



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, October 23, 2019
6:00 PM

Room 128 – City Hall – 7525 W. Greenfield Ave.

8. **Application for a Special Use Permit for Layman Brewing, a proposed brew pub, to be located at 7133 W. Becher St. submitted by Kyle Ida, business owner/applicant (Tax Key No. 453-1057-000).**

Items 8A and 8B may be considered together.

Overview & Zoning

The applicant is proposing to open a brewpub called Layman Brewing, to be located at 7133 W. Becher St. The brewpub combines a restaurant with a taproom serving craft beer made in-house.

The site is currently zoned C-2 Neighborhood Commercial District, which allows for a Tavern as a Special Use. A public hearing has been scheduled for November 5, 2019.



Tavern use – Layman Brewing is a brewpub which means that it is a bar that serves their beer directly to consumers and accompanies their beer with food. This particular brewpub plans to sell items such as hotdogs, ice cream, and smaller items like pretzels, chips, etc.

Staffing – Layman Brewing will begin by employing a full time brewer, kitchen manager, bartender and a part time business and marketing administrator.

Background – Kyle and Sarah have been brewing together for over 10 years, starting when Kyle's family found his great-grandfather's prohibition era beer recipes in the old family summer cabin in rural Wisconsin.

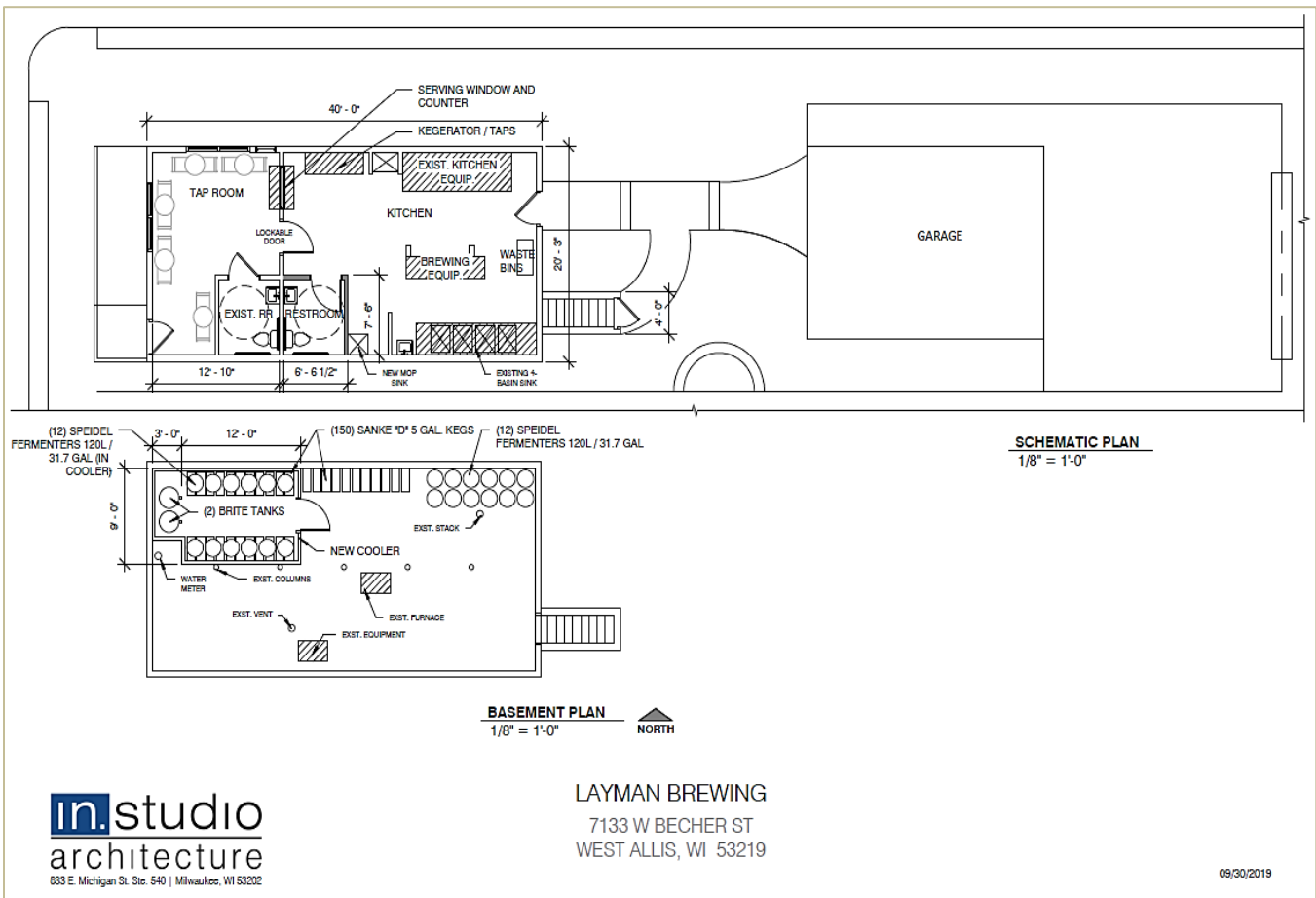
Building Use – Food and beverages will be ordered and picked up at a serving window. Customers can take a seat at any of the 15 seating spaces within the public area. Behind the serving window will be the kitchen and brewing space. The lower level is an employee-only area that will contain beer fermenters, determination tanks and storage for finished product.

Parking – Per zoning code Chapter 12.19, retail stores are required to provide 1 off-street parking space per 150 square feet of gross floor area, or 5 parking spaces. As part of the Special Use Permit, reduced parking may be permitted and customers would use street parking.



Site and Landscape Plan

The property currently has an approved site and landscape plan from April 2015. Previous property owners have completed construction on the approved plan.



Recommendation: Recommend approval of the Application for a Special Use Permit for Layman Brewing, a proposed brew pub, to be located at 7133 W. Becher St., subject to submission of hours of operation and Common Council approval of the Special Use Permit (scheduled for November 5, 2019) and applicant’s acknowledgement signature on the Special Use Resolution being submitted to the Clerk’s Office.