



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, May 29, 2024
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 3A. Certified Survey Map to consolidate and redivide property located at 6424-26 W. Greenfield Ave., 6414-22 W. Greenfield Ave., 6400 W. Greenfield Ave. 13** S. 65 St, and 1351 S. 64 St. part of a mixed use Planned Unit Development area (Tax Key Nos. 439-0145-002, 439-0144-001, 439-0141-001, 439-0146-000, 439-0147-001).**

- 3B. Ordinance to rezone a portion of property located at 6424-26 and 6414-22 W. Greenfield Ave. from C-3 to P, Park District. Rezone 6400 W. Greenfield Ave. from P, Park to C-3 commercial, 13** S. 65 St from C-2 to C-3 Commercial, and 1351 S. 64 St. from RB to C-3 commercial and create a Planned Unit Development overlay district for a mixed-use redevelopment project (Tax Key Nos. 439-0145-002, 439-0144-001, 439-0141-001, 439-0146-000, 439-0147-001)**

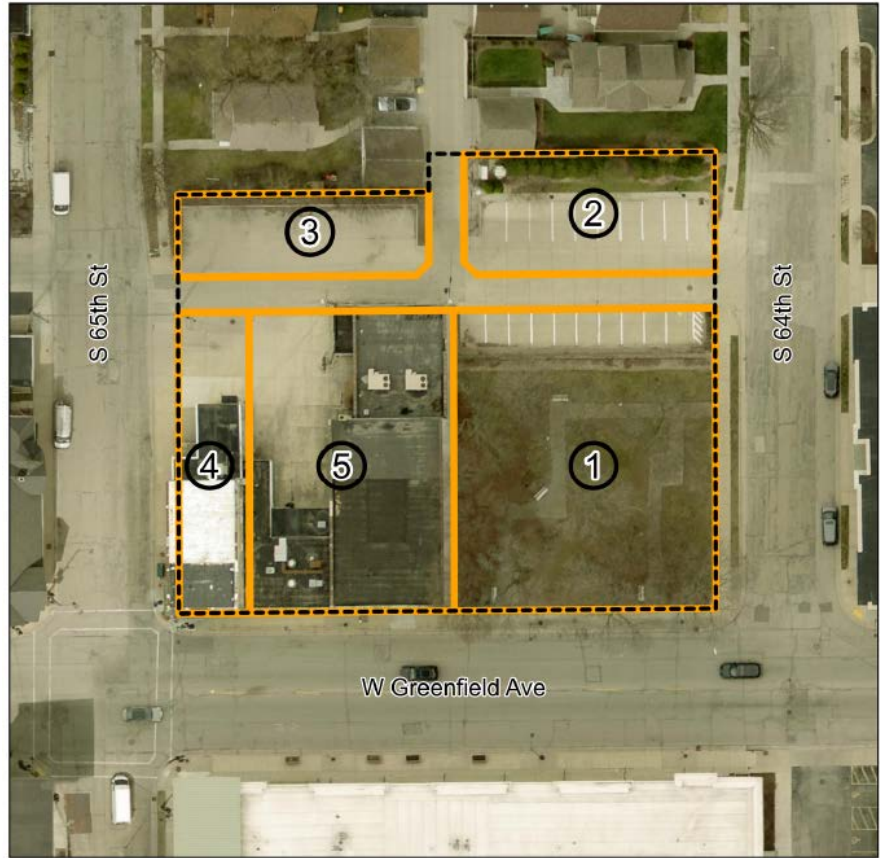
- 3C. Site, Landscaping, and Architectural Design Review for a mixed-use redevelopment at 6424-26 W. Greenfield Ave., 6414-22 W. Greenfield Ave., 6400 W. Greenfield Ave. 13** S. 65 St, and 1351 S. 64 St. part of a Planned Unit Redevelopment area (Tax Key Nos. 439-0145-002, 439-0144-001, 439-0141-001, 439-0146-000, 439-0147-001).**

- 3D. Sale of approximately 12,547-sf of city land on the property located at 6400 W. Greenfield Ave. (Tax Key No. 439-0141-001).**



Overview and Rezoning

The former Crawdaddy's and Spot Lite have been vacant for a number of years. The Community Development Authority purchased the properties for redevelopment. JJH3group and Galbraith Carnahan Architects are proposing a new 3-story mixed use development with 19 units, a 2,500 square foot retail space, and a reconfigured public park. The proposed development will replace an underutilized park area and the existing vacant commercial buildings.



Parcel Map	
①	6400 W. Greenfield Ave. (439-0141-001)
②	1351 S. 64 St. (439-0147-001)
③	13** S. 65 St. (439-0146-000)
④	6424-26 W. Greenfield Ave. (439-0145-002)
⑤	6414-22 W. Greenfield Ave. (439-0144-001)



Demolition of the existing buildings is targeted for September 2024.

Construction is

anticipated to begin in October 2024. If construction begins in October 2024, substantial completion will occur in November or December 2025 and full occupancy / lease-up by Q2 2026.

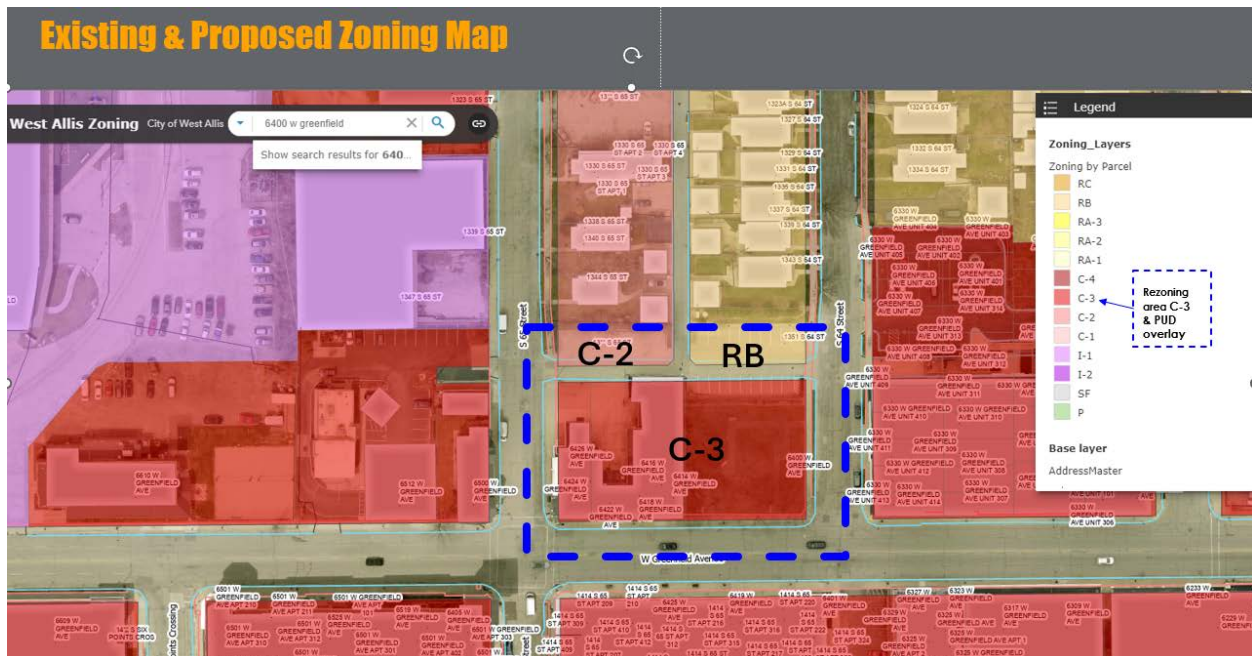
The following properties are part of the redevelopment project. Current zoning, lot area and existing use included:

1. 6400 W. Greenfield Ave.: zoned C-3. Area 12,500-sf, use is green space.
2. 1351 S. 64th St.: zoned RB. Area 4,800-sf, use surface parking.
3. 13** S. 65th St.: zoned C-2. Area 3,300-sf, use surface parking.
4. 6424-26 W. Greenfield Ave.: zoned C-3. Area 3,400-sf, vacant club.
5. 6414-22 W. Greenfield Ave.: zoned C-3. Area 9,819-sf, vacant restaurant.

To comply with the zoning code a portion of property located at 6424-26 and 6414-22 W. Greenfield Ave. will be rezoned from C-3 to P, Park District. Additionally, 6400 W. Greenfield Ave. will be rezoned from P, Park to C-3 commercial, 13** S. 65 St from C-2 to C-3 Commercial, and 1351 S. 64 St. from RB to C-3 commercial. A Planned Unit Development and overlay district will also be created for a mixed-use redevelopment project.

PUD purpose - The Planned Unit Development and overlay district offers the developer the flexibility to establish more than one principal building on a property. The city and developer (prospective buyer/owner) are jointly establishing a planned unit development over the subject properties and right-of-way. Any lands subject to a planned unit development will be zoned PUD in addition to any other underlying zoning district (C-3).

The Planned Unit Development will promote the maximum benefit from coordinated area site planning, diversified location of structures, and mixed compatible uses. The regulations are intended to provide for a safe and efficient system for pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and common facilities and ensure adequate standards of construction and planning.

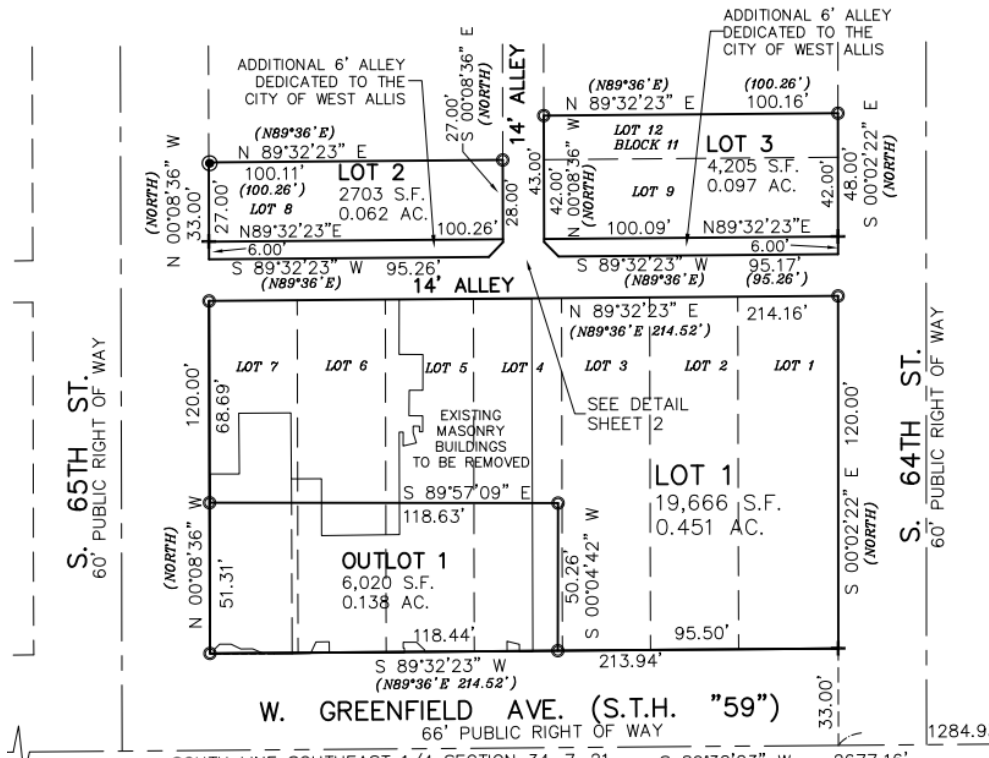


Certified Survey Map:

The current site consists of 5 different parcels. The applicant has submitted a Certified Survey Map to consolidate parcels (6400 W. Greenfield Ave. and 6424-26 W. Greenfield Ave., and 6414-22 W. Greenfield Ave. being combined, then an outlet being split out for a

future city park. The Certified Survey Map shows two parcels. Lot 1 will be 19,666 square feet and will be the site of the two buildings. Outlot 1 will be 6,020 square feet to be dedicated to the City as park land.

The CSM also indicates the dedication of a 6 feet of additional alley right-of-way to the City and deed the new park parcel to the City prior to occupancy.



Site Plan

The proposed development is upon a total of 5 parcels bounded by W. Greenfield Ave., S. 65th St., S 64th St., and two residential properties to the north.

Proposed on the east side of future Lot 1 is the mixed-use building. The mixed-use building will be a 3-story, 11-unit apartment complex. The ground floor features a 2,500 square foot retail/cafe space with an exterior patio. There are three entrances to the building: one on the future park side, one on the 64th St. side, and one on the lower level of the building.

The second building on the site is directly west of the mixed-use building. The second building will be 3-stories tall and will contain 8 townhouse units. The townhouse units have private front entrance access. A wrought iron fence separates the private stoops from the public park. The rear of the townhouse units show access via 1 ½ car garages, and a paved

surface adjacent to the garage space for an additional parking space per townhome unit (16 spaces for the townhomes).



An additional 25 surface parking spaces are located north of the east west alleyway and directly behind the mixed-use building. Future plans may include construction of a detached garage on a portion of the project area. Staff is requesting additional information on any assignment of parking spaces for commercial and/or residential users. The zoning code

utilizes maximum parking requirements. For dwellings of more than 3 units a max of 2 parking spaces per unit. Restaurants have a maximum parking limit based on a 1/150 ratio. In other words, for a 2,500-sf restaurant/café not more than 16 parking spaces. See zoning [sec. 19.44 vehicle parking](#).

Why Parking maximums - Off-street parking maximum standards in zoning ordinances limit the construction of parking lots that are larger than necessary. Historically, local governments across the U.S. have routinely set parking minimums in their land development regulations for various types of uses. The purpose of parking minimums is to insure that there are sufficient off-street parking spaces for each development based, typically, on the building use and size. Increasingly, local governments recognize the need to limit parking for a variety of reasons (growth/density, walkable/comfortable neighborhoods and thriving urban corridor, added taxable value proposition, parking isn't free, high cost, sustainability) and therefore establish parking maximums in their regulations, establishing an upper bound for the number of spaces allowed for a specific use, thus controlling the amount of land and impervious surface associated with parking.

The parking areas are access via alley entrances on S. 64th St, S. 65th St. and an existing alley connection that feeds to W. Madison St. A trash enclosure is sized for two 3-yard dumpsters, serving both the apartments and the retail space. Staff contemplated recommending an alternate placement of the trash enclosure further away from the adjacent residential to the north, but notes the proposed location is buffered by existing landscaping, also the existing adjacent residential garage, and further by the new refuse enclosure. A total of three outdoor bicycle racks are shown on the property. Per Code, all dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units. Only indoor bicycle parking spaces that are accessible without using stairs shall

count toward this minimum number. At least 1 indoor bicycle parking space shall have an electrical outlet within 2 feet. Bicycle parking is included in the project description, and more details will be shared by the developer to satisfy the requirement.

The site plan references a 50-ft x 118-ft greenspace amenity on the SW corner of the project area. This area is further delineated on the CSM as outlot 1. This is land area that will be improved by the developer and then later dedicated to the City as a public park. The area is shown to consist primarily of greenspace with connecting pedestrian paths that provide access east to west. The sidewalk continues within the greenspace towards the patio space for the future retail tenant. Stone benches, native grasses, shrubs, decorative lighting, and trees are also shown in this area.

A detailed landscaping plan will be required as part of the project. With respect to the outlot area (a future city park), the developer proposes to make site improvements including a curved path with decorative lighting guides pedestrians to/from the Farmers Market. The main center area is intentionally being left unprogrammed as that will offer flexibility of use – music, movies, other events – and allows space for kids to play while their parents sit and talk on a bench or the restaurant patio. Natural plantings will be installed and the area at the west end of park for aesthetics and stormwater management. Benches along the Greenfield Avenue sidewalk delineating the space while **inviting entry**. An art feature and/or city directory at southwest corner is also planned by the developer.





GALBRAITH CARNAHAN ARCHITECTS

Architectural Plan

The architectural plan shows a 3-story mixed use building with a stepped façade and masonry base. Wrapping around the mixed-use building is a masonry base consisting of modular brick veneer. Multiple floor-to-ceiling windows are scattered among the masonry base. Separating the upper stories from the base is a cast stone wall cap. The upper stories consist of LP smartside lap siding. Along these upper stories are windows for the apartment units along with steel railed balconies. The massing of the building is broken up by a vertical feature consisting of metal shingle siding.

Similar in design to the mixed-use building, the townhouse building shows a visually interesting design. The townhouse building has a sand blasted concrete base wrapping around the first-floor level. Continuing up the building is LP Smartside lap siding. The siding is visually appealing through a stepped roof line creating vertical elements. Wrapping around the street facing the façade are a series of tall windows and doors. Cedar fencing provides privacy for the first-floor entrances. On the north façade of the townhouse



Mixed-Use Building: West Elevation

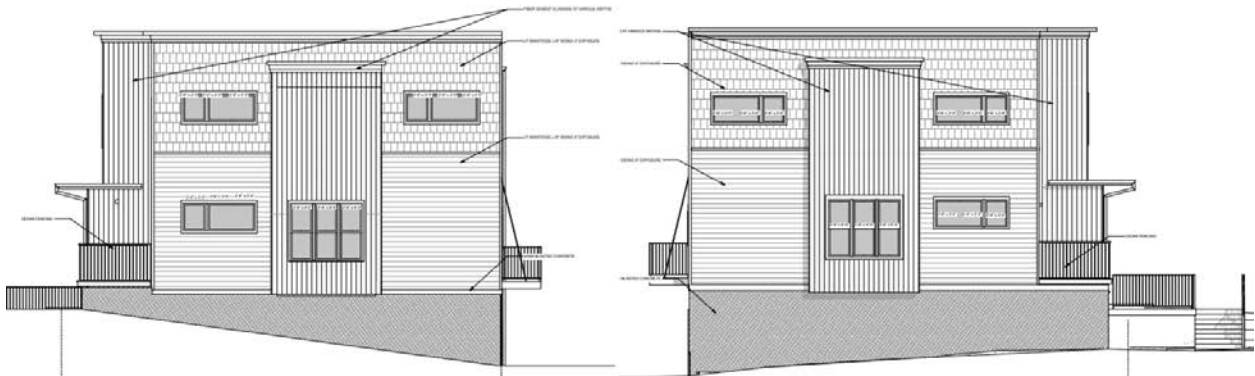
building there is a series of windows on the third story. The second story consists of patio entry doors with balconies. The first story shows the garage doors for the units.



Townhouse Building: South Elevation



Townhouse Building: North Elevation



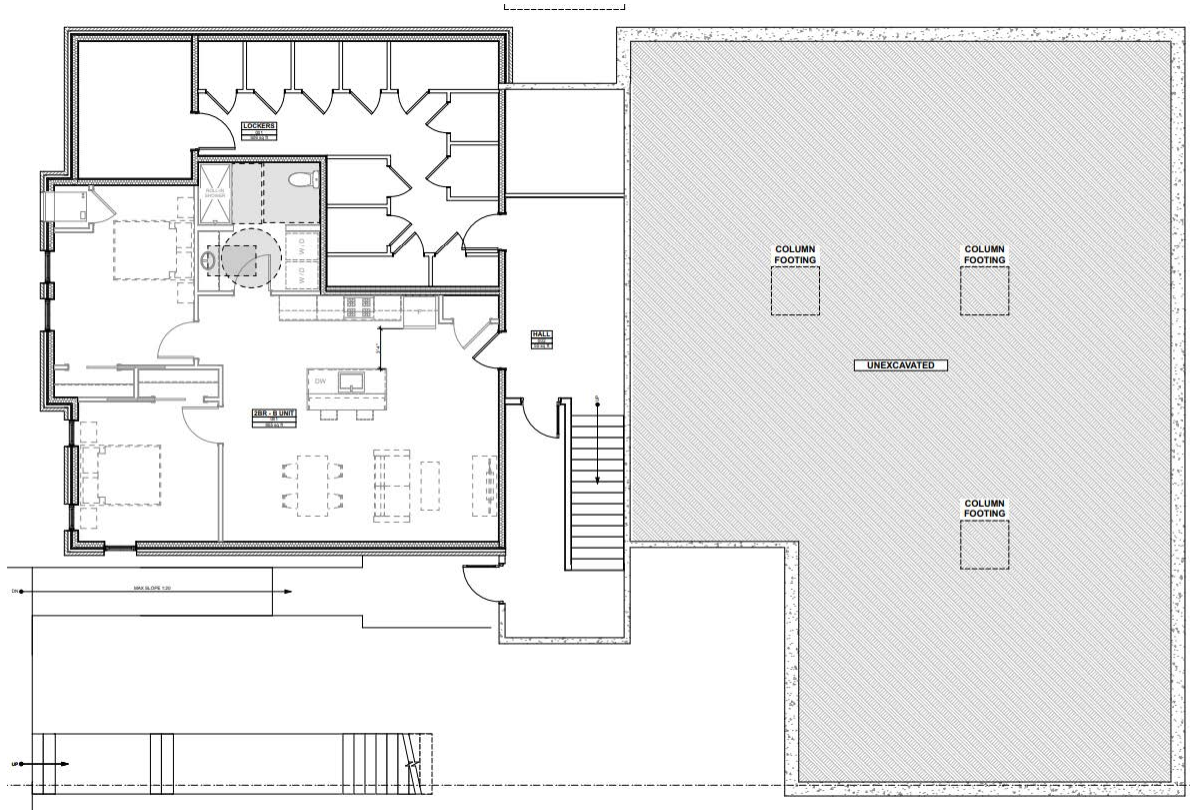
Townhouse Building: East and West Elevations

Floor Plans

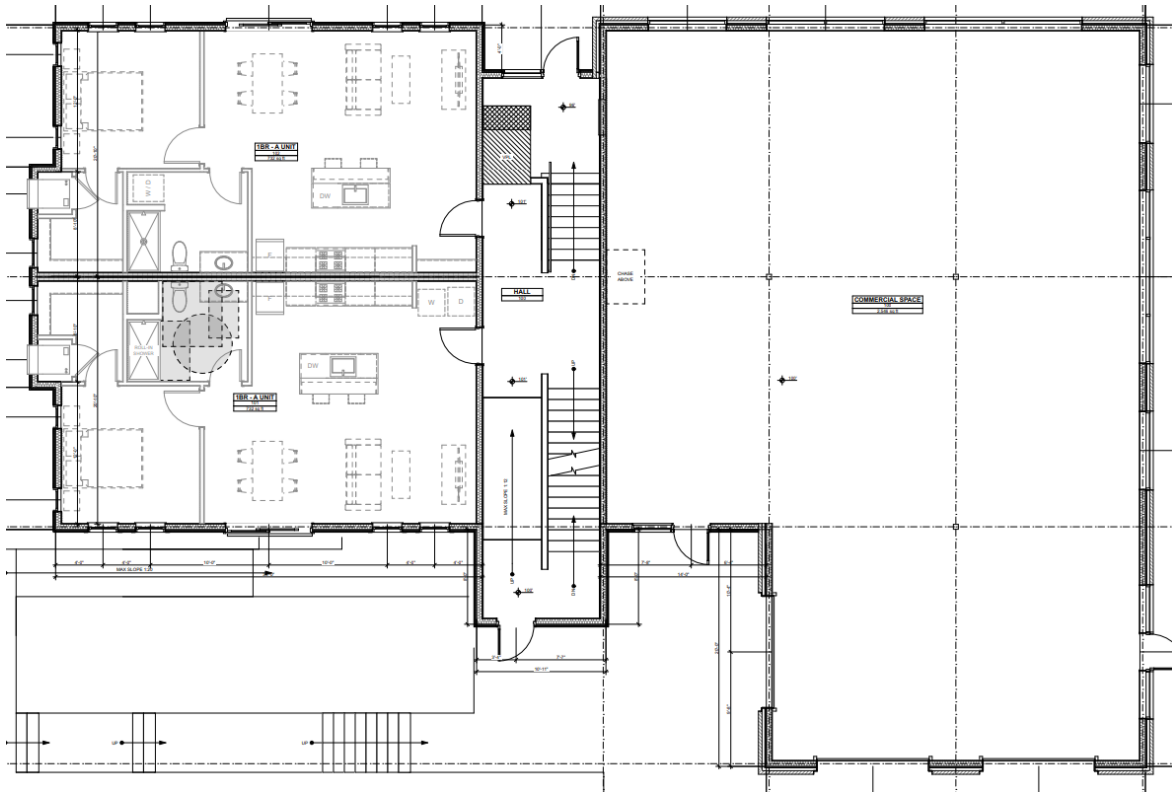
Due to a lower grade on the northern portion of the site, the mixed-use building has a lower-level 2-bedroom apartment unit. Additionally, the lower-level floor plan also contains storage lockers and a hallway with stair access. The first-floor plan shows two 1-bedroom units. These units lead into the hall with stair access. The first-floor commercial

space is also shown. The second and third floor plans show a total of 8 units with a mix of bedrooms.

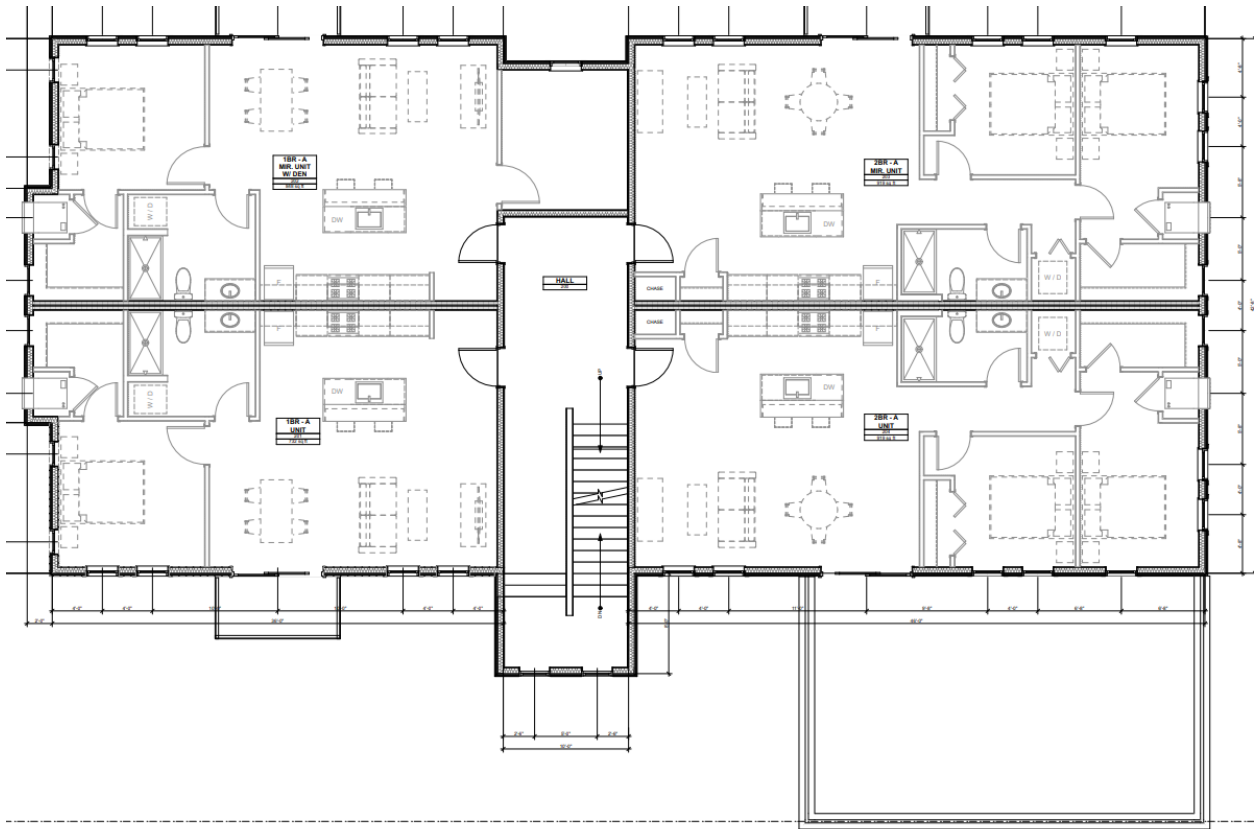
The townhouse floor plan shows two styles of townhouses—Type A and Type B. The lower-level floor plan shows garage entry with stair access to the upper levels of the townhouses. The first floor shows a kitchen space with access to a balcony and a large open area. Continuing up the stairs to the second floor are two bedrooms with bathrooms.



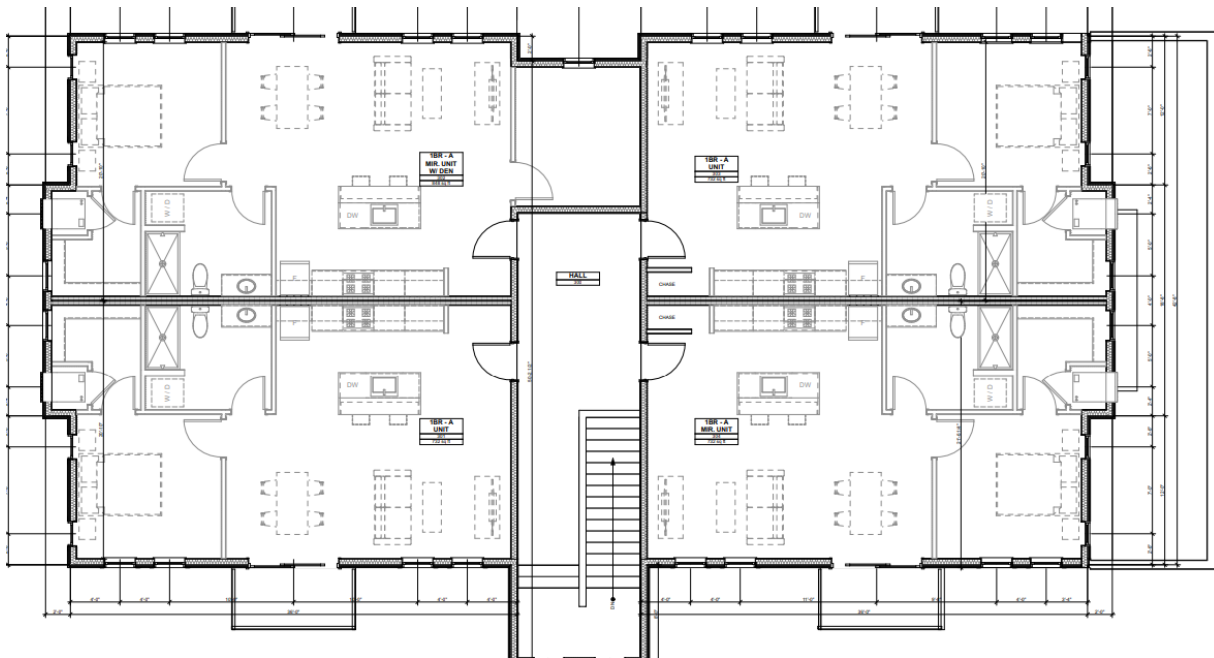
Mixed-Use Building: Lower-level floor plan



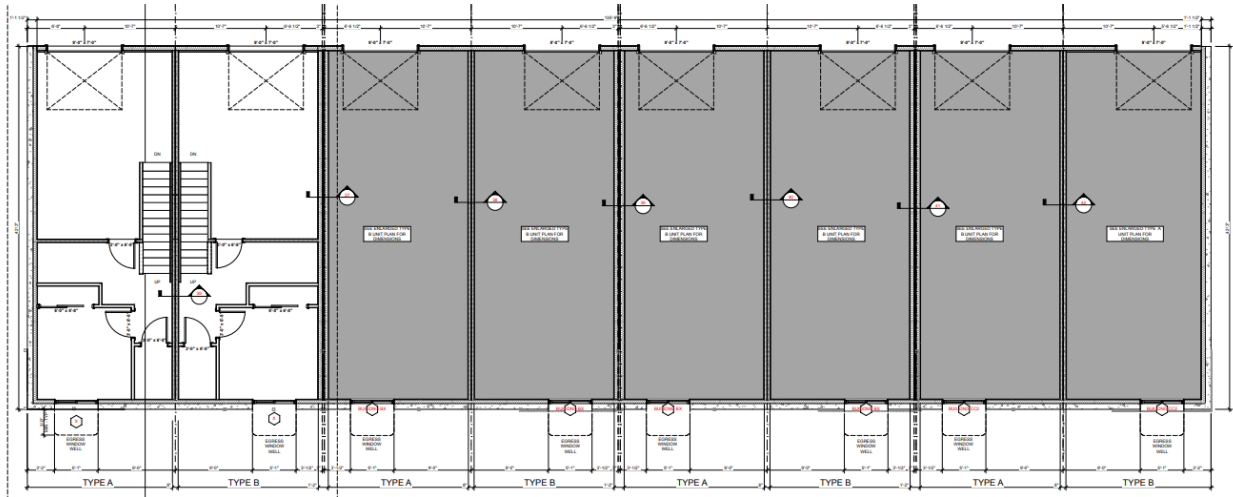
Mixed-Use Building: First-floor plan



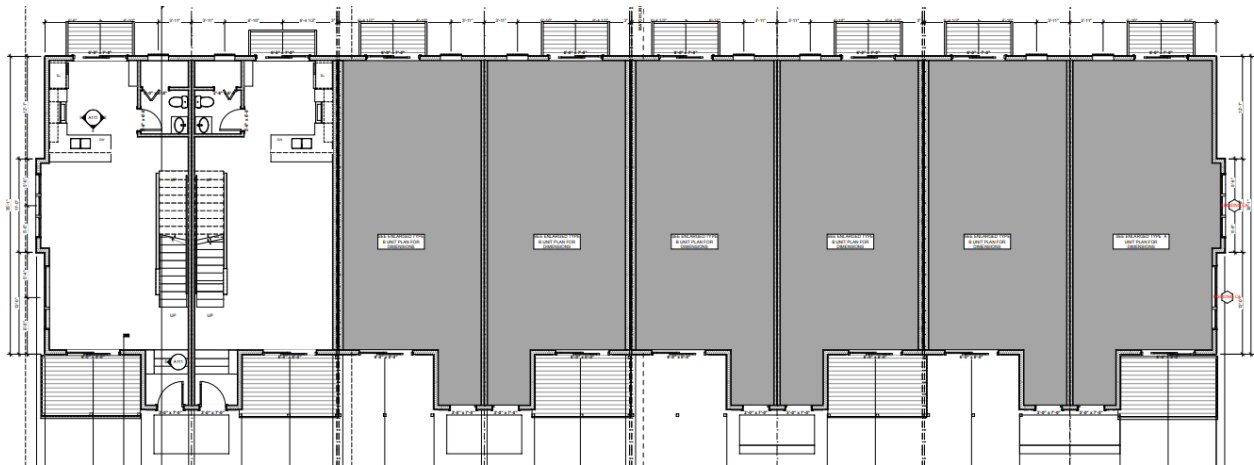
Mixed-Use Building: Second-floor plan



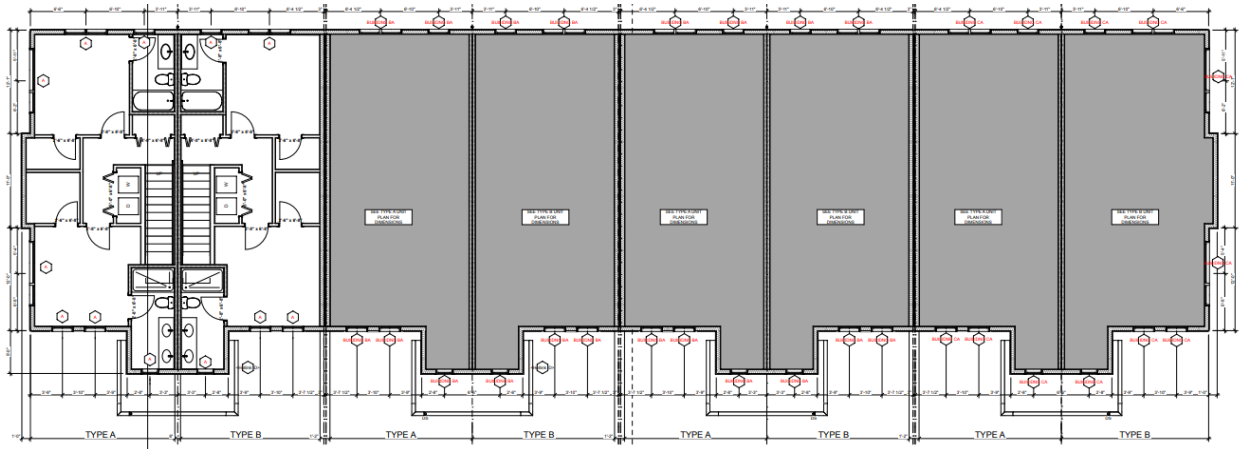
Mixed-Use Building: Third-floor plan



Townhouse Building: Lower-level floor plan



Townhouse Building: First-floor plan



Townhouse Building: Second-floor plan

Unit Mix

The 19 units include:

- Mixed Use Building:
 - 8 1-bedroom units
 - 3 2-bedroom units
- Townhouse Building
 - 8 3-bedroom units

Design Guidelines

Compliance with the design guidelines is mandatory for new development. The proposed project satisfies all applicable guideline requirements. See attached Plan Commission checklist.



Recommendation: Approve the Site, Landscaping, and Architectural Design Review for a mixed-use redevelopment at 6424-26 W. Greenfield Ave., 6414-22 W. Greenfield Ave., 6400 W. Greenfield Ave. 13** S. 65 St, and 1351 S. 64 St. part of a Planned Unit Redevelopment area (Tax Key Nos. 439-0145-002, 439-0144-001, 439-0141-001, 439-0146-000, 439-0147-001) subject to the following conditions:

1. Common Council approval of the Planned Unit Development and overlay district.

2. Common Council approval of the Certified Survey Map, subject to technical corrections.
3. Common Council approval of the sale of land and being in alignment with the 2045 Comprehensive Land Use Plan, and Redevelopment vision for the city.
4. Revised Site, Landscaping, and Architectural plans submitted to show the following: (a) at least 3 indoor bicycle parking spaces to comply with Sec. 19.44 Vehicle Parking; (b) detailed site improvement and landscaping plan (including species list) for all lots and outlot area being approved by staff and City Forestry; (c) photometric/lighting plan approved by Planning & Zoning staff.
5. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
6. Planned work or modifications within City right-of-way shall be coordinated with City Engineering. Driveway permits being applied for and obtained through City Engineering for any modifications. Contact Greg Bartelme (414) 302-8367



Real Estate Development, Design
and Construction Consulting

April 26, 2024

Steven J. Schaer, AICP
Manager, Planning & Zoning
City of West Allis
7525 West Greenfield Avenue
West Allis, Wisconsin 53214

RE: Rezoning, CSM and Site, Landscaping and Architectural Design Review Submittals
6400 Greenfield – Mixed Use Redevelopment
6400 West Greenfield Avenue, West Allis, WI 53214

Mr. Schaer:

Following up on our pre-submittal meeting last week, please see the attached formal submittal package for the above-referenced development project. This package includes all of the required documents for our Rezoning, Certified Survey Map and Site, Landscape and Architectural Design Review applications.

It is also our understanding that rezoning applications require an Alderman Sponsor. To that end, I had a meeting with Alderman Ray Turner on March 20th during which he expressed enthusiastic support for what we're proposing and offered to sponsor for our rezoning request.

If you have any questions or require any additional information, please do not hesitate to contact me directly either by phone (414-333-3430) or email (JHook@JJH3group.com). Thank you again for your time and consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "JJH", is positioned above the typed name.

Jeffrey J. Hook, Principal
JJH3group LLC

cc: Joe Galbraith, AIA, Partner – Galbraith Carnahan Architects
Patrick Schloss, Executive Director – CDA of the City of West Allis

OVERALL PROJECT NARRATIVE

Jeffrey Hook of JJH3group and Joe Galbraith of Galbraith Carnahan Architects are proud co-developers of the proposed mixed-use development at 6400-6426 West Greenfield Avenue (“6400 Greenfield”).

Preliminary agreements are in place to acquire five properties from the City of West Allis and the Community Development Authority of the City of West Allis for a new multifamily development in the Six Points Neighborhood (see the “CSM Application” section for additional property details). The developers will purchase the properties from the City, design and construct the new development and dedicate a new public park space back to the City. In addition, a new tax increment financing district is currently being created to support a developer-funded TIF.

The private elements of the new development consist of two buildings on a single consolidated parcel: An 8-unit rental townhome/rowhouse building and a 3-story mixed-use building with 11 apartment units and a 2,500 sqft retail space. The goal of the development is to replace a collection of blighted buildings and an underutilized public space with an active new residential development and community gathering hub. This new “Missing Middle Housing” development will also provide a transition between the single family homes to the north and the taller, higher-density multifamily buildings to the south and east.

The buildings have been designed to fit in with, complement and hopefully enhance the architectural aesthetic of the neighborhood. We also hope to generate community energy from our new park, where we’ve oriented our porches and café patio inward to replicate the feel of the small, active squares found in cities around the world.

Preliminary site plans, floor plans and elevations are included in this submittal package to provide additional detail, but some of the highlights of each part of the development are as follows...

TOWNHOUSES

- Eight (8) rental townhome/rowhouse units
- Designed as four (4) side-by-side duplexes under the Wisconsin Uniform Dwelling Code
- 3 bedrooms / 2.5 bathrooms
- 1-1/2 car garages with an additional surface parking spaces offset behind
- Small rear patio for code-required egress, but the larger primary patio is in front along the park
- Front wrought iron railing delineates private stoops from public walk
- Stepped roof line and front stoop elevations follow the site grades and provide aesthetic interest
- Exterior composite wood siding with metal shingles for accent to blend with neighboring properties
- Working with WE Energies on power lines... May slide townhouses over ±2 feet to avoid existing poles

MIXED-USE BUILDING

- 3-story, 11-unit apartment building under the International Building Code
- Six (6) 1-Bedroom units, two (2) 1-Bedroom+Den units and three (3) 2-Bedroom units
- 2,500 sqft retail/cafe space with exterior patio under festoon lighting
- Three entrances: Park side, street side and lower level with bike racks, workout room and storage
- Private tenant balconies
- Stepped façade with masonry base creates interest at the street level and brings building to human scale
- Exterior composite wood siding with metal shingles for accent to blend with neighboring properties
- Signage and sign bands will be incorporated into the architecture to create an identity and sense of place
- Retaining wall by lower entry to have public art, ivy or other accent feature
- All surface parking, but may construct detached garage in the future (see “Contingency Plans” below)
- Trash enclosure for apartment and retail use sized for two (2) 3-yard dumpsters
- Two street loading zones are delineated to support the retail and residential uses: Restaurant deliveries, loading, customer food pick-up, package deliveries, car service pick-ups, handicapped parking

SITE / PUBLIC PARK SPACE

- Relocated park – moved from the SE to SW corner of the site – puts it at the more public 65th Street crossroads, rather than the 64th Street dead end, and opens it up for afternoon and early evening sun
- Welcoming curved path with decorative lighting guides pedestrians to/from the Farmers Market
- Main center area left unprogrammed offers flexibility of use – music, movies, other events – and allows space for kids to play while their parents sit and talk on a bench or the restaurant patio
- Natural plantings area at west end of park for aesthetics and stormwater management
- Art feature and/or city directory at southwest corner
- Benches along the Greenfield Avenue sidewalk delineating the space while inviting entry
- Restaurant patio overflow area under festoon lighting

POTENTIAL GREEN INITIATIVES

- Leaving the majority of the existing concrete alley and parking area in place
- Leaving existing foundations in-place and backfilling with demolished masonry saves trucking and landfill
- Constructing a water-efficient natural planting area on the west end of the park
- Exploring additional green infrastructure opportunities with MMSD and their consulting partners
 - Landscaping plans have been kept at the preliminary stage pending scheduled meetings
 - Potential for green roofs, rain gardens and/or pervious pavement if grant funding is available

FUTURE DEVELOPMENT CONTINGENCY PLANS:

- We would like to reserve the right to construct a detached 6- or 8-car garage for our apartments tenants.
- We would like to reserve the right to subdivide the retail space into two or three live-work units.
- We would like to reserve the right – for the property owners and/or their tenants – to rent out the residential units via short-term rental services such as AirBNB.

REZONING APPLICATION

APPLICANT AND/OR OWNER, ARCHITECT, PLANNER OR PROFESSIONAL ENGINEER

Jeffrey J. Hook, Principal
JJH3group LLC
P.O. Box 1978, Milwaukee WI 53201
414-333-3430
jhook@jjh3group.com

Joe Galbraith, AIA, Partner
Galbraith Carnahan Architects
6404 W North Ave, Wauwatosa WI 53213
414-291-0772
jrg@galbraithcarnahan.com

PRELIMINARY DEVELOPMENT PLANS

- Aerial photos showing surrounding buildings and uses
- Perspective drawings of all proposed structures and improvements
- Plat of survey
- Site plan
- Existing topography and proposed grading changes
- Preliminary building plans and elevations – Townhouses
- Preliminary building plans and elevations – Mixed use building

WRITTEN STATEMENT

- **Statement of present ownership:** The five (5) properties included in this submittal are currently owned by the City of West Allis. See the Certified Survey Map written narrative for additional details.

- **Statement of proposed financing:** The developers are working with the City to create a new tax increment financing district and a developer-funded TIF that will help finance the project. The exact terms of that arrangement are still being negotiated, but the capital stack will be roughly as follows...
 - Monetized developer-funded TIF 20%
 - Developer / investor cash equity 20%
 - Conventional construction loan 60%
- **Statement restricting the project to be constructed:** In addition to the attached site and building drawings, we have provided a detailed run-down of the proposed development activities and uses below.

DEVELOPMENT SCHEDULE

- **Approximate construction start date:** There are several parallel development processes that all impact the actual construction start date – rezoning and use approvals, a new tax increment financing district, bank financing, investor engagement, land sale and developer agreements and potential utility redesigns, just to name a few. The current goal is to close on the acquisition of the properties in early September 2024, with demolition to immediately follow and new construction to begin in October 2024.
- **Construction stages and approximate start and completion dates:** We anticipate the construction of the new buildings and public park space to take approximately 12 to 14 months. Thus, if new construction does begin in October 2024, we should expect substantial completion in November or December 2025 and full occupancy / lease-up by Q2 2026.
- **Agreements, provisions and covenants which govern the maintenance and continued operation of the planned development and any of its common open areas:** We are currently working with the City Staff to negotiate the terms of our Development Agreements. The anticipated terms, as they relate to maintenance and continued operation of the planned development, are generally as follows...
 - The developers will engage a property management firm to lease and manage the property
 - While the public park will be dedicated back to the City, the developers will be responsible for normal maintenance of the park and the parking lots behind the development: Landscaping, snow removal, trash removal, general clean-up, light and power bills, etc.
 - The City will be responsible for ownership-related costs of the park – replacement of worn out and/or damaged furniture, insurance and liability for public use of the space, future modifications, etc.

DETAILS REGARDING PROPOSED ZONING, IMPROVEMENTS AND USES

As discussed in detail elsewhere in this submittal package, we have designed this development to fit into – and enhance – the existing context of the neighborhood. As such, the proposed development plans and uses are generally consistent with the C-3 zoning in the immediate vicinity. However, there are aspects of this complex development that fall slightly outside of some detailed aspects of that zoning designation and thus require a PUD overlay. The following is a detailed analysis of those aspects...

- Current zoning:** C-3 (three properties along Greenfield Avenue)
C-2 (northwest property)
RB (northeast property)
- Proposed zoning:** C-3 with a Planned Unit Development Overlay (all privately-owned parcels)
P (dedicated public park)
- Principal buildings:** The two buildings in this development will share a single parcel.

Principal uses: The following are either currently proposed or may be desired in the future...

Residential and Lodging:

- 2-unit dwelling: The townhouses are duplexes by building code designation
- Dwelling with 5+ units: The mixed-use building will have eleven (11) units, with the potential for up to fourteen (14) if the retail space is repurposed to residential
- Short term rental: We want to reserve the ability for ourselves and our tenants to rent one or more of the units via AirBNB or other short-term rental service

Retail:

- Alcohol beverage sales
- General retail
- Neighborhood retail

Parks and Recreation:

- Public park

Medical:

- Medical clinic
- Medical service
- Veterinary service

Service:

- General service
- Neighborhood service
- Restaurant
- Tavern

Accessory uses: The following are either currently proposed or may be desired in the future ...

- Electric vehicle charging
- Home-based business
- Home office
- Outdoor dining
- Outdoor sales / displays
- Parking lot / structure / garage
- Solar energy system

Residential accessory buildings: We would like to reserve the right to construct a 6- to 8-unit detached garage on the site if it later proves critical to our ability to rent the units in the mixed-use building.

Structures in yards: The following are either currently proposed or may be desired in the future...

- Accessory bldg (see above)
- Air conditioning equipment
- Basketball hoop
- Canopy
- Fence
- Landscaping
- Parking lot
- Patio
- Planter box
- Porch
- Refuse container enclosure
- Retaining wall
- Sign
- Decorations

Vehicle parking: The following quantities and allocations are subject to change based on future need...

- Eight (8) interior garage spaces, one for each townhouse
- Eight (8) striped exterior surface parking spaces... one behind each townhouse
- Fourteen (14) surface spaces assigned to apartment tenants... one per bedroom
- One (1) surface parking handicapped space... could be two (2) based on occupancy
- Ten (10) surface spaces dedicated for retail employees, customers and guests
- We have also shown two street loading / handicapped parking zones along Greenfield Ave and 65th St, adjacent to the retail and mixed use building entrances

Bicycle parking: The following bicycle parking facilities are proposed, but may be added to in the future...

- One (1) exterior bicycle rack near the park / retail space
- One (1) exterior bicycle rack near the lower-level apartment entrance
- Three (3) interior bicycle racks near the lower-level apartment entrance

CERTIFIED SURVEY MAP APPLICATION

We have preliminary agreements in place to acquire five (5) parcels from the City of West Allis and the Community Development Authority of the City of West Allis. We intend to consolidate those parcels under one ownership entity, dedicate 6 feet of additional alley right-of-way to the City, and deed the new park parcel to the City prior to occupancy.

Current Parcels:

Parcels currently owned by the City of West Allis:

- 6400 West Greenfield Avenue, West Allis WI 53214 (Tax Key No. 439-0141-001)
- 1351 South 64th Street, West Allis WI 53214 (Tax Key No. 439-0147-001)

Parcels currently owned by Community Development Authority of the City of West Allis:

- 6414-6422 West Greenfield Ave, West Allis WI 53214 (Tax Key No. 439-0144-001)
- 6424-6425 West Greenfield Ave, West Allis WI 53214 (Tax Key No. 439-0145-0002)
- 13** South 65th Street, West Allis WI 53214 (Tax Key No. 439-0146-000)

Future Parcels:

The five (5) parcels will be consolidated into four (4) parcels with new property lines:

- The two (2) northern parcels will remain essentially as-is, but we are dedicating 6 feet to the east-west portions of the public alley... widening both from 14' to 20'.
- The three (3) southern parcels will be temporarily consolidated into a single parcel during construction.
- After construction is completed, the new public park parcel will be deeded back to the City... likely via Quit Claim Deed.

SITE, LANDSCAPING AND ARCH DESIGN REVIEW APPLICATION

PROJECT DESCRIPTION

- **Description of building improvements:** In general terms, we will be demolishing and clearing the existing site in order to construct two new buildings: An 8-unit rental townhome/rowhouse building and a 3-story mixed-use building with 11 apartments and a 2,500 sqft retail/restaurant space. We will also be constructing a new public park with an outdoor seating/dining area for the retail space. All residential parking – and a substantial portion of the retail parking – will be on-site behind the new buildings. See the Overall Development Narrative above for additional details.
- **Timeline for when work will be completed:** We are currently targeting September 2024 for demolition of the existing building and October 2024 for the beginning of new construction, with occupancy beginning in November or December 2025. See the Rezoning Application narrative for additional details.
- **Description of all operations / services:**
 - The residential portions of the development are typical of other similar developments in the area.
 - The retail space is as of yet undefined, but we would like to see that space occupied by a local owner-operator – preferably a small restaurant or café – that can make use of the exterior spaces and create a community hub.
 - The park will be a publicly-owned park, but will be left unprogrammed rather than furnished with playground equipment.

- **Days and hours of operation:** The operating days and hours of the retail operation cannot be defined until the user is defined.

SITE, LANDSCAPING AND ARCHITECTURAL PLANS

- Aerial photos showing surrounding buildings and uses
- Perspective drawings of all proposed structures and improvements
- Plat of survey
- Site plan / Preliminary landscaping and site lighting plan
- Existing topography and proposed grading changes
- Preliminary building plans and elevations – Townhouses
- Preliminary building plans and elevations – Mixed use building

DESIGN REVIEW GUIDELINES

We have reproduced the West Allis Design Review Guidelines below, noting our compliance with each requirement and **highlighting in green** the specific aspects of each requirement that our development addresses...

1. Context: Build on the context of the site and its surroundings

1.a Neighbor: Contribute to a sense of place and create positive relationships with neighboring properties

- 1.a.i Contribute to a vibrant and fine-grained street wall**
Buildings should **add to a sense of enclosure around the public realm** and augment the form of the street wall by **contributing to its rhythm and variety**. Smaller lots lead to inherently more walkable, exciting places. **Buildings on larger lots should break up building massing, divide into separate and unique destinations at street-level**, and use **texturing of materials and signage, repetition of multiple doors**, decorative windows, and prominent entrances to contribute to a fine-grained environment.
- 1.a.ii Scale building mass to content**
Increase the height and bulk at prominent corners **while stepping down height and mass adjacent to low density residential**.
- 1.a.iii Reinforce neighboring historic structures**
Give deference to landmarks by stepping down towards the landmark height or allowing a wide berth. Reinforce the local context by **integrating materials, proportions, and patterns found in the area** to new development. Acknowledge local character-defining architectural features and respond to nearby historic, cultural, or civic resources.
- 1.a.iv Build and maintain connectivity to neighboring sites**
Create visual and physical links to adjacent pedestrian pathways and open spaces. Respect interior connections with neighbors. Setbacks should offer pathways, trails, and open spaces.

1.b Site: Integrate and enhance the site's features

- 1.b.i Orient the front of the building to the primary street frontage**
Buildings on development sites should be situated such that **the front of the building faces the front of the site**.
- 1.b.ii Capitalize on the unique physical features and boundaries of the site**
The unique qualities of a site may offer opportunities for design features such as **prominent entries** at high-visibility corners or curving streets, **space on unusually shaped sites that can be incorporated into the public realm**, or additional buffer for pedestrians from moving vehicles.

☑ **1.b.iii Re-purpose architectural elements, feature historic remnants and retain character-defining details**

Retain and incorporate historic features of the site where possible to augment the **sense of place and uniqueness**. Deconstruct and reuse materials within the development such as lumber, machinery, stone, or architectural features where possible.

☑ **1.b.iv Create additions that reference existing architecture**

Buildings are products of their own time. Additions should not be replications but should **thoughtfully respond to existing architecture**. This may include continuing proportions, vertical, and horizontal lines, referencing rhythms of pillars, windows, bays, or other features, and logically connecting structures.

2. Public Realm: Contribute to a vibrant public realm that is accessible, attractive, and inclusive to all community members and visitors

2.a Active Ground Floor: Design the sidewalk level of buildings to be active and human-scaled

☑ **2.a.i Design tall and clear commercial ground floors**

Commercial ground floors should be visually accessible and appealing from the outside. Ground floors should be tall, ideally 14 ft., with large, transparent storefront windows, multiple entries, interesting features, and visual displays that welcome people walking by and blend the public and private realm. Interior display racks should not block views from the outside.

☑ **2.a.ii Soften the street edge**

Thoughtfully blend the public and private commercial realms by providing awnings, covered entries, room for informal retail displays, planters, and outdoor seating. Buffer the public and private residential realms by using generous stoops, porches, and layered landscaping to create semi-private spaces.

☑ **2.a.iii Locate active uses next to the public sidewalk**

Where possible, incorporate active uses near the street. Outdoor patios, dining, and balconies can add eyes on the street and contribute to an active public realm on its edges.

☑ **2.a.iv Do not include blank walls, particularly along street frontages**

Blank walls and featureless facades should be avoided at all costs. To soften the impact of existing blank walls, provide landscaping and canopy or public art.

2.b Build for People: Provide room for publicly available spaces for sitting, resting, eating, socializing and moving

☑ **2.b.i Offer intentional, publicly accessible spaces with features for resting, socializing and other forms of human engagement**

Spaces like open courtyards with a variety of seating, planters, trees, overhead lighting, special paving patterns, water features, or public art can support a variety of activities and invite people to pause, socialize, and engage with their surroundings.

☑ **2.b.ii Place and program spaces to be accessible and well-used**

Easy access from the sidewalk, functionality for multiple uses, and active uses can ensure a space succeeds. Large open spaces should not feel exclusive, but accessible with amenities like seating or shade and points of interest like art or natural features.

☑ **2.b.iii For built-out sites, provide subtle public amenities integrated into the building itself**

Shade from awnings, overhangs, or carved out entries, wide sills or rails for leaning, wide steps, benches for bus stops, and planters can all be incorporated into the built form to **blend the public and private realms**.

- ✔ **2.b.iv Provide pedestrian pathways and internal connections, especially on full-block development**
 These connections can offer opportunities for seating, landscaping, and artwork to create more intentional shared spaces. Add to street fronting sidewalks to create additional width for increased comfort and an improved sense of place.

2.c Mitigate Impacts: Mitigate the impact of parking and building services

- ✔ **2.c.i Locate vehicle parking areas away from the public sidewalk while strategically buffering from the public realm and neighbors**
Vehicle parking should not be located in front of the building. Parking areas should be buffered from the public realm and neighbors with ample landscaping, canopy trees, low walls, fences, or gathering places.
- ✔ **2.c.ii Place refuse areas, loading docks, outdoor utilities and utility rooms away from street-facing facades and provide careful screening**
 Where possible, tuck outdoor utilities into building alcoves and place building services in the lot's rear. Screening elements should be designed to match materials and style of the building.
- ✔ **2.c.iii. Prevent lighting spill off the lot and shield lighting sources from the public realm and neighboring properties**
 Lighting shall be installed to avoid glare or reflection onto adjacent properties or the public realm. Incorporate light shielding that reflects light away from the street. Exposed LED rope or strip lighting and flashing, blinking, or rotating lights are not allowed.
- ✔ **2.c.iv. Use thoughtful fencing or masonry walls to delineate the private realm and shield property functions from neighbors and the public realm**
Decorative metal fencing or masonry walls should be used, particularly in the lot's front, when delineating private space. Wood fencing or masonry walls should be used for screening purposes. Chain link fencing is not allowed, except for non-street fronting lot lines in manufacturing districts. Structural components should face the inside of the lot.

3. Quality: Promote quality development that will stand the test of time and contribute to the community's resilience

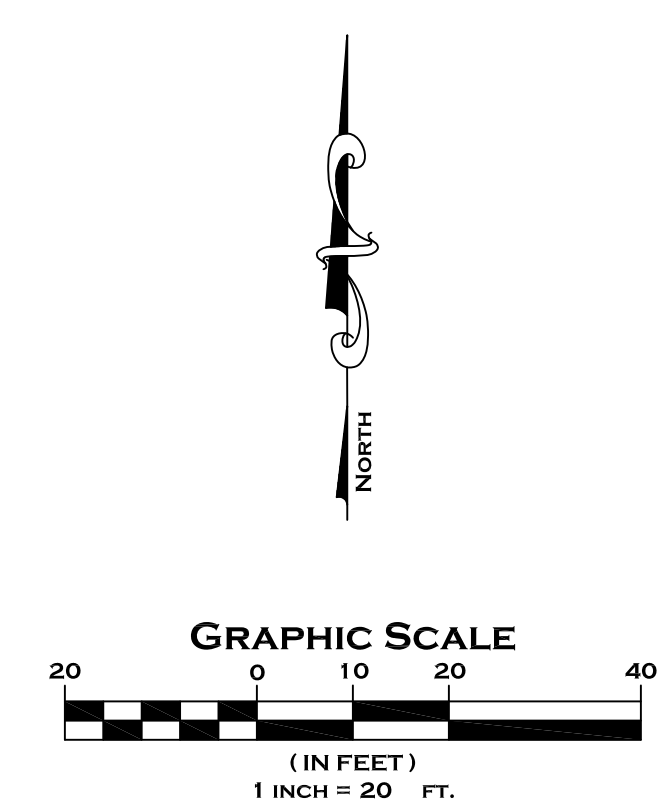
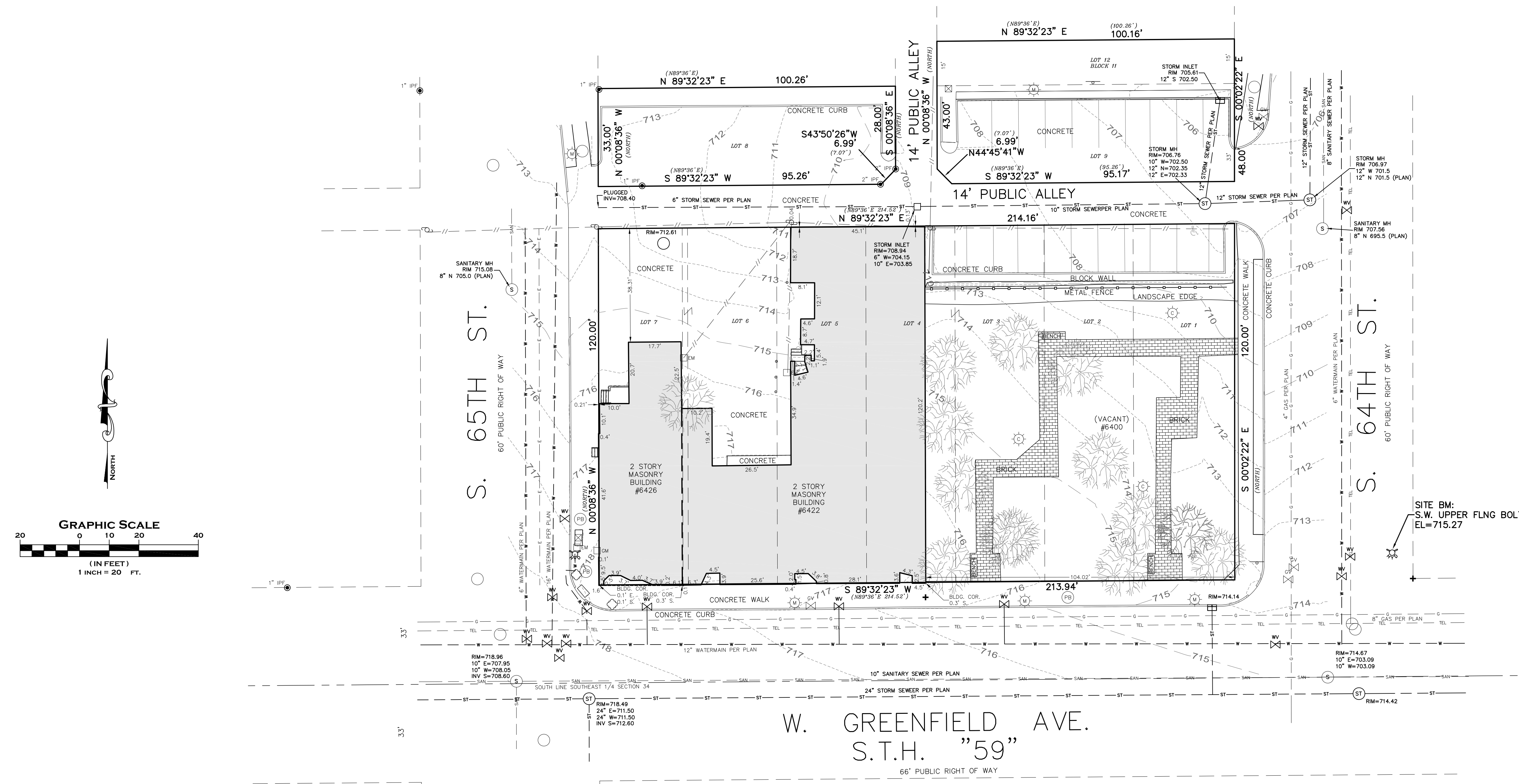
3.a Building: Design with quality materials and strategies

- ✔ **3.a.i. Use quality building materials such as brick, wood and decorative concrete**
 Use sturdy, durable exterior materials that will endure for the long run. Materials with a known history of poor performance are not allowed. Plain walls of concrete block or metal surfaces are not acceptable, except when not visible to the public realm in industrial areas. Painting of masonry materials is discouraged.
- ✔ **3.a.ii. Emphasize the ground floor, particularly entrances**
 Due to frequency of use, the ground floor and building openings need to resist wear and tear while also providing interest at the human-scale. Use tall ground floor heights, high-quality materials, unique details, and craftsmanship to give special attention to these areas.
- ✔ **3.a.iii. Thoughtfully integrate exterior building features into the design**
Balconies, awnings, railing, lighting, signage, and stairs can add depth and texture and should be intentionally. Utilities and rooftop mechanical equipment should be hidden from view or integrated into the façade design.
- ✔ **3.a.iv. Use quality design approaches**

Apply forms and materials consistently. Create a coherent, textured, organized facade with a balanced proportion of windows and wall area. Use materials to express where uses and activities belong.

3.b Environment: Design for resilience and protect natural features

- ☑ **3.b.i. Design sites to protect and incorporate natural features**
Development should protect existing trees, plantings, and soils wherever possible. New development should intentionally design interesting natural features into the site and should strive to use native trees, shrubs, grasses, and flowers.
- ☑ **3.b.ii. Design sites to manage and infiltrate stormwater runoff using native landscaping and green infrastructure**
Strive to manage water where it falls. Developments can capture, absorb, or store precipitation with native landscaping, trees, bioswales, rain gardens, porous pavers, rain barrels or cisterns, or green roofs. By limiting runoff and lessening the burn on the sewer system, these strategies reduce water pollution and protect Lake Michigan.
- ☑ **3.b.iii. Reduce impervious surface with productive, compelling, pervious planting and gathering areas**
Adding permeable, natural features to formerly impervious lots is encouraged. Large, impervious surfaces should be avoided. Large parking fields are encouraged to include green infrastructure to manage stormwater and should include substantial landscaping, pathways, and gathering places to break up bland, impervious spaces.
- ☑ **3.b.iv. Embody sustainability by incorporating renewable energy systems, low-carbon materials, adaptive reuse and density**
Consider environmentally friendly strategies to preserve natural resources and reduce carbon emissions. Adaptive reuse of existing buildings leads to energy savings and avoids harm from demolition pollutants, waste, and emissions. Density greatly reduces energy use per capita and is the foundation for an inherently sustainable community.



- NOTES
1. ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY. THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 34 HAVING A BEARING OF N 89°32'23" E
 2. SUBJECT PROPERTY ZONED: C-3, COMMERCIAL DEVELOPMENT.
 3. SETBACKS BASED ON CITY OF WEST ALLIS ZONING CODE AND ARE AS FOLLOWS: MAX BUILDING HEIGHT=85', FRONT SETBACK (MAX)=20', FRONT SETBACK (MIN)=0, REAR SETBACK (MIN)=0, SIDE SETBACK(MIN)=0.
 4. A LEGAL DESCRIPTION WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT.
 5. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 6. PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SECTION 34. ELEVATION=728.61 NAVD88.
 7. SITE BENCHMARK - SOUTHWEST UPPER FLANGE BOLT, HYDRANT AT THE NORTHEAST CORNER OF THE INTERSECTION OF S. 64TH ST. AND W. GREENFIELD AVE. ELEVATION=715.27.

LEGAL DESCRIPTION
 LOTS 1 THRU 9, BLOCK 1, AND THE SOUTH 15 FEET OF LOT 12, BLOC 11 IN FIRST CONTINUATION OF SOLDIERS' HOME HEIGHTS SUBDIVISION, BEING PART OF THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WEST ALLIS, MILWAUKEE COUNTY, WISCONSIN.
 CONTAINING 33,771 SQUARE FEET

LEGEND

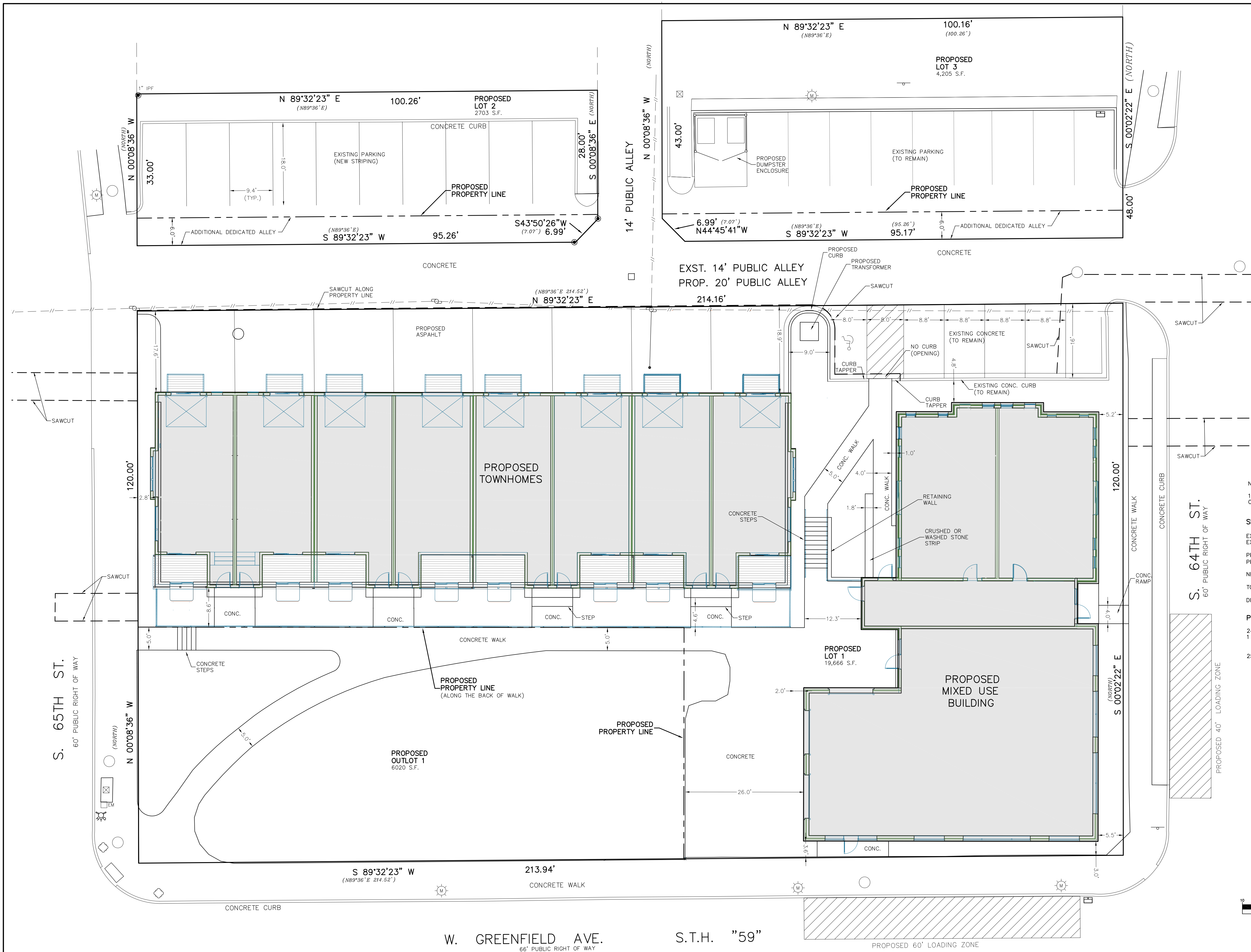
— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER	⊠	HYDRANT
— ST —	STORM SEWER	⊠	ELECTRIC METER	⊠	WATER VALVE
— W —	WATER MAIN	⊠	ELECTRIC PEDESTAL	⊠	GAS VALVE
— G —	BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE	⊠	MANHOLE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE	⊠	STORM MANHOLE
— E —	BURIED ELECTRIC LINE	⊠	TELEPHONE PEDESTAL	⊠	CATCH BASIN
— FO —	BURIED FIBER OPTIC LINE	⊠	TV PEDESTAL	⊠	CONCRETE LIGHT POLE
— U —	OVERHEAD UTILITY LINES	⊠	AIR CONDITIONER	⊠	CURB INLET
— CATV —	BURIED CABLE TELEVISION LINES	⊠	UTILITY POLE	⊠	METAL LIGHT POLE
— COMB —	COMBINATION SEWER	⊠	WOOD SIGN	⊠	CONCRETE LIGHT POLE
— WOOD FENCE —	WOOD FENCE	⊠	METAL SIGN	⊠	WOOD LIGHT POLE
— METAL FENCE —	METAL FENCE	⊠	FLAG POLE	⊠	WOOD LIGHT POLE
— BOLLARD —	BOLLARD	⊠	BOLLARD LIGHT	⊠	MAL BOX
— BOLLARD LIGHT —	BOLLARD LIGHT	⊠	YARD LIGHT	⊠	FIBER OPTIC MARKER
— DOOR SILL ELEVATION —	DOOR SILL ELEVATION	⊠	FIRE DEPARTMENT CONNECTION	⊠	GUY WIRE

EXISTING CONDITIONS SURVEY
 FOR
6400-6426
6400-6426 W. GREENFIELD AVE
WEST ALLIS, WI

DRAWN BY:	DHS	DATE:	MARCH 20, 2024
CHECKED BY:	MJB	DRAWING No.	EC-0-24-020
CSE Job No.:	24-020	SHEET	1 OF 1



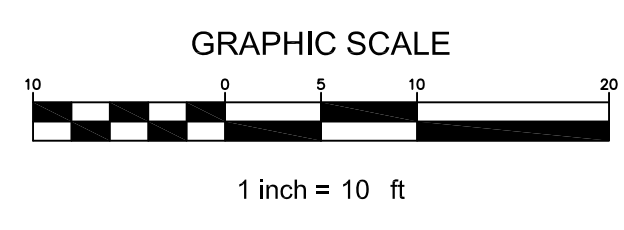
WEST ALLIS MIXED USED / TOWNHOMES DEVELOPMENT
 6400 W GREENFIELD AVENUE WEST ALLIS, WISCONSIN



NOTES:
 1. DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF ASPHALT

SITE AREAS
 EXISTING IMPERVIOUS AREA = 22,115 S.F.
 EXISTING OPEN SPACE = 11,656
 PROPOSED IMPERVIOUS AREA = 24,225 S.F. [72% OF THE SITE]
 PROPOSED OPEN SPACE = 9,546 S.F. [28% OF THE SITE]
 NET INCREASE IN IMPERVIOUS AREA = 2110 S.F.
 TOTAL SITE AREA = 33,771 S.F. (0.775 ACRES)
 DISTURBED AREA = 24,600 S.F. (0.56 ACRES)

PROPOSED SURFACE PARKING
 24 REGULAR SPACES
 1 HANDICAPPED SPACES (ADA COMPLIANT VAN ACCESSIBLE SPACES)
 25 TOTAL SPACES

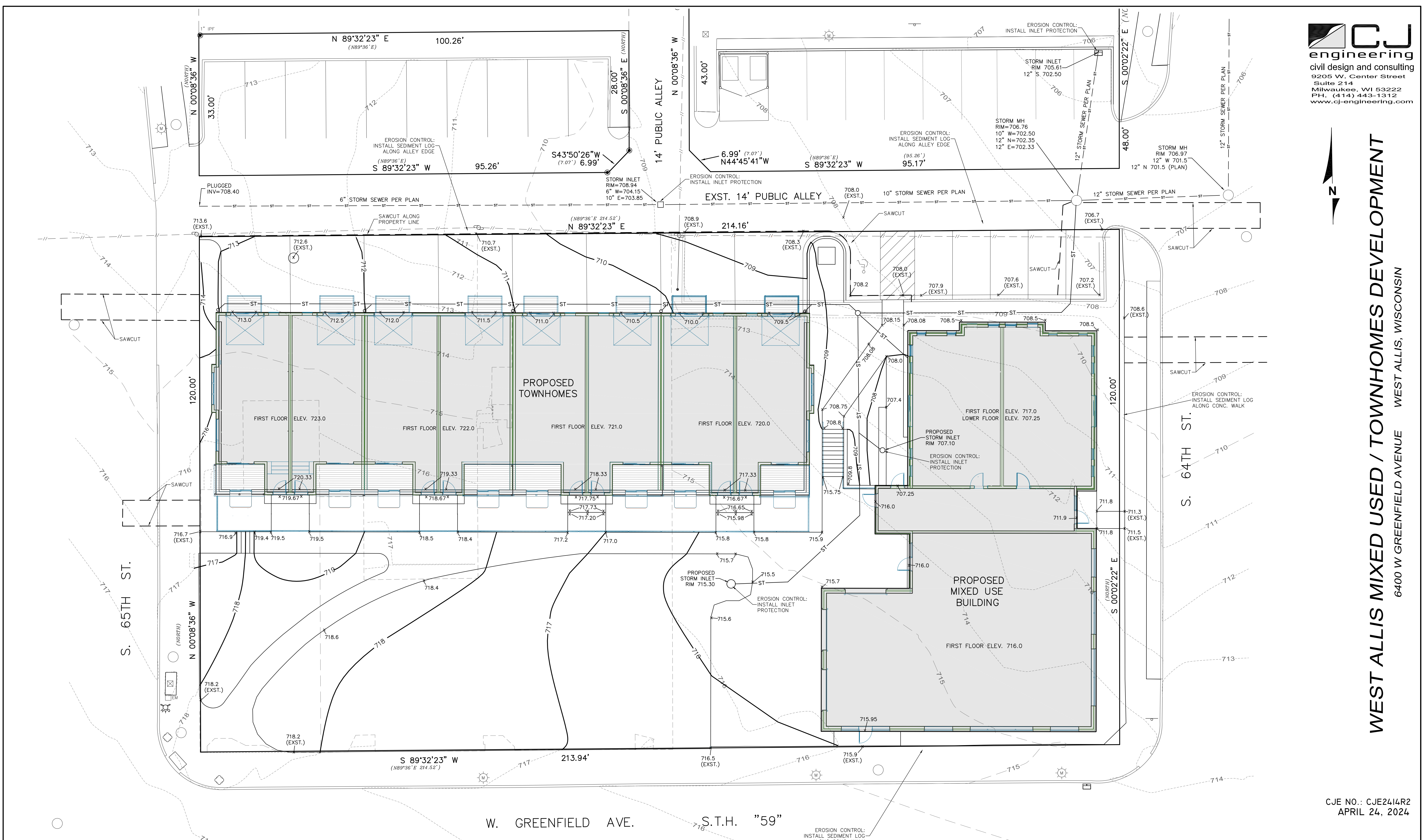


CJE NO.: CJE2414R2
 APRIL 24, 2024



WEST ALLIS MIXED USED / TOWNHOMES DEVELOPMENT
 6400 W GREENFIELD AVENUE WEST ALLIS, WISCONSIN

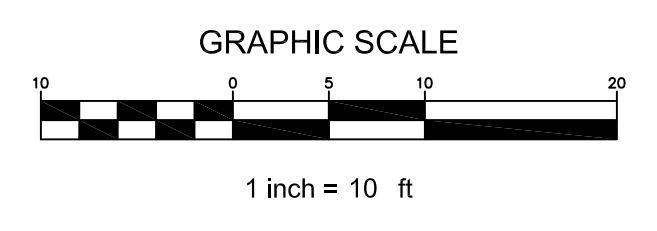
CJE NO.: CJE2414R2
 APRIL 24, 2024



- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
 - DISTURBED AREA = 24,600 S.F. (0.56 ACRES)
 - THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 2110 S.F.
 - THE EROSION CONTROL PRACTICES WILL CONSIST OF PROVIDING A SEDIMENT LOG (WATTLE) ON THE DOWNSTREAM SIDE OF THE DISTURBED AREAS AND INLET PROTECTION. ALL EROSION CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE. SEE SHEET C4.0 FOR THE EROSION CONTROL DETAILS, MAINTENANCE REQUIREMENTS AND CONSTRUCTION SCHEDULE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.
 - ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
 - ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE.

LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
x-189.5	PROPOSED GRADE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER



**SITE GRADING PLAN
 WITH EROSION CONTROL**

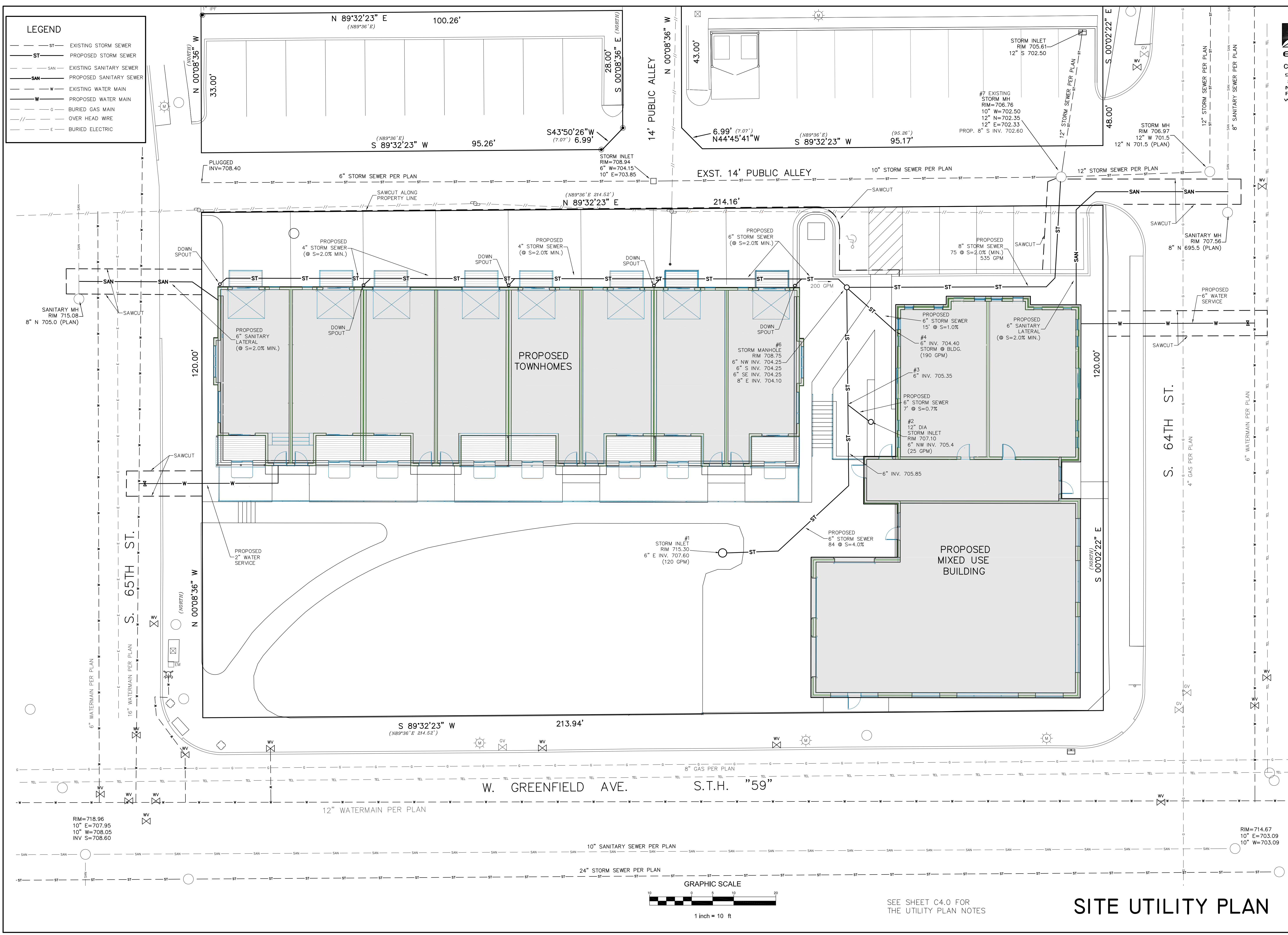
C2.0

LEGEND	
—ST—	EXISTING STORM SEWER
—ST—	PROPOSED STORM SEWER
—SAN—	EXISTING SANITARY SEWER
—SAN—	PROPOSED SANITARY SEWER
—W—	EXISTING WATER MAIN
—W—	PROPOSED WATER MAIN
—G—	BURIED GAS MAIN
—E—	OVER HEAD WIRE
—E—	BURIED ELECTRIC

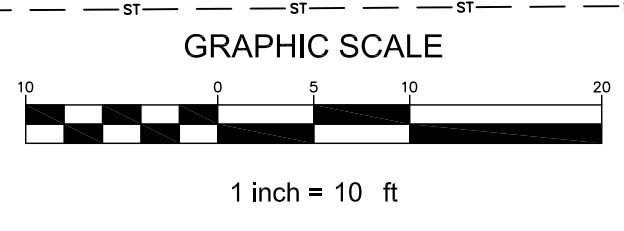
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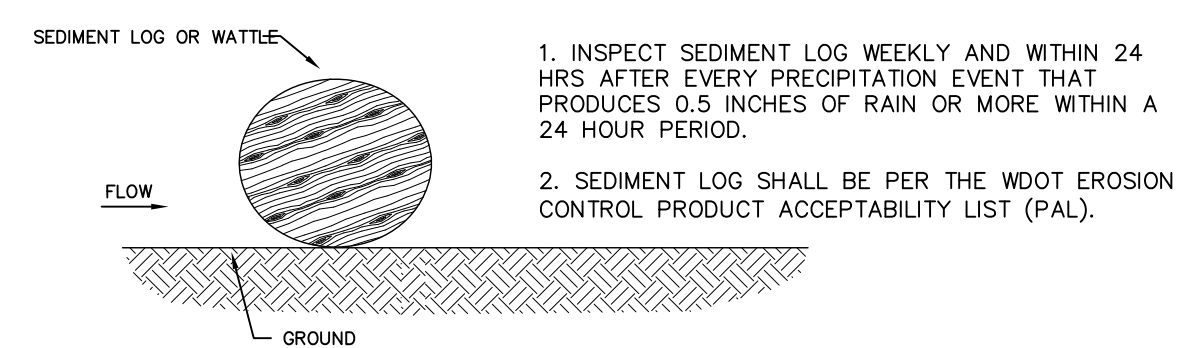
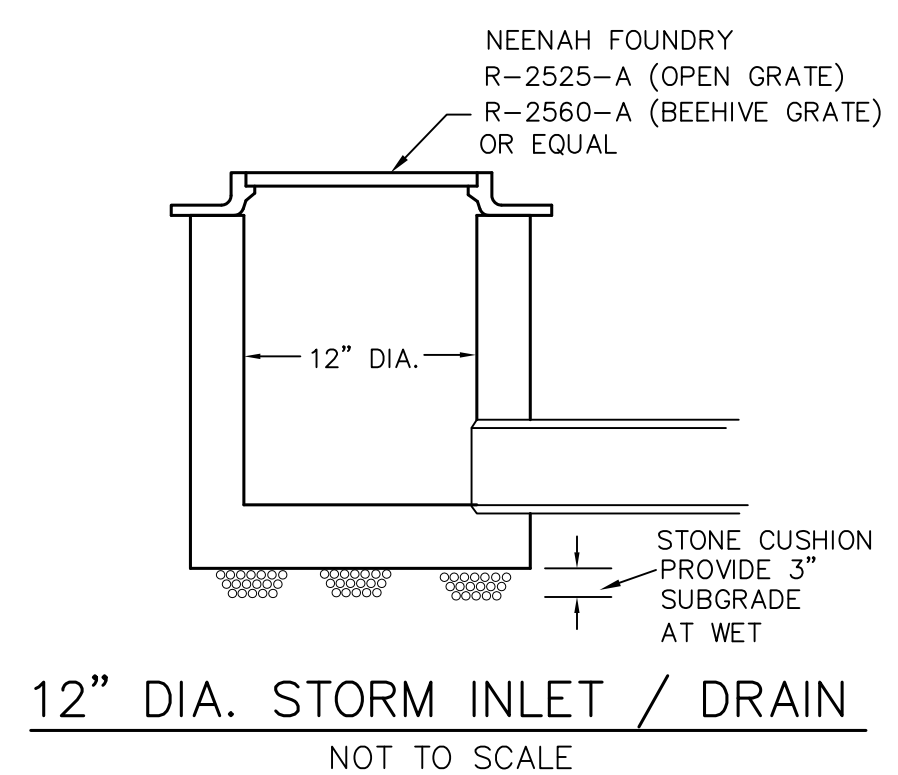
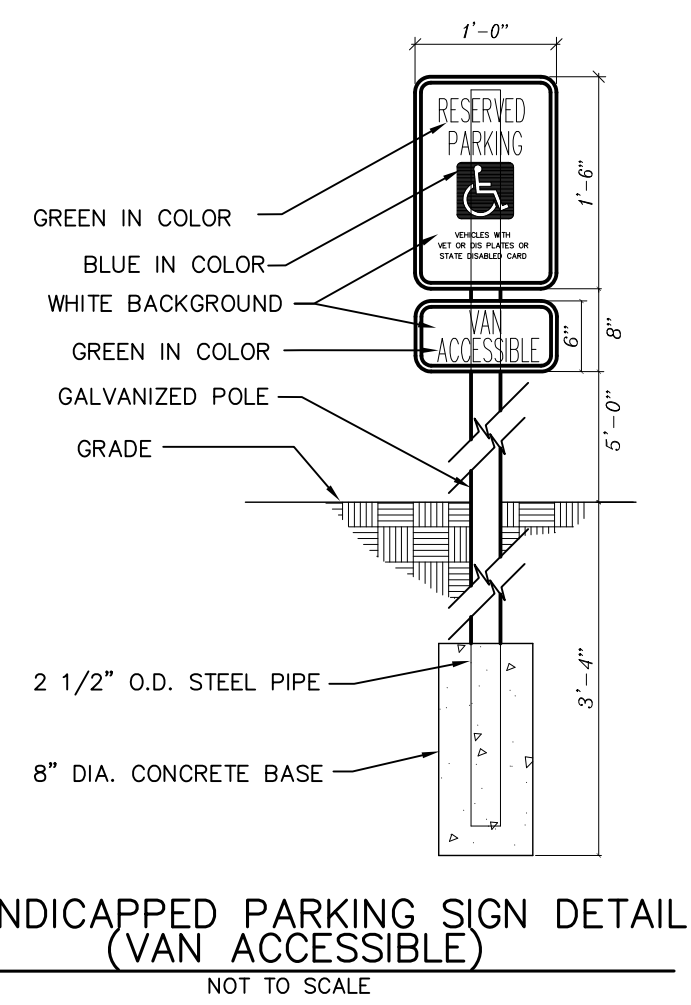
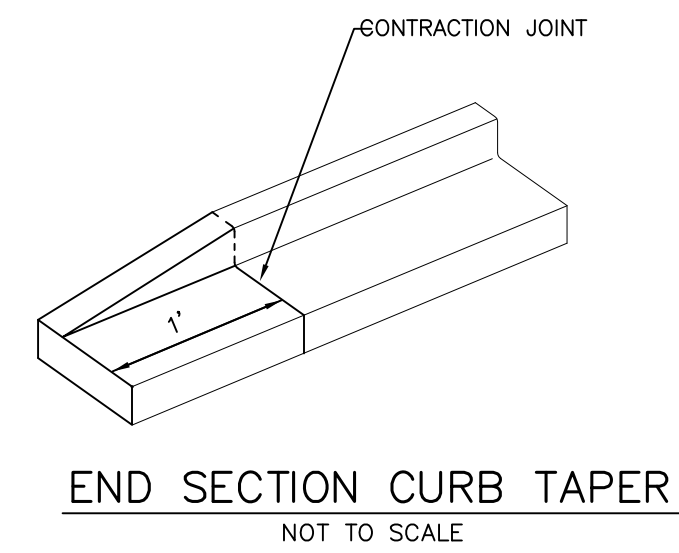
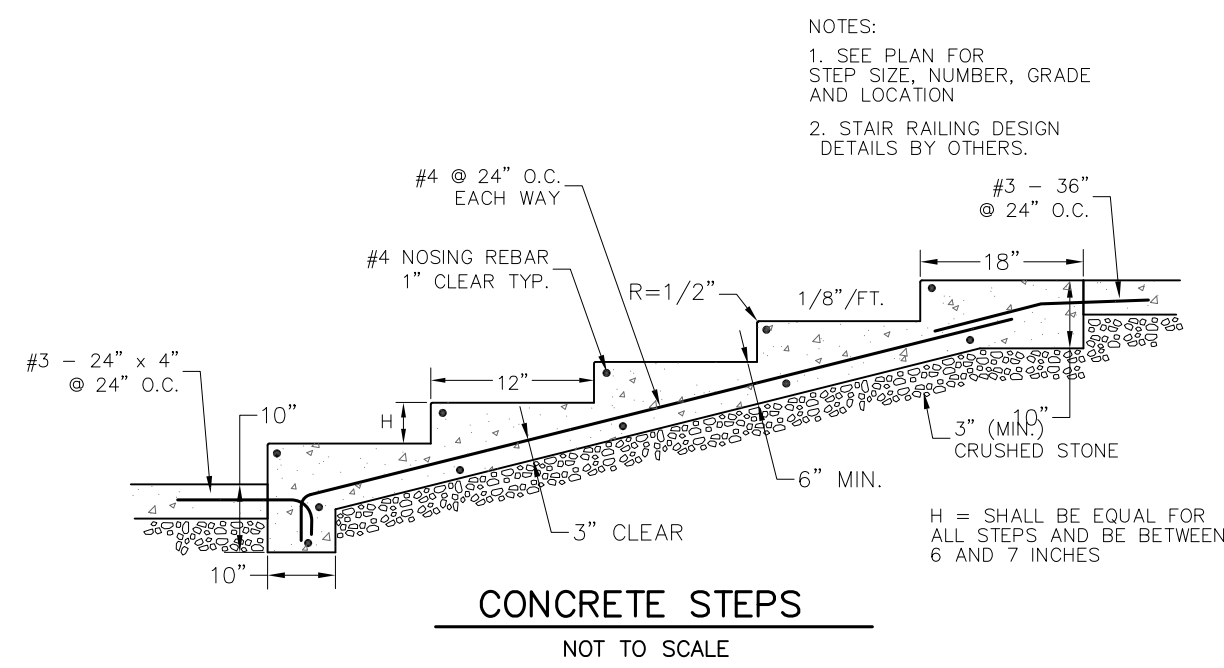
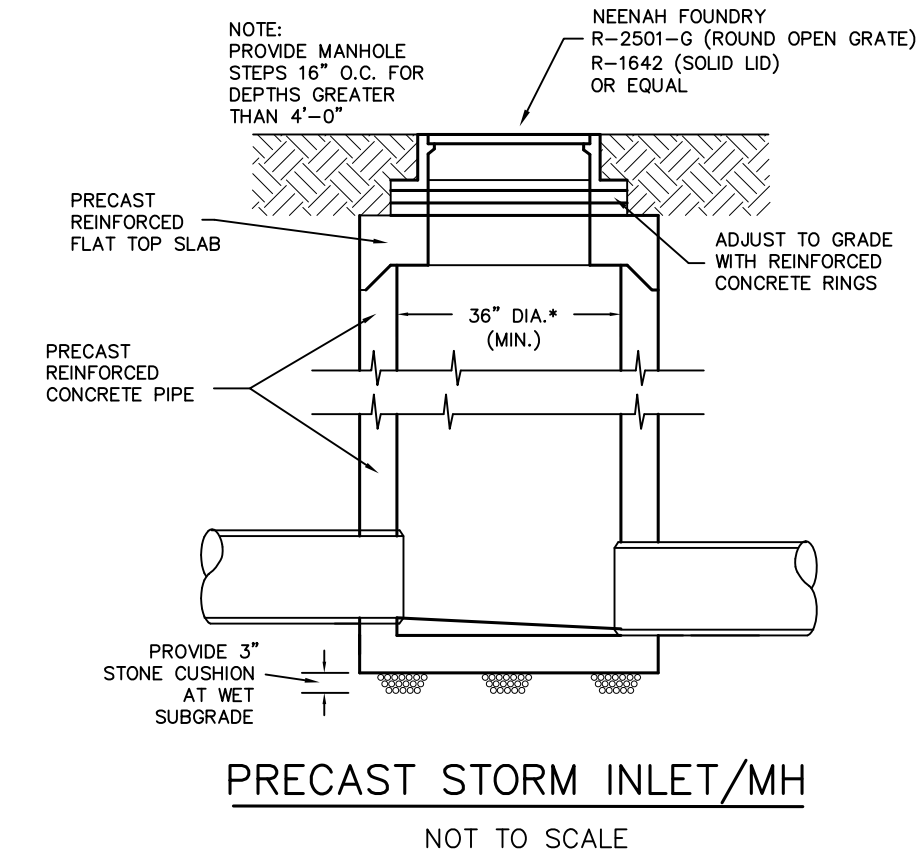
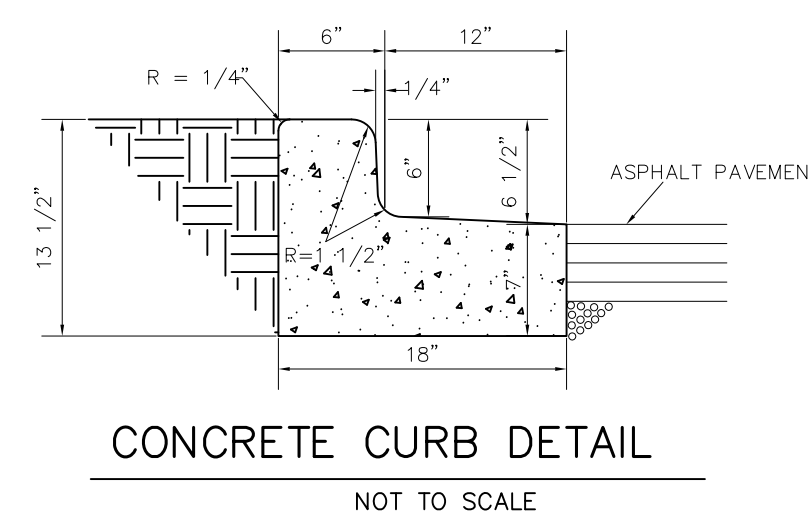
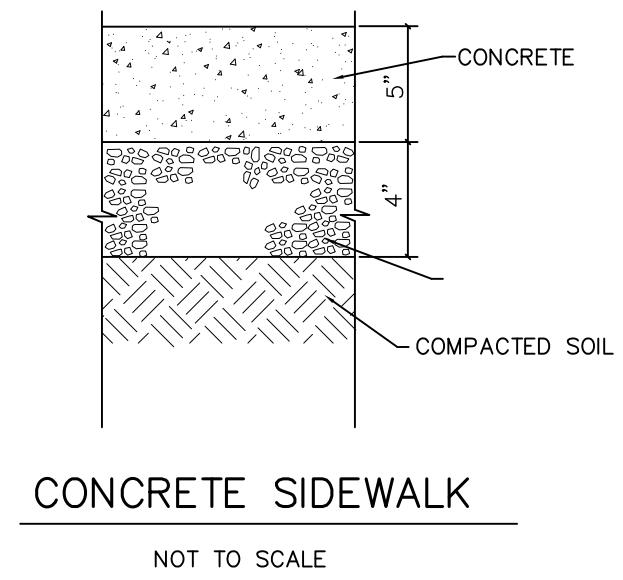
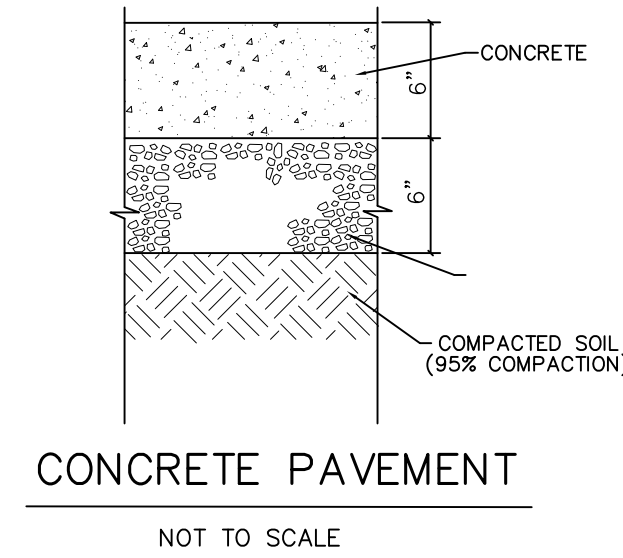
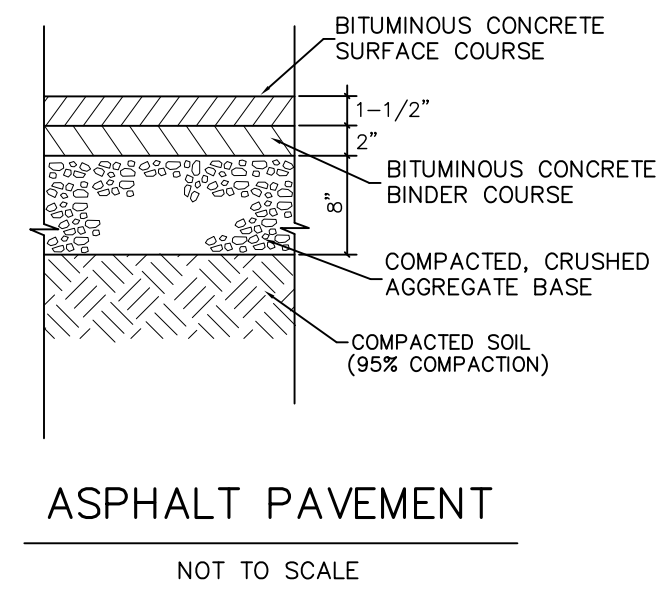


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SEE SHEET C4.0 FOR THE UTILITY PLAN NOTES

SITE UTILITY PLAN C3.0



1 SEDIMENT LOG PER WDNR TECHNICAL STANDARD 1062 NOT TO SCALE

CONSTRUCTION SCHEDULE

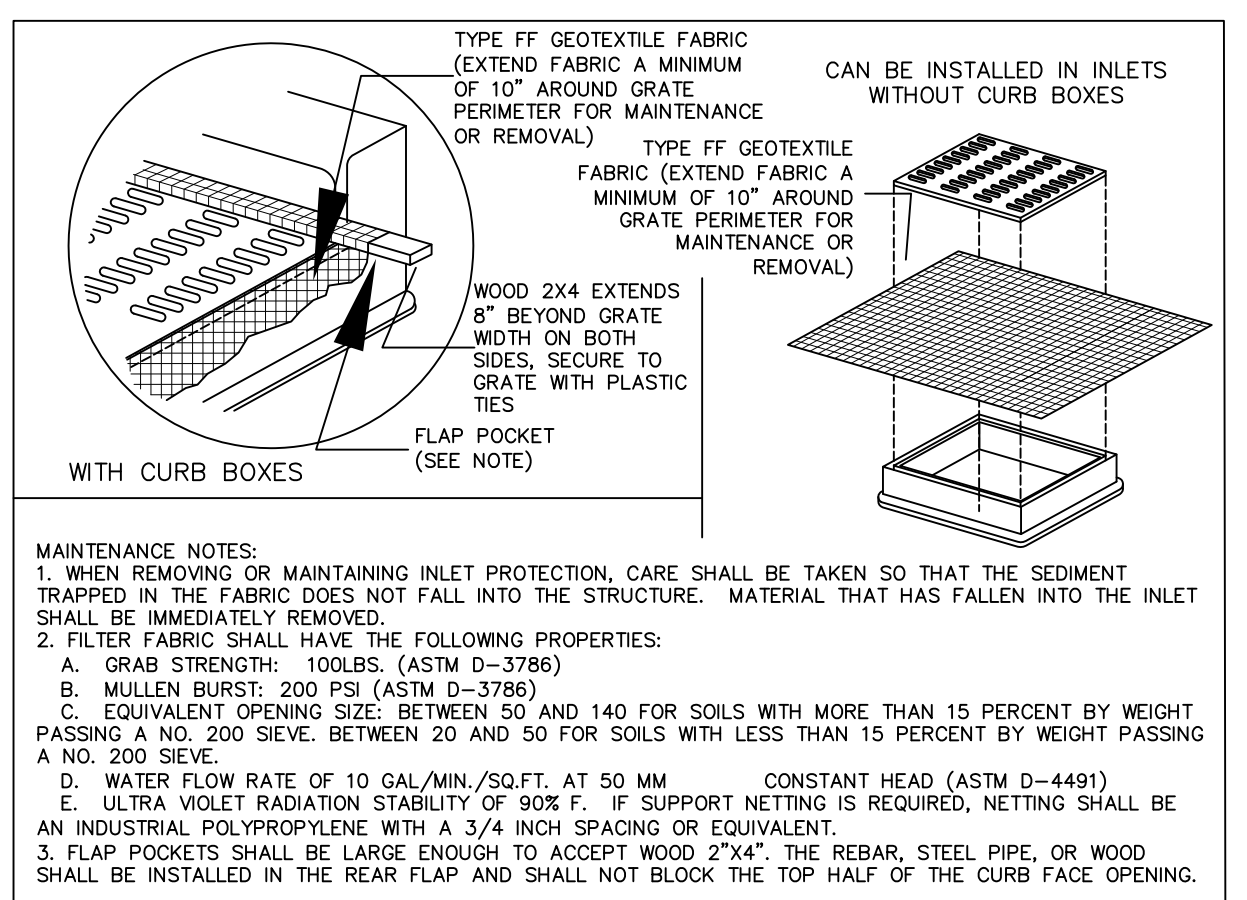
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL PROTECTION IN ALL EXISTING INLETS NEAR THE PROJECT AREA.
- INSTALL SEDIMENT LOG
- DEMO EXISTING BUILDINGS AND PAVEMENT TO BE REMOVED.
- REMOVE DEMO MATERIAL FROM SITE (PER STATE AND CITY RULES AND LAWS)
- ROUGH GRADE SITE.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL PROPOSED UTILITIES.
- INSTALL PROTECTION IN ALL NEW STORM INLETS.
- INSTALL BASE COURSE OF PAVEMENT.
- FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

EROSION CONTROL MAINTENANCE PLAN

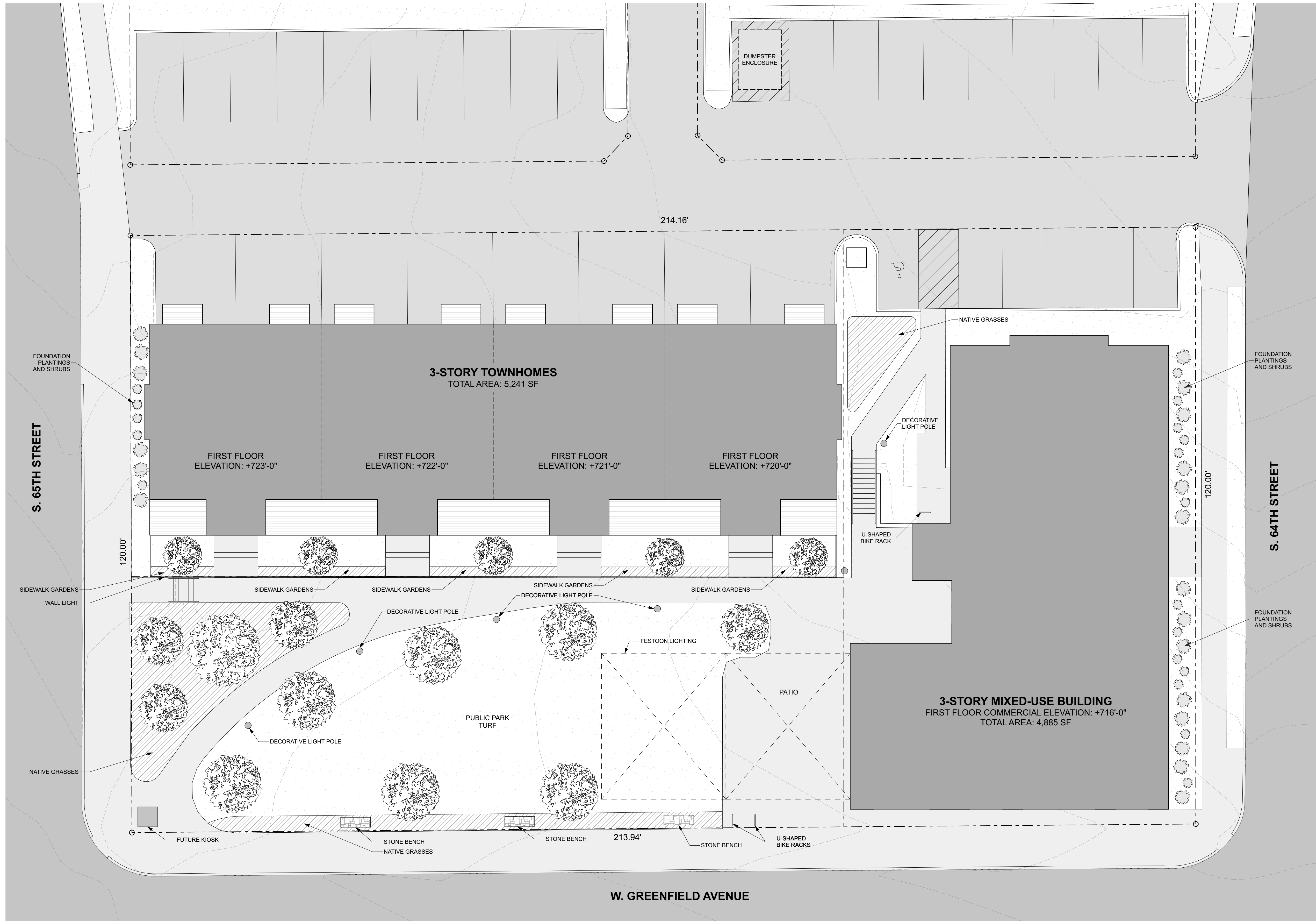
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE/SEDIMENT LOG WHEN IT BECOMES ABOUT 0.3 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

UTILITY NOTES:

- ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WEST ALLIS REQUIREMENTS.
- ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
- EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING BY PLUMBING CONSULTANT/CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
- STORM SEWER: PVC ASTM D3034, RCP ASTM C76, OR ADSN-12 HDPE
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 *WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)
 *MATERIAL PER CITY REQUIREMENT. CONTRACTOR TO VERIFY.
- ALL WATER SERVICE PIPING TO HAVE A MINIMUM OF 6 FEET OF COVER.
- ALL WORK WITHIN THE PUBLIC R.O.W. PER CITY REQUIREMENTS.
- CONTRACTOR TO PROVIDE TRACER WIRE OR OTHER METHOD OF LOCATING FOR ALL UNDERGROUND EXTERIOR NON-METALLIC SANITARY, STORM AND WATER PIPE PER WISCONSIN PLUMBING CODE SECTION 182.0715(2r).
- SANITARY BUILDING SEWERS 6" OR LESS IN DIAMETER SHALL BE PROVIDED WITH CLEANOUTS OR MANHOLES SUCH THAT A CLEANOUT IS LOCATED NOT MORE THAN 100 FEET APART.



2 INLET PROTECTION TYPE D & C PER WDNR TECHNICAL STANDARD 1060 NOT TO SCALE



ARCHITECTURAL SITE + LANDSCAPE PLAN
SCALE: 1" = 10'

NORTH

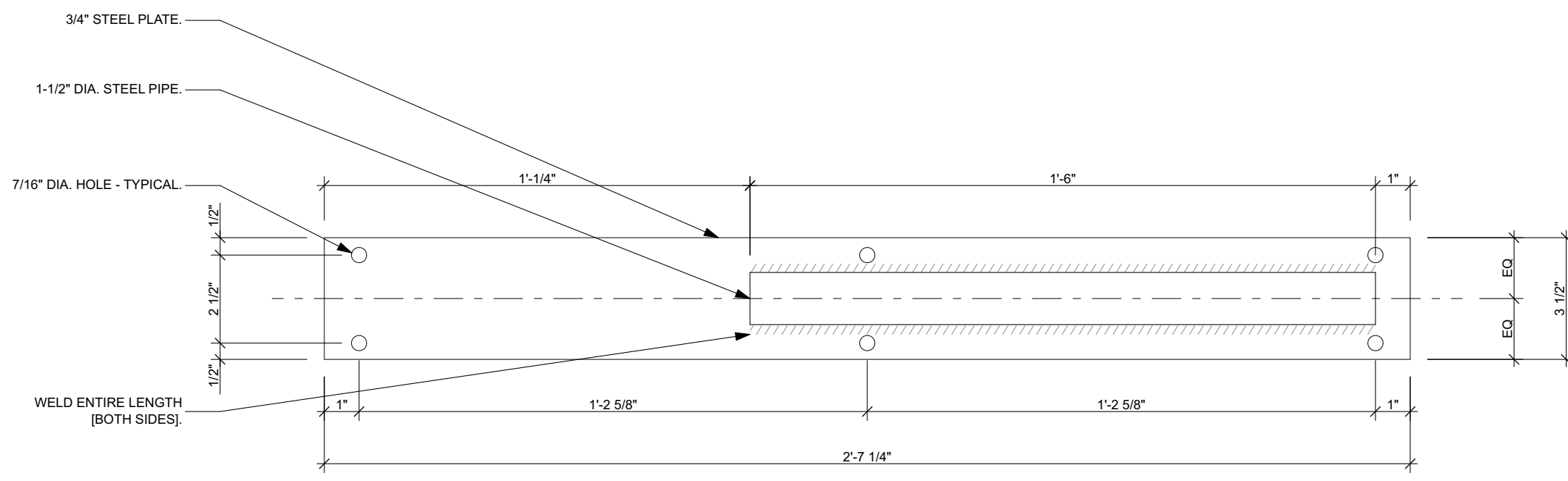
SITE PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
5. ALL PAVING, SCORE LINES, WALLS, AND OTHER MISC. SITE IMPROVEMENTS ARE LAID OUT PERPENDICULAR OR PARALLEL TO THE BUILDING UNLESS NOTED OTHERWISE.
6. VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL ORDINANCES.
8. SEE LANDSCAPE DRAWINGS FOR FULL SCOPE. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.

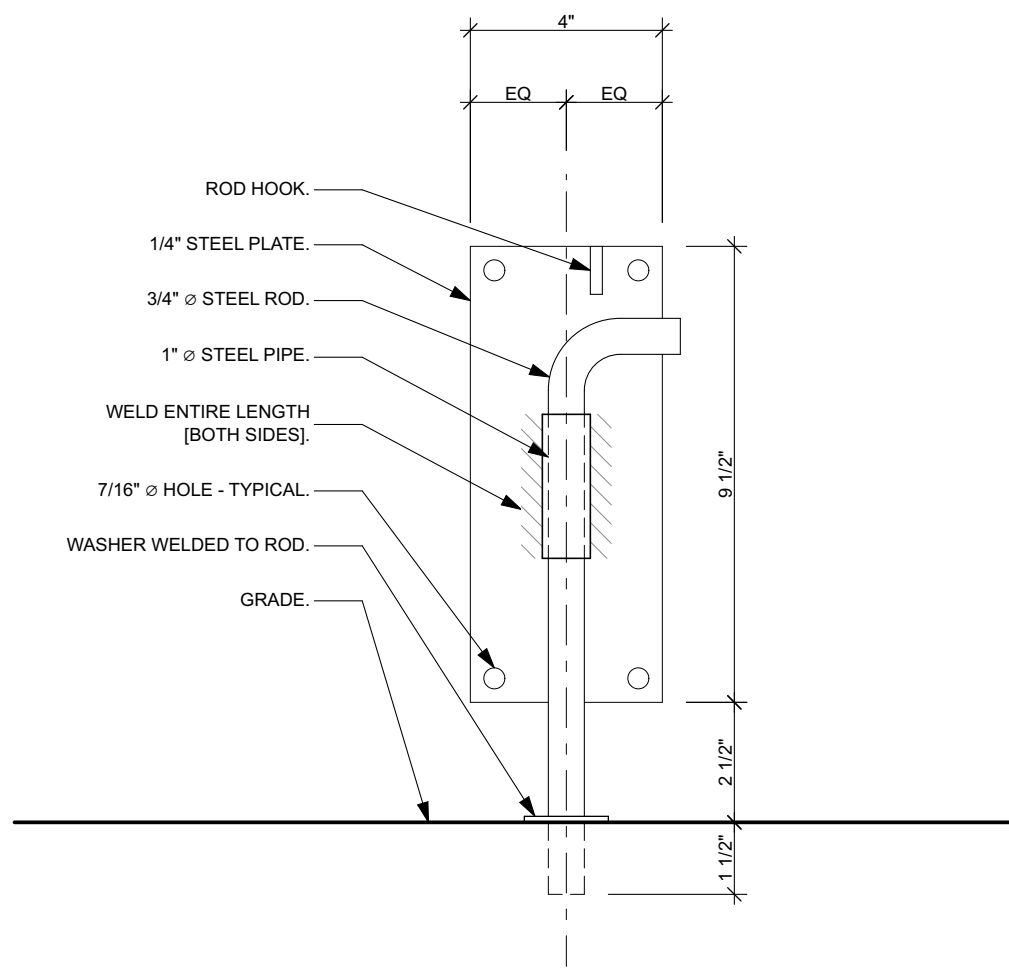
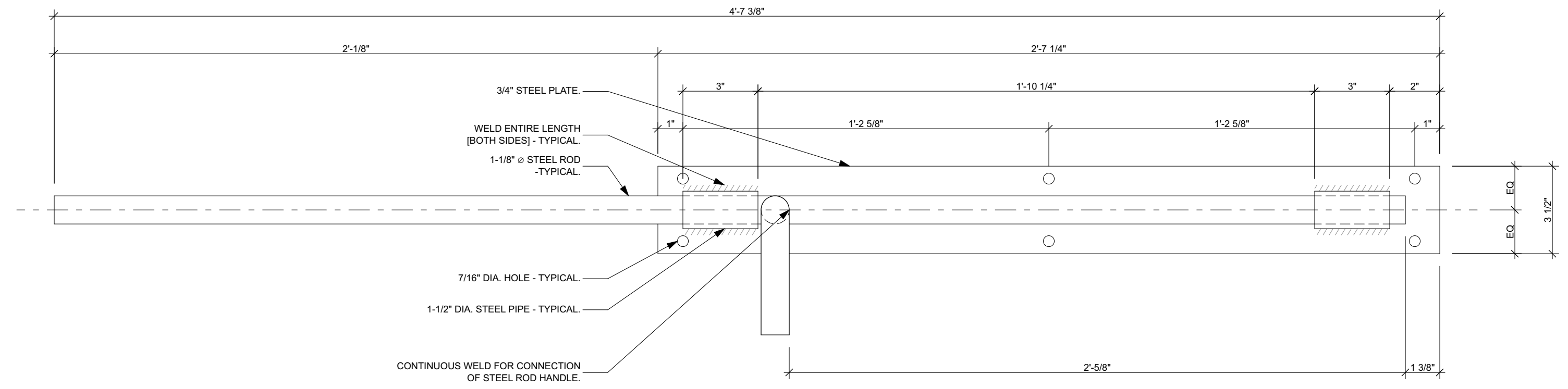
**NOT FOR
CONSTRUCTION**

PROJECT # XXXX
ARCHITECTURAL
SITE + LANDSCAPE
PLAN

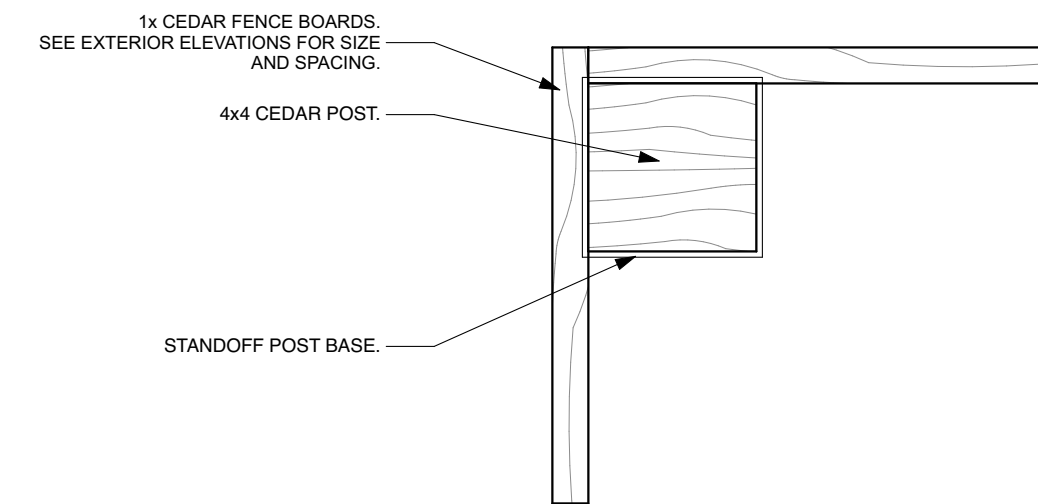
A001



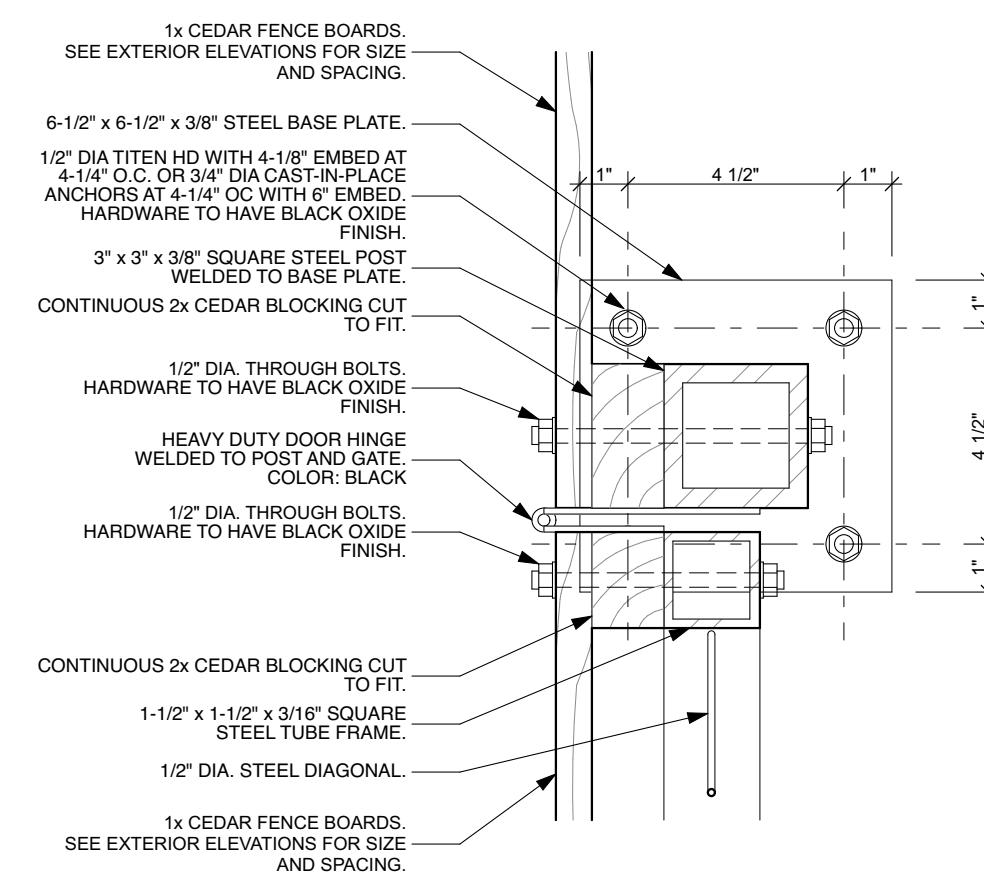
1 GATE LATCH ASSEMBLY
SCALE: 3" = 1'-0"



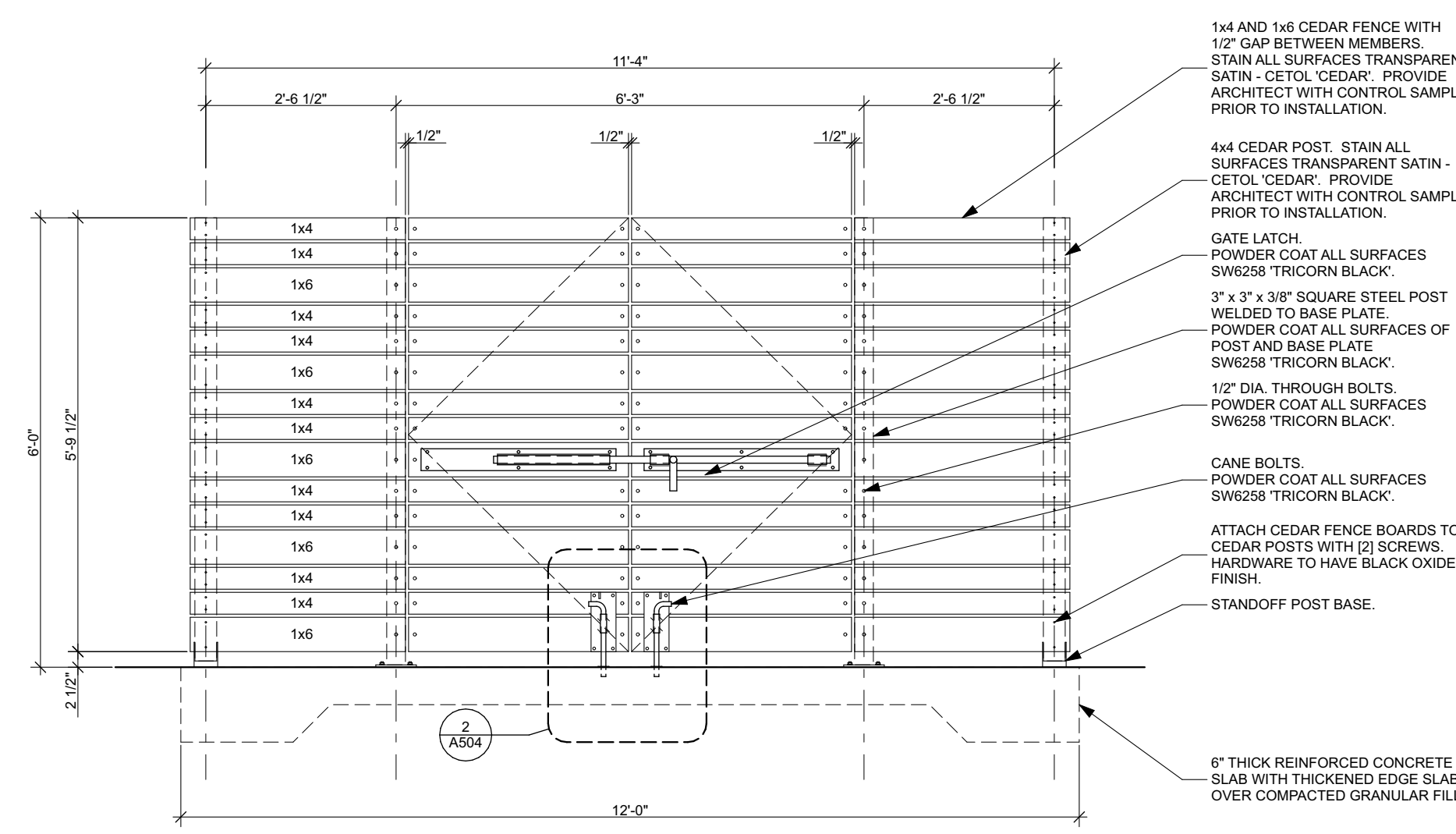
2 CANE BOLT ASSEMBLY
SCALE: 3" = 1'-0"



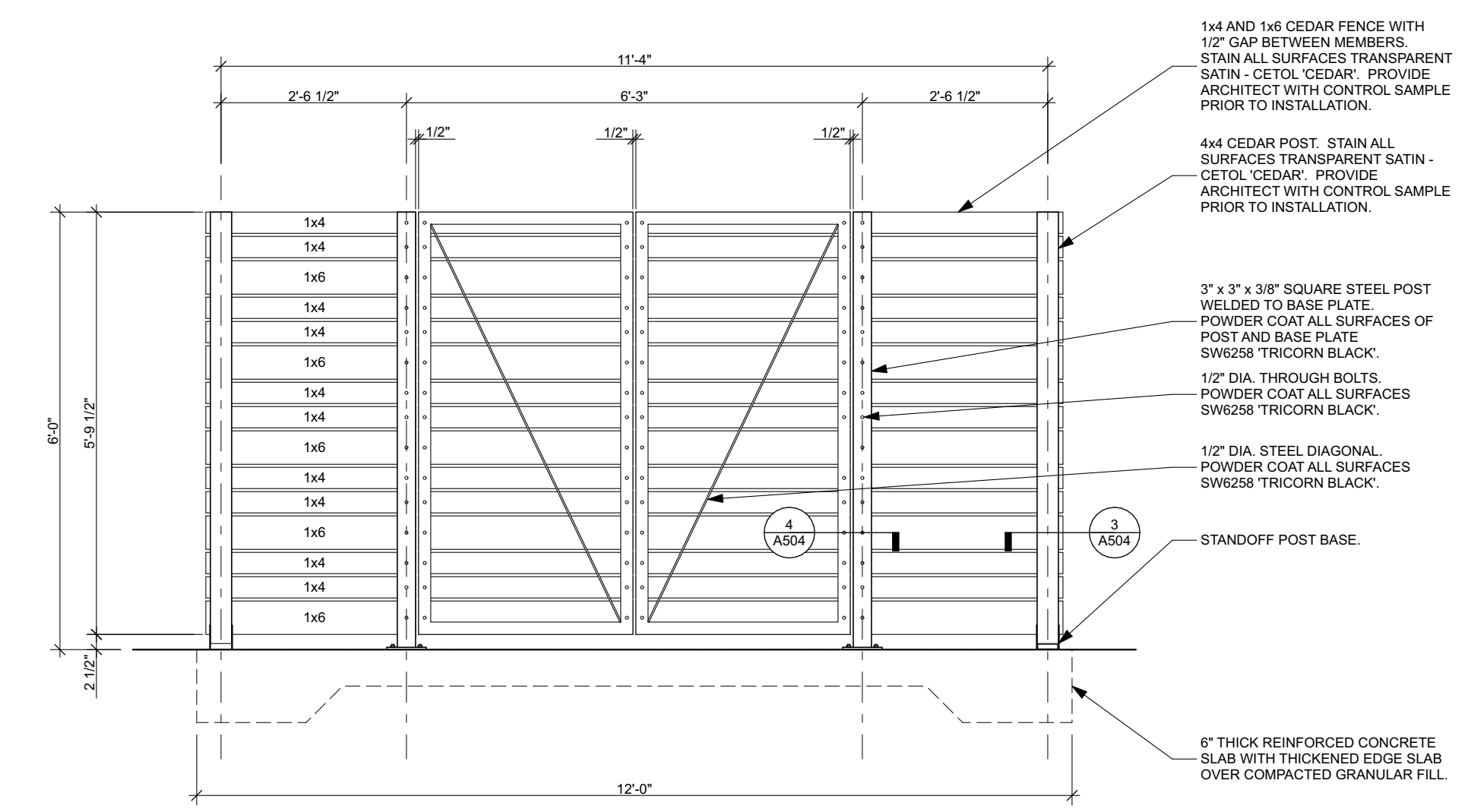
3 DUMPSTER ENCLOSURE CORNER POST
SCALE: 3" = 1'-0"



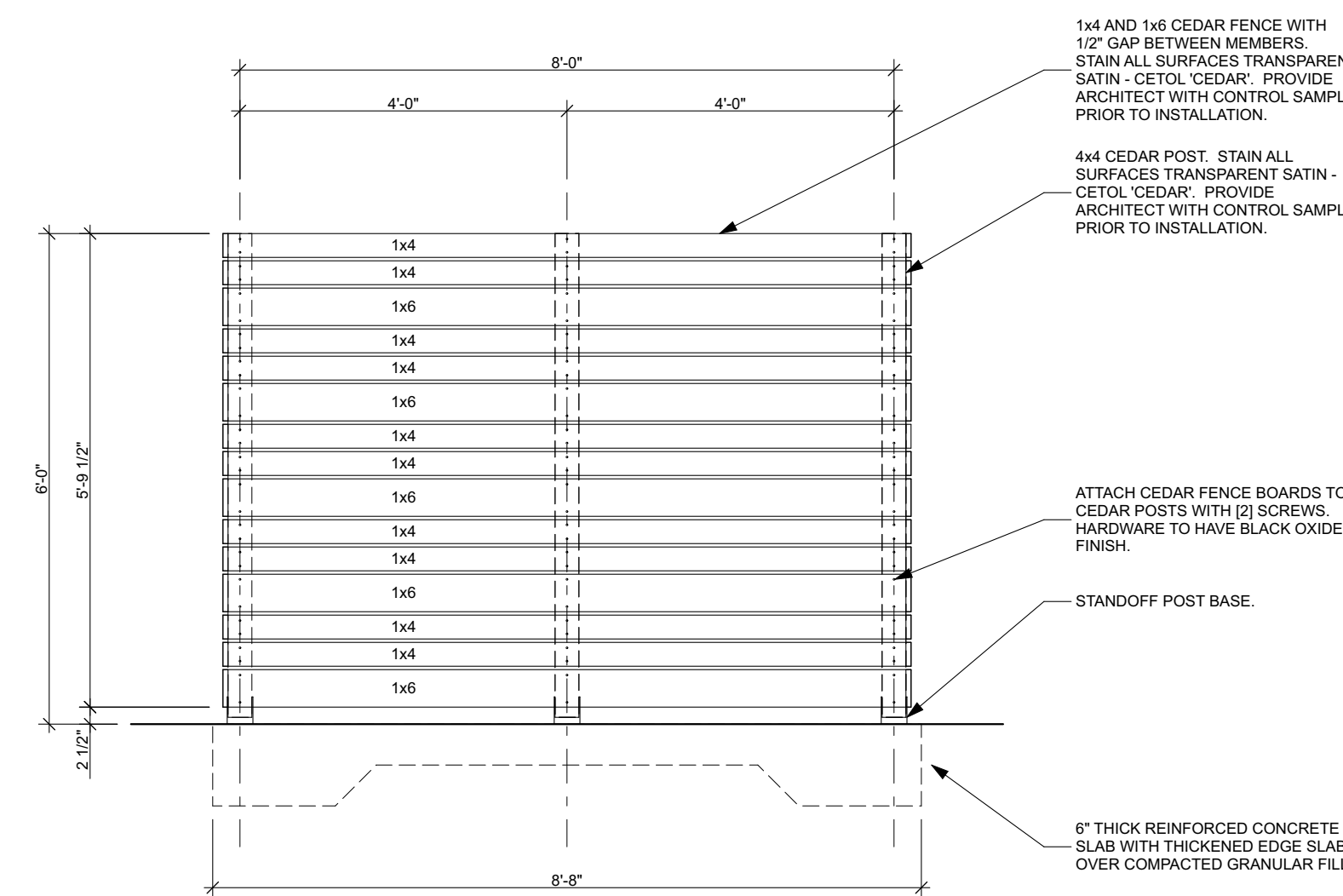
4 DUMPSTER ENCLOSURE GATE DETAIL
SCALE: 3" = 1'-0"



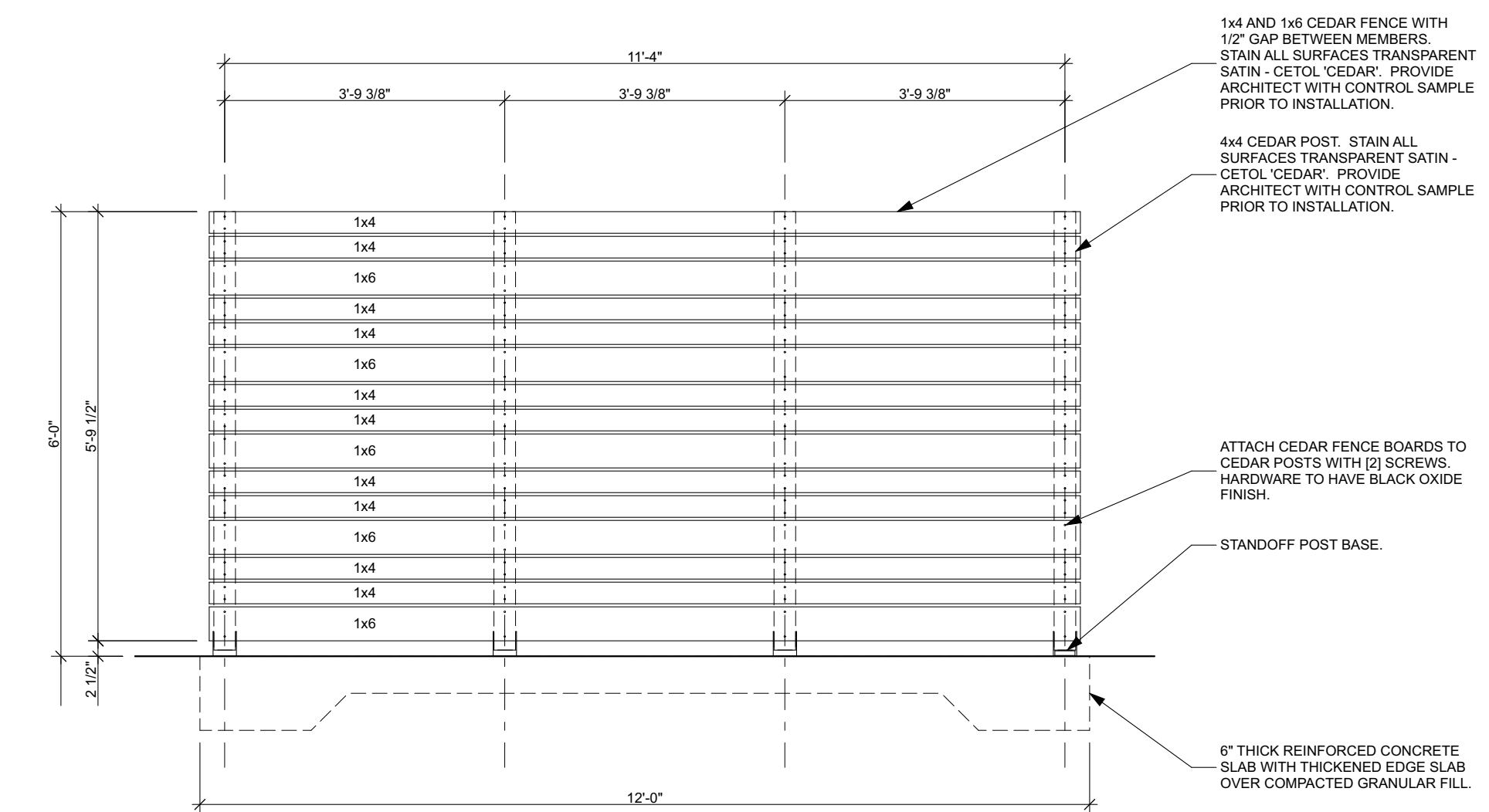
FRONT ELEVATION [EXTERIOR]



FRONT ELEVATION [INTERIOR]



SIDE ELEVATION



BACK ELEVATION

5 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 1/2" = 1'-0"

NOTE:
ALL STEEL COMPONENTS ARE TO BE SANDBLASTED AND FINISHED WITH AN EPOXY PRIMER AND URETHANE TOP COAT.
COLOR: BLACK
ALL EXPOSED FASTENERS TO BE BLACK.

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CONSTRUCTION**

WEST ALLIS MIXED-USE BUILDING

6400 W GREENFIELD AVE. WEST ALLIS WI 53214



6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772 phone
www.galbraithcarnahan.com

CONSULTANTS

WEST ALLIS
MIXED-USE BUILDING
6400 W GREENFIELD AVE. WEST ALLIS WI 53214

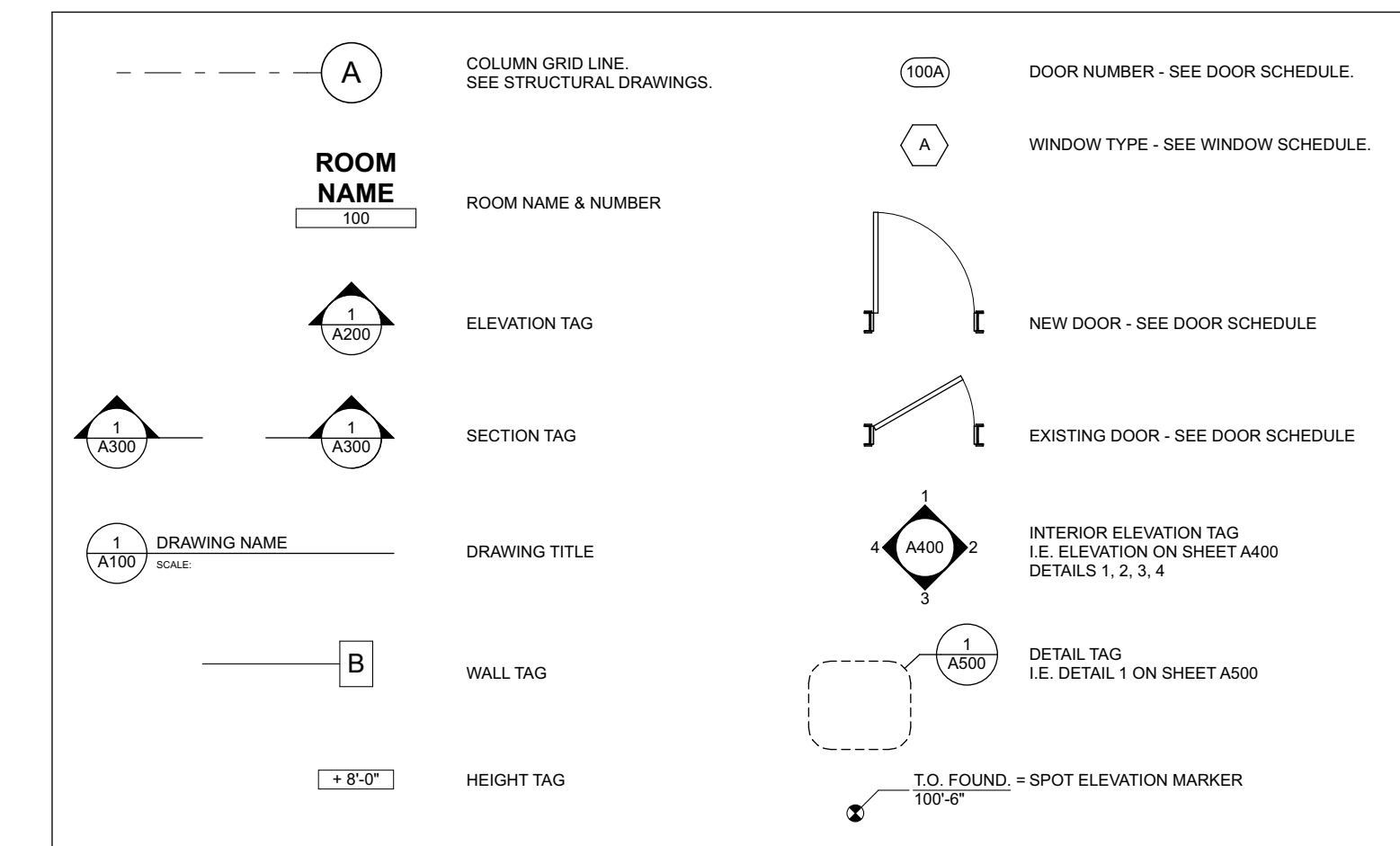
ABBREVIATIONS

# & @	Found OR Number And At	D	DBL Double DEMO Demolish or Demolition DIA Diameter DIM Dimension DIMS Dimensions DISP Dispenser DN Down DR Door DRWR Drawer DS Downspout DTL Detail DW Dishwasher DW Drawing
ACT	Acoustic Ceiling Tile	EA	Each
AD	Area Drain	EPS	Exterior Insulation Finish System
AF	Above Finished Floor	EJ	Expansion Joint
ALUM	Aluminum	EL	Elevation
ANOD	Anodized	ELEC	Electrical
APPROX	Approximately	ELEV	Elevator or Elevation
B	Bank Equipment Supplier	EPDM	Ethylene Propylene Diene M-Class (Roofing)
BES	Blocking	EQ	Equal
BLHD	Bulkhead	ETR	Existing To Remain
BRG	Bearing	EXST	Existing
BSMT	Basement	EXP	Expansion
BT	Base Tie	EXP JT	Expansion Joint
BYND	Beyond	EXT	Exterior
BO	Bottom Of	F	Floor Drain or Fire Department
BOT	Bottom	FE	Fire Extinguisher
C	Cabinet	FEK	Fire Extinguisher Cabinet
CIP	Cast In Place	FIN FLR	Finished Floor
CHNL	Channel	FKT	Fixture
CJ	Control Joint	FLR	Floor
CL	Closet	FLSHD	Flashing
CLG	Ceiling	FM	Filled Metal
CLR	Clear	FO	Foot
CM	Construction Manager	FT	Face Of
CNU	Concrete Masonry Unit	FTG	Footing
COL	Column	FND	Foundation
COMP	Compressible	G	Gauge
CONC	Concrete	GALV	Galvanized
CONC BLK	Concrete Block	GB	Crab Bar
CONT	Continuous	GWB	Gypsum Wall Board
CONTR	Contractor	H	Hollow Core
CPT	Carpet	HIC	Hollow Metal
CRS	Ceramic Tile	HW	Hardwood
CTB	Ceramic Tile Base	HDR	Header
CTYD	Courtyard	HI	High

GA	Gauge	N	Not In Contract
GALV	Galvanized	NO	Number
GB	Crab Bar	NOM	Nominal
GWB	Gypsum Wall Board	O	On Center
H	Hollow Core	OH	Opposite Hand
HIC	Hollow Metal	OPNG	Opening
HW	Hardwood	OZ	Ounce
HDR	Header	P	Pre-Cast Concrete
HI	High	PCC	Plumbing
HM	Hollow Metal	PLMB	Hour
HORIZ	Horizontal	PLAM	Plastic Laminate
HP	High Point	PLMB	Plumbing
HR	Hour	PLYWD	Plywood
HT	Height	PSSH	Pole & Shelves / Shelf
HRDB	Hardboard	PREFN	Prefinished
HVAC	Heating, Ventilating, And Air Conditioning	PT	Pressure Treated
I	Impact Resistant Gypsum Wall Board	PREFN	Paint or Painted
IRGRB	In Lieu Of	PNT	Polyvinyl Chloride
ILO	In Lieu Of	PVC	Polyvinyl Chloride
INSTR	Instructions	R	Rubber Base
INT	Insulated or Insulation Interior	RB	Rubber
J	Joint	RCP	Reflected Ceiling Plan
JNT	Joint	RD	Roof Drain
K	Maximum	REF	Refrigerator
MAX	Maximum	REINF	Reinforced
MFR	Manufacturer	REQD	Required
MCH	Mechanical	RM	Room
MEMBR	Membrane	S	Shoafting
MICRO	Microwave	SHFTG	Sheet Flooring
MIN	Minimum	SF	Similar
MISC	Miscellaneous	SIM	Similar
MROW	Moisture Resistant Dry Wall	SPEC	Specified OR Specification
MROWB	Moisture-Resistant Gypsum Wall Board	SPK	Sprinkler or Speaker
MTR	Mortar	SS	Stainless Steel
MTRL	Material	ST	Stain
MTL	Metal	STC	Sound Transmission Coefficient
MTL	Metal	STL	Steel
STRUC	Structure or Structural	STRUC	Structure or Structural

T&G	Tongue And Groove	U	Unless Noted Otherwise Underside
TEL	Telephone	UNO	Unless Noted Otherwise Underside
TLT	Toilet	US	Underside
TO	Top Of	V	Vinyl Base
TOC	Top Of Concrete	VCT	Vinyl Composition Tile
TOS	Top Of Steel	VERT	Vertical
TPD	Toilet Paper Dispenser	VIF	Verify In Field
T/D	Telephone/Data	VP	Vision Panel
TYP	Typical	VWC	Vinyl Wall Covering
W	With	W	With
W/	Wood	WD	Wood
WD	Wood	WDW	Window
WDW	Window		

SYMBOL KEY



SHEET INDEX

ID	NAME
G100	COVER SHEET
A100	LOWER LEVEL FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	ROOF PLAN
A200	WEST ELEVATION
A201	NORTH ELEVATION
A202	EAST ELEVATION
A203	SOUTH ELEVATION
A306	BUILDING SECTION
A307	BUILDING SECTION
A309	BUILDING SECTION

NOT FOR CONSTRUCTION

DRAWING ISSUE
ISSUE

PROJECT # XXXX
ISSUE # XXXX

COVER SHEET

G100

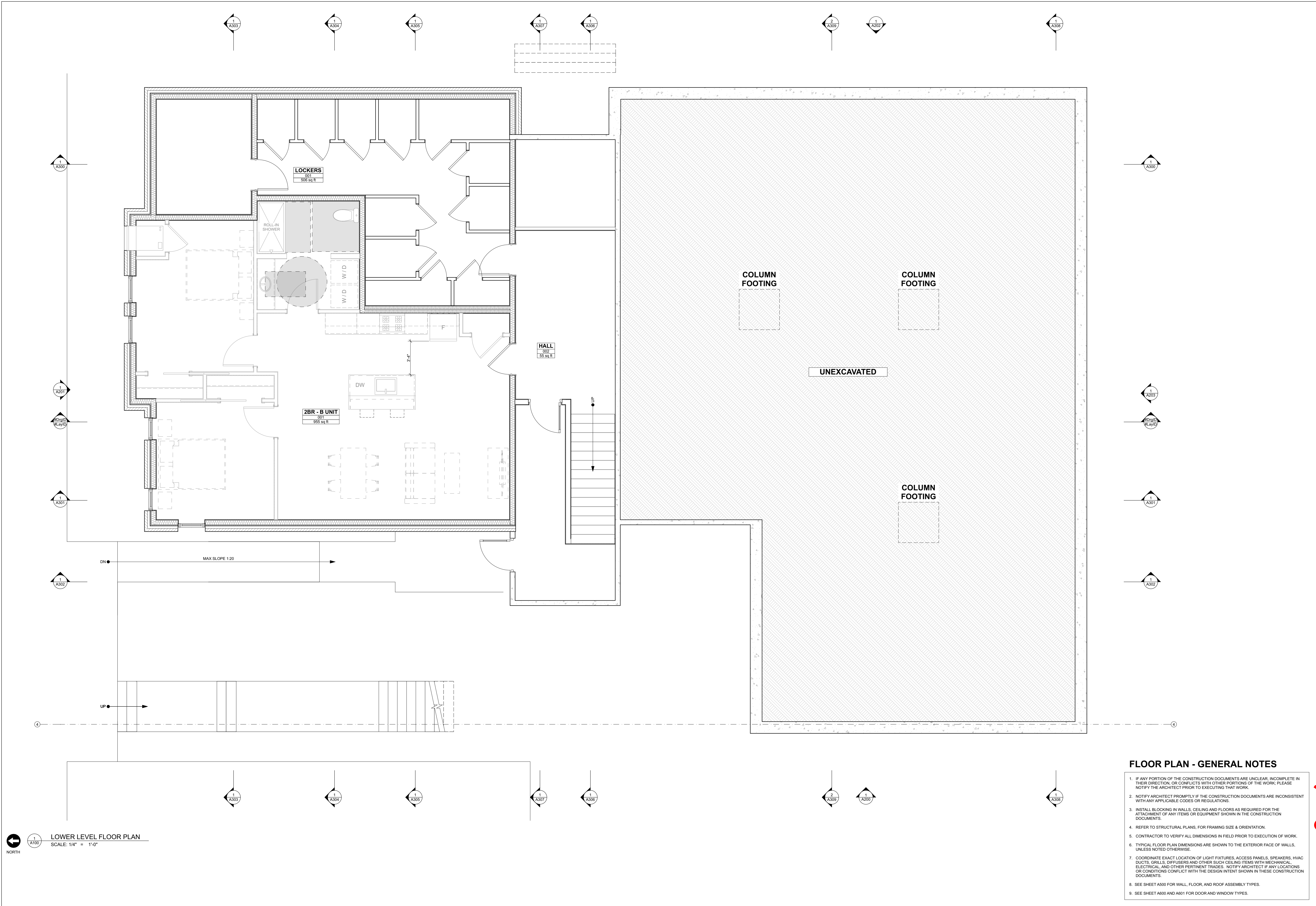
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ISSUE

PROJECT # XXXX

LOWER LEVEL
FLOOR PLAN

A100



FLOOR PLAN - GENERAL NOTES

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- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

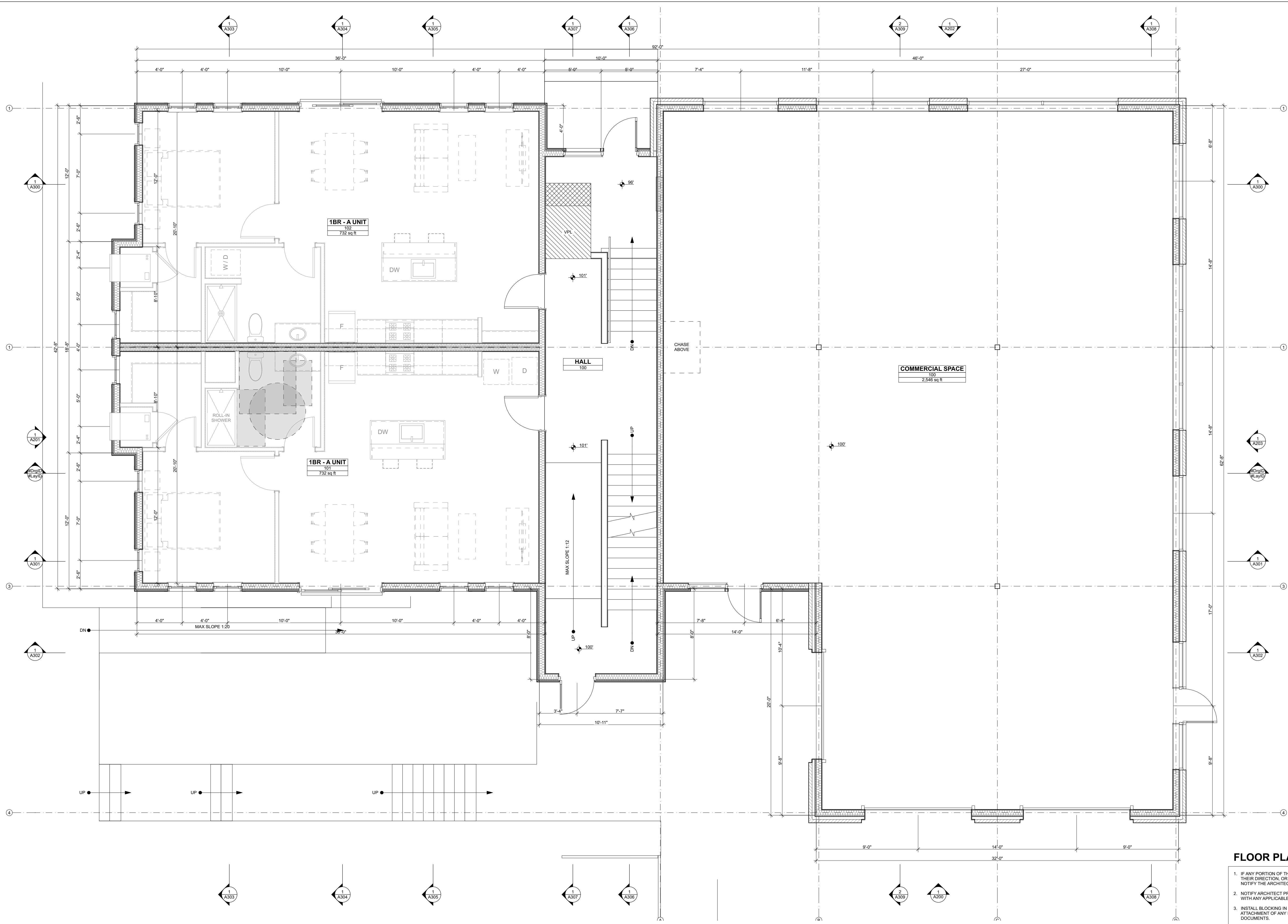
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PROJECT # XXXX

FIRST FLOOR PLAN

A101



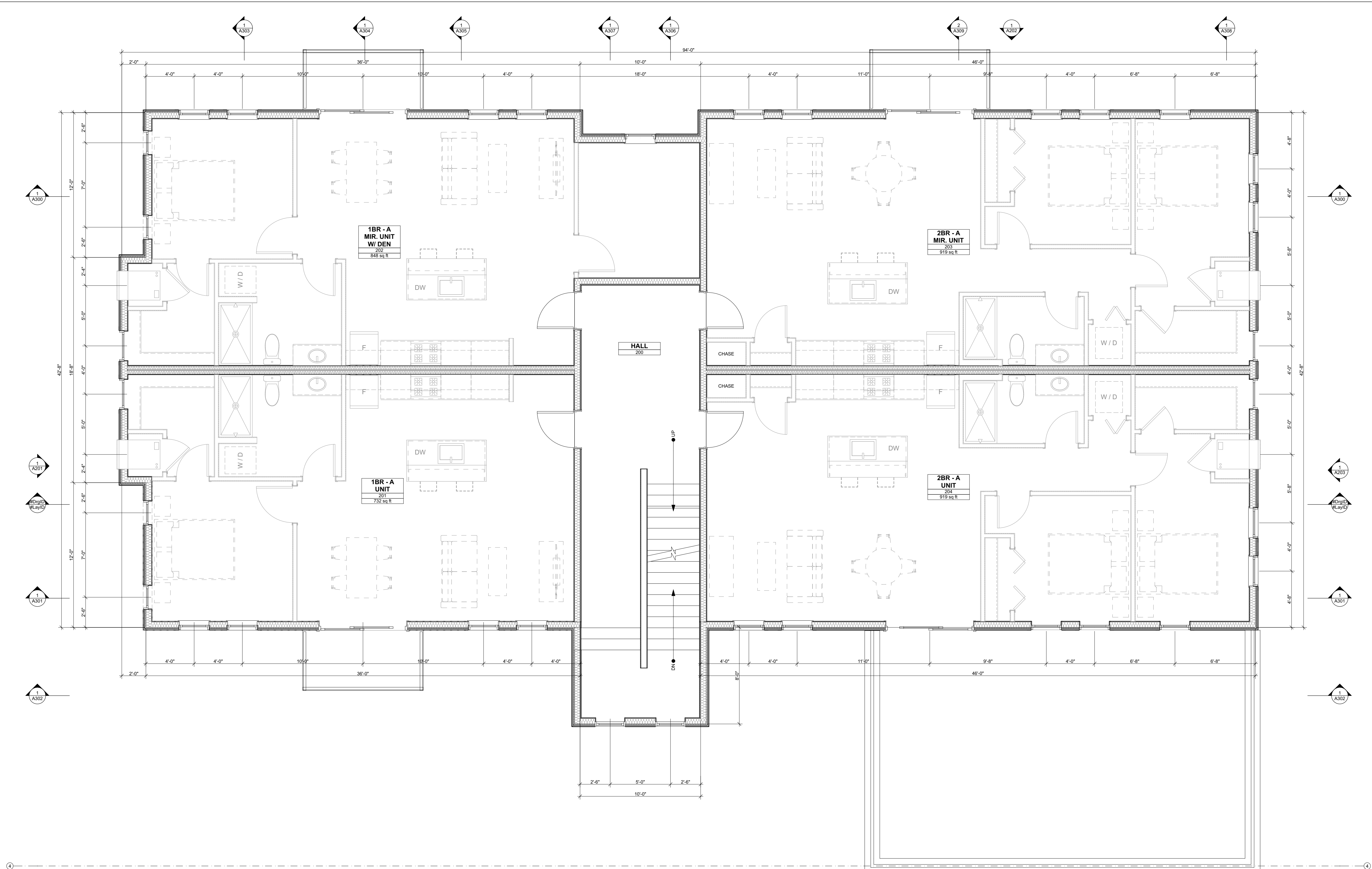
FLOOR PLAN - GENERAL NOTES


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8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

**NOT FOR
CONSTRUCTION**

WEST ALLIS
MIXED-USE BUILDING
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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN - GENERAL NOTES

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8. SEE SHEET A600 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

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PROJECT # _____ XXXX
 SECOND FLOOR PLAN

A102

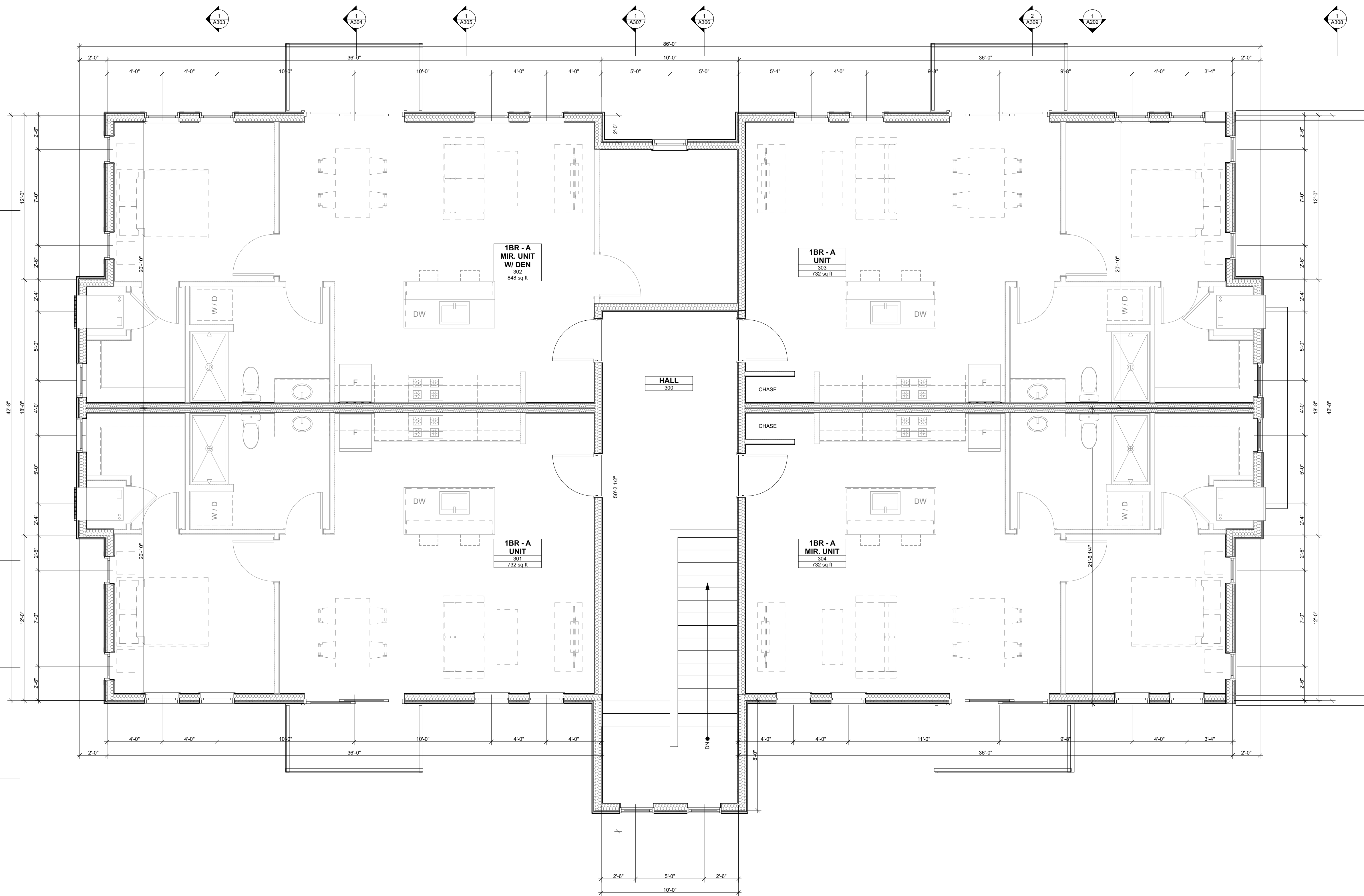
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PROJECT # XXXX

THIRD FLOOR PLAN

A103



FLOOR PLAN - GENERAL NOTES

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9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

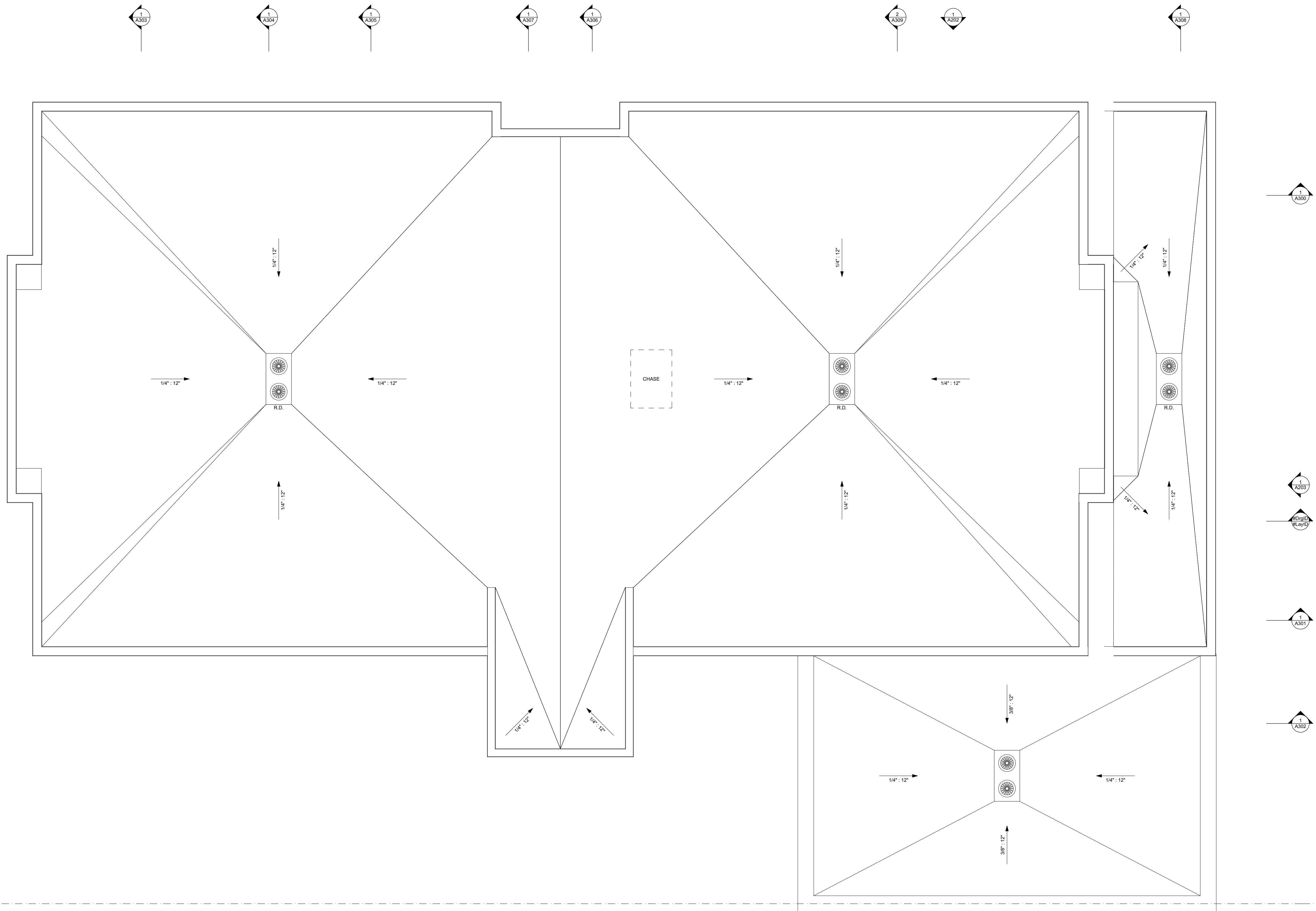
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PROJECT # XXXX

ROOF PLAN

A104



ROOF PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
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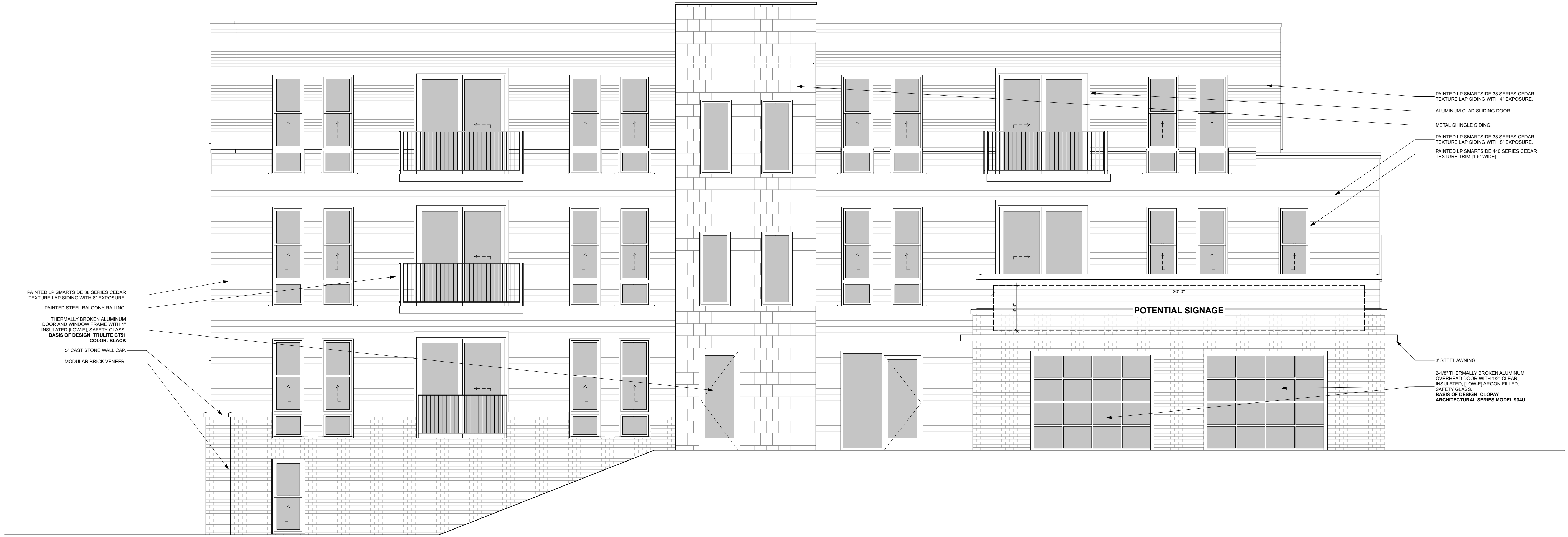
ROOF PLAN

SCALE: 1/4" = 1'-0"



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**WEST ALLIS
MIXED-USE BUILDING**
6400 W GREENFIELD AVE. WEST ALLIS WI 53214



PAINTED LP SMARTSIDE 38 SERIES CEDAR
TEXTURE LAP SIDING WITH 6" EXPOSURE.
PAINTED STEEL BALCONY RAILING.
THERMALLY BROKEN ALUMINUM
DOOR AND WINDOW FRAME WITH 1"
INSULATED LOW-EJ SAFETY GLASS.
BASIS OF DESIGN: TRULITE C115
COLOR: BLACK
5" CAST STONE WALL CAP.
MODULAR BRICK VENEER.

PAINTED LP SMARTSIDE 38 SERIES CEDAR
TEXTURE LAP SIDING WITH 4" EXPOSURE.
ALUMINUM CLAD SLIDING DOOR.
METAL SHINGLE SIDING.
PAINTED LP SMARTSIDE 38 SERIES CEDAR
TEXTURE LAP SIDING WITH 6" EXPOSURE.
PAINTED LP SMARTSIDE 440 SERIES CEDAR
TEXTURE TRIM [1.5" WIDE].

3" STEEL AWNING.
2-1/8" THERMALLY BROKEN ALUMINUM
OVERHEAD DOOR WITH 1/2" CLEAR,
INSULATED, LOW-EJ ARGON FILLED,
SAFETY GLASS.
BASIS OF DESIGN: CLOPAY
ARCHITECTURAL SERIES MODEL 994U.

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # XXXX
WEST ELEVATION

A200

**WEST ALLIS
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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # XXXX

NORTH ELEVATION

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CONSTRUCTION**

A201

**WEST ALLIS
MIXED-USE BUILDING**
6400 W GREENFIELD AVE. WEST ALLIS WI 53214



ALUMINUM CLAD SLIDING DOOR.
PAINTED STEEL BALCONY RAILING.

5\"/>

POTENTIAL SIGNAGE

POTENTIAL SIGNAGE

MODULAR BRICK VENEER.
THERMALLY BROKEN ALUMINUM
DOOR AND WINDOW FRAME WITH 1\"/>

THERMALLY BROKEN ALUMINUM
WINDOW FRAME WITH 1\"/>

PAINTED LP SMARTSIDE 38 SERIES CEDAR
TEXTURE LAP SIDING WITH 4\"/>

PAINTED LP SMARTSIDE 440 SERIES CEDAR
TEXTURE TRIM (1.5\"/>

PAINTED LP SMARTSIDE 38 SERIES CEDAR
TEXTURE LAP SIDING WITH 6\"/>

METAL SHINGLE SIDING.

PAINTED STEEL FRENCH BALCONY RAILING.

EAST ELEVATION
SCALE: 1/4\"/>

DRAWING ISSUE
ISSUE

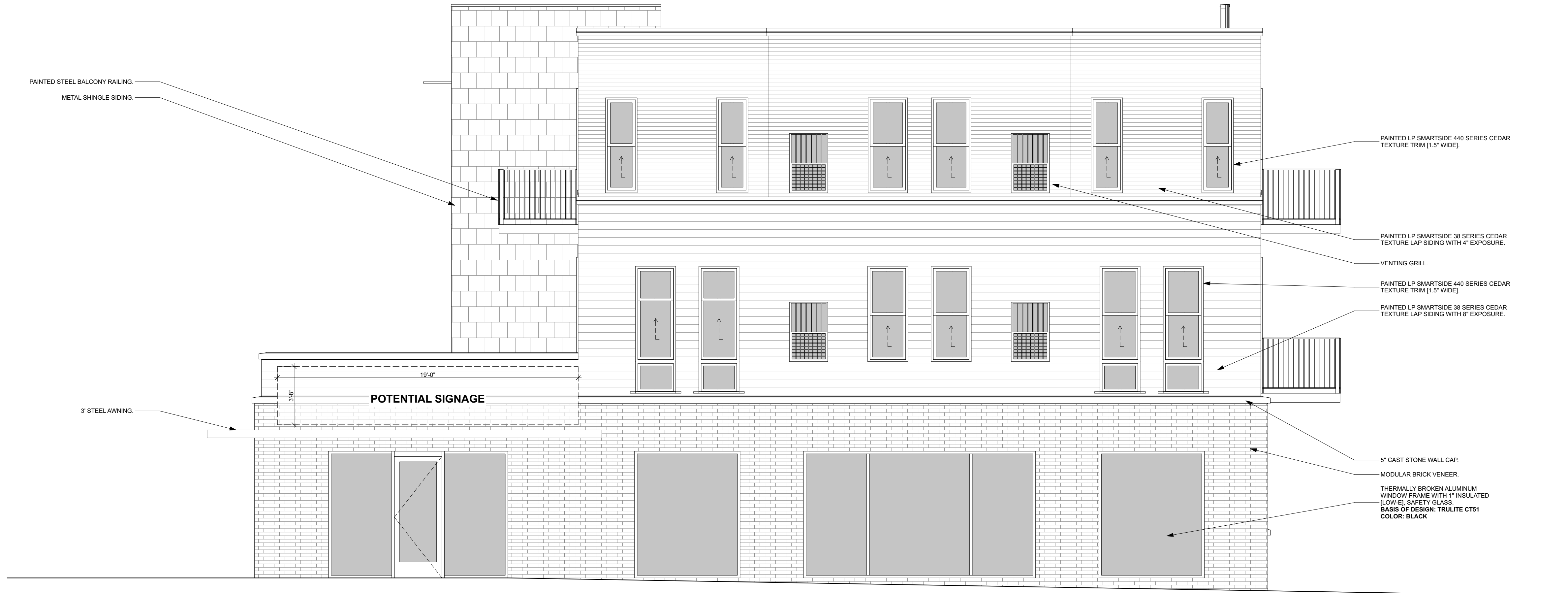
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PROJECT # XXXX

EAST ELEVATION

A202

**WEST ALLIS
MIXED-USE BUILDING**
6400 W GREENFIELD AVE. WEST ALLIS WI 53214



PAINTED STEEL BALCONY RAILING
METAL SHINGLE SIDING

3" STEEL AWNING

POTENTIAL SIGNAGE

PAINTED LP SMARTSIDE 440 SERIES CEDAR
TEXTURE TRIM (1.5" WIDE)

PAINTED LP SMARTSIDE 36 SERIES CEDAR
TEXTURE LAP SIDING WITH 4" EXPOSURE

VENTING GRILL

PAINTED LP SMARTSIDE 440 SERIES CEDAR
TEXTURE TRIM (1.5" WIDE)

PAINTED LP SMARTSIDE 36 SERIES CEDAR
TEXTURE LAP SIDING WITH 6" EXPOSURE

5" CAST STONE WALL CAP

MODULAR BRICK VENEER

THERMALLY BROKEN ALUMINUM
WINDOW FRAME WITH 1" INSULATED
(LOW-E) SAFETY GLASS
BASIS OF DESIGN: TRULITE CT51
COLOR: BLACK

1
A203
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # XXXX
DATE XXXX

SOUTH ELEVATION

A203

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TOWN HOME S
 6400 W GREENFIELD AVE. WEST
 ALLIS WI 53214

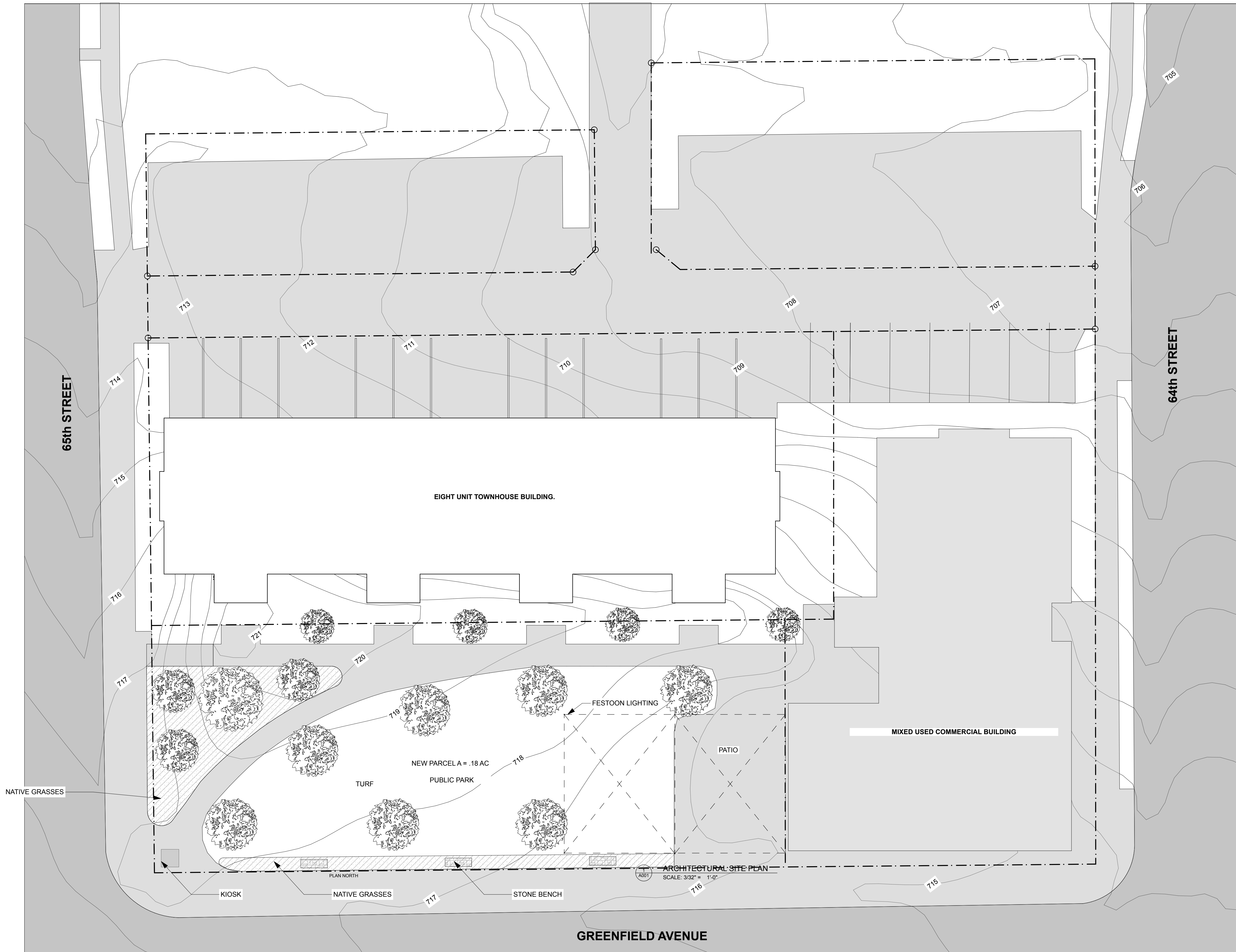
DRAWING ISSUE
ISSUE

PROJECT # 23.20

ARCHITECTURAL
SITE PLAN

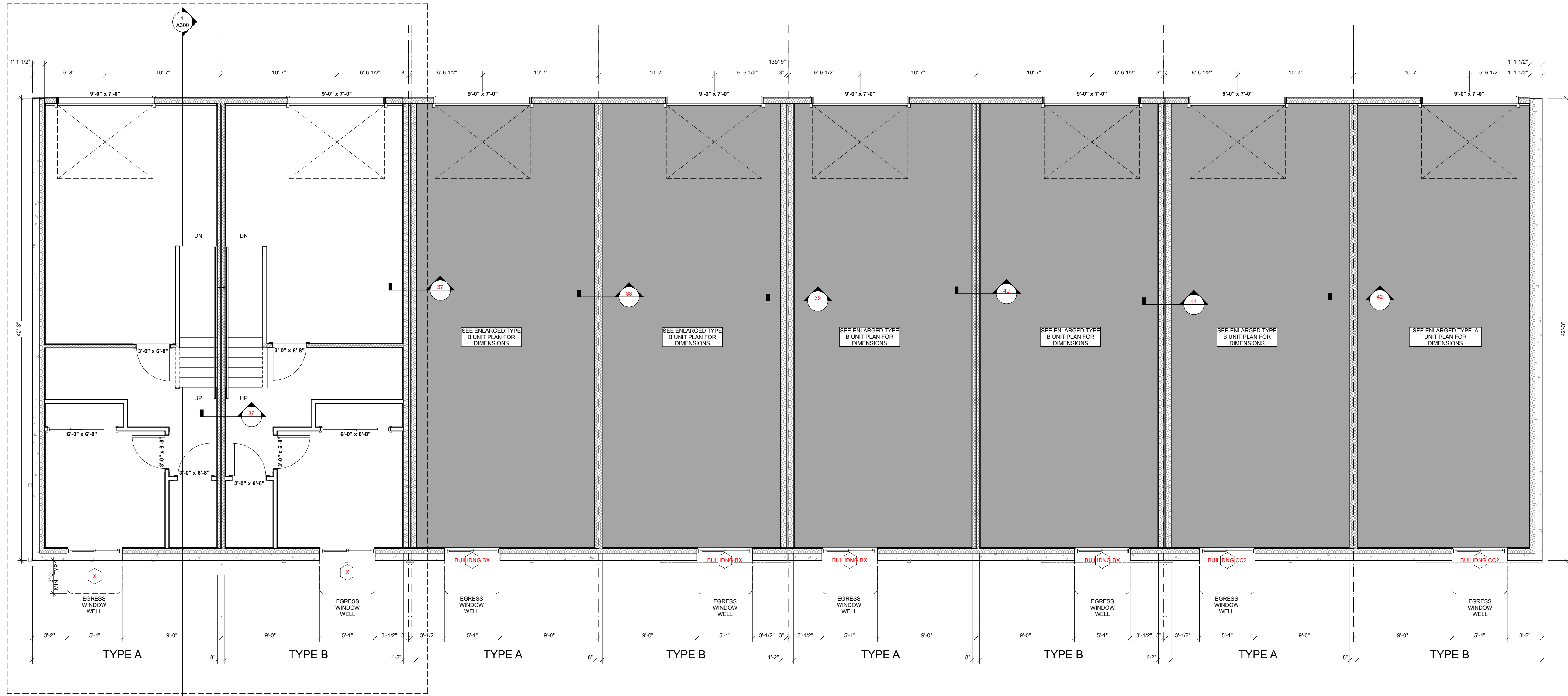
A001

NOT FOR CONSTRUCTION



SITE PLAN - GENERAL NOTES

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8. SEE LANDSCAPE DRAWINGS FOR FULL SCOPE. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.

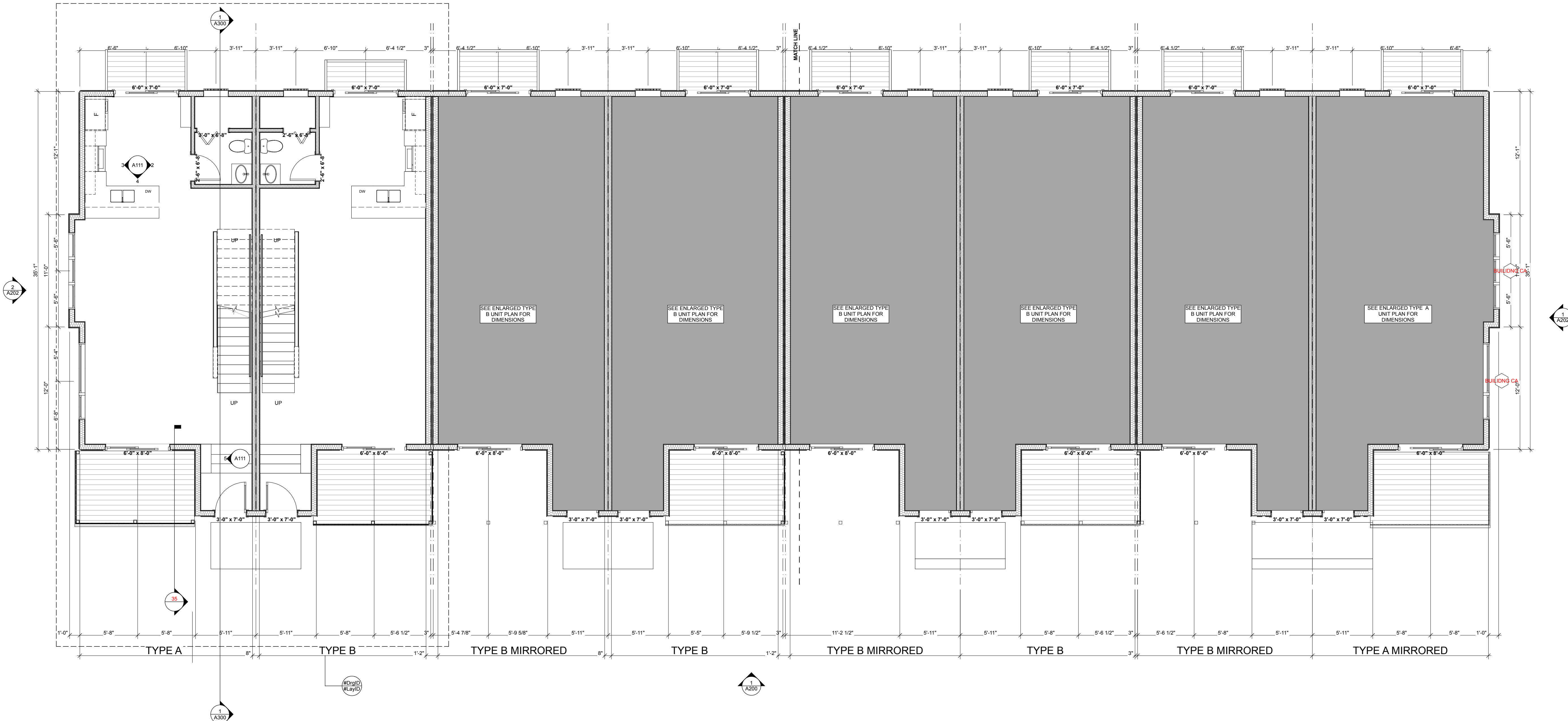


LOWER LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"
PLAN NORTH

FLOOR PLAN - GENERAL NOTES

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NOT FOR CONSTRUCTION



FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"
PLAN NORTH

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

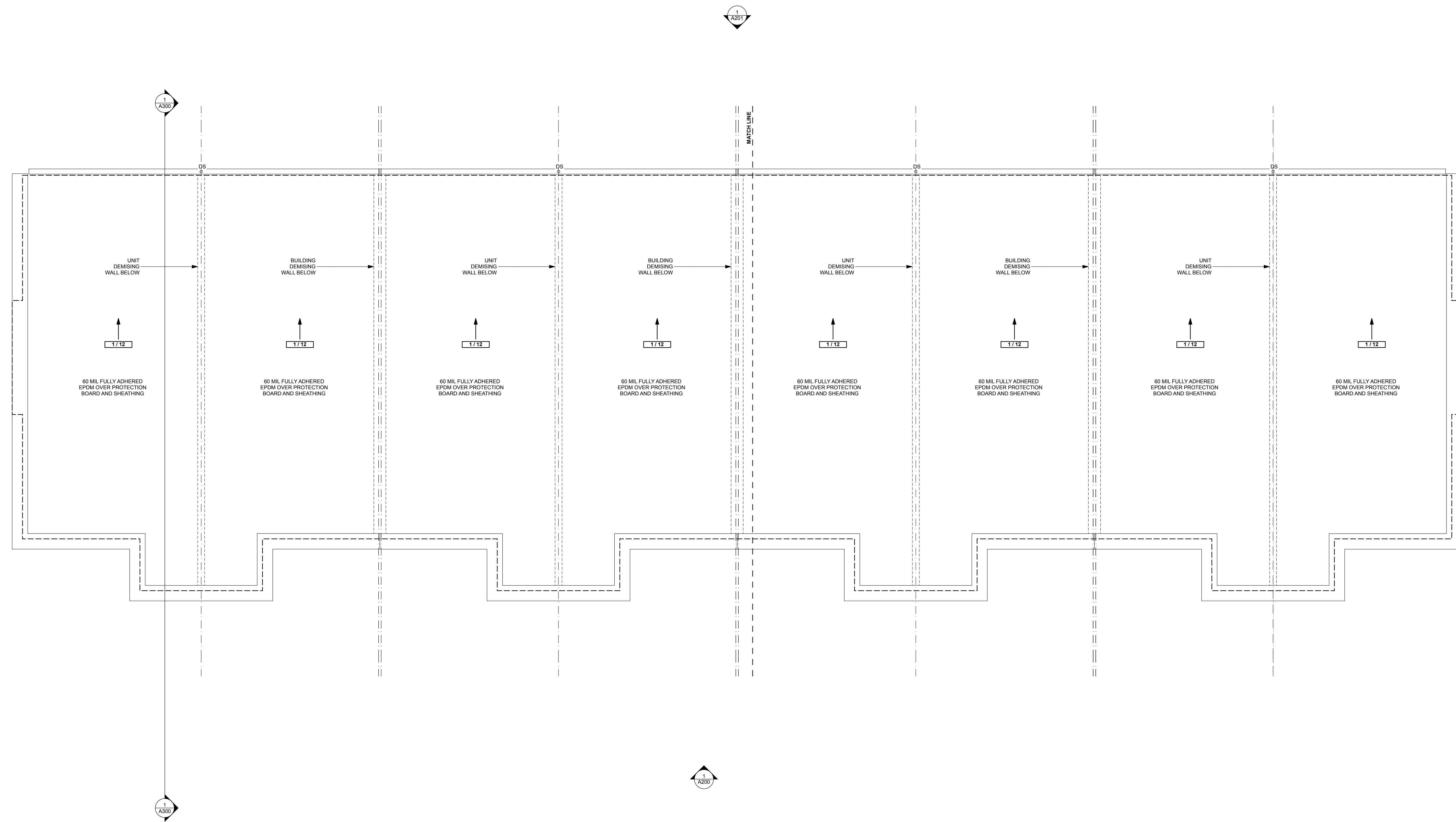


1 SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"
PLAN NORTH

FLOOR PLAN - GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
- SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
- SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

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T.O. ROOF
SCALE: 3/16" = 1'-0"
PLAN NORTH

ROOF PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.

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OVERALL ROOF PLAN

A107

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 53214



SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



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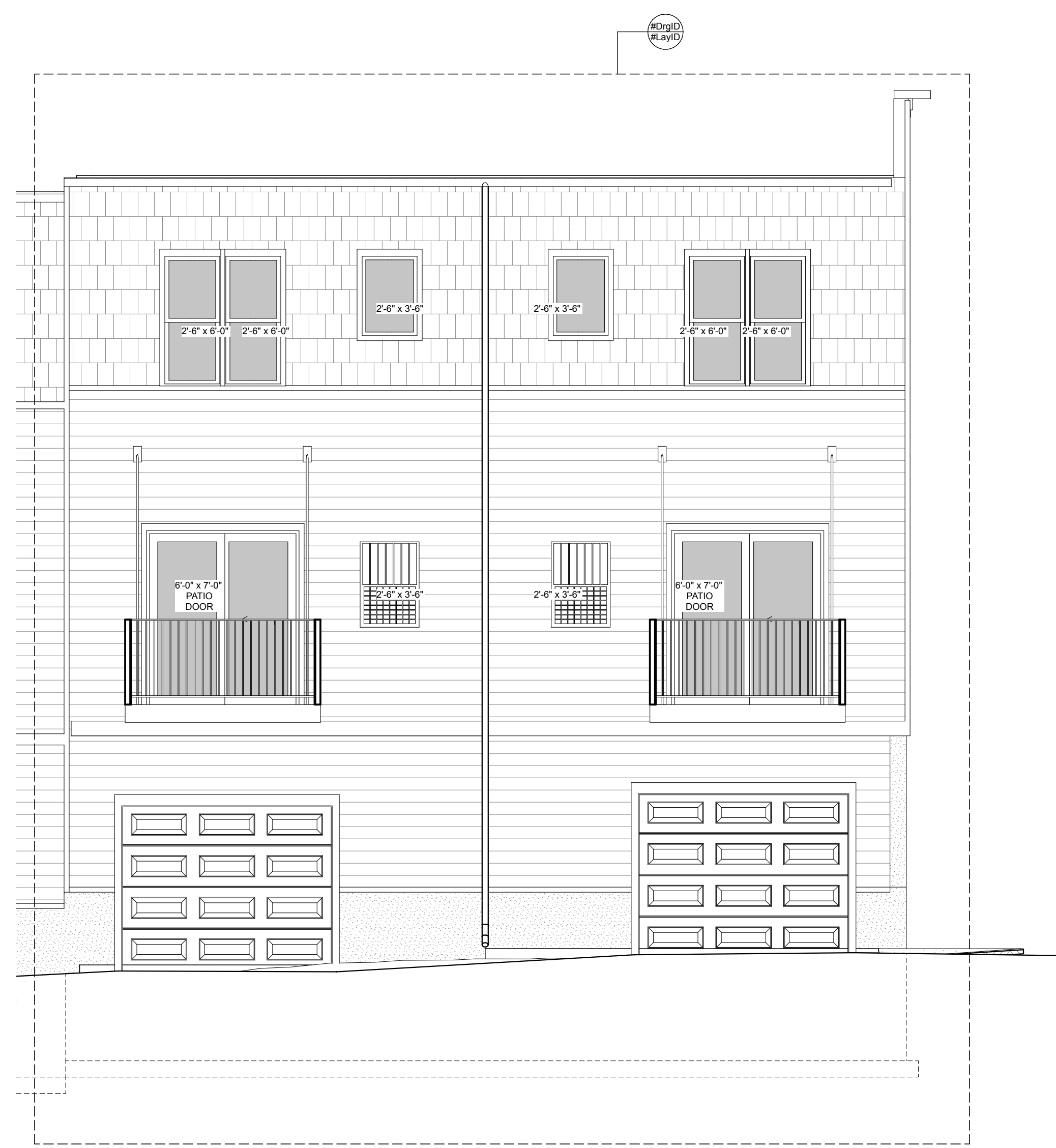
ELEVATIONS

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A200



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



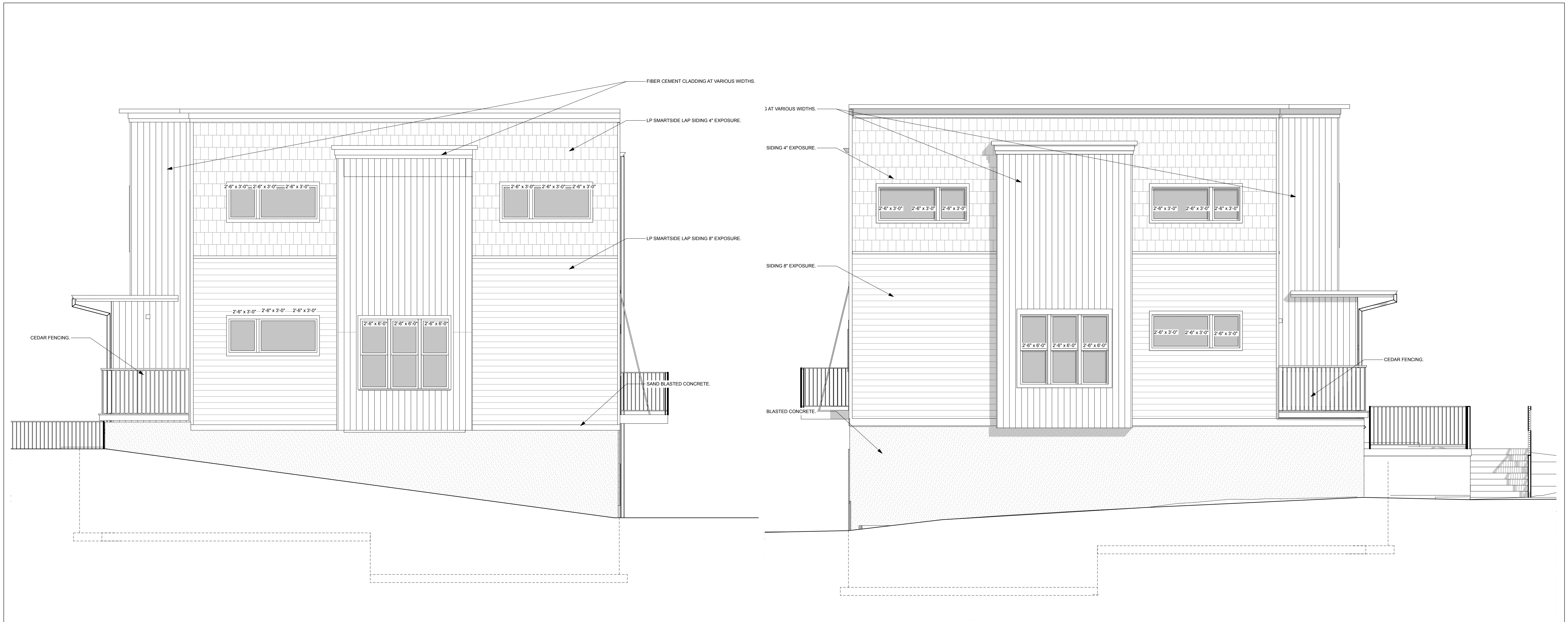
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ELEVATIONS

A201



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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ELEVATIONS

A202

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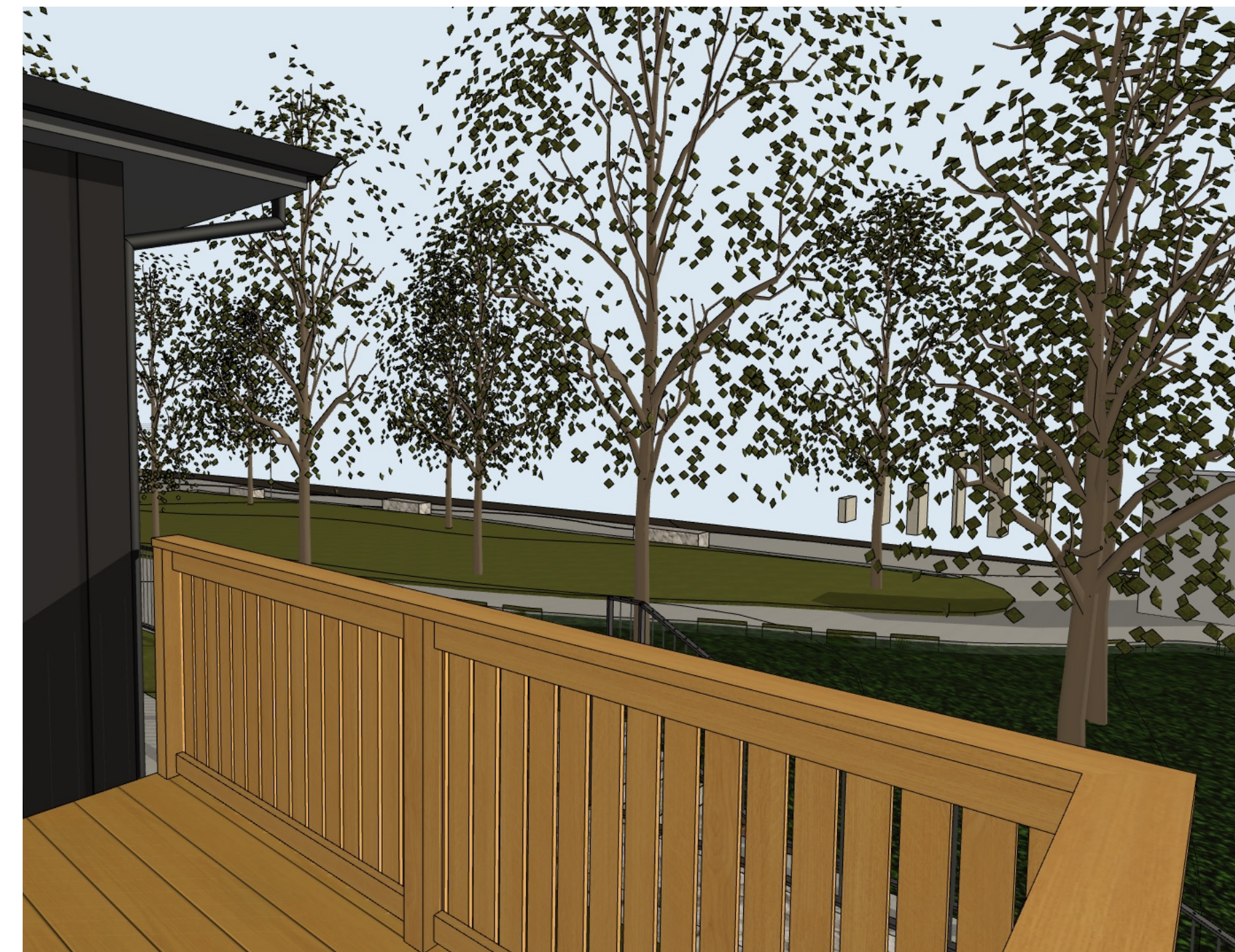
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SECTIONS

A300

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3D VIEWS

A900















