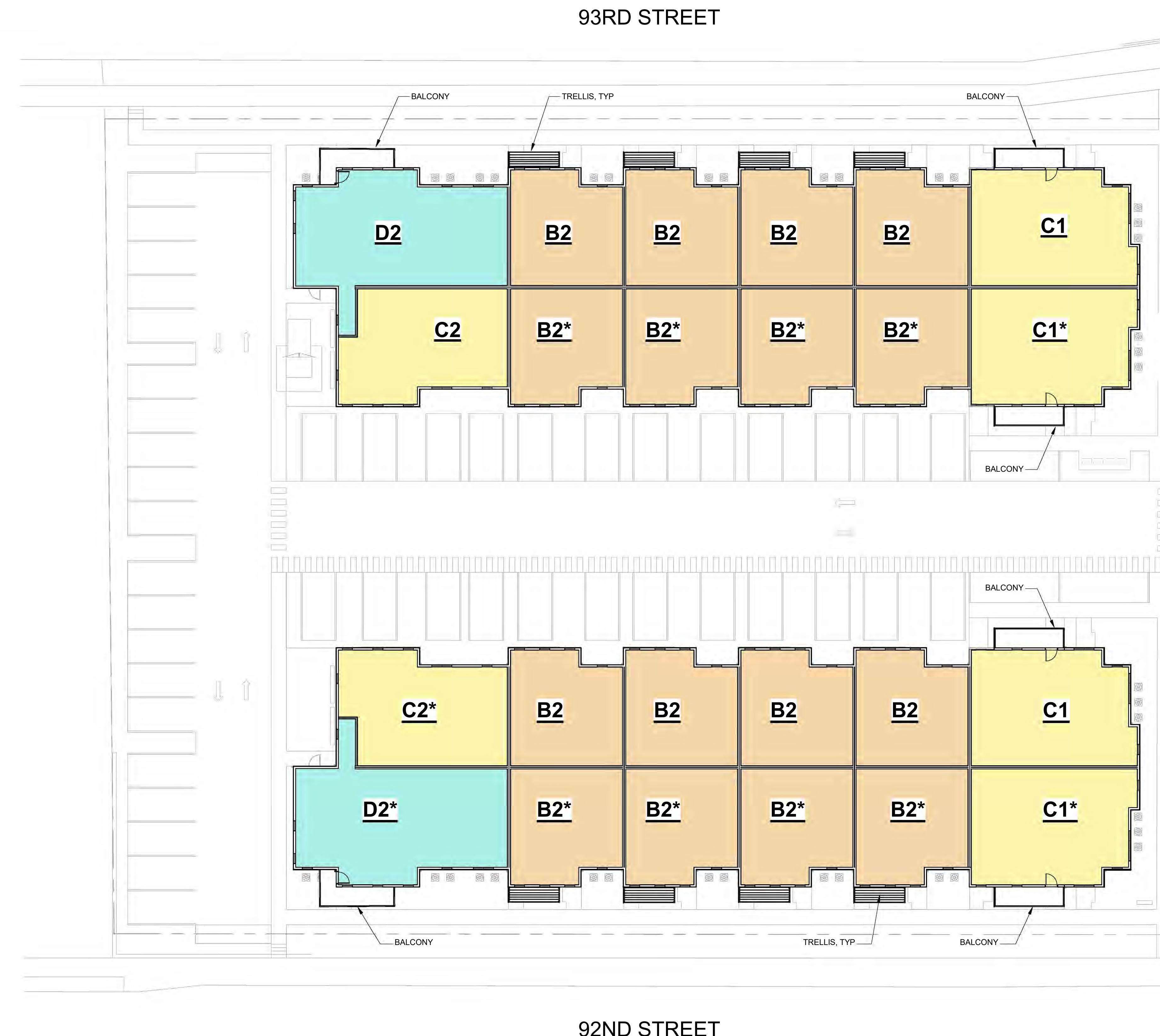
42 TOTAL UNITS

PARKING

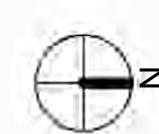
- (22) GARAGE STALLS
- (22) DRIVEWAY STALLS
- (25) SURFACE STALLS

69 TOTAL PARKING STALLS

1.64 PARKING RATIO

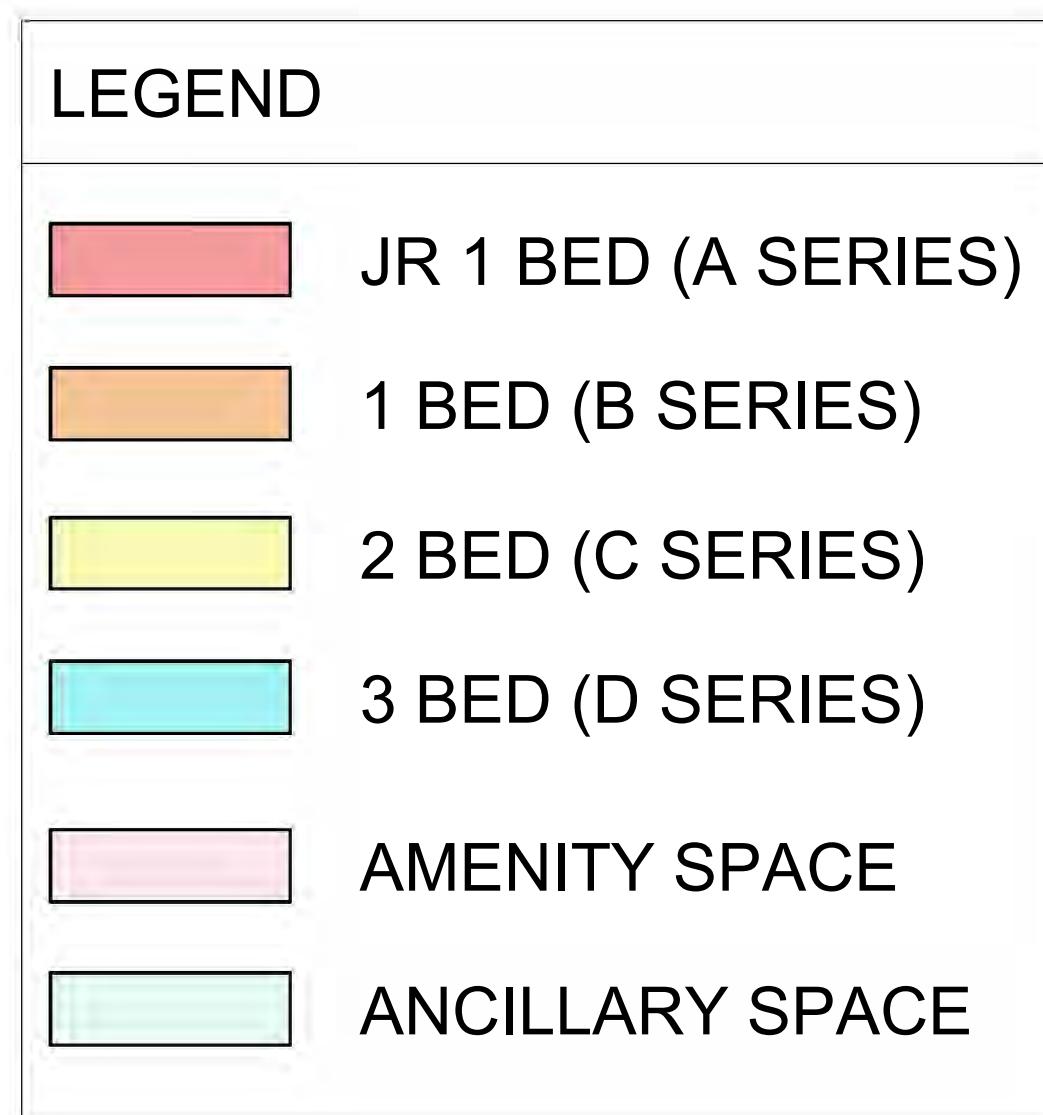


1 BUILDINGS A/B LEVEL 02
1/16" = 1'-0"



BUILDINGS A/B LEVEL 02 PLAN PC-03

SCALE: As indicated



UNIT MIX

- (26) JR 1 BEDROOMS
- (43) 1 BEDROOMS
- (34) 2 BEDROOMS
- (2) 3 BEDROOMS

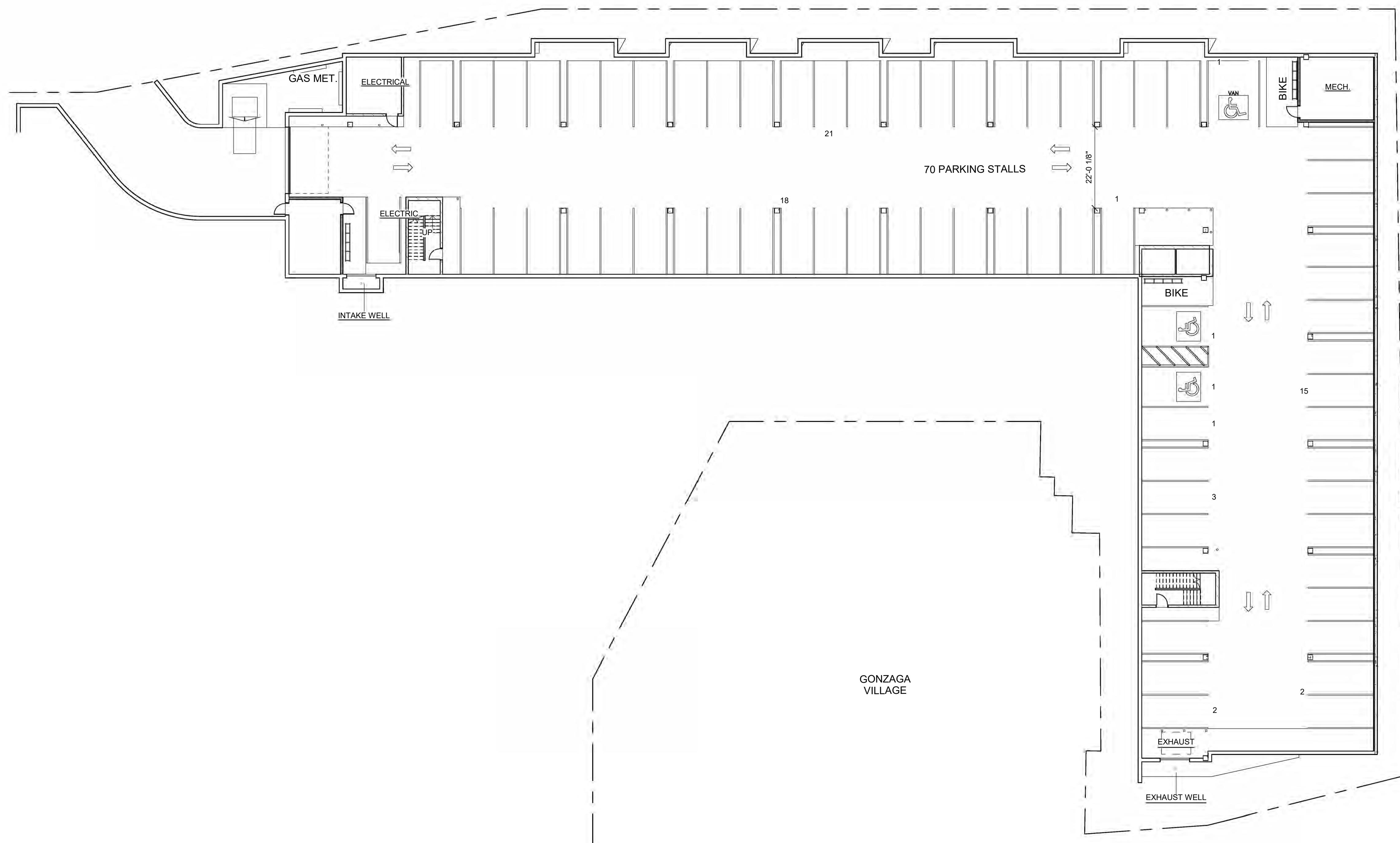
105 TOTAL UNITS

PARKING

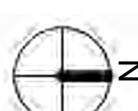
- (69) COVERED STALLS
- (62) SURFACE STALLS

131 TOTAL PARKING STALLS

1.25 PARKING RATIO



1 BUILDING C FLOOR PLAN - LEVEL B1
1/16" = 1'-0"



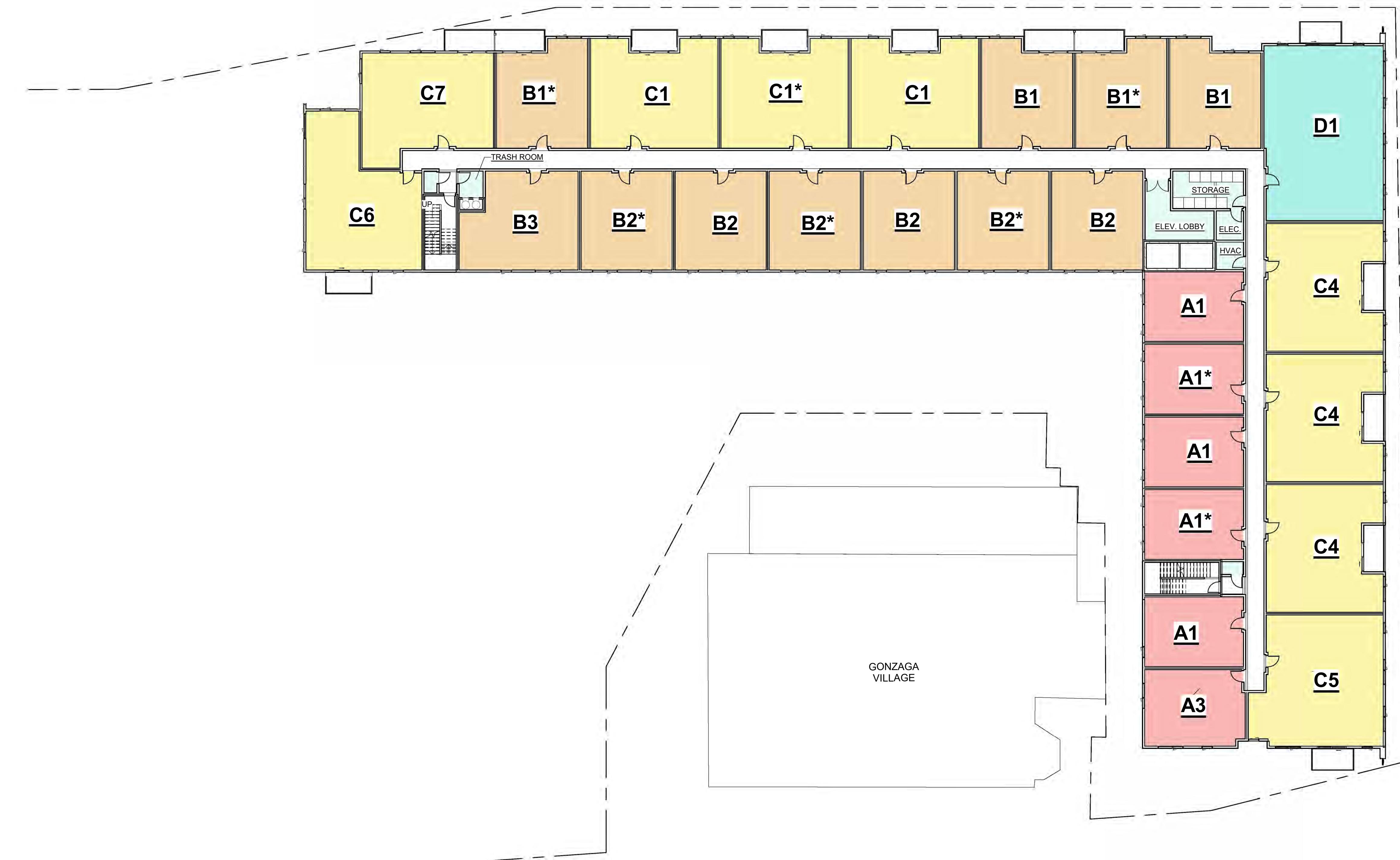
LEGEND	
	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
	AMENITY SPACE
	ANCILLARY SPACE

UNIT MIX	
- (26)	JR 1 BEDROOMS
- (43)	1 BEDROOMS
- (34)	2 BEDROOMS
- (2)	3 BEDROOMS
105 TOTAL UNITS	
PARKING	
- (69)	COVERED STALLS
- (62)	SURFACE STALLS
131 TOTAL PARKING STALLS	
1.25 PARKING RATIO	



LEGEND	
	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
	AMENITY SPACE
	ANCILLARY SPACE

UNIT MIX	
- (26)	JR 1 BEDROOMS
- (43)	1 BEDROOMS
- (34)	2 BEDROOMS
- (2)	3 BEDROOMS
105	TOTAL UNITS
PARKING	
- (69)	COVERED STALLS
- (62)	SURFACE STALLS
131	TOTAL PARKING STALLS
1.25	PARKING RATIO

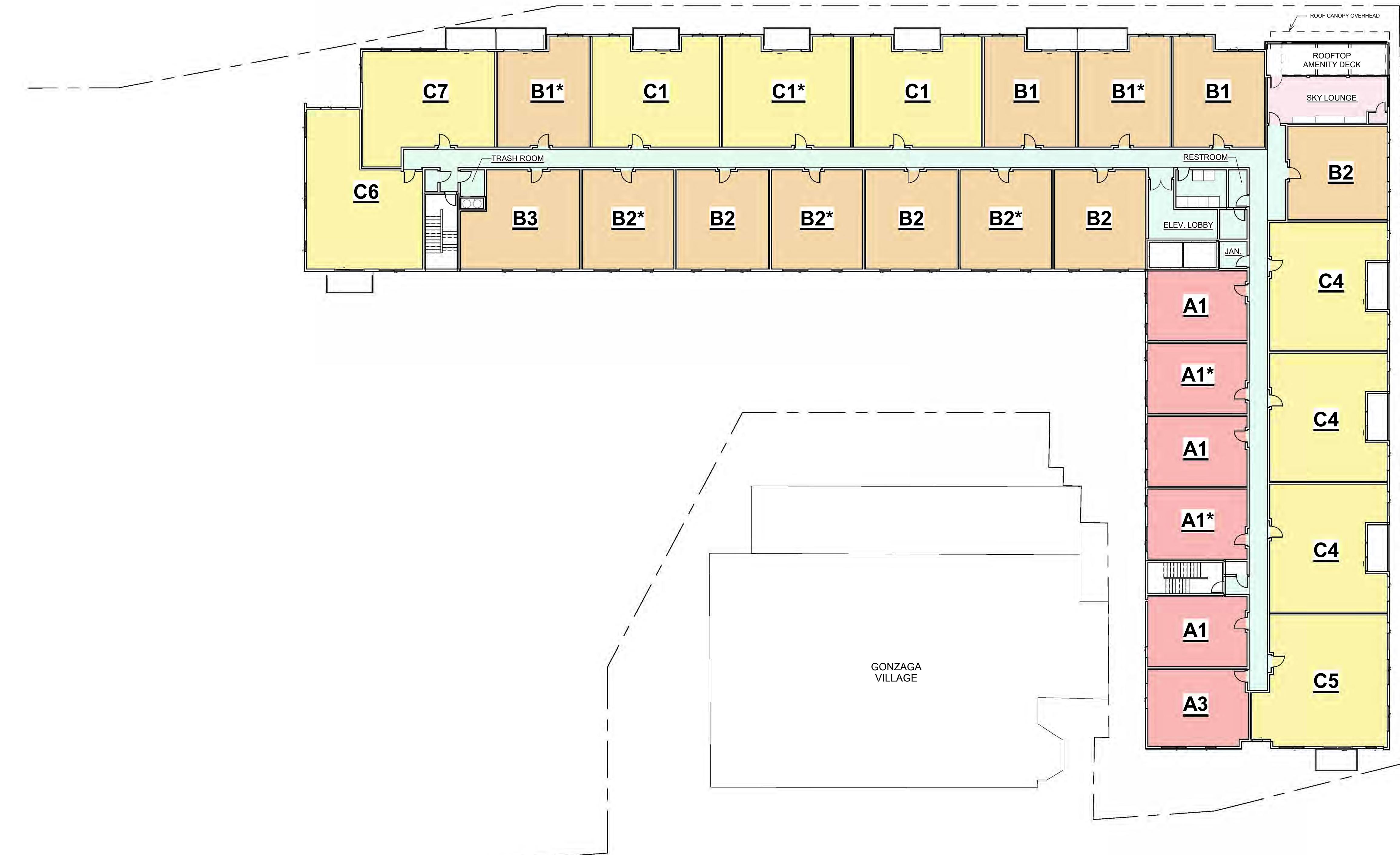


1 BUILDING C FLOOR PLAN - LEVELS 02-03
1/16" = 1'-0"

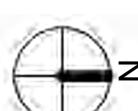


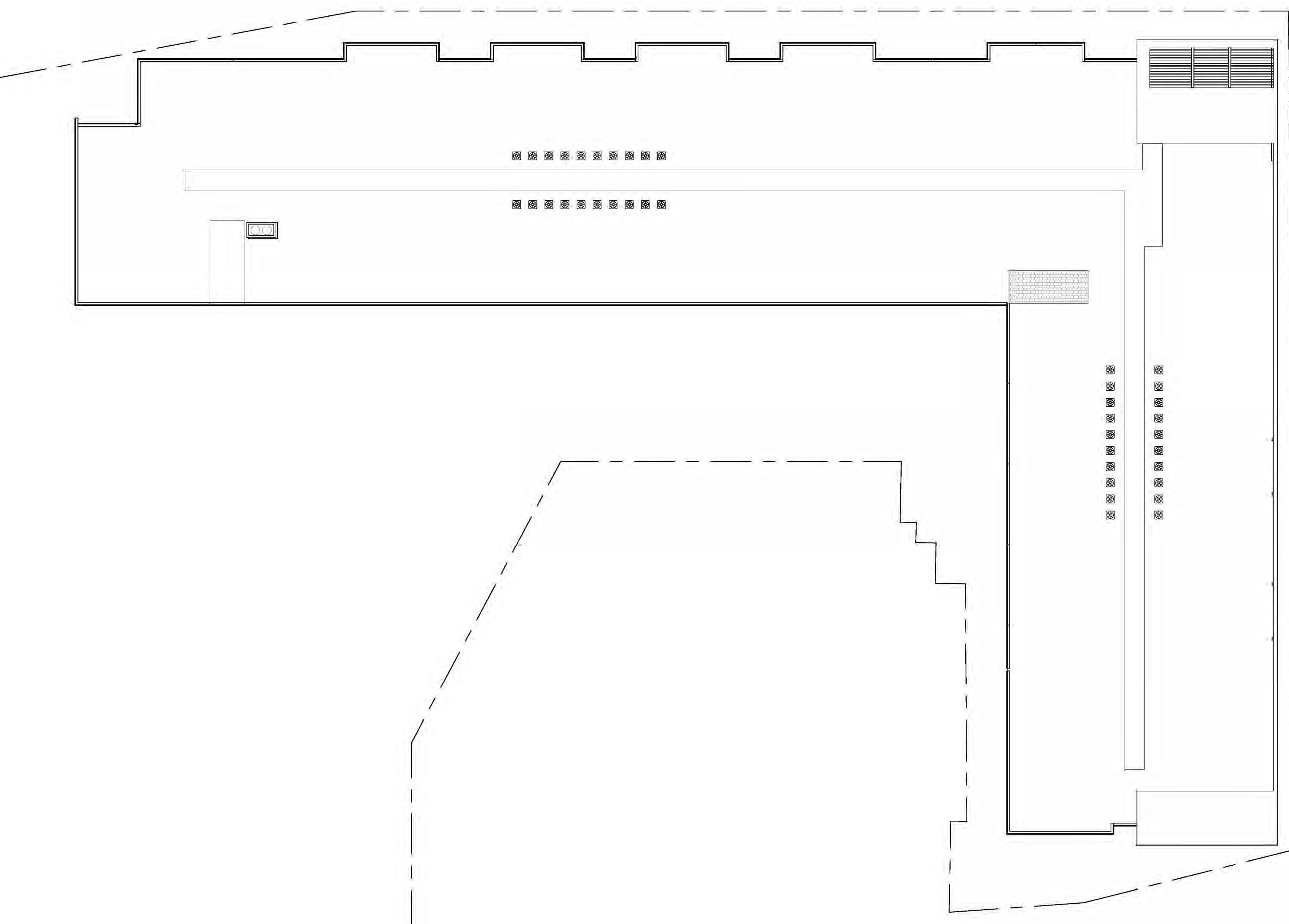
LEGEND	
	JR 1 BED (A SERIES)
	1 BED (B SERIES)
	2 BED (C SERIES)
	3 BED (D SERIES)
	AMENITY SPACE
	ANCILLARY SPACE

UNIT MIX	
- (26)	JR 1 BEDROOMS
- (43)	1 BEDROOMS
- (34)	2 BEDROOMS
- (2)	3 BEDROOMS
105	TOTAL UNITS
PARKING	
- (69)	COVERED STALLS
- (62)	SURFACE STALLS
131	TOTAL PARKING STALLS
1.25	PARKING RATIO



1 BUILDING C FLOOR PLAN - LEVEL 04
1/16" = 1'-0"





1 BUILDING C_ROOF_PC
1/16" = 1'-0"

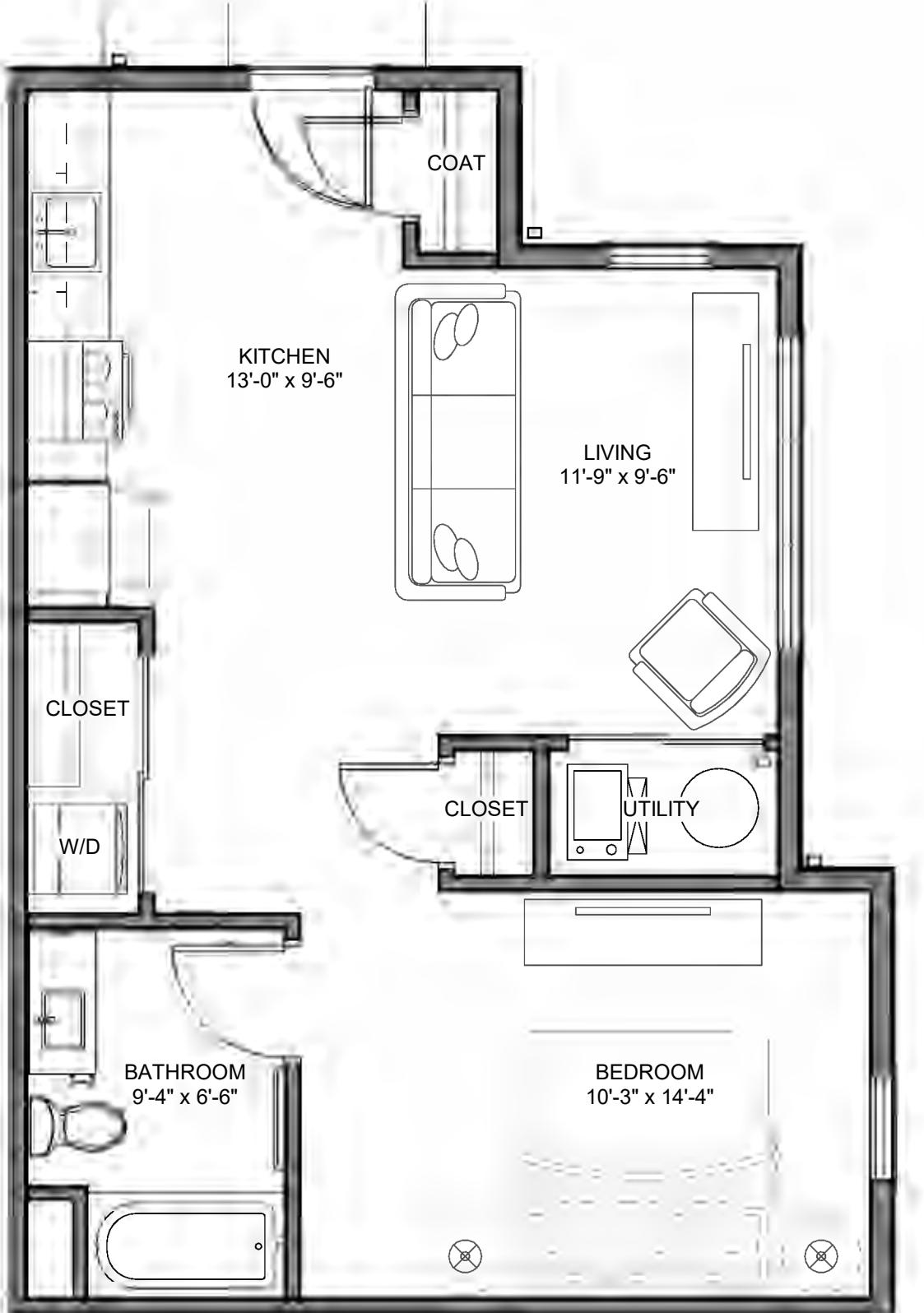


BUILDING C ROOF PLAN PC-17

SCALE: 1/16" = 1'-0"

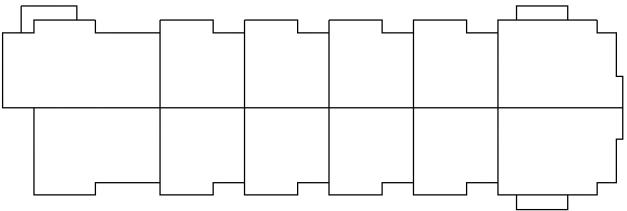
92ND & GREENFIELD MULTIFAMILY

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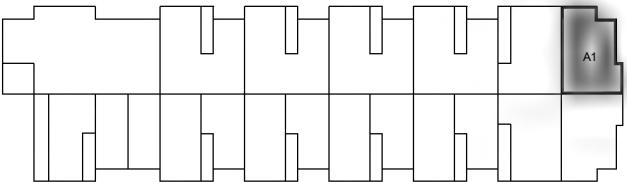
1 UNIT A1 - ENLARGED FLOOR PLAN

1/4" = 1'-0"



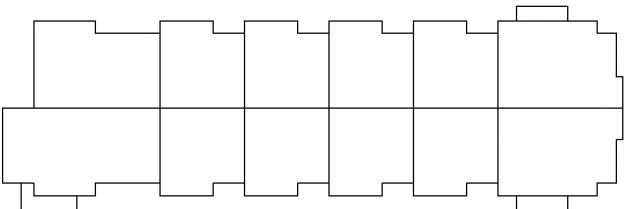
KEY PLAN - BLDG A- LEVEL 2

NTS



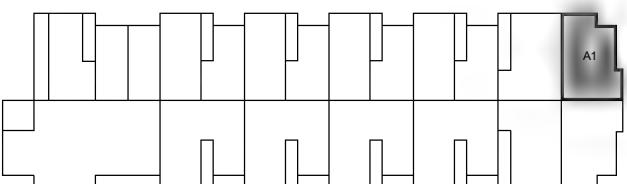
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



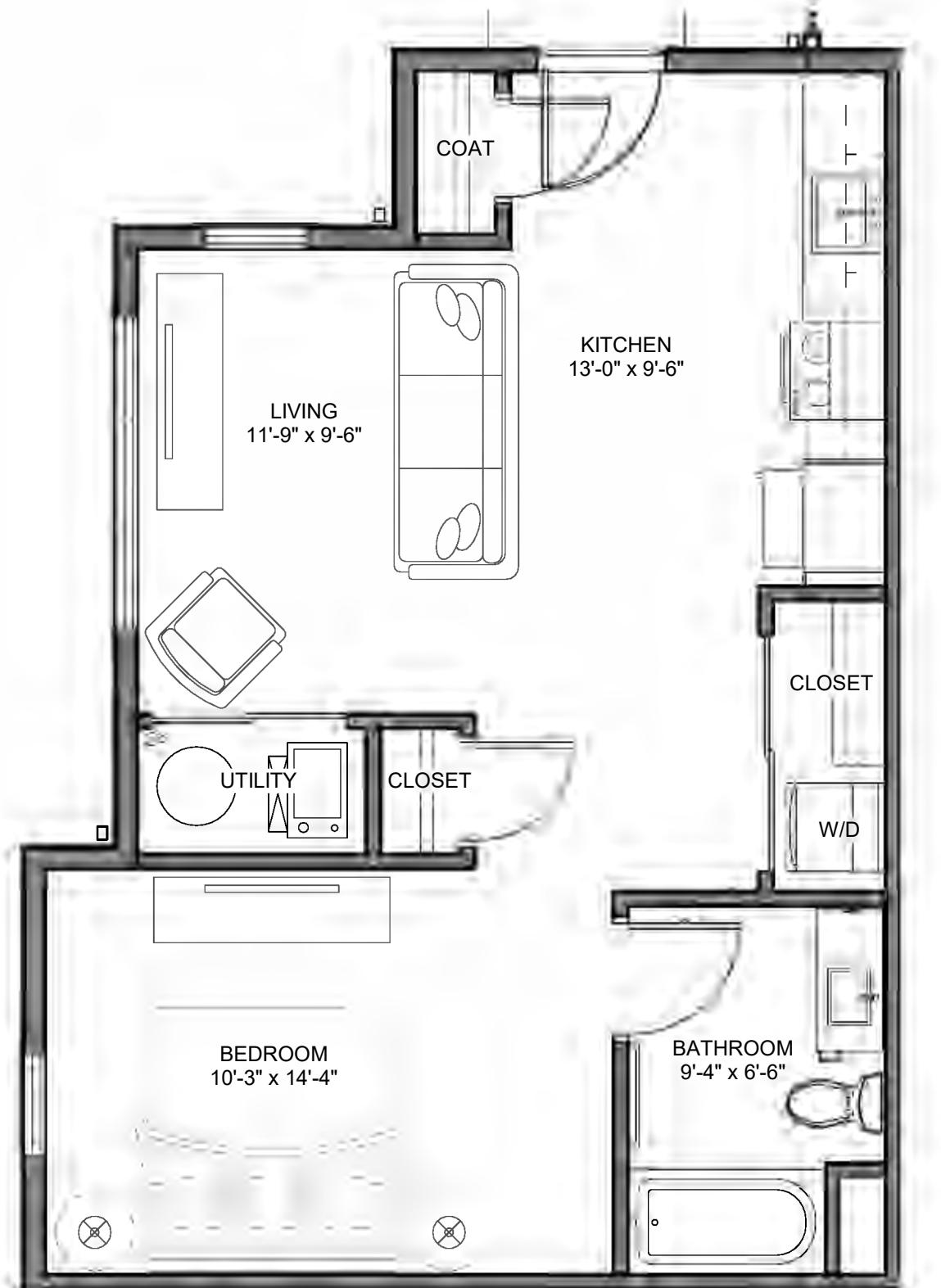
KEY PLAN - BLDG B- LEVEL 1

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ENLARGED UNIT A1 PLAN

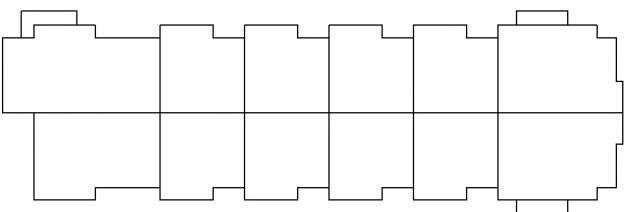
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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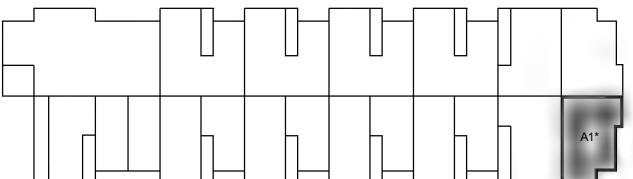
1 UNIT A1* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



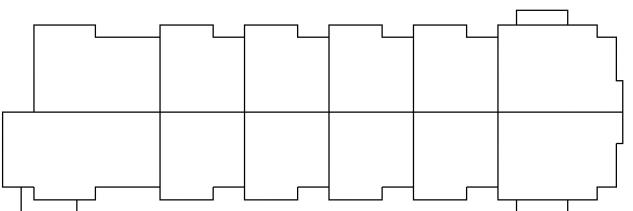
KEY PLAN - BLDG A- LEVEL 2

NTS



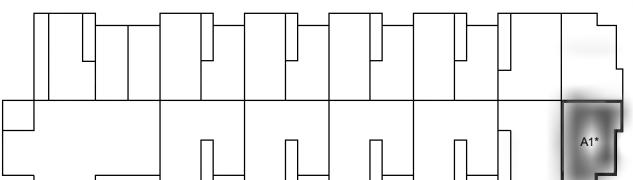
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



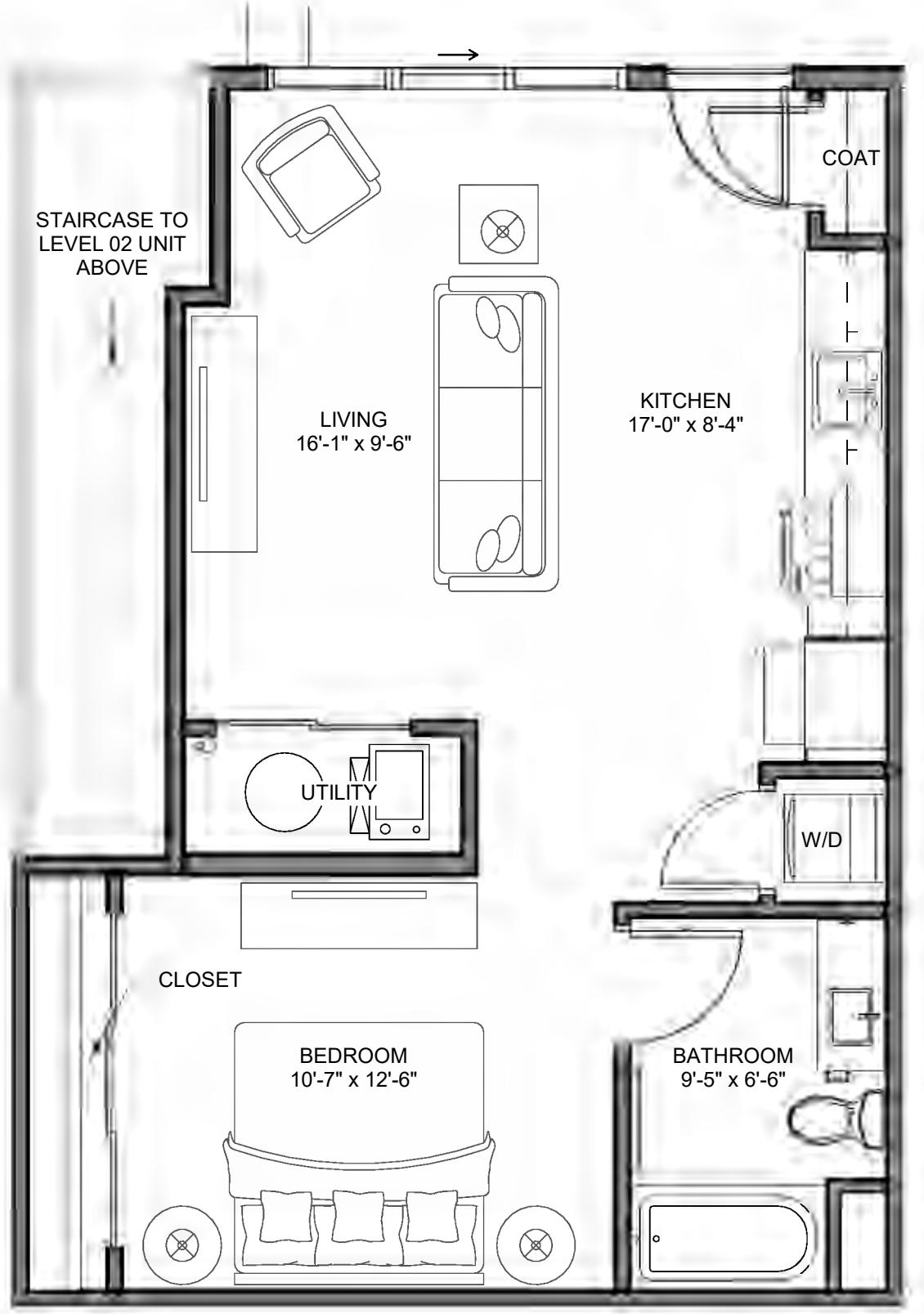
KEY PLAN - BLDG B- LEVEL 1

NTS

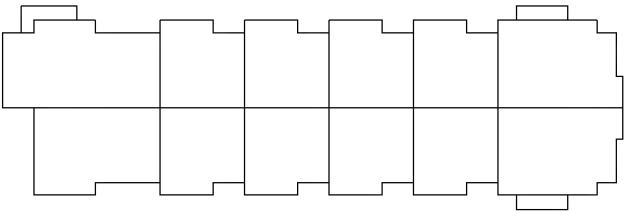
ENLARGED UNIT A1* PLAN

SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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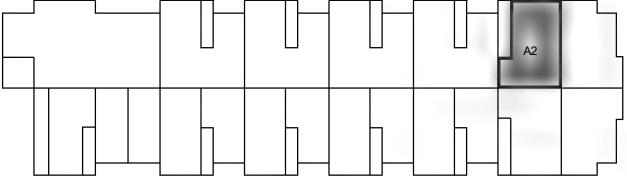


1 UNIT A2 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



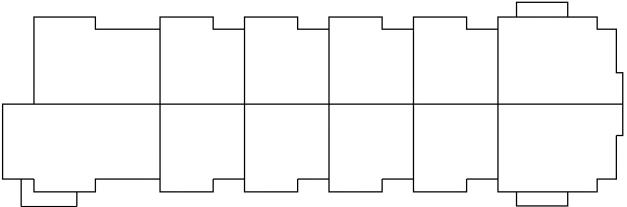
KEY PLAN - BLDG A- LEVEL 2

NTS



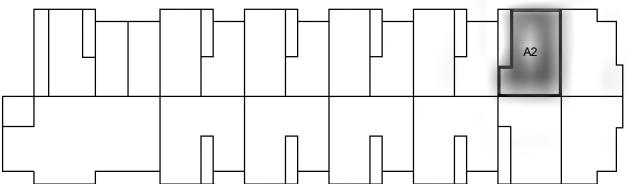
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



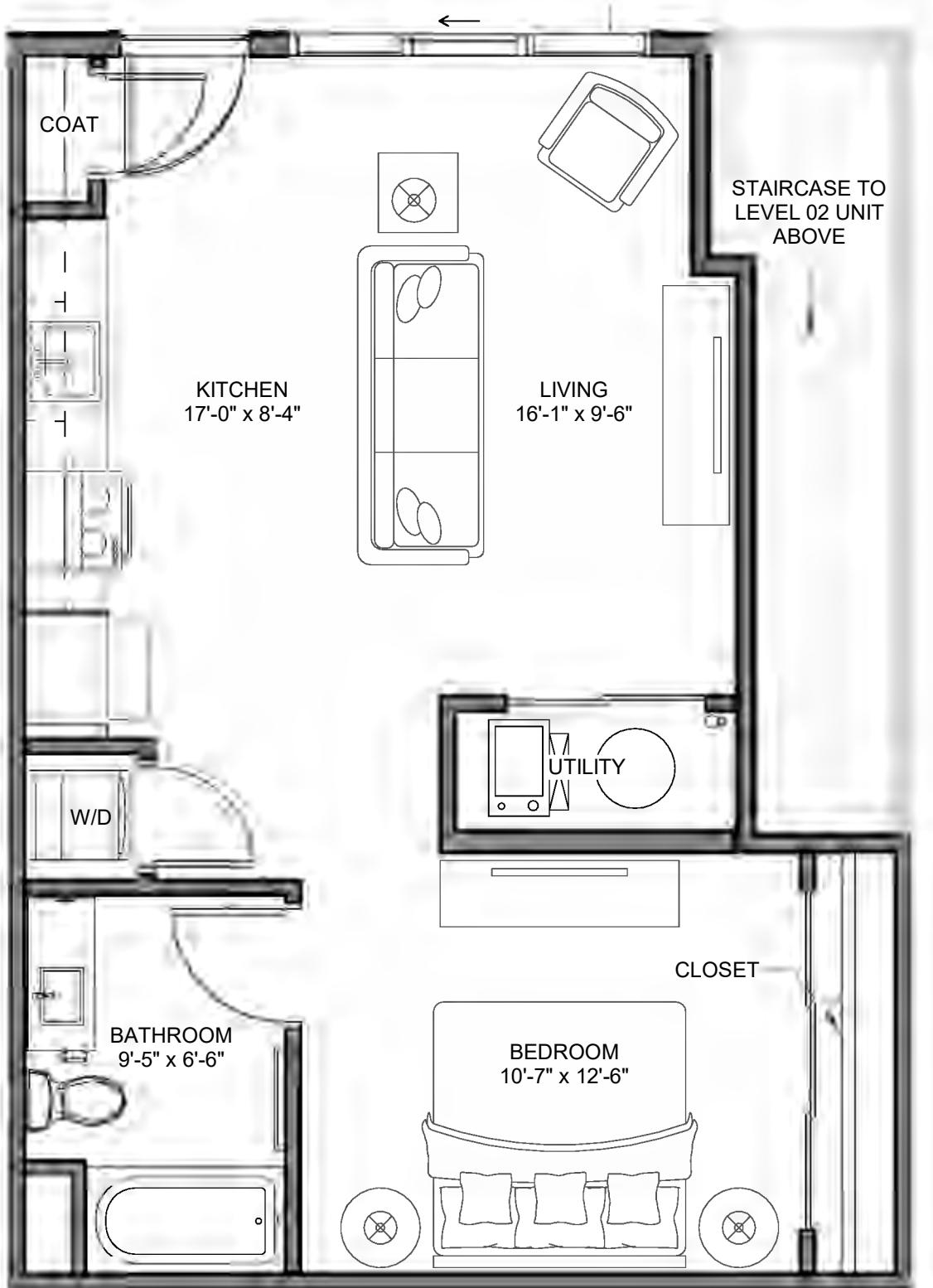
KEY PLAN - BLDG B- LEVEL 1

NTS

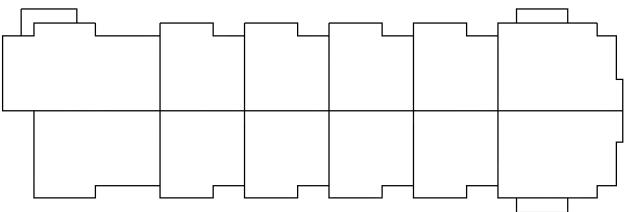
ENLARGED UNIT A2 PLAN

SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25

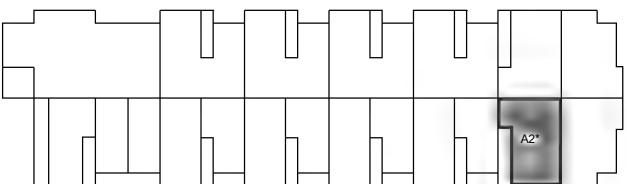


1 UNIT A2* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



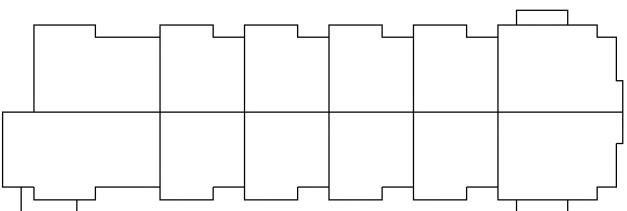
KEY PLAN - BLDG A- LEVEL 2

NTS



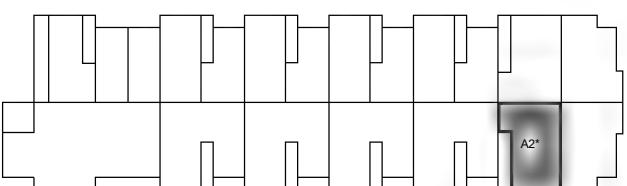
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



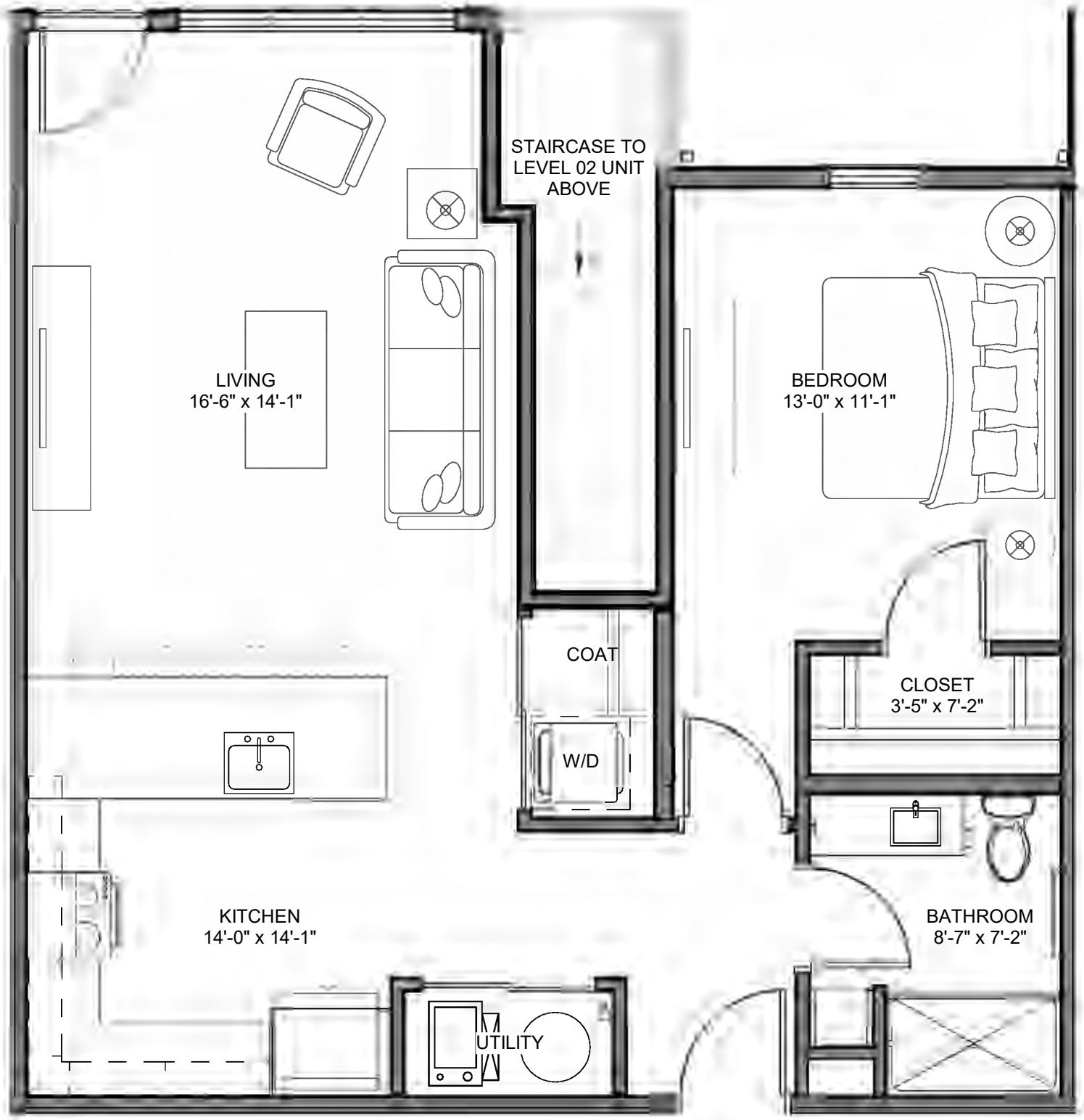
KEY PLAN - BLDG B- LEVEL 1

NTS

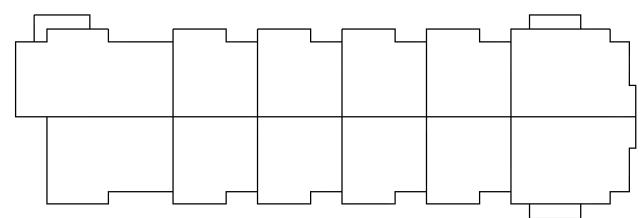
ENLARGED UNIT A2* PLAN

SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25

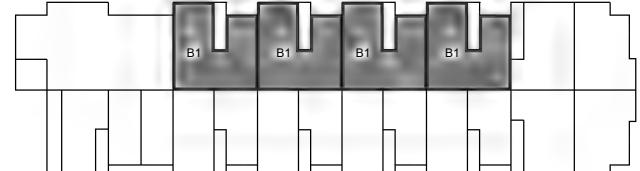


1 UNIT B1 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



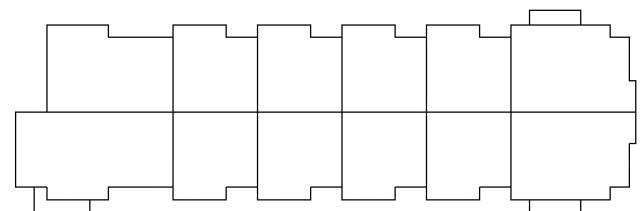
KEY PLAN - BLDG A- LEVEL 2

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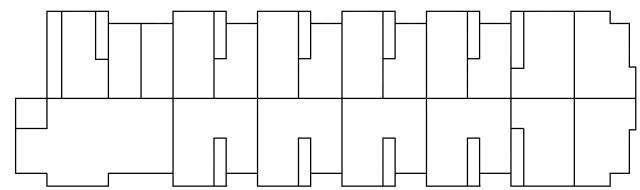
KEY PLAN - BLDG A- LEVEL 1

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KEY PLAN - BLDG B- LEVEL 2

NTS



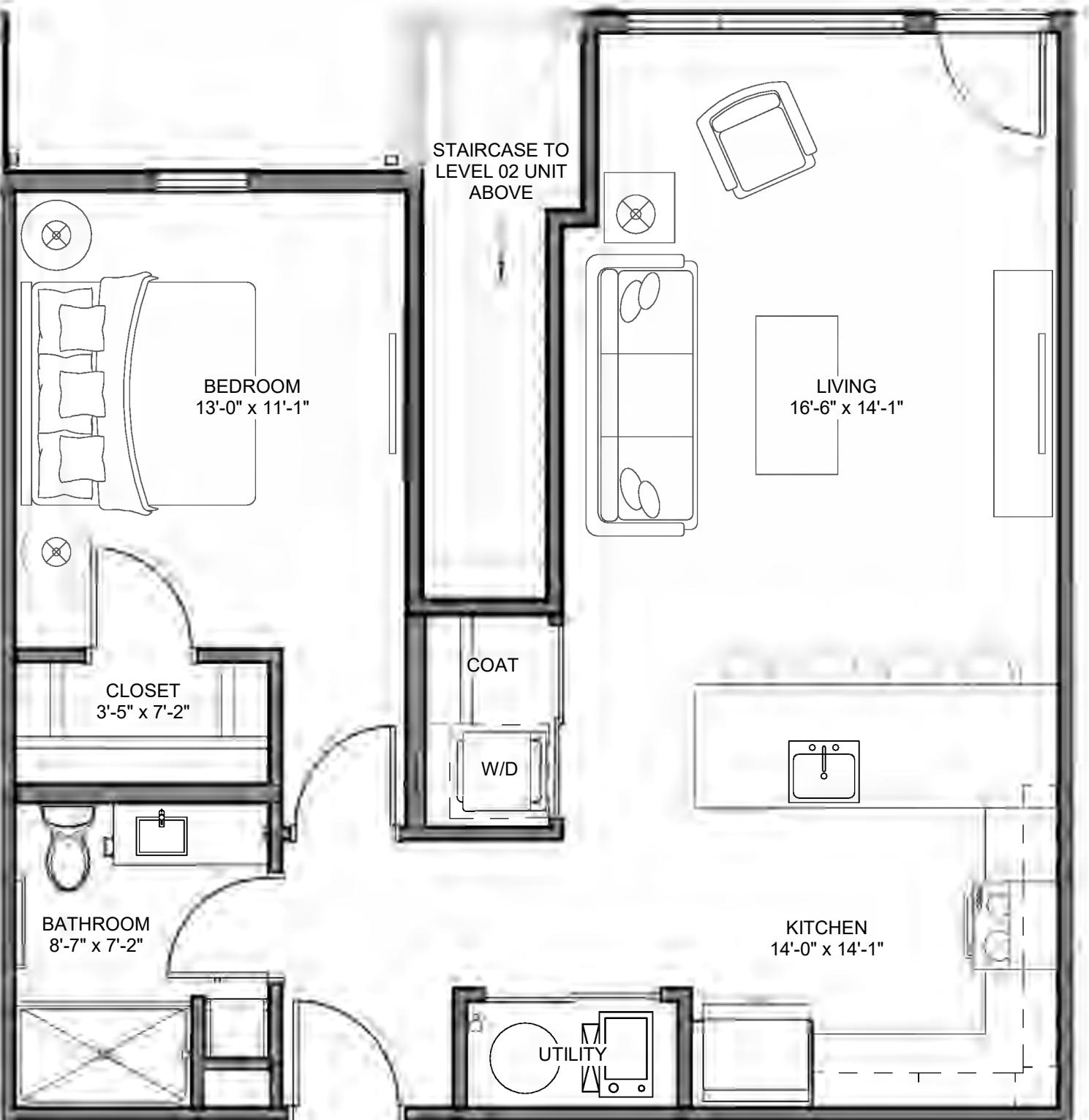
KEY PLAN - BLDG B- LEVEL 1

NTS

ENLARGED UNIT B1 PLAN

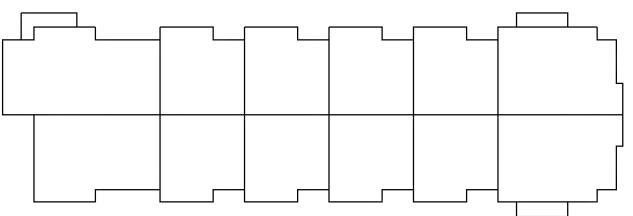
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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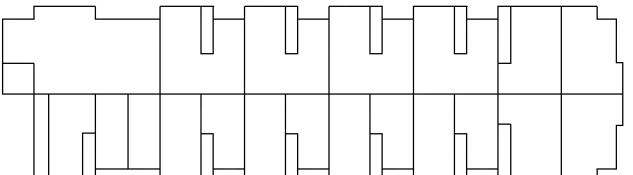
1 UNIT B1* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



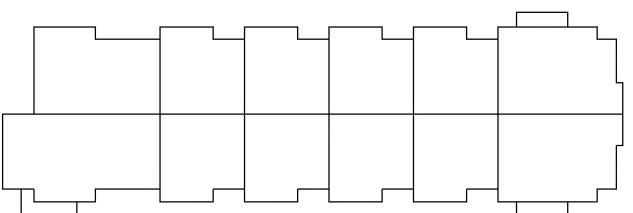
KEY PLAN - BLDG A- LEVEL 2

NTS



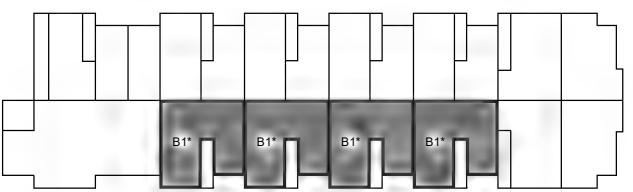
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



KEY PLAN - BLDG B- LEVEL 1

NTS

ENLARGED UNIT B1* PLAN

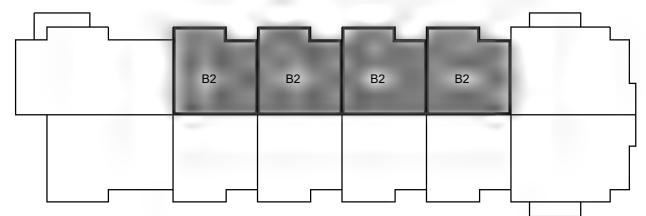
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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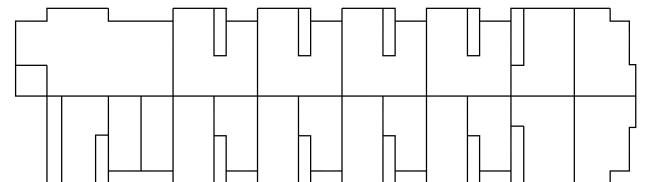
1 UNIT B2 - ENLARGED FLOOR PLAN

1/4" = 1'-0"



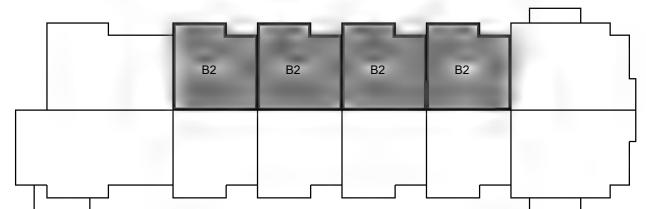
KEY PLAN - BLDG A- LEVEL 2

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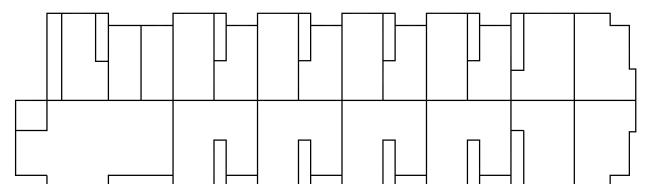
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



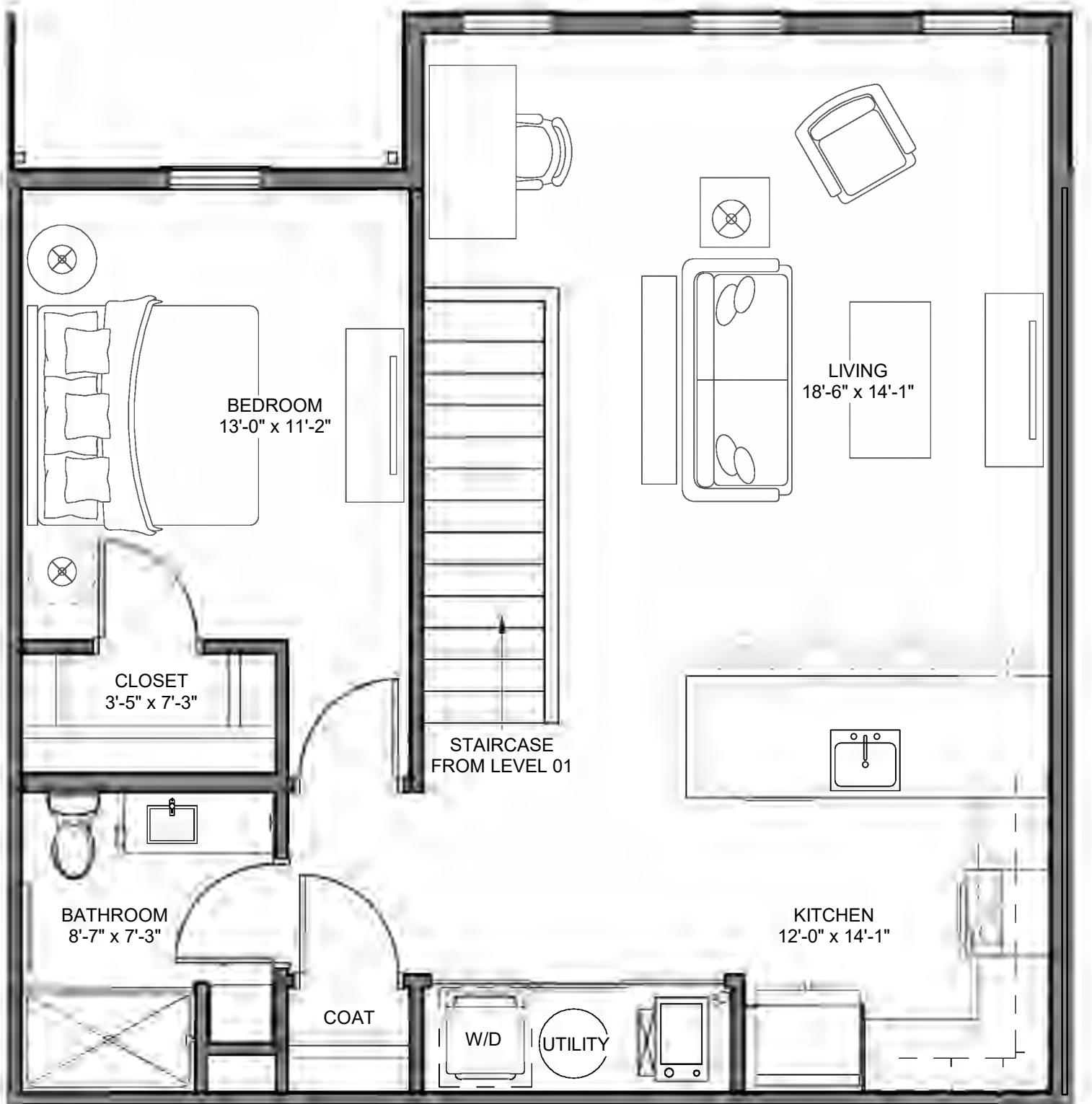
KEY PLAN - BLDG B- LEVEL 1

NTS

ENLARGED UNIT B2 PLAN

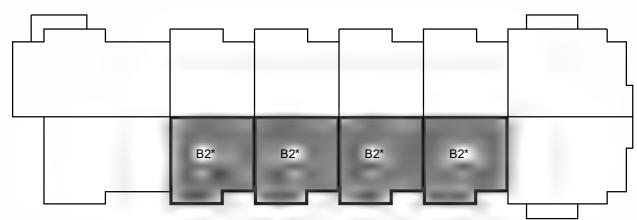
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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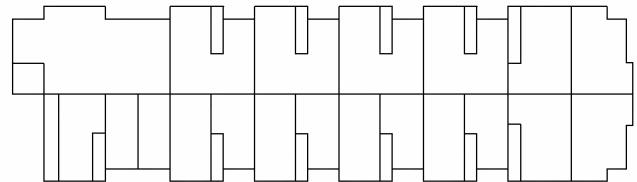
1 UNIT B2* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



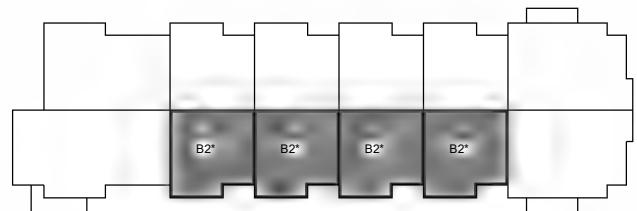
KEY PLAN - BLDG A- LEVEL 2

NTS



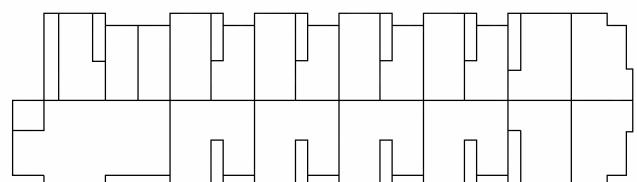
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS



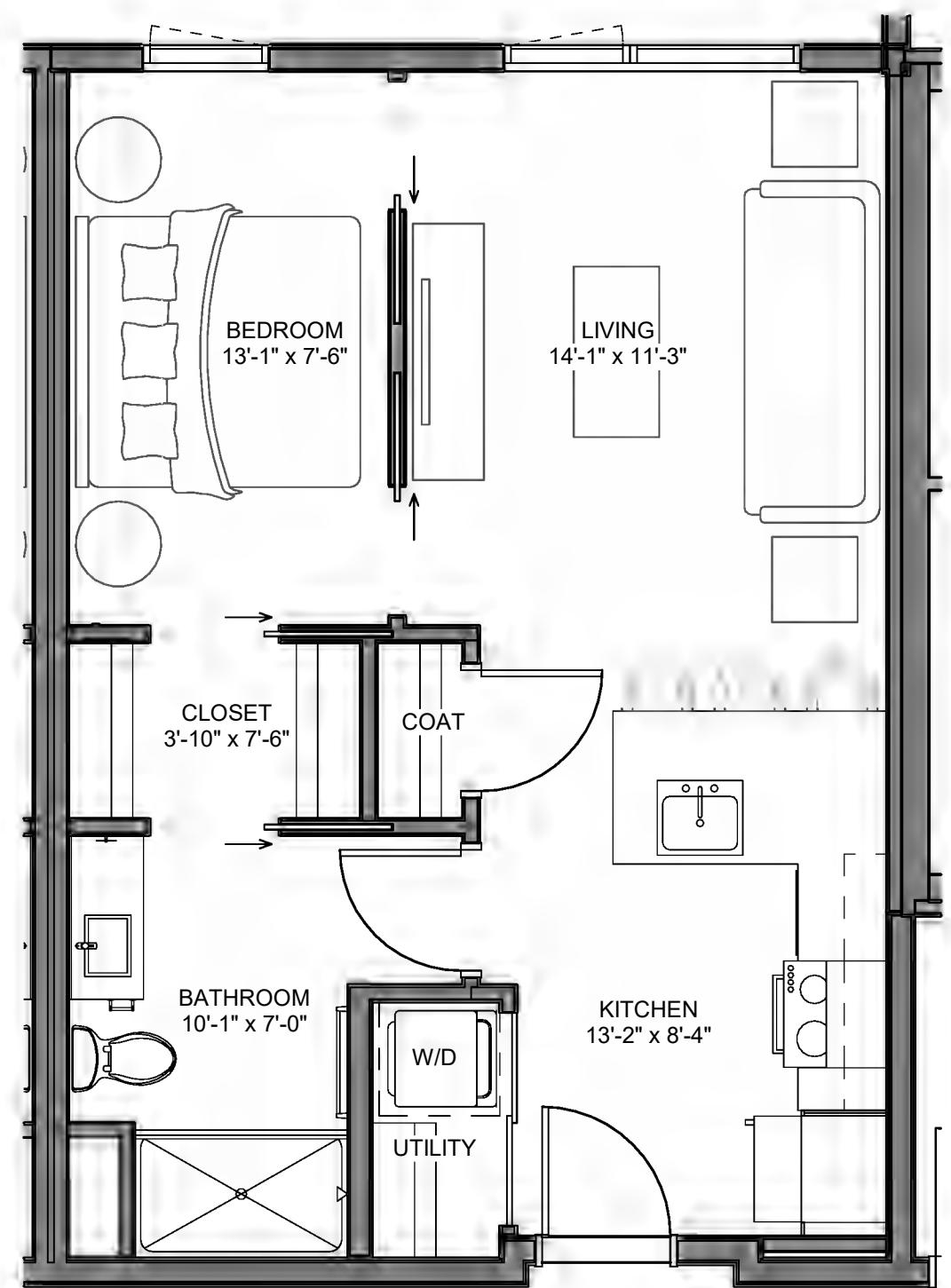
KEY PLAN - BLDG B- LEVEL 1

NTS

ENLARGED UNIT B2* PLAN

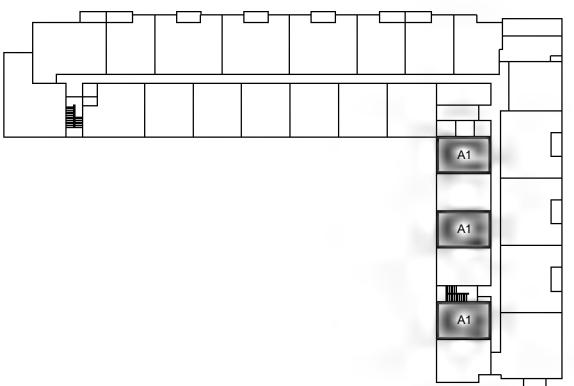
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



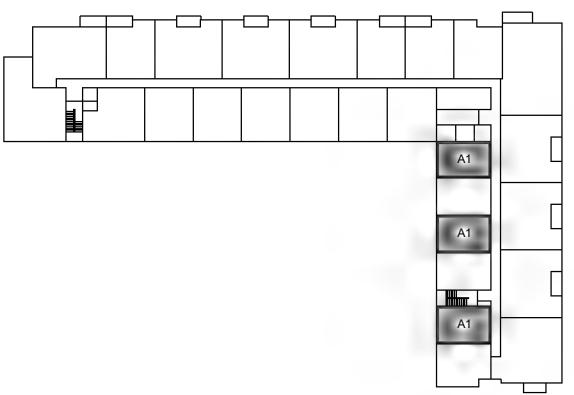
1 UNIT A1 - ENLARGED FLOOR PLAN

1/4" = 1'-0"



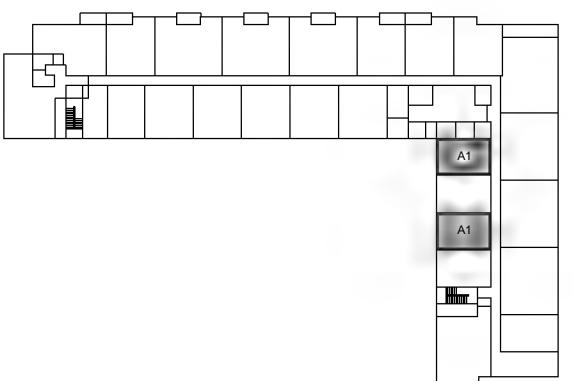
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



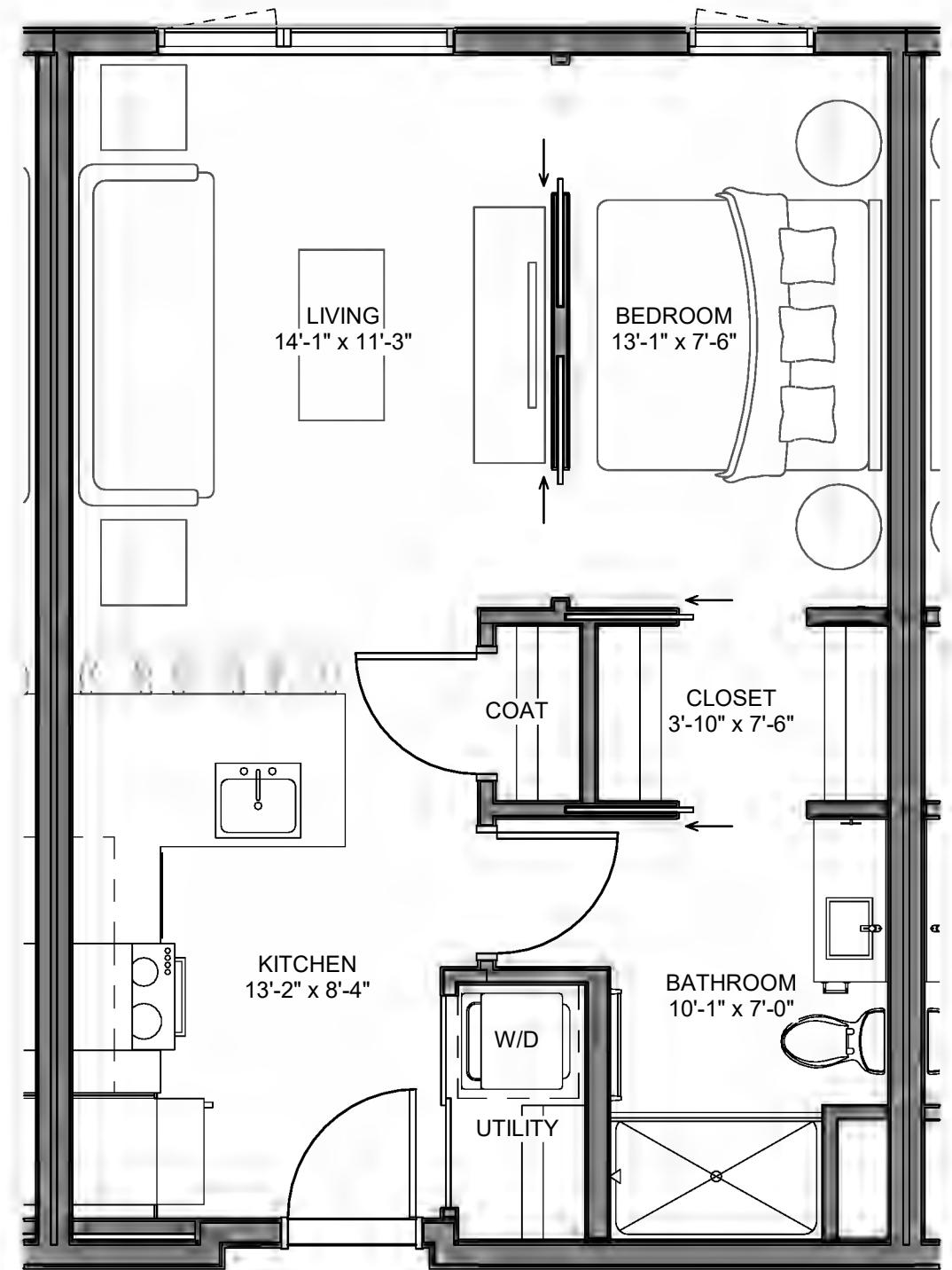
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT A1 PLAN

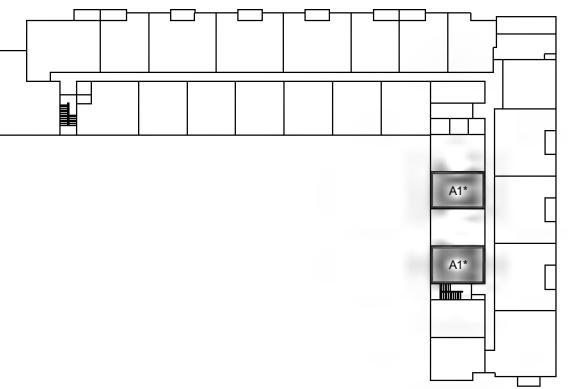
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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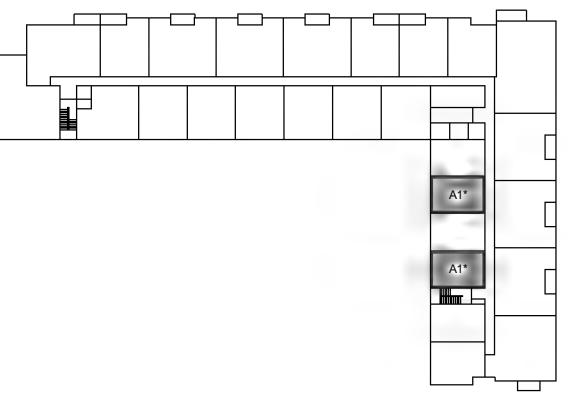
1 UNIT A1* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



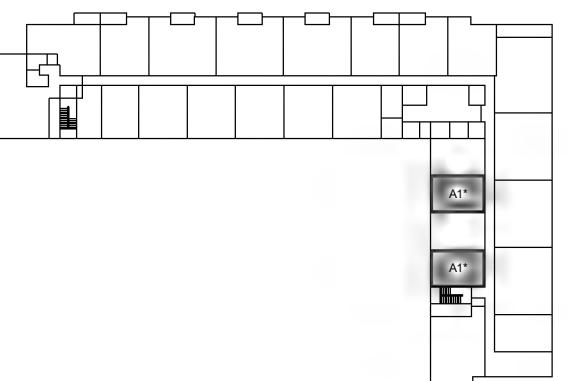
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



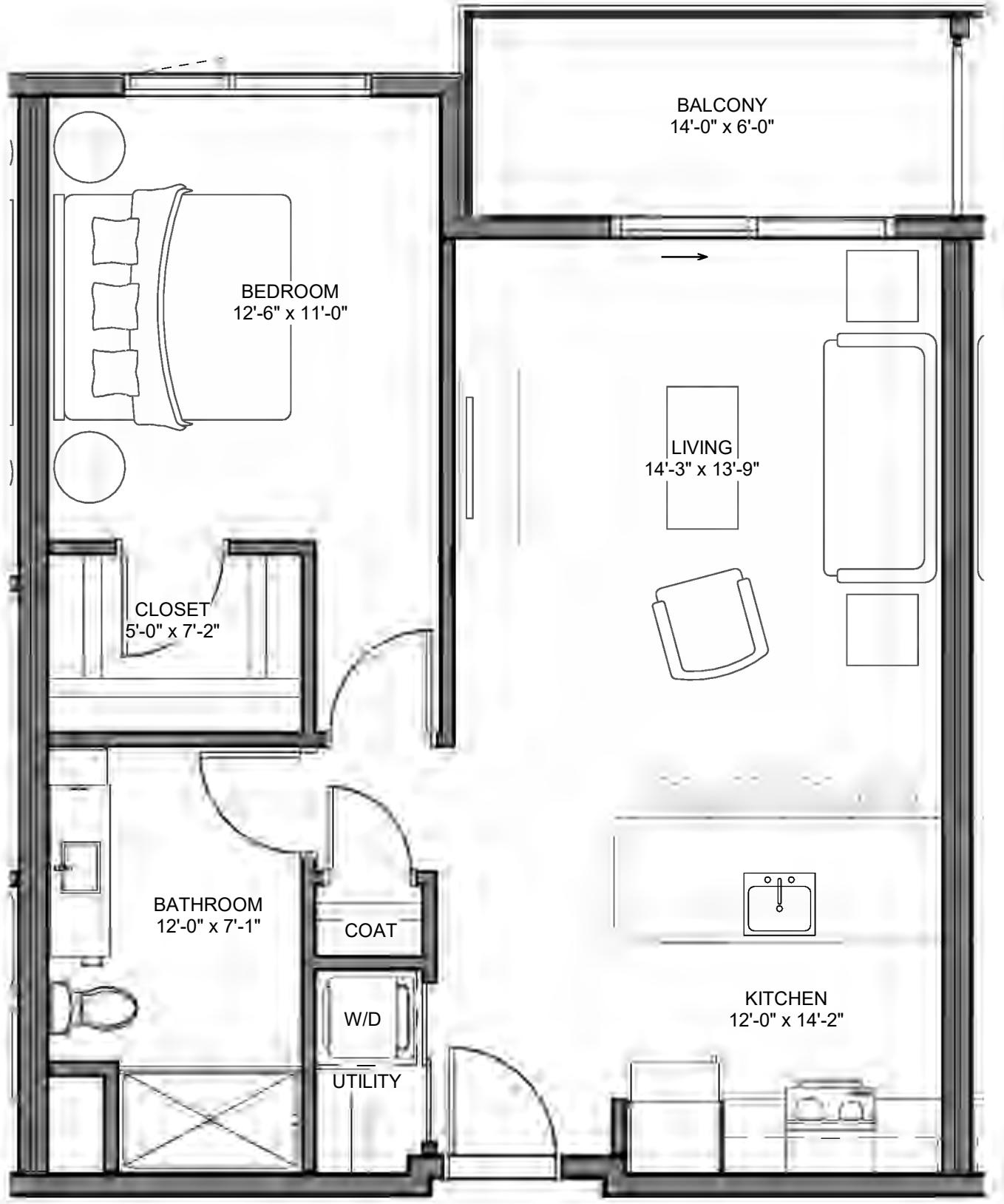
KEY PLAN - BLDG C- LEVEL 1

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ENLARGED UNIT A1* PLAN

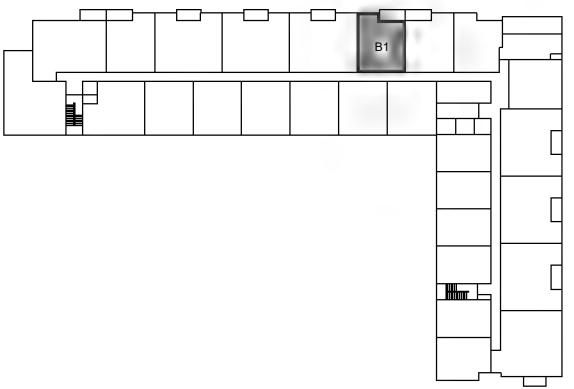
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
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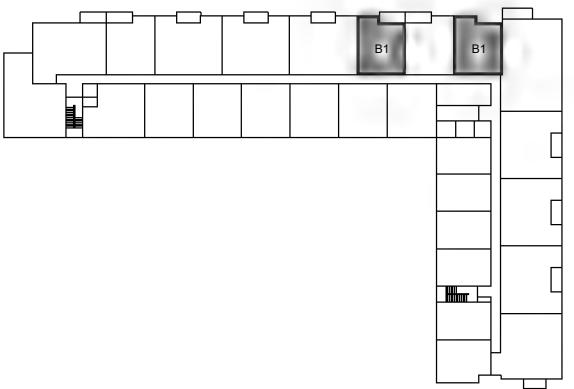
1 UNIT B1 - ENLARGED FLOOR PLAN

1/4" = 1'-0"



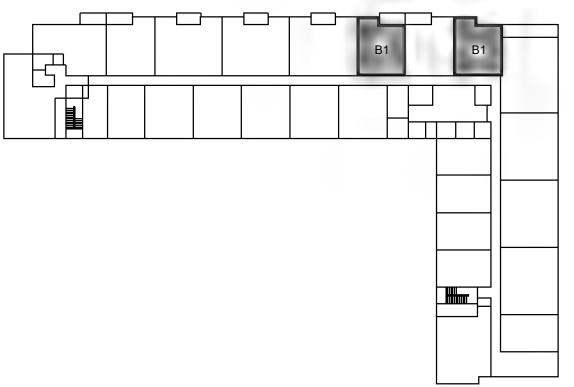
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



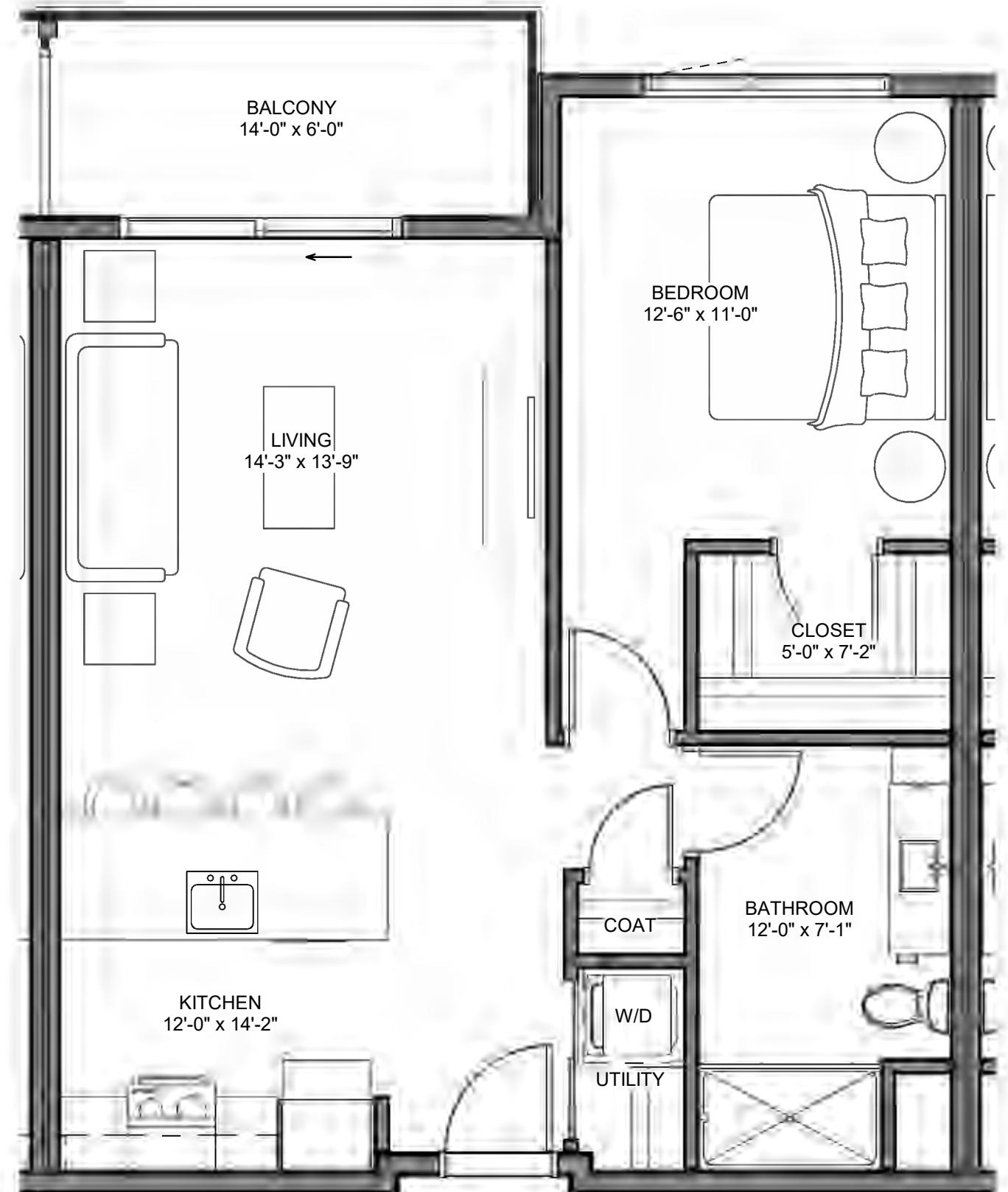
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ENLARGED UNIT B1 PLAN

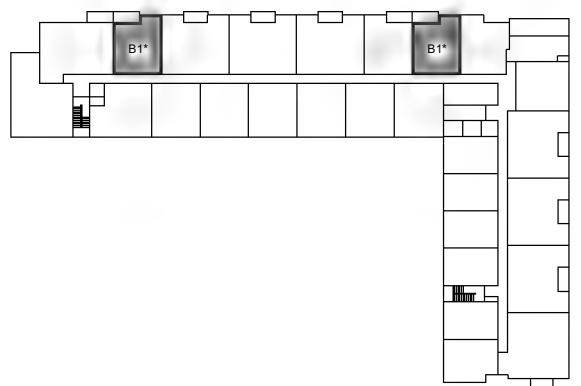
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



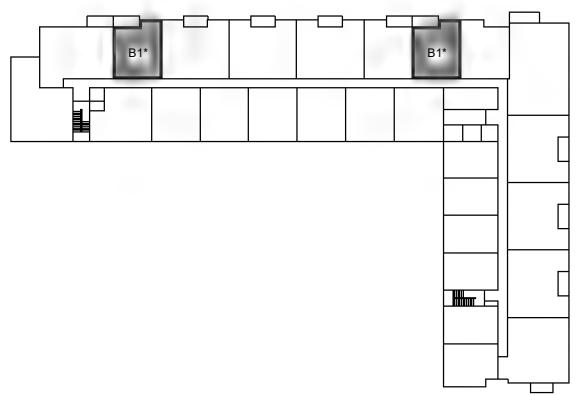
1 UNIT B1* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



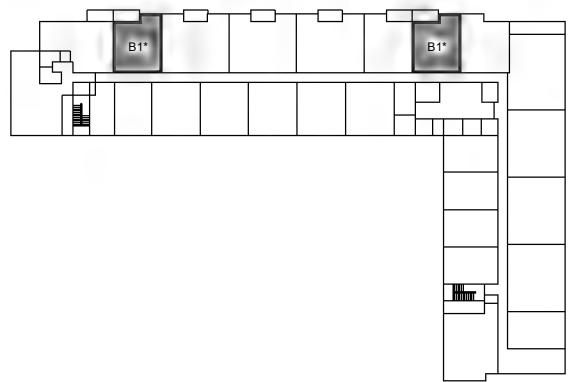
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



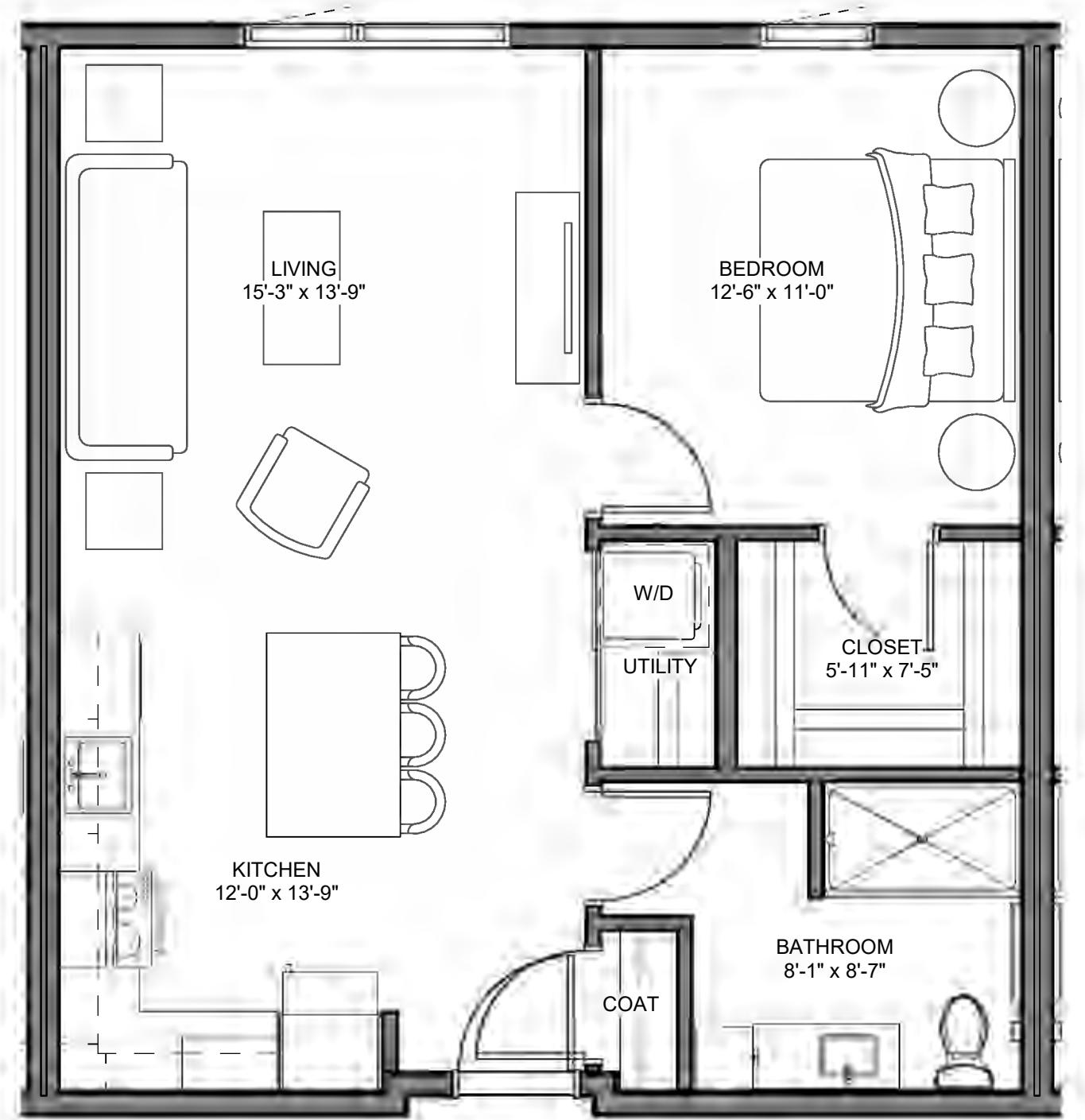
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT B1* PLAN

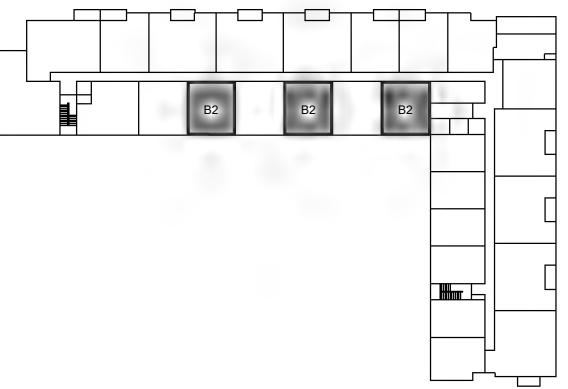
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



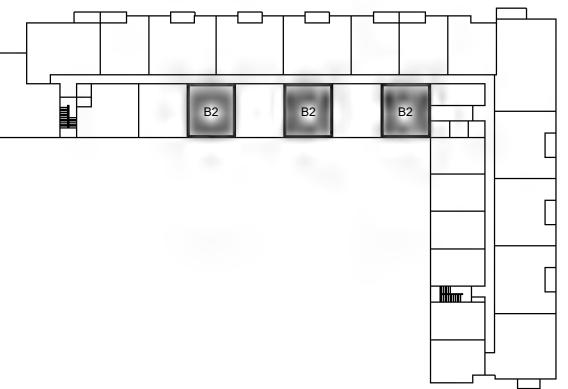
1 UNIT B2 - ENLARGED FLOOR PLAN

1/4" = 1'-0"



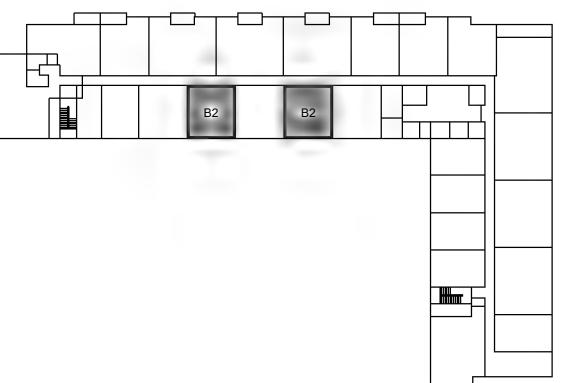
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



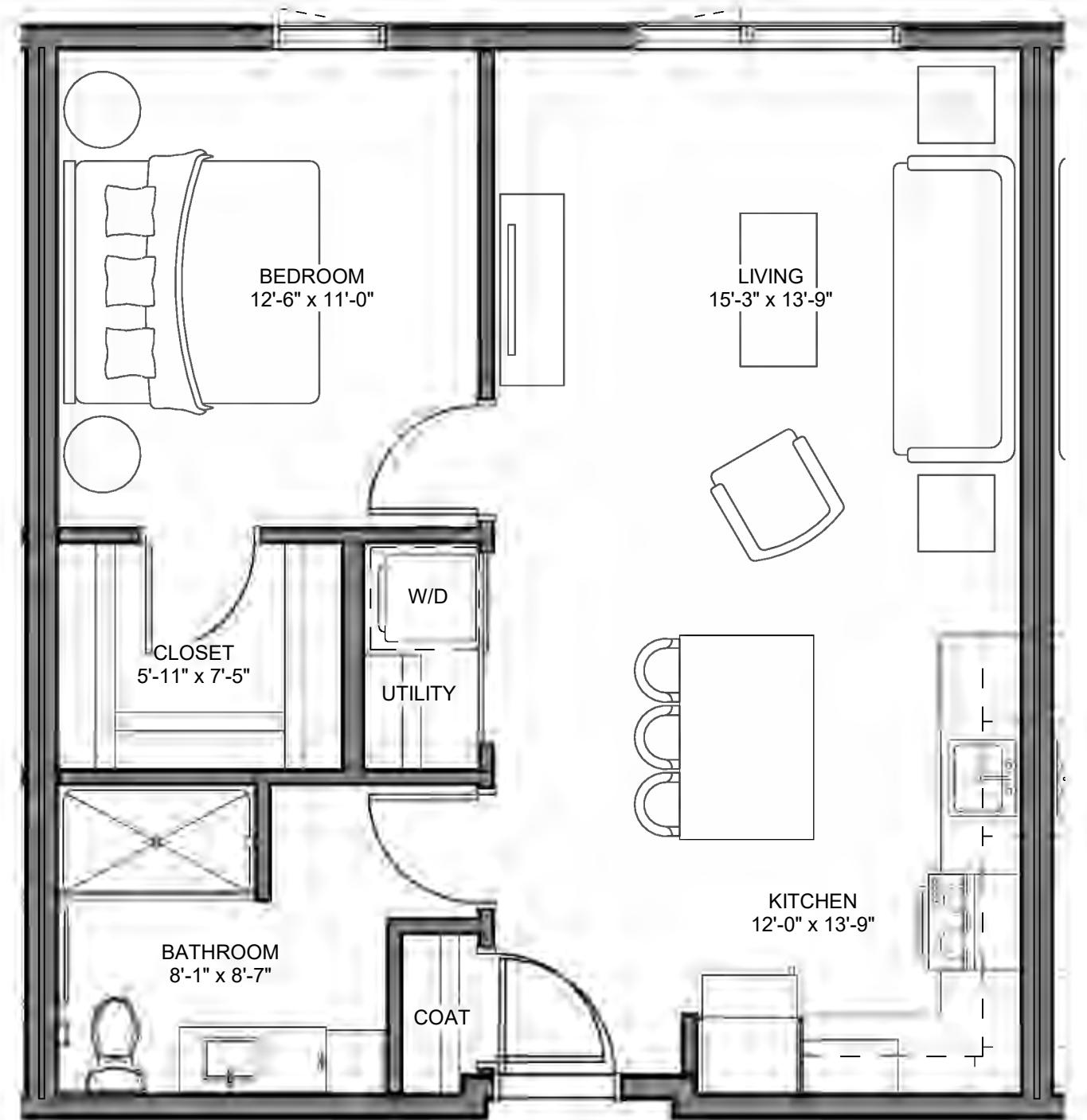
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT B2 PLAN

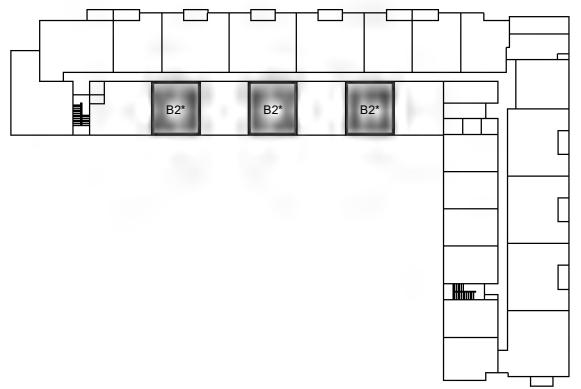
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



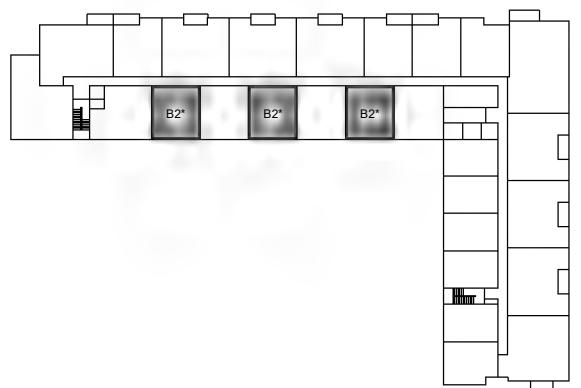
1 UNIT B2* - ENLARGED FLOOR PLAN

1/4" = 1'-0"



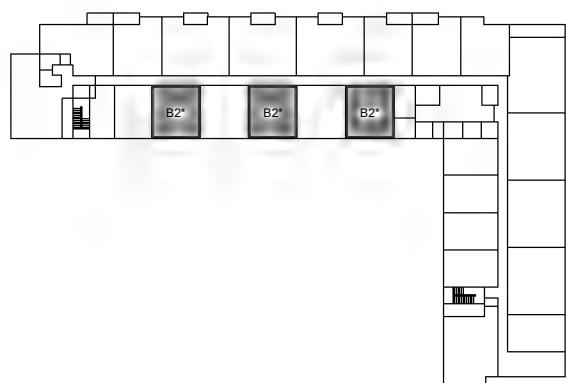
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



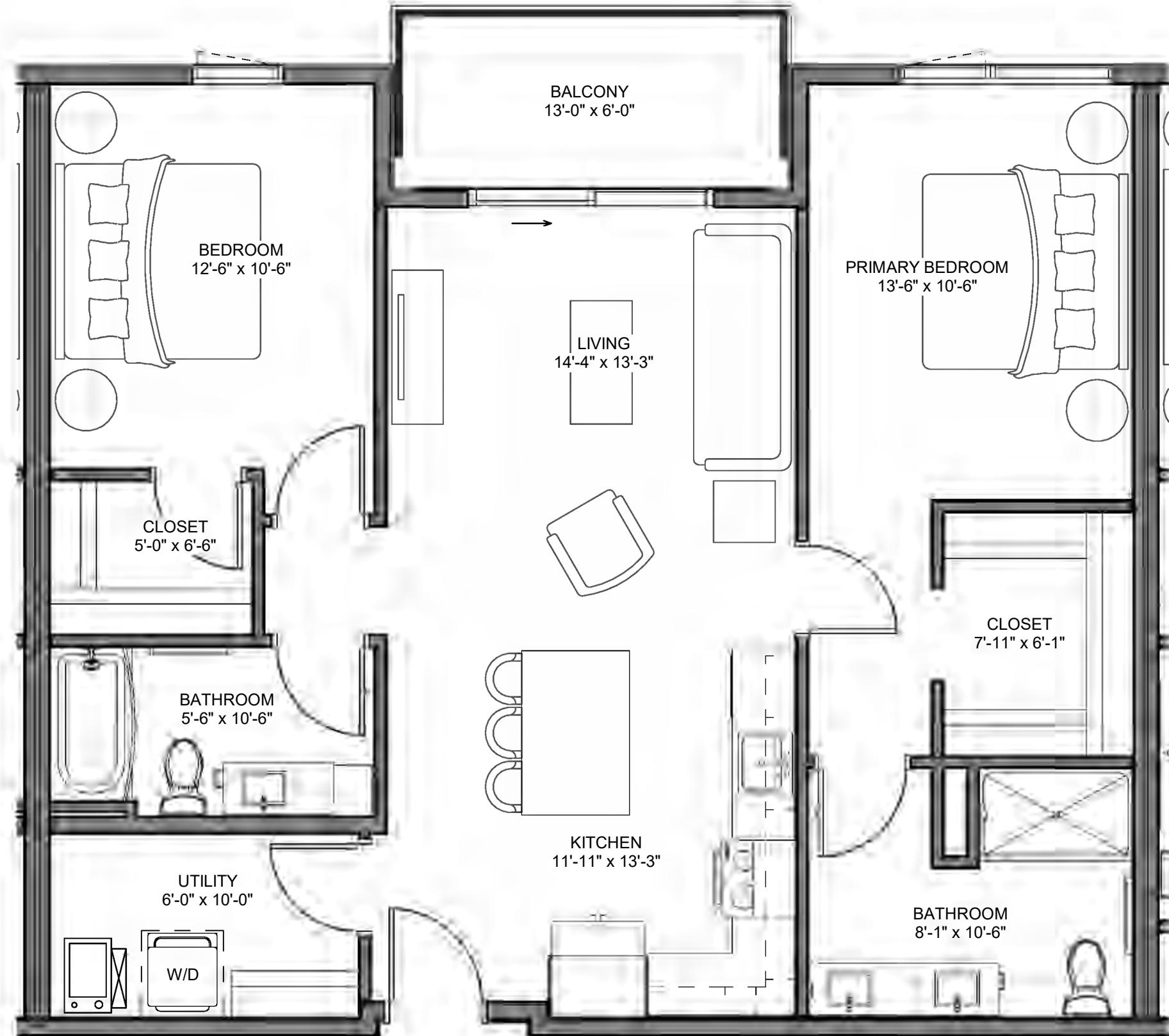
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT B2* PLAN

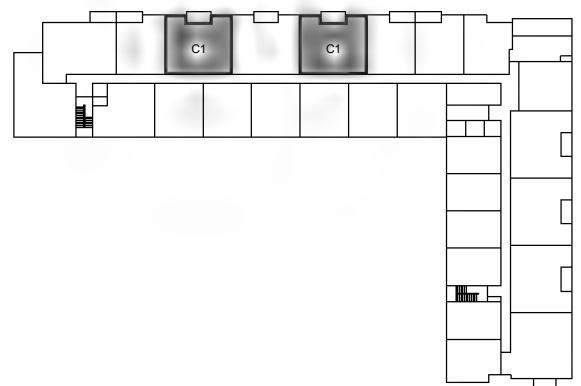
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



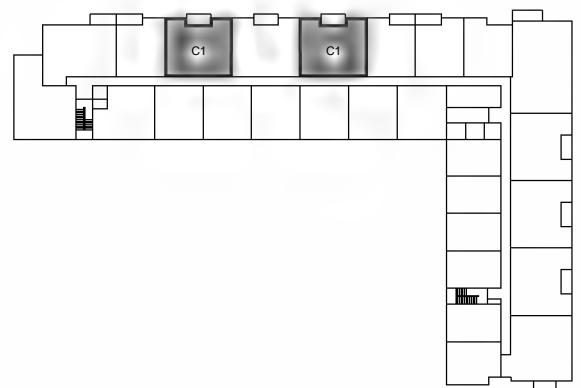
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1/4" = 1'-0"



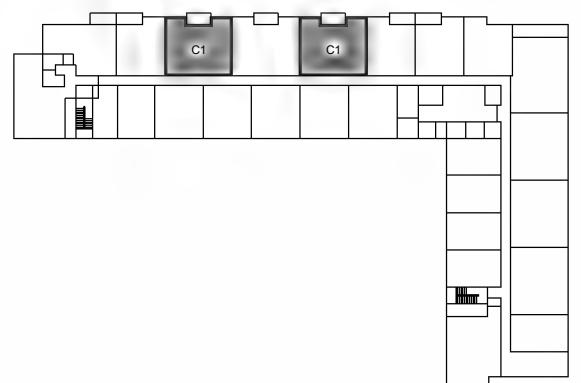
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



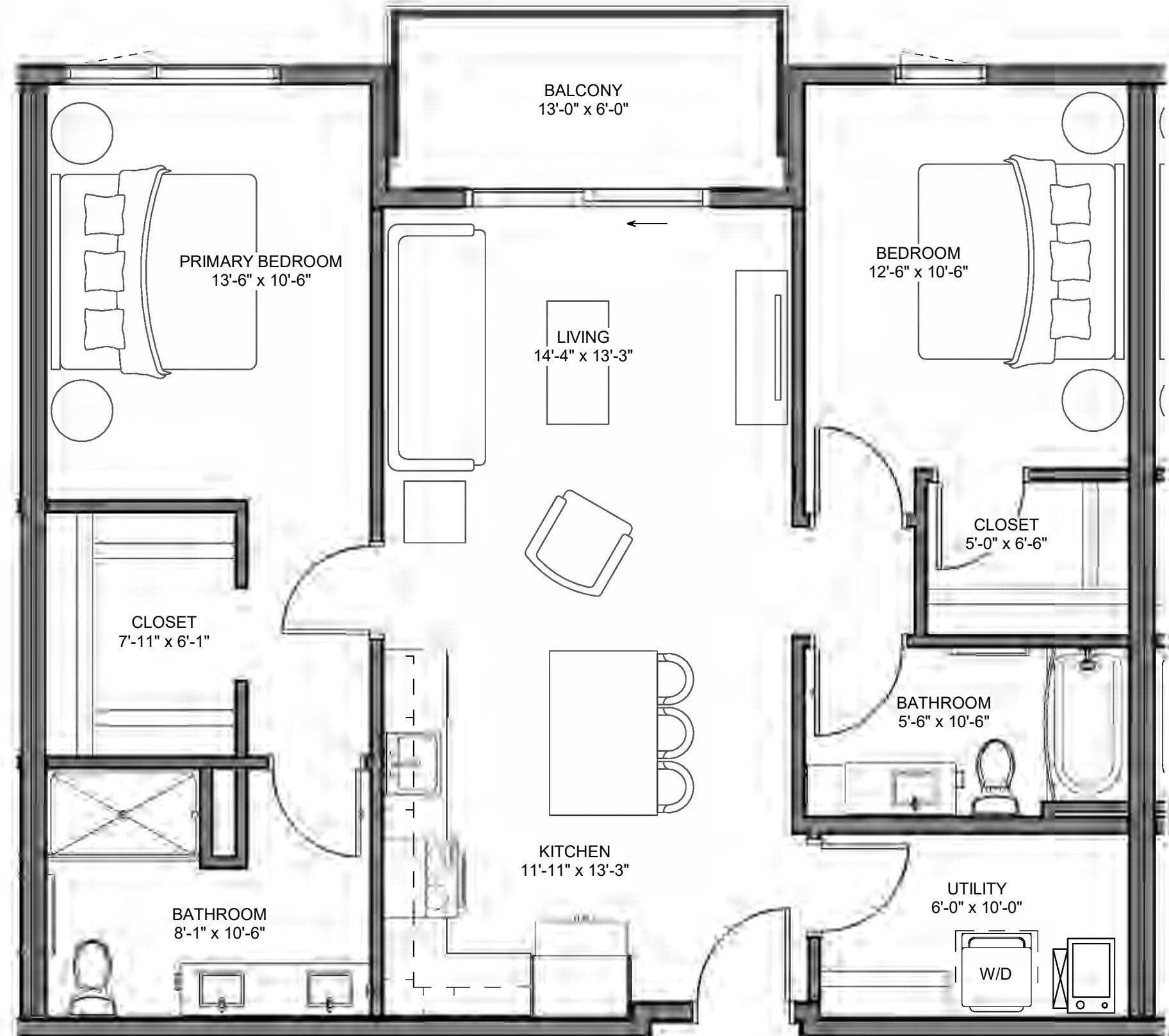
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT C1 PLAN

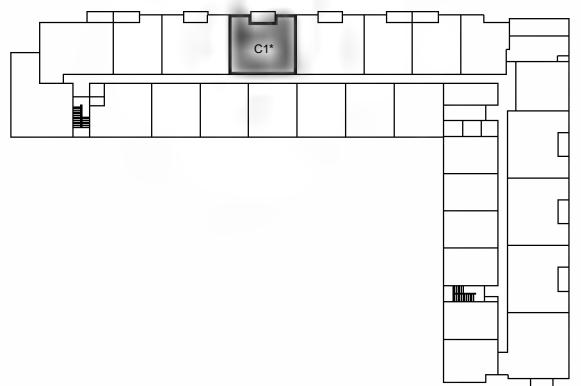
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



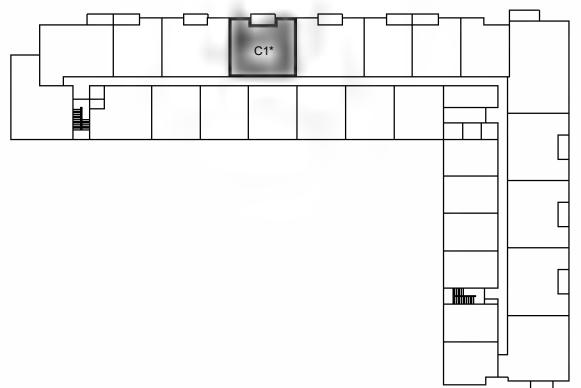
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1/4" = 1'-0"



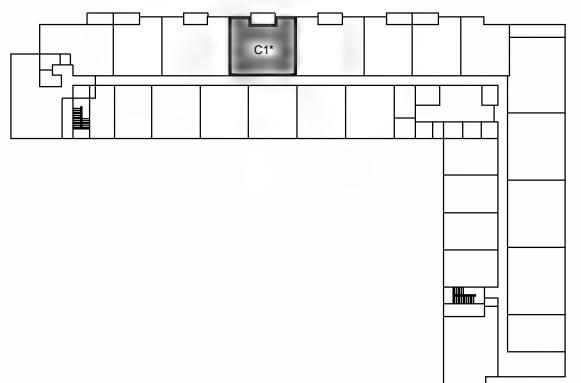
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



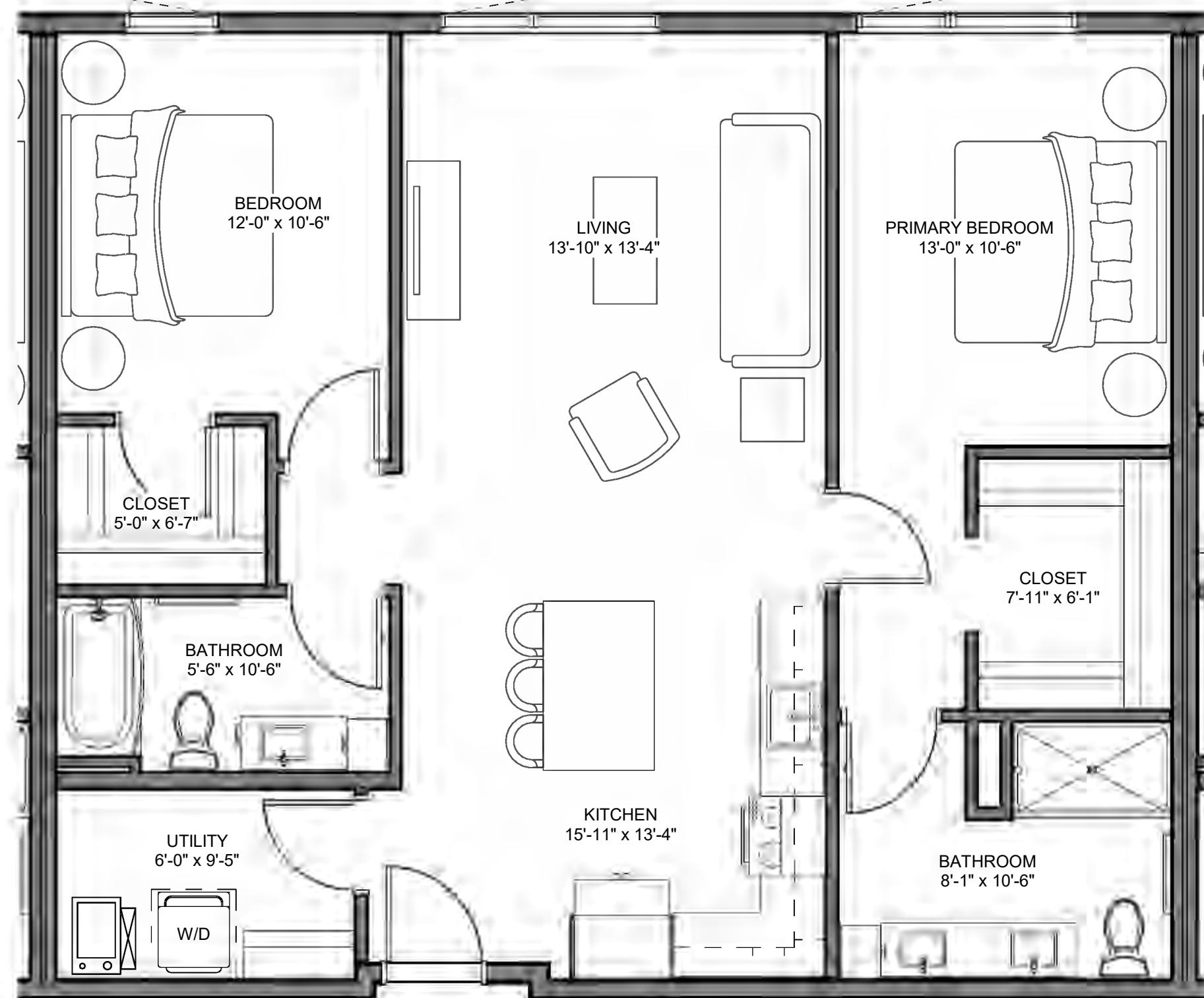
KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT C1* PLAN

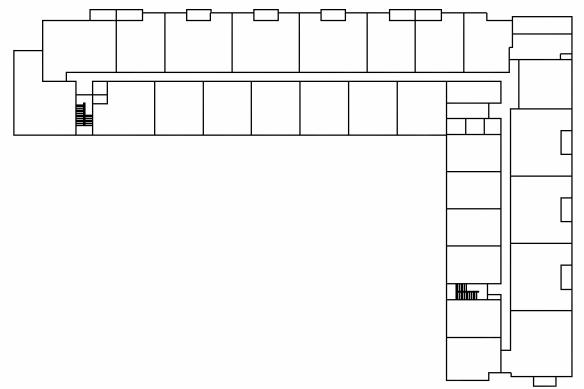
SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



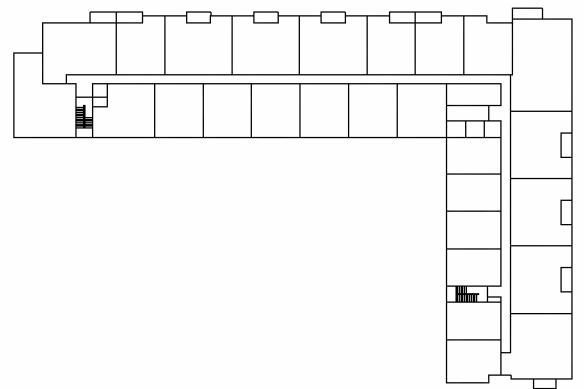
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1/4" = 1'-0"



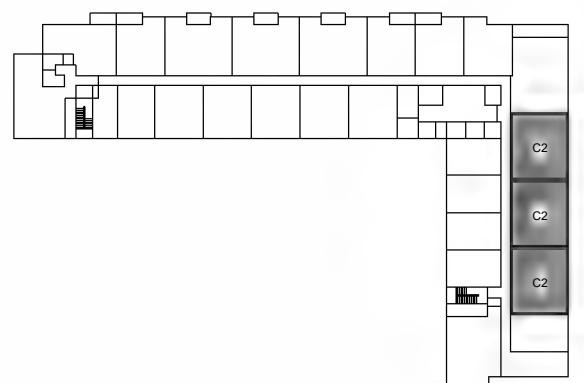
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



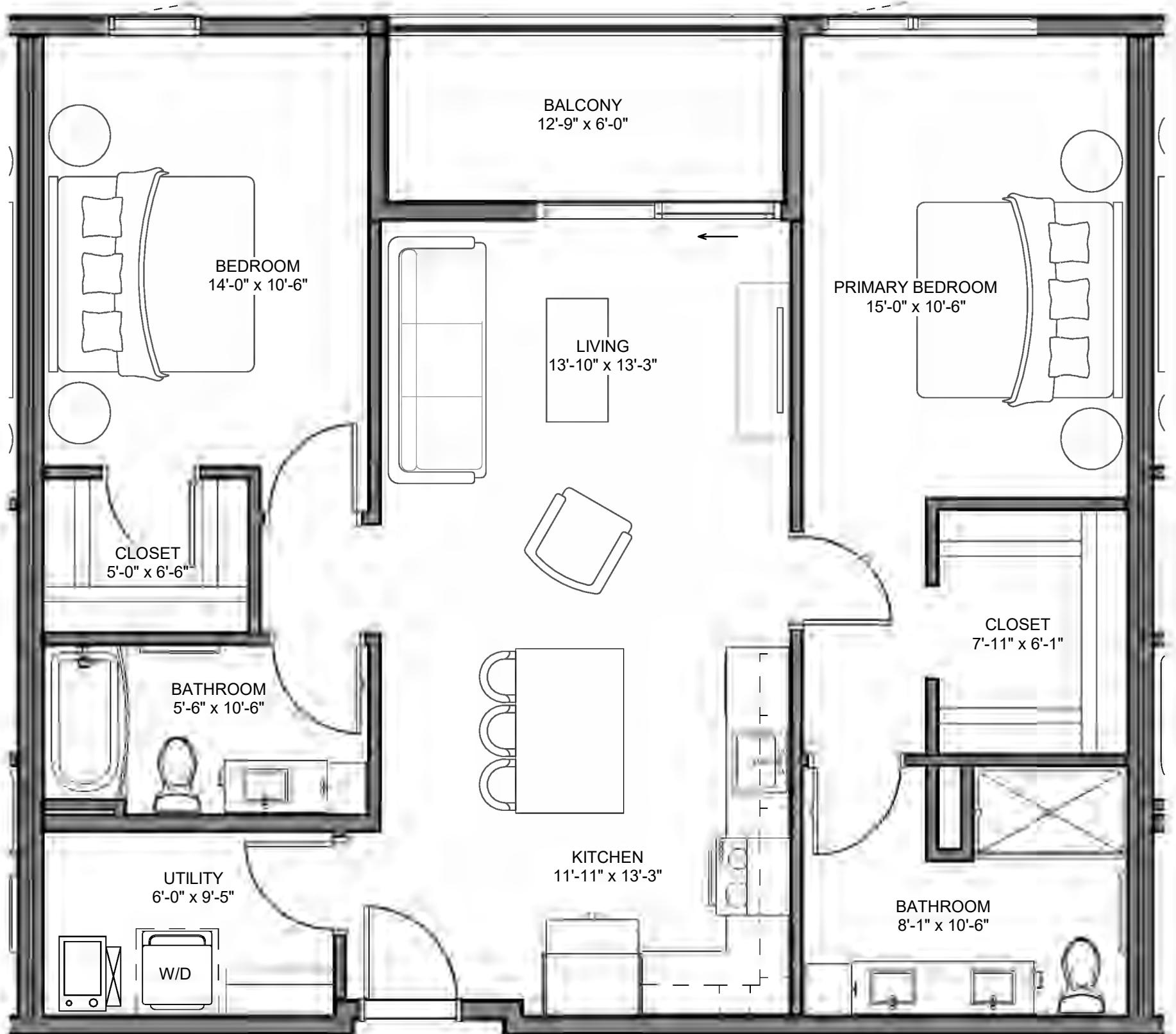
KEY PLAN - BLDG C- LEVEL 1

NTS

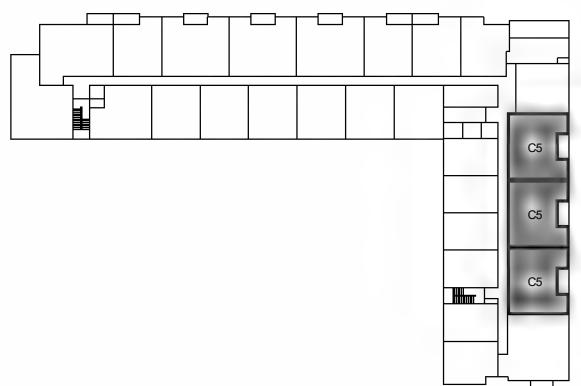
ENLARGED UNIT C2 PLAN

SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25

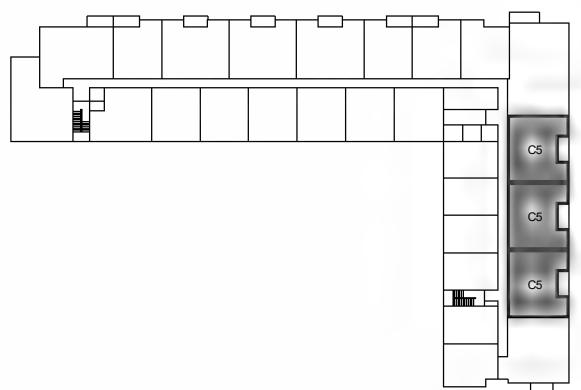


1 UNIT C5 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



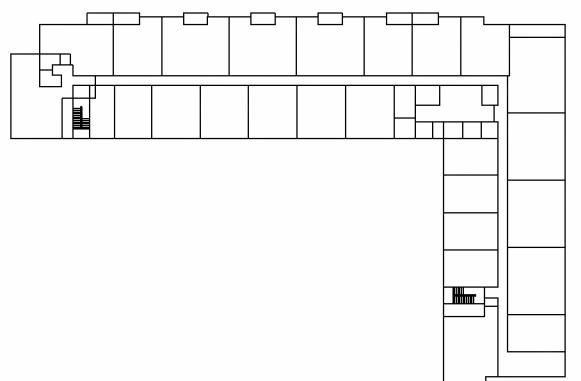
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT C5 PLAN

SCALE: 1/4" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
PROJECT #: 24101 | 07/15/25



To: City of West Allis
From: Aaron Koch
Date: July 3, 2025
Subject: 92nd & Greenfield Multifamily Stormwater Memo

The following is a preliminary summary explaining the stormwater runoff for the proposed 92nd & Greenfield Multifamily Residential development located at the southwest corner of W. Greenfield Avenue & S. 92nd Street. The total size of the proposed development is 3.00 acres.

The existing site consists of three buildings and associated parking. Existing conditions include 2.69 acres of impervious area and 0.31 acres of pervious area. The proposed improvements include the addition of three multifamily residential buildings along with parking. The proposed conditions include 2.57 acres of impervious area and 0.43 acres of pervious area. Since the total impervious area will be reduced in proposed conditions, existing to proposed discharge rates will be reduced.

The water quality device being proposed is a 4-node Up-Flo Filter located in an on-site catch basin. Proposed drainage has been designed to reflect existing drainage conditions with a majority of the site discharge occurring towards 93rd Street to the west.

Area	Pounds of TSS Generated (No Controls)	Pounds of TSS Remaining (w/ Controls)	Percent Removal
Residential	1069	578.3	45.90

TSS REMOVAL	
Requested TSS Removal	40%
TSS Removal Provided	45.90%

As shown in the tables above, proposed stormwater quality BMPs will reduce TSS onsite more than the required 40%. WinSLAMM modeling data and the Preliminary Hydrology Exhibit have been attached to this memo. A final plan detailing the stormwater proposal will be prepared and submitted in the future.

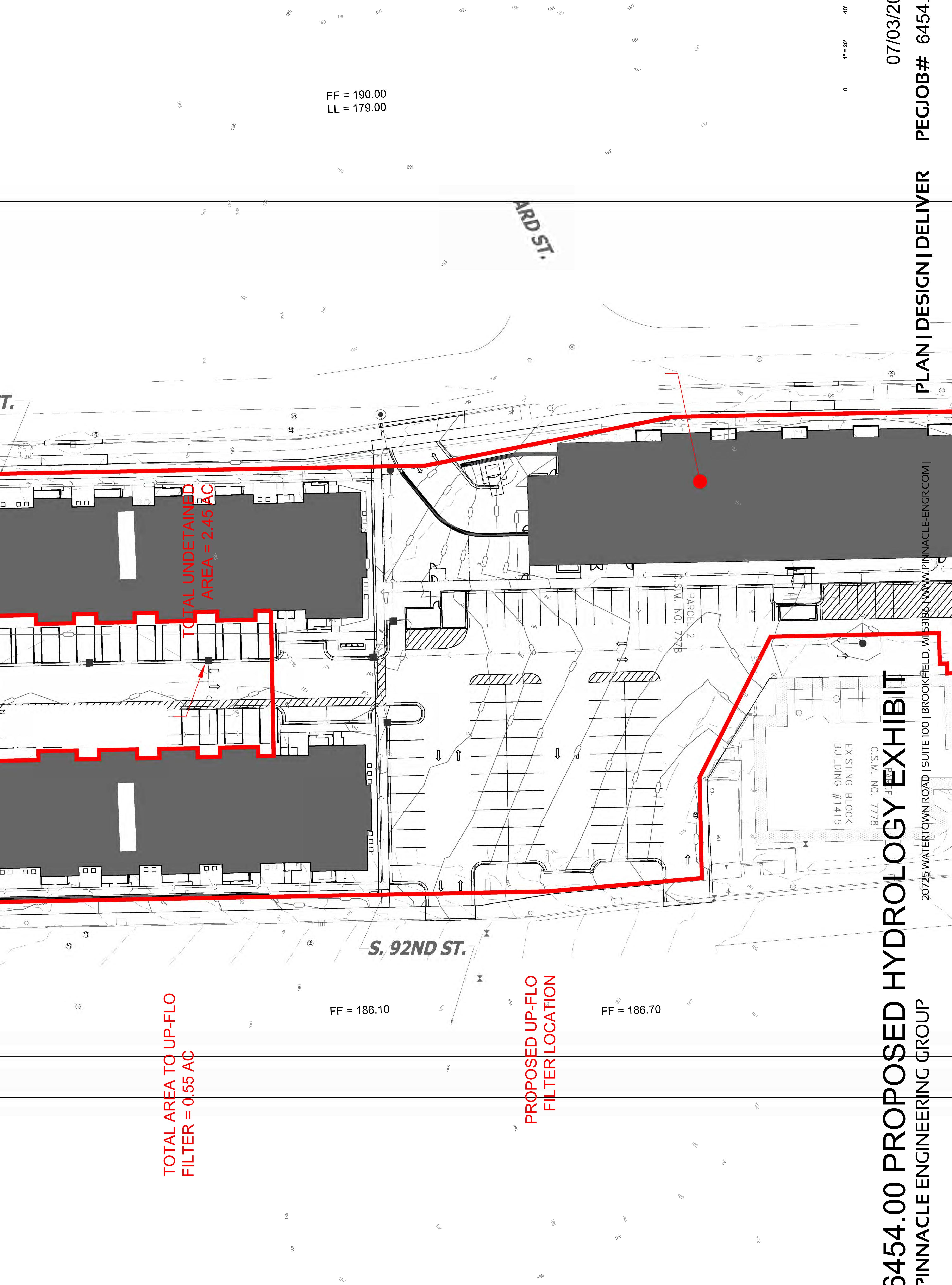
07/03/2025

PEGJOB# 6454.00

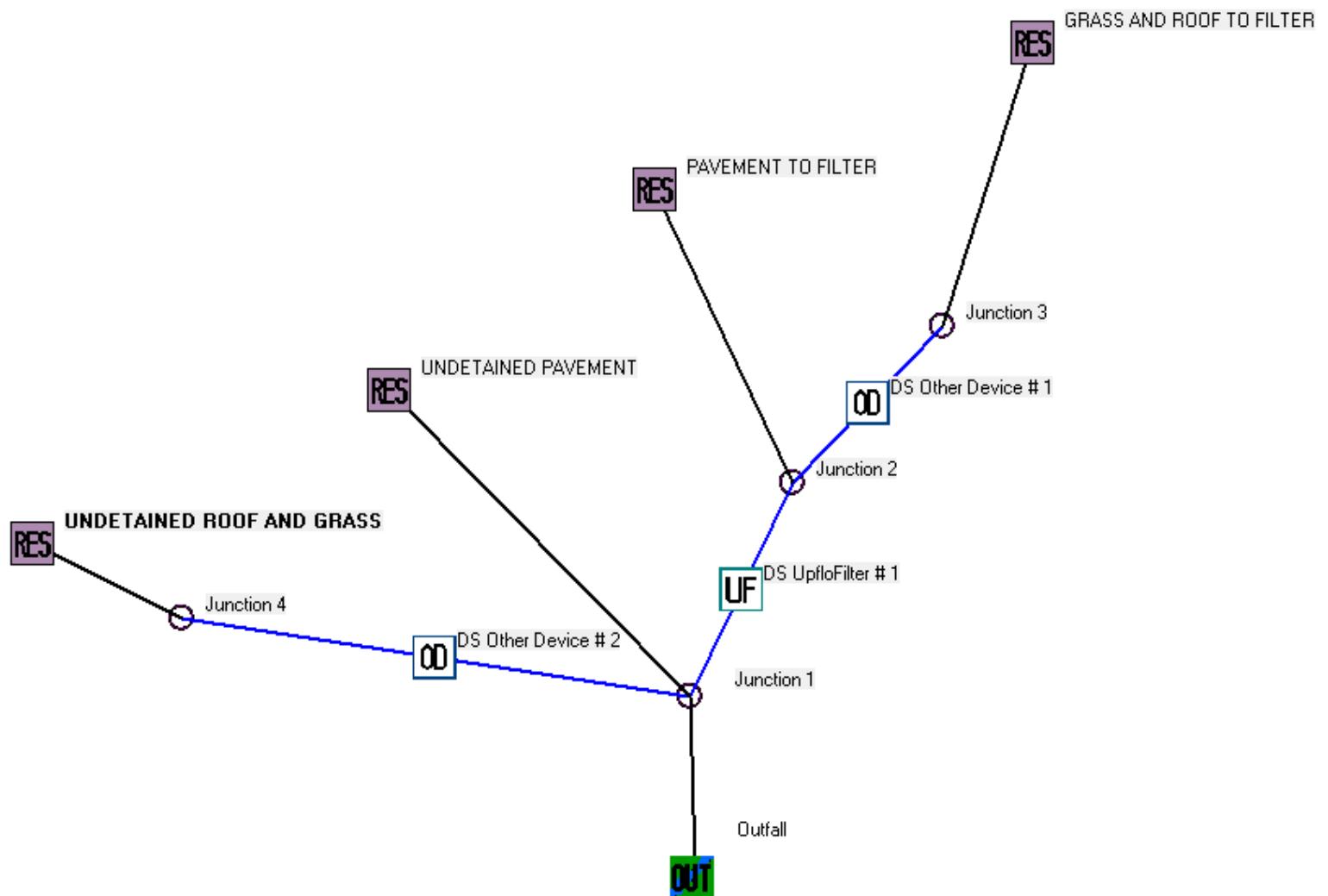
6454.00 PROPOSED HYDROLOGY EXHIBIT

PINNACLE ENGINEERING GROUP

20725 WATERDOWN ROAD | SUITE 100 | BROOKFIELD, WI 53199 | WWW.PINNACLE-ENGR.COM |



SLAMM ROUTING DIAGRAM



Data file name: Z:\Projects\2025\6454.00-WI\DESIGN\SWMP\SLAMM\6454.00 92nd & GREENFIELD [ALTERNATIVE].mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/01/81

Study period ending date: 12/31/81

Start of Winter Season: 12/02

End of Winter Season: 03/12

Date: 06-30-2025

Time: 14:17:02

Site information:

LU# 1 - Residential: UNDETAINED ROOF AND GRASS Total area (ac): 1.620

1 - Roofs 1: 0.610 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.300 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

3 - Roofs 3: 0.290 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.330 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

46 - Large Landscaped Areas 2: 0.090 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Residential: UNDETAINED PAVEMENT Total area (ac): 0.830

13 - Paved Parking 1: 0.830 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 3 - Residential: PAVEMENT TO FILTER Total area (ac): 0.450

13 - Paved Parking 1: 0.450 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 4 - Residential: GRASS AND ROOF TO FILTER Total area (ac): 0.100

45 - Large Landscaped Areas 1: 0.100 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Other Device CP# 1 (DS) - DS Other Device # 1

Fraction of drainage area served by device (ac) = 1.00

Particulate Concentration reduction fraction = 1.00

Filterable Concentration reduction fraction = 1.00

Runoff volume reduction fraction = 0

Control Practice 3: Other Device CP# 2 (DS) - DS Other Device # 2

Fraction of drainage area served by device (ac) = 1.00

Particulate Concentration reduction fraction = 1.00

Filterable Concentration reduction fraction = 1.00

Runoff volume reduction fraction = 0

Data file name: Z:\Projects\2025\6454.00-WI\DESIGNSWMP\SLAMM\6454.00 92nd & GREENFIELD [ALTERNATIVE].mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/01/81 Study period ending date: 12/31/81

Start of Winter Season: 12/02 End of Winter Season: 03/12

Model Run Start Date: 01/01/81 Model Run End Date: 12/31/81

Date of run: 06-30-2025 Time of run: 14:14:40

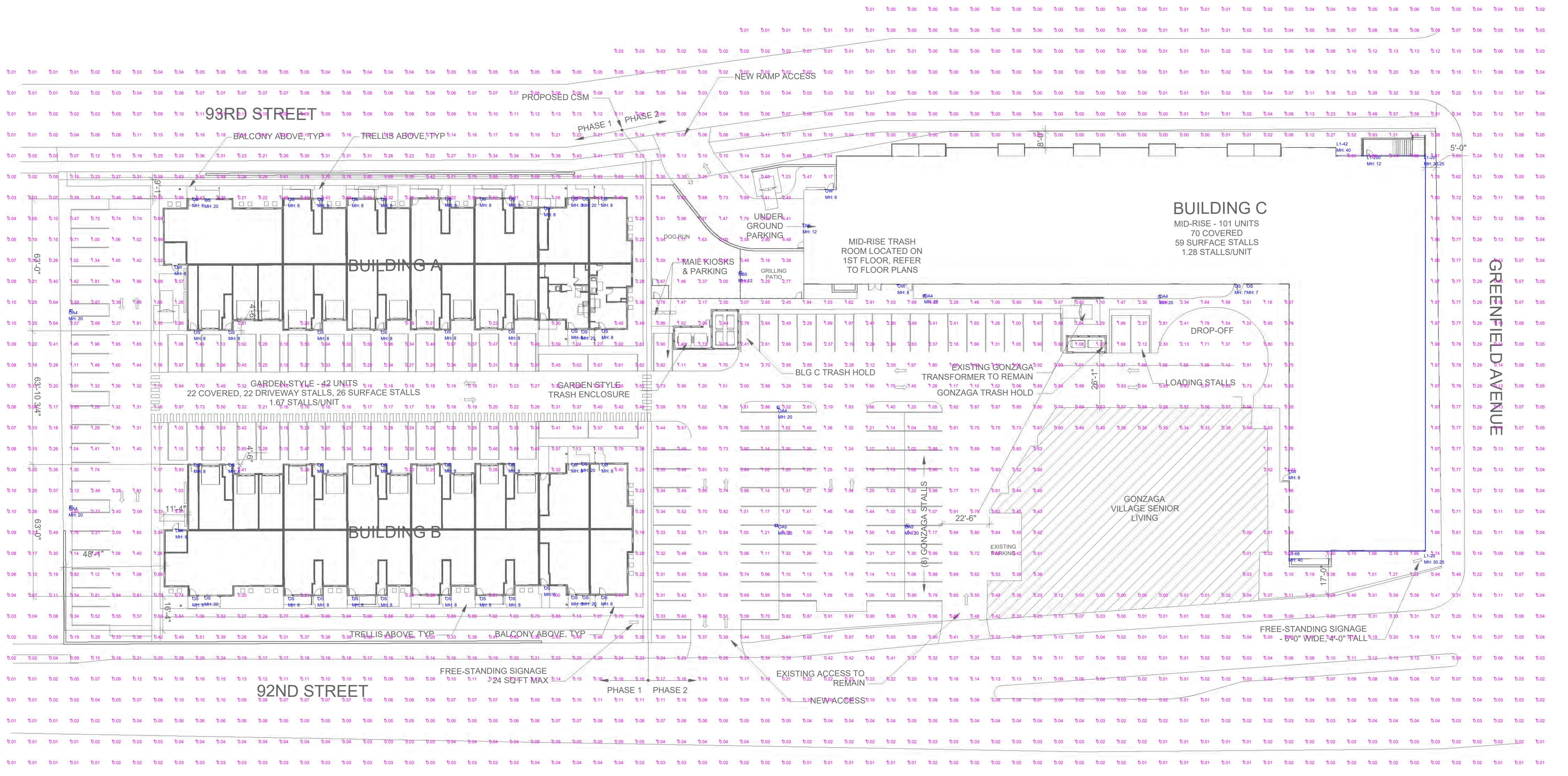
Total Area Modeled (acres): 3.000

Years in Model Run: 1.00

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	197507	-	86.68	1069	-
Outfall Total with Controls:	197600	-0.05%	46.88	578.3	45.90%
Annualized Total After Outfall Controls:	198143			579.9	

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



LUMINARY SCHEDULE				DISPOSITION SUMMARY			
TYPE	ARRANGEMENT	LFL	TAP	TYPE	CAT/TYPE	UNITS	Avg
L1207	2 GROUP	0.950	LFL	L1207	7Wx12H-xx-24V-217-10FT-POLE	864	N/A
L1207	1 GROUP	0.950	LFL	L1207	7Wx12H-xx-24V-217-10FT-POLE & 180FT 6.3FT	1005	N/A
L1207	1 GROUP	0.950	LFL	L1207	7Wx12H-xx-24V-217-10FT-POLE & 1.2FT	1005	N/A
L1208	1 GROUP	0.950	LFL	L1207	7Wx12H-xx-24V-217-10FT-POLE & 1.2FT	1004	N/A
DAS	2 Single	0.740	LITHONIA	L1207	7Wx12H-xx-24V-217-10FT-POLE & 10FT BASE (100FT)	102,177	11000
OBO	1 Single	0.730	LITHONIA	L1207	7Wx12H-xx-24V-217-10FT POLE + 217 BASE (100FT)	102,177	20K24
OBO	26 Single	0.730	LITHONIA	L1207	7Wx12H-xx-24V-217-10FT POLE + 217 BASE (100FT)	102,177	12K98
LOW	5 Single	0.950	LITHONIA	L1207	7Wx12H-xx-24V-217-10FT POLE	24,42	9K76

DISPOSITION SUMMARY						
TYPE	CAT/TYPE	UNITS	Avg	Max	Min	Avg/Mean
DOOR	DOOR	1	0.53	12.41	0.00	N/A
DOOR	DOOR	1	1.27	3.32	0.31	4.10
WEST PARKING LOT	DOOR	1	1.01	2.77	0.47	1.13
WEST PARKING LOT	DOOR	1	1.01	2.77	0.47	2.11

92ND & GREENFIELD MULTIFAMILY GREENFIELD, WISCONSIN	SITE LIGHTING
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DRAWN BY : LB	DATE : JULY 02, 2025	SCALE : 1/32" = 1'-0"
REVISIONS		
#	DATE	COMMENTS