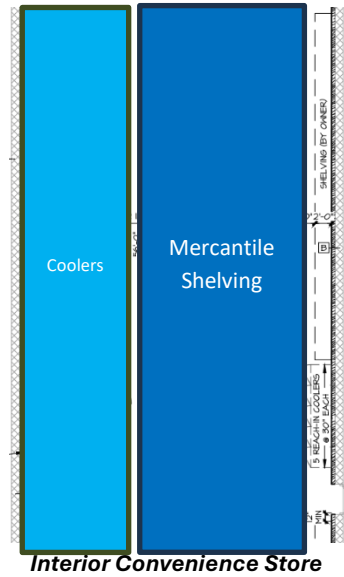
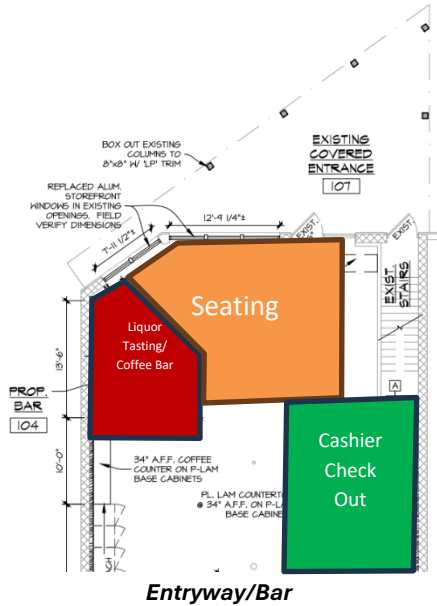




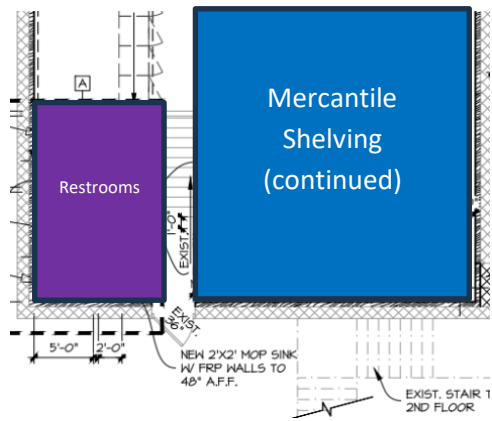
property owner maintains ownership of this building as well as the adjacent building 6841 W. Beloit Rd. which shares a parking lot with 6843 W. Beloit Rd.

**Site Details & Floor Plan**



Several changes are proposed to the first floor of the building to refresh and reactivate the space. The current first floor plan indicates that most of the buildings are open concept in nature, with just one wall partitioning off a small section of two existing restrooms, an office, and storage space. The property owner’s vision includes maintaining this open concept floor plan and expanding it through the demolition of the existing interior wall separation.

**Rear of First Floor**



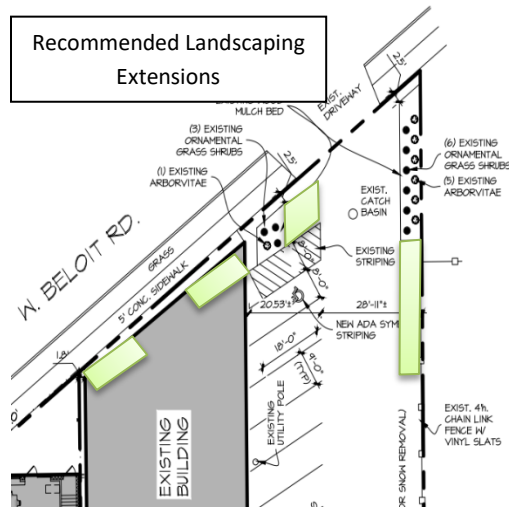
Upon entering the building, customers will see the proposed coffee and liquor tasting bar with small, seating features along the western side of the building. This area is proposed to be roughly 300 sq. ft. and allow for up to 20 occupants. Along the entry toward the east, a cashier area is proposed along with a small area for cart storage. Moving toward the interior of the first floor, 10 reach in coolers and 19 traditional coolers will line the eastern wall of the building. A bulk of the interior (3,537 sq. ft.) will be dedicated to shelving

convenience store goods, wine, beer, and liquor items for purchase. A small set of coolers is indicated along the western wall of this mercantile area. This shelving will extend to the

back of the store where the two existing restrooms will be fitted with ADA compliant fixtures.

There are no plans to renovate the existing residential tenant space above the convenience store nor plans to make alterations to the basement of the building. While no plans are detailed regarding the tenant space above the store, the 1,400 sq. ft. basement will be used for storage by the owner.

### Landscaping and Parking Plan



Landscaping features are indicated on the site plan submitted by the applicant. Two landscaping features consisting of arborvitae and ornamental grass shrubs exist on the site already. Considering the visual impact this site has along Beloit Rd. Planning staff recommend the extension of these landscaping features in the parking lot to reduce the visual impact of the lot in key regions. Extending the existing features would add screening to the lot, while maintaining some potted or hanging planter features underneath the entrance awning would create an attractive storefront feature for the business.



The parking lot is shared between the 6841 and 6843 W. Beloit properties, which are under the same ownership. There are 22 existing parking spaces indicated on the site plan with one new ADA stall indicated toward the driveway along Belot Rd. The parking lot appears to be in decent condition, with small regions in need of light patching and repair.



The parking lot is currently surrounded by 6 ft chain link fencing with vinyl slats to the east and to the south of the site. Although the southern portion of fencing appears to be in good condition, the fencing to the east adjacent to residential properties requires repair. Staff is recommending repair or replacement of the fencing. If replaced, a wood or composite fence is recommended instead of chain link fencing.



Although outdoor seating is proposed in the project description submitted by the applicant, the site plan doesn't show the potential layout. Staff recommends an updated site plan to indicate the location of any proposed outdoor seating areas prior to final occupancy approval. A large portion of the parking lot on site remains free of parking and could potentially facilitate a small outdoor seating area. A new, 4-sided wooden refuse enclosure will be constructed site toward the back

of the lot, compliant with refuse enclosure requirements for commercial uses. Lastly, staff note that several flood lighting features are indicated on the site plan and appear to remain in good condition. However, staff are concerned that these features project outward toward the residences to the east of the lot. To remedy this, staff recommend that existing lighting features be amended or replaced with new fixtures to direct light toward the ground rather than outward.

### Architectural Plan



Few changes are proposed to the building's exterior and façade. The applicant indicates the replacement of existing windows along the storefront with new energy efficient windows in the same locations. Additionally, the proposed architectural changes facing Beloit Rd. show that the existing columns

will be boxed out with 8" LP trim with new paint to update the façade. The old ASC

Milwaukee signage will be replaced with signage for the proposed business, subject to permitting approval. Upon visiting the site, staff noticed that a large number of birds are nesting underneath the canopy entrance to the building, causing damage to the canopy. This issue will need to be remedied by the applicant, with minor repairs required to sections of the canopy in disrepair.



**Recommendation:** Common Council approval of the Site, Landscaping, and Architectural Design Review for EZ Mart, a proposed neighborhood retail use, at 6843 W. Beloit Rd. (Tax Key No. 489-0071-000) subject to the following conditions:

1. Common Council consideration of appropriate liquor licenses and extension of licensed premise associated with the proposed use.
2. A revised site, landscaping, and architectural plan being submitted to the City Planning Office to show the following: (a) additional landscaping areas and planting details along W. Beloit Rd. and within the east side of the parking lot area, (b) Indicate the nature of and location of proposed outdoor seating features on the site plan; (c) note on plan to reference pavement repair areas; (d) repair or replace the eastern fence adjacent to residential properties. If a replacement is necessary, a new 6-ft tall wood fence or composite fence (non-chain link) fence being indicated on plan; (e) note on plans to indicate repair to canopy sections disrepair due to nesting activity. Remove bird nesting in the canopy entrance of the building (f) exterior color painting details and repainting of existing exterior painted surfaces.
3. An exterior site lighting plan for the overall properties being provided to identify existing and proposed exterior lighting. Fixture details being provided. Replacement of flood lighting with full cut off fixtures (down-lighting) to avoid light splay beyond property limits.
4. Submit a signage plan for design review and permitting.



January 27, 2025

**City of West Allis**  
Planning and Zoning  
7525 W. Greenfield Ave.  
West Allis, WI 53214

Re: **EZ Mart Remodel**  
6841 W. Beloit Rd.  
West Allis, WI

### **Project narrative:**

The proposed renovations will rejuvenate the existing vacant first floor of this building. Previous use was an appliance store and new use will be a convenience store. The second floor apartments will remain as-is, as well as the small basement storage. The interior will be gutted and refinished. The new floor plan will feature an open concept sales floor with merchandise display and beverage coolers, new restrooms, new cashier area, new lighting, and a coffee bar, liquor/wine bar. Exterior updates include replaced energy efficient windows, new paint and column wrap around existing columns, and new business signage. Building signage will be submitted for approval in the future and is not part of this submittal at this time. A new dumpster enclosure will be constructed on an existing shared parking lot with adjacent 6835 W. Beloit Rd. Both properties will remain under control of the same property owner and have been historically sharing this parking lot.

Timeline for when work will be completed: Work will start around March 10, and finish by July 15.

This business will serve as a convenience store with liquor, beer, and wine. The store will also have a liquor/wine bar and a coffee bar with a small indoor and outdoor seating areas. Bar area will serve warmed up premade pizza and simple appetizers such as garlic bread, bread sticks etc. A commercial kitchen is not proposed. All food will be pre-packaged, to be warmed and served. Days and hours of operation: Monday - Sunday : 6 am - 12 am.

Sincerely,

A handwritten signature in black ink that reads "Nathan Remitz". The signature is written in a cursive, flowing style.

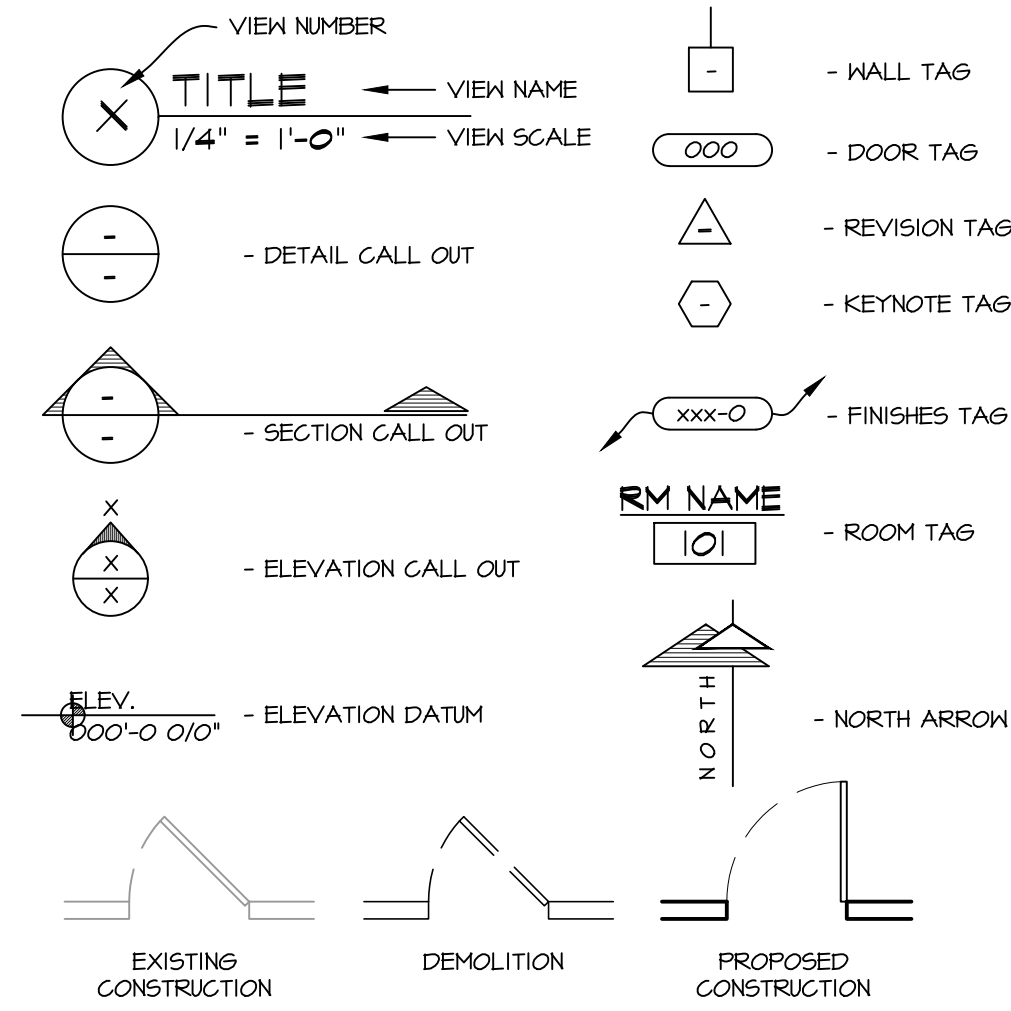
Nathan Remitz  
Architect / Partner



**ABBREVIATIONS**

AFF Above Finished Floor	FC Fire Code	NIC Not In Contract	T Tread
ALUM Aluminum	FD Floor Drain	NO Non-combustible	T & G Tongue & Groove
ARCH Architect	FG Foundation	NONCOM Non-combustible	TEMP Temporary
	FG Fiberglass	NTS Not to Scale	THK Thick
BLDG Building	FIN Finished		TOF Top of Footing
BLKG Blocking	FLR Floor		TRTD Treated
BRG Bearing	FT Foot or Feet		TV Television
	FTG Footing		TYP Typical
CLG Ceiling	GYP Gypsum		UL DES Underwriters
CONC Concrete	HT Height		Laboratory
CONSTR Construction	HC Handicap		Designation
CONT Continuous	HDR Header		Unless Noted
CONTR Contract(ors)	HR Hour		Otherwise
CTR Center	HR Heating, Ventilating & Air Conditioning		
	INCL Including		
DBL Deep	INCL Including		
DET Detail	INSUL Insulation		
DIA Diameter	INT Interior		
DIM Dimension	JST Julet		
DN Down	KD Kiln Dried		
DR Door	LA Lavatory		
DS Downspout	LT Light		
DWG Drawing	LVL Laminated Veneer Lumber		
	MAX Maximum		
EA Each	MC Moisture Content		
ELEC Electrical	MECH Mechanical		
ELEV Elevation	MET Metal		
EP Electrical Panel	MFR Manufacturer		
EXT Exterior	MIN Minimum		
	MISC Miscellaneous		

**SYMBOL LEGEND**



**SCOPE OF DRAWING:**

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

**CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.**

**PLAN NOTES:**

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS; CONSULT THE ARCHITECT WITH ANY QUESTIONS.
- ALL INTERIOR WALLS ARE DIMENSIONED FINISH TO FINISH UNLESS NOTED OTHERWISE. (SEE WINDOW TYPES FOR ACTUAL DIMENSIONS)
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP. APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS.

**GENERAL NOTES:**

- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
- ALL STATE OF WISCONSIN LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.

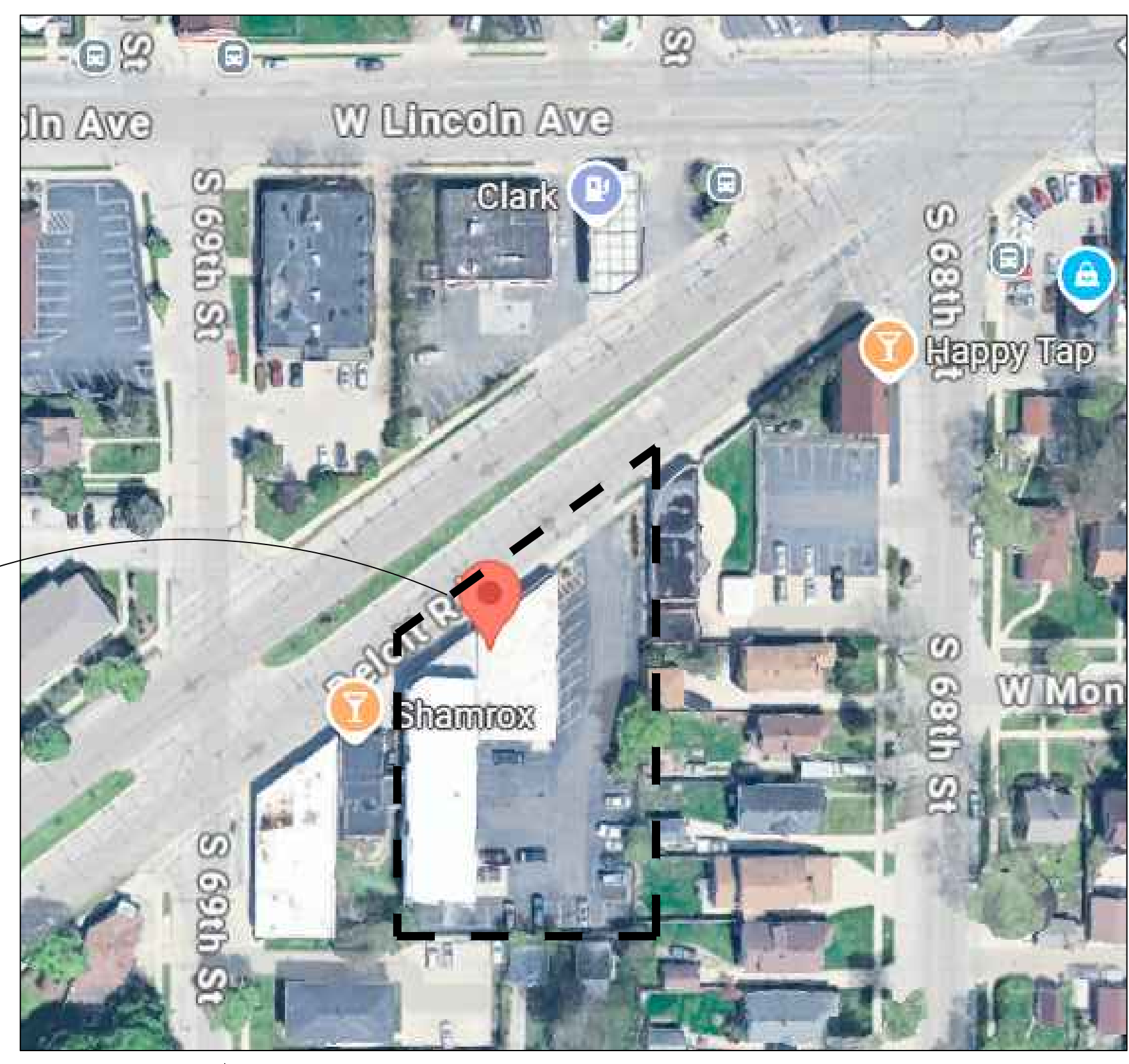
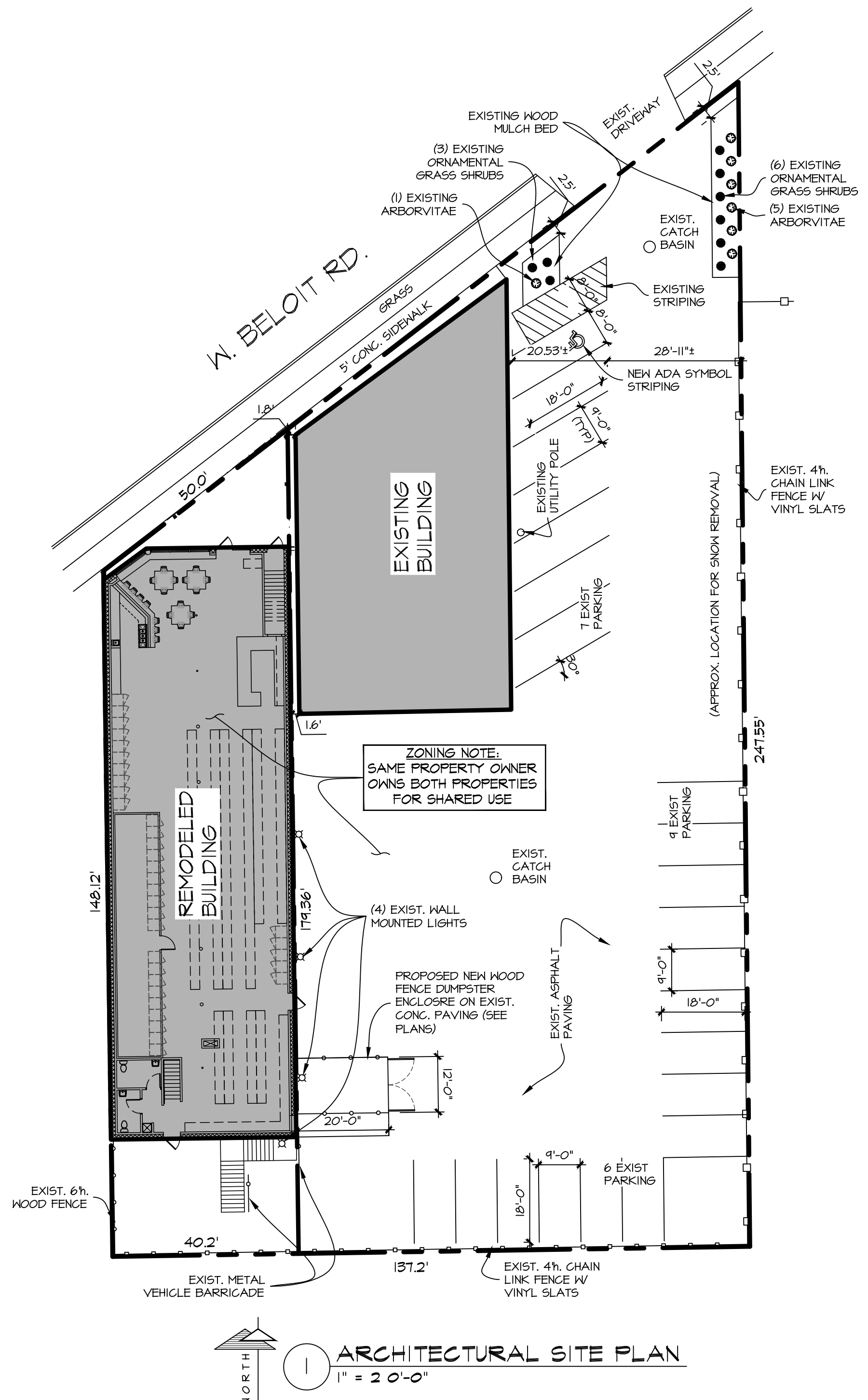


**REVISIONS:**

1/14/25:	PRELIM #1
1/21/25:	CD'S ISSUED
1/27/25:	SITE PLAN ADDED

**BUILDING DATA :**

USE AND OCCUPANCY CLASSIFICATION: (chapter-3)	PARTIALLY SEPARATED MIXED USE: "M" IS MOST RESTRICTIVE	
	"M" - 1ST FLOOR PARTIAL MERCANTILE OCCUPANCY (C-STORE)	
	"B" - 1ST FLOOR PARTIAL BUSINESS OCCUPANCY (BAR)	
	(ASSEMBLY USE W/ <50 OCCUPANT LOAD, PER IBC 303.1.1)	
	"R-2" - SECOND FLOOR APARTMENTS (EXISTING FIRE SEPARATION)	
	"S-1" - MODERATE HAZARD STORAGE (EXISTING BASEMENT)	
ALLOWABLE AREA AND HEIGHT:	"M" (III-B) TWO STORIES - 12,500 sq. ft.	
ACTUAL AREA:	TOTAL FIRST FLOOR AREA: 5,074 sq. ft.	
SPRINKLERS:	NONE	
CONSTRUCTION TYPE:	"III-B"	
FIRE RATINGS (per table 601 & 602)		
STRUCTURAL FRAME:	0 - HR. RATING	
BEARING WALLS EXTERIOR:	2 - HR. RATING	
BEARING WALLS INTERIOR:	0 - HR. RATING	
NON-BEARING WALLS EXTERIOR:	0 - HR. RATING	
NON-BEARING WALLS INTERIOR:	0 - HR. RATING	
FLOOR CONSTRUCTION:	0 - HR. RATING	
ROOF CONSTRUCTION:	0 - HR. RATING	
EXIT TRAVEL DISTANCE: (table 1017.2)	200 feet	
COMMON PATH OF TRAVEL: (per 1006.2.1)	75 FEET (C-STORE)	
TOTAL OCCUPANCY LOADING (per TABLE 1004.1.1)	68 TOTAL OCCUPANTS IN TENANT SPACE (PER "EGRESS / OCCUPANCY PLANS")	
PLUMBING FIXTURE REQUIREMENTS: (per TABLE 2902.1)		
WATER CLOSETS "TOTAL REQUIRED"		
MALE	= 47 REQUIRED	1 PROPOSED
FEMALE	= 47 REQUIRED	1 PROPOSED
LAVATORIES	= 59 REQUIRED	2 PROPOSED
WATER CLOSETS "B BUSINESS"		
MALE (1 PER 25)	(10 / 25) = 4 REQUIRED	
FEMALE (1 PER 25)	(10 / 25) = 4 REQUIRED	
LAVATORIES (1 PER 40)	(20 / 40) = 5 REQUIRED	
WATER CLOSETS "M MERCANTILE"		
MALE (1 PER 500)	(34 / 500) = .068 REQUIRED	
FEMALE (1 PER 500)	(34 / 500) = .068 REQUIRED	
LAVATORIES (1 PER 750)	(68 / 750) = .09 REQUIRED	



**SHEET INDEX**

T-1	ARCHITECTURAL SITE PLAN, SATELLITE IMAGE, BUILDING DATA, GENERAL NOTES, & SHEET INDEX
A-0	STANDARD MOUNTING HEIGHTS & GENERIC ACCESSIBILITY STANDARDS
A-1	EXISTING/DEMO & PROPOSED FIRST FLOOR PLANS, ENLARGED RESTROOM PLANS, WALL TYPES, & FENCE DETAILS
A-2	EXISTING/DEMO & PROPOSED ELEVATIONS
A-3	REFLECTED CEILING PLAN & EGRESS/OCCUPANCY PLAN, & DETAILS

**EZ MART REMODEL**  
 6843 W. BELOIT ROAD  
 WEST ALLIS, WI  
 SHEET TITLE:  
**ARCHITECTURAL SITE PLAN, SATELLITE IMAGE, BUILDING DATA, GENERAL NOTES, & SHEET INDEX**

**T-1**  
 DATE: JAN. 10TH, 2025  
 PROJECT NUMBER: 25-110

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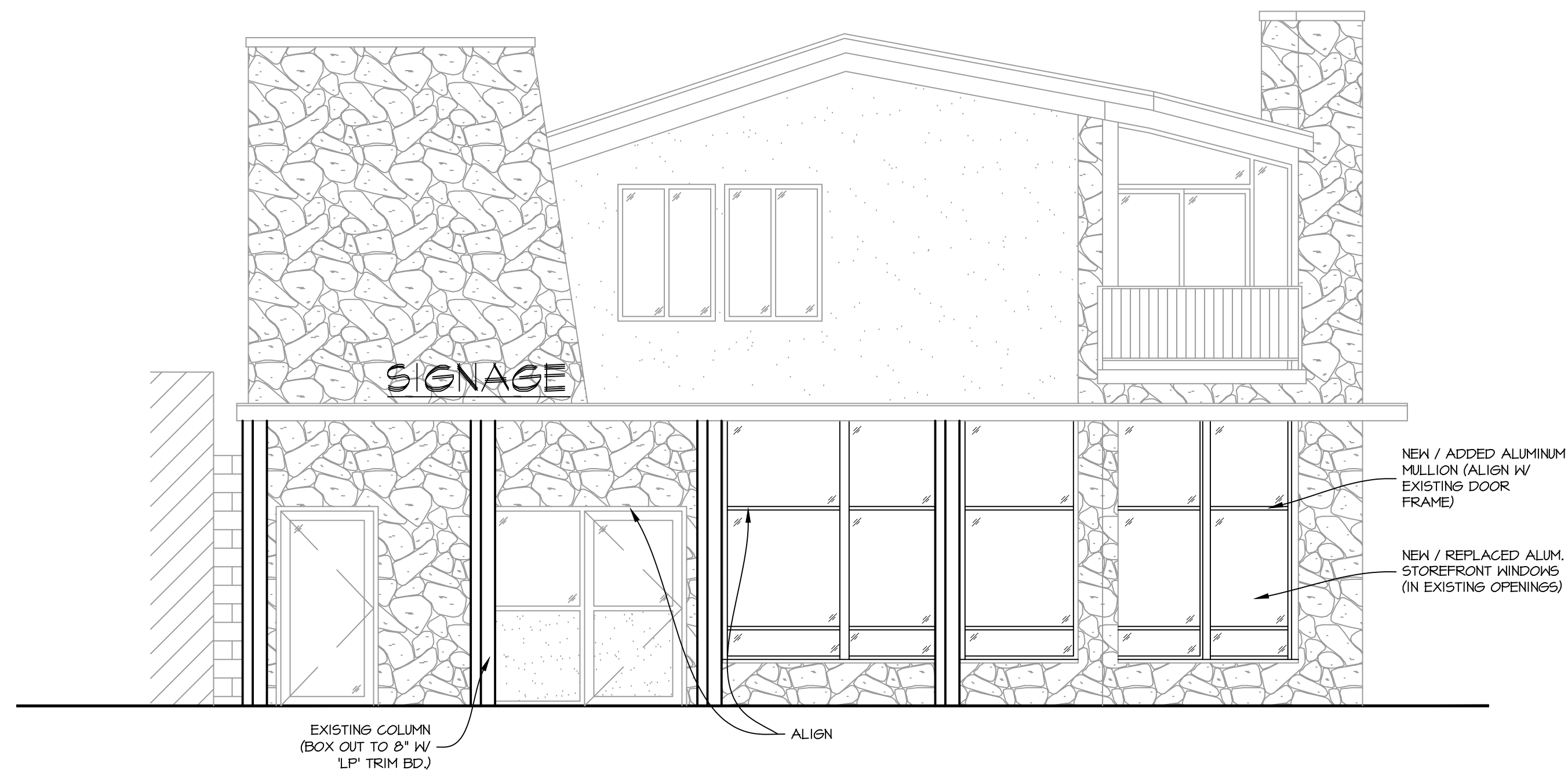
**EXISTING/DEMO NORTH (BELOIT)  
ELEVATION**

1/4" = 1'-0"



**EXISTING NORTH ELEVATION PHOTO**

N.T.S.

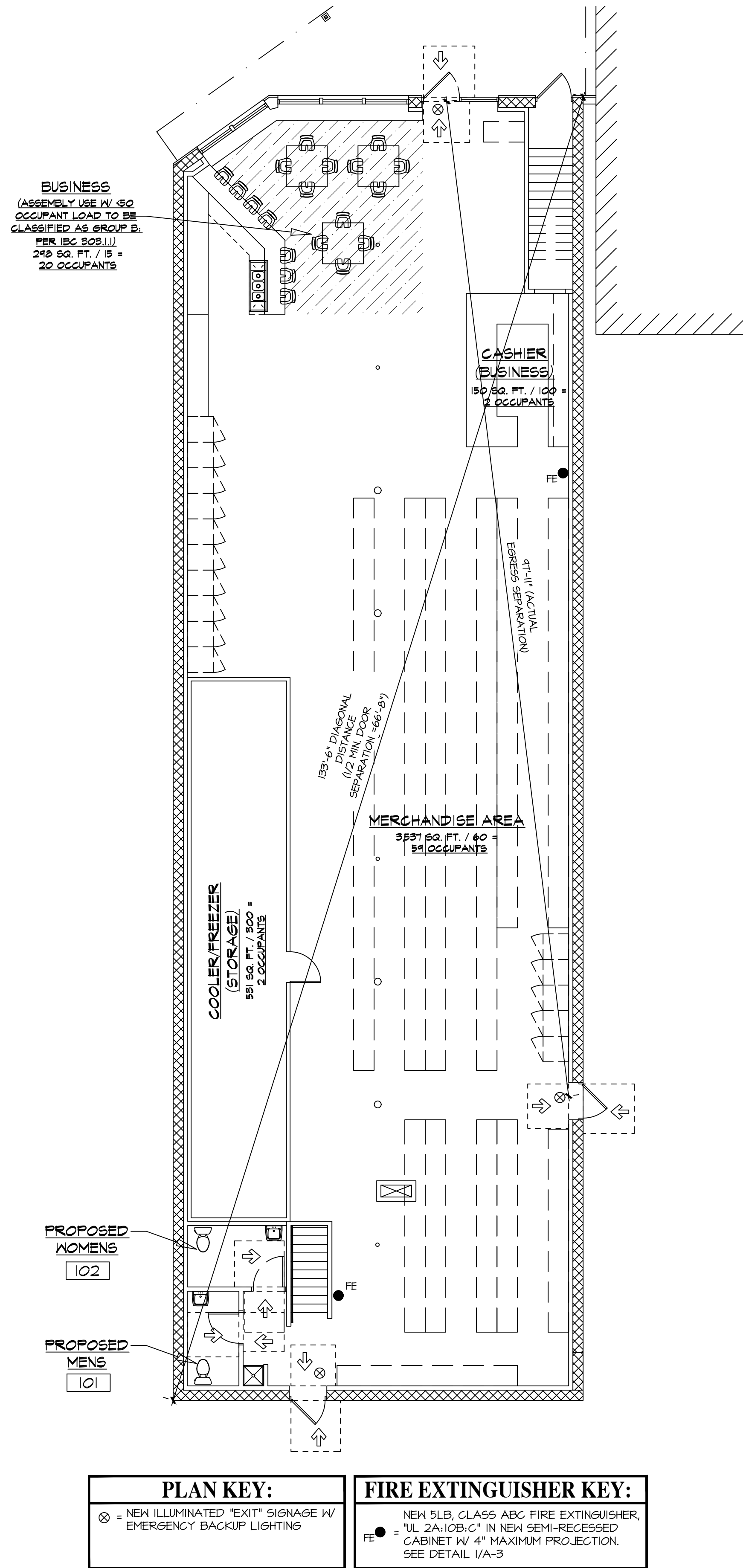


**PROPOSED NORTH (BELOIT)  
ELEVATION**

1/4" = 1'-0"

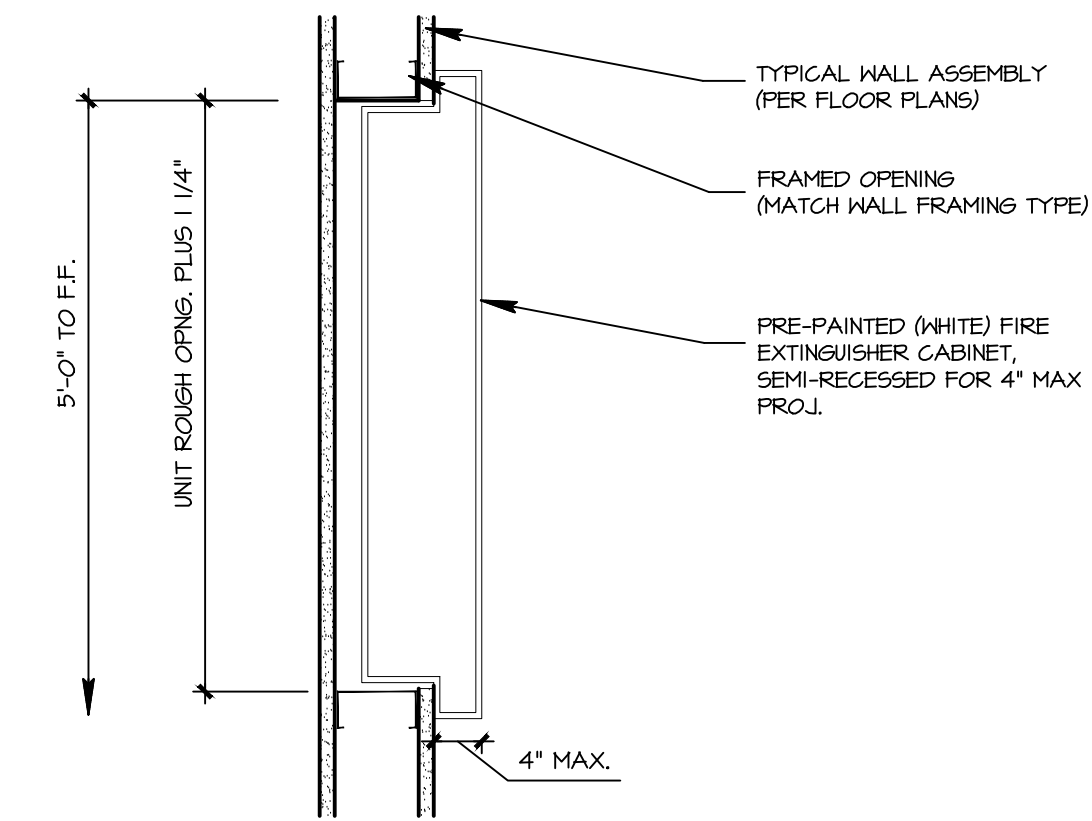
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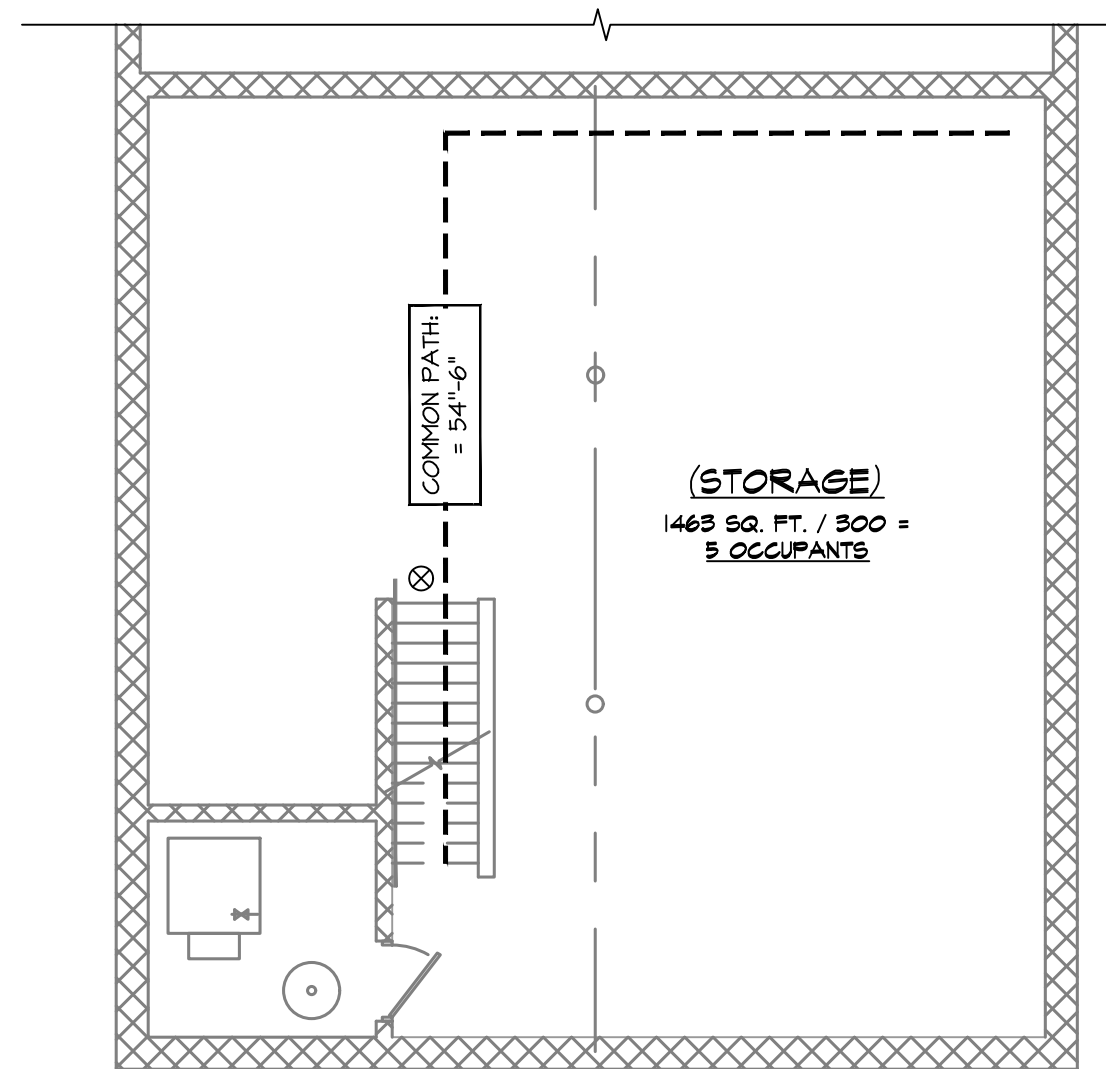
## PROPOSED FIRST FLOOR EGRESS/OCCUPANCY PLAN

1/8" = 1'-0"



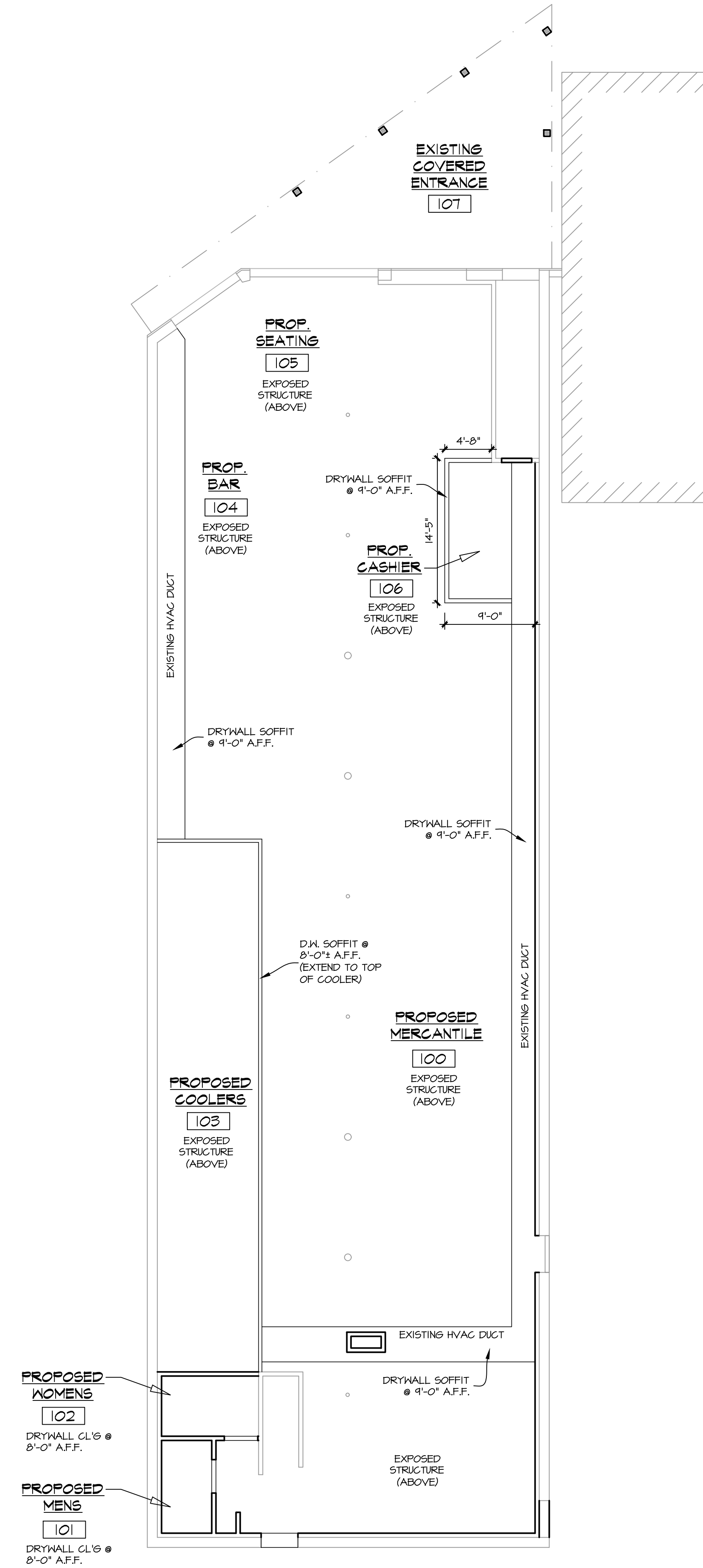
## 1 FIRE EXTINGUISHER CABINET SECTION

1 1/2" = 1'-0"



## PROPOSED BASEMENT EGRESS/OCCUPANCY PLAN

1/8" = 1'-0"



## PROPOSED REFLECTED CL'G PLAN

1/8" = 1'-0"

**REVISIONS:**  
1/14/25: PRELIM #1  
1/21/25: CD'S ISSUED  
1/27/25: SITE PLAN ADDED

## EZ MART REMODEL

6843 W. BELOIT ROAD  
WEST ALLIS, WI

SHEET TITLE:

## PROPOSED EGRESS/OCCUPANCY PLANS & PROPOSED REFLECTED CL'G PLAN

A-3

DATE: JAN. 10TH, 2025

PROJECT NUMBER: 25-110