



City of West Allis

Meeting Agenda

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, January 28, 2026

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF MINUTES

1. [26-0041](#) December 10, 2025 (draft minutes)

Attachments: [December 10, 2025 \(draft minutes\)](#)

D. NEW AND PREVIOUS MATTERS

- 2A. [26-0042](#) Conditional Use Permit for Bahn Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave.

- 2B. [26-0043](#) Site, Landscaping, and Architectural Design Review for Bahn Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave. (Tax Key No. 439-0001-008).

Attachments: [2 \(CUP-SLA\) Bahn Mi Corner](#)

- 3A. [26-0044](#) Conditional Use Permit for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.), and Restaurant Use at 6014 W. Madison St.

- 3B. [26-0045](#) Site, Landscaping, and Architectural Design Review for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.) and Restaurant Use, at 6014 W. Madison St. (Tax Key No. 439-0165-001).

Attachments: [3 \(CUP-SLA\) Toros Sport Complex](#)

- 4A. [26-0046](#) Conditional Use Permit for Cars R Us 2, a proposed Light Motor Vehicle Sales use, at 10920 W. Lincoln Ave.

- 4B. [26-0047](#) Site, Landscaping, and Architectural Design Review for Cars R Us 2, a proposed Light Motor Vehicle Sales use, at 10920 W. Lincoln Ave. (Tax Key No. 481-9991-010).

Attachments: [4 \(CUP-SLA\) Cars R Us 2](#)

5. [26-0048](#) Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 69** W. Beloit Rd. (Tax Key No. 489-0038-000)
Attachments: [5 and 6 \(SLA\) Habitat for Humanity 6900 block and 6901 W Beloit Rd](#)
6. [26-0049](#) Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 6901 W. Beloit Rd. (Tax Key No. 489-0037-000).
7. [26-0050](#) Site, Landscaping, and Architectural Design Review for ABC Automotive, a proposed Light Motor Vehicle Service use at 1462 S. 81st St. (Tax Key No. 452-0263-001)
Attachments: [7 \(SLA\) ABC Auto 1462 S. 81st](#)
8. [26-0051](#) Site, Landscaping, and Architectural Design Review for Pretty Paws Pet Spa, a proposed Animal Boarding Use, at 2060 S. 61st St. (Tax Key No. 475-0271-000).
Attachments: [8 \(SLA\) Pretty Paws Pet Spa 2060 S. 61st St](#)
9. [26-0052](#) Ordinance to amend zoning rules for residential accessory buildings.
Attachments: [9 \(ORD\) Residential Accessory buildings](#)
10. [26-0053](#) Review of PC Survey Results.
11. [26-0054](#) Project Tracking

E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City of West Allis

Meeting Minutes

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, December 10, 2025

5:30 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING (draft minutes)

A. CALL TO ORDER

The meeting was called to order at 5:31 p.m.

B. ROLL CALL

Present 7 - Wayne Clark, Eric Torkelson, Jessica Katzenmeyer, Dan Devine, Brandon Reinke, Lisa Coons, Kathleen Dagenhardt

Excused 2 - Brian Frank, David Raschka

Staff

Steve Schaer, Director of Planning & Zoning,
Jack Kovnesky, Planner
Emily Wagner, Planner

C. APPROVAL OF MINUTES

1. [25-0450](#) October 22, 2025 (draft minutes)

Attachments: [October 22, 2025 \(draft minutes\)](#)

Clark moved to approve this matter, Reinke seconded, motion carried.

D. NEW AND PREVIOUS MATTERS

- 2A. [25-0493](#) Conditional Use Permit for First Spiritualist Church of West Allis, a proposed Religious Institution use at 8603 W. Greenfield Ave.

Items 2A & 2B were taken together.

Emily Wagner presented.

Clark moved to approve this matter, Torkelson seconded, motion carried.

- 2B. [25-0494](#) Site, Landscaping, and Architectural Design Review for First Spiritualist Church of West Allis, a proposed Religious Institution Use, at 8603 W. Greenfield Ave. (Tax Key No. 451-0021-000)

Attachments: [\(CUP-SLA\) First Spiritualist Church of WA](#)

Clark moved to approve this matter, Torkelson seconded, motion carried.

3. [25-0495](#) Site, Landscaping, and Architectural Design Amendment for Corvina, a existing/proposed Restaurant, at 6038 W. Lincoln Ave. (Tax Key No. 475-0284-000)

Attachments: [\(SLA\) Corvina 6038 W Lincoln Ave](#)

Jack Kovnesky presented.

Clark moved to approve this matter, Reinke seconded, motion carried.

4. [25-0502](#) West Allis Bike, Pedestrian, and Mobility Plan.

Attachments: [Bike Ped Plan Resolution](#)

[Pedestrian Bicycle Mobility Master Plan 12-9-25](#)

Jack Kovnesky presented.

Data driven plan working off the recommendations of the 2045 Comprehensive Plan & Safety Action Plan.

Multi-modal focus, safety connectivity, collaboration with Engineering and Capital Improvement planning on a city-wide initiative schedule.

Torkelson moved to approve this matter, Reinke seconded, motion carried.

5. [25-0496](#) Plan Commission Survey

Attachments: [Plan Commissioner Survey 2025](#)

Emily presented.

This matter was Discussed.

6. [25-0503](#) Project Tracking

Steve Schaer presented - shared that the city recently received a draft version of a Housing Market Study update. Update will be provided to Plan Commission in 2026.

This matter was Discussed.

E. ADJOURNMENT

There being no other business, a motion was made by Torkelson, seconded by Reinke to adjourn at 6:02 p.m.



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**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
City Hall, Room 128
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 2A. Conditional Use Permit for Banh Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave.**
- 2B. Site, Landscaping, and Architectural Design Review for Banh Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave. (Tax Key No. 439-0001-008).**

Overview and Zoning

West Allis Towne Center is a 23.5-acre shopping area consisting of 4 lots. The Towne Center hosts a variety of businesses including the recently opened Planet Fitness, Pan Asia Grocery, and Las Cazuelas Mexican Restaurant. A new addition to the Towne Center is Banh Mi Corner, proposed to be located directly next to the existing Dollar Tree.

Banh Mi Corner is being proposed by applicant Nadia Vo. The restaurant is to specialize in Vietnamese fare such as Banh Mi's and Vietnamese Coffee. In addition to these menu items are additional coffee drinks, milk & fruit teas, and smoothies. Drinks can be topped with additional toppings including, but not limited to, tapioca pearls, popping boba, and so on. The restaurant will be a fast casual style restaurant with customers ordering and picking up at a counter.

The timeline for the restaurant is currently undetermined, however, building permits, food licenses, and other necessary permits have been applied for. The applicant hopes to be open in the beginning of March 2026.

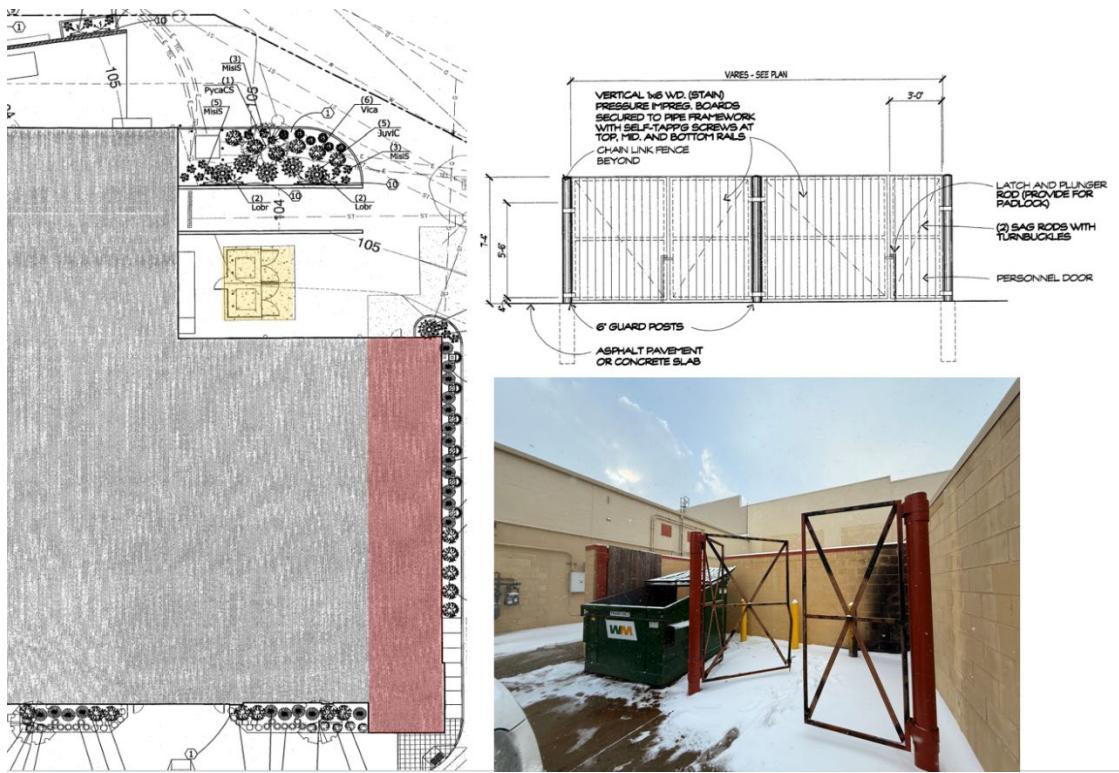
Hours of operation:

- 9 a.m. - 7 p.m. every day except Tuesday
- Closed on Tuesdays

Site and Landscaping Plan

The overall property is under an approved site and landscaping plan, with cross access between properties. Shared parking exists directly in front of the business and to the side. The existing business does not have any bicycle parking. Per code, at least 1 outdoor space is required. Landscaping exists between the side of the building and the shared access drive.

An existing refuse area is located at the rear of the business. Upon inspection, staff noticed that the condition of the refuse area has deteriorated over the years. The existing refuse area is recommended to be rescreened by the applicant or landlord in alignment with the existing site plan on file.

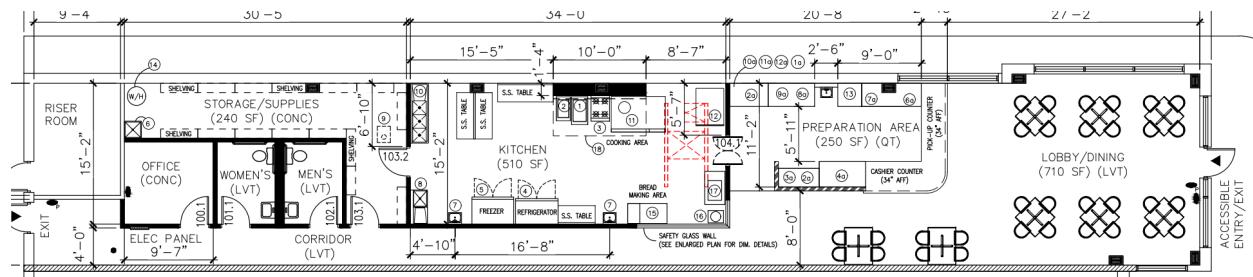


Architectural Plan

No changes are planned to the exterior of the building. The overall site is part of a master site plan. New signage is expected but has not been submitted by the applicant at this time.

Floor Plan

The floor plan shows 32 indoor seats for patrons, carry-out service, and bathrooms in the rear. The restaurant operations include a preparation area, kitchen, office, and storage room.



Design Review Guidelines:

This is an existing property and the majority of proposed changes are internal within the building. Design review guidelines are not required for this project.

Recommendation: Common Council approval of the Conditional Use Permit for Bahn Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave. and approval of the Site, Landscaping, and Architectural Design Review for Bahn Mi Corner, a proposed Restaurant Use, at 6780 W. Greenfield Ave. (Tax Key No. 439-0001-008), subject to the following conditions:

1. Common Council approval of the Conditional Use Permit (Scheduled for February 10, 2026)
2. Revised site plan being submitted to show enhancements to the screening of the existing refuse area in accordance with design guidelines
3. A public bicycle rack being located in front of the building.
4. Signage and lighting plans being reviewed for compliance and subject to permitting.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
City Hall, Room 128
6:00 PM

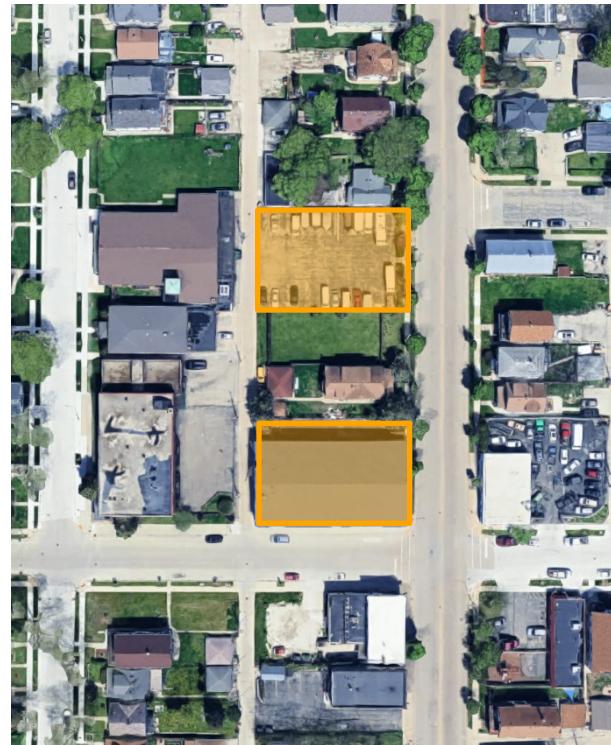
Watch: <https://www.youtube.com/user/westalliscitychannel>

- 3A. Conditional Use Permit for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.), and Restaurant Use at 6014 W. Madison St.
- 3B. Site, Landscaping, and Architectural Design Review for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.) and Restaurant Use, at 6014 W. Madison St. (Tax Key No. 439-0165-001).

Overview and Zoning

Toros Sport Complex is a proposed multi-use facility at 6014 W. Madison St. Owner of the restaurants Taqueria El Toro, with a location on 84th and Lincoln, Toribio Perez Martinez is proposing to expand his presence in West Allis through this combined indoor recreation and event space. The proposed facility is in a portion of the former St. Mary Help of Christians congregation. The two-level building was designed with an upper floor combination gymnasium and cafeteria. Within the lower level is an assembly hall with a full kitchen.

Toros Sport Complex intends to utilize these areas to their full extent. The applicant wants to continue to use the lower level as an assembly/event space for weddings, baptisms, birthdays and cultural events. The lower level's kitchen area will be used to prepare meals for the social events. Additionally, the existing counter area will be used to provide liquor during social events. A continuation of the upper level as a gymnasium for basketball, soccer, and volleyball is proposed. The space will also flex as an assembly/event space.



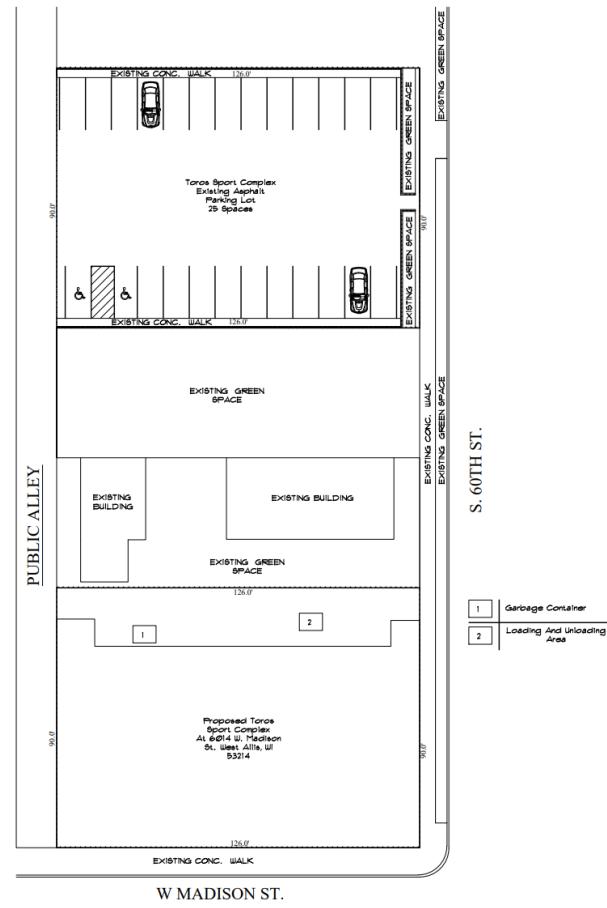
Hours of operation:

- Social and Cultural Events in the Lower Level
 - Monday – Friday: 10:00 a.m. – 12:00 a.m.
 - Saturdays: 10 a.m. – 1:00 a.m.
 - Sundays: Closed
- Upper Level
 - Monday – Saturday: 8 a.m. – 12 a.m.

Site and Landscaping Plan

The overall property is under an approved site and landscaping plan from 2013. The existing building is nearly built out to site. To the north of the property is a narrow concrete area that may be used for unloading/loading food & supplies for events. Additionally, there is a refuse area that is screened. However, upon inspection staff noticed that the refuse container was not being stored in the designated area. It will be required to have the refuse be stored in the designated area.

It should be noted that the property will be supported by an off-street parking lot located two parcels north of the main building. This parking lot contains 25 parking stalls that will be used to support various events. Entry to the parking lot exists only from the alley between 60th and 61st streets. The parking lot is buffered from the public sidewalk on the east side by landscaping complete with a wrought iron fence. Street parking exists along W. Madison St, S. 61st St, and along S. 60th St., with some exceptions during rush hour commute times. Staff encourages the applicant to work with the nearby Wells Fargo Bank property to aid in additional parking, if needed. A bicycle rack will be required in the front of the proposed facility. No other site changes are proposed at this time





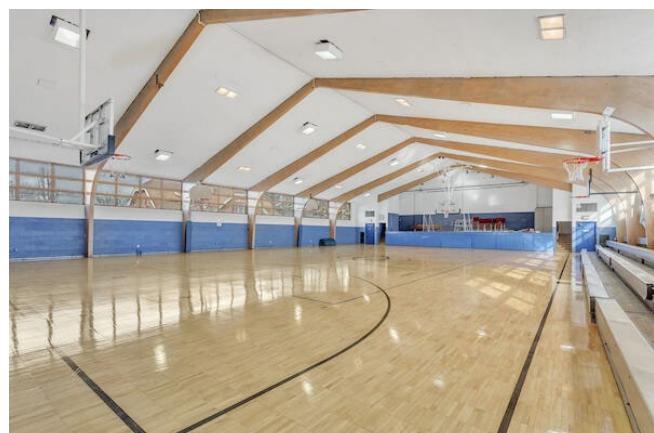
Architectural Plan

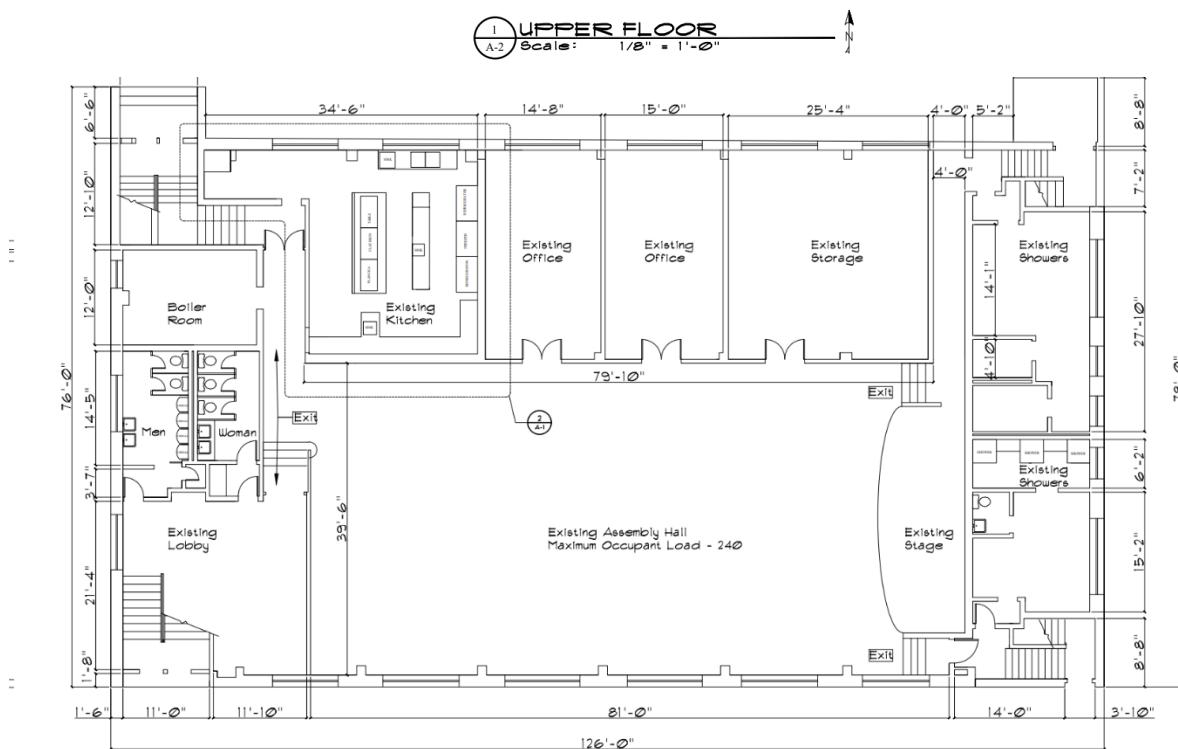
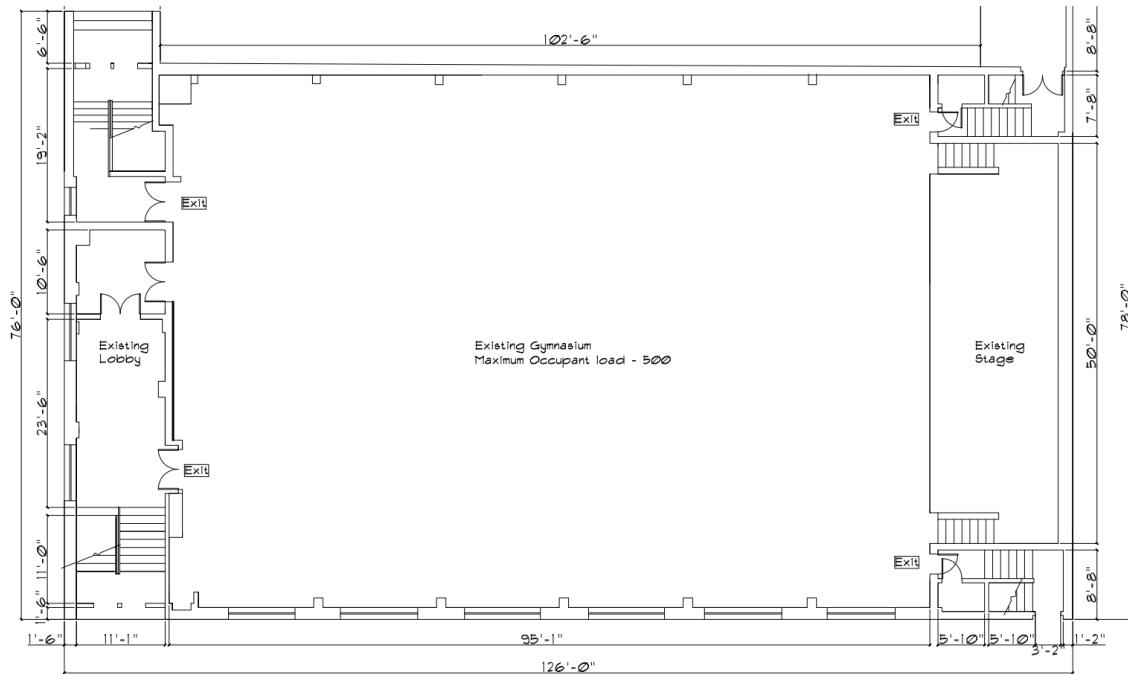
No changes are planned to the exterior of the building. New signage is expected but has not been submitted by the applicant at this time.

Floor Plan

The floor plan shows the two levels. Entry to the building is located off of W. Madison St. in the southwest corner of the building. The entrance immediately leads to a set of stairs to the upper and lower levels. The stairs leading to the upper floor lead to a lobby. Beside the lobby is the existing gymnasium, complete with a stage. No other rooms exist on the upper floor, however, there are three other stair wells in each corner of the building.

The lower floor contains numerous rooms. The stairs coming down from the main entrance lead to a lobby with restrooms. The lobby leads to the assembly hall area, which also has a stage. To support events in the assembly hall, a full kitchen is connected. Additional rooms connected to the assembly hall include two office rooms and a storage room. To the rear of the stage are shower rooms to support athletic uses.





Design Review Guidelines:

This is an existing property, and the majority of proposed changes are internal within the building. Design review guidelines are not required for this project.

Recommendation: Common Council approval of the Conditional Use Permit for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.), and Restaurant Use at 6014 W. Madison St. and approval of the Site, Landscaping, and Architectural Design Review for Toros Sport Complex, a proposed Indoor Recreation, Event Space (5,000 or more sq. ft.) and Restaurant Use, at 6014 W. Madison St. (Tax Key No. 439-0165-001).

(Item 1 is required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for February 10, 2026)
2. Building permits, Fire Department Permits, and other necessary permits being applied for with the Code Enforcement Department, Fire Department, and other departments as needed for review.
3. Revised floor plan being submitted to show details including, but not limited, to kitchen equipment, bleachers, etc.
4. A public bicycle rack being located in front of the building.
5. Signage and lighting plans being reviewed for compliance and subject to permitting.
6. Continued maintenance of existing landscaping and trash enclosure



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 4A. Conditional Use Permit for Cars R Us 2, a proposed Light Motor Vehicle Sales use, at 10920 W. Lincoln Ave.

- 4B. Site, Landscaping, and Architectural Design Review for Cars R Us 2, a proposed Light Motor Vehicle Sales use, at 10920 W. Lincoln Ave. (Tax Key No. 481-9991-010).

Overview and Zoning

Cars R Us 2 is a proposed wholesale automotive dealer business to be located at 10920 W. Lincoln Ave. Unlike a traditional retail car dealership, Cars R Us 2 will not sell vehicles to the general public and will not maintain an outdoor vehicle lot. The applicant has clarified that the business will function primarily as an office-based wholesale operation, purchasing vehicles from auctions or public markets for resale exclusively to other licensed dealers or businesses. More specifically, the office space will be used for administrative work, paperwork related to wholesale transactions, and occasional meetings with other licensed dealers. As Plan Commissioners may recall a similar business proposal was reviewed and approved by Plan Commission in October 2025.

Two parking stalls will be assigned to the business as part of their lease agreement, but these are intended only for occasional administrative use and state licensing compliance. These two parking stalls are located on the property directly west of the parcel at 10920 W. Lincoln Ave. The applicant does not plan to park or store vehicles on-site, as all vehicles move directly between dealers or auctions and any mechanical work is completed off-site.



No interior or exterior changes are proposed. The office function of the business is to be conducted in the interior of the existing building.

Hours of Operation:

Monday to Saturday: 3 p.m. – 9 p.m.

10920 W. Lincoln Ave is zoned I-1. Light Motor Vehicle Service is a Conditional Use in the I-1 zoning district.

Site & Landscaping Plan

No site or landscaping changes are proposed as part of this request. The property has a previously approved site and landscaping plan associated with the multi-tenant building.

Architectural Plan

No exterior building alterations are proposed. The tenant will occupy an existing suite within a portion of the building.

Floor Plan

The applicant is leasing space within the 2nd floor of the existing building. A floor plan was provided by the applicant showing the proposed tenant space.



Design Guidelines

Project is not considered a new development or significant redevelopment due to minimal proposed site changes. Design guidelines are not mandatory but serve as a framework for review.

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Cars R Us 2, a proposed Light Motor Vehicle Sales use, at 10920 W. Lincoln Ave. (Tax Key No. 481-9991-010) subject to the following:

1. Common Council approval of the Conditional Use Permit (Scheduled for February 10, 2026).
2. The business shall be limited to the use of a maximum of two (2) parking stalls for business-related purposes with no mechanical work on-site.
3. Regular property maintenance of existing landscaping areas and refuse screening is an expectation and staff will note any areas needing improvement.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
6:00 PM**

5. Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 69 W. Beloit Rd. (Tax Key No. 489-0038-000)**

6. Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 6901 W. Beloit Rd. (Tax Key No. 489-0037-000).

Overview & Zoning

The subject area consists of two properties formerly privately owned and operated by a tavern/Czars Bar at the southwest corner of S. 69 St. and W. Beloit Rd. The property was foreclosed upon by Milwaukee County and the City eventually took ownership in 2024 and subsequently demolished the former tavern using CDBG/Community Development Block Grant funding (to complete slum and blight removal activity of a vacant tavern) with the intent of building an affordable home on one of the properties.

The CDA/Community Development Authority directed staff to seek bids to develop a single-family home on the property. Bids came back very high at about \$416,000 which exceeded the federal subsidy limit established by HUD/Housing and Urban Development. CDA directed staff to seek other alternatives and at the same time Habitat for Humanity was also seeking to expand their scope outside of the City of Milwaukee.



The property is zoned C-2 — “Intended for a mix of uses in close proximity to residential areas that are compatible with the neighborhood scale.” Residential single-dwelling unit uses are considered permitted within this zoning district, provided that the proposed construction meets the building size and location requirements of the RB district under [WAMC 19.41](#). Conversations with the architect for this project have revealed that this is not the first iteration of this project. The final design of this single-family home conversion was intentionally selected to maintain the original look of the home while seamlessly incorporating an addition to the back of the building to match other existing homes in the neighborhood.

Milwaukee Habitat’s strategic plan calls for doubling new home construction by 2028 and we’re pleased that in 2026 we’ll meet this goal by building 40 new homes in Milwaukee County. The two homes in West Allis are the first built by Milwaukee Habitat outside of the city of Milwaukee. These two West Allis homes represent efforts to expand access to affordable homeownership to more neighborhoods and provide prospective homebuyers with more choice.

The deliverable will be two new construction homes completed and sold to qualified homeowners through Milwaukee Habitat for Humanity’s lending partners. Habitat selects families and then pairs them with an affordable mortgage. The minimum income of the homebuyers will be around \$60K per year and can go up to 80% of the median income. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage.

Timeline

Start of excavation: August 2026

Framing: September 2026

Certificate of Occupancy: May 2027

Sale of home: Fall 2027

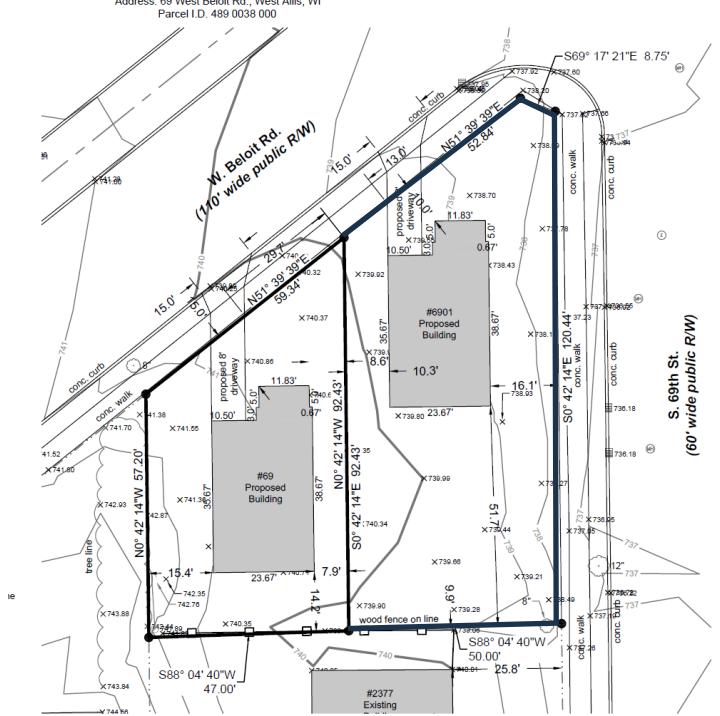
Please refer to the Scope of Work and Plan set delivered by Habitat for Humanity at the end of this report. A summary of the scope and plans is provided below.

Site Plan

Two properties include: 6901 W. Beloit Rd. (this was the lot where former Czars bar was mainly situated). Tax Key: 489-0037-000 lot size of 5462.840 (parcel shape is irregular).

6900 Block W. Beloit Rd. Tax Key: 489-0038-000, the lot size is 3433.830 (parcel shape is irregular)

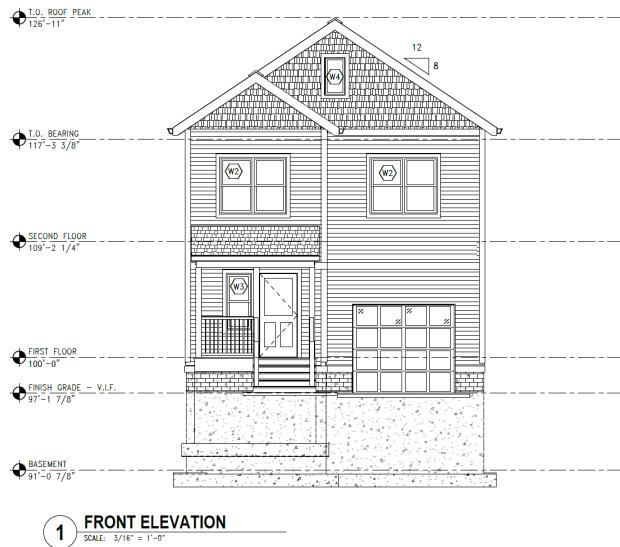
Each lot will be developed with a single-family home. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage. Building setbacks in accordance with the Zoning District requirements. Front yard setback 10-ft, Side yard setbacks 3-ft, Rear yard setback 10-ft. Each property will feature a walkway to the front door, a paved patio area behind the building, driveway into the attached garage, and lawn area.



Architectural & Floor Plan

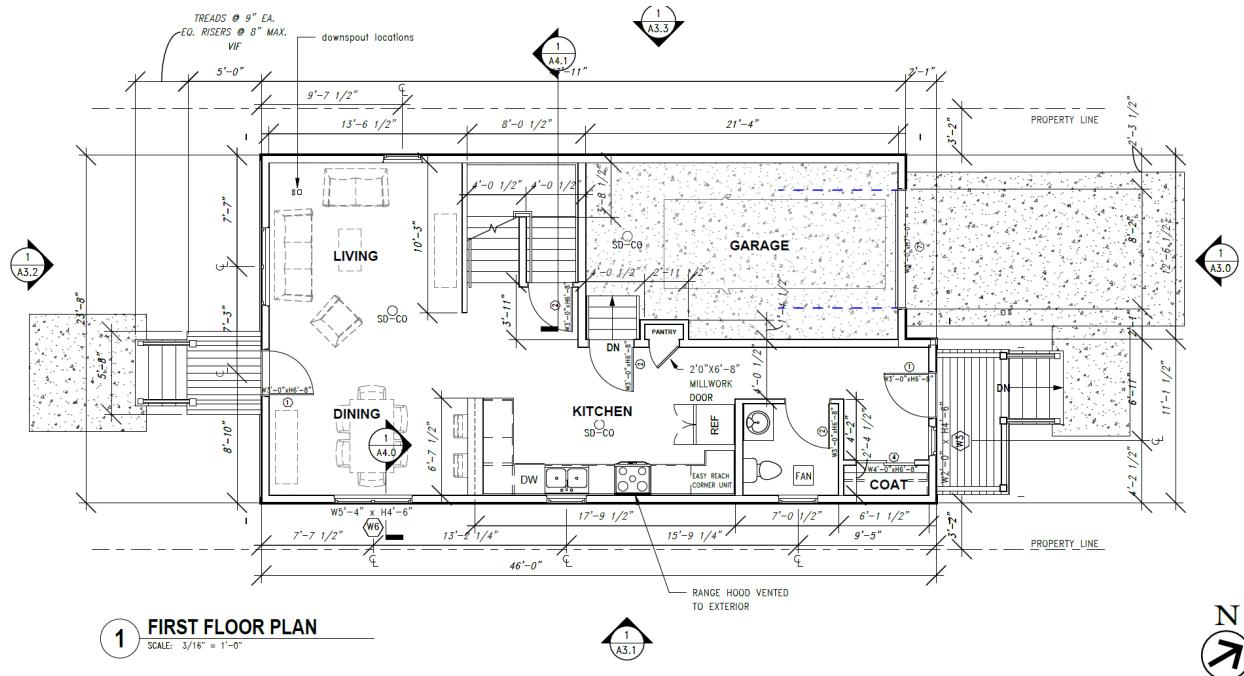
The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage. The exterior is proposed to feature vinyl siding and the roof will be a dimensional asphalt shingle.

The height of the basement will be the 8' nominal height. It would be suitable for someone to choose to use the space for storage or a rec room, but not a bedroom as it doesn't have an egress. If having an egress for a future one bedroom in the basement is important to future owners, it could be added then.



Habitat International guidance is to not build garages except by code requirements or necessity. Habitat had made an exception for West Allis and building homes with a one car garage. They are not able to build a plan with a 2-car garage.

- As part of the review process staff have previously recommended Habitat include a front porch, attached garage, shake style siding within the gable areas, and increase the setback of the buildings to allow space for a vehicle to be parked in front of the garage door. Habitat incorporated these features into the plans before the Plan Commission.
- As part of our staff's recommendation to the Plan Commission, we are recommending exterior color finish details of the building features (exterior siding, trim, porch/deck railings, roof). Additionally, a small roof over the rear door is also recommended.
- Any work done in the City's Right of Way will require permits. The concrete contractor will need to be licensed and bonded and approved by the City.
- Necessary permits to make utility connections will be required as well as driveway permits.



Recommendation: Approval of the Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 69** W. Beloit Rd. (Tax Key No. 489-0038-000) and for a proposed single-family Habitat for Humanity home at 6901 W. Beloit Rd. (Tax Key No. 489-0037-000), subject to the following conditions:

1. Revised Site and Architectural plans being submitted to the City Planning Department to show the following: (a) exterior color finish material details of the building features (exterior siding, trim, porch/deck railings, roof); (b) a roof over the rear door (of note there some of the pages submitted show a rear roof overhanging the rear door); (c) at the base of the buildings any exposed concrete above grade being insulated.
2. Any work done in the City's Right of Way will require permits through our [Engineering Department](#). Driveway permits will be required. The concrete contractor will need to be licensed and bonded and approved by the City. Contact Greg Bartelme City Engineering at (414) 302-8367 with any questions.
3. Necessary permits to make [utility connections](#) will be required. Contact City Department of Public Works/Water Division at (414) 302-8830 with questions.

Milwaukee Habitat for Humanity West Allis Project 2026

Deliverable

The deliverable will be two new construction homes completed and sold to qualified homeowners through Milwaukee Habitat for Humanity's lending partners. Habitat selects families and then pairs them with an affordable mortgage. The minimum income of the homebuyers will be around \$60K per year and can go up to 80% of the median income. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage.

The homes will be sold with a lasting affordability deed restriction. The set home price is anticipated to be \$250,000 per home. With Habitat's lending partnerships, currently offering rates at around 3.25 APR, we expect the monthly payment including taxes and insurance to be around \$1500/month. As part of the homeownership process, family partners participate in a minimum of 200 hours of sweat equity working on their own and others homes, participating in additional financial counseling, and assisting within the community.

Milwaukee Habitat's 2023 strategic plan calls for doubling new home construction by 2028 and we're pleased that in 2026 we'll meet this goal by building 40 new homes in Milwaukee County. The two homes in West Allis are the first built by Milwaukee Habitat outside of the city of Milwaukee. These two homes represent efforts to expand access to affordable homeownership to more neighborhoods and provide prospective homebuyers with more choice.

Habitat's model pairs volunteer powered labor with philanthropic support turning donated time and resources into safe, affordable homes. This blend lowers construction costs while inviting communities and donors to become hands-on partners in lasting change. Public support and funding further sustain the work by expanding resources, elevating awareness, and enabling more families to be served.

Timeline

Start of excavation: August 2026

Framing: September 2026

Certificate of Occupancy: May 2027

Sale of home: Fall 2027

Hours of Operation: Tuesday - Saturday 8am - 5pm

Plat of Survey

Lot 1, in Block 3, in Assessors Plat No. 266, being a part of the Northwest 1/4 and Northeast 1/4 of Section 10, Town 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin. EXCEPT that part thereof bounded and described as follows: Commencing at the Northeast corner of said Lot 1, said point being 446.4 feet West of and 2,232.7 feet North of the Southeast corner of said $\frac{1}{4}$ Section; thence South 51°47' West on and along a line which is 33 feet Southeasterly of and parallel to the center lines of West Beloit Road, 63.50 feet to the Northwest corner of said Lot 1; thence South 0° 07' East and parallel to the West line of South 69th Street, 27.96 feet to a point, thence North 51°47' East on and along a line which is 55 feet Southeasterly of the center line of West Beloit Road, 53.50 feet to a point; thence South 69° 10' East 8.75 feet to a point in the West line of South 69th Street; thence North 0° 07' West along the West line of South 69th Street, 37.96 feet to the place of beginning.

Address: 6901 West Beloit Rd., West Allis, WI

Parcel I.D. 489 0037 000

LEGEND

- PROPERTY LINE
- CHAIN LINK FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TREE LINE
- MANHOLE (MH)
- REBAR FOUND/SET
- HYDRANT
- DECIDUOUS TREE
- WATER VALVE (WV)
- LIGHT POLE
- UTILITY POLE

Proposed Yard Grade: 740.0'

Proposed Top of Foundation: 741.5'

Prepared for:
Milwaukee Habitat for Humanity, Inc.
3726 N. Booth Street
Milwaukee, WI 53212
Attn: Eric Neeb



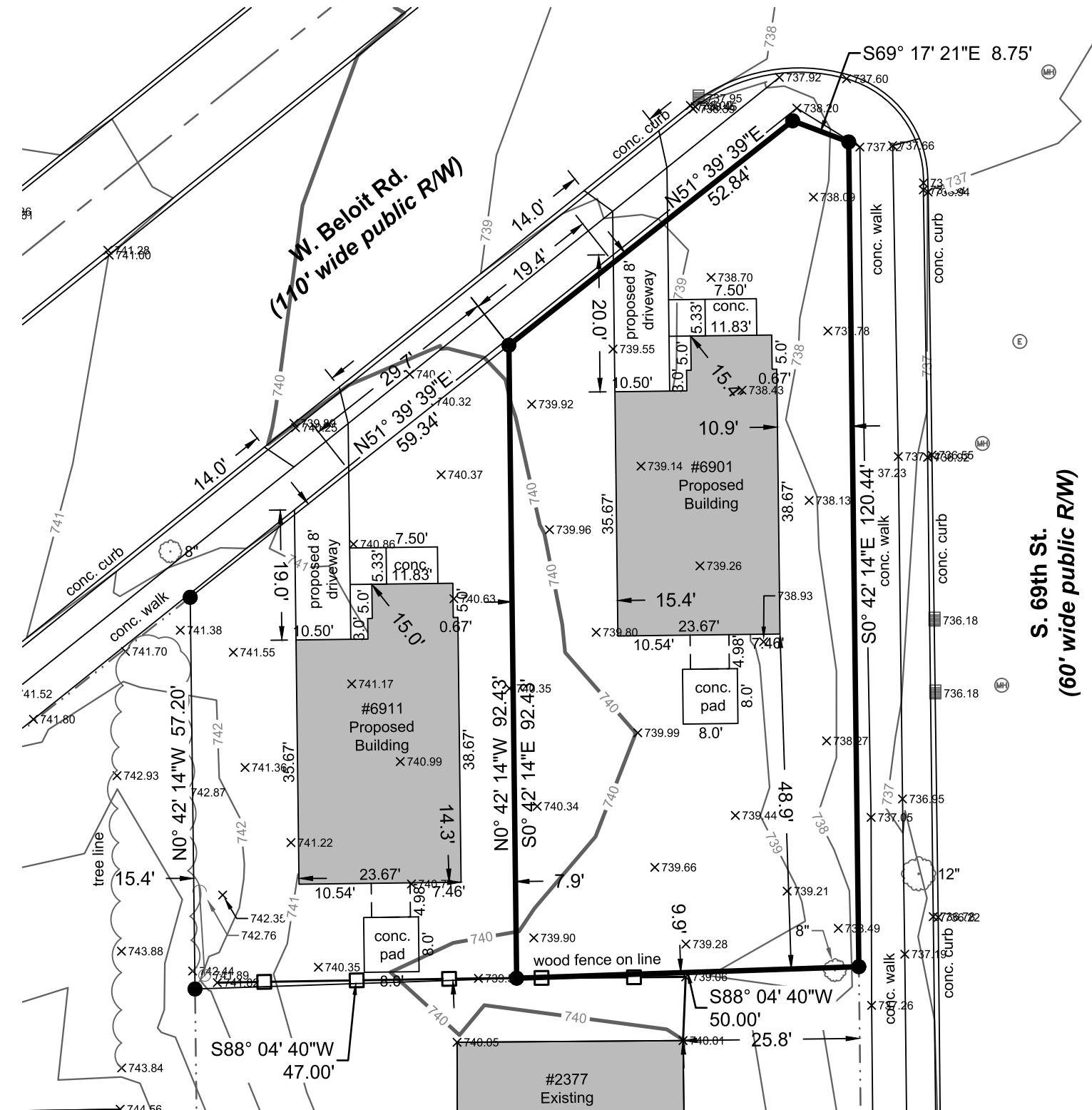
Bearings are referenced to Wisconsin State Plane Coordinate System, South Zone

Datum for the project is USGS NAVD88.



I, Kevin A. Slotte, Professional Land Surveyor, certify that I have surveyed the above described property to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.

**KEVIN A.
SLOTTE
LAND
SURVEYOR**
#2508
MILWAUKEE,
WI
Kevin A. Slotte, P.L.S. #2508
December 30th, 2025



4-BED HOUSE W-GARAGE

DATE: DECEMBER 15, 2025

PROJECT NUMBER:

PROJECT CONTACTS

OWNER

MILWAUKEE HABITAT FOR HUMANITY
3726 N Booth St
Milwaukee, WI 53212
Phone: (414) 316-5623
Contact: Chris Garrison
Email: cgarrison@milwaukeehabitat.org

SHEET INDEX

A4.4 SITE PLAN
CS COVER SHEET

ARCHITECTURAL

CS2 PROJECT INFO AND CODE SHEET
A1.0 BASEMENT FLOOR PLAN
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 ROOF PLAN
A3.0 FRONT ELEVATION
A3.1 LEFT SIDE ELEVATION
A3.2 REAR ELEVATION
A3.3 RIGHT SIDE ELEVATION
A4.0 TYPICAL WALL SECTION
A4.1 STAIR SECTION

Revisions:

Sheet Name:
COVER SHEET

Date: 12/15/2025

Drawn By: BORA TOPLLARI

Project No.:

Sheet No.

CS

12/15/2025 1:59:11 PM
C:\Users\bora.topllari\OneDrive - Milwaukee Habitat For Humanity, Inc\Desktop\WEST ALLIS ATTACHED GARAGE\R23 MHFH 4 Bed
Garage_CENTRALWest Allis_bora.topllari8RXD.rvt



SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

PROJECT INFO AND COVER SHEET		A0.0
Project number		
Date	12/15/25	
Drawn by	AWB	
Checked by	Checker	Scale

BUILDING INFORMATION AND CODE ANALYSIS

GOVERNING CODE ANALYSIS

WISCONSIN UNIFORM DWELLING CODE (WUC), CHS. SPS 320-325 OF THE WISCONSIN ADMINISTRATIVE CODE AND ITS ADOPTED REFERENCES AND REVISIONS

4-BEDROOM MODEL WITH GARAGE - SINGLE FAMILY DWELLING

STORIES: TWO STORIES WITH UNFINISHED BASEMENT
HEIGHT MINIMUM = 27'-0" TO PEAK

SQ. FT:
BASEMENT = 691 SF GROSS
FIRST FLOOR = 684 SF GROSS
SECOND FLOOR = 857 SF GROSS
TOTAL FINISHED SPACE = 2,331 SF

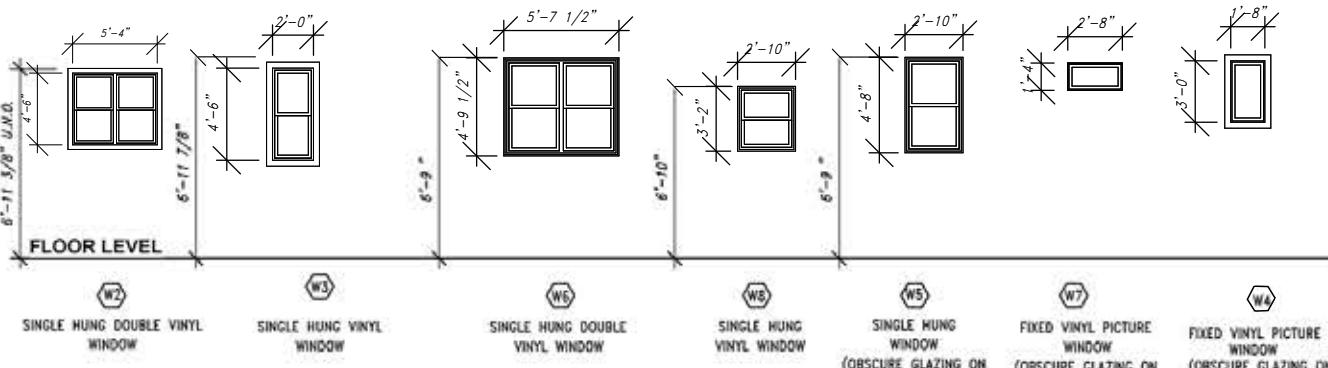
PROJECT DESCRIPTION

NEW CONSTRUCTION TWO-STORY SINGLE-FAMILY DWELLING FOR 50'-0" MINIMUM WIDTH LOTS PER CITY OF WEST ALLIS ZONING CODE OF ORDINANCES 295 SUBCHAPTER 5 RESIDENTIAL DISTRICTS.

ABBREVIATIONS

CONC	CONCRETE
D	DRYER
DIA	DIAMETER
DS	DOWNSPOUT
EA	EACH
ELEC	ELECTRICAL-PANEL
EQ	EQUAL
FD	FLOOR DRAIN
INSUL	INSULATION
MAX	MAXIMUM
MFR	MANUFACTURE(R)(D)
MIN	MINIMUM
OC	ON CENTER
SUMP	SUMP PUMP
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W	WASHER
WATER	WATER MAIN
WH	WATER HEATER

WINDOW LEGEND



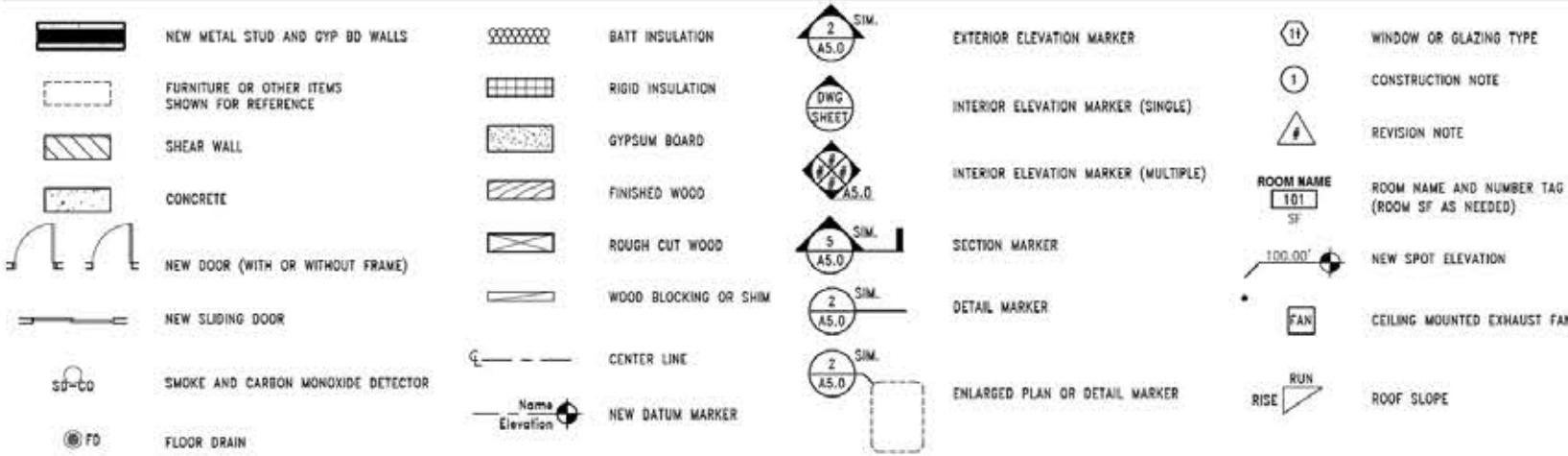
OPENING HEADER SCHEDULE

1. HEADER AT OPENINGS UP TO 3'-0" WIDE
(2) 2x10 W/ (1) 2x6 TRIMMER JACK STUD AND
(1) 2x6 KING STUD AT EACH END
2. FIRST FLOOR HEADER AT OPENINGS UP TO 6'-0" WIDE
(3) 2x10 W/ (2) 2x6 TRIMMER JACK STUDS AND
(1) 2x6 KING STUD AT EACH END
3. SECOND FLOOR HEADER AT OPENINGS UP TO 6'-0" WIDE
(3) 2x10 W/ (2) 2x6 BEARING STUDS AND
(1) 2x6 KING STUD AT EACH END
4. (2) 2x HEADERS TO INCLUDE 2-1/2" FOAM SPACERS

GLAZING PERFORMANCE REQS.

WINDOWS SHALL MEET ENERGY CONSERVATION REQUIREMENTS OF WISCONSIN SPS 322.36 AND 322.37 (AIR LEAKAGE). ALL WINDOWS TO BE DOUBLE-GLAZED INSULATED UNITS. MAXIMUM WINDOW ASSEMBLY U-FACTOR IS U=0.35 FOR OPERABLE WINDOWS AND U=0.35 FOR FIXED UNITS.

LEGEND

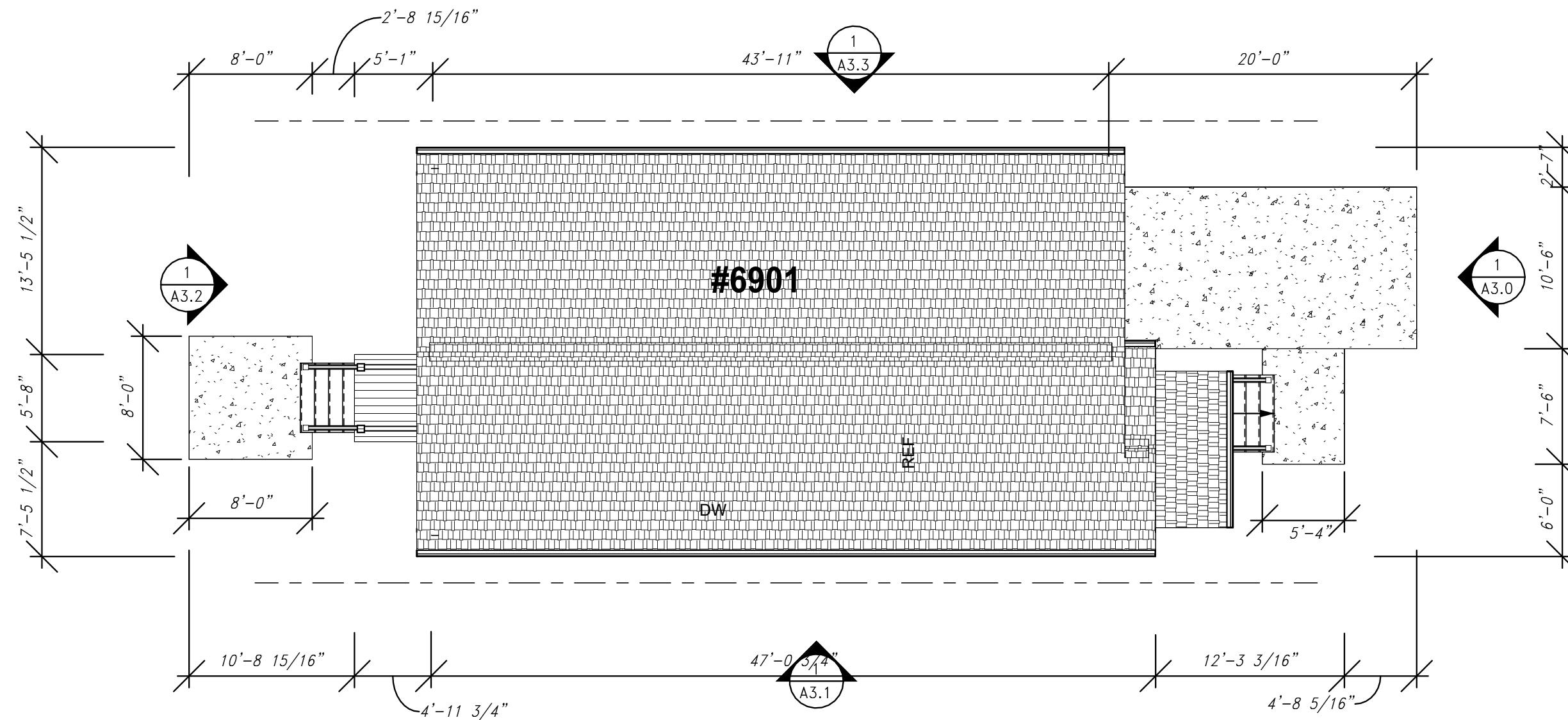


3726 N Booth St
Milwaukee Wisconsin
53212
Phone: 414.562.6100

SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

PROJECT INFO AND COVER SHEET		A0.1	
Project number			
Date			
Drawn by			
Checked by		Scale	



1 SITE PLAN

SCALE: 1/8" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

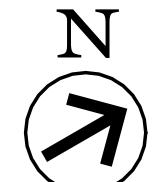
Phone: 414.562.6100

**SINGLE FAMILY
4-BED HOUSE W-GARAGE**

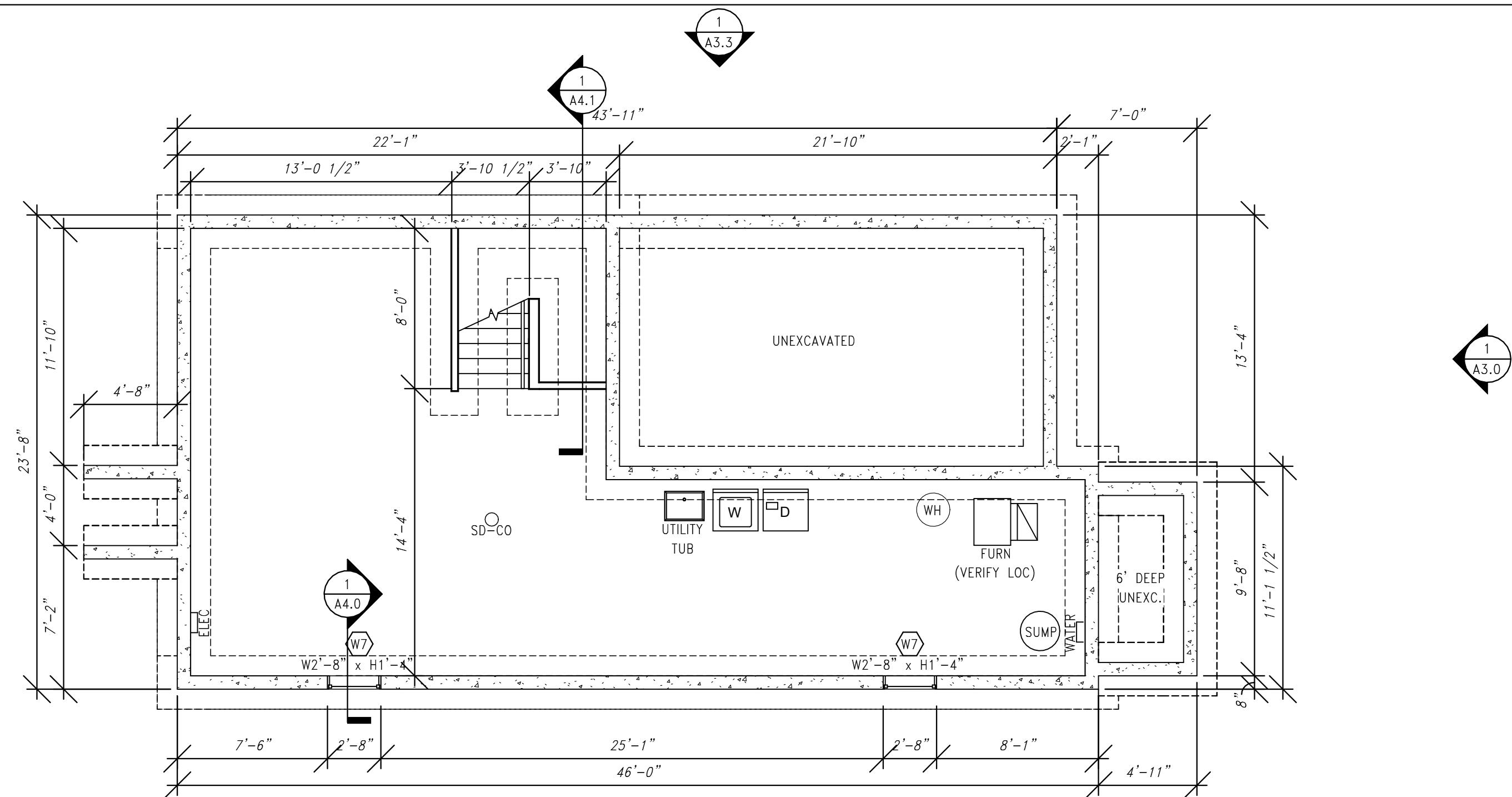
No.	Description	Date

SITE PLAN

Project number _____
Date 12/15/2025
Drawn by BORA T
Checked by Checker



A4.4



1

BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"

1
A3.1

The logo for Milwaukee Habitat for Humanity. It features a stylized green house roof above three blue human figures holding hands. Below the house is the word "Milwaukee" and to the right is the text "Habitat for Humanity®".

3726 N Booth St
Milwaukee Wisconsin
53213

Phone:414.562.6100

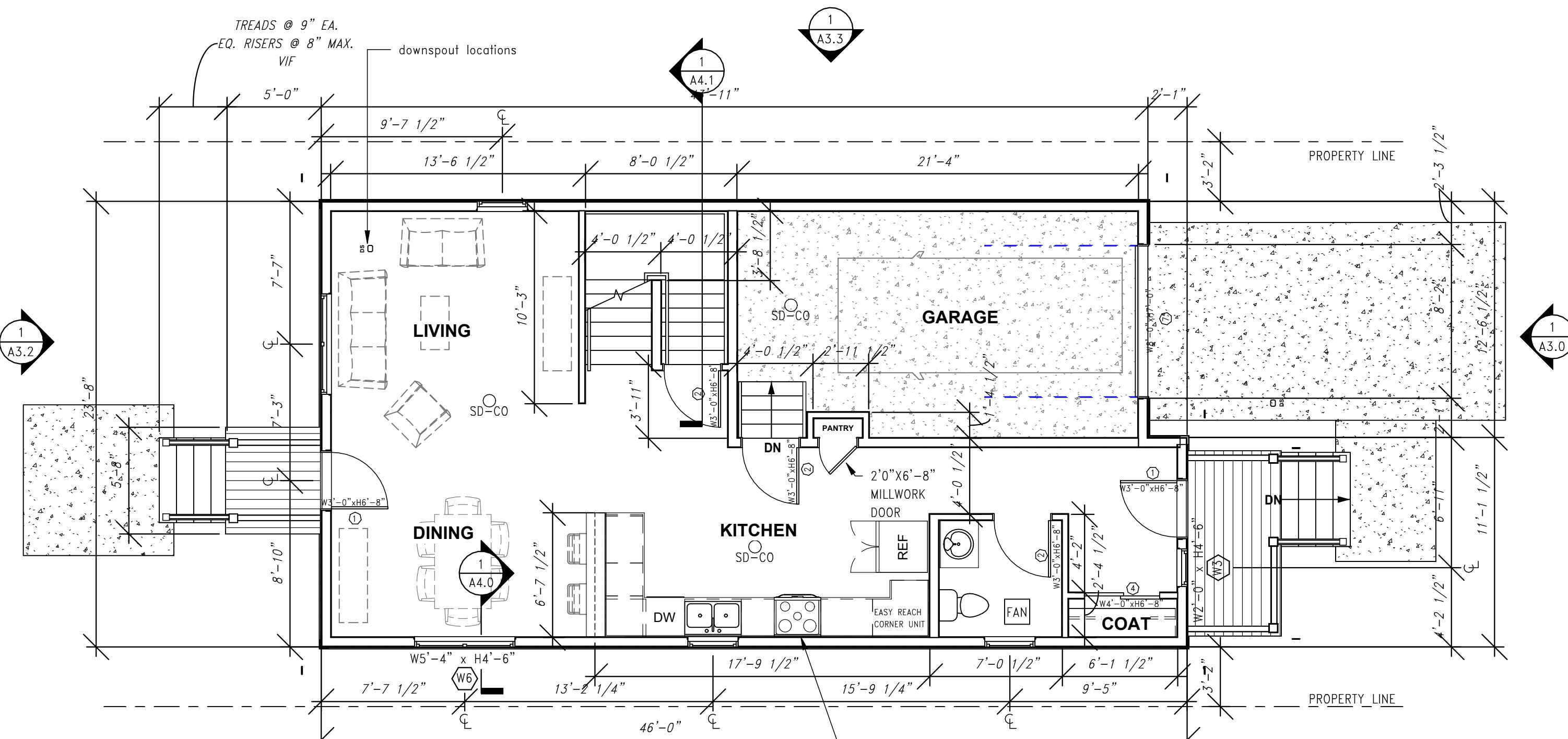
SINGLE FAMILY

4-BED HOUSE W-GARAGE

BASEMENT FLOOR PLAN

Project number	A1.0	
Date	12/15/2025	
Drawn by	Bora Toplari	
Checked by	Checker	Scale 3/16" = 1'-0"

1.0



1 FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin

Phone:414.562.6100

SINGLE FAMILY

4-BED HOUSE W-GARAGE

FIRST FLOOR PLAN

Project number

Date 12/15/2025

Date 12/13/2023 Drawn by Bora Toplulari

Drawn by _____ Bora Toplak _____
Checked by _____ Checker _____

A1.1

1

SECOND FLOOR

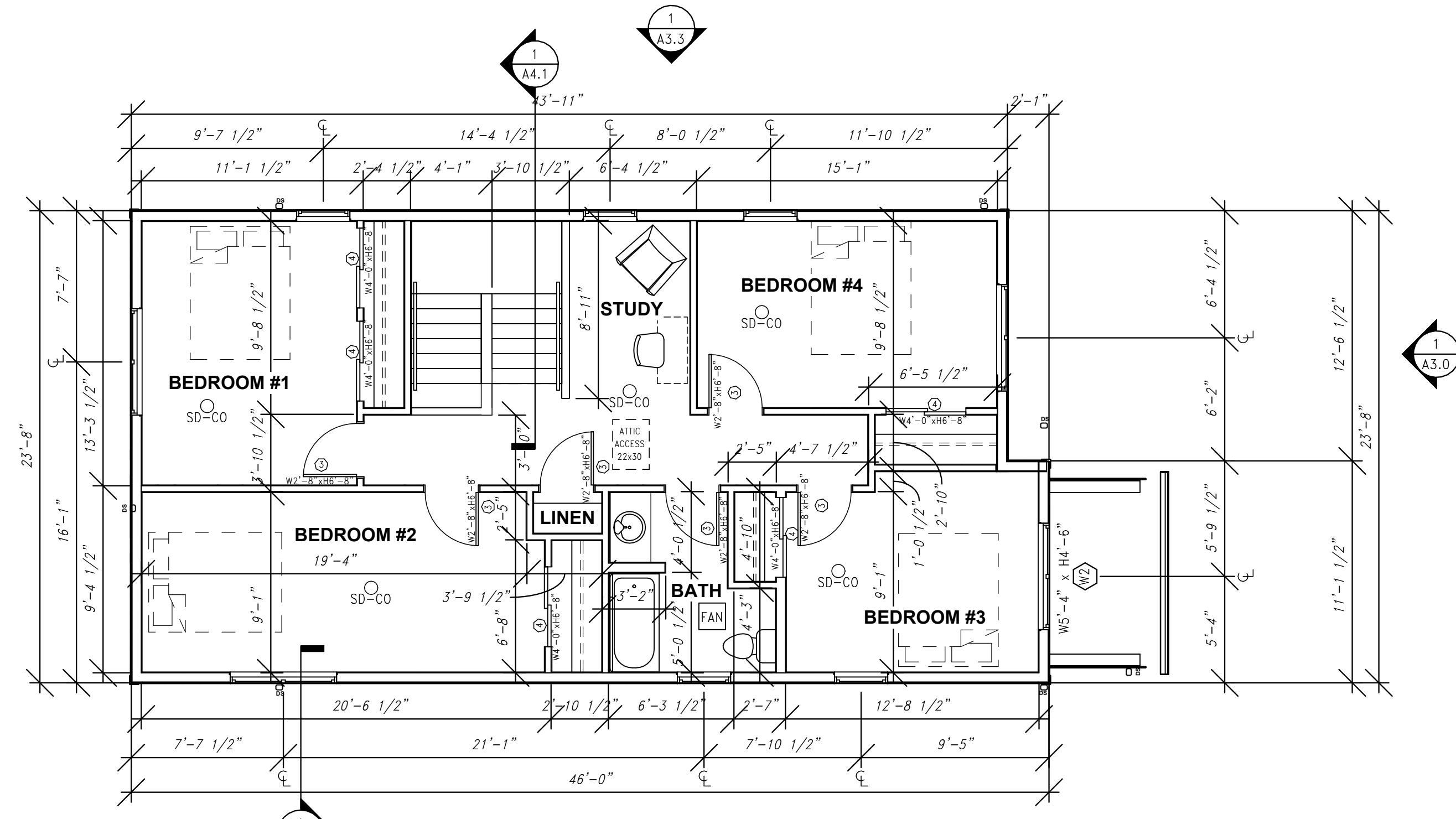
SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

Phone: 414.562.6100

SINGLE FAMILY
4-BED HOUSE W-GARAGE



1

A4.1

43'-11"

1
A3.3



29

No.

Description

Date

SECOND FLOOR PLAN

Project number

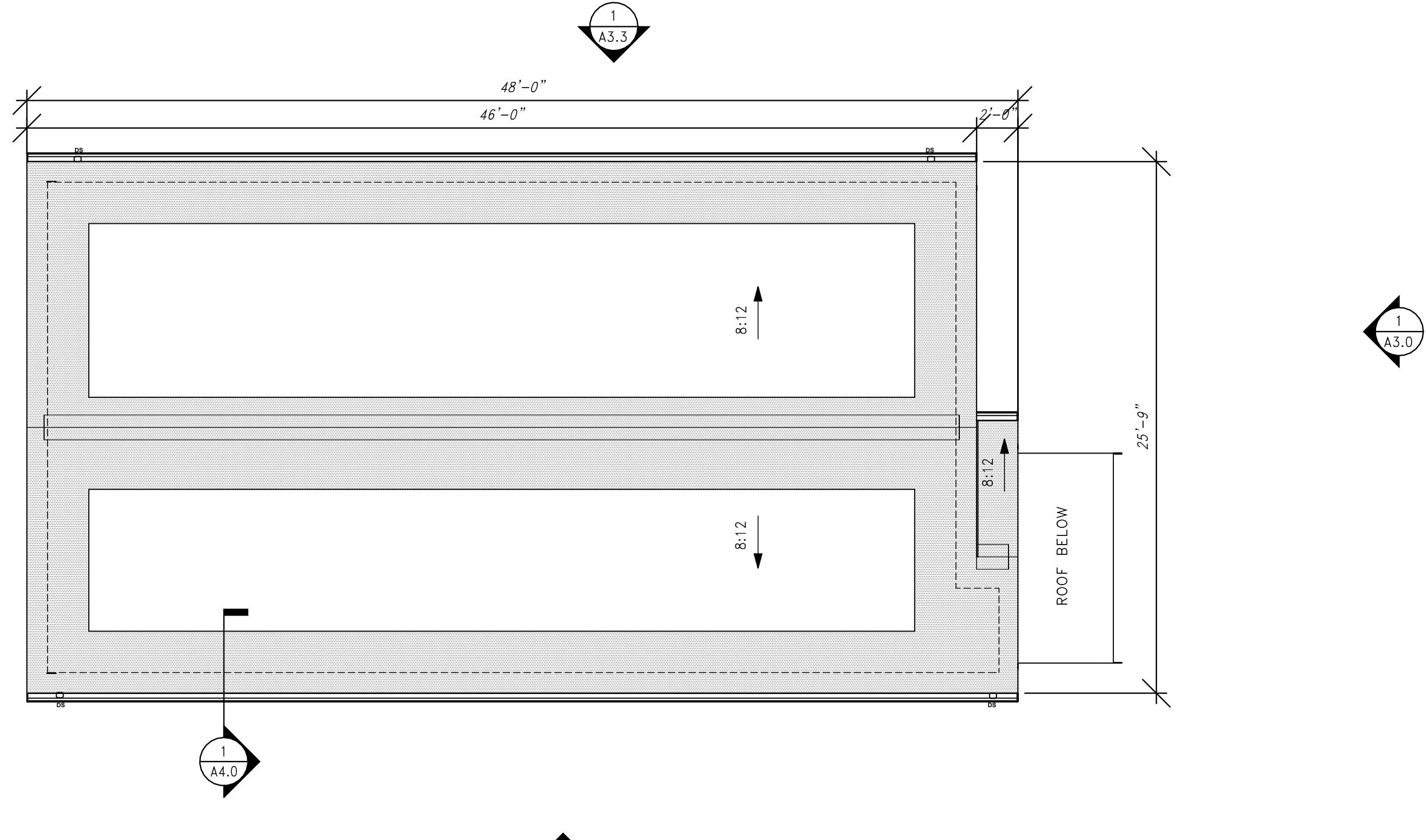
Date 12/15/2025

Drawn by Bora Topllari

Checked by

A1.2

Scale 3/16" = 1'-0"



1 ROOF PLAN

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

Phone: 414.562.6100

**SINGLE FAMILY
4-BED HOUSE W-GARAGE**

No.	Description	Date

ROOF PLAN

Project number _____
Date _____ 12/15/2025 _____
Drawn by _____ AWB _____
Checked by _____ Checker _____

A1.3

T.O. ROOF PEAK
126'-11"

12
8

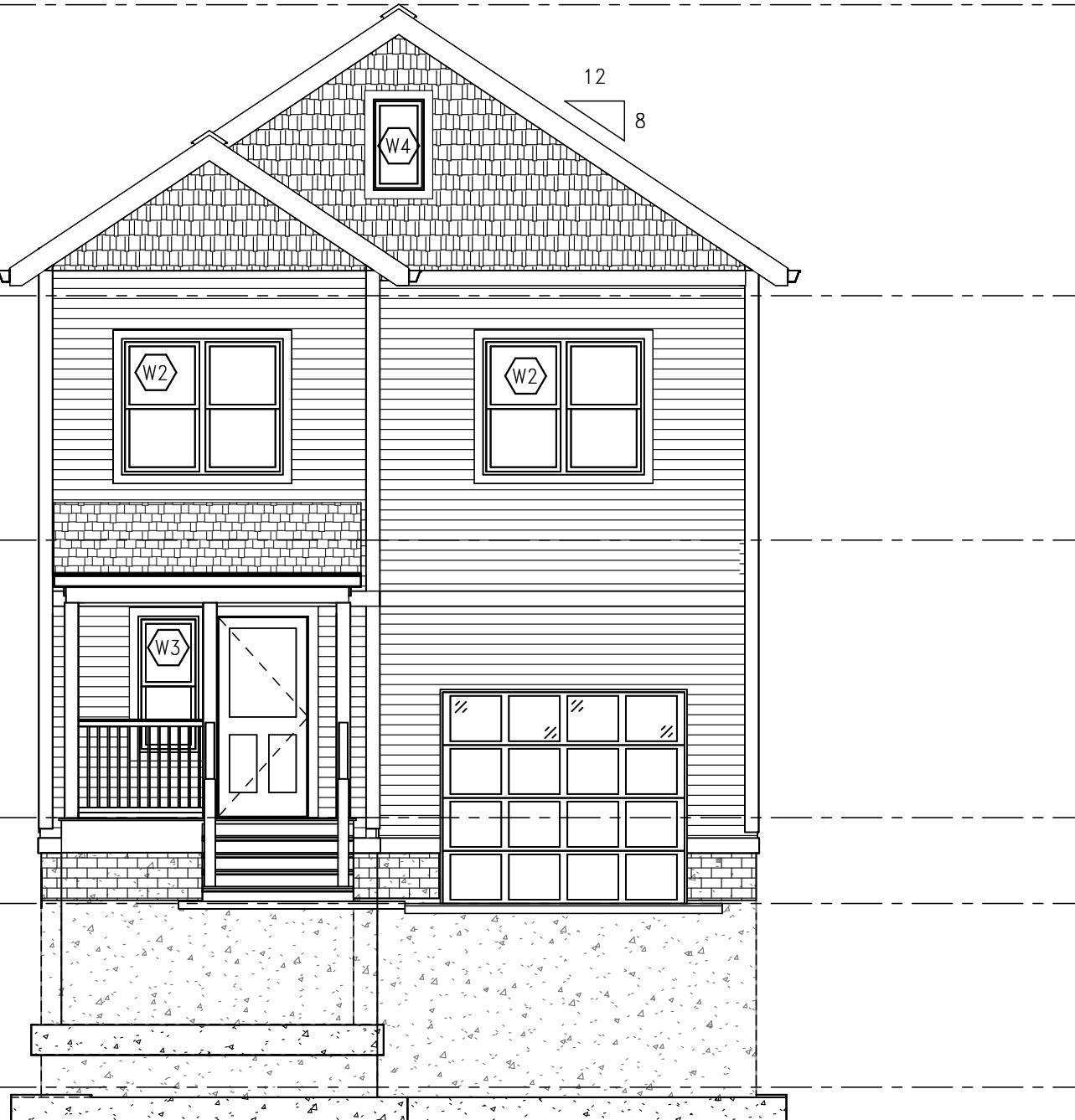
T.O. BEARING
117'-3 3/8"

SECOND FLOOR
109'-2 1/4"

FIRST FLOOR
100'-0"

FINISH GRADE - V.I.F.
97'-1 7/8"

BASEMENT
91'-0 7/8"



1

FRONT ELEVATION

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

Phone: 414.562.6100

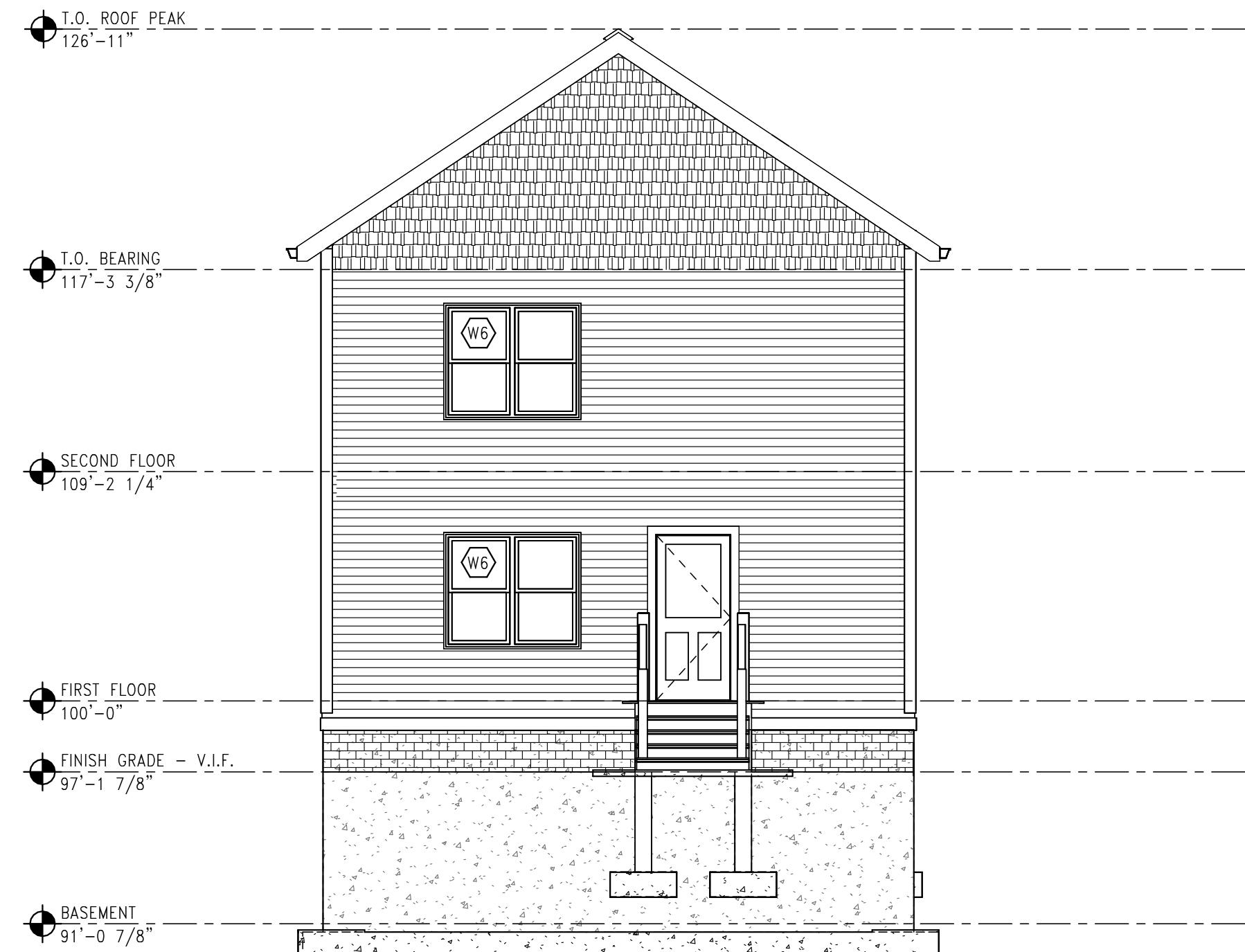
**SINGLE FAMILY
4-BED HOUSE W-GARAGE**

No.	Description	Date

FRONT ELEVATION

Project number
Date 12/15/2025
Drawn by Bora Topllari
Checked by Checker

A3.0



1

REAR ELEVATION

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212
Phone: 414.562.6100

**SINGLE FAMILY
4-BED HOUSE W-GARAGE**

No.	Description	Date

REAR ELEVATION

Project number _____
Date 12/15/2025
Drawn by Bora Topllari
Checked by _____

A3.2

T.O. ROOF PEAK
126'-11"

1
A4.1

T.O. BEARING
117'-3 3/8"

1
A4.0

SECOND FLOOR
109'-2 1/4"

33

FIRST FLOOR
100'-0"

FINISH GRADE - V.I.F.
97'-1 7/8"

BASEMENT
91'-0 7/8"



1

RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

Phone: 414.562.6100

SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

RIGHT SIDE ELEVATION

Project number
Date 12/15/2025
Drawn by Bora Topllari
Checked by Checker
Scale 3/16" = 1'-0"

A3.3



1 LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



3726 N Booth St
Milwaukee Wisconsin
53212

Phone: 414.562.6100

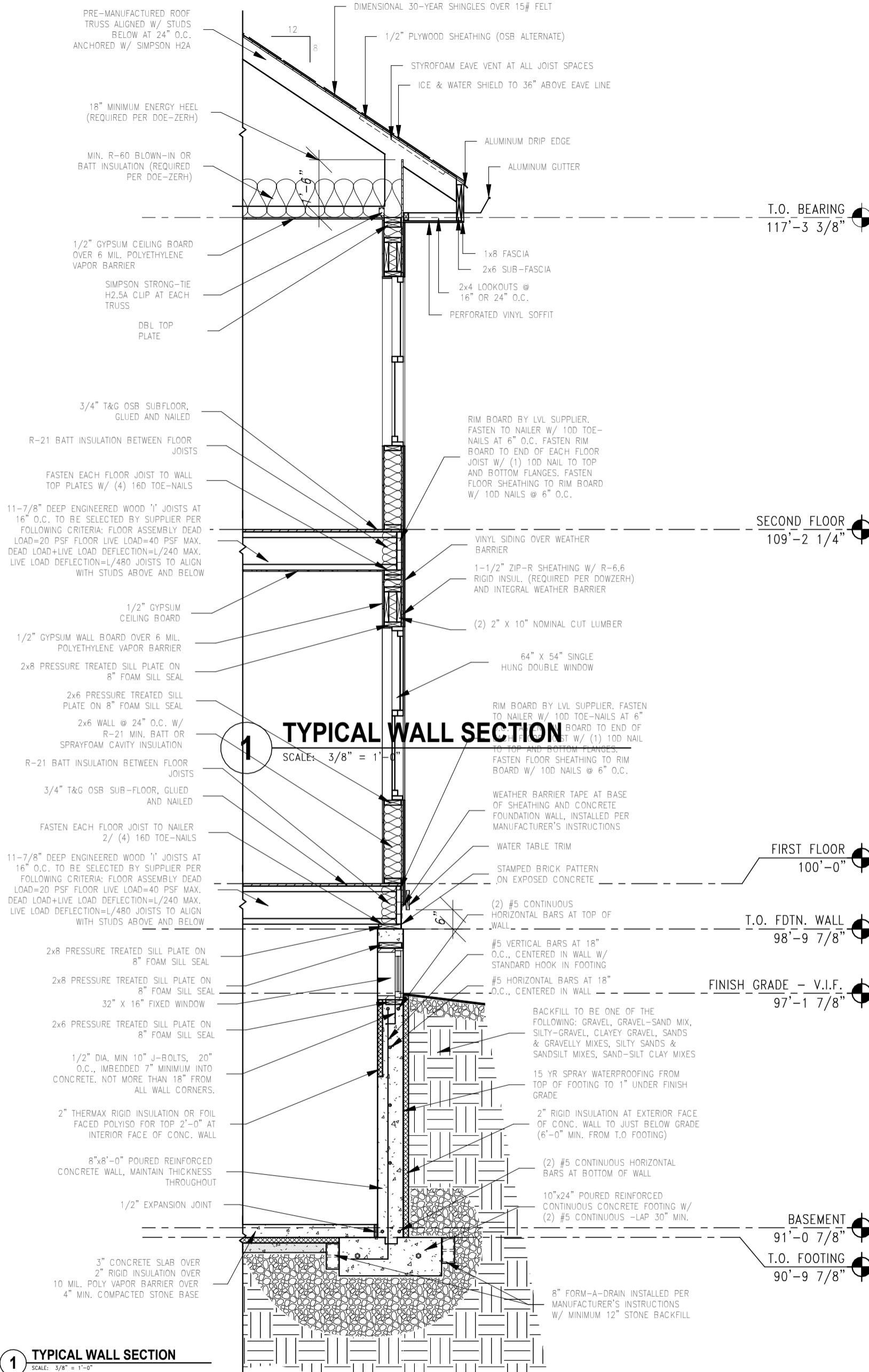
SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

LEFT SIDE ELEVATION

Project number
Date 12/15/2025
Drawn by Bora Topllari
Checked by Checker

A3.1



STRUCTURAL NOTES

All construction is intended to meet or exceed the Wisconsin Residential Building Code (Comm. 20 – 25). Refer to this code for any typical connections, member size, or detail not specifically shown.

Truss designer to use 30-9-9 @ 15% for minimum loadings and shall include required unbalanced loads and shall anticipate drift loads as required. Truss designer shall be responsible for all truss to truss connection designs. SIMPSON H5 TIES MUST BE USED AT THE END OF EVERY TRUSS.

Provide two studs minimum at all beam bearing locations.

Install all TJI joists in accordance with the manufacturers instructions. Provide all required accessories and hardware including bridging, rim joists and blocking.

LOADS:

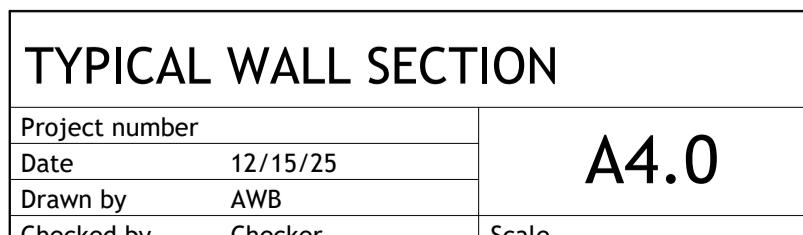
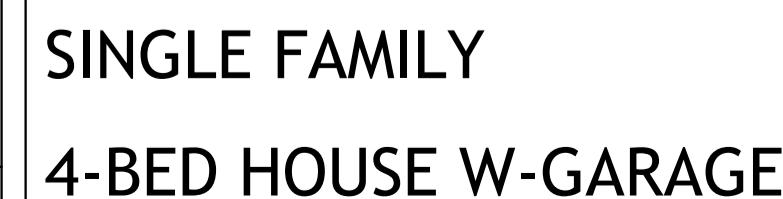
Roof Snow: 30 psf
Reduced Snow Load: 27.23 psf (slopes 8/12 or steeper)
Roof Dead Load: 18 psf
Floor Live Loads: 40 psf
Second Floor Dead Load: 18 psf (includes ceramic tile)
First Floor Dead Load: 10 psf
Wind Load: 20 psf
Wind Uplift: 20 psf
Soil Pressure: 2000 psf presumed (contractor to verify)
Frost Protection: 48" min.

GENERAL NOTES

- Provide handrail at every stairway of more than (3) risers for the full length of the stairway (interior or exterior).
- Provide guardrails on all decks more than 24" from grade or finish floor (interior or exterior).
- Provide tempered safety glazing on all windows near stairs or within a bathroom.
- Install interconnected smoke detectors hardwired with battery backup as required per code.
- Provide pressure treated lumber for all exterior framing or framing in contact with concrete or exposed to weather elements.
- Provide all bathrooms with exhaust fan with minimum capacity of 50CFM per minute.
- Provide security hardware at windows as required per Ch 217 – Milwaukee Code of Ordinances.
- Provide proper discharge of downspouts per all applicable codes.

MATERIALS

Concrete Strength: 3000 psi @ 48 days.
Wood Members: SPF#2 or better.
Provide treated lumber at all locations in contact with concrete or soil.
Steel Beams: A992 Grade 50 Steel
Columns: Steel Tube Grade 46 Steel
Base Plates: A36 Grade Steel
Anchor Bolts: A36 or Expansion type.



Lasting Affordability

Overall Understanding of Lasting Affordability

The purpose is to keep housing affordable for future generations of low- and moderate-income households.

In order to maintain long term affordability the homes will have resale restrictions. Milwaukee Habitat acts as the Program Manager and controls the resale of the home including a requirement to sell to another income-eligible buyer (or to Milwaukee Habitat) for a restricted resale price determined in accordance with the resale formula in the Covenant.

Key Details

99 Year Deed Restriction

- At the end of the 99 year deed restriction the current owner can re-sign a new deed document OR the Program Manager will calculate what the resale value is and the homeowner can pay or receive funds based on the appraisal

Resale

- If selling to a non-family member, must sell to a first time homebuyer who makes 80% or less of the median household income. With an exception made to go up to 120% if the home doesn't sell after six months
- With written permission from the Program Manager, after the homeowner's death the house may be transferred to a spouse or the child/children.
- The maximum resale amount is a simple 2% increase in value per year. However:
 - The seller may be eligible for a Capital Improvements Credit for an increase in sales value for some large home improvement projects such as adding a room or additional garage space. To be eligible for the credit for this and other major upgrades, the homeowner must work with the Program Manager prior and during the time the work is completed.
- Milwaukee Habitat as the Program Manager has the right of first offer to purchase the home
- At sale, a home inspection will be conducted and the homeowner may be required at the discretion of the Program Manager to repair items or to have those repairs paid for out of the home sale proceeds.

Other provisions of the deed

- The home may not be leased or rented.
- The owner must occupy the home for at minimum 8 months of each year.
- This may keep the homeowner from obtaining a home equity loan, debt consolidation loan, car loan or a similar loan that would use the home as collateral.

Property Taxes

Lasting affordability through deed-restricted homes affects property taxes because resale limits reduce a property's **market value**. Since assessments are based on fair market value, assessors typically use the **restricted** value rather than the price of comparable market-rate homes.

Key implications include:

1. Assessment Matches Restrictions:

Homes with long-term affordability requirements are assessed at their restricted resale value, ensuring fair taxation that reflects legally enforceable limits. Milwaukee Habitat's deed restrictions allow for a simple 2% increase in value from the sales price per year and so it's expected that the property tax assessment would increase at that rate per year.

2. Stable Tax Base:

Although these homes generate less tax revenue per unit, their values are more stable over time, contributing predictability to the municipal tax base.

3. Limited Fiscal Impact:

Long Term affordable units typically represent a small portion of local housing, so the reduction in total taxable value is modest while community benefits are substantial.

4. Supports Municipal Goals:

Long-term affordability advances goals like workforce stability, reduced displacement, and predictable housing costs, which can indirectly lower municipal service burdens.

5. Improves Public Understanding:

Communicating that lower assessments reflect legal restrictions—not a tax exemption—helps maintain transparency and trust.

Budget for Homes

Project Budget: West Allis (S 69th St & Beloit Rd)

2 new construction units built in 2026/2027

Model: front-facing one car garage

as of 12/17/25

USES	1 UNIT	2 UNITS	Notes
	Amount	Amount	
Production Costs			\$360,000/home
Hard costs	305,000	610,000	
Construction staff costs	55,000	110,000	
	\$360,000	\$720,000	
SOURCES	Amount	Amount	Notes
City of West Allis			\$75,000/home
HOME funds	75,000	150,000	2 homes * \$75,000/home
Additional Public Support			\$0/home
None	0	0	
Private Philanthropy			\$20,000/home
Financial donations	20,000	40,000	2 homes * \$20,000/home (in kind, contributions, grants & events)
Home Sales			\$250,000/home
Sales revenue (i.e. first mortgage)	250,000	500,000	2 homes * \$150,000/home
Down payment assistance - West Allis	5,000	10,000	2 homes * \$5,000/home (direct to homebuyer)
Down payment assistance - FHLBChicago	10,000	20,000	2 homes * \$10,000/home (direct to homebuyer)
	\$360,000	\$720,000	
	\$0	\$0	Revenue (SOURCES) less Expense (USES)

Note: The building design attached on site plan may have the foundation height adjusted based on driveway height and length.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28th, 2026
6:00 PM

7. Site, Landscaping, and Architectural Design Review for ABC Automotive, a proposed Light Motor Vehicle Service use at 1462 S. 81st St. (Tax Key No. 452-0263-001)

Overview and Zoning

Ashley Pollex has applied on behalf of ABC Automotive & Tire to expand their business operations and occupy 1462 S. 81st St. Formerly occupied by Bud's Transmission, this site has been used for Light Motor Vehicle Service operations for an extended period of time. Despite the presence of auto repair and services in this location, the neighborhood context for this site is largely residential and commercial, calling forth additional considerations to soften the proposed use's impact within the neighborhood.



Within a property zoned C-2, "Intended for a mix of uses in close proximity to residential areas that are compatible with the neighborhood scale", ABC Automotive proposes a Light Motor Vehicle Service use, which would operate as a continuing legal non-conforming use according to the West Allis Municipal Code. Because ABC Automotive has applied for Site, Landscaping, and Architectural Design approval for this site within 12 months of Bud's Transmission leaving this site, no Conditional Use Permit is required for this proposal.

ABC Automotive currently operates a repair shop at 8704 W. Greenfield Ave., with the intention to use the Greenfield location for auto detailing and fully relocate the automobile servicing component of their business to 81st St. At this new location, ABC Automotive will engage in auto diagnosis, vehicle inspections, steering, suspension, engine, and transmission repair, tire and break replacement, and general routine maintenance operations. No body work or painting will be conducted at the proposed site. All automobile services will be performed indoors.

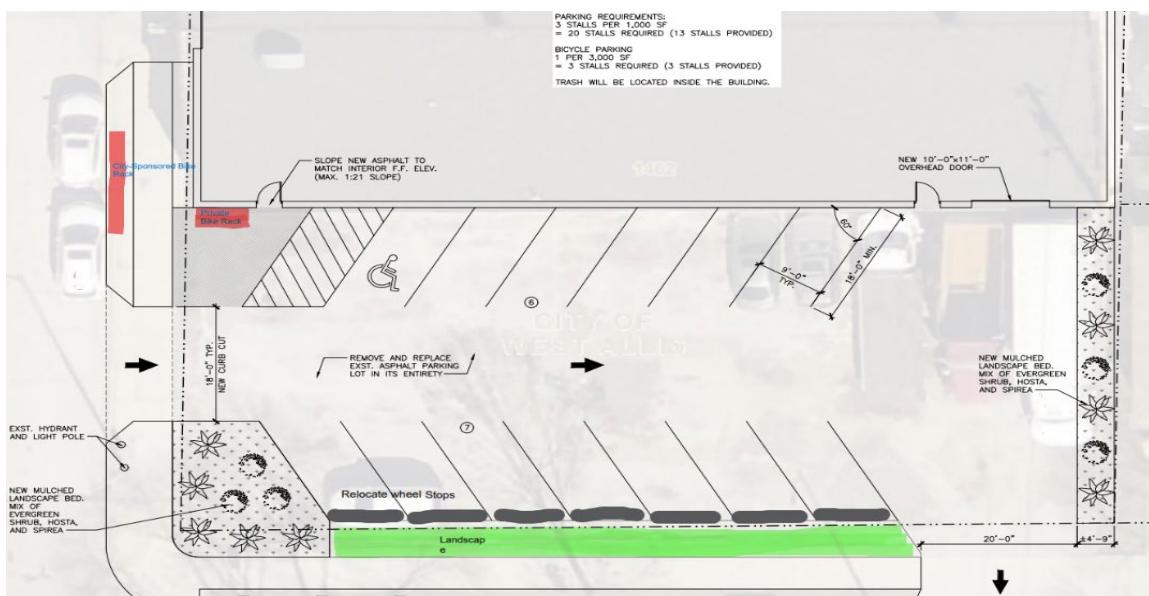
The business plans to open as soon as it has received Plan Commission approval and Occupancy approval. The proposed hours of operation for the business are as follows:

Monday – Friday: 9 am – 5 pm

Site and Landscaping Plans

The existing building is roughly 7,000 SF in area and is situated on a 13,000 SF lot. Aside from the area the building encapsulates, a large proportion of the lot is paved for an existing parking lot. Planning and Code Enforcement staff note that the existing parking lot is in exceptionally poor condition, however, the applicant has indicated plans to repave the parking lot and reconstruct the curb cut. The newly paved parking lot will accommodate 12 parking stalls, with one ADA stall provided near the new storefront entrance.

Bicycle parking is required for this project, and the applicant has noted that 3 bicycle parking stalls will be provided. The location of these stalls, and whether they will be privately-owned or city-sponsored remains up for debate. Two locations (highlighted in red) for bicycle parking are proposed on the site plan below: a city-sponsored rack adjacent to 81st St. and a privately-owned rack next to the new proposed storefront entrance.



Several landscaping changes are proposed in this project. New landscaping will be placed along 81st St., encompassing a previously paved area as well as an old parking spot. A mulched planter bed with evergreen shrubs, hostas, and spirea will be planted here. These plantings are mimicked in a newly proposed planter bed to the east of the parking lot, abutting a residential property to provide some new screening for the parking lot, softening the shop's presence to its residential neighbor. In addition to these newly landscaped areas, Planning staff has requested that ABC Automotive relocate the wheel stops on the

property to create a new landscaped region abutting W. Orchard St. (as indicated in green on the plan revisions), however this proposal is still awaiting feedback from ABC Automotive. Garbage receptacles will be stored within the workshop area of the building.

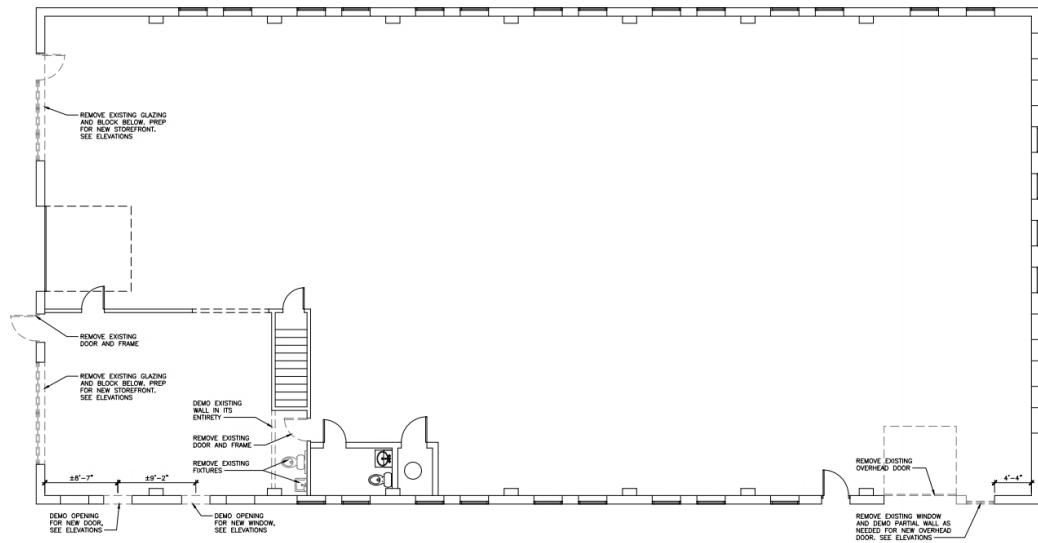


Upon staff's inspection of the property, it is noted that several vehicles, trailers, and pallets of assorted materials have been non-compliantly stored on site. Staff note that these existing conditions cannot remain upon ABC occupying the site, and that no vehicles shall be staged on the lot in a manner that blocks curb cuts, internal vehicular circulation, or in a manner that allows vehicles to be stored for extended periods of time.

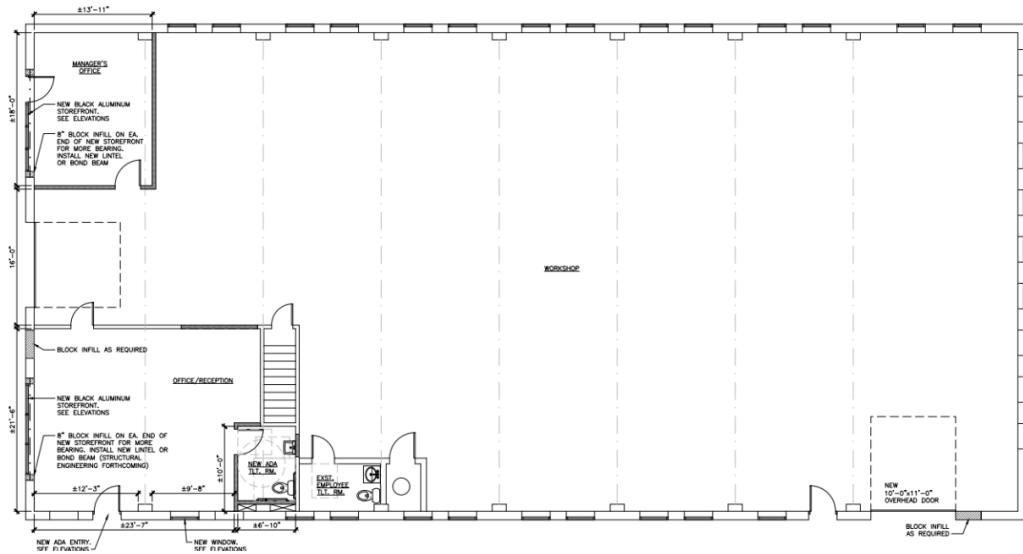
ABC Automotive has indicated that vehicles will be staged in the parking lot for a few days only until owners pick up the vehicles, and that no automobile service work will be performed outdoors.

Floor Plan

Demo Plan



New Floor Plan



The demolition plan for this project shows the removal of existing windows to prepare for a new storefront to the shop area. This demolition is mirrored further to the southern customer reception entrance of the building. Within the currently sited customer entrance area, the existing windows will be removed and replaced, and the existing entrance will be removed and relocated. Along the southernmost wall of the customer reception area, a wall will be partially demolished to accommodate a new entrance to the parking lot as well as a new opening for a window. The old restroom for the building will be removed and replaced with an ADA-compliant restroom for public use. The southernmost wall of the workshop will see the removal and replacement of the existing overhead door as well as a partial wall demolition to accommodate a new, larger overhead door to allow vehicles to maneuver more easily to and from the parking lot.

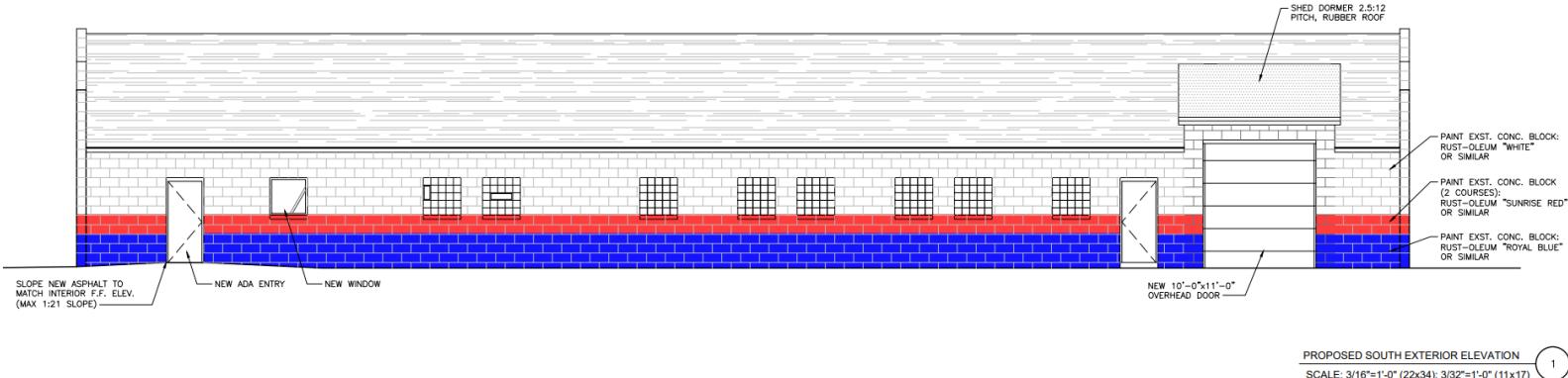
Architectural Plan



PROPOSED WEST EXTERIOR ELEVATION
SCALE: 3/16"=1'-0" (22x34); 3/32"=1'-0" (11x17)

2

The submitted architectural plans largely mirror the changes proposed in the project's floor plans. The western exterior elevation marks the new storefront entryway to the workshop and removal of the old customer service entryway. Notably, the building will be repainted in rust-oleum white, with sunrise red and royal blue striping surrounding the lower portion of the building.



This striping continues throughout the building to the southern exterior elevation. Staff have noted that while the building is in dire need of repainting, the current plans are potentially too bold for the character of the neighborhood. To soften this impact, it is recommended that ABC either amends the color scheme of the striping or opts for another, less prominent way to display the color (smaller striping area, color accents toward the storefront, or reflect the colors in signage). The relocation of the customer service storefront is noted along with the new window adjacent to the ADA entryway. Approaching the back of the lot, the new 10' x 11' overhead door is shown below a new shed dormer. These plans indicate that the parking lot will be repaved in asphalt, sloping slightly toward the building to match the interior floor elevation. More detail is requested for the exact scope of this repaving plan to determine whether a Plan Review application and Stormwater Checklist will be required for the Code Enforcement and Engineering departments.

Although not indicated on the elevation plans, both Planning staff and Code Enforcement staff have noted additional maintenance required for the building. There is a [property maintenance request](#) for the site indicating that "exterior building surfaces (roof, chimneys, walls, foundations, overhangs, etc.) shall be maintained in good repair so as to prevent deterioration and preserve the visual aesthetic character of the neighborhood". The scope of some of the roofline repairs is indicated below:



Design Guidelines

This project is considered a minor redevelopment. Design guidelines are not required for this project.

Recommendation: Plan Commission approval of the Site, Landscaping, and Architectural Design Review for **ABC Automotive, a proposed Light Motor Vehicle Service use at 1462 S. 81st St. (Tax Key No. 452-0263-001)** subject to the following conditions:

1. Revised site, landscaping, and architectural elevation plans being submitted to show the following: (a) Confirmation of exterior maintenance improvements specifically along the roofline of the building as indicated in [PM-25-430](#); (b) Updated architectural elevations showing either a different color schematic proposed for the repainting of the building or a different, more appropriately scaled way to incorporate the accent colors of the business subject to Planning & Zoning approval; (c) Indication of bicycle rack type (city-sponsored or privately-owned) and the amended location of bicycle parking on a site plan; (d) Final confirmation of proposed landscaping areas indicated on site plan; (e) Confirmation that the vehicles, trailers, and pallets of materials currently occupying the parking lot will not remain on site upon ABC Automotive gaining occupancy.
2. Submission of more detailed paving plans to determine the scope of repaving operations and proposed drainage for the parking lot. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
3. Planned work or modifications within City right-of-way shall be coordinated with City Engineering:
 - a. Driveway permits being applied for and obtained through City Engineering for proposed curb cut modification
4. Building permits being applied for with the Code Enforcement Department for review.
5. Signage permits being applied for with the Planning and Zoning Department for review.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28th, 2026
6:00 PM**

8. Site, Landscaping, and Architectural Design Review for Pretty Paws Pet Spa, a proposed Animal Boarding use, at 2060 S. 61st St. (Tax Key No. 475-0271-000)

Overview and Zoning

Kayla Ahles-Birkholz is taking her many years of experience in the pet grooming industry to relocate her business and expand its scope of operations at [2060 S. 61st St.](#) A Site, Landscaping, and Architectural Design Review permit is required for Pretty Paws Pet Spa due to the number of years that this building has sat vacant after accommodating the building's previous use as Villa Family Living Centers, who operated a storage facility to furnish group homes for seniors.



The property is zoned I-1, "Intended for lower-intensity industrial uses in closer proximity to residential and commercial uses". While the applicant's proposed scope of operations is more focused on the pet grooming aspect of her business, Planning and Zoning is classifying this business as Animal Boarding due to the higher level of intensity associated with pet boarding. Animal Boarding operations are considered Limited uses within the I-1 district and is subject to the following regulation: "Permitted if no noise from the activity is audible from a lot used for residential purposes".

While the adjacent property to this site is zoned I-1 as well, the use of the lot is presently residential. The applicant has been informed of the Limited use criteria for her scope of operations at this site and has agreed to formulate contingency plans for her boarding operations. Some of these plans discussed include:

- Not accepting very vocal dogs for boarding/grooming and referring these clients to other boarders and groomers.
- Relocating boarded dogs to the non-residential-adjacent side of the building temporarily if they are found to be noisy.

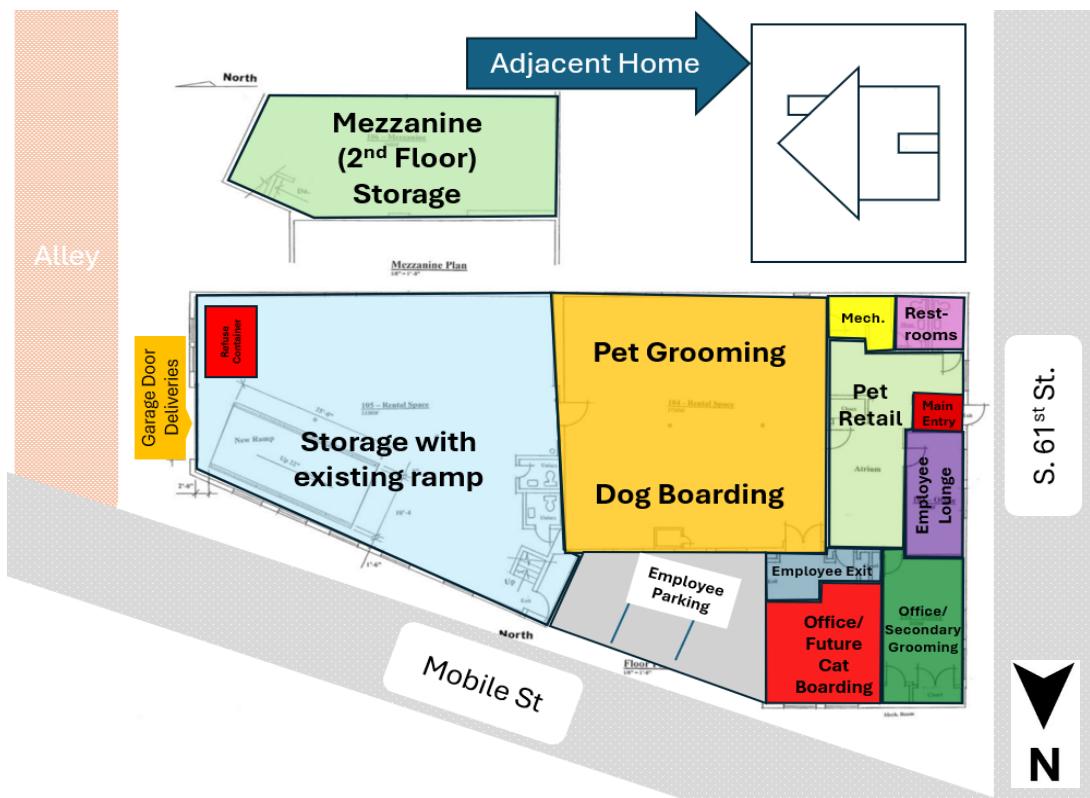
- While the section of the building intended for dog boarding is well-insulated with small windows that will remain closed, the applicant has agreed to further sound proofing measures if the boarding operations are audible to adjacent residential neighbors.

The business plans to open as soon as it has received Plan Commission approval and Occupancy approval. While two employees will be on site at present, the applicant hopes to have up to four employees at this location in the future. The proposed hours of operation for the business are as follows:

Monday – Saturday: 8 am – 4 pm

Sundays: Closed, boarding attendant on site

Site and Landscaping Plans



A site plan was submitted by the applicant; however, no major site changes are proposed. The building area is roughly 6,300 SF and takes up a majority of the lot dimensions, making the expansion of landscaping on site difficult to recommend, though ample landscaping exists presently on site. The existing landscaping for the property is well-maintained and is located primarily near the proposed main entrance, off of 61st St., with the applicant noting that the existing landscaping features will remain at this location. Minor maintenance, such as hedge trimming, is anticipated by the applicant and will be addressed in the Spring of 2026. Outdoor dog recreation areas, such as a dog run or outdoor kennels, are not

proposed by the applicant. Boarded dogs will be individually leashed and walked around the surrounding neighborhood.



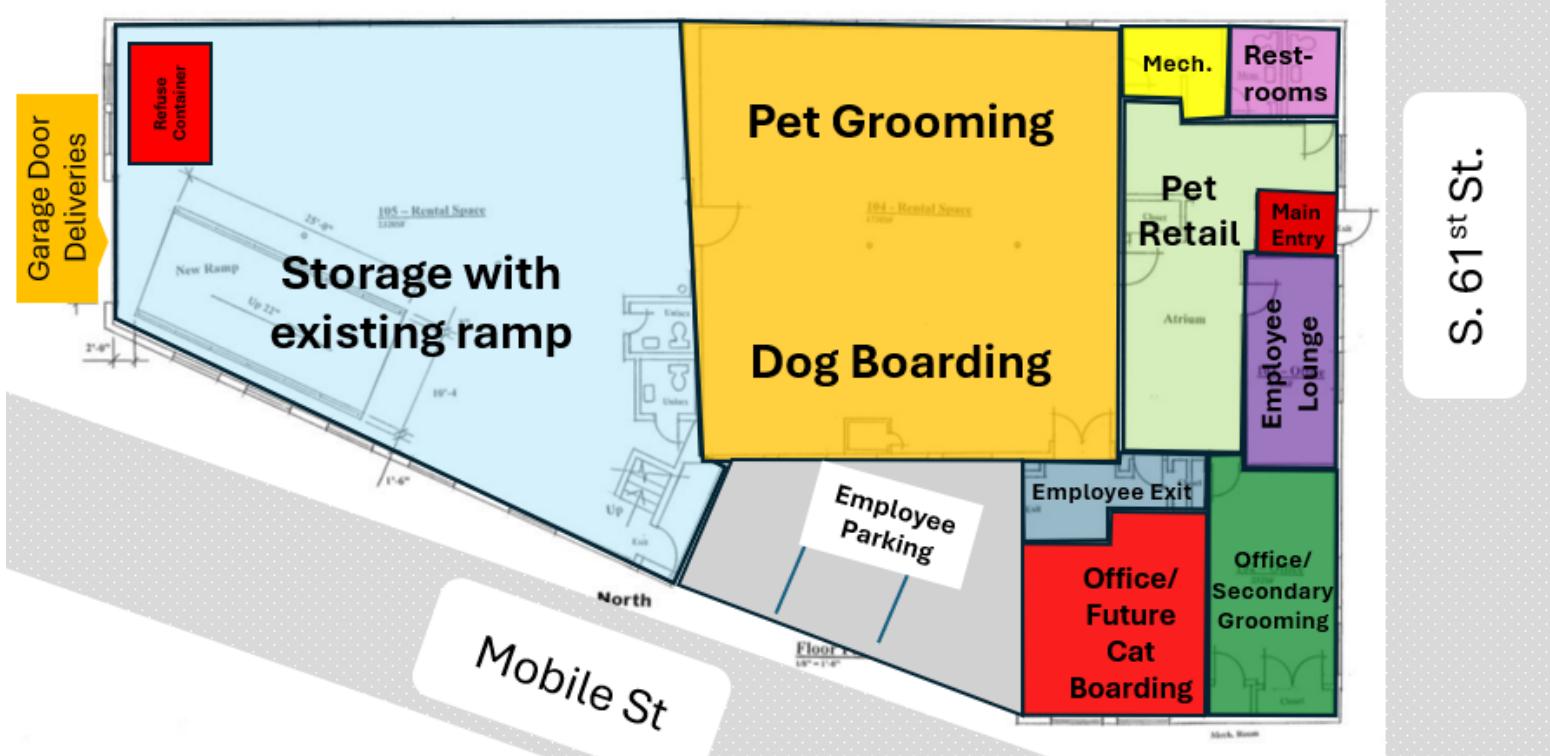
The refuse container that will service this site will be stored indoors in the storage area indicated on the site plan. On commercial refuse pick-up days, this container will be rolled adjacent to the alleyway for disposal services. Employee parking is the only off-street parking available on site. Although this area will not be striped, two to three employee vehicles can park on site in the small, paved area indicated above. Customers will utilize street parking along either 61st St. or Mobile St. to access the business.

Some form of signage may be proposed by the applicant in the future, though no plans have been specifically shared with the Planning team at this time. The applicant has mentioned the potential to create a mural on one side of the building's exterior in the future once the business is more established and funding is available. If a future mural is more concretely proposed, these plans will be shared with the Plan Commission.

Architectural Plan

No major changes to the exterior of the building are proposed as part of this project. However, upon inspection staff noticed that the rear/east facing wall of the building needs maintenance (faded/chipping paint). Staff recommend minor restoration of the rear façade's paint as indicated in the image above.

Floor Plan



A floor plan has been submitted by the applicant showing the designations of uses within the interior of the building. Customers will utilize street parking and enter in the main entrance off of 61st St. into the customer reception and pet retail area. Just east of this entrance, the pet grooming and dog boarding area will be accessible to staff, with first and second floor (mezzanine) storage located to the east of the central operations for the business. There is a garage door on the first-floor storage room where small-scale supply deliveries will be received and a commercial refuse container will be located in this room.

To the south of customer reception and pet boarding, a small mechanical room and two restrooms are located. To the north of the customer reception area, an employee lounge, office/secondary grooming area, and office/future cat boarding area are located. This secondary grooming location will be used for animals that are noisier in consideration of the adjacent residences to this site. Additionally, the business aims to become established before pursuing cat boarding, so this is indicated on the plans as a future possibility. Adjacent to the indicated offices, there is another exit that employees will use to access a small parking area off of W. Mobile St.

Design Guidelines

This project is considered a minor redevelopment. Design guidelines are not required for this project.

Recommendation: Plan Commission approval of the Site, Landscaping, and Architectural Design Review for Pretty Paws Pet Spa, **a proposed Animal Boarding use, at 2060 S. 61st St. (Tax Key No. 475-0271-000)** subject to the following conditions:

1. A revised site and landscaping plan being submitted to show the following:
 - (a) confirmation of exterior maintenance improvements specifically on the rear building façade.
2. A signage plan or creative signage (mural) plan being submitted for design review and permitting if proposed/applicable.

Appendix I: List of Services Proposed





PRETTY PAWS PET SPA

PRICE LIST

DOG GROOMING:

SMALL BREED (UNDER 20 LBS)

Bath & Brush	\$47-\$58
Full Groom	\$78-\$88

MEDIUM BREED (20-50 LBS)

Bath & Brush	\$58-\$100
Full Groom	\$88-\$120

LARGE BREED (50-100 LBS)

Bath & Brush	\$100-\$180
Full Groom	\$100-\$200

EXTRA LARGE BREED (OVER 100 LBS)

Bath & Brush	\$100+
Full Groom	\$100+

CAT GROOMING:

Bath & Brush	\$80-\$100
Full Groom	\$80-\$140

ADDITIONAL SERVICES:

Nail Trim Walk In - Buffing	\$15- \$20
Ear Cleaning - With Nails	\$15- \$25
Teeth Brushing - With Nails	\$15- \$25
De-Shedding Treatment	\$20
Flea Bath	\$25
Package Deal	\$22
Add On Services	\$6-\$8

Prices subject to change without notice, always feel free to confirm price before leaving pet.

Pet Grooming Price List

Grooming Price Based off
Coat Type, Haircut, Pet
Behavior, and Coat
Condition.

Bath Packages

- Bath & Dry
- Nail Trim
- Ear Cleaning
- Essential Trim
- Analys by Request



Starts at
\$47.00 +

Small Dog

- Bath & Dry
- Full Body Haircut
- Nail Trim
- Ear Cleaning
- Analys by Request

Starts at
\$78.00 +

Large Dog

- Bath & Dry
- Full Body Haircut
- Nail Trim
- Ear Cleaning
- Analys by Request

Specialty Services:

• Flea & Tick	\$25
• De-Shedding	\$20
• Pet Safe Dye	\$25+
• Nail Trim Walk In	\$15-\$20
• Coat Treatment	\$20

Add On Options:

• Facial	\$6
• Dremel	\$6
• Paw Soak	\$8
• Paw Balm	\$6
• Ear Flush	\$15
• Teeth	\$6



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
6:00 PM

9. Ordinance to amend zoning rules for residential accessory buildings.

Overview

There are two parts to the proposed ordinance amendment. A summary of this ordinance amendment was before the Common Council Economic Development Committee on January 20, 2026 and the committee favored the change and directed staff to prepare a zoning ordinance amendment. As with all potential ordinance amendments, part of the process requires Planning Commission consideration. Your recommendation will be forwarded to the Common Council and a public hearing will be conducted prior to Council action.

Part 1 ADU's

West Allis' zoning code allows **Accessory Dwelling Units (ADU's)** in all residential districts and in most commercial districts when accessory to, and on the same property as the existing dwelling (single- or two-family house). ADU's are defined as a dwelling unit other than the principal dwelling unit.



What's intended with this change?

Section [19.42](#) of the zoning code regulates the size, location, and height of ADU's. The red and green notes within the existing table are the areas of proposed change as follows:

Proposed Ordinance amendment

[19.42 Residential Accessory Buildings](#)

No residential accessory building may exceed the minimum and maximum standards set forth in the table below. If any cell is blank, no limit is imposed.

	Accessory Dwelling Unit	Detached Garage	Other Accessory Building
Exterior Wall Height (maximum)	20'	10'	10'
Height (maximum)	Height of principal building, not to exceed 20'	Height of principal building, not to exceed 18'	15'
Building Coverage (maximum)	50% of principal building, not to exceed 800 sq. ft.	1,000 sq. ft.	300 sq. ft.
Setback from Principal Building (minimum)	10'	10'	10'
Front Setback (minimum)	60' <small>Per Zoning District</small>	60'	60'
Rear Setback - abutting alley (minimum)	5'	5'	5'
Rear Setback - not abutting alley (minimum)	3'	3'	3'
Side Setback (minimum)	3'	3'	3'

- Unless otherwise described, detached structures like car ports, sheds, pergolas, gazebos, greenhouses are considered "Other accessory buildings."
 - Residential Accessory Structures over 150-sf shall require a building permit. The design and construction of any accessory building shall be similar to or compatible with the design and construction of the main building. The exterior building materials, roof style, and colors shall be similar to the main building or shall be commonly associated with residential construction.
 - When constructed to be physically attached to the principal building, accessory dwelling units, garages and/or other accessory buildings are subject to the specific zoning district setback and lot coverage requirements within WAMC sec. 19.41.
- Currently an accessory dwelling must be setback at least 60-ft from the front lot line. While ADU's are allowed in front, side, and rear yards, the 60-ft setback requirement in most cases forces an ADU to be situated in the rear yard.
 - The amendment if passed would establish the front yard setback for an ADU to be compatible to the minimum front yard setback to what's allowed in the subject zoning district (see table 19.41 below). This would allow more flexibility in placement of the ADU within the yard area.

[19.41 Building Size And Location](#)

No building, except a residential accessory building, may exceed the minimum and maximum standards set forth in the table below. If any cell is blank, no limit is imposed.

Buildable Space (click link for diagram)	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4
Height (maximum)	35'	35'	35'	40'	85'	65'	85'	85'	105'
Front Setback (maximum)				40'	30'	20'	0'	10'	20'
Front Setback (minimum)	30'	25'	20'	10'					10'
Rear Setback (minimum)	25'	25'	10'	10'					See (1)
Side Setback (minimum)	8'	5'	3'	3'					See (1)
Density	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4
Floor Area Ratio (maximum)									
Lot Coverage (maximum)	40%	40%	50%	60%					
Lot Size	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4
Lot Width (maximum)		150'	100'	80'					
Lot Width (minimum)	75'	50'	40'	30'					

Comparison with other Codes

Our code currently requires a 60-ft distance from the front yard lot line, and in most cases this prohibits development of an ADU alongside the main home. This limitation was not the intended outcome when we crafted this section of the code in 2022. Our code currently mirrors what we typically allow for a detached garage and other accessory buildings, which was perhaps an oversight since we otherwise allow ADU's to be located in any yard according to section 19.43. The attached ordinance eliminates the 60-ft setback for an ADU building and simply allows construction of an ADU in alignment with the zoning district.

By comparison, Wauwatosa's zoning code for ADU's doesn't require a front yard setback requirement (other than indicating not in front of the primary house).

Best practices: flexibility with neighborhood context & compatibility in mind. This permits homeowners more flexibility while prescribing a 60-ft front yard setback across the board. The reduction in setback also reduces costs to the property owner when considering the distance to hook-up into utilities.

Part 2 Other Accessory Buildings

Code Enforcement has suggested we consider adding some language into our code on car ports, and further clarifying the part of sec. 19.42 classified as "Other Accessory Buildings."

Certain accessory structures like carports can be relatively inexpensive structures that may be [purchased online](#) from a variety of retailers. The purpose of the ordinance amendment is not to prohibit such accessory structures but rather update the zoning code to clarify their place, size, design. *In general*, the design and construction of any garage, carport, or storage building shall be like or compatible with the design and construction of the main building.

In addition to the ordinance (if passed), Planning and Code Enforcement will also update the existing customer handout on residential accessory structures which currently covers accessory buildings like garages and sheds to include some language on car ports, pergolas, and similar. For example, this would likely include prohibited materials (see Green Bay), monolithic slab with continuous rebar in a thickened perimeter, or just installed per manufacturer requirements as well as a parking slab consisting of concrete, and prohibition on storage of items that are not designed for the outside elements. Code Enforcement shared a [policy flyer that Green Bay uses](#). It is worth noting that GB allows car ports, but not the metal or plastic types shown.

Recommendation: Common Council approval of an ordinance to amend zoning rules for residential accessory buildings., subject to Common Council public hearing and approval (schedule to be determined).

Residential Accessory Buildings



Any building, or structure, or dwelling other than the principal building

19.42 Residential Accessory Buildings Ordinance amendment consideration

19.42 Residential Accessory Buildings

No residential accessory building may exceed the minimum and maximum standards set forth in the table below. If any cell is blank, no limit is imposed.

	Accessory Dwelling Unit	Detached Garage	Other Accessory Building
Exterior Wall Height (maximum)	20'	10'	10'
Height (maximum)	Height of principal building, not to exceed 20'	Height of principal building, not to exceed 18'	15'
Building Coverage (maximum)	50% of principal building, not to exceed 800 sq. ft.	1,000 sq. ft.	300 sq. ft.
Setback from Principal Building (minimum)	10'	10'	10'
Front Setback (minimum)	60' Per Zoning District	60'	60'
Rear Setback - abutting alley (minimum)	5'	5'	5'
Rear Setback - not abutting alley (minimum)	3'	3'	3'
Side Setback (minimum)	3'	3'	3'

1. Unless otherwise described, detached structures like car ports, sheds, pergolas, gazebos, greenhouses are considered “Other accessory buildings.”
2. Residential Accessory Structures over 150-sf shall require a building permit. The design and construction of any accessory building shall be similar to or compatible with the design and construction of the main building. The exterior building materials, roof style, and colors shall be similar to the main building or shall be commonly associated with residential construction.
3. When constructed to be physically attached to the principal building, accessory dwelling units, garages and/or other accessory buildings are subject to the the specific zoning district setback and lot coverage requirements within WAMC sec. 19.41.

1. ADU's

- Existing code sec. 19.42 requires a 60-ft front yard setback (like a garage).
- ADU's otherwise allowed in front, side, and rear yards per 19.43
- Consideration of amending ordinance to reduce setback requirement consistent with zoning district.

2. Other Accessory Buildings/structures

- Added clarifications (notes 1-3)
 1. Carports are “Other Acc. Bldgs.”
 2. Design criteria (of note a policy document (like the Green Bay example) could be developed w/ garage/shed handout.
 3. If attached zoning district rules apply when part of main building envelope.



PROHIBITED



Round Top Shelters or Portable structures, enclosed by walls of fabric or plastic film AND metal carports are prohibited in residential districts of the City of Green Bay, per Section 44-590, Green Bay Zoning Code.

Structures will be ordered to be taken down



ADU, Existing Zoning Code example 6105 W Lapham St.

Existing 58x120-ft lot zoned RB/residence
Existing 1,676-sf duplex (main/principal building)

Proposal to build a 16x25-ft home

- 400-sf footprint
- w/ second floor and basement
- New construction to require design review and a building permit

- Under existing zoning code, the proposed ADU would need to be setback 60-ft from the north/front lot line.



ADU, Amended Zoning Code example 6105 W Lapham St.

Existing 58x120-ft lot zoned RB/residence
Existing duplex (main/principal building & use)

- Effect of zoning ordinance amendment
 - 60-ft front yard setback reduced to be compatible with zoning district. In this case, 10-ft front yard setback RB zoning.
 - All other requirements for ADU's stay the same.
 - New construction to require design review and a building permit



Prepared For: Remodeling by Mac & Miller Residence

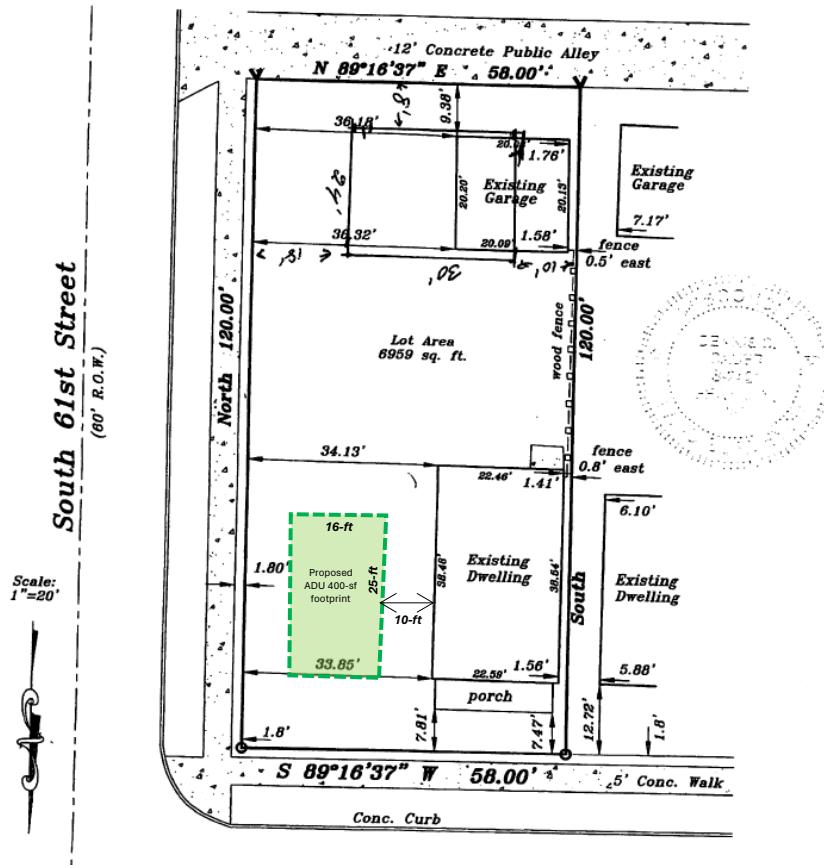
PLAT OF SURVEY

LOCATION: 6105 West Lapham Street, West Allis, Wisconsin

LEGAL DESCRIPTION: Lots 1 & 2 in Block 2 in **CENTRAL IMPROVEMENT CO.**
SUBDIVISION NO. 2, being a Subdivision of a part of the Northeast 1/4
 of Section 3, Town 6 North, Range 21 East, in the City of West Allis,
 Milwaukee County, Wisconsin.

July 17, 2015

Survey No. 105851



Basic Steps to construct an ADU:

- Updated Plat of Survey required
- Planning and Zoning Design Review permit
- Building permit

