



**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, December 14, 2023  
5:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 3A. Conditional Use Permit for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave.
- 3B. Site, Landscaping, and Architectural Design Review for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave. (Tax Key No. 454-0122-001)

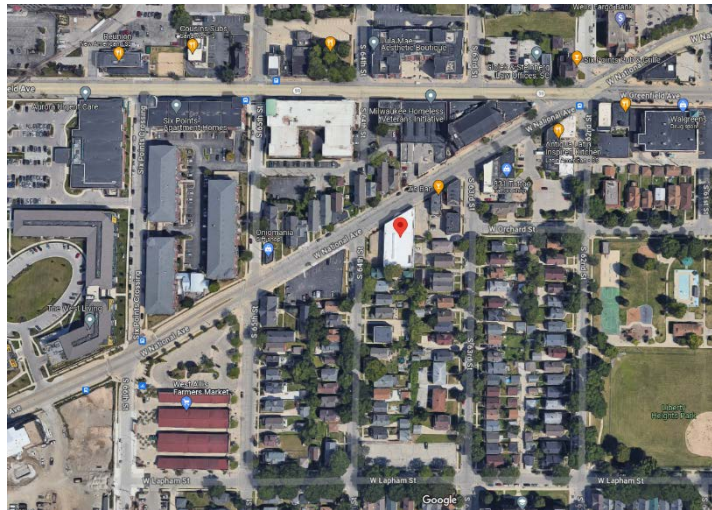
**Overview and Zoning**

Bars and Recreation is a group of activity bars offering immersive experiences with cutting-edge activities, creative drinks, and customer service. Bars and Rec has purchased the former Cas-Tech building at 6325 W. National Ave. in April of 2022.

The concept planned for the West Allis location would offer an entertainment destination for groups of 2-6 players per area, combinable for large groups of up to 50 (half the facility) or 100 (entire facility) playing at the same time. Playing areas can be reserved in blocks of 1.5 hours for small groups or 3+ hours for larger groups. Like all Bars & Rec facilities, the concept will be designed as a fully immersive experience including custom-built playing areas, equipment, and décor. The percentage of sales related to the types of business planned on site include 60% entertainment, 25% alcohol, 10% food, and 5% other/retail.



*Existing building 6325 W. National Ave. built in 1948*



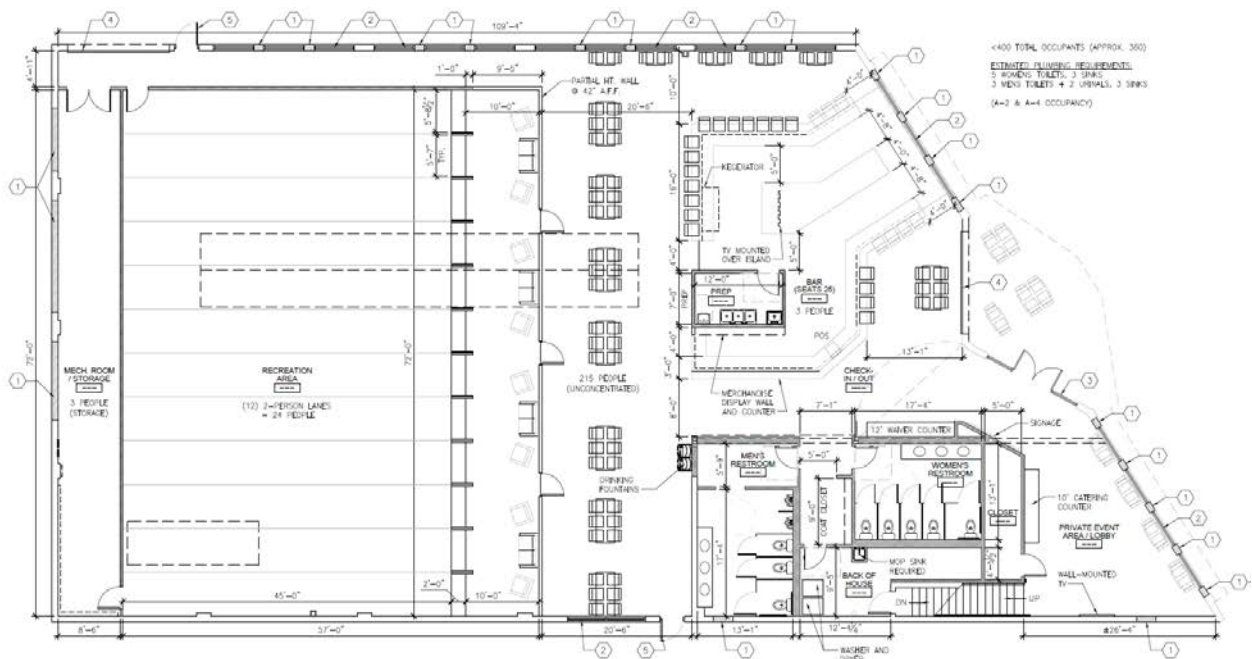
Hours: open to the public Wednesday-Sunday from approximately 4:00pm-midnight on weeknights, and 11:00am-1:00am on weekends. The establishment may also be open Mondays and Tuesdays after demand becomes more stable.

The property is zoned C-3 commercial district and while a tavern is considered a permitted use (and regulated under the existing class B license), the indoor recreation use is a conditional use within the C-3 commercial zoning district. The zoning definition of indoor recreation is a primary function of the business where individual customers and groups will assemble, typically by appointment, to play games of skill for entertainment purposes.

The project schedule ahead includes a public hearing being conducted first on December 12 @ 7pm, and then followed by Planning Commission on December 14 @ 5pm. It's a bit different from typical order, but with our end of year meeting schedule being limited, Planning has recommend advancing in this manner to expedite the public notice and participation process in advance of the Planning Commission. Plan Commission design review consideration being conducted on December 14<sup>th</sup>.

Bars and Recreation anticipates construction being commenced in the first quarter of 2024 with a soft opening contemplated in Spring. A project description provided by the applicant is included with this staff report.

**Floor Plan** - The overall building is about 12,450-sf which includes a nearly 1,600-sf mezzanine. Floor areas will be remodeled from their prior industrial use to include a customer lobby, bar, seating areas, entertainment/play area, and a mezzanine for special events.



<400 TOTAL OCCUPANTS (APPROX. 300)  
 ESTIMATED PLUMBING REQUIREMENTS:  
 8 WOMEN'S TOILETS, 2 SINKS  
 3 MEN'S TOILETS + 2 URINALS, 3 SINKS  
 (A=2 & A=4 OCCUPANCY)

**FIRST FLOOR PLAN**

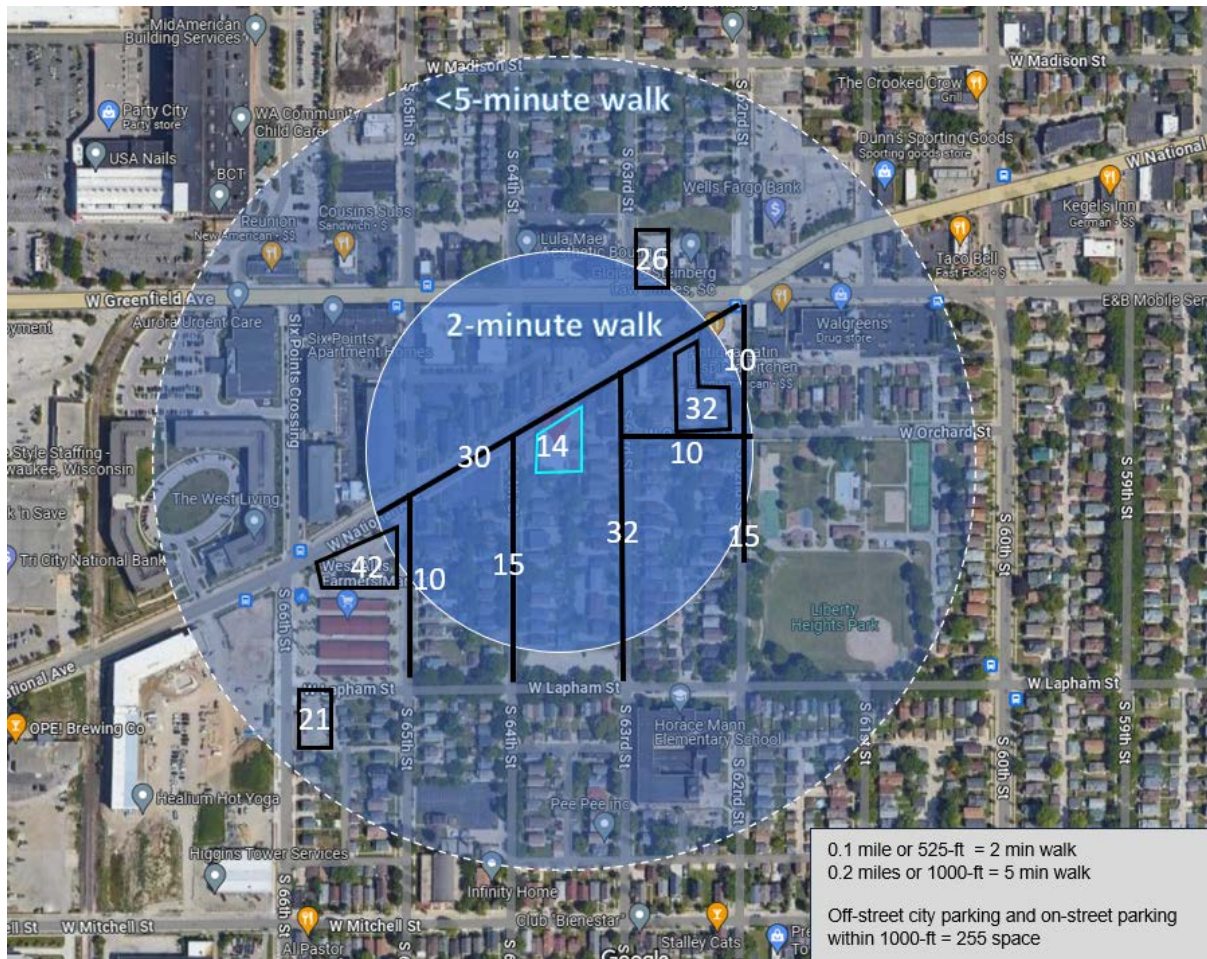
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



**FLOOR PLAN KEYNOTES**

- ① BLOCK INFILL EXISTING OPENING.
- ② REPLACE EXISTING WINDOW.
- ③ NEW STOREFRONT ENTRANCE.
- ④ REPLACE EXISTING GARAGE DOOR.
- ⑤ PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.

The overall floor area from an occupancy standpoint will be about 360 people. The recreation area will feature 12, 2-person lanes (24 people) with adjacent viewing and seating area for 215 people (unconcentrated). The bar area seats 25, and additional seating will be located in the front lobby and a few tables are shown outside in front of the building. The mezzanine level will offer a special event area for 49 people. Staff notes that there are about 250 parking spaces within 1000-ft of the property. This includes city parking lots, the subject B&R property, and on-street parking.



**Site and Landscaping**

There are two accessory off-street parking lots on each side (east and west) of the building. The west lot will feature 6 parking spaces (includes one ADA stall) and is accessible from S. 64 St. and the east lot has 8 parking spaces and is accessible from W. National Ave.

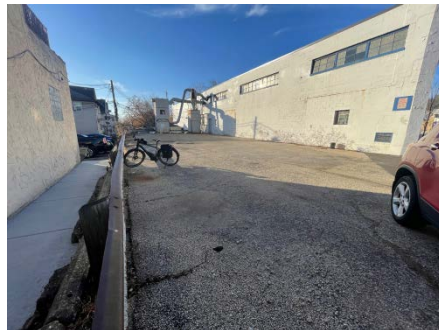
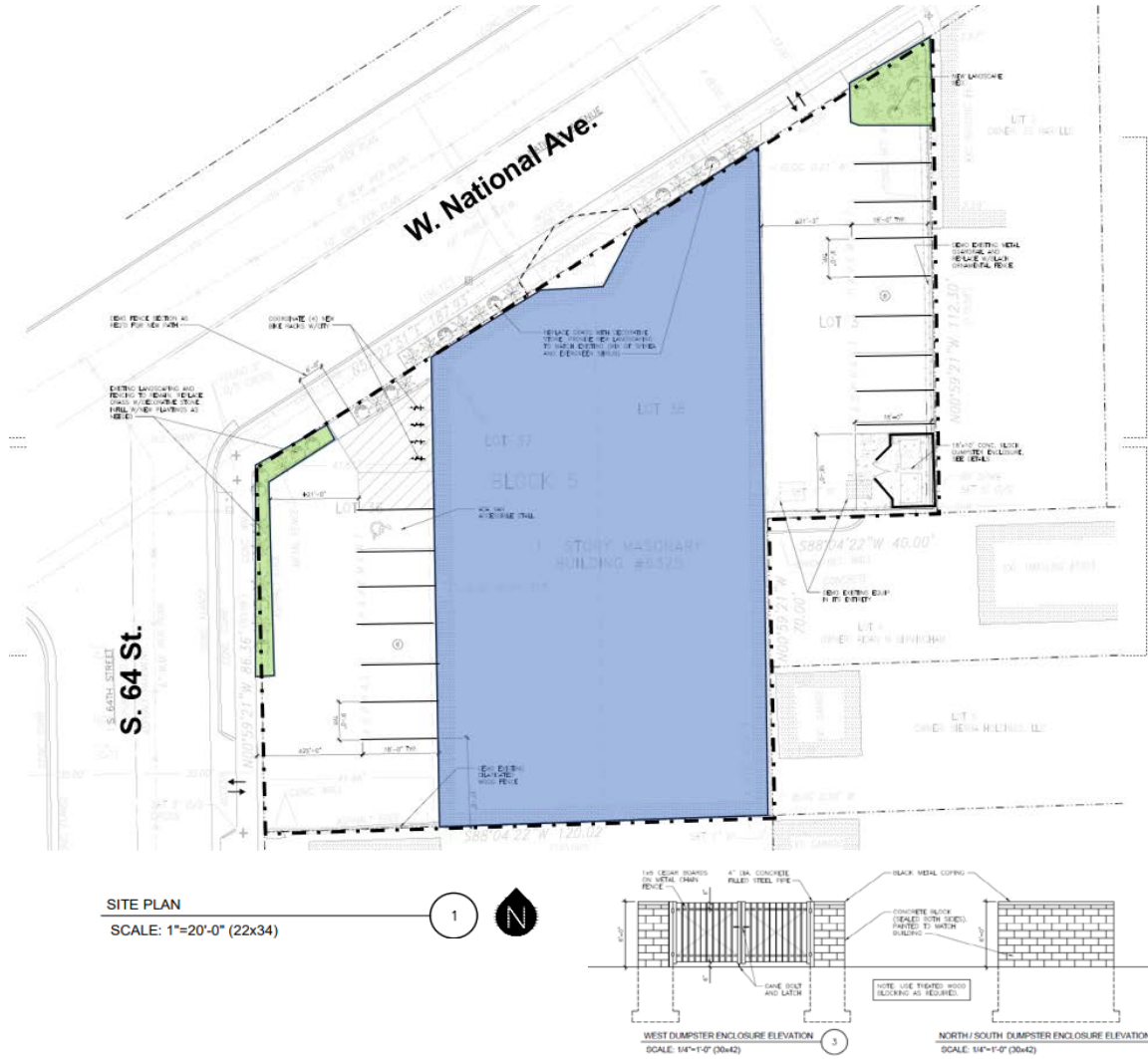
East parking lot - The existing guardrail along the east side of the property will be removed, and a new decorative black metal fence will be installed around the east and south perimeter of the parking lot. A new landscaping bed will also be installed at the NE corner of the property. Staff is recommending that the landscaping plan include a schedule to identify species and quantity on site.

West parking lot – The existing west parking lot features a black ornamental fence and landscaping. These features will remain but be modified to infill and freshen up the landscaping, and also to remove a section of fencing to allow for direct access to/from the front door of the building to the parking lot. An



old section of fencing and pipe railing on the very south end of the parking lot will be removed. On the north end of the parking lot near W. National Ave. 4 bike racks will be installed and also a new ADA parking space with accessible aisle.

The refuse area will be located on the east side of the building and enclosed within a 4-sided enclosure. A former Cas-Tech filtration system will be removed from the site (currently in the east parking area).



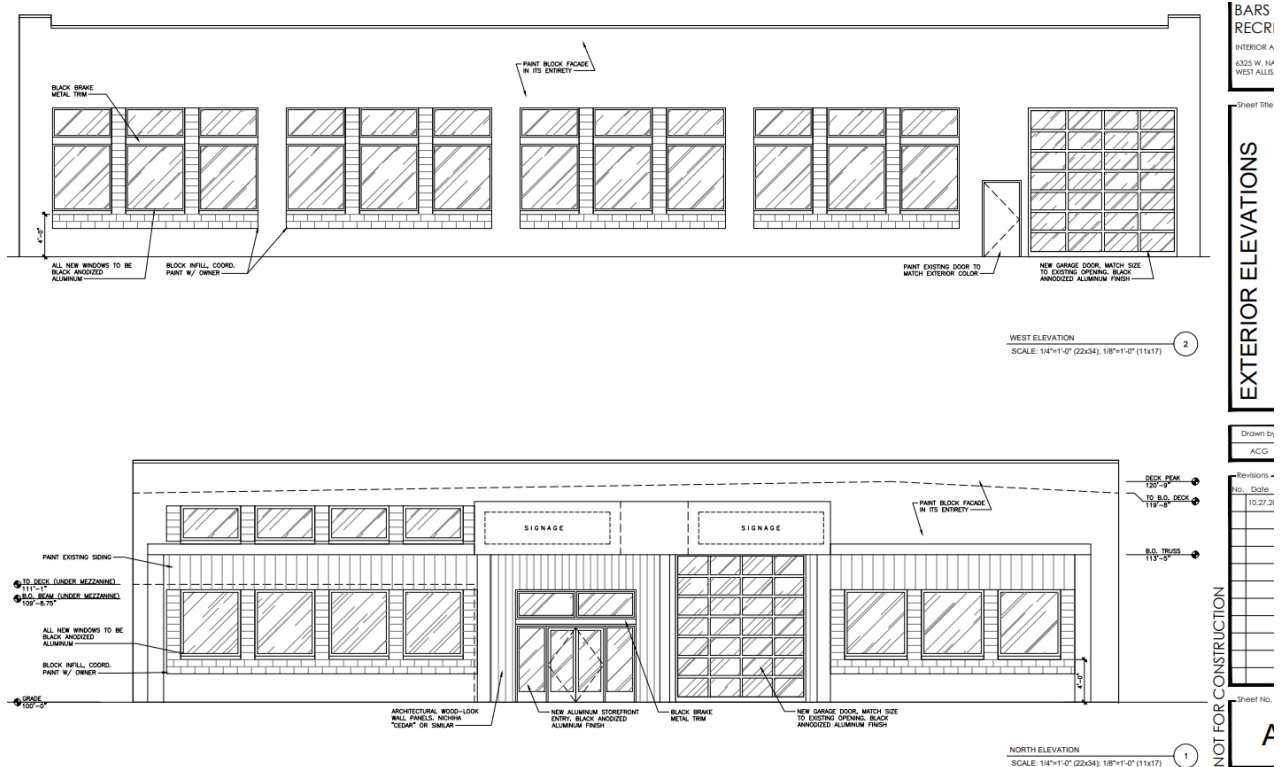
The redesigned W. National Ave. corridor streetscape was completed and reopened over the summer. The new public sidewalk fronts alongside the north side of the building, a new hardscaped terrace area, street trees, and curb extension are featured along the street frontage. The site/landscaping plan should reflect the new streetscape geometry. Any proposed outdoor seating areas will need to be located so as to not impede passage of pedestrian foot-traffic along the city sidewalk.



**Architectural**

Overall, the architectural presentation is a welcome change for this adaptive reuse of a former light industrial building. The following staff comment (also reflected in the recommendation):

- As proposed in the plan submittal, the existing window openings will be reduced in size to accommodate the new window systems. Staff isn't opposed to the removal of existing glass block but is recommending the applicant install a new window that fits the existing opening vs. cement block infill of openings (and smaller windows) on north and west facades. Our preference is to preserve existing opening size with a similar but more modern/energy efficient "shop window."



Exterior materials include repainting the overall building (cement block and metal siding), new business signage (upon existing projecting canopy/marquee), new windows, new siding materials within the main entry area ([nichiha](#) "cedar" or similar fiber cement product). The south and east elevations will offer infill of existing openings.



**Recommendation: Common Council approval of the conditional use and approval the Site, Landscaping, and Architectural Design Review for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave. (Tax Key No. 454-0122-001), subject to the following conditions:**

(Item 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Public Hearing December 12, 2023).
2. Revised site, landscaping, and architectural plans being submitted to the Planning and Zoning Office to show the following: (a) new windows that fit existing openings on north and west facades; (b) evaluate structural integrity of retaining wall and adjacent parking lot, abate any rodent issues, and repair/replace as necessary; (c) new metal fence details being provided; (d) site and landscaping plan revisions to accurately show W. National Ave. streetscape as built; (e) landscaping plan to include a schedule to identify species and quantity on site;.
3. Signage and exterior lighting plans being submitted to the Planning and Zoning Office for permit design review.

# BARS & RECREATION - INTERIOR ALTERATION

6325 W. NATIONAL AVENUE | WEST ALLIS, WI 53214



Architect  
259 South Street, Suite A  
WAUKESHA, WI 53186  
p: 833-380-6180

Project Info. — 23151

## BARS & RECREATION

INTERIOR ALTERATION  
6325 W. NATIONAL AVENUE  
WEST ALLIS, MILWAUKEE 53214

Sheet Title

TITLE AND CODE SHEET

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023		PC Submittal
12.06.2023		Revised PC Submittal

Sheet No.

T1.0

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
T1.1	EGRESS PLANS (FORTHCOMING)
ARCHITECTURAL	
SP1.0	SITE PLAN AND SITE DETAILS
D1.0	DEMOLITION PLANS
A1.0	FIRST FLOOR PLAN
A1.1	MEZZANINE PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A4.0	ENLARGED FIRST FLOOR PLAN
A5.0	INTERIOR ELEVATIONS (FORTHCOMING)
A6.0	WALL, WINDOW, AND DOOR TYPES (FORTHCOMING)

PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR.

### PROJECT NOTES

ELECTRICAL NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.

HVAC NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.

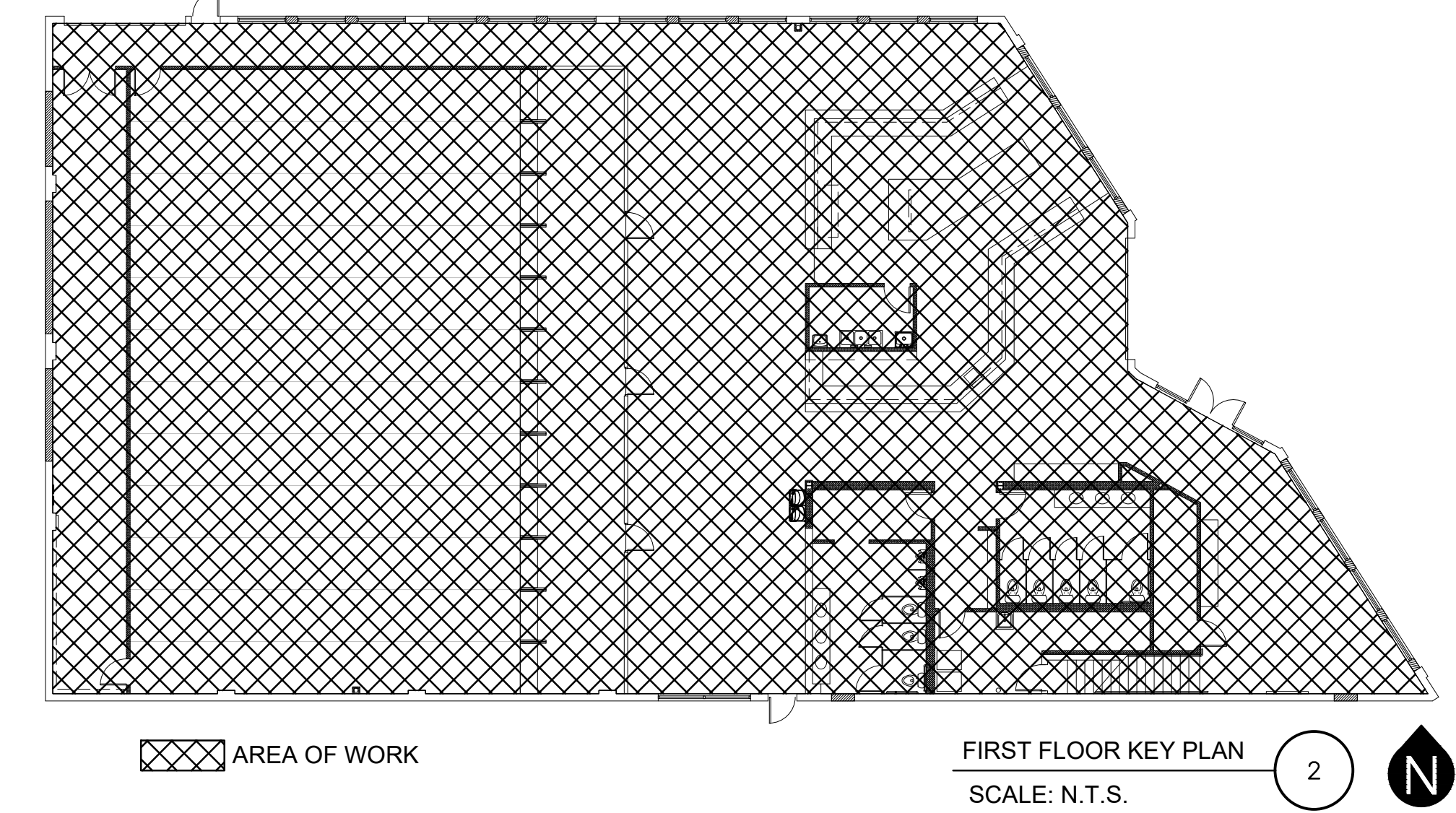
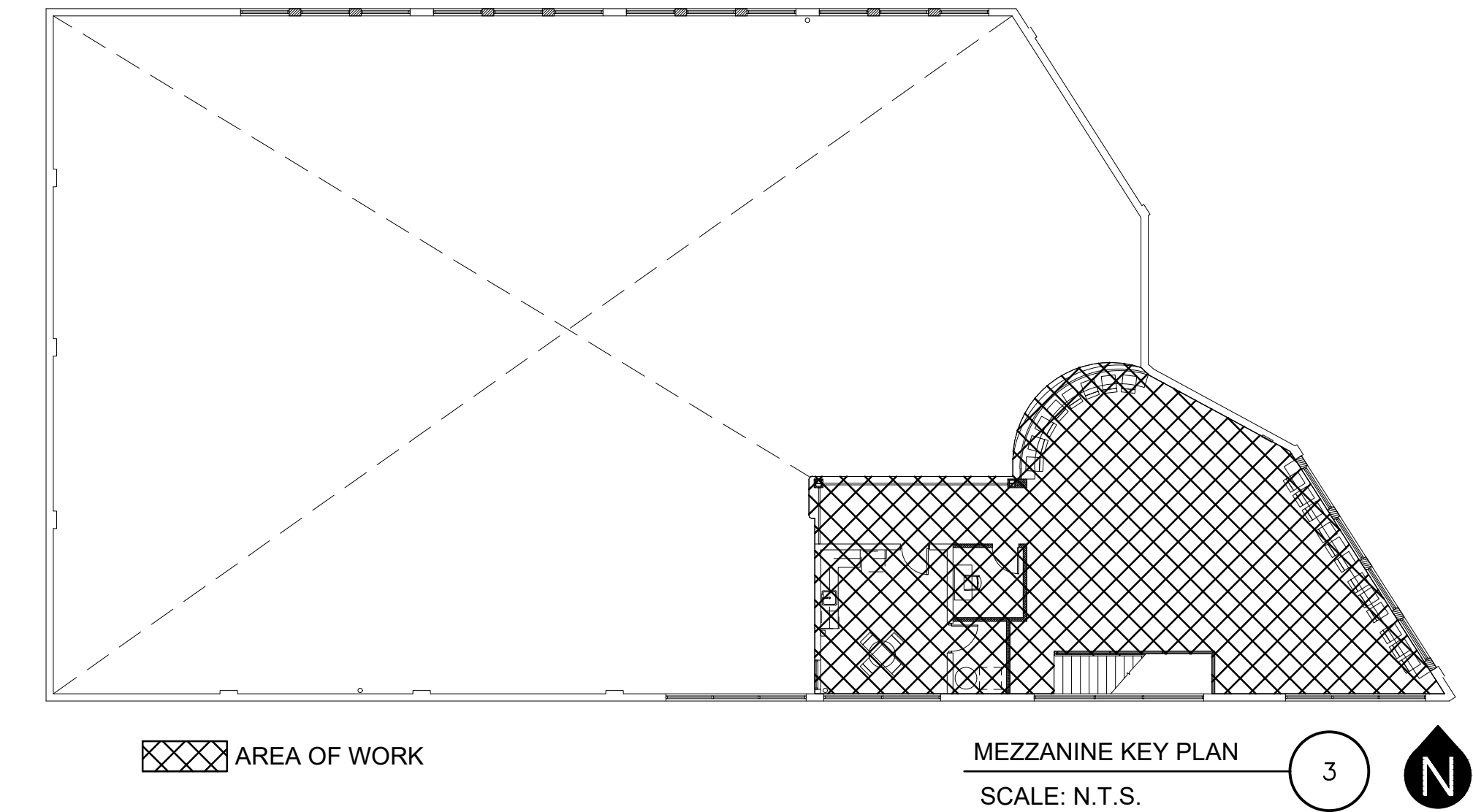
PLUMBING NOTES:  
1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

### BUILDING CODE SUMMARY

BASED ON THE:	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS)
	2015 INTERNATIONAL EXISTING BUILDING CODE
	2009 ANSI A117.1 ACCESSIBILITY CODE
	ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES.
AREA OF ALTERATION:	TOTAL AREA OF ALTERATION: 12,000 S.F. 10,200 S.F. (FIRST FLOOR) + 1,800 S.F. (MEZZANINE)
FIRE ALARM:	EXISTING TO REMAIN AS NEEDED FOR SPRINKLER SYSTEM
OCCUPANCY:	A-2 ASSEMBLY (BAR) & A-4 ASSEMBLY (INDOOR RECREATION)
OCCUPANCY SEPARATION:	NONE - NOT REQUIRED
CONSTRUCTION TYPE:	UNCHANGED - IIB ASSUMED
SPRINKLER SYSTEM:	FULLY SPRINKLERED
NUMBER OF FLOOR LEVELS:	1 STORY + MEZZANINE
ALTERATION LEVEL:	LEVEL 2
FLAME SPREAD & SMOKE INDEX:	CLASS C - ROOMS AND ENCLOSED SPACES
CODE EXCEPTION:	NONE REQUESTED

### PROJECT CONTACT INFO

<b>OWNER:</b> OWNER NAME OWNER ADDRESS CITY, WI ##### P: #####	<b>ARCHITECT:</b> THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 PROJECT MANAGER: ASHLEY POLLEX
<b>CONTRACTOR:</b> CONTRACTOR NAME CONTRACTOR ADDRESS CITY, WI ##### P: #####	ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD



### GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
- ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO OWNER'S FAILURE TO DISTRIBUTE ALL DOCS. SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
- GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
- SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
- MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
- ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTENANCE/OPERATION UPON OCCUPANCY.
- THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW. IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
- ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

### TYPICAL ABBREVIATIONS

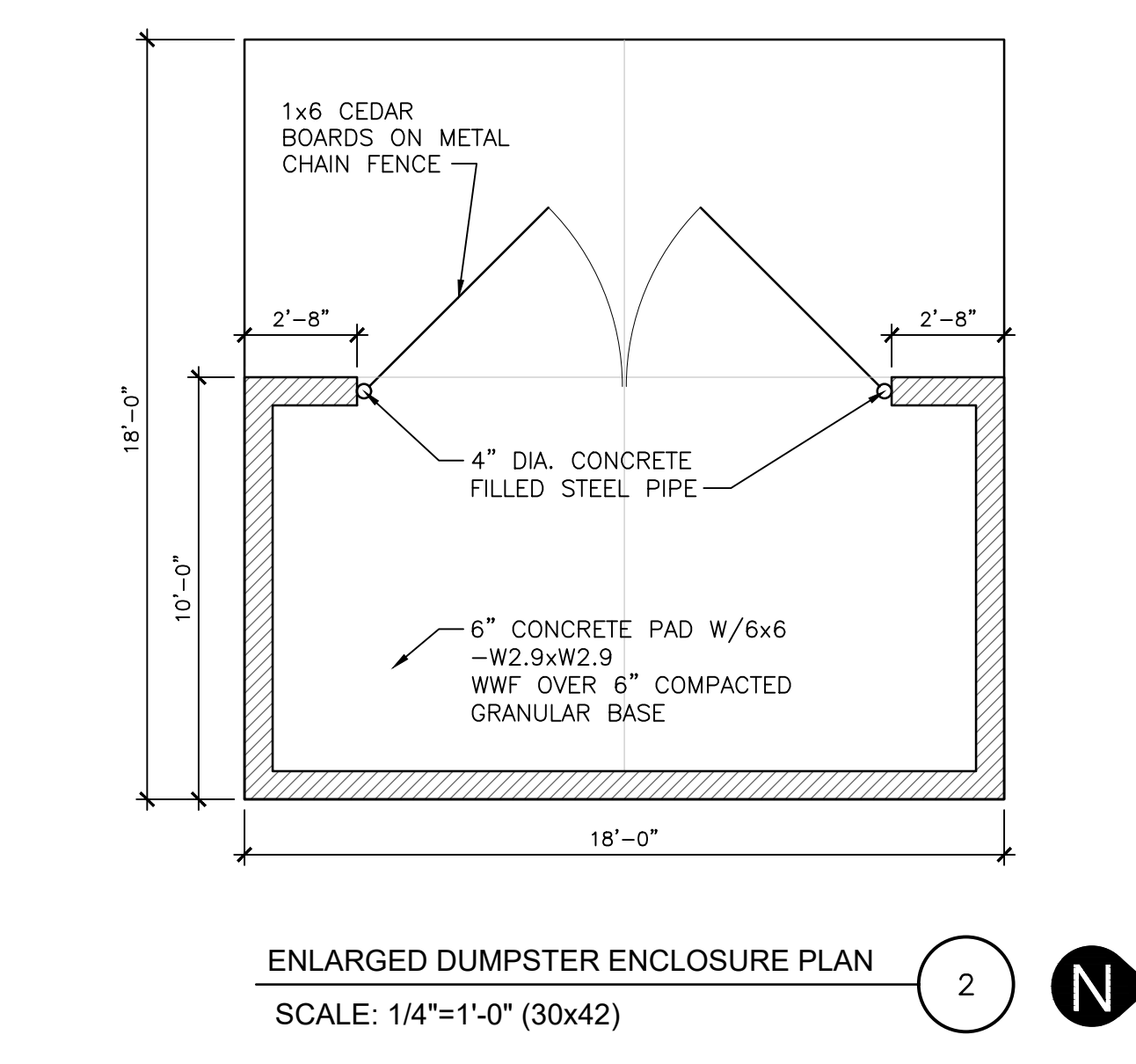
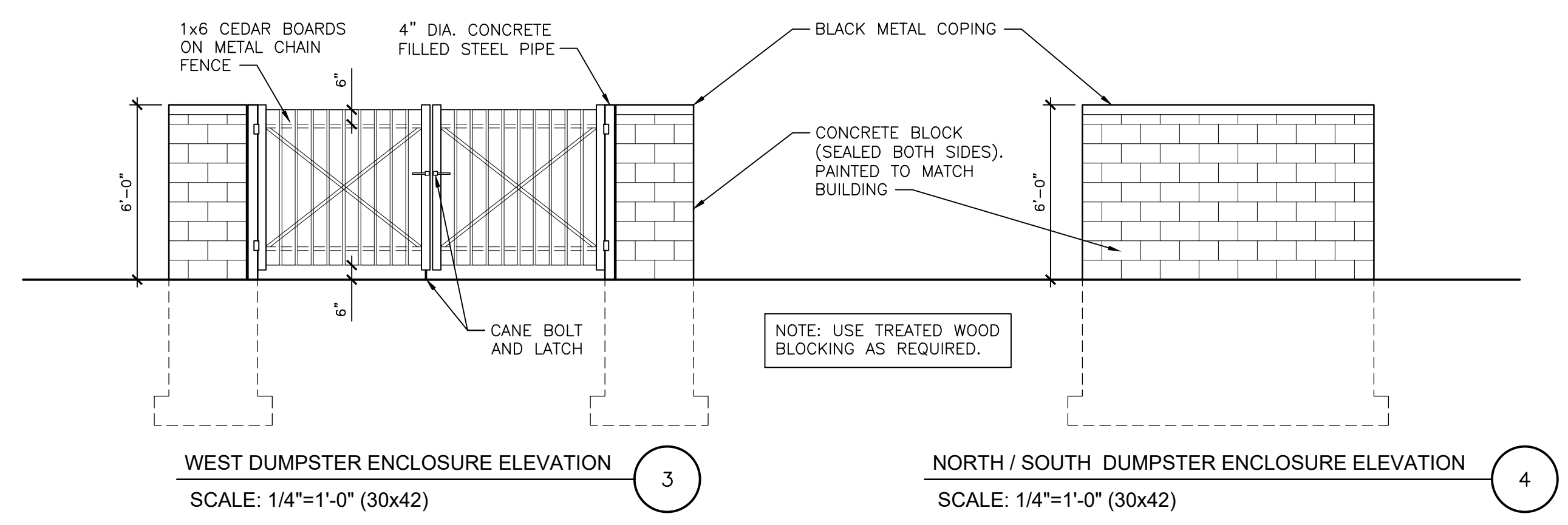
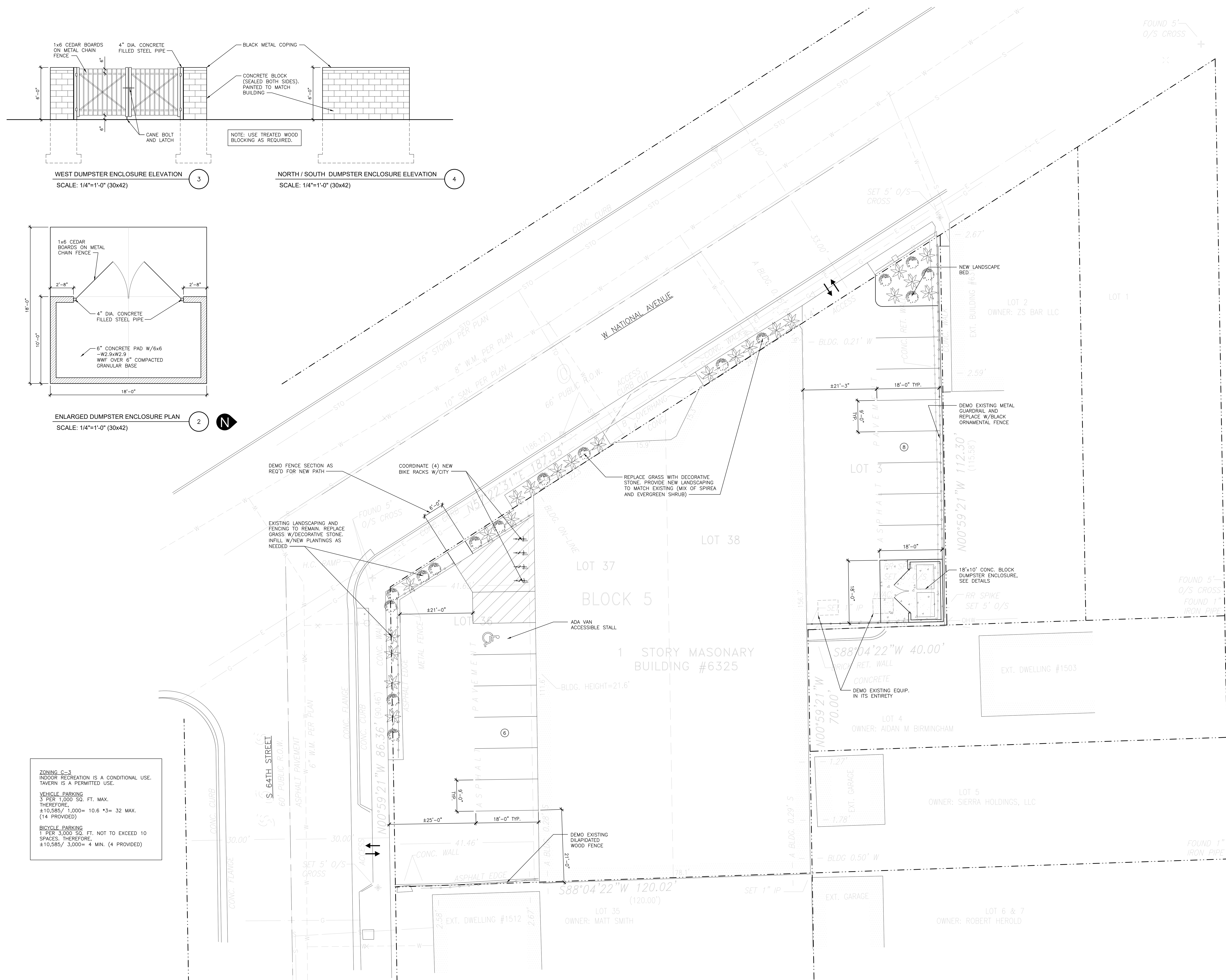
ABR: Above	B/O: By Others	DW: Dishwasher	FTD: Fasting	LB: Pound	NO. #: Number	REFR: Ref	TEMP: Tempered
ACOUS: Acoustical	BD: Bottom Of	DN: Down	FND: Foundation	LAM: Laminated(s)	D: Non-Operable Window	REG: Register	TK: Tight Knot
ADD: Additional	BR: Beam	DR: Door	FRM: Framing (Wg)	LAW: Laundry	FS: Finished	RE: Reinforced	T&G: Tongue and Groove
ADH: Adhesive	CB: Cabinet	DH: Double Hung	FBD: Furnished by Others	LA: Left Hand	SEC: Section	REQ: Required	T/O: Top of
ADJ: Adjustable	CAB: Cabinet	DS: Downspout	FUR: Furnish	LA: Length	SES: obscure	RR: Return Air	TOC: Top of Concrete
AFI: Above Finish Floor	CALC: Calculation	DWR: Downspout	GK: Caps, Group	LA: Length Overall	OC: On Center	OC: On Center	TOW: Top of Wall
AGO: Aggregate	CD: Cabinet Door	DT: Drain Tile	GAL: Gallon	LI: Lip	OR: Opening	OR: Opening	TB: Taper Bar
AKU: Authority Having Jurisdiction	CG: Corner Guard	DWG: Drawing	GL: Glass, Glazing	LI: Lineal Feet	OS: Oriented Strand Board	RMS: Rod and Shelf	T: Tread
A/C: Air Conditioning	CL: Catch-in-Place (Concrete)	D: Not Size	GI: Galvanized Iron Lumber	LL: Live Load	OSB: Oriented Strand Board	RRE: Roofing	TS: Tabular Steel
ALT: Alternate	CL: Cleansite	DW: Each Way	GLB: Glue Laminated Beam	LT: Lumber	RM: Room	RO: Rough Opening	TY: Typical
ALUM: Aluminum	CO: Clean Out	EL: East	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	UL: Underwriters Laboratory
ANCH: Anchorage	CONTR: Contract (or)	EQ: Elevation	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
AN: Anchor Bolt	COORD: Coordinate	EQ: Elevation	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
ANOD: Anodized	CRT: Carpet	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
APK: Approximate	CIP: Cast-in-place	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
APR: Apron	CL: Caulking	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
ARCH: Architect	CAS: Casement	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
(Contractor)	CB: Catch Basin	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
ASPH: Asphalt	CL: Ceramic Tile	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
AUTO: Automatic	CL: Ceramic Tile	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
AV: Average	CL: Ceramic Tile	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
AW: Aiming	CL: Ceramic Tile	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BSMT: Basement	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BE: Beam	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BL: Beveled	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLUM: Blumminous	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLK: Block	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLK: Blocking	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLW: Below	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLVD: Boulevard	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BTW: Between	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BD: Board	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BDI: Bottom	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BLDG: Building	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished
BR: Built Up Roofing	CONC: Concrete	EQ: Equipment	GRD: Grade, Grading	LT: Lumber	RM: Room	RO: Rough Opening	URF: Unfinished



NOT FOR CONSTRUCTION

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023	10.27.2023	PC Submittal
12.06.2023	12.06.2023	Revised PC Submittal



**ZONING C-3**  
INDOOR RECREATION IS A CONDITIONAL USE. TAVERN IS A PERMITTED USE.

**VEHICLE PARKING**  
3 PER 1,000 SQ. FT. MAX. THEREFORE, ±10,585 / 1,000 = 10.6 \* 3 = 32 MAX. (14 PROVIDED)

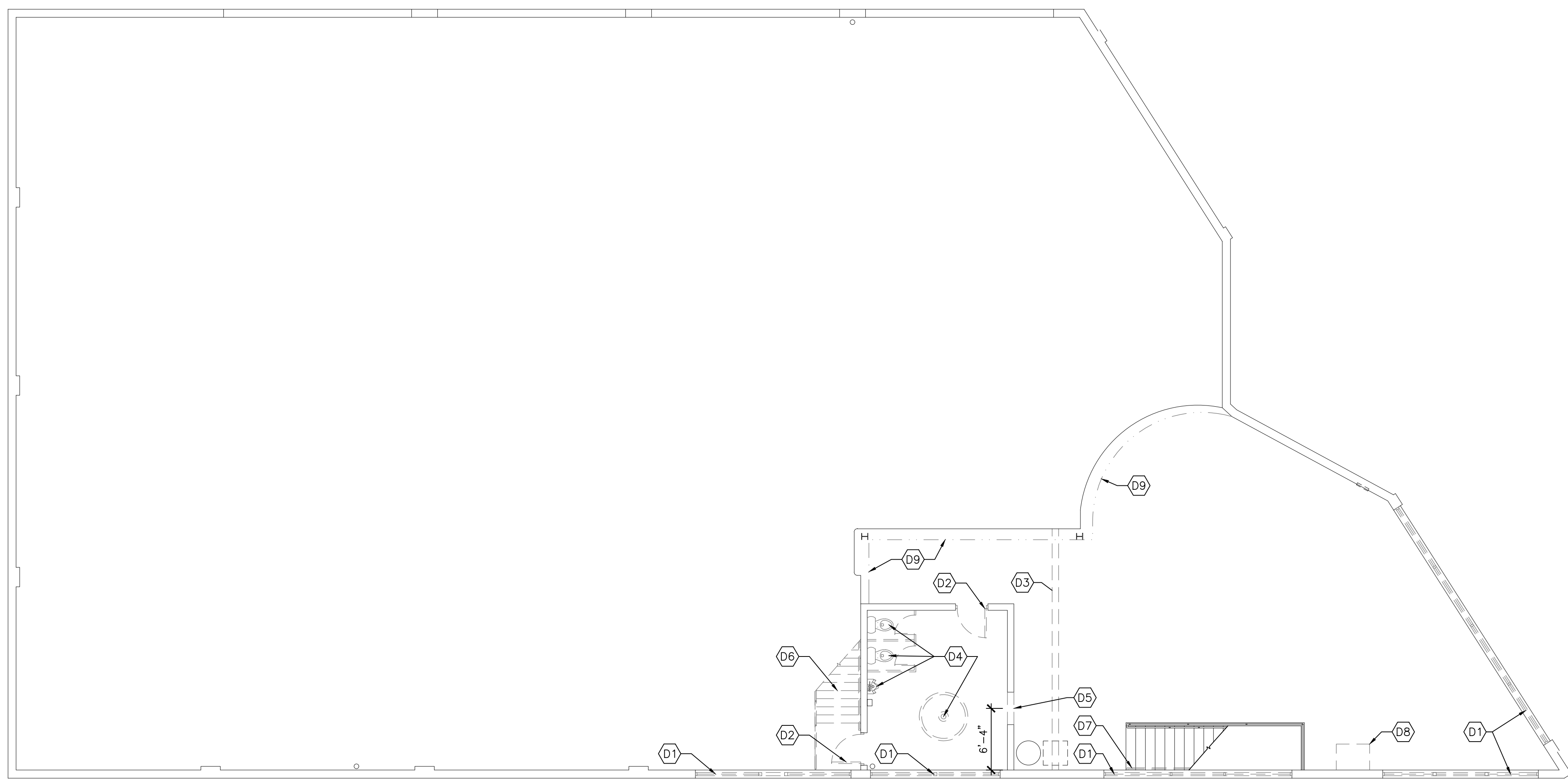
**BICYCLE PARKING**  
1 PER 3,000 SQ. FT. NOT TO EXCEED 10 SPACES. THEREFORE, ±10,585 / 3,000 = 4 MIN. (4 PROVIDED)

NOT FOR CONSTRUCTION



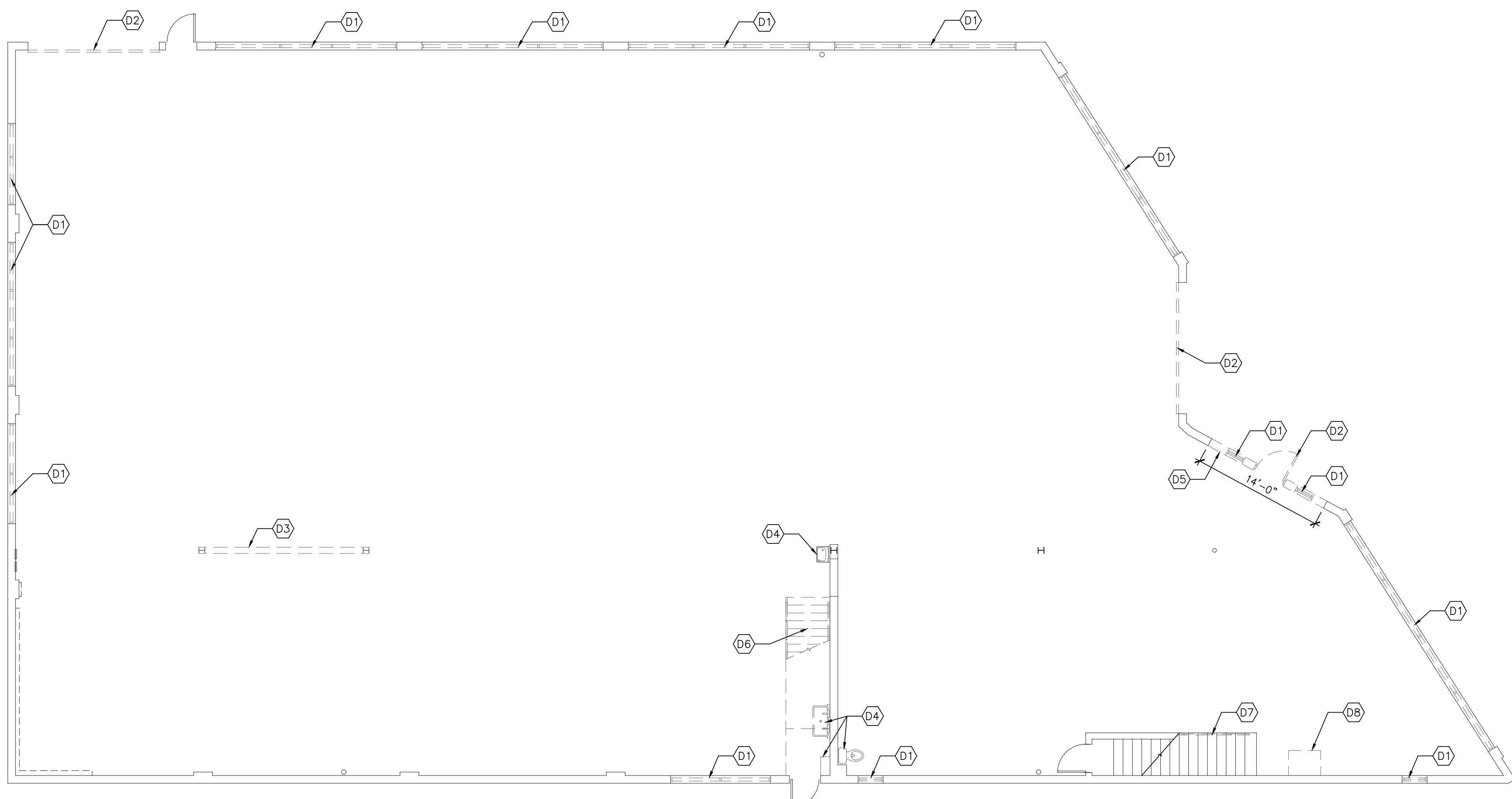
DEMOLITION KEYNOTES	
(D1)	REMOVE EXISTING WINDOW AND FRAME.
(D2)	REMOVE EXISTING DOOR AND FRAME.
(D3)	REMOVE EXISTING COLUMNS AND OVERHEAD BEAM.
(D4)	REMOVE PLUMBING FIXTURES.
(D5)	DEMO WALL AS REQUIRED FOR NEW OPENING.
(D6)	DEMO EXISTING STAIRS IN THEIR ENTIRETY.
(D7)	REMOVE EXISTING HANDRAIL(S).
(D8)	DEMO EXISTING BRICK AND RE-ROUTE MECHANICAL SYSTEM AS REQUIRED. G.C. TO INVESTIGATE.
(D9)	DEMO EXISTING FENCING IN ITS ENTIRETY.

GENERAL DEMOLITION NOTES	
1.	REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHALL BE INCLUDED AND VERIFIED WITH ARCHITECT IF NOT SPECIFIED ON DRAWINGS. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2.	G.C. TO COORDINATE WITH OWNER ANY SALVAGING AND RE-USING OF ANY REMOVALS.
3.	ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
4.	CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, LOAD BEARING CONSTRUCTION AND PARTITIONS, ETC. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT.
5.	WHERE APPLICABLE, PATCH AND REPAIR AS REQUIRED EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS.
6.	WHERE APPLICABLE, PATCH, REPAIR AND LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



MEZZANINE DEMOLITION PLAN  
SCALE: 1/8"=1'-0" (30x42)

2



FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0" (30x42)

1

Drawn by	Checked by
AMP	DMR

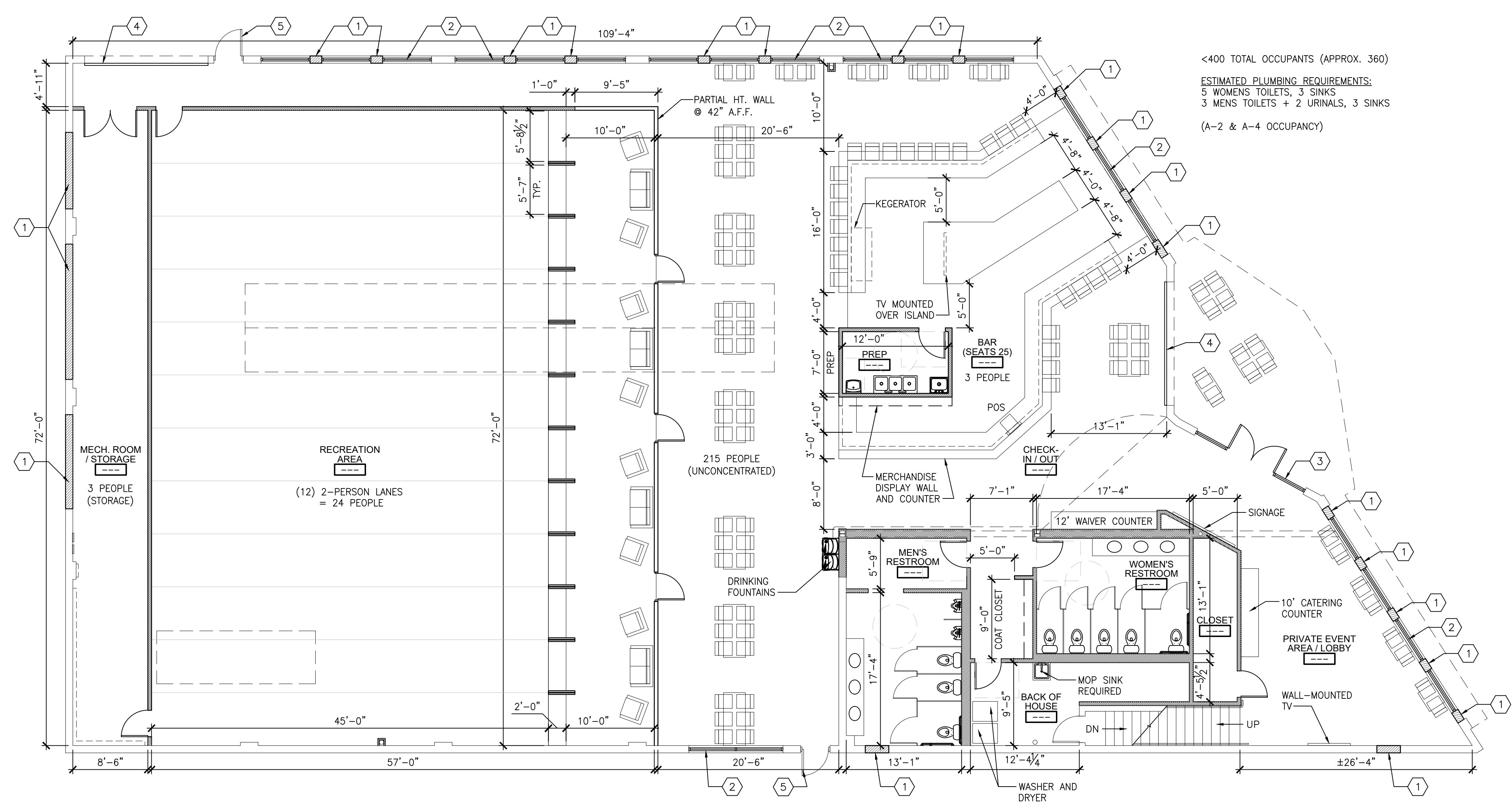
Revisions		
No.	Date	Description
10.27.2023		PC Submittal
12.06.2023		Revised PC Submittal

Sheet No.

**D1.0**

NOT FOR CONSTRUCTION

- FLOOR PLAN KEYNOTES**
- 1 BLOCK INFILL EXISTING OPENING.
  - 2 REPLACE EXISTING WINDOW.
  - 3 NEW STOREFRONT ENTRANCE.
  - 4 REPLACE EXISTING GARAGE DOOR.
  - 5 PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.



<400 TOTAL OCCUPANTS (APPROX. 360)  
ESTIMATED PLUMBING REQUIREMENTS:  
5 WOMENS TOILETS, 3 SINKS  
3 MENS TOILETS + 2 URINALS, 3 SINKS  
(A-2 & A-4 OCCUPANCY)

**FIRST FLOOR PLAN**

Drawn by	Checked by
AMP	DMR

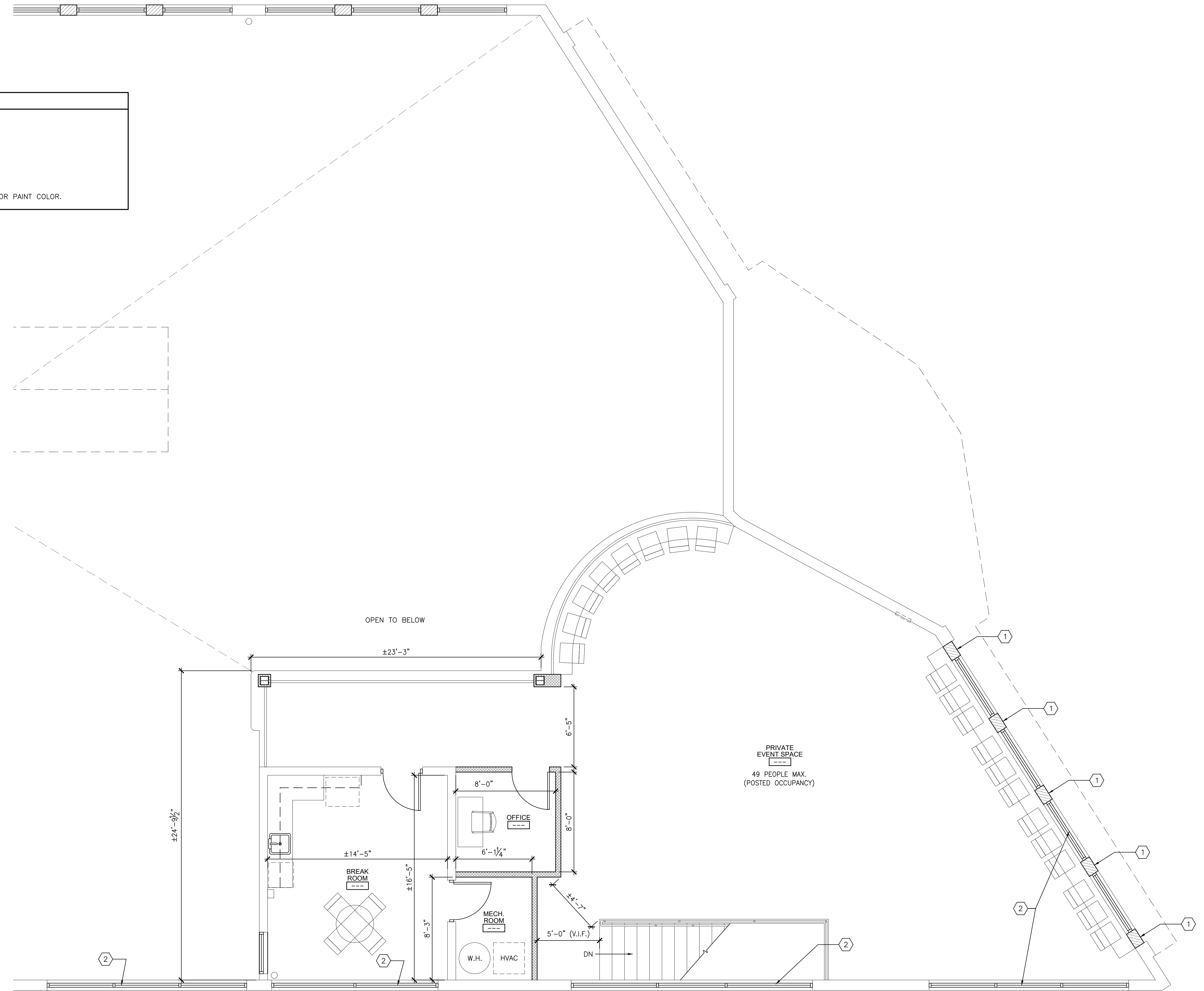
Revisions		
No.	Date	Description
10.27.2023	10.27.2023	PC Submittal
12.06.2023	12.06.2023	Revised PC Submittal

Sheet No.

**A1.0**

NOT FOR CONSTRUCTION

FLOOR PLAN KEYNOTES	
①	BLOCK INFILL EXISTING OPENING.
②	REPLACE EXISTING WINDOW.
③	NEW STOREFRONT ENTRANCE.
④	REPLACE EXISTING GARAGE DOOR.
⑤	PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.

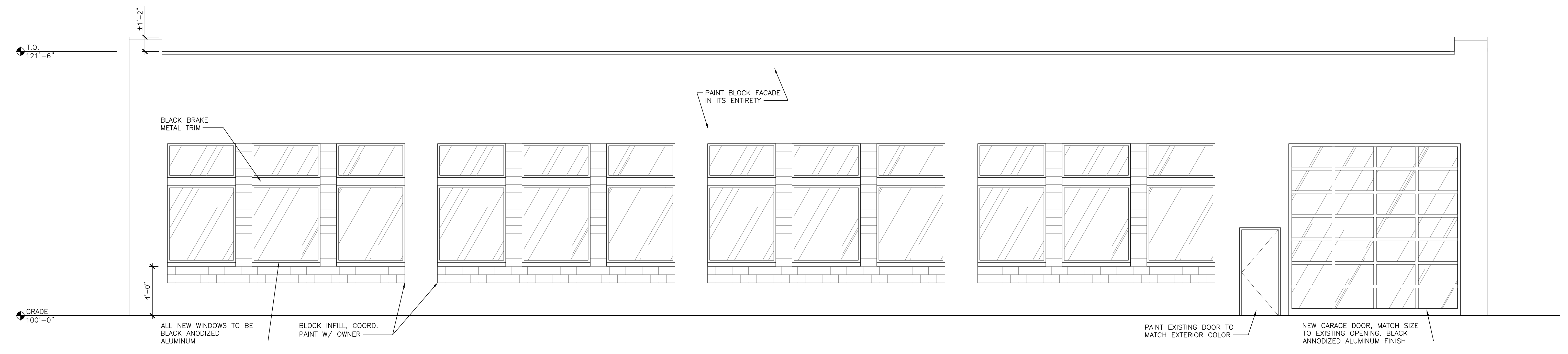


**MEZZANINE PLAN**

Drawn by	Checked by
AMP	DMR

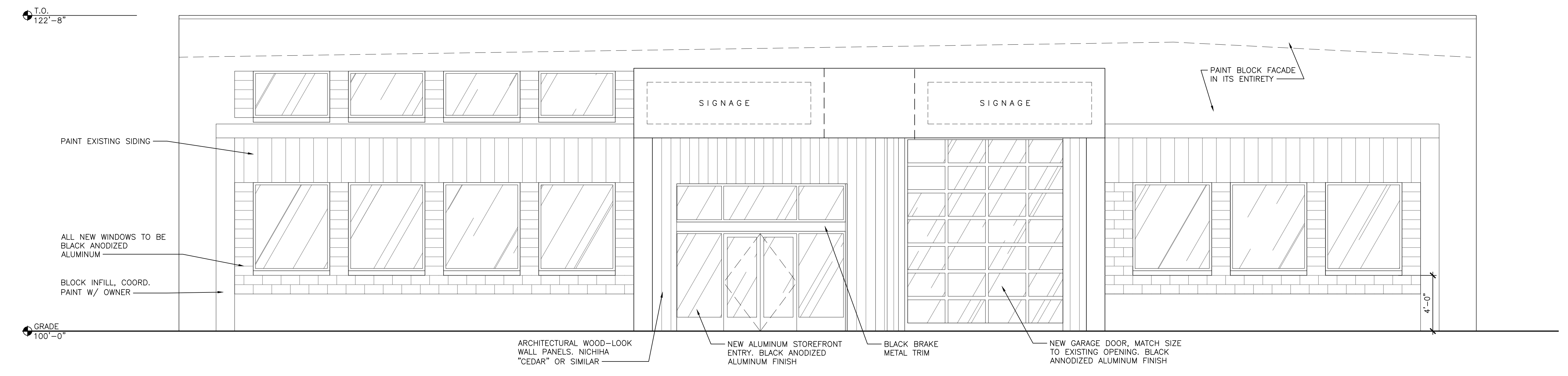
Revisions		
No.	Date	Description
10.27.2023	10.27.2023	PC Submittal
12.06.2023	12.06.2023	Revised PC Submittal

PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



WEST ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

2



NORTH ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

1

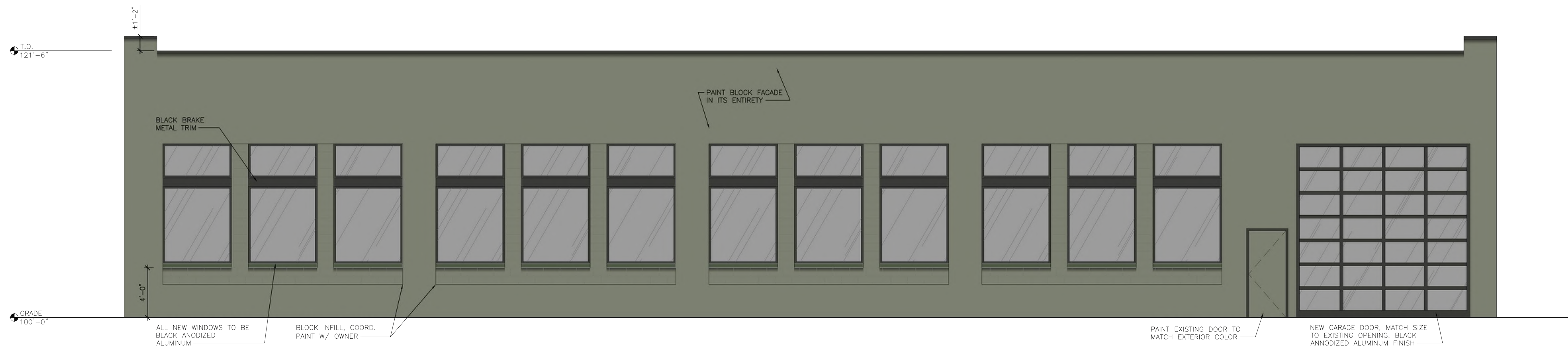
EXTERIOR ELEVATIONS

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023		PC Submittal
12.06.2023		Revised PC Submittal

NOT FOR CONSTRUCTION

PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



WEST ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

2

EXTERIOR ELEVATIONS



NORTH ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

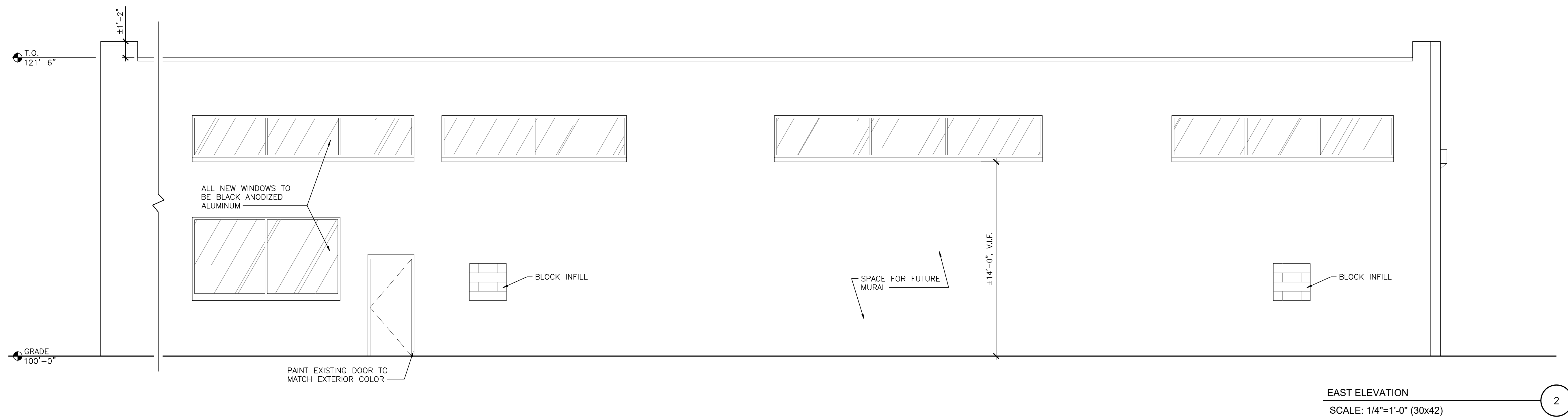
1

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
1	10.27.2023	PC Submittal
2	12.06.2023	Revised PC Submittal

NOT FOR CONSTRUCTION

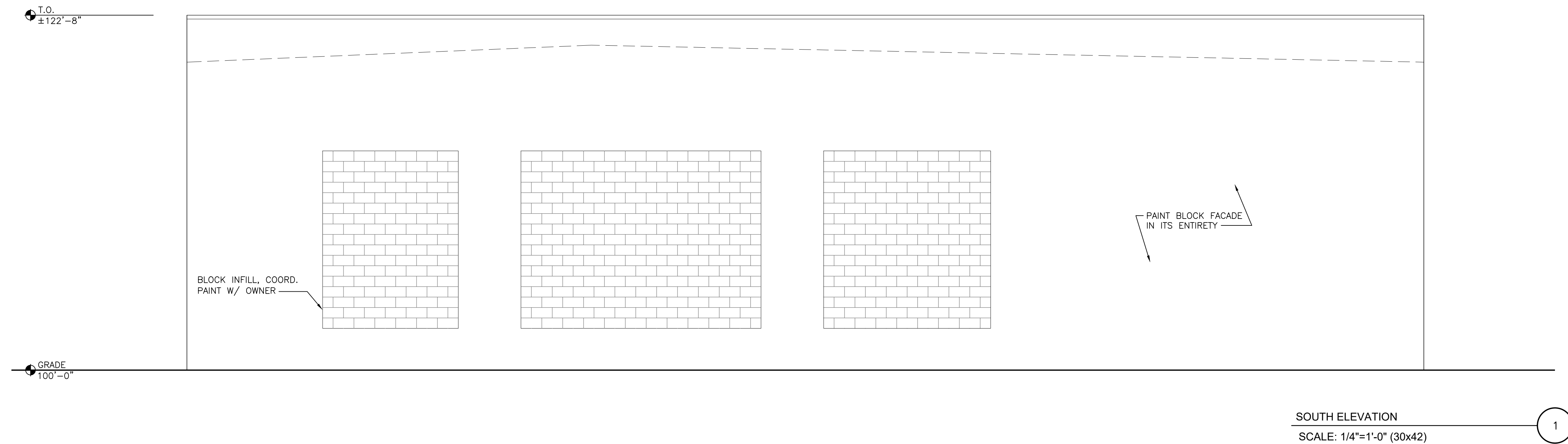
PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



**EXTERIOR ELEVATIONS**

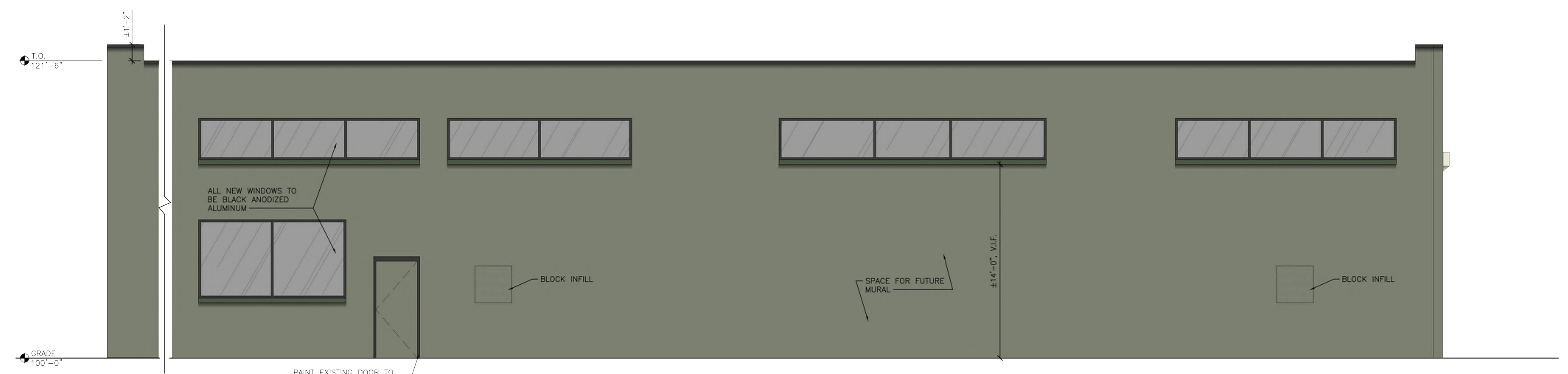
Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023		PC Submittal
12.06.2023		Revised PC Submittal



**NOT FOR CONSTRUCTION**

PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



EAST ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

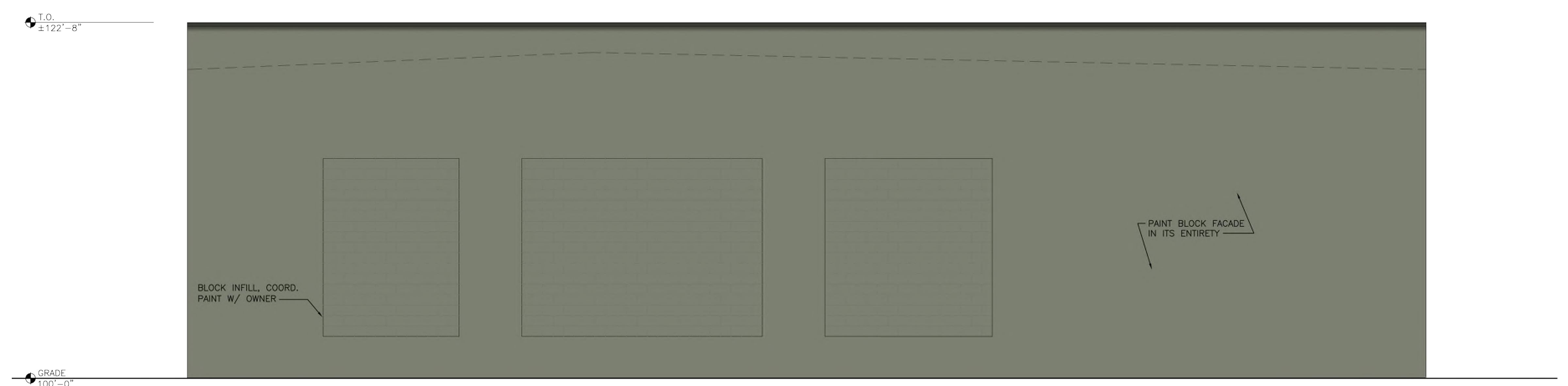
2

EXTERIOR ELEVATIONS

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023		PC Submittal
12.06.2023		Revised PC Submittal

NOT FOR CONSTRUCTION



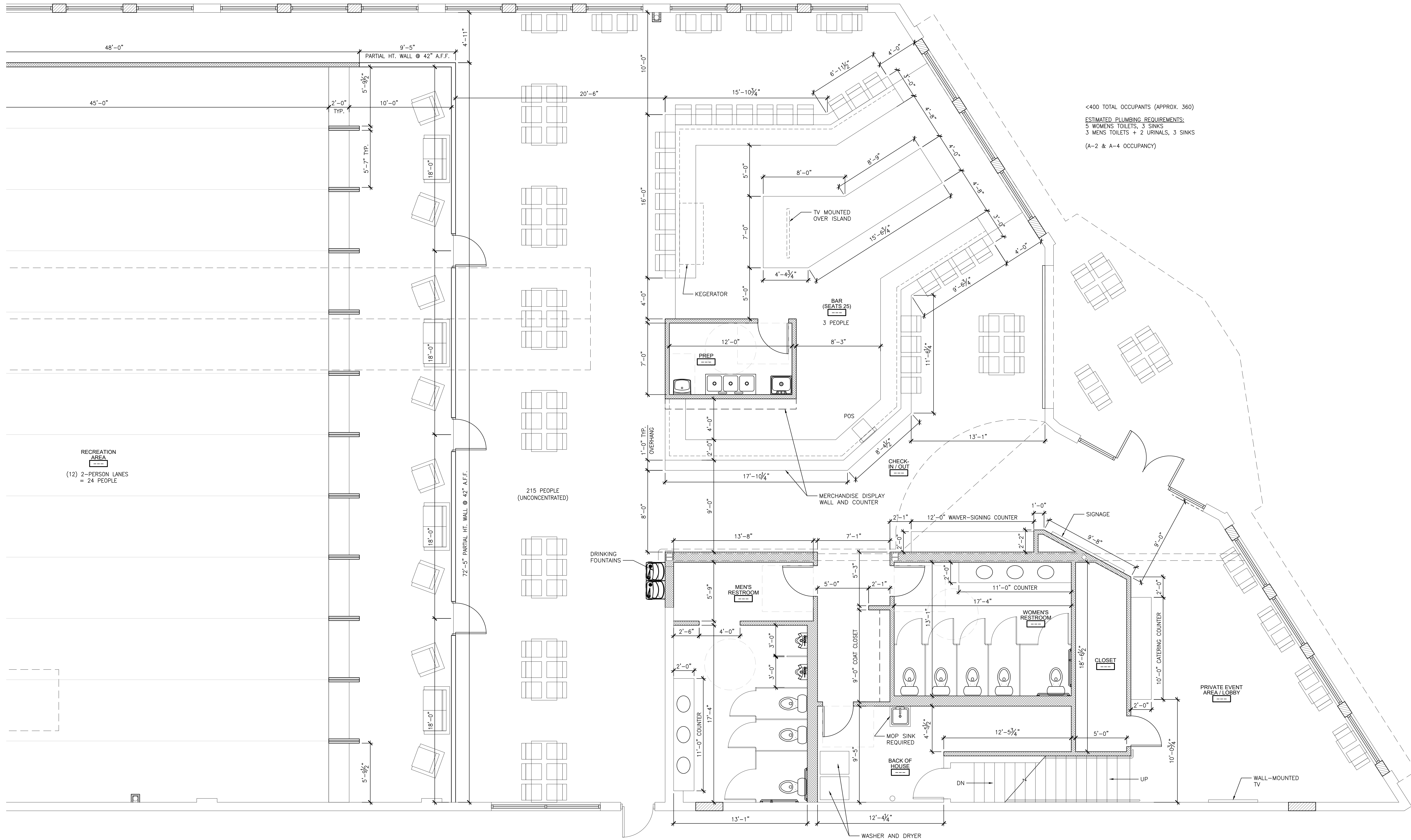
SOUTH ELEVATION  
SCALE: 1/4"=1'-0" (30x42)

1

**ENLARGED FIRST FLOOR PLAN**

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023	10.27.2023	PC Submittal
12.06.2023	12.06.2023	Revised PC Submittal



<400 TOTAL OCCUPANTS (APPROX. 360)  
ESTIMATED PLUMBING REQUIREMENTS:  
5 WOMENS TOILETS, 3 SINKS  
3 MENS TOILETS + 2 URINALS, 3 SINKS  
(A-2 & A-4 OCCUPANCY)