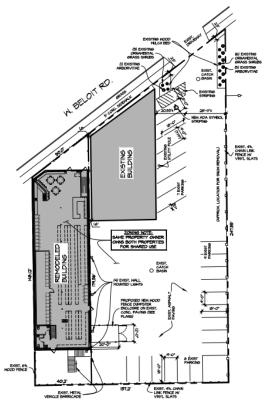


STAFF REPORT WEST ALLIS PLAN COMMISSION Wednesday, February 26th, 2024 6:00 PM

Watch: https://www.youtube.com/user/westalliscitychannel

5A. Site, Landscaping, and Architectural Design Review for EZ Mart, a proposed neighborhood retail use, at 6843 W. Beloit Rd. (Tax Key No. 489-0071-000)

Overview and Zoning

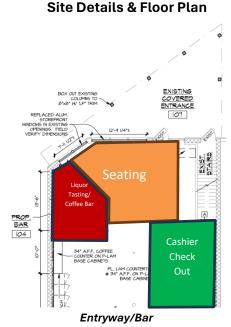


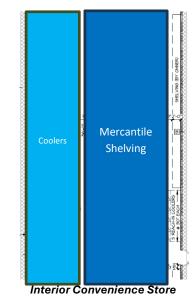
constituting a permitted use.

Nathan Remitz, applicant on behalf of the property owner at 6843 W. Beloit Rd, is proposing to redevelop an existing building into a proposed neighborhood retail use of a convenience store and tasting bar. The building was previously used by ASC Milwaukee, an appliance service center and showroom since 1996. The property at 6843 W. Beloit Rd is zoned C-2, "intended for a mix of uses in close proximity to residential areas that are compatible with the neighborhood scale." The building is roughly 5,954 sq ft in area, falling well within the 8,000 sq. ft. maximum imposed on neighborhood retail uses. The proposed neighborhood retail use of the site is compatible with the C-2 zoning district,

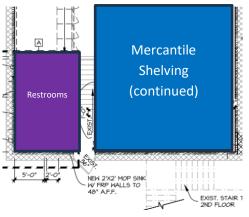
EZ Mart's hours of operation are proposed to be Monday through Sunday, 6 am – 12 am. The applicant has not noted the number of employees the establishment will hire. The business will operate primarily as a convenience store of wine, beer, and spirits while offering a small liquor tasting and coffee bar. The applicant will have to apply for a Class B Liquor license to operate a wine and liquor tasting bar on site. A commercial kitchen is not proposed in these plans and the owner will opt to serve premade pizzas and simple, prepackaged warm-and-serve appetizers at the bar. The

property owner maintains ownership of this building as well as the adjacent building 6841 W. Beloit Rd. which shares a parking lot with 6843 W. Beloit Rd.





Several changes are proposed to the first floor of the building to refresh and reactivate the space. The current first floor plan indicates that most of the buildings are open concept in nature, with just one wall partitioning off a small section of two existing restrooms, an office, and storage space. The property owner's vision includes maintaining this open concept floor plan and expanding it through the demolition of the existing interior wall separation.



Rear of First Floor

Upon entering the building, customers will see the proposed coffee and liquor tasting bar with small, seating features along the western side of the building. This area is proposed to be roughly 300 sq. ft. and allow for up to 20 occupants. Along the entry toward the east, a cashier area is proposed along with a small area for cart storage. Moving toward the interior of the first floor, 10 reach in coolers and 19 traditional coolers will line the eastern wall of the building. A bulk of the interior (3,537 sq. ft.) will be dedicated to shelving

convenience store goods, wine, beer, and liquor items for purchase. A small set of coolers is indicated along the western wall of this mercantile area. This shelving will extend to the

back of the store where the two existing restrooms will be fitted with ADA compliant fixtures.

There are no plans to renovate the existing residential tenant space above the convenience store nor plans to make alterations to the basement of the building. While no plans are detailed regarding the tenant space above the store, the 1,400 sq. ft. basement will be used for storage by the owner.

Landscaping and Parking Plan



Landscaping features are indicated on the site plan submitted by the applicant. Two landscaping features consisting of arborvitae and ornamental grass shrubs exist on the site already. Considering the visual impact this site has along Beloit Rd. Planning staff recommend the extension of these landscaping features in the parking lot to reduce the visual impact of the lot in key regions. Extending the existing features would add screening to the lot, while maintaining some potted or hanging planter features underneath the entrance awning

would create an attractive storefront feature for the business.



The parking lot is shared between the 6841 and 6843 W. Beloit properties, which are under the same ownership. There are 22 existing parking spaces indicated on the site plan with one new ADA stall indicated toward the driveway along Belot Rd. The parking lot appears to be in decent condition, with small regions in need of light patching and repair.



The parking lot is currently surrounded by 6 ft chain link fencing with vinyl slats to the east and to the south of the site. Although the southern portion of fencing appears to be in good condition, the fencing to the east adjacent to residential properties requires repair. Staff is recommending repair or replacement of the fencing. If replaced, a wood or composite fence is recommended instead of chain link fencing.



Although outdoor seating is proposed in the project description submitted by the applicant, the site plan doesn't show the potential layout. Staff recommends an updated site plan to indicate the location of any proposed outdoor seating areas prior to final occupancy approval. A large portion of the parking lot on site remains free of parking and could potentially facilitate a small outdoor seating area. A new, 4-sided wooden refuse enclosure will be constructed site toward the back

of the lot, compliant with refuse enclosure requirements for commercial uses. Lastly, staff note that several flood lighting features are indicated on the site plan and appear to remain in good condition. However, staff are concerned that these features project outward toward the residences to the east of the lot. To remedy this, staff recommend that existing lighting features be amended or replaced with new fixtures to direct light toward the ground rather than outward.

Architectural Plan



Few changes are proposed to the building's exterior and façade. The applicant indicates the replacement of existing windows along the storefront with new energy efficient windows in the same locations. Additionally, the proposed architectural changes facing Beloit Rd. show that the existing columns

will be boxed out with 8" LP trim with new paint to update the façade. The old ASC

Milwaukee signage will be replaced with signage for the proposed business, subject to permitting approval. Upon visiting the site, staff noticed that a large number of birds are nesting underneath the canopy entrance to the building, causing damage to the canopy. This issue will need to be remedied by the applicant, with minor repairs required to sections of the canopy in disrepair.





Recommendation: Common Council approval of the Site, Landscaping, and Architectural Design Review for EZ Mart, a proposed neighborhood retail use, at 6843 W. Beloit Rd. (Tax Key No. 489-0071-000) subject to the following conditions:

- 1. Common Council consideration of appropriate liquor licenses and extension of licensed premise associated with the proposed use.
- 2. A revised site, landscaping, and architectural plan being submitted to the City Planning Office to show the following: (a) additional landscaping areas and planting details along W. Beloit Rd. and within the east side of the parking lot area, (b) Indicate the nature of and location of proposed outdoor seating features on the site plan; (c) note on plan to reference pavement repair areas; (d) repair or replace the eastern fence adjacent to residential properties. If a replacement is necessary, a new 6-ft tall wood fence or composite fence (non-chain link) fence being indicated on plan; (e) note on plans to indicate repair to canopy sections disrepair due to nesting activity. Remove bird nesting in the canopy entrance of the building (f) exterior color painting details and repainting of existing exterior painted surfaces.
- An exterior site lighting plan for the overall properties being provided to identify existing and proposed exterior lighting. Fixture details being provided. Replacement of flood lighting with full cut off fixtures (down-lighting) to avoid light splay beyond property limits.
- 4. Submit a signage plan for design review and permitting.



January 27, 2025

City of West Allis

Planning and Zoning 7525 W. Greenfield Ave. West Allis, WI 53214

> Re: **EZ Mart Remodel** 6841W. Beloit Rd. West Allis, WI

Project narrative:

The proposed renovations will rejuvenate the existing vacant first floor of this building. Previous use was an appliance store and new use will be a convenience store. The second floor apartments will remain as-is, as well as the small basement storage. The interior will be gutted and refinished. The new floor plan will feature an open concept sales floor with merchandise display and beverage coolers, new restrooms, new cashier area, new lighting, and a coffee bar, liquor/wine bar. Exterior updates include replaced energy efficient windows, new paint and column wrap around existing columns, and new business signage. Building signage will be submitted for approval in the future and is not part of this submittal at this time. A new dumpster enclosure will be constructed on an existing shared parking lot with adjacent 6835 W. Beloit Rd. Both properties will remain under control of the same property owner and have been historically sharing this parking lot.

Timeline for when work will be completed: Work will start around March 10, and finish by July 15.

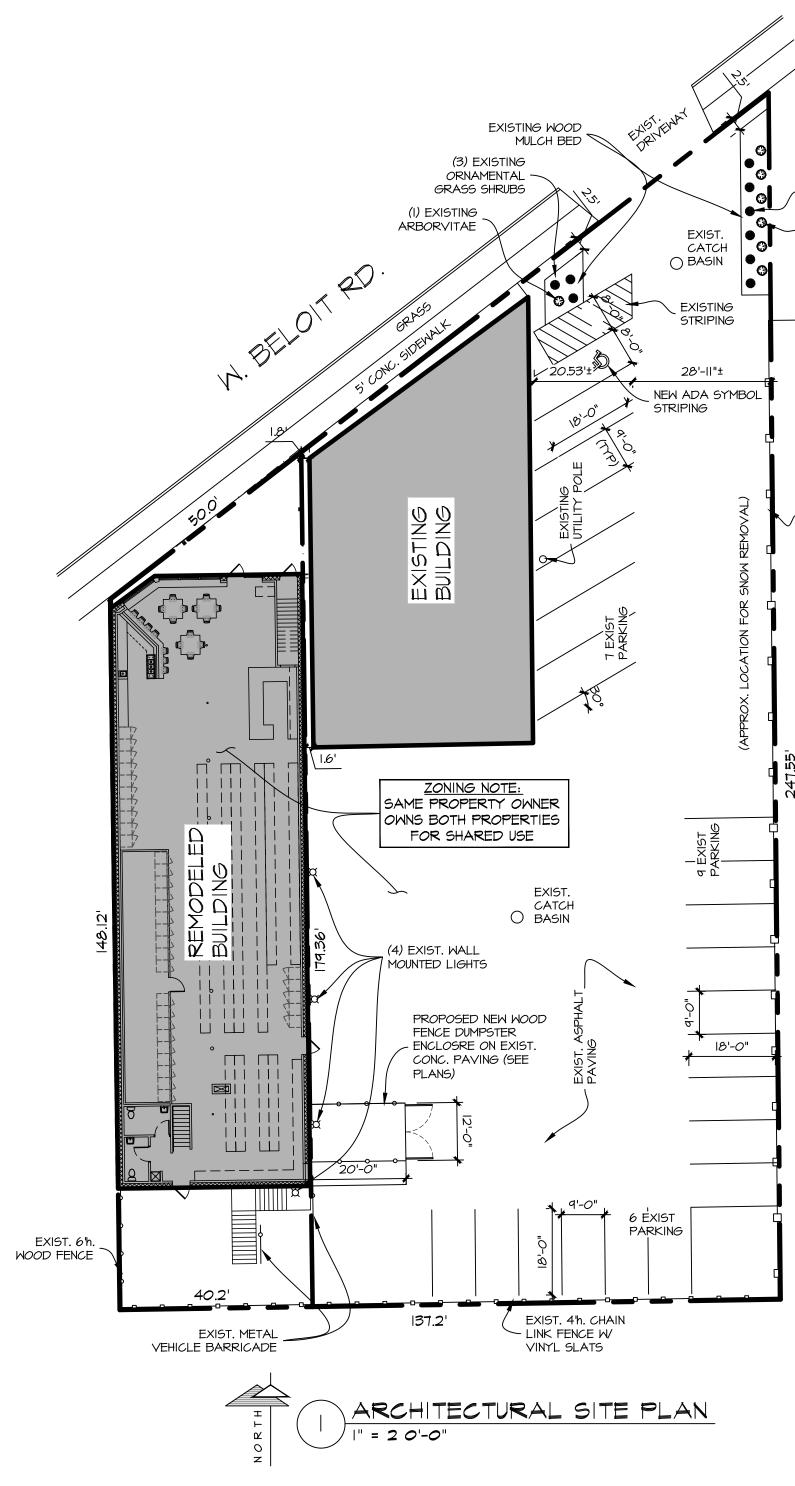
This business will serve as a convenience store with liquor, beer, and wine. The store will also have a liquor/wine bar and a coffee bar with a small indoor and outdoor seating areas. Bar area will serve warmed up premade pizza and simple appetizers such as garlic bread, bread sticks etc. A commercial kitchen is not proposed. All food will be pre-packaged, to be warmed and served. Days and hours of operation: Monday - Sunday : 6 am - 12 am.

Sincerely,

Nathen Remits

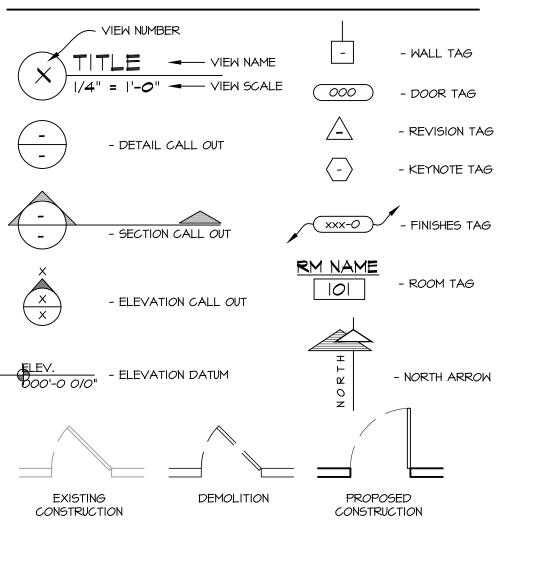
Nathan Remitz Architect / Partner

ABBREVIATIONS



X

SYMBOL LEGEND



SCOPE OF DRAWING:

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

PLAN NOTES: ALTHOUGH EVERY EFFORT HAS

- BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
- 2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT THE ARCHITECT WITH ANY QUESTIONS.
- 3. ALL INTERIOR WALLS ARE DIMENSIONED FINISH TO FINISH UNLESS NOTED OTHERWISE. (SEE WINDOW TYPES FOR ACTUAL DIMENSIONS)
- 4. PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP. APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS

/ GRASS SHRUBS (5) EXISTING ARBORVITAE

(6) EXISTING

~ ORNAMENTAL

- —-D-
- EXIST. 4'h. CHAIN LINK VINYL SLATS



 COORDINATION OF THE NON THE JOB SITE; AND FOR PROPERTY AT THE JOB THE INFORMATION CONTAINCOMPLETE, AND VOID THE SPECIFICATIONS, TRE CODES, ETC., INCORPORTHE CONTRACTOR CERTION UNLESS NOTED OTHERWIST ON THE DRAWINGS ARE NOTED DESTRICT DESTRICT ON THE DRAWINGS ARE NOTED DESTRICT ON THE DRAWINGS ARE NOTED DESTRICT ON THE DRAWINGS ARE NOTED DESTRICT DESTRICT ON THE DRAWINGS ARE NOTED DESTRICT DEST	AINED ON THE DRAWINGS IS IN ITSELF UNLESS USED IN CONJUNCTION WITH AL ADE PRACTICES, OR APPLICABLE STA ATED THEREIN BY REFERENCE, OF WHI	AND L ANDARDS,	4040 N. Calhoun Road Suite #200
CODES, ETC., INCORPORA THE CONTRACTOR CERTI 4. UNLESS NOTED OTHERWIS ON THE DRAWINGS ARE	ATED THEREIN BY REFERENCE, OF WHIC		ILJ = 2
	 CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT. 4. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR 		
SHALL BE RESPONSIBLE	NN OR NOTED, THE GENERAL CONTRAC FOR COORDINATING THE LOCATION A INSERTS, HANGARS, PIPE SLEEVES, HO	LTOR ND	
OR ANCHOR BOLTS THAT ELECTRICAL EQUIPMENT. 6. THE CONTRACTOR SHALL	T ARE REQUIRED BY THE MECHANICAL	. <i>0</i> R	
THESE PLANS, AND IT SH	IN, LOCAL AND O.S.H.A. SAFETY CODES IALL BE THE RESPONSIBILITY OF THE 6	SENERAL CONTRACTOR TO	<u>REVISIONS:</u> 1/14/25: PRELIM #1
SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.			1/21/25: CD'S ISSUED 1/27/25: SITE PLAN AD
BUILDING I	PATA :		
ALLOWABLE AREA AND HEIGHT; ACTUAL AREA; SPRINKLERS; CONSTRUCTION TYPE; (Table-601) FIRE RATINGS (per table 601 ¢ 602 STRUCTURAL FRAME; BEARING WALLS EXTERIOR;	"R-2" - SECOND FLOOR APARTMEN "S-1" - MODERATE HAZARD STORA "M" (III-B)" TWO STORIES - 12,500 sc TOTAL FIRST FLOOR AREA: NONE "III-B" 2) O - HR. RATING	AGE (EXISTING BASEMENT)	
BEARING WALLS INTERIOR; NON-BEARING WALLS EXTERIO NON- BEARING WALLS INTERIO FLOOR CONSTRUCTION; ROOF CONSTRUCTION; EXIT TRAVEL DISTANCE:	R; O - HR. RATING		
(table 1017.2) COMMON PATH OF TRAVEL;	75 FEET (C-STORE)		
(per 1006.2.1) TOTAL OCCUPANCY LOADING (per TABLE 1004.1.1)	88 TOTAL OCCUPANTS IN TENANT SPA (PER "EGRESS / OCCUPANCY PLANS		
PLUMBING FIXTURE REQUIREMENTS:		,,,	ART REMODEL
(per TABLE 2902.1) WATER CLOSETS <u>"TOTAL REQU</u> MALE	IIRED" = .47 REQUIRED	I PROPOSED	
FEMALE LAVATORIES	= .47 REQUIRED = .47 REQUIRED = .59 REQUIRED	I PROPOSED 2 PROPOSED	
WATER CLOSETS "B BUS MALE (1 PER 25)			
FEMALE (1 PER 25) LAVATORIES (1 PER 40)	(10/25) = .4 REQUIRE	D	
WATER CLOSETS "M MER MALE (1 PER 500)	RCANTILE" (34 / 500) = .068 REQI	UIRED	
FEMALE (1 PER 500) LAVATORIES (1 PER 750			

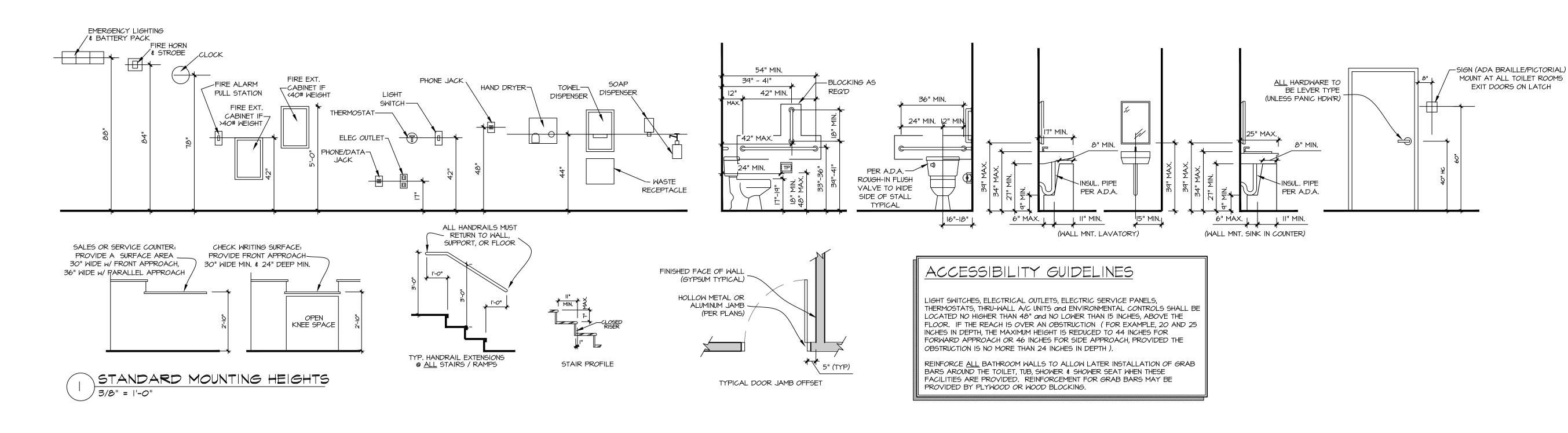


SHEET INDEX ARCHITECTURAL SITE PLAN, SATELLITE IMAGE, T–I BUILDING DATA, GENERAL NOTES, & SHEET INDEX A-O STANDARD MOUNTING HEIGHTS &

- GENERIC ACCESSIBILITY STANDARDS A-I EXISTING/DEMO & PROPOSED FIRST FLOOR PLANS, ENLARGED RESTROOM PLANS, WALL TYPES, \$ FENCE DETAILS A-2 EXISTING/DEMO & PROPOSED ELEVATIONS
- A-3 REFLECTED CEILING PLAN & EGRESS/OCCUPANCY PLAN, & DETAILS

PROJECT NUMBER: 25-110

DATE: JAN. 10TH, 2025



306.3 Knee Clearance.

306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.

306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.

306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be 11 inches (280 mm) deep minimum at 9 inches (230 mm) above the finish floor or ground, and 8 inches (205 mm) deep minimum at 27 inches (685 mm) above the finish floor or ground.

306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.

306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

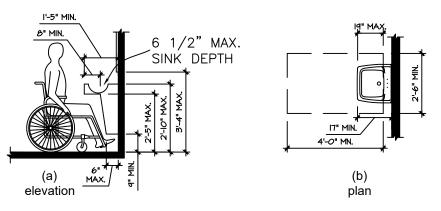
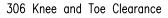


Figure 306.3 Knee Clearance

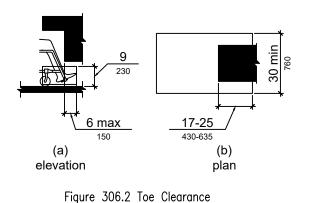


306.2 Toe Clearance.

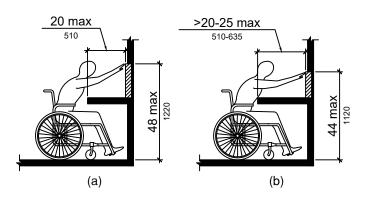
306.2.1 General. Space under an element between the finish floor or ground and 9 inches (230 mm) above the finish floor or ground shall be considered toe clearance and shall comply with 306.2.

306.2.2 Maximum Depth. Toe clearance shall extend 25 inches (635 mm) maximum under an element. 306.2.3 Minimum Required Depth. Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17 inches (430 mm) minimum under the element.

306.2.4 Additional Clearance. Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 9 inches (230 mm) above the finish floor or ground shall not be considered toe clearance. 306.2.5 Width. Toe clearance shall be 30 inches (760 mm) wide minimum.

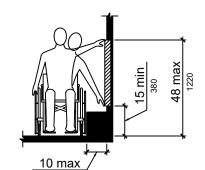


308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48 inches (1220 mm) maximum where the reach depth is 20 inches (510 mm) maximum. Where the reach depth exceeds 20 inches (510 mm), the high forward reach shall be 44 inches (1120 mm) maximum and the reach depth shall be 25 inches (635 mm) maximum.

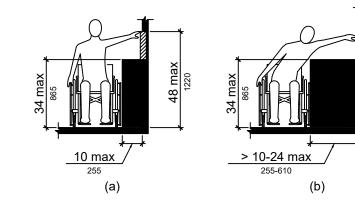


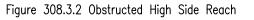
308.3 Side Reach.

308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48 inches (1220 mm) maximum and the low side reach shall be 15 inches (380 mm) minimum above the finish floor or ground.



308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches (610 mm) maximum. The high side reach shall be 48 inches (1220 mm) maximum for a reach depth of 10 inches (255 mm) maximum. Where the reach depth exceeds 10 inches (255 mm), the high side reach shall be 46 inches (1170 mm) maximum for a reach depth of 24 inches (610 mm) maximum.





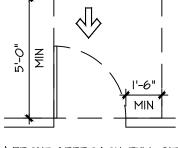
404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or around measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped.

404.2.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches (1090 mm) maximum above the finish floor.

404.3 Automatic and Power-Assisted Doors and Gates. Automatic doors and automatic gates shall comply with 404.3. Full-powered automatic doors shall comply with ANSI/BHMA A156.10 (incorporated by reference, see "Referenced Standards" in Chapter 1). Low-energy and power-assisted doors shall comply with ANSI/BHMA A156.19 (1997 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1).

404.3.2 Maneuvering Clearance. Clearances at power-assisted doors and gates shall comply with 404.2.4. Clearances at automatic doors and gates without standby power and serving an accessible means of egress shall comply with 404.2.4.

404.2.4.3 Recessed Doors and Gates. Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches (455 mm) of the latch side of a doorway projects more than 8 inches (205 mm) beyond the face of the door, measured perpendicular to the face of the door or gate.



*IF BOTH CLOSER AND LATCH ARE PROVIDED

*1'-0'

MIN

(b) FRONT APPROACH,

PUSH SÌRE

 \Rightarrow

(d) HINGE APPROACH, PULL SIDE

* 54" MIN. IF CLOSER PROVIDED

(F) LATCH APPROACH, PULL SIDE

 $\langle \neg \rangle$

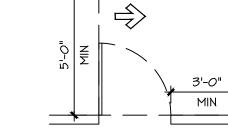
2'-0'

MIN

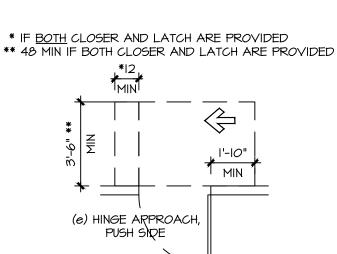
3'-6"

MIN

(a) FRONT APPROACH, PULL SIDE



(c) HINGE APPROACH, PULL SIDE





 \Rightarrow 2'-0" MIN (q) LATCH APPROACH, PUSH SIQE

* 48" MIN. IF CLOSER PROVIDED

404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the space.

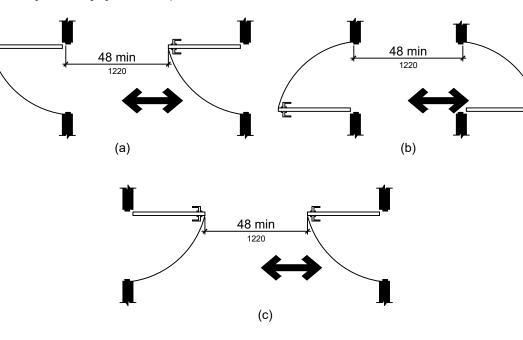
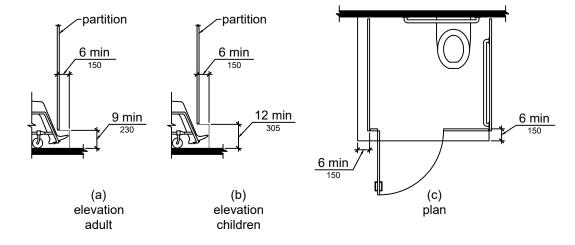


Figure 404.2.6 Doors in Series and Gates in Series

604.8.1.4 Toe Clearance. The front partition and at least one side partition shall provide a toe clearance of 9 inches (230 mm) minimum above the finish floor and 6 inches (150 mm) deep minimum beyond the compartment-side face of the partition, exclusive of partition support members. Compartments for children's use shall provide a toe clearance of 12 inches (305 mm) minimum above the finish floor.

EXCEPTION: Toe clearance at the front partition is not required in a compartment greater than 62 inches (1575 mm) deep with a wall-hung water closet or 65 inches (1650 mm) deep with a floor—mounted water closet. Toe clearance at the side partition is not required in a compartment greater than 66 inches (1675 mm) wide. Toe clearance at the front partition is not required in a compartment for children's use that is greater than 65 inches (1650 mm)deep



605.3 Clear Floor Space. A clear floor or ground space complying with 305 positioned for forward approach shall be provided. 605.4 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309.

606 Lavatories and Sinks

606.2 Clear Floor Space. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided. 606.3 Height. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches (865 mm) maximum above the finish floor or ground. 606.4 Faucets. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open for 10 seconds minimum.

606.5 Exposed Pipes and Surfaces. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks.

CHAPTER 6: PLUMBING ELEMENTS AND FACILITIES 602 Drinking Fountains

602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for a forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided.

EXCEPTION: A parallel approach complying with 305 shall be permitted at units for children's use where the spout is 30 inches (760 mm) maximum above the finish floor or ground and is 3 1/2 inches (90 mm) maximum from the front edge of the unit, including bumpers.

602.3 Operable Parts. Operable parts shall comply with 309. 602.4 Spout Height. Spout outlets shall be 36 inches (915 mm) maximum above the finish floor or ground.

602.5 Spout Location. The spout shall be located 15 inches (380 mm) minimum from the vertical support and 5 inches (125 mm) maximum from the front edge of the unit, including bumpers.

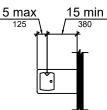


Figure 602.5 Drinking Fountain Spout Location

602.6 Water Flow. The spout shall provide a flow of water 4 inches (100 mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The anale of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum.

602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall be 38 inches (965 mm) minimum and 43 inches (1090 mm) maximum above the finish floor or ground.

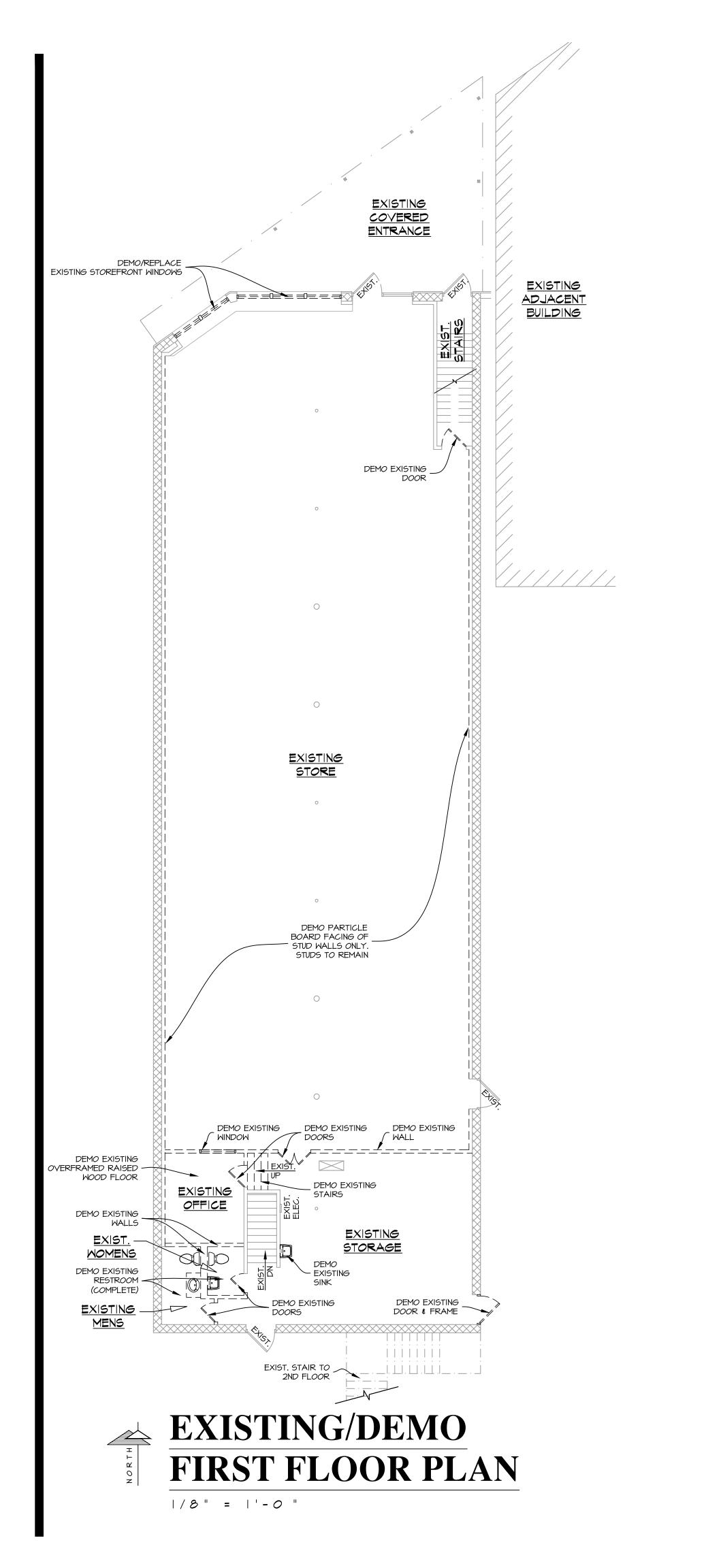


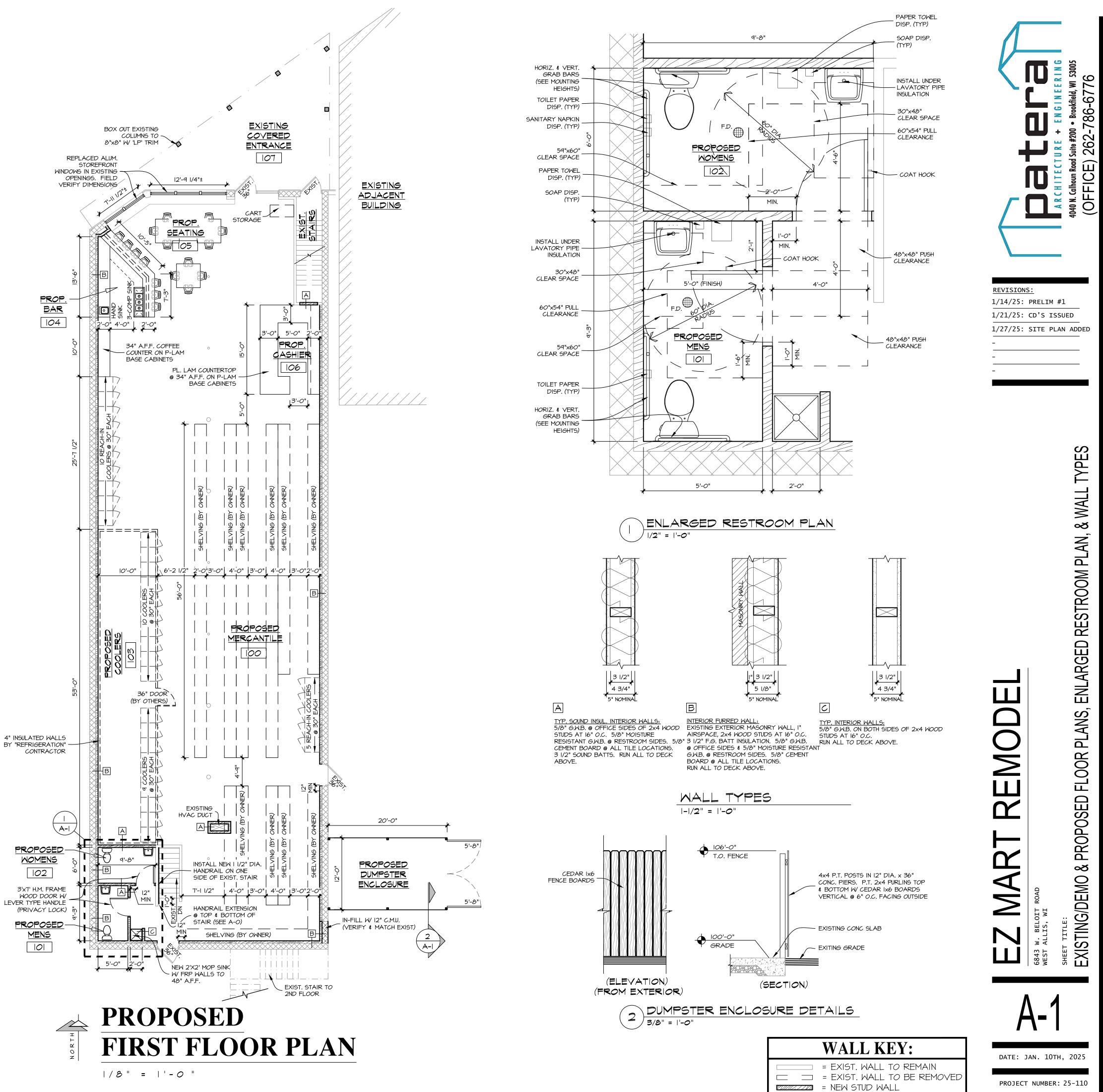
REVISIONS: 1/14/25: PRELIM #1 1/21/25: CD'S ISSUED 1/27/25: SITE PLAN ADDED

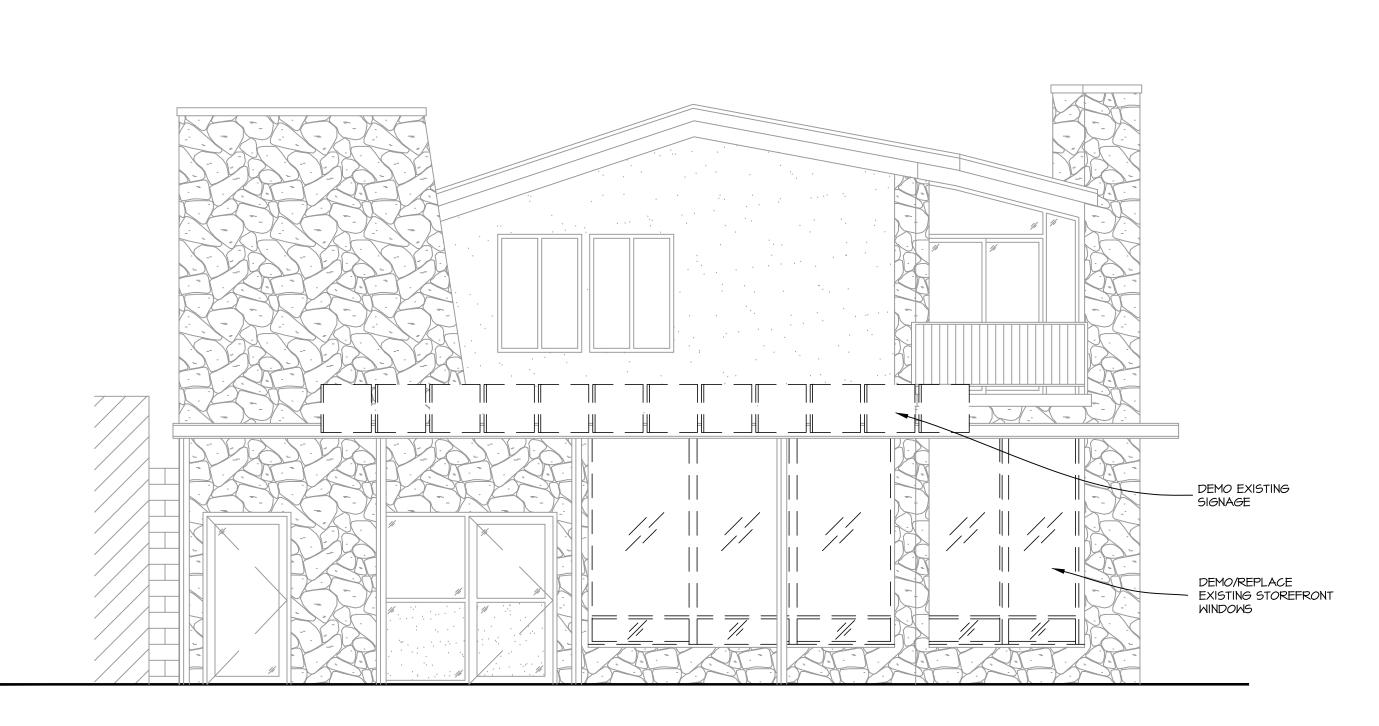
REMC

 \leq

6843 vest











PROPOSED NORTH (BELOIT) ELEVATION |/4" = |'-0"

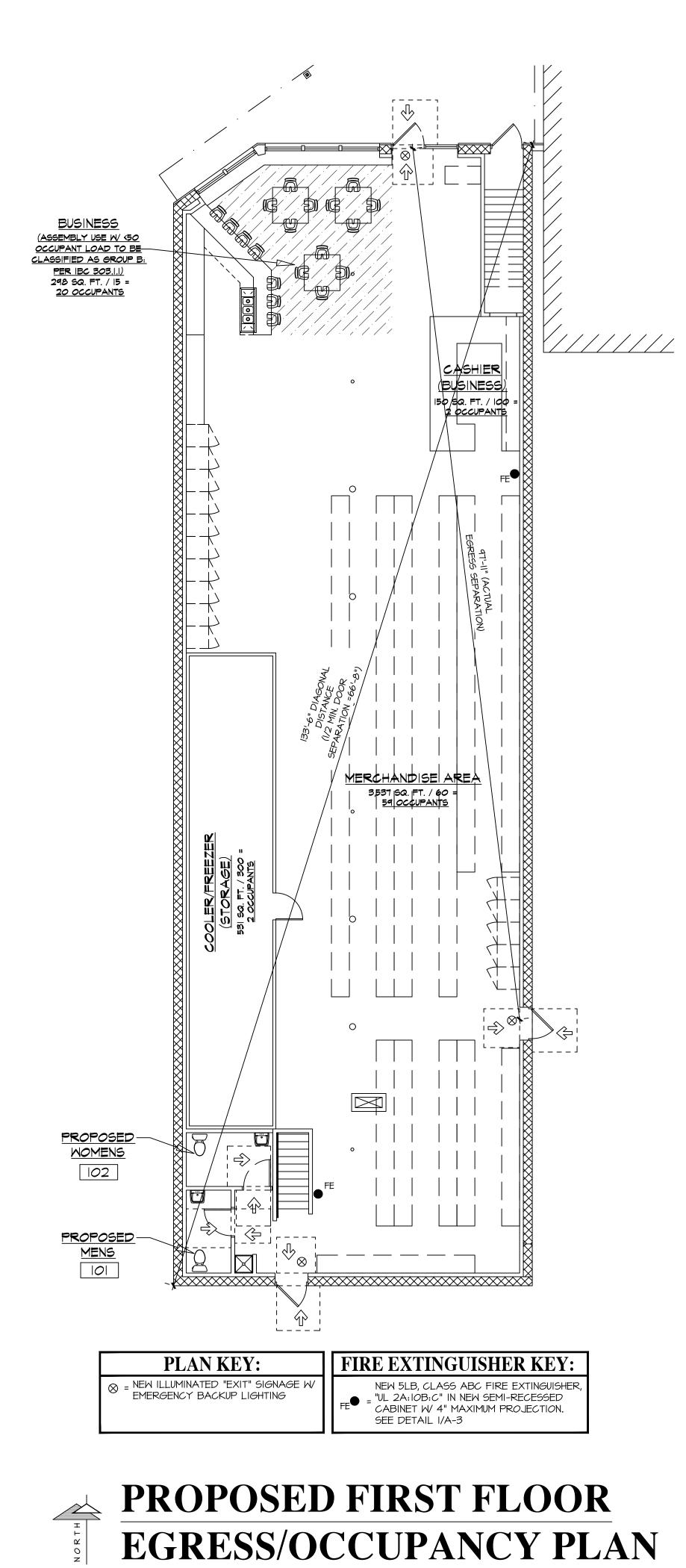


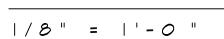
EXISTING NORTH ELEVATION PHOTO N.T.S.

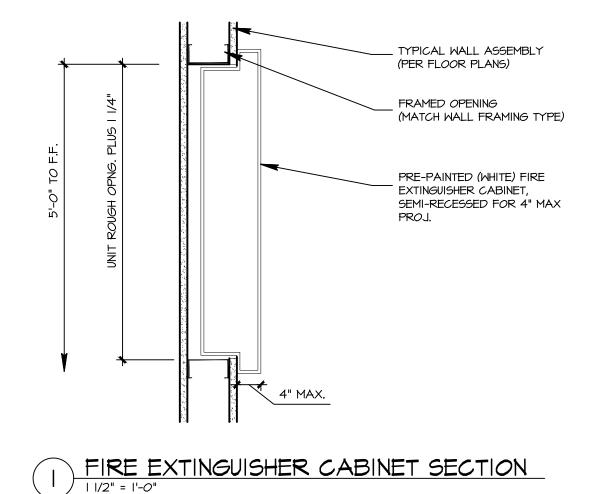


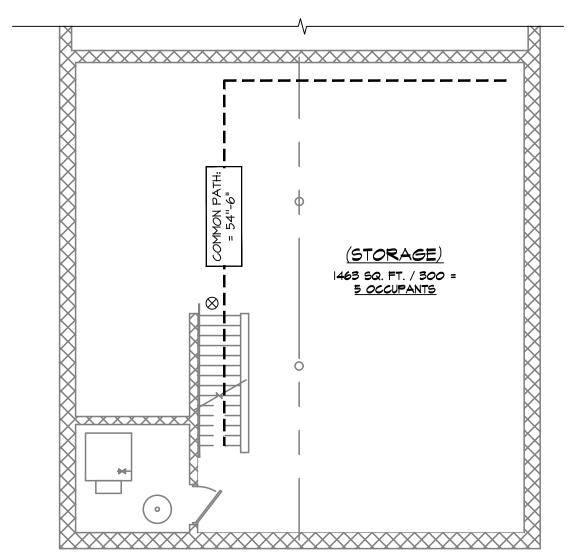
REMODE & PROPOSED ELEVATIONS MAR⁻ EXISTING/DEMO 8 TIO. MI 6843 W. BEL WEST ALLIS, EZ DATE: JAN. 10TH, 2025

PROJECT NUMBER: 25-110

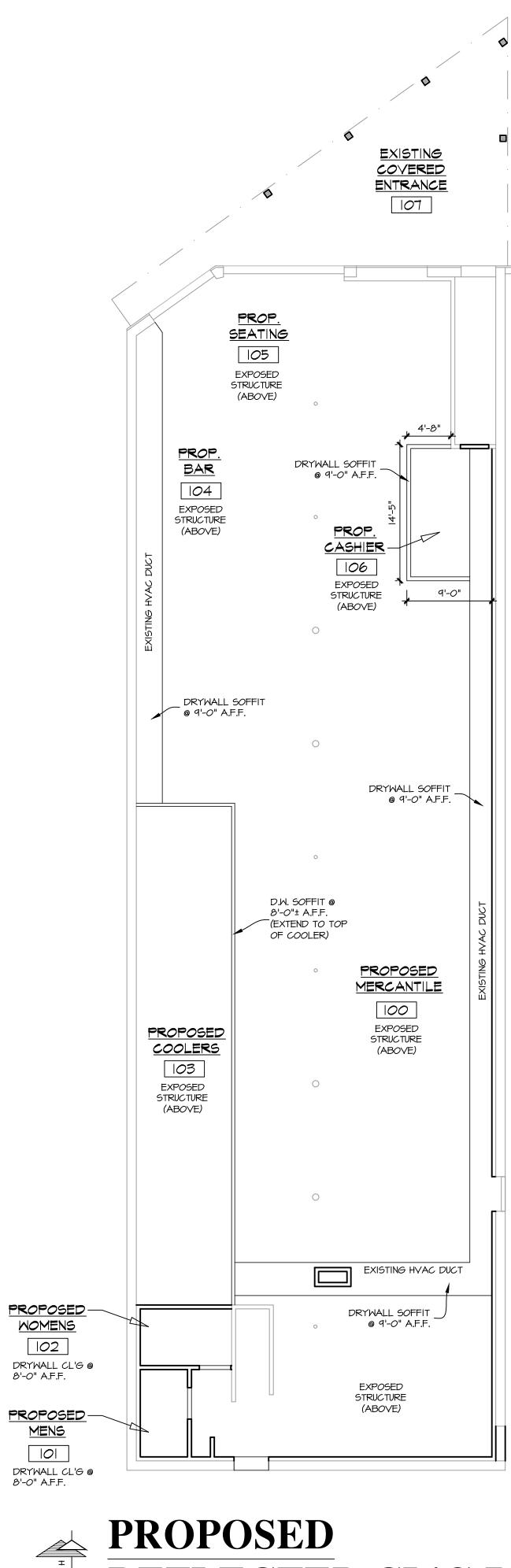




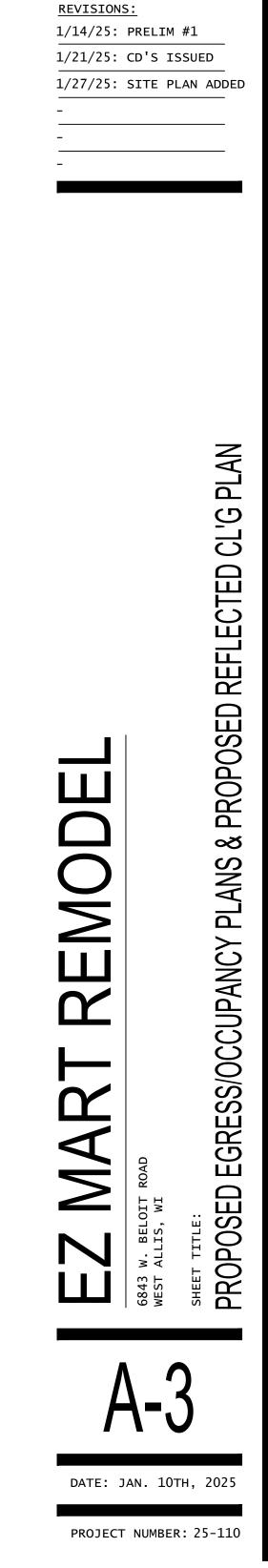








PROPOSED REFLECTED CL'G PLAN





'//////