



City of West Allis

Meeting Agenda

Common Council

Mayor Dan Devine, Chair
Alderspersons: Suzzette Grisham, Kimberlee Grob, Kevin Haass,
Chad Halvorsen, Danna Kuehn, Patty Novak, Marissa Nowling,
Daniel J. Roadt, Ray Turner and Martin J. Weigel

Tuesday, February 11, 2025

7:00 PM

City Hall, Common Council Chambers
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

Led by Ald. Nowling.

D. PUBLIC HEARINGS

1. [R-2025-0045](#) Resolution to confirm and adopt the report of the City Engineer containing the schedule of proposed assessments for improvement of various sidewalks by concrete reconstruction.
2. [R-2025-0055](#) Resolution to confirm and adopt the report of the City Engineer containing the schedule of proposed assessments for improvement of various streets by concrete reconstruction.
3. [2024-1265](#) Conditional Use Permit for Toppers, a proposed restaurant use, at 11045 W. National Ave.
4. [2025-0041](#) Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St.
5. [2025-0042](#) Conditional Use Permit for CD One Price Cleaners, a proposed Dry-Cleaning use, at 2367 S. 108th St.

E. PUBLIC PARTICIPATION

The Common Council may receive information from members of the public during this 30-minute period. Each speaker must announce to the council his or her name and address, sign in at the podium, and limit comments to one statement of no more than 5 minutes. The council cannot take action on topics raised by speakers and will not discuss topics with speakers.

F. ANNOUNCEMENT OF RECESS MEETINGS OF STANDING COMMITTEES

New and Previous Matters referred to Committees may be considered and acted upon by Committees during the Common Council recess. Unless otherwise announced during the meeting, the Standing Committees of the Common Council will meet during recess in the following rooms and in the following order:

Art Gallery – Administration & Economic Development

Common Council Chambers – Public Safety & Public Works

The general public may contact the Committee Chair relative to an agenda item of interest that could be discussed or acted on during the recess meetings simultaneously occurring in different conference rooms. Additionally, if a member has interest in multiple agenda items which are scheduled for discussion or action during the recess meetings simultaneously occurring, they should contact the chair of the committee to inform of such interest.

G. MAYOR'S REPORT

This item is a report from the Mayor to the public regarding recent events attended, awards and commendations, and upcoming events. No discussion or action shall take place by members of the Council unless otherwise listed below.

H. ALDERPERSONS' REPORT

This item is a report from individual Alderpersons to the public regarding recent events attended, awards and commendations, and upcoming events. No discussion or action shall take place by members of the Council unless otherwise listed below.

I. APPROVAL OF MINUTES

6. [2025-0069](#) January 28, 2025 Common Council Minutes.

Recommendation: Approve

J. VETOED ITEMS

7. [2024-1143](#) Conditional Use Permit for The Emerald, a proposed Event Space (5,000 or more sq. ft.), at 7546 W. Greenfield Ave.

K. STANDING COMMITTEE REPORTS

PUBLIC SAFETY COMMITTEE

8. [2025-0074](#) Class B Tavern Seasonal Temporary Premise Extension request for Paulie's Pub, 8031 W. Greenfield Ave., from May 23, 2025 through September 30, 2025. (TEMP-25-1)

Recommendation: Grant based on Public Safety Committee recommendation from 2/3/25 meeting

9. [2025-0031](#) Summons and complaint against Super Bottle LLC d/b/a/ Super Bottle, 1357 S. 76th St. Agent: Rupinderjit Singh

Recommendation: The Public Safety Committee recommends a 10 day suspension effective Wednesday, 2/12/25 at 9am through Saturday, 2/22/25 at 9am.

L. ITEMS NOT REFERRED TO COMMITTEE (CONSENT AGENDA)

10. [R-2025-0078](#) Resolution honoring and commending Rebecca N. Grill for her service as City Administrator for the City of West Allis.
Recommendation: Adopt
11. [O-2025-0006](#) Ordinance to amend speed limit on W. Cleveland Ave. from S. 108th St. to S. 124th St.
Recommendation: Pass
12. [O-2025-0010](#) Ordinance to amend salary schedule by creating City Clerk and Marketing & Communications Manager positions (Grade N2).
Recommendation: Pass
13. [R-2025-0063](#) Resolution approving the appointment of Tracey Uttke to the position of City Clerk.
Recommendation: Adopt
14. [R-2025-0064](#) Resolution to approve the Employment Contract for the position of City Clerk for Tracey Uttke.
Recommendation: Adopt
15. [R-2025-0039](#) Resolution granting a Privilege to Charles Vincent Rooney for property located at 5932 W. Mitchell St. (Tax Key No. 455-0006-000).
Recommendation: Adopt
16. [R-2025-0040](#) Resolution granting a Privilege to Lutz Land Management LLC for property located at 6923 W. Becher St. (Tax Key No. 476-0203-900).
Recommendation: Adopt
17. [R-2025-0042](#) Final Resolution authorizing public improvement concrete construction, concrete reconstruction and/or asphalt resurfacing in various locations and levying special assessments against benefited properties.
Recommendation: Adopt
18. [R-2025-0043](#) Resolution granting a Privilege to Schwab Real Estate Investments LLC for property located at 7038-42 W. Greenfield Ave. (Tax Key No. 440-0230-000).
Recommendation: Adopt
19. [R-2025-0044](#) Resolution granting a Privilege to 9501 Greenfield Avenue LLC for property located at 9505-09 W. Greenfield Ave. (Tax Key No. 450-0042-001).
Recommendation: Adopt
20. [R-2025-0051](#) Resolution granting a Privilege to The Deco Venues LLC for property located at 7540-46 W. Greenfield Ave. (Tax Key No. 440-0442-000).
Recommendation: Adopt

21. [R-2025-0057](#) Resolution to approve the replacement of the control valve for pump #2 at the 84th Street pump station.
Recommendation: Adopt
22. [R-2025-0059](#) Resolution accepting work of LaLonde Contractors, Inc. for the street reconstruction at S. 65th St. from W. Greenfield Ave. to W. National Ave and S. 66th St. from W. National Ave. to W. Mitchell st. in the City of West Allis and authorizing and directing settlement of said contract in accordance with contract terms of 2022 Project No. 1 for final payment in the amount of \$0.00.
Recommendation: Adopt
23. [R-2025-0060](#) Resolution to accept the proposal of Rainbow Treecare, providing 4% Emamectin Benzoate an Emerald Ash insecticide treatment, for a total net sum of \$ 31,898.24.
Recommendation: Adopt
24. [R-2025-0061](#) Resolution to accept the proposals of various nurseries for furnishing and delivering 504 trees for 2025 spring planting for a total net sum of \$45,973.
Recommendation: Adopt
25. [R-2025-0062](#) Resolution to approve the Employment Contract for the position of Code Enforcement Director for Dan Adamczyk.
Recommendation: Adopt
26. [R-2025-0065](#) Resolution to approve the quote from AVI Systems Inc for \$139,513.50 to modernize the technology in our City Hall conference rooms.
Recommendation: Adopt
27. [R-2025-0070](#) Resolution amending the existing professional services contract with raSmith to provide roadway and signal design services for the City of West Allis for an amount not to exceed \$42,000.
28. [R-2025-0073](#) Resolution Authorizing the application of Arts and Humanities Grants Under \$5,000.
Recommendation: Adopt
29. [R-2025-0074](#) Resolution amending the existing professional services contract with raSmith to provide traffic engineering services for the City of West Allis for an amount not to exceed \$38,000.
30. [R-2025-0075](#) Resolution to approve bid of Musson Bros., Inc. sanitary sewer connection liners in various locations within the City of West Allis in the amount of \$344,000.
Recommendation: Adopt

31. [R-2025-0076](#) Resolution to approve bid of Visu-Sewer, LLC sanitary sewer lining in various locations within the City of West Allis in the amount of \$162,032.
Recommendation: Adopt
32. [R-2025-0082](#) Resolution to rescind real property tax for 6901 W. Beloit Rd. (Tax Key No. 489-0037-000)
Recommendation: Adopt
33. [R-2025-0084](#) Resolution to add a Senior Accountant position to the Finance Department.
Recommendation: Adopt
34. [R-2025-0085](#) Resolution to accept the proposals of Hein Electric and Graybar Electric, for furnishing and delivering fuses, fuse holders, connectors, wire, cable, and luminaires for a total sum of \$135,125.86.
Recommendation: Adopt
35. [R-2025-0086](#) Resolution to authorize the purchase of portable column lifts for the shop in the new Public Works facility from Rotary Lift for \$382,141.02.
Recommendation: Adopt
36. [2025-0036](#) December 2024 Municipal Judge Report, consisting of all fines, costs and fees collected by the City of West Allis in the sum of \$77,262.86.
Recommendation: Place on File
37. [2025-0065](#) Lawsuit regarding a foreclosure of mortgage (2025CV000617) for property at 5642 N. 74th St.
Recommendation: Refer to City Attorney
38. [2025-0067](#) Claim by Landmark Harmony Housing, LLC for a money judgment for property parcels known as 453-0002-001 & 453-0001-009.
Recommendation: Refer to City Attorney
39. [2025-0615](#) Claim by Rolando Coria for personal injury sustained on January 22nd, 2025 at S. 62nd St. and W. Burnham St..
Recommendation: Refer to City Attorney
40. [2025-0085](#) Finance Director/Comptroller submitting report for January 2025 indicating City of West Allis checks issued in the amount of \$8,754,259.27.
Recommendation: Place on File
41. [2025-0117](#) Appointment by Mayor Devine of Katrina Biefeld as a member at large to the Public Beautification Committee for a term to expire December 31, 2027.
Recommendation: Approve

42. [2025-0195](#) January 2025 Municipal Judge Report, consisting of all fines, costs and fees collected by the City of West Allis in the sum of \$35,499.98.

Recommendation: Place on File

M. COMMON COUNCIL RECESS

N. NEW AND PREVIOUS MATTERS

ADMINISTRATION COMMITTEE

43. [O-2025-0018](#) Ordinance to allow collection of sign maintenance inspection Fees as special charges.

Recommendation: Pass

PUBLIC WORKS COMMITTEE

44. [R-2025-0058](#) Resolution to adopt the Public Service Commission of Wisconsin Water Utility Rate and Rule Order 6360-WR-111.

Recommendation: Adopt

Public Hearing Items (Public Works Committee)

45. [R-2025-0045](#) Resolution to confirm and adopt the report of the City Engineer containing the schedule of proposed assessments for improvement of various sidewalks by concrete reconstruction.

46. [R-2025-0055](#) Resolution to confirm and adopt the report of the City Engineer containing the schedule of proposed assessments for improvement of various streets by concrete reconstruction.

ECONOMIC DEVELOPMENT COMMITTEE

47. [2025-0046](#) New Class B Tavern and Public Entertainment License for Silly Goose Bar MKE, LLC, d/b/a Silly Goose Bar, 5906 W. Burnham St. Agent: Andrew Ahles. (ALC-25-1)

48. [R-2025-0067](#) Resolution authorizing the renewal of Placer.ai software platform from Placer Labs, Inc. in the amount of \$26,250 relative to economic development and planning activities, funded through First Industrial Ring Enterprises (FIRE).

Recommendation: Adopt

49. [R-2025-0068](#) Resolution to approve the terms & conditions for an Economic Development Loan to All Goods LLC, d/b/a All Goods, located at 8436 W. Greenfield Ave., in the amount of a \$50,000 Economic Development Loan under the Community Development Block Grant Program.

Recommendation: Adopt

50. [R-2025-0069](#) Resolution approving a Non-Exclusive Parking Lot Lease Agreement by and between the City of West Allis and The Deco Venues, LLC., which is the owner of the property located at 7546 W. Greenfield Ave., for parking in the City-Owned parking lots located at 7525 W. Greenfield Ave. and 14** S. 75th St.

Recommendation: Adopt

Public Hearing Items (Economic Development Committee)

51. [2024-1265](#) Conditional Use Permit for Toppers, a proposed restaurant use, at 11045 W. National Ave.
52. [2025-0041](#) Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St.
53. [2025-0042](#) Conditional Use Permit for CD One Price Cleaners, a proposed Dry-Cleaning use, at 2367 S. 108th St.

PUBLIC SAFETY COMMITTEE

54. [2025-0204](#) February 3, 2025 Public Safety Committee Minutes.

Recommendation: Approve

55. [2024-1063](#) New Operator's License (Bartender/Class D Operator) application for Robert Beierle. (BART-1352)
56. [2025-0063](#) New Operator's License (Bartender/Class D Operator) application for Sarah Becker. (BART-1398)
57. [2025-0064](#) New Operator's License (Bartender/Class D Operator) application for Jason Smith. (BART-1392)
58. [2025-0512](#) New Operator's License (Bartender/Class D Operator) application for Hayley Negron. (BART-1403)

O. ADJOURNMENT



All meetings of the Common Council are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.

**CITY OF WEST ALLIS
RESOLUTION R-2025-0045**

**RESOLUTION TO CONFIRM AND ADOPT THE REPORT OF THE CITY
ENGINEER CONTAINING THE SCHEDULE OF PROPOSED ASSESSMENTS FOR
IMPROVEMENT OF VARIOUS SIDEWALKS BY CONCRETE
RECONSTRUCTION**

WHEREAS, The City Engineer, pursuant to Preliminary Resolution No. R-2024-0650 adopted on December 10, 2024, prepared and submitted the report as provided in sec. 66.0703(5) of the Wisconsin Statutes, for the improvement of the general area as hereinafter described; and,

WHEREAS, The City Clerk gave due notice that such report was open for inspection at the Clerk’s office and also at the office of the City Engineer, and that all persons interested could appear before the Common Council and be heard concerning the matters contained in the Preliminary Resolution and Report; and,

WHEREAS, The Common Council met pursuant to such notice, at the time and place therein named; and having considered all statements and communications concerning the proposed improvements, relating to the matters contained in the City Engineer's report, including the schedule of proposed assessments, the Common Council makes no change in said report.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis:

1. The report of the City Engineer, including the schedule of the proposed assessments, for the improvement of miscellaneous sidewalk repair in the general area bounded by S. 92nd St. to S. 108th St. and W. Cleveland Ave. to the Union Pacific Railroad be and the same is hereby approved and adopted.
2. The property against which the assessments are proposed is benefited; the assessments shown on the report are true and correct, have been determined on a reasonable basis and are hereby confirmed.
3. The City Engineer is hereby authorized and directed to prepare final plans for the aforesaid area in accordance with the terms of this resolution.

SECTION 1: **ADOPTION** “R-2025-0045” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0045(Added)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis



NOTICE OF PUBLIC HEARING
February 11, 2025
7:00 PM

NOTICE IS HEREBY GIVEN that on February 11, 2025, at 7:00 p.m., the West Allis Common Council will conduct a public hearing at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis, Wisconsin, where all interested persons may appear before the council and be heard concerning the matters related to the proposed work below.

Miscellaneous sidewalk repair in the general area bounded by S. 92nd St. to S. 108th St. and W. Cleveland Ave. to the Union Pacific Railroad.

NOTICE IS FURTHER GIVEN that a report on the proposal may be inspected online at <https://westalliswi.legistar.com/Calendar.aspx> (scroll to Common Council meeting for February 11, 2025 and click on Agenda Packet on the right side of the row). This report is also available at West Allis City Hall during business hours (M-F, 11:30 a.m. to 4:30 p.m.)

Dated at West Allis, Wisconsin this 24th day of January 2025.

City Clerk

Publish January 31, 2025

Questions Most Asked Regarding A Public Hearing

Q. What is the purpose of the public hearing?

A. To give the people affected by the proposed improvement an opportunity to express their feelings on the project to the Mayor and Common Council.

Q. Is every project "cut and dried"?

A. No. Many projects have been modified or dropped entirely after having been the topic of a public hearing.

Q. When will the decision be made as to approval or rejection of the project?

A. After the Public Hearing, the matter is referred to the Board of Public Works for their recommendation. After the Board makes a recommendation, the report is voted on by the entire Common Council.

Q. How will I know if the project is approved?

A. A copy of the Final Resolution authorizing the Board of Public Works to go ahead with the improvement and advertise for the installation of the improvements will be mailed to all property owners.

Q. How does a project get on the annual Capital Improvement Program for consideration at a Hearing?

A. There are several ways a project could be considered for the annual program:

1. By petition of the people affected.
2. By the request of the Aldermen of the District.
3. Upon recommendation of the Engineering Department.
4. Public interest or necessity.
5. Eligibility for State and Federal aid.

Q. How do I get further information if I do not understand the information sent to me or who should I notify of a change in the mailing address for the information?

A. You should call the City of West Allis Engineering Department at 302-8368 so that you can get any questions you may have answered or to notify us of any mailing address changes.

Q. How and when can I pay for the proposed improvements?

A. Once the project has reached substantial completion, a Special Assessment Billing will be mailed to you outlining the payment options available to you. Please refer to the methods of payment information enclosed herewith for a brief explanation of possible options.

Rev. 5/06

H:\Forms\Questions Asked Regarding Public Hearing.doc



Melinda Dejewski, P.E.
City Engineer
Engineering Department
mdejewski@westalliswi.gov
414.302.8374

February 11, 2025

Honorable Mayor and Common Council
West Allis, Wisconsin

Dear Mayor and Council Members:

I herewith respectfully submit my report on the assessment of benefits for miscellaneous sidewalk repair in:

**the general area bounded by S. 92nd St. to S. 108th St.
and W. Cleveland Ave. to the Union Pacific Railroad**

as directed in Preliminary Resolution No. R-2024-0650 adopted on December 10, 2024

This report consists of the following schedules attached hereto:

- Schedule A. - Preliminary Plans and Specifications;
- Schedule B. - Estimate of Entire Cost of Proposed Improvements;
- Schedule C. - Schedule of Proposed Assessments Against Each Parcel Affected.

The properties against which the assessments are proposed are benefited.

Respectfully submitted,

Melinda Dejewski, P.E.
City Engineer

Encs.

PROPOSED IMPROVEMENT OF

**the general area bounded by
S. 92nd St. to S. 108th St. and
W. Cleveland Ave. to the Union Pacific Railroad**

by miscellaneous sidewalk repair

SCHEDULE "A"

Preliminary Plans & Specifications Attached

SCHEDULE "B"

Estimate of the Entire Cost

\$267,105.00

SCHEDULE "C"

Schedule of Proposed Assessments
Against Each Parcel Affected

Union Pacific Railroad



S. 108th St.

S. 92nd St.

W. Cleveland Ave.



Melinda Dejewski, P.E.
City Engineer
Engineering Department
mdejewski@westalliswi.gov
414.302.8374

February 11, 2025

Board of Public Works
West Allis City Hall
West Allis, Wisconsin

Dear Board Members:

I am herewith submitting preliminary plans and an estimate of costs for the miscellaneous sidewalk repair in:

**the general area bounded by S. 92nd St. to S. 108th St. and W.
Cleveland Ave. to the Union Pacific Railroad**

Estimated Construction Cost:	\$205,465.00
Contingency:	61,640.00
TOTAL:	\$267,105.00

Sincerely,

Melinda Dejewski, P.E.
City Engineer

EXAMPLE: Residential Special Assessment for Sidewalk

Area: the general area bounded by S. 92nd St. to S. 108th St.
and W. Cleveland Ave. to the Union Pacific Railroad

Billed Amount = \$150.00

A special assessment of this amount would be eligible for payment by five (5) year, or one (1) year installment plan with interest at 4.0% per year. Payment of the entire assessment without interest may be made prior to the due date noted on the billing -- thirty (30) days.

Example of a five (5) year plan: *(Based on a full year of interest)*

\$150.00 Total Special Assessment:

<u>Year No.</u>	<u>Principal Amt.</u>	<u>Interest Amt.</u>	<u>Total Payment</u>
1st year	\$30.00	\$6.00 **	\$36.00
2nd year	\$30.00	\$4.80	\$34.80
3rd year	\$30.00	\$3.60	\$33.60
4th year	\$30.00	\$2.40	\$32.40
5th year	\$30.00	\$1.20	\$31.20

** Interest is based on the descending principal balance.

EXAMPLE:	Residential Special Assessment for Sidewalk
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Area: the general area bounded by S. 92nd St. to S. 108th St.
and W. Cleveland Ave. to the Union Pacific Railroad

Billed Amount = **\$250.01**

A special assessment of this amount would be eligible for payment by a ten (10) year, five (5) year, or one (1) year installment plan with interest at 4.0% per year. Payment of the entire assessment without interest may be made prior to the due date noted on the billing -- thirty (30) days.

Example of a ten (10) year plan: *(Based on a full year of interest)*

\$250.01 Total Special Assessment:

<u>Year No.</u>	<u>Principal Amt.</u>	<u>Interest Amt.</u>	<u>Total Payment</u>
1st year	\$25.00	\$10.00 **	\$35.00
2nd year	\$25.00	\$9.00	\$34.00
3rd year	\$25.00	\$8.00	\$33.00
4th year	\$25.00	\$7.00	\$32.00
5th year	\$25.00	\$6.00	\$31.00
6th year	\$25.00	\$5.00	\$30.00
7th year	\$25.00	\$4.00	\$29.00
8th year	\$25.00	\$3.00	\$28.00
9th year	\$25.00	\$2.00	\$27.00
10th year	\$25.00	\$1.00	\$26.00

Example of a five (5) year plan: *(Based on a full year of interest)*

\$250.01 Total Special Assessment:

<u>Year No.</u>	<u>Principal Amt.</u>	<u>Interest Amt.</u>	<u>Total Payment</u>
1st year	\$50.00	\$10.00 **	\$60.00
2nd year	\$50.00	\$8.00	\$58.00
3rd year	\$50.00	\$6.00	\$56.00
4th year	\$50.00	\$4.00	\$54.00
5th year	\$50.00	\$2.00	\$52.00

** Interest is based on the descending principal balance.

ASSESSMENT REPORT FOR COUNCIL

HEARING DATE: February 11, 2025

LOCATION

DESCRIPTION: General area bounded by S. 92nd St. to S. 108th St. and W. Cleveland Ave. to the Union Pacific Railroad

ACCOUNT NO.: P2520W

INTEREST RATE: 4.0%

2025 ASSESSMENT RATES

Type of Improvement	Cost	Residential	Commercial	Manufacturing
Sidewalk (Sidewalk Program Only)				
5" Concrete Sidewalk, per sq. ft.	\$7.60	50% of Cost	62.5% of Cost	75% of Cost
7" Concrete Sidewalk, per sq. ft.	\$8.70	50%	62.5%	75%
5" Concrete Sidewalk, per lin. ft.	\$37.85	50%	62.5%	75%
7" Concrete Sidewalk, per lin. ft.	\$43.38	50%	62.5%	75%
Carriage Walk, replace, per sq. ft.	\$7.60	50%	62.5%	75%
Service Walk, replace, per sq. ft.	\$7.60	100%	100%	100%
Asphalt, Miscellaneous, per sq. ft.	\$4.65	100%	100%	100%
Grinding, per lin. ft.	\$2.35	100%	100%	100%
Driveway Approach				
7" Concrete per sq. ft.	\$8.70	100%	100%	100%
9" Concrete, per sq. ft.	\$10.84	100%	100%	100%

The properties against which the assessments are proposed are benefited.



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property Assessments

Property ID	Address	Assessor	Category	Value	Area	Unit	Rate	Area	Value	
479-0002-000	1907 S 92 ST	Andrew Pfeifer	Residential						10	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85		17.00	x	Lin Ft	=	\$643.45	50.00	\$321.73
	Reduction Code Heaved #1									
				60.00	x		=		100.00	
				60.00	x		=		100.00	
				60.00	x		=		100.00	
				60.00	x		=		100.00	
								Total:		\$321.73
479-0594-000	2129 S 92 ST	Walter A Hett	Residential						11	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85		4.60	x	Lin Ft	=	\$174.11	50.00	\$87.06
	Reduction Code Heaved #2									
				60.00	x		=		100.00	
								Total:		\$87.06
479-0777-000	2171 S 92 ST	David Stockton	Residential						12	
	Sidewalk Grinding	2.35		5.00	x	Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #3									
				48.00	x		=		100.00	
								Total:		\$11.75
479-0789-000	2203 S 92 ST	Jean M Tushar	Residential						13	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85		5.40	x	Lin Ft	=	\$204.39	50.00	\$102.20
	Reduction Code Cracked/Spalled #4									
				45.00	x		=		100.00	
								Total:		\$102.20



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Area
486-0004-001	9208 W HAYES AVE	Evan Wiesner	Commercial	14
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.60 x Lin Ft =	\$363.36 62.50 \$227.10
	Reduction Code Heaved #5			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.40 x Lin Ft =	\$355.79 0.00 \$0.00
	Reduction Code Good Between Bad #6			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft =	\$189.25 62.50 \$118.28
	Reduction Code Heaved #7			
	Sidewalk Grinding	2.35	10.00 x Lin Ft =	\$23.50 0.00 \$0.00
	Reduction Code Heaved City Expense Bus Stop #8			
			100.00 x =	100.00
				Total: \$345.38
486-9985-003	2423 S 92 ST	Hilario Ibarra	Residential	15
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft =	\$193.03 50.00 \$96.52
	Reduction Code Heaved #9			
			79.00 x =	100.00
				Total: \$96.52
486-9979-010	2451 S 92 ST	Robert Nowaczyk	Residential	16
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.10 x Lin Ft =	\$571.53 50.00 \$285.77
	Reduction Code Heaved #10			
			66.00 x =	100.00
				Total: \$285.77



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Contractor	Category	Value	Area	Unit	Rate	Total
486-9922-008	2459 S 92 ST	Bruno R Glapinski	Residential					17
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.60 x Lin Ft	=	\$211.96	50.00		\$105.98
	Reduction Code Heaved							
	Remove Asphalt Shim #11							
							Total:	\$105.98
486-9947-006	2670 S 93 ST	Robert Kremer & Christine Kremer	Residential					18
	Sidewalk 7" Concrete	8.70	53.20 x Sq Ft	=	\$462.84	50.00		\$231.42
	Reduction Code Heaved							
	#12							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00		\$92.74
	Reduction Code Heaved							
	#13							
			87.00 x	=			100.00	
							Total:	\$324.16
486-9944-005	2658 S 93 ST	Jack D Warden	Residential					19
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	11.30 x Lin Ft	=	\$427.71	50.00		\$213.86
	Reduction Code Heaved							
	#14							
			120.00 x	=			100.00	
							Total:	\$213.86
486-9942-002	2638 S 93 ST	Robert H Shakula	Residential					20
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved							
	#15							
			44.00 x	=			100.00	
							Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Unit	Rate	Value	Area	Value
486-0320-000	2618 S 93 ST	Andrew Taylor & Sarah Taylor					Residential	21
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	14.90 x Lin Ft	=	\$563.97	50.00	\$281.99
	Reduction Code Heaved							
	Reduction Code Drainage Problem							
	#16							
				65.00 x	=		100.00	
							Total:	\$281.99
486-9933-005	2538 S 93 ST	Scott Rieck					Residential	22
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	16.50 x Sq Ft	=	\$125.40	50.00	\$62.70
	Reduction Code Heaved							
	#17							
				66.00 x	=		100.00	
							Total:	\$62.70
486-9982-003	2448 S 93 ST	Iris Barian Revocable Trust					Residential	23
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved							
	#18							
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.80 x Lin Ft	=	\$181.68	0.00	\$0.00
	Reduction Code Good Between Bad							
	#19							
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.40 x Lin Ft	=	\$204.39	100.00	\$204.39
	Reduction Code Heaved							
	(2006) #20							
				67.00 x	=		100.00	
							Total:	\$297.13



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Engineer	Category	Count
486-0021-000	9241 W HAYES AVE	Dave G Heim	Residential	24
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft =	\$378.50 50.00 \$189.25
Reduction Code Heaved (2006) #21			40.00 x =	100.00
			Total:	\$189.25
486-0009-000	9240 W HAYES AVE	William R Traynor	Residential	25
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.90 x Lin Ft =	\$185.47 50.00 \$92.74
Reduction Code Heaved #22			40.00 x =	100.00
			Total:	\$92.74
479-0802-000	2214 S 93 ST	Jennifer Jungwirth	Residential	26
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	14.50 x Lin Ft =	\$548.83 50.00 \$274.42
Reduction Code Heaved #23			66.00 x =	100.00
			Total:	\$274.42
479-0788-000	2196 S 93 ST	Darren A Gunther	Commercial	27
Sidewalk Grinding		2.35	5.00 x Lin Ft =	\$11.75 100.00 \$11.75
Reduction Code Heaved #24			64.00 x =	100.00
			Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Value	Area	Unit	Rate	Discount	Final Value
479-0786-000	2186-2188 S 93 ST	Linnea J Matthiesen	Residential						28
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.10 x Lin Ft	=	\$382.29	50.00			\$191.15
	Reduction Code Heaved #25								
	Sidewalk Carriage Walk - Sidewalk Program Only	7.60	13.20 x Sq Ft	=	\$100.32	50.00			\$50.16
	Reduction Code Heaved #26								
			60.00 x	=				100.00	
								Total:	\$241.31
479-0785-000	2180 S 93 ST & 9243 W NATIONAL AVE	Nicolas Loehr-Enea	Commercial						29
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.90 x Lin Ft	=	\$374.72	50.00			\$187.36
	Reduction Code Heaved #27								
			65.00 x	=				100.00	
								Total:	\$187.36
479-0600-002	9230 W NATIONAL AVE	Roth Family Ltd Ptnrshp	Commercial						30
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.70 x Lin Ft	=	\$215.75	0.00			\$0.00
	Reduction Code Heaved								
	Reduction Code 0-15 Years (Free) (2021) #28								
			60.00 x	=				100.00	
								Total:	\$0.00
479-0611-000	2100 S 93 ST & 9225-9227 W BECHER ST	Milka Tomich Revocable Trust	Residential						31
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.10 x Lin Ft	=	\$382.29	50.00			\$191.15
	Reduction Code Cracked/Spalled #29								
			40.00 x	=				100.00	
								Total:	\$191.15



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0170-000	2074 S 93 ST	Daquon D Armour & Chelsea J Rader				Residential	32
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #30			52.00 x	=	100.00	
						Total:	\$11.75
479-0169-000	2066 S 93 ST	Jodi Santiago & Natalia Santiago				Residential	33
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25 50.00	\$94.63
	Reduction Code Heaved #31			50.00 x	=	100.00	
						Total:	\$94.63
479-0168-000	2058 S 93 ST	Brian Firkus				Residential	34
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	7.00 x Lin Ft	=	\$264.95 50.00	\$132.48
	Reduction Code Heaved #32						
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #33			66.00 x	=	100.00	
						Total:	\$144.23
479-0167-000	2052 S 93 ST	Jeremy S Miszewski				Residential	35
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25 50.00	\$94.63
	Reduction Code Heaved #34			44.00 x	=	100.00	
						Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0166-000	2046 S 93 ST	William Andersen				Residential	36
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #35						
						Total:	\$94.63
479-0160-000	2016 S 93 ST	Thomas J Mauthe				Residential	37
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #36						
			44.00 x	=		100.00	
						Total:	\$11.75
479-0159-000	2008 S 93 ST	Nicholas P Mueller				Residential	38
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #37						
			52.00 x	=		100.00	
						Total:	\$94.63
479-0158-000	2002 S 93 ST	Ross Allen Huberty				Residential	39
	Sidewalk 7" Concrete	8.70	88.40 x Sq Ft	=	\$769.08	50.00	\$384.54
	Reduction Code Cracked/Spalled Drive Way Appr. (Rogers) #38						
			50.00 x	=		100.00	
						Total:	\$384.54



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Area	Rate	Amount	Notes	Total
479-0030-000	1919 S 93 ST	Kurt D & Karen M Schaefer Rev Trust	Residential					40
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.80 x Lin Ft	= \$181.68	50.00	\$90.84
	Reduction Code Heaved #39							
					42.00 x	=	100.00	
							Total:	\$90.84
479-0033-000	1937 S 93 ST	Giovanni Diaz & Sanjuana Herrera	Residential					41
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x Lin Ft	= \$378.50	50.00	\$189.25
	Reduction Code Heaved #40							
					38.00 x	=	100.00	
							Total:	\$189.25
479-0037-000	1961 S 93 ST	Sharon Lynn Bell	Residential					42
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x Lin Ft	= \$378.50	50.00	\$189.25
	Reduction Code Heaved #41							
	Sidewalk Carriage Walk - Sidewalk Program Only			7.60	17.40 x Sq Ft	= \$132.24	50.00	\$66.12
	Reduction Code Heaved #42							
					35.00 x	=	100.00	
							Total:	\$255.37
479-0038-000	1967 S 93 ST	Scott Richard Brys	Residential					43
	Sidewalk Grinding			2.35	5.00 x Lin Ft	= \$11.75	100.00	\$11.75
	Reduction Code Heaved #43							
					35.00 x	=	100.00	
							Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0039-000	1975 S 93 ST	Jeffery R Thom				Residential	44
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #44						
			60.00 x	=		100.00	
						Total:	\$11.75
479-0157-000	9307 W ROGERS ST	Christa Wulf				Residential	45
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #45						
			49.00 x	=		100.00	
						Total:	\$94.63
479-0156-000	2009-2011 S 93 ST	Brenda Fletes				Residential	46
	Sidewalk Grinding	2.35	3.00 x Lin Ft	=	\$7.05	100.00	\$7.05
	Reduction Code Heaved Carriage Walk #46						
			53.00 x	=		100.00	
						Total:	\$7.05
479-0153-000	2037 S 93 ST	Scott Burdick				Residential	47
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.70 x Lin Ft	=	\$367.14	50.00	\$183.57
	Reduction Code Heaved #47						
			66.00 x	=		100.00	
						Total:	\$183.57



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Category	Value
479-0185-000	2053 S 93 ST	Brent Falkner & Jessica Hope Falkner	Residential	48
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
	Reduction Code Heaved #48		50.00 x =	100.00
			Total:	\$94.63
479-0152-000	2059 S 93 ST	Caitlin Mack	Residential	49
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.80 x Lin Ft =	\$181.68 50.00 \$90.84
	Reduction Code Heaved #49		33.00 x =	100.00
			Total:	\$90.84
479-0151-000	2063 S 93 ST	Hammer Time Investments, LLC	Residential	50
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft =	\$193.03 50.00 \$96.52
	#50		33.00 x =	100.00
			Total:	\$96.52
479-0191-000	9302 W BECHER ST	Nicole S Flegner	Residential	51
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
	Reduction Code Cracked/Spalled #51		45.00 x =	100.00
			Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Category	Value	Area	Unit	Rate	Notes
479-0612-000	2101 S 93 ST	Golden Valley Investments LLC	Residential					52
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.90 x	Lin Ft	=	\$374.72	50.00	\$187.36
	Reduction Code Heaved #52							
			32.00 x		=		100.00	
							Total:	\$187.36
479-0613-000	2105 S 93 ST	Alejandra Martinez Garcia	Residential					53
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x	Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #53							
			45.00 x		=		100.00	
							Total:	\$94.63
479-0616-000	2121 S 93 ST	Carol P Peplinski	Residential					54
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.20 x	Lin Ft	=	\$158.97	50.00	\$79.49
	Reduction Code Cracked/Spalled #54							
			60.00 x		=		100.00	
							Total:	\$79.49
479-0618-000	2131 S 93 ST	Jorge Avila	Residential					55
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x	Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #55							
			30.00 x		=		100.00	
							Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Rate	Calculation	Amount	Category	Value
479-0619-000	2135 S 93 ST	Robert W Clark					Residential	56
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00	x Lin Ft =	\$189.25	50.00	\$94.63
	Reduction Code Heaved #56							
				45.00	x =		100.00	
							Total:	\$94.63
479-0620-000	2139 S 93 ST	Ann R Breunig & Nicholas A Breunig					Residential	57
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	15.00	x Lin Ft =	\$567.75	50.00	\$283.88
	Reduction Code Heaved #57							
				45.00	x =		100.00	
							Total:	\$283.88
479-0625-001	2155 S 93 ST	Octavia S Sanders & Jamal L Sanders					Residential	58
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00	x Lin Ft =	\$378.50	50.00	\$189.25
	Reduction Code Heaved #58							
				38.00	x =		100.00	
							Total:	\$189.25



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0011-000	9304-9306 W HAYES AVE	CC&R Association LLC & c/o Carrie Smith	Residential	61
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.10 x Lin Ft =	\$382.29 50.00 \$191.15
Reduction Code Heaved #63			40.00 x =	100.00
			Total:	<u>\$191.15</u>
486-9987-002	2411 S 93 ST	Gordon R Voltz & Karen J Voltz	Residential	62
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.90 x Lin Ft =	\$185.47 50.00 \$92.74
Reduction Code Heaved #64				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	1.00 x Lin Ft =	\$37.85 50.00 \$18.93
Reduction Code Heaved #65			58.00 x =	100.00
			Total:	<u>\$111.67</u>



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Count
486-9986-003	2419 S 93 ST	Gregory J Pallen	Residential	63
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	11.80 x Lin Ft =	\$446.63 50.00 \$223.32
	Reduction Code Heaved #66			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.30 x Lin Ft =	\$162.75 50.00 \$81.38
	Reduction Code Heaved Remove Asphalt Shim #67			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.60 x Lin Ft =	\$174.11 0.00 \$0.00
	Reduction Code Good Between Bad #68			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft =	\$185.47 50.00 \$92.74
	Reduction Code Heaved #69			
			60.00 x =	100.00
				Total: \$397.44
486-9922-007	2505 S 93 ST	Torontosa Properties,, LLC	Residential	64
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.60 x Lin Ft =	\$174.11 50.00 \$87.06
	Reduction Code Heaved On W. Arthur Ave #70			
			72.00 x =	100.00
				Total: \$87.06
486-9932-001	2531 S 93 ST	Brenda G Fiebig	Residential	65
	Sidewalk Grinding	2.35	5.00 x Lin Ft =	\$11.75 100.00 \$11.75
	Reduction Code Heaved #71			
			53.00 x =	100.00
				Total: \$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Engineer	Category	Value	Area	Unit	Rate	Total
486-9932-002	2537 S 93 ST	Leonard T Alt	Residential					66
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.70 x	Lin Ft	=	\$215.75
	Reduction Code Heaved #72							50.00
					53.00 x		=	100.00
								Total: \$107.88
486-9932-003	2545 S 93 ST	Kenneth Harmeyer	Residential					67
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x	Lin Ft	=	\$185.47
	Reduction Code Heaved #73							50.00
					53.00 x		=	100.00
								Total: \$92.74
486-9947-004	9306 W CLEVELAND AVE	Thomas L Schneeberg	Residential					68
	Sidewalk Grinding			2.35	5.00 x	Lin Ft	=	\$11.75
	Reduction Code Heaved On S. 93rd St #74							100.00
					71.00 x		=	100.00
								Total: \$11.75
486-9945-001	2650 S 94 ST	David L Jost & Anna T Jost	Residential					69
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.10 x	Lin Ft	=	\$193.03
	Reduction Code Heaved #75							50.00
					66.00 x		=	100.00
								Total: \$96.52



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Area	Unit	Category	Cost	Reduction Code	Notes
486-9980-001	2460 S 94 ST	Laverne E Breed			Residential			70
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	25.10 x Lin Ft	=	\$950.04	50.00	\$475.02
	Reduction Code Cracked/Spalled #76			66.00 x	=		100.00	
							Total:	\$475.02
486-9984-006	2438 S 94 ST	Therese L. Ziolecki Revocable Trust			Residential			71
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #77			48.00 x	=		100.00	
							Total:	\$11.75
486-9992-003	2408 S 94 ST	Paul R Myers			Residential			72
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #78			66.00 x	=		100.00	
							Total:	\$11.75
479-0632-001	9338 W NATIONAL AVE	The John Peller Revocable Trust			Residential			73
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	7.20 x Lin Ft	=	\$272.52	50.00	\$136.26
	Reduction Code Heaved On S. 94th St #79							
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #80			45.00 x	=		100.00	
							Total:	\$148.01



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Category	Area	Unit Price	Quantity	Material	Rate	Notes
479-0635-001	2164-2166 S 94 ST	Currant Investments LLC	Residential						74
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.10 x Lin Ft	=	\$571.53	50.00			\$285.77
	Reduction Code Heaved #81		45.00 x	=		100.00			
							Total:		\$285.77
479-0635-002	2160-2162 S 94 ST	Currant Investments LLC	Residential						75
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.40 x Lin Ft	=	\$204.39	50.00			\$102.20
	Reduction Code Heaved #82		45.00 x	=		100.00			
							Total:		\$102.20
479-0636-000	2154 S 94 ST	David J Aumann	Residential						76
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.00 x Lin Ft	=	\$340.65	50.00			\$170.33
	Reduction Code Heaved #83						Total:		\$170.33
479-0637-000	2150 S 94 ST	Steven Manuel Tirado Fuentes & Josmarie Caban Sei	Residential						77
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	1.00 x Lin Ft	=	\$37.85	50.00			\$18.93
	Reduction Code Heaved #84		45.00 x	=		100.00			
							Total:		\$18.93



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Value	Area	Unit	Rate	Total
479-0639-001	2142 S 94 ST	Annette A Sterling & Susan L Sterling	Residential					78
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x	Lin Ft	=	\$378.50
	Reduction Code Drainage Problem #85							50.00
					75.00 x		=	100.00
								<u>\$189.25</u>
								Total: \$189.25
479-0643-000	2122 S 94 ST	Robert Rogalinski	Residential					79
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x	Lin Ft	=	\$378.50
	Reduction Code Heaved #86							50.00
					75.00 x		=	100.00
								<u>\$189.25</u>
								Total: \$189.25
479-0645-000	2108 S 94 ST	June E Hall	Residential					80
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x	Lin Ft	=	\$185.47
	Reduction Code Heaved #87							50.00
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x	Lin Ft	=	\$189.25
	Reduction Code Heaved #88							50.00
					45.00 x		=	100.00
								<u>\$187.37</u>
								Total: \$187.37
479-0647-000	2102 S 94 ST	Margaret E Zimmerman	Residential					81
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x	Lin Ft	=	\$189.25
	Reduction Code Heaved #89							50.00
					31.00 x		=	100.00
								<u>\$94.63</u>
								Total: \$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0187-000	2040 S 94 ST	Timothy J Grall				Residential	82
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #90						
			44.00 x	=		100.00	
						Total:	\$94.63
479-0146-000	2020 S 94 ST	Nicholas Harmatys				Residential	83
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #91						
			44.00 x	=		100.00	
						Total:	\$94.63
479-0040-000	9330 W ROGERS ST	Virginia R Schuster				Residential	84
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #92						
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved On S. 94th St #93						
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #94						
						Total:	\$118.13



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0045-000	1940 S 94 ST	Jill M Dorst				Residential	85
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #94			50.00 x	=	100.00	
						Total:	\$11.75
479-0046-000	1932 S 94 ST	Evan Knoll				Residential	86
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	20.00 x Lin Ft	=	\$757.00 50.00	\$378.50
	Reduction Code Heaved #95			50.00 x	=	100.00	
						Total:	\$378.50
479-0047-000	1926 S 94 ST	Philip S Mohr & Jean M Mohr				Residential	87
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25 50.00	\$94.63
	Reduction Code Heaved #96			50.00 x	=	100.00	
						Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0048-000	1918 S 94 ST	Gene M McKiernan & Victoria A McKiernan				Residential	88
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Cracked/Spalled #97						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.10 x Lin Ft	=	\$382.29	50.00	\$191.15
	Reduction Code Cracked/Spalled #98						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.60 x Lin Ft	=	\$174.11	50.00	\$87.06
	Reduction Code Cracked/Spalled #99						
			45.00 x	=		100.00	
						Total:	\$372.84
479-0049-000	1914 S 94 ST	Sean C Hren & Lisa A Hren				Residential	89
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #100						
			35.00 x	=		100.00	
						Total:	\$11.75
479-0063-000	1975 S 94 ST	Kelly A Murphy				Residential	90
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved On W. Rogers St #101						
			40.00 x	=		100.00	
						Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Address	Owner	Category	Area	Unit Price	Quantity	Material	Rate	Subtotal	Total
479-0648-000	9413 W BECHER ST	John P Barrick				Residential			91
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00		\$96.52	
	Reduction Code Heaved On s. 94th St #102								
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	100.00		\$193.03	
	Reduction Code Cracked/Spalled On S. 94th St #103								
			52.00 x	=		100.00			
						Total:			\$289.55
479-0649-001	2105-2107 S 94 ST	Albert Thompson & Mareba Mimms				Residential			92
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.00 x Lin Ft	=	\$567.75	50.00		\$283.88	
	Reduction Code Heaved #104								
			52.00 x	=		100.00			
						Total:			\$283.88
479-0649-002	2113 S 94 ST	Karma Investments LLC				Commercial			93
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	14.90 x Lin Ft	=	\$563.97	50.00		\$281.99	
	Reduction Code Heaved #105								
			53.00 x	=		100.00			
						Total:			\$281.99
479-0651-000	2115 S 94 ST	Mathew John Carr, Sr				Residential			94
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	1.00 x Lin Ft	=	\$37.85	50.00		\$18.93	
	Reduction Code Heaved #106								
			45.00 x	=		100.00			
						Total:			\$18.93



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount
479-0652-000	2119 S 94 ST	Scott A Neumueller & Suzanne E Neumueller	Residential				95	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	9.00 x Lin Ft	=	\$340.65	50.00
	Reduction Code Heaved #107				50.00 x	=		100.00
							Total:	\$170.33
479-0653-000	2125 S 94 ST	Phongphath Chanthamany & Jou Chanthamany	Residential				96	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00
	Reduction Code Heaved #108				50.00 x	=		100.00
							Total:	\$11.75
479-0654-000	2129 S 94 ST	Rafael Villagomez	Residential				97	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00
	Reduction Code Heaved #109				50.00 x	=		100.00
							Total:	\$94.63
479-0655-001	2135 S 94 ST	Brian Thompson	Residential				98	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.10 x Lin Ft	=	\$193.03	50.00
	Reduction Code Heaved #110				60.00 x	=		100.00
					60.00 x	=		100.00
							Total:	\$96.52



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount	Notes
479-0658-000	2145 S 94 ST	Alan J Kingsreiter & Barbara E Kingsreiter	Residential					99	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.80 x Lin Ft	=	\$181.68	50.00	\$90.84
	Reduction Code Heaved #111				45.00 x	=		100.00	
								Total:	\$90.84
479-0661-000	2157 S 94 ST	Paul M Huettl & Amy M Huettl	Residential					100	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #112				38.00 x	=		100.00	
								Total:	\$94.63
479-0662-000	2161 S 94 ST	Caitlin Cronin	Residential					101	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.70 x Lin Ft	=	\$177.90	50.00	\$88.95
	Reduction Code Heaved #113								
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Cracked/Spalled #114				38.00 x	=		100.00	
								Total:	\$187.36
479-0668-001	2181 S 94 ST	Stephan Aultman & Sandra Aultman	Residential					102	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #115				60.00 x	=		100.00	
								Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount
486-0033-000	9412-9414 W HAYES AVE	Mark Doweiko	Residential					103
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00
	Reduction Code Heaved #116							\$11.75
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00
	Reduction Code Heaved #117							\$94.63
					64.00 x	=		100.00
							Total:	\$106.38
486-0037-000	2367 S 94 ST	Brian F C Grabner & Amy J Marx	Residential					104
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	9.90 x Lin Ft	=	\$374.72	50.00
	Reduction Code Cracked/Spalled #118							\$187.36
					50.00 x	=		100.00
							Total:	\$187.36
486-0051-000	2485 S 94 ST	Christopher Hansen	Residential					105
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	20.20 x Lin Ft	=	\$764.57	50.00
	Reduction Code Cracked/Spalled On W. Arthur #119							\$382.29
					51.00 x	=		100.00
							Total:	\$382.29
486-0220-000	2569 S 94 ST	Trevor Bartlett	Residential					106
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00
	Reduction Code Heaved On Harrison #120							\$94.63
					40.00 x	=		100.00
							Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0222-000	2607 S 94 ST	Alonso Mendoza Ortega & Norma Lopez				Residential	107
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #121			41.00 x	=	100.00	
						Total:	\$11.75
486-0227-000	2635 S 94 ST	Wayne Shepard & Kathleen Shepard				Residential	108
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.10 x Lin Ft	=	\$382.29 50.00	\$191.15
	Reduction Code Cracked/Spalled #122			31.00 x	=	100.00	
						Total:	\$191.15
486-0234-000	9402 W CLEVELAND AVE	Son Dang & Tan Dang				Residential	109
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved On S. 94th St #123			50.00 x	=	100.00	
						Total:	\$11.75
486-9952-002	9423 W HARDING PL	Mills Vollmer Family Trust				Residential	110
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	6.50 x Lin Ft	=	\$246.03 0.00	\$0.00
	Reduction Code Cracked/Spalled City Expense In Pedestrian Walkway #124			50.00 x	=	100.00	
						Total:	\$0.00



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Address	Contractor	Property Type	Area	Rate	Unit	Calculation	Material Cost	Quantity	Total Cost
486-0359-000 9427 W HARRISON AVE	Kevin J Ganey	Residential							111
Sidewalk 5" Concrete - Sidewalk Program Only			5.10	37.85	Lin Ft	=	\$193.03	50.00	\$96.52
Reduction Code Heaved									
Remove Asph Shim #125									
								Total:	\$96.52
479-0678-000 2188 S 95 ST	James M Wishman	Residential							112
Sidewalk 5" Concrete - Sidewalk Program Only			5.40	37.85	Lin Ft	=	\$204.39	50.00	\$102.20
Reduction Code Cracked/Spalled									
Remove Asph Shim #126									
Sidewalk 5" Concrete - Sidewalk Program Only			5.00	37.85	Lin Ft	=	\$189.25	50.00	\$94.63
Reduction Code Cracked/Spalled									
Remove Asph Shim #127									
			60.00			=		100.00	
								Total:	\$196.83
479-0679-001 2182 S 95 ST	Tom D & Rosetta L LaLicata Revocable Trust Dated4/	Commercial							113
Sidewalk 5" Concrete - Sidewalk Program Only			5.00	37.85	Lin Ft	=	\$189.25	50.00	\$94.63
Reduction Code Heaved									
#128									
Sidewalk 5" Concrete - Sidewalk Program Only			5.00	37.85	Lin Ft	=	\$189.25	0.00	\$0.00
Reduction Code Good Between Bad									
#129									
Sidewalk 5" Concrete - Sidewalk Program Only			5.00	37.85	Lin Ft	=	\$189.25	50.00	\$94.63
Reduction Code Heaved									
#130									
			68.00			=		100.00	
								Total:	\$189.26



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Category	Area
479-0681-002	2176 S 95 ST	Tom D & Rosetta L LaLicata Revocable Trust Dated4/	Commercial	114
Sidewalk 5" Concrete - Sidewalk Program Only				
		37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
Reduction Code Heaved #131				
			68.00 x =	100.00
				Total: \$94.63
479-0686-002	2156 S 95 ST	Andi J Assmann	Residential	115
Sidewalk 5" Concrete - Sidewalk Program Only				
		37.85	5.70 x Lin Ft =	\$215.75 0.00 \$0.00
Reduction Code Good Between Bad #132				
			62.00 x =	100.00
Sidewalk 5" Concrete - Sidewalk Program Only				
		37.85	5.60 x Lin Ft =	\$211.96 50.00 \$105.98
Reduction Code Heaved #133				
			62.00 x =	100.00
				Total: \$105.98
479-0686-001	2152 S 95 ST	Cerulean Blue Development LLC	Commercial	116
Sidewalk 5" Concrete - Sidewalk Program Only				
		37.85	9.90 x Lin Ft =	\$374.72 50.00 \$187.36
Reduction Code Cracked/Spalled #134				
			58.00 x =	100.00
				Total: \$187.36



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0691-000	2142 S 95 ST	Corey D Ruess				Residential	117
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft	=	\$378.50	100.00	\$378.50
	Reduction Code Heaved (2006) #135						
	Remove Asph Shim		45.00 x	=		100.00	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	100.00	\$189.25
	Reduction Code Heaved (2006) #136						
						Total:	\$567.75
479-0693-000	2132 S 95 ST	Michael W Kegel				Residential	118
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved (2006) #136						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #137						
			40.00 x	=		100.00	
						Total:	\$189.26
479-0696-000	2120 S 95 ST	David Szwedo & Kim Szwedo				Residential	119
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	20.00 x Lin Ft	=	\$757.00	50.00	\$378.50
	Reduction Code Heaved #138						
			60.00 x	=		100.00	
						Total:	\$378.50



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount
479-0699-000	2104 S 95 ST	Aurora Gonzalez & Gonzalo Gonzalez	Residential				120	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00
	Reduction Code Heaved #139							\$94.63
					40.00 x	=		100.00
							Total:	\$94.63
479-0124-000	2016 S 95 ST	Heather A Brault	Residential				121	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00
	Reduction Code Heaved Remove Asph Shim #140							\$94.63
					44.00 x	=		100.00
							Total:	\$94.63
479-0122-000	2000 S 95 ST	Marisol Rios	Residential				122	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00
	Reduction Code Heaved #141							\$11.75
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.80 x Lin Ft	=	\$181.68	50.00
	Reduction Code Heaved #142							\$90.84
					51.00 x	=		100.00
							Total:	\$102.59
479-0068-000	1952 S 95 ST	Stacy Hocking	Residential				123	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x Lin Ft	=	\$378.50	50.00
	Reduction Code Cracked/Spalled #143							\$189.25
					45.00 x	=		100.00
							Total:	\$189.25



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0071-000	1932 S 95 ST	Kenneth C Bryner & Heather L Bryner				Residential	124
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #144						
						Total:	\$11.75
479-0081-000	1927 S 95 ST	Brandon Murphy & Madeline Murphy				Residential	125
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #145						
				45.00 x	=	100.00	
						Total:	\$11.75
479-0084-000	1943 S 95 ST	Katie Kaluzynski				Residential	126
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50 50.00	\$189.25
	Reduction Code Heaved #146						
				40.00 x	=	100.00	
						Total:	\$189.25
479-0088-000	1967 S 95 ST	Jennifer J Yantis				Residential	127
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #147						
				50.00 x	=	100.00	
						Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Category	Area	Unit	Rate	Quantity	Amount	Notes
479-0101-004	2007 S 95 ST	Richard Sadowski Revocable Trust	Residential					128	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #148				65.00 x	=		100.00	
								Total:	\$94.63
479-0104-000	2015-2017 S 95 ST	Klose LLC	Residential					129	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #149				66.00 x	=		100.00	
								Total:	\$11.75
479-0106-000	2025 S 95 ST	Jennifer M Cutsforth	Residential					130	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	100.00	\$189.25
	Reduction Code Heaved #150				47.00 x	=		100.00	
								Total:	\$189.25
479-0117-000	2061 S 95 ST	Francisco Torres De Jesus & Tina M Torres	Residential					131	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Cracked/Spalled #151				51.00 x	=		100.00	
								Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Contractor	Category	Rate	Quantity	Unit	Calculation	Material Cost	Quantity	Total Cost
479-0701-001	2101 S 95 ST	Rosemarie S Manuntag	Residential						132	
	Sidewalk Grinding			2.35	5.00	x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved On W. Becher St #152				63.00	x	=		100.00	
									Total:	\$11.75
479-0705-000	2117 S 95 ST	Zachary P Telfer	Residential						133	
	Sidewalk Grinding			2.35	5.00	x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #153				45.00	x	=		100.00	
									Total:	\$11.75
479-0709-000	2135 S 95 ST	Gary E Children	Residential						134	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00	x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #154				58.00	x	=		100.00	
									Total:	\$94.63
479-0710-001	2139-2141 S 95 ST	Bethann Lucchesi	Residential						135	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.30	x Lin Ft	=	\$200.60	50.00	\$100.30
	Reduction Code Heaved Remove Asph Shim #155				77.00	x	=		100.00	
									Total:	\$100.30



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0712-000	2157-2159 S 95 ST	Erik J Johnson					Residential	136
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #156							
				50.00 x	=		100.00	
							Total:	\$11.75
479-0713-000	2161-2163 S 95 ST	Yeli 2, LLC					Residential	137
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.80 x Lin Ft	=	\$219.53	50.00	\$109.77
	Reduction Code Heaved #157							
				45.00 x	=		100.00	
							Total:	\$109.77
479-0715-003	2181 S 95 ST	Michelle L Probst & Michael S Moran					Residential	138
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.50 x Lin Ft	=	\$208.18	50.00	\$104.09
	Reduction Code Heaved #158							
				40.00 x	=		100.00	
							Total:	\$104.09
486-0098-000	2481 S 95 ST	Robert Hegge					Residential	139
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #159							
				65.00 x	=		100.00	
							Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Unit Cost	Quantity	Material	Rate	Area	Rate	Total
486-9955-003	9513 W ARTHUR AVE	Paul L Sekula				Residential				140
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50	50.00			\$189.25
	Reduction Code Heaved #160							71.00 x	=	100.00
								Total:		\$189.25
486-0189-000	9537 W HARDING PL	Michael A Levy & Jeanne Levy				Residential				141
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00			\$94.63
	Reduction Code Heaved On S. 96th St #161							65.00 x	=	100.00
								Total:		\$94.63
486-0181-001	2544-2546 S 96 ST	Anthony V Nestoras & Niki Krallis-Nestoras				Residential				142
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.10 x Lin Ft	=	\$155.19	50.00			\$77.60
	Reduction Code Heaved (2006) #162									
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.50 x Lin Ft	=	\$170.33	0.00			\$0.00
	Reduction Code Good Between Bad (2006) #163									
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	6.10 x Lin Ft	=	\$230.88	50.00			\$115.44
	Reduction Code Heaved (2006) #164							64.00 x	=	100.00
								Total:		\$193.04



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0180-001	2534-2536 S 96 ST	Goran Jovovic & Tatjana Jovovic				Residential	143
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #165		65.00 x	=		100.00	
						Total:	\$94.63
486-0179-001	2526-2528 S 96 ST	Stallywood Inn, LLC				Residential	144
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	6.40 x Lin Ft	=	\$242.24	50.00	\$121.12
	Reduction Code Heaved (2006) #166						
						Total:	\$121.12
486-0237-000	2466 S 96 ST	David W Eddy				Residential	145
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #167		60.00 x	=		100.00	
						Total:	\$11.75
486-0242-000	2426 S 96 ST	Christopher Chamness & Kirsten Chamness				Residential	146
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #168		60.00 x	=		100.00	
						Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0245-000	2402 S 96 ST	Raymond L Kodanko				Residential	147
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #169						
			60.00 x	=		100.00	
						Total:	\$94.63
486-0081-000	2365 S 95 ST	Peter Meyer & Sandra L Meyer				Residential	148
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #170						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	0.00	\$0.00
	Reduction Code Good Between Bad #171						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #172						
			46.00 x	=		100.00	
						Total:	\$187.37



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0729-005	2232 S 96 ST	96th St Apartments LLC	Commercial	150
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.60 x Lin Ft =	\$174.11 62.50 \$108.82
Reduction Code Cracked/Spalled #173				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft =	\$193.03 62.50 \$120.64
Reduction Code Cracked/Spalled #174				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft =	\$189.25 0.00 \$0.00
Reduction Code Good Between Bad #175				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft =	\$189.25 62.50 \$118.28
Reduction Code Cracked/Spalled #176				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft =	\$378.50 62.50 \$236.56
Reduction Code Cracked/Spalled #177				
			56.00 x =	100.00
				Total: \$584.30
479-0729-003	2224 S 96 ST	Palmino Zoccoli & Marco Zoccoli	Commercial	155
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
Reduction Code Cracked/Spalled #178				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
Reduction Code Heaved #179				
			87.00 x =	100.00
				Total: \$189.26



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Area	Unit Cost	Quantity	Material	Rate	Value	Category	Count
479-0746-000	2134 S 96 ST	Carol J Bieber							Residential	159
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50	50.00	\$189.25		
	Reduction Code Cracked/Spalled #180			40.00 x	=		100.00			
							Total:	\$189.25		
479-0754-001	2104-2108 S 96 ST	Peter S. & Terry M. Stefaniak Rev Living Trust							Residential	160
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.50 x Lin Ft	=	\$397.43	50.00	\$198.72		
	Reduction Code Heaved #181									
	Sidewalk 5" Concrete Interior		7.60	31.80 x Sq Ft	=	\$241.68	50.00	\$120.84		
	Reduction Code Heaved #182			45.00 x	=		100.00			
							Total:	\$319.56		
479-0090-000	9530 W ROGERS ST	Sandra Beaster							Residential	161
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	7.70 x Lin Ft	=	\$291.44	50.00	\$145.72		
	Reduction Code Heaved On S. 96th St #183			57.00 x	=		100.00			
							Total:	\$145.72		
479-0094-000	1944 S 96 ST	Theresa A Marunowski							Residential	162
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75		
	Reduction Code Heaved #184			45.00 x	=		100.00			
							Total:	\$11.75		



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0096-000	1930 S 96 ST	Ryan J Zamora & Zoe R Zamora				Residential	163
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #185		45.00 x	=		100.00	
						Total:	\$11.75
479-0097-000	1924 S 96 ST	Nik J Clark				Residential	164
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #186		45.00 x	=		100.00	
						Total:	\$11.75
479-0098-000	1918 S 96 ST	Kevin Wegner				Residential	165
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	14.00 x Lin Ft	=	\$529.90	50.00	\$264.95
	Reduction Code Heaved (2000) #187		60.00 x	=		100.00	
						Total:	\$264.95
479-0099-000	1910 S 96 ST	Thomas C Rollo & Jaclyn R Stano				Residential	166
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #188		60.00 x	=		100.00	
						Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0196-001	1915 S 96 ST	The John R. Dehli Revocable Living Trust				Residential	167
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.80 x Lin Ft	=	\$219.53	50.00	\$109.77
	Reduction Code Cracked/Spalled #189						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.70 x Lin Ft	=	\$215.75	0.00	\$0.00
	Reduction Code Good Between Bad #190						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	16.20 x Lin Ft	=	\$613.17	50.00	\$306.59
	Reduction Code Cracked/Spalled #191						
			80.00 x	=		100.00	
						Total:	\$416.36
479-0198-000	1927 S 96 ST	Ellen M Knowles				Residential	168
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #192						
			47.00 x	=		100.00	
						Total:	\$11.75
479-0201-000	1945 S 96 ST	Brian Grabner				Residential	169
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft	=	\$196.82	0.00	\$0.00
	Reduction Code Good Between Bad #193						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.00 x Lin Ft	=	\$567.75	50.00	\$283.88
	Reduction Code Cracked/Spalled #194						
			47.00 x	=		100.00	
						Total:	\$283.88



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0203-000	1959-1961 S 96 ST	Samantha Koconis					Residential	170
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft	=	\$378.50	50.00		\$189.25
	Reduction Code Heaved #195							
			40.00 x	=		100.00		
						Total:		\$189.25
479-0205-000	1969 S 96 ST	Salvador Guzman					Residential	171
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft	=	\$378.50	50.00		\$189.25
	Reduction Code Heaved #196							
			40.00 x	=		100.00		
						Total:		\$189.25
479-0206-000	1975 S 96 ST	Kevin D Buelow & Sarah J Buelow					Residential	172
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft	=	\$196.82	50.00		\$98.41
	Reduction Code Cracked/Spalled On W. Rogers St #197							
			40.00 x	=		100.00		
						Total:		\$98.41
479-0279-000	2003-2005 S 96 ST	Conrad E Lebeau					Residential	173
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved On W. Rogers St #198							
			60.00 x	=		100.00		
						Total:		\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0281-000	2017 S 96 ST	John E Buchmann & Stacy R Buchmann				Residential	174
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #199			46.00 x	=	100.00	
						Total:	\$11.75
479-0285-000	2039 S 96 ST	Nicholas S Torzala				Residential	175
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	15.00 x Lin Ft	=	\$567.75 50.00	\$283.88
	Reduction Code Heaved #200			40.00 x	=	100.00	
						Total:	\$283.88
479-0289-000	2061 S 96 ST	James S Crisp & Helen Crisp				Residential	176
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82 50.00	\$98.41
	Reduction Code Heaved #201			40.00 x	=	100.00	
						Total:	\$98.41
479-0310-000	2113-2115 S 96 ST	The Brion J Briski and Mary E Briski Revocable Living				Residential	177
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	40.00 x Lin Ft	=	\$1,514.00 50.00	\$757.00
	Reduction Code Cracked/Spalled #202			40.00 x	=	100.00	
						Total:	\$757.00



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0315-000	2137 S 96 ST	Christin M Nieman					Residential	178
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.30 x Lin Ft	=	\$200.60	50.00		\$100.30
	Reduction Code Heaved #203		40.00 x	=		100.00		
						Total:		\$100.30
479-0318-000	2149 S 96 ST	Bruce S Rightmyre					Residential	179
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #204		40.00 x	=		100.00		
						Total:		\$11.75
479-0321-000	2161 S 96 ST	Allisa K Olstad					Residential	180
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #205		40.00 x	=		100.00		
						Total:		\$11.75
479-0323-000	2169 S 96 ST	Sarah Beghin					Residential	181
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.60 x Lin Ft	=	\$211.96	50.00		\$105.98
	Reduction Code Heaved #206		40.00 x	=		100.00		
						Total:		\$105.98



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0326-000	2181 S 96 ST	Mary P Sayeg				Residential	182
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #207						
			40.00 x	=		100.00	
						Total:	\$94.63
479-0328-000	9606 W GRANT ST	Jose Ramirez & Melinda Ramirez				Residential	183
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved On S. 96th St #208						
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #209						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.10 x Lin Ft	=	\$382.29	50.00	\$191.15
	Reduction Code Heaved #210						
			44.00 x	=		100.00	
						Total:	\$297.53
479-0399-002	9619 W GRANT ST	James D Bartos & Julie A Bartos				Residential	184
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Cracked/Spalled Hole in Walk #211						
			80.00 x	=		100.00	
						Total:	\$96.52



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0423-000	2229 S 96 ST & 9602 W LINCOLN AVE	Michael L Ibarra & Richard Raul Ibarra	Residential	185
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	= \$189.25 50.00 \$94.63
Reduction Code Cracked/Spalled On S. 96th St(near DW) #212			60.00 x	= 100.00
			Total:	\$94.63
486-9977-002	9522-9524 W HAYES AVE	West Hayes Holdings LLC	Residential	186
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.10 x Lin Ft	= \$155.19 50.00 \$77.60
Reduction Code Heaved Remove Asph Shim #213				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft	= \$193.03 50.00 \$96.52
Reduction Code Heaved Remove Asph Shim #214				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.20 x Lin Ft	= \$386.07 50.00 \$193.04
Reduction Code Heaved Remove Asph Shim #215			71.00 x	= 100.00
			Total:	\$367.16
486-0355-000	2403 S 96 ST	Donald Brzezinski	Residential	187
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	= \$196.82 50.00 \$98.41
Reduction Code Heaved #216			60.00 x	= 100.00
			Total:	\$98.41



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Value
486-0354-000	2411 S 96 ST	Dorothy M Greve	Residential	188
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.40 x Lin Ft =	\$204.39 50.00 \$102.20
	Reduction Code Heaved #217		60.00 x =	100.00
			Total:	\$102.20
486-0353-000	2419 S 96 ST	Thomas Riewe & Kelly Riewe	Residential	189
	Sidewalk Grinding	2.35	5.00 x Lin Ft =	\$11.75 100.00 \$11.75
	Reduction Code Heaved #218		60.00 x =	100.00
			Total:	\$11.75
486-0352-000	2427 S 96 ST	Craig P Stanly & Donna Stanly	Residential	190
	Sidewalk Grinding	2.35	5.00 x Lin Ft =	\$11.75 100.00 \$11.75
	Reduction Code Heaved #219		70.00 x =	100.00
			Total:	\$11.75
486-0289-000	2445 S 96 ST	Alexander J Trevino & Krysta Mlinar	Residential	191
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.90 x Lin Ft =	\$374.72 50.00 \$187.36
	Reduction Code Heaved #220			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.80 x Lin Ft =	\$181.68 50.00 \$90.84
	Reduction Code Heaved On W. Hayes Pl #221			
			Total:	\$278.20



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0288-000	9610 W HAYES PL	Michael J Jafuta				Residential	192
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #222						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved #223						
			50.00 x	=		100.00	
						Total:	\$108.27
486-0287-000	9616 W HAYES PL	Matthew M Christensen & Crystal Christensen				Residential	193
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #224						
			50.00 x	=		100.00	
						Total:	\$11.75
486-0286-000	9622 W HAYES PL	Songtae Hong & Matthew Hong				Residential	194
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #225						
			50.00 x	=		100.00	
						Total:	\$11.75
486-0285-000	9630 W HAYES PL	Carol J Kaspar				Residential	195
	Sidewalk 7" Concrete - Sidewalk Program Only	43.38	9.30 x Lin Ft	=	\$403.43	50.00	\$201.72
	Reduction Code Heaved Remove Asph Shim #226						
			50.00 x	=		100.00	
						Total:	\$201.72



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0284-000	9636 W HAYES PL	William R Mahnke, Jr					Residential	196
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.70 x Lin Ft	=	\$405.00	50.00		\$202.50
	Reduction Code Heaved #227							
			50.00 x	=		100.00		
						Total:		\$202.50
486-0283-000	9644 W HAYES PL	Joshua Drews					Residential	197
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #228							
			50.00 x	=		100.00		
						Total:		\$11.75
486-0282-000	9704 W HAYES PL	Thomas A Nelson & Diane Nelson					Residential	198
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.80 x Lin Ft	=	\$370.93	50.00		\$185.47
	Reduction Code Heaved #229							
			50.00 x	=		100.00		
						Total:		\$185.47
486-0281-000	9710 W HAYES PL	Aimee K Monsees					Residential	199
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.80 x Lin Ft	=	\$370.93	50.00		\$185.47
	Reduction Code Cracked/Spalled #230							
			50.00 x	=		100.00		
						Total:		\$185.47



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Category	Area
486-0280-000	9718 W HAYES PL	Alvin R Martin, II & Margaret M Martin	Residential	200
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	= \$185.47 50.00 \$92.74
	Reduction Code Heaved #231		50.00 x	= 100.00
			Total:	\$92.74
486-0279-000	9724 W HAYES PL	Donnelisha Martavia Jackson	Residential	201
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	14.50 x Lin Ft	= \$548.83 50.00 \$274.42
	Reduction Code Heaved #232		67.00 x	= 100.00
			Total:	\$274.42
486-0278-000	9730 W HAYES PL	Mai Xiong & Vilay Yang	Residential	202
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.40 x Lin Ft	= \$355.79 50.00 \$177.90
	Reduction Code Heaved #233			
			Total:	\$177.90
486-0275-000	9746 W HAYES PL	James A Jopek & Lynn M Jopek	Residential	203
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.40 x Lin Ft	= \$355.79 50.00 \$177.90
	Reduction Code Heaved #234			
	Sidewalk Grinding	2.35	5.00 x Lin Ft	= \$11.75 100.00 \$11.75
	Reduction Code Heaved #235		64.00 x	= 100.00
			Total:	\$189.65



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0273-000	9766 W HAYES PL	Keith Kroll & Linda H Kroll				Residential	205
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.80 x Lin Ft	=	\$181.68	50.00	\$90.84
Reduction Code Heaved #239							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
Reduction Code Heaved #240							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	12.00 x Lin Ft	=	\$454.20	50.00	\$227.10
Reduction Code Heaved #241							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
Reduction Code Heaved On W. Arthur Ave #242							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.60 x Lin Ft	=	\$174.11	0.00	\$0.00
Reduction Code Good Between Bad On W. Arthur Ave #243							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41
Reduction Code Heaved On W. Arthur Place #244							
			60.00 x	=		100.00	
					Total:		\$607.50



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0271-000	9747 W HAYES PL	Nancy Lor				Residential	206
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #245						
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #246						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved #247						
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #248						
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #249						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Heaved #250						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.30 x Lin Ft	=	\$200.60	50.00	\$100.30
	Reduction Code Heaved #251						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.00 x	=	\$151.40	50.00	\$75.70
	Reduction Code Heaved #252						
			65.00 x	=		100.00	
					Total:		\$417.93



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Project Details P2520W

Sidewalk Areas 2025

486-0270-000	9727 W HAYES PL	Jennifer L Schilling				Residential	207
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	6.20 x Lin Ft	=	\$234.67	50.00	\$117.34
	Reduction Code Heaved #253						
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #254						
			50.00 x	=		100.00	
						Total:	\$129.09
486-0267-000	9705 W HAYES PL	Frank Cascio				Residential	208
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.40 x Lin Ft	=	\$582.89	50.00	\$291.45
	Reduction Code Heaved #255						
			50.00 x	=		100.00	
						Total:	\$291.45
486-0266-000	9645 W HAYES PL	Stephen J Wojcehowicz				Residential	209
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.30 x Lin Ft	=	\$200.60	50.00	\$100.30
	Reduction Code Heaved #256						
			50.00 x	=		100.00	
						Total:	\$100.30
486-0263-000	9625 W HAYES PL	Ronald A Krenz				Residential	210
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #257						
			50.00 x	=		100.00	
						Total:	\$92.74



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Unit	Rate	Amount	Category	Value
486-0261-000	9611 W HAYES PL	Kenneth D Mumford Revocable Living Trust D4/28/22					Residential	211
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.40 x Lin Ft	=	\$393.64	50.00	\$196.82
	Reduction Code Heaved #258							
				50.00 x	=		100.00	
							Total:	\$196.82
486-0260-000	2461 S 96 ST	Michael P Schantner & Lori L Schantner					Residential	212
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Heaved #259							
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved On S. 96th St #260							
				51.00 x	=		100.00	
							Total:	\$110.16
486-0256-000	9626 W ARTHUR AVE	Derreck Linder					Residential	213
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #261							
				59.00 x	=		100.00	
							Total:	\$94.63
486-0163-000	2529 S 96 ST	Rebecca L Ferrell					Residential	214
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #262							
				61.00 x	=		100.00	
							Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Value	Area	Unit	Rate	Total	
486-0166-000	2553 S 96 ST	Nicole Damiano & Rachel Damiano	Residential					215	
	Sidewalk Grinding			2.35	5.00 x	Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #263								
								Total:	\$11.75
486-0167-000	2561 S 96 ST	Joseph P Lee & Barbara Lee	Residential					216	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.80 x	Lin Ft	=	\$181.68 50.00	\$90.84
	Reduction Code Heaved #264								
					61.00 x		=	100.00	
								Total:	\$90.84
486-0168-000	9604 W HARRISON AVE	Bianca Alvarez	Residential					217	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x	Lin Ft	=	\$189.25 50.00	\$94.63
	Reduction Code Heaved #265								
	Sidewalk Grinding			2.35	5.00 x	Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #266								
					61.00 x		=	100.00	
								Total:	\$106.38
486-0202-000	2611 S 96 ST	John W Radabaugh	Residential					218	
	Sidewalk Grinding			2.35	5.00 x	Lin Ft	=	\$11.75 100.00	\$11.75
	Reduction Code Heaved #267								
					63.00 x		=	100.00	
								Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Job ID	Address	Owner	Category	Area	Unit	Rate	Subtotal	Total
486-0204-000	9606 W HARDING PL	Joe M Janz & Caren A Janz	Residential					219
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	\$94.63
	Reduction Code Heaved							
	Remove Asph Shim #268							
					63.00 x	=		100.00
								<u>\$94.63</u>
486-0196-000	9602 W CLEVELAND AVE	Paul A Miller	Residential					220
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	10.00 x Lin Ft	=	\$378.50	\$189.25
	Reduction Code Heaved							
	On S. 96th St #269							
					60.00 x	=		100.00
								<u>\$189.25</u>
486-0206-000	9630 W HARDING PL	Thomas Reiss	Residential					221
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	\$94.63
	Reduction Code Heaved							
	#270							
					67.00 x	=		100.00
								<u>\$94.63</u>
486-0338-000	9724 W HARDING PL	Judith Dutchin	Residential					222
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	\$11.75
	Reduction Code Heaved							
	#271							
					69.00 x	=		100.00
								<u>\$11.75</u>



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Inspector	Category	Value	Area	Unit	Notes
486-0169-000	9620 W HARRISON AVE	Ashley Nevinski	Residential				223
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved #272						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved (1994) #273						
			61.00 x	=		100.00	
						Total:	\$191.15
486-0172-000	2544 S 97 ST	Joshua A Coons	Residential				224
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #274						
			61.00 x	=		100.00	
						Total:	\$11.75
486-0174-000	2528 S 97 ST	Jane E Dorweiler & Richard J Peterson	Residential				225
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #275						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	0.00	\$0.00
	Reduction Code Good Between Bad #276						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #277						
			61.00 x	=		100.00	
						Total:	\$189.26



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0159-000	9619 W ARTHUR AVE	Raymond W Weber					Residential	226
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.30 x Lin Ft	=	\$389.86	50.00		\$194.93
	Reduction Code Heaved #278							
							Total:	\$194.93
479-0430-001	2324 S 97 ST & 9638 W NATIONAL AVE	Ronald Mellantine					Commercial	227
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #279							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	62.50		\$120.64
	Reduction Code Heaved #280							
			100.00 x	=		100.00		
							Total:	\$132.39
479-0417-000	9700 W LINCOLN AVE	Todd M Allen					Residential	228
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.60 x Lin Ft	=	\$174.11	100.00		\$174.11
	Reduction Code Heaved Rem Asph Shim (2006) #281							
			40.00 x	=		100.00		
							Total:	\$174.11
479-0329-000	9630 W GRANT ST	Keith H Blehinger					Residential	229
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.10 x Lin Ft	=	\$382.29	50.00		\$191.15
	Reduction Code Heaved #282							
			44.00 x	=		100.00		
							Total:	\$191.15



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Inspector	Material	Rate	Quantity	Unit	Calculation	Cost	Notes	Total Cost
479-0332-000	2176 S 97 ST	Patrick W Johnson							Residential	230
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20	x	Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Cracked/Spalled #283									
				40.00	x		=		100.00	
									Total:	<u>\$98.41</u>
479-0342-000	2136 S 97 ST	Kelly Weishan							Residential	231
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.90	x	Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved Rem Asph Shim #284									
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20	x	Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Heaved #285									
				40.00	x		=		100.00	
									Total:	<u>\$191.15</u>
479-0348-000	2108 S 97 ST	Anna Marie Wendt							Residential	232
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.90	x	Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #286									
				40.00	x		=		100.00	
									Total:	<u>\$92.74</u>
479-0300-000	2038 S 97 ST	James J Recely & Jill Recely							Residential	233
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.60	x	Lin Ft	=	\$174.11	50.00	\$87.06
	Reduction Code Heaved #287									
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	40.00	x		=	\$1,514.00	100.00	\$1,514.00
									Total:	<u>\$1,601.06</u>



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0211-000	1948 S 97 ST	Antigua Properties, LLC				Residential	234
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #288		40.00 x	=		100.00	
						Total:	\$94.63
479-0217-000	1916 S 97 ST	Thomas Deacon & Melissa Deacon				Residential	235
	Sidewalk Carriage Walk - Sidewalk Program Only	7.60	22.50 x Sq Ft	=	\$171.00	50.00	\$85.50
	Reduction Code Heaved #289		40.00 x	=		100.00	
						Total:	\$85.50
479-0227-000	1933 S 97 ST	Lisa M Frahm				Residential	236
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #290		40.00 x	=		100.00	
						Total:	\$11.75
479-0229-000	1943 S 97 ST	Kristen Freund				Residential	237
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #291		40.00 x	=		100.00	
						Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Engineer	Category	Value	Area	Unit	Rate	Total
479-0234-000	1969 S 97 ST	Samuel MacGregor	Residential					238
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00		\$94.63
	Reduction Code Heaved on RogersRem Asph Shim#292		40.00 x	=		100.00		
						Total:		\$94.63
479-0251-000	2013 S 97 ST	Nancy E Sack	Residential					239
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00		\$92.74
	Reduction Code Heaved #293		40.00 x	=		100.00		
						Total:		\$92.74
479-0252-000	2017 S 97 ST	Genyun Qin	Residential					240
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #294		40.00 x	=		100.00		
						Total:		\$11.75
479-0253-000	2023 S 97 ST	Nora A McKillip	Residential					241
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #295		40.00 x	=		100.00		
						Total:		\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Value	Area	Unit	Rate	Total
479-0254-000	2027 S 97 ST	Richard C Modl	Residential					242
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00		\$94.63
	Reduction Code Heaved #296		40.00 x	=		100.00		
							Total:	\$94.63
479-0255-000	2033 S 97 ST	Kenneth F Yakel & Amber J Yakel	Residential					243
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00		\$96.52
	Reduction Code Heaved #297		40.00 x	=		100.00		
							Total:	\$96.52
479-0351-000	2101 S 97 ST	Brett Gundersen	Residential					244
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved On Becher #298		40.00 x	=		100.00		
							Total:	\$11.75
479-0357-000	2125-2127 S 97 ST	KSK Enterprises, LLC	Residential					245
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved #299		40.00 x	=		100.00		
							Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Category	Area	Unit	Rate	Quantity	Amount	Notes
479-0365-000	2157 S 97 ST	Stanley R Ritz & Betty L Ritz	Residential					246	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	11.70 x Lin Ft	=	\$442.84	50.00	\$221.42
	Reduction Code Heaved #300				40.00 x	=		100.00	
							Total:		\$221.42
479-0373-000	2189 S 97 ST	Giovanni Ivan Arvizu	Residential					247	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved on Grant St. # 301				44.00 x	=		100.00	
							Total:		\$11.75
479-0405-000	9707 W GRANT ST	Toni A White	Residential					248	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #302				40.00 x	=		100.00	
							Total:		\$92.74
479-0408-000	9725 W GRANT ST	James J Surprise	Residential					249	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Heaved #303								
							Total:		\$98.41



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Category	Value
479-0462-000	2319 S 97 ST	David Gahagan & Jennifer Gahagan	Residential	250
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft =	\$378.50
	Reduction Code Heaved #304			50.00
			40.00 x =	100.00
				Total: \$189.25
479-0460-000	2329 S 97 ST	Michael T Heinen	Residential	251
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft =	\$185.47
	Reduction Code Heaved #305			50.00
			40.00 x =	100.00
				Total: \$92.74
486-0293-000	2561 S 97 ST	Michelle L Angeles & Jesus Nicolas Angeles Santos	Residential	252
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft =	\$196.82
	Reduction Code Heaved #306			50.00
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft =	\$189.25
	Reduction Code Good Between Bad #307			0.00
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft =	\$193.03
	Reduction Code Heaved #308			50.00
			60.00 x =	100.00
				Total: \$194.93



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0294-000	2569 S 97 ST	Adam C Skowera & Genevieve M Skowera				Residential	253
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.50 x Lin Ft	=	\$397.43	50.00	\$198.72
	Reduction Code Heaved #309		60.00 x	=		100.00	
						Total:	\$198.72
486-0333-000	2548 S 98 ST	Jeffrey Biskupski & Mary Biskupski				Residential	254
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	14.90 x Lin Ft	=	\$563.97	50.00	\$281.99
	Reduction Code Heaved #310		70.00 x	=		100.00	
						Total:	\$281.99
486-0334-000	2540 S 98 ST	Judith Ann Schmid				Residential	255
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #311		70.00 x	=		100.00	
						Total:	\$11.75
486-0335-000	2530 S 98 ST	Russell Elmer & Bradley K Elmer				Residential	256
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #312		70.00 x	=		100.00	
						Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0451-001	2358 S 98 ST	EMW Properties LLC				Commercial	257
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #313						
	Sidewalk Grinding	2.35	5.00 x	=	\$11.75	100.00	\$11.75
						Total:	\$23.50
479-0449-000	2344 S 98 ST	Gary R Pultz				Residential	258
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #314						
			40.00 x	=		100.00	
						Total:	\$11.75
479-0447-000	2332 S 98 ST	Brooke Kennedy				Residential	259
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #315						
			40.00 x	=		100.00	
						Total:	\$11.75
479-0445-000	2322 S 98 ST	Jennifer M Carr				Residential	260
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #316						
			40.00 x	=		100.00	
						Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Engineer	Area	Unit	Rate	Quantity	Material	Cost	Notes
479-0390-000	2124 S 98 ST	Alan A Picciolo	Residential					261	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.20 x Lin Ft	=	\$575.32	50.00		\$287.66	
	Reduction Code Heaved #317		40.00 x	=		100.00			
	Total:							\$287.66	
479-0270-000	2042 S 98 ST	Judith Fasting	Residential					262	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00		\$94.63	
	Reduction Code Heaved Rem Asph Shim #318		40.00 x	=		100.00			
	Total:							\$94.63	
479-0274-000	2022 S 98 ST	Robin Spatzek & Mellody Spatzek	Residential					263	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.20 x Lin Ft	=	\$158.97	50.00		\$79.49	
	Reduction Code Depth Factor #319		40.00 x	=		100.00			
	Total:							\$79.49	
479-0541-000	2105 S 98 ST	Robert A Streicher & Diana L Streicher	Residential					264	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00		\$94.63	
	Reduction Code Heaved #320		41.00 x	=		100.00			
	Total:							\$94.63	



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0545-000	2121 S 98 ST	Richard A Pluger				Residential	265
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved						
	Rem Asph Shim #321						
			43.00 x	=		100.00	
						Total:	\$92.74
479-0563-000	2213 S 98 ST	Paul Neathery				Residential	266
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved						
	#322						
			40.00 x	=		100.00	
						Total:	\$96.52
479-0487-000	2367 S 98 ST	Gerald P Griesemer & c/o Lorry Green				Residential	267
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved						
	#323						
			80.00 x	=		100.00	
						Total:	\$11.75
486-9966-002	9815 W ARTHUR AVE	Trieu Hai Do & Sang Thi Thu Nguyen				Residential	268
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.20 x Lin Ft	=	\$386.07	50.00	\$193.04
	Reduction Code Incl 15% Eng Insp Fe						
	#324						
			70.00 x	=		100.00	
						Total:	\$193.04



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Category	Value
486-9966-003	9805 W ARTHUR AVE	William A Casper & Michelle A Casper	Residential	269
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	3.40 x Lin Ft =	\$128.69 50.00 \$64.35
	Reduction Code Heaved			
	Rem Asph Shim #325			
			70.00 x =	100.00
				Total: \$64.35
486-0330-000	2521 S 98 ST	Mark D Tiegs & Deborah J Tiegs	Residential	270
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.80 x Lin Ft =	\$181.68 50.00 \$90.84
	Reduction Code Heaved			
	#326			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft =	\$193.03 0.00 \$0.00
	Reduction Code Good Between Bad			
	#327			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft =	\$196.82 50.00 \$98.41
	Reduction Code Heaved			
	#328			
			76.00 x =	100.00
				Total: \$189.25
486-0326-000	2557 S 98 ST	Javier Lugo Rios	Residential	271
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	11.10 x Lin Ft =	\$420.13 50.00 \$210.07
	Reduction Code Heaved			
	#329			
			66.00 x =	100.00
				Total: \$210.07



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0132-000	2502 S 99 ST	Brian S Szlagowski				Residential	272
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #330		44.00 x	=		100.00	
						Total:	\$11.75
479-0473-000	2340 S 99 ST	James K Phalin				Residential	273
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.80 x Lin Ft	=	\$219.53	50.00	\$109.77
	Reduction Code Heaved #331		40.00 x	=		100.00	
						Total:	\$109.77
479-0469-000	2318 S 99 ST	Alvaro Colin Miranda & Alma Delia Paredes Martinez				Residential	274
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #332		40.00 x	=		100.00	
						Total:	\$92.74
479-0566-001	2220-2226 S 99 ST & 9830 W LINCOLN AVE	Schlueter Theresa M Revoc Liv Trust				Commercial	275
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	62.50	\$120.64
	Reduction Code Heaved #333		5.10 x	=		100.00	
						Total:	\$120.64



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount	Notes
479-0574-000	2166-2168 S 99 ST	Peter J Arendt	Residential				276		
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52		
	Reduction Code Heaved #334		51.00 x	=		100.00			
						Total:	<u>\$96.52</u>		
479-0585-000	2110 S 99 ST	Michael J Held & Nancy Held	Residential				277		
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63		
	Reduction Code Heaved #335		51.00 x	=		100.00			
						Total:	<u>\$94.63</u>		
479-0904-000	2149 S 99 ST	Alison M Farris	Residential				278		
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75		
	Reduction Code Heaved #336		51.00 x	=		100.00			
						Total:	<u>\$11.75</u>		



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

479-0910-000	2181-2217 S 99 ST	Living Hope Lutheran Church				Exempt other		279
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63	
Reduction Code Heaved								
Exempt Property Charged as Residential #337								
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.80 x Lin Ft	=	\$181.68	50.00	\$90.84	
Reduction Code Heaved								
Exempt Property Charged as Residential Rem Asph Shim #338								
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	9.80 x Lin Ft	=	\$370.93	0.00	\$0.00	
Reduction Code Good Between Bad								
Exempt Property Charged as Residential #339								
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82	50.00	\$98.41	
Reduction Code Heaved								
Exempt Property Charged as Residential #340								
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75	
Reduction Code Heaved								
Exempt Property Charged as Residential on Lincoln #341								
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75	
Reduction Code Heaved								
Exempt Property Charged as Residential on Lincoln #342								
			5.00 x	=		100.00		
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75	
Reduction Code Heaved								
Exempt Property Charged as Residential on Lincoln #343								
						Total:	\$319.13	



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Category	Value	Quantity	Unit	Rate	Exempt	Total
449-0031-005	1800 Block S 100 ST	Wis St Of Dept Trans	Exempt state						280
	Sidewalk 5" Concrete - Sidewalk Program Only	0.00	4.90 x	Lin Ft	=	\$0.00	100.00		\$0.00
	Reduction Code Heaved								
	NS Lincoln at 894 Bridge#344		4.90 x		=		100.00		
							Total:		\$0.00
479-0496-000	9907-9909 W LINCOLN AVE	1186 Glenview LLC	Residential						281
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x	Lin Ft	=	\$189.25	50.00		\$94.63
	Reduction Code Heaved								
	#345		39.00 x		=		100.00		
							Total:		\$94.63
479-0495-000	9901-9903 W LINCOLN AVE	1186 Glenview LLC	Residential						282
	Sidewalk Grinding	2.35	5.00 x	Lin Ft	=	\$11.75	100.00		\$11.75
	Reduction Code Heaved								
	on S. 99 St #346		39.00 x		=		100.00		
							Total:		\$11.75
479-0534-000	2345 S 99 ST	Tamara L Burns & David A Burns	Residential						283
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x	Lin Ft	=	\$185.47	50.00		\$92.74
	Reduction Code Heaved								
	#347		40.00 x		=		100.00		
							Total:		\$92.74



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Rate	Category	Value	Code	Total
486-9969-000	2487 S 99 ST	Ray S. Ciszewski Revocable Trust Dated January 16,			Residential			284
	Sidewalk Grinding		2.35	5.00 x Lin Ft =		\$11.75	100.00	\$11.75
	Reduction Code Heaved #348							
				80.00 x =			100.00	
							Total:	\$11.75
486-0106-000	2509 S 99 ST	Alberto Medina			Residential			285
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.70 x Lin Ft =		\$405.00	50.00	\$202.50
	Reduction Code Heaved #349							
				50.00 x =			100.00	
							Total:	\$202.50
486-0112-001	2547 S 99 ST	Michael J Zillgitt			Residential			286
	Sidewalk Grinding		2.35	5.00 x Lin Ft =		\$11.75	100.00	\$11.75
	Reduction Code Heaved #350							
				47.00 x =			100.00	
							Total:	\$11.75
486-0115-002	2569 S 99 ST	Rafael Torres, III & Brenda L Karr			Residential			287
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.70 x Lin Ft =		\$177.90	50.00	\$88.95
	Reduction Code Heaved Rem Asph Shim #351							
				50.00 x =			100.00	
							Total:	\$88.95



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

486-0121-000	2629 S 99 ST	Anna L Behling				Residential	288
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved #352						
			50.00 x	=		100.00	
						Total:	\$96.52
486-0125-000	2653 S 99 ST	Mary A Beach & William A Beach				Residential	289
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.40 x Lin Ft	=	\$355.79	50.00	\$177.90
	Reduction Code Cracked/Spalled #353						
			50.00 x	=		100.00	
						Total:	\$177.90
486-0128-001	2673 S 99 ST	Tracy Grabner				Residential	290
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Heaved #354						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	27.70 x Lin Ft	=	\$1,048.44	50.00	\$524.22
	Reduction Code Cracked/Spalled on Cleveland #355						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.50 x Lin Ft	=	\$397.43	50.00	\$198.72
	Reduction Code Cracked/Spalled on Cleveland #356						
			45.00 x	=		100.00	
						Total:	\$819.46



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Category	Value
486-9920-001	9922 W CLEVELAND AVE	Peter M Swanson & Sheila A Swanson	Residential	291
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft =	\$196.82 50.00 \$98.41
	Reduction Code Heaved #357		76.00 x =	100.00
			Total:	\$98.41
479-0516-000	2416 S 100 ST	Angelo Gonzalez, Jr	Residential	292
	Sidewalk Grinding	2.35	5.00 x Lin Ft =	\$11.75 100.00 \$11.75
	Reduction Code Heaved #358			
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft =	\$189.25 50.00 \$94.63
	Reduction Code Heaved #359		40.00 x =	100.00
			Total:	\$106.38
479-0513-000	2382 S 100 ST	James A Kranz	Residential	293
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.10 x Lin Ft =	\$571.53 50.00 \$285.77
	Reduction Code Heaved #360		40.00 x =	100.00
			Total:	\$285.77
479-0512-000	2376 S 100 ST	The Robert J. Davis and Karen A. Davis Revocable Li	Residential	294
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	7.80 x Lin Ft =	\$295.23 50.00 \$147.62
	Reduction Code Cracked/Spalled #361		40.00 x =	100.00
			Total:	\$147.62



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount	Notes
479-0511-000	2370 S 100 ST	Scott Kevin Stoffers	Residential					295	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	2.00 x Lin Ft	=	\$75.70	50.00	\$37.85		
	Reduction Code Cracked/Spalled #362		40.00 x	=		100.00			
	Total:							\$37.85	
479-0507-000	2350 S 100 ST	Louise Sherwood	Residential					296	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	15.00 x Lin Ft	=	\$567.75	50.00	\$283.88		
	Reduction Code Heaved #363		40.00 x	=		100.00			
	Total:							\$283.88	
479-0503-000	2328 S 100 ST	Rebecca Hodge	Residential					297	
	Sidewalk Grinding	2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75		
	Reduction Code Heaved #364		40.00 x	=		100.00			
	Total:							\$11.75	
479-0499-001	9929 W LINCOLN AVE	Mathie Multi-Family, LLC	Commercial					298	
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft	=	\$378.50	62.50	\$236.56		
	Reduction Code Cracked/Spalled #365		97.00 x	=		100.00			
	Total:							\$236.56	



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

480-9970-000	2014-2092 S 102 ST	Lincoln Crest Apartments LLP & c/o Blake Capital Cor	Commercial	299
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	21.40 x Lin Ft =	\$809.99 62.50 \$506.24
Reduction Code Cracked/Spalled Remove Asph Shim#366				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft =	\$189.25 62.50 \$118.28
Reduction Code Cracked/Spalled #368				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	6.60 x Lin Ft =	\$249.81 62.50 \$156.13
Reduction Code Cracked/Spalled Remove Asph Shim#367				
			100.00 x =	100.00
				Total: \$780.65
480-0335-001	10130 W GRANT CT	John E Perry & Brenda L Perry	Commercial	300
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	6.00 x Lin Ft =	\$227.10 62.50 \$141.94
Reduction Code Cracked/Spalled #369				
			6.00 x =	100.00
				Total: \$141.94
480-0339-001	10119 W GRANT CT	John E Perry & Brenda L Perry	Commercial	301
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.30 x Lin Ft =	\$200.60 62.50 \$125.38
Reduction Code Heaved #370				
			5.30 x =	100.00
				Total: \$125.38



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Amount	Notes
480-0343-000	2162 S 102 ST	John E Perry & Brenda L Perry	Commercial					302	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.30 x Lin Ft	=	\$200.60	62.50	\$125.38
	Reduction Code Incl 15% Eng Insp Fe #371				5.30 x	=		100.00	
								Total:	\$125.38
480-0344-000	2174 S 102 ST	John E Perry & Brenda L Perry	Commercial					303	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.80 x Lin Ft	=	\$181.68	62.50	\$113.55
	Reduction Code Cracked/Spalled #372				4.80 x	=		100.00	
								Total:	\$113.55
480-0349-002	2234 S 102 ST	2234 S. 102nd LLC	Commercial					304	
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved Carriage Walk Grind #373				5.00 x	=		100.00	
								Total:	\$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

480-0349-003	2270 S 102 ST	AJLW Properties LLC				Commercial	305
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.20 x Lin Ft	=	\$386.07	62.50	\$241.29
Reduction Code Heaved #374							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	9.90 x Lin Ft	=	\$374.72	62.50	\$234.20
Reduction Code Heaved #375							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.80 x Lin Ft	=	\$219.53	62.50	\$137.21
Reduction Code Heaved #376							
Sidewalk 7" Concrete		8.70	44.10 x Sq Ft	=	\$383.67	0.00	\$0.00
Reduction Code Cracked/Spalled City Expense H/C Ramp #377							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	100.00 x 10.00 x Sq Ft	=	\$378.50	100.00 0.00	\$0.00
Reduction Code Det. Warning Field City Expense #377							
			100.00 x	=		100.00	
			100.00 x	=		100.00	
						Total:	\$612.70
485-9996-020	10111 W LINCOLN AVE	Lincoln Hospitality Group, LLC				Commercial	306
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.20 x Lin Ft	=	\$386.07	62.50	\$241.29
Reduction Code Heaved on S. 102 St #378							
			429.00 x	=		100.00	
						Total:	\$241.29



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9996-009	2346-2356 S 102 ST	Aurelian Commercial Properties, LLC	Commercial	307
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.90 x Lin Ft =	\$412.57 62.50 \$257.86
Reduction Code Heaved #379			100.00 x =	100.00
			Total:	\$257.86
485-9996-014	2300 Block S 102 ST	Cobalt Development Holdings, LLC	Commercial	308
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft =	\$378.50 62.50 \$236.56
Reduction Code Heaved #380			10.00 x =	100.00
			Total:	\$236.56
485-9996-015	2400 S 102 ST	11301 Northport, LLC	Commercial	309
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	15.00 x =	\$567.75 62.50 \$354.84
Reduction Code Heaved #381			15.00 x =	100.00
			Total:	\$354.84



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9996-018	2514 S 102 ST	DKS Realty Wisconsin V, LLC & Amazon Investments				Commercial		310
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	62.50	\$118.28	
	Reduction Code Heaved #382							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	62.50	\$118.28	
	Reduction Code Heaved #383							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	0.00	\$0.00	
	Reduction Code Good Between Bad #384							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.20 x Lin Ft	=	\$196.82	62.50	\$123.01	
	Reduction Code Heaved #385							
			100.00 x	=		100.00		
						Total:	\$359.57	
485-9996-019	10150 W NATIONAL AVE	DKS Realty Wisconsin V, LLC & Amazon Investments				Commercial		311
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.30 x Lin Ft	=	\$162.75	62.50	\$101.72	
	Reduction Code Cracked/Spalled on 102 St(2006) #386							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.30 x Lin Ft	=	\$200.60	62.50	\$125.38	
	Reduction Code Heaved 102 Rem Asph Shim #387							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.30 x Lin Ft	=	\$200.60	62.50	\$125.38	
	Reduction Code Heaved 102 Rem Asph Shim #388							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	62.50	\$118.28	
	Reduction Code Heaved on 102 #389							
			100.00 x	=		100.00		
						Total:	\$470.76	



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Contractor	Category	Area	Unit	Rate	Quantity	Total
485-0143-000	10185 W NATIONAL AVE	Terry Manthey & Beverly Manthey	Residential					312
	Sidewalk Grinding			2.35	5.00 x Lin Ft	= \$11.75	100.00	\$11.75
	Reduction Code Heaved on S. 102 St #390				64.00 x	=	100.00	
							Total:	\$11.75
485-0142-000	10160 W CLEVELAND AVE	Casey Rivera	Residential					313
	Sidewalk Grinding			2.35	5.00 x Lin Ft	= \$11.75	100.00	\$11.75
	Reduction Code Heaved on S. 102 St #391				62.00 x	=	100.00	
							Total:	\$11.75
485-0138-000	10128 W CLEVELAND AVE	Jennifer Markley	Residential					314
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x Lin Ft	= \$185.47	50.00	\$92.74
	Reduction Code Heaved #392							
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x Lin Ft	= \$185.47	50.00	\$92.74
	Reduction Code Drainage Problem #393				60.00 x	=	100.00	
							Total:	\$185.48



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Rate	Category	Value	Code	Total
485-0134-000	2645 S 101 ST	Jack M McKay & Margaret McKay			Residential			315
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #394							
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved #395							
				61.00 x	=		100.00	
							Total:	\$23.50
485-0122-000	10181 W HARRISON AVE	Lori A Gieringer			Residential			316
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.40 x Lin Ft	=	\$393.64	50.00	\$196.82
	Reduction Code Heaved (2006) #396							
				76.00 x	=		100.00	
							Total:	\$196.82
485-0164-000	10144 W HARRISON AVE	Richard L Kohne & Audrey M Kohne			Residential			317
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	9.80 x Lin Ft	=	\$370.93	50.00	\$185.47
	Reduction Code Heaved #397							
				60.00 x	=		100.00	
							Total:	\$185.47
485-0163-000	10136 W HARRISON AVE	Christian C Gayan			Residential			318
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.60 x Lin Ft	=	\$174.11	50.00	\$87.06
	Reduction Code Heaved #398							
				60.00 x	=		100.00	
							Total:	\$87.06



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Inspector	Category	Value	Area	Unit	Notes
485-0159-000	10106 W HARRISON AVE	Erick R Liban	Residential				319
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.80 x Lin Ft	=	\$370.93	50.00	\$185.47
	Reduction Code Heaved #399						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	#400		73.00 x	=		100.00	
						Total:	\$278.21
485-0158-000	2537 S 101 ST	Nicole Sieglaff & Brittany Sieglaff	Residential				320
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #401		65.00 x	=		100.00	
						Total:	\$92.74
485-0157-000	2527 S 101 ST	Stephanie Marie Mercado	Residential				321
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved #402		70.00 x	=		100.00	
						Total:	\$92.74
485-0156-000	10105 W NATIONAL AVE	Choctaw American Insurance, Inc	Residential				322
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.20 x Lin Ft	=	\$386.07	0.00	\$0.00
	Reduction Code 0-15 Years (Free)		61.00 x	=		100.00	
	Reduction Code Heaved (2010) #403					Total:	\$0.00



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Rate	Calculation	Amount	Code	Total
485-0154-000	10119 W NATIONAL AVE	Vincent L Kohne					Residential	323
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00		\$92.74
	Reduction Code Heaved #404							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	50.00		\$92.74
	Reduction Code Heaved #405							
			60.00 x	=		100.00		
						Total:		\$185.48
485-0153-000	10125 W NATIONAL AVE	Kevin J Makinen & Cassandra R Makinen					Residential	324
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.80 x Lin Ft	=	\$219.53	50.00		\$109.77
	Reduction Code Heaved #406							
			60.00 x	=		100.00		
						Total:		\$109.77
485-0150-000	10143 W NATIONAL AVE	Cheryl Pederson					Residential	325
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.80 x Lin Ft	=	\$181.68	50.00		\$90.84
	Reduction Code Heaved #407							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	4.90 x Lin Ft	=	\$185.47	0.00		\$0.00
	Reduction Code Good Between Bad #408							
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	9.80 x Lin Ft	=	\$370.93	50.00		\$185.47
	Reduction Code Heaved #409							
			60.00 x	=		100.00		
						Total:		\$276.31



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-0144-000	10179 W NATIONAL AVE	Jerry W Cole, Jr & Maryann Cole				Residential	326
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
Reduction Code Heaved #410			60.00 x	=		100.00	
						Total:	\$11.75
485-0177-000	2655 S 102 ST	Royce Lewis				Residential	327
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.70 x Lin Ft	=	\$177.90	50.00	\$88.95
Reduction Code Heaved #411							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	4.80 x Lin Ft	=	\$181.68	50.00	\$90.84
Reduction Code Heaved #412			65.00 x	=		100.00	
						Total:	\$179.79
485-0176-000	2645 S 102 ST	William H Miksic				Residential	328
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
Reduction Code Heaved #413			67.00 x	=		100.00	
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	9.90 x Lin Ft	=	\$374.72	50.00	\$187.36
Reduction Code Heaved #414			67.00 x	=		100.00	
						Total:	\$199.11



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Unit	Rate	Value	Code	Amount
485-0170-000	10221 W NATIONAL AVE	Kathleen M Leach					Residential	329
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.30 x Lin Ft	=	\$389.86	50.00	\$194.93
	Reduction Code Heaved							
	Rem Asph Shim #415							
				76.00 x	=		100.00	
							Total:	\$194.93
485-9990-007	10221 W ARTHUR AVE	Arthur Real Estate LLC					Commercial	330
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82	62.50	\$123.01
	Reduction Code Heaved							
	Rem Asph Shim #416							
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	9.40 x Lin Ft	=	\$355.79	62.50	\$222.37
	Reduction Code Heaved							
	Rem Asph Shim #417							
				443.00 x	=		100.00	
							Total:	\$345.38
485-0054-003	10200 W ARTHUR AVE	SBS Partnership & c/o Heiser Chevrolet Inc					Commercial	331
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50	62.50	\$236.56
	Reduction Code Heaved							
	on S 102 St #418							
	Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
	Reduction Code Heaved							
	on Hayes Ave #419							
				100.00 x	=		100.00	
							Total:	\$248.31



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9995-011	2387 S 102 ST & 10202 W HAYES AVE	Hayes Building, LLC				Commercial	332
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.30 x Lin Ft	=	\$389.86	62.50	\$243.66
Reduction Code Heaved #420							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.40 x Lin Ft	=	\$204.39	62.50	\$127.74
Reduction Code Cracked/Spalled on S 102 St #421							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.70 x Lin Ft	=	\$215.75	62.50	\$134.84
Reduction Code Heaved Rem Asph Shim #422							
			100.00 x	=		100.00	
					Total:		\$506.24



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9995-014	2363 S 102 ST	Midwest Property Management, LLC			Commercial	333
Sidewalk 7" Concrete - Sidewalk Program Only		43.38	3.90 x Lin Ft	=	\$169.18 62.50	\$105.74
Reduction Code Cracked/Spalled #423						
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75 100.00	\$11.75
Reduction Code Heaved #424						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82 62.50	\$123.01
Reduction Code Heaved Rem Asph Shim #425						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25 62.50	\$118.28
Reduction Code Heaved #426						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft	=	\$196.82 0.00	\$0.00
Reduction Code Good Between Bad #427						
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.40 x Lin Ft	=	\$204.39 62.50	\$127.74
Reduction Code Heaved Rem Asph Shim #428						
			100.00 x	=	100.00	
					Total:	\$486.52



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9995-013	2323 S 102 ST	David R Whitmore Trust, etal & c/o David R Whitmore	Commercial	334
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.50 x Lin Ft =	\$208.18 62.50 \$130.11
Reduction Code Heaved				
Rem Asph Shim #429				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	6.50 x Lin Ft =	\$246.03 62.50 \$153.77
Reduction Code Cracked/Spalled				
Rem Asph Shim #430				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.50 x Lin Ft =	\$208.18 62.50 \$130.11
Reduction Code Heaved				
#431				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	15.00 x Lin Ft =	\$567.75 62.50 \$354.84
Reduction Code Heaved				
#432				
Sidewalk 7" Concrete		8.70	56.00 x Sq Ft =	\$487.20 0.00 \$0.00
Reduction Code Det. Warning Field				
City Expense				
SW cor 102 & Linc #433				
			100.00 x =	100.00
				Total: \$768.83
485-9995-004	10427 W LINCOLN AVE	Midwest Property Management, LLC	Commercial	335
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft =	\$193.03 62.50 \$120.64
Reduction Code Heaved				
#434				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.20 x Lin Ft =	\$196.82 62.50 \$123.01
Reduction Code Cracked/Spalled				
on Hayes Ave #435				
			100.00 x =	100.00
				Total: \$243.65



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

480-9997-006	10300 W LINCOLN AVE	KML Investments, LLC				Commercial	336
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	62.50	\$118.28
Reduction Code Heaved #436			100.00 x	=		100.00	
					Total:		\$118.28
480-9998-005	10210 W LINCOLN AVE	Frank J & Sue Ann Bevsek LLC				Commercial	337
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
Reduction Code Heaved #437							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50	62.50	\$236.56
Reduction Code Heaved on Grant St #438			100.00 x	=		100.00	
					Total:		\$248.31
480-9996-003	10325-10333 W GRANT ST	Mathie Multi-Family, LLC				Commercial	338
Sidewalk Grinding		2.35	5.00 x Lin Ft	=	\$11.75	100.00	\$11.75
Reduction Code Heaved #439							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.10 x Lin Ft	=	\$382.29	62.50	\$238.93
Reduction Code Heaved #440			100.00 x	=		100.00	
					Total:		\$250.68



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

480-0032-000	2206 S 105 ST	Judith Jungen				Residential	339
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved on Grant St #441						
			94.00 x	=		100.00	
	Sidewalk 7" Concrete	8.70	61.60 x Sq Ft	=	\$535.92	0.00	\$0.00
	Reduction Code Det. Warning Field Reduction Code Cracked/Spalled City Expense SE Cor 105 & Grant Ramp #450						
			94.00 x	=		100.00	
						Total:	\$94.63
480-9969-000	10230 W GRANT ST	Sch Dist of Wa Wm Et Al				Exempt local	340
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
	Reduction Code Cracked/Spalled Exempt Property Charged as Residential #442						
			100.00 x	=		100.00	
	Exempt Property Charged as Residential						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	11.60 x Lin Ft	=	\$439.06	50.00	\$219.53
	Reduction Code Cracked/Spalled Exempt Property Charged as Residential on S. 102 St #443						
			100.00 x	=		100.00	
	Exempt Property Charged as Residential						
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	8.20 x Lin Ft	=	\$310.37	50.00	\$155.19
	Reduction Code Heaved Exempt Property Charged as Residential on 102 Rem Asph Shim #444						
			100.00 x	=		100.00	
	Exempt Property Charged as Residential						
						Total:	\$471.24



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Account ID	Address	Owner	Category	Value	Area	Unit	Rate	Quantity	Total	
480-9989-003	2125-2127 S 102 ST	Cream City Duplex Rentals, LLC	Residential						341	
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.90 x	Lin Ft	=	\$185.47	50.00	\$92.74
	Reduction Code Heaved									
	Rem Asph Shim #445									
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	11.10 x	Lin Ft	=	\$420.13	50.00	\$210.07
	Reduction Code Cracked/Spalled									
	#446									
					54.00 x		=		100.00	
									Total:	\$302.81
480-0474-000	2063 S 102 ST UNIT E	Stephanie L Amerpohl	Residential							342
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.20 x	Lin Ft	=	\$196.82	50.00	\$98.41
	Reduction Code Cracked/Spalled									
	#447									
					100.00 x		=		100.00	
									Total:	\$98.41
480-0488-000	2035 S 102 ST UNIT A	David A Voboril Revocable Trust	Residential							343
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.40 x	Lin Ft	=	\$204.39	50.00	\$102.20
	Reduction Code Cracked/Spalled									
	#448									
	Sidewalk Saw			0.00	8.00 x	Lin Ft	=	\$0.00	100.00	\$0.00
	Reduction Code Saw									
	City Expense									
	#448									
	Sidewalk Asphalt			0.00	11.00 x	Sq Ft	=	\$0.00	100.00	\$0.00
	City Expense									
	5.5 x 2.0 #448									
					100.00 x		=		100.00	
									Total:	\$102.20



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Property ID	Address	Owner	Area Type	Area	Unit	Rate	Area	Rate	Total
480-0476-000	2005 S 102 ST UNIT A	Matthew T Kaluzny & Eleanore J Leffert	Residential						344
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.40 x Lin Ft	=	\$204.39	50.00	\$102.20
	Reduction Code Cracked/Spalled #449								
					100.00 x	=		100.00	
								Total:	\$102.20
480-0039-001	10428 W LINCOLN AVE	Dorothiann K Rainey	Commercial						345
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.00 x Lin Ft	=	\$189.25	62.50	\$118.28
	Reduction Code Heaved #451								
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	4.70 x Lin Ft	=	\$177.90	0.00	\$0.00
	Reduction Code Good Between Bad #452								
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	5.20 x Lin Ft	=	\$196.82	62.50	\$123.01
	Reduction Code Heaved #453								
	Sidewalk Carriage Walk - Sidewalk Program Only			7.60	13.20 x Sq Ft	=	\$100.32	50.00	\$50.16
	Reduction Code Heaved 4.4 x 3.0 #454								
					100.00 x	=		100.00	
								Total:	\$291.45
480-0194-000	2251 S 105 ST	Michelle Engl	Residential						346
	Sidewalk Carriage Walk - Sidewalk Program Only			7.60	10.20 x Sq Ft	=	\$77.52	50.00	\$38.76
	Reduction Code Heaved 3.4 x 3.0 #455								
					40.00 x	=		100.00	
								Total:	\$38.76



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Parcel ID	Address	Owner	Area	Rate	Charge	Category	Value
480-0188-000	2209 S 105 ST	Nancy Masta & Ronald A Masta, Jr				Residential	347
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	21.00 x Sq Ft	=	\$159.60	50.00
	Reduction Code Heaved						
	7.0 x 3.0 #456						
				60.00 x	=		100.00
						Total:	\$79.80
480-0172-000	2159 S 105 ST	R. Barton Colter				Residential	348
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	15.00 x Sq Ft	=	\$114.00	50.00
	Reduction Code Heaved						
	(2006) 5.0 x 3.0 #457						
				60.00 x	=		100.00
						Total:	\$57.00
480-0169-002	2135 S 105 ST	Virginia L Mueller				Residential	349
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	14.40 x Sq Ft	=	\$109.44	50.00
	Reduction Code Heaved						
	4.8 x 3.0 #458						
				40.00 x	=		100.00
						Total:	\$54.72
480-0145-000	2047 S 105 ST	Randal Stefaniak & Mary Stefaniak				Residential	350
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	13.20 x Sq Ft	=	\$100.32	50.00
	Reduction Code Heaved						
	(2006) 4.4 x 3.0 #459						
				60.00 x	=		100.00
						Total:	\$50.16



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Area	Unit	Rate	Value	Notes	Total
480-0140-000	2015 S 105 ST	Alex Osvatic & Caitlin Trim	Residential					351
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	53.20 x Sq Ft	=	\$404.32	50.00	\$202.16
	Reduction Code Heaved (2006) 13.3 x 4.0 #460			40.00 x	=		100.00	
							Total:	\$202.16
480-0204-001	2234 S 106 ST	Grandview Homes 1,, LLC	Residential					352
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	11.40 x Sq Ft	=	\$86.64	50.00	\$43.32
	Reduction Code Heaved 3.8 x 3.0 #461			39.00 x	=		100.00	
							Total:	\$43.32
480-0198-000	10514 W LINCOLN AVE	Gerald Sobczak & Deborah Sobczak	Residential					353
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.00 x Lin Ft	=	\$378.50	50.00	\$189.25
	Reduction Code Heaved #462			60.00 x	=		100.00	
							Total:	\$189.25
480-0197-000	10508 W LINCOLN AVE	Frank J Prevort & Ashley Lucas	Residential					354
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
	Reduction Code Heaved #463			40.00 x	=		100.00	
							Total:	\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Project ID	Address	Owner	Area	Unit	Rate	Quantity	Subtotal	Category	Code
480-0132-000	2034 S 107 ST	Austin Wilson & Sara Due						Residential	355
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	15.00 x Sq Ft	=	\$114.00	50.00		\$57.00
	Reduction Code Heaved								
	5.0 x 3.0 #464			40.00 x	=		100.00		
							Total:		\$57.00
480-0130-000	2046 S 107 ST	Jason Braun						Residential	356
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	14.30 x Sq Ft	=	\$108.68	50.00		\$54.34
	Reduction Code Heaved								
	5.3 x 2.7 #465			40.00 x	=		100.00		
							Total:		\$54.34
480-0225-000	2154 S 107 ST	James E Cashmore & Susan E Cashmore						Residential	357
	Sidewalk Carriage Walk - Sidewalk Program Only		7.60	27.50 x Sq Ft	=	\$209.00	50.00		\$104.50
	Reduction Code Heaved								
	5.5 x 5.0 #466			40.00 x	=		100.00		
							Total:		\$104.50
480-0292-001	10618-10620 W LINCOLN AVE	Qin Zheng, XI & Li Y Lin						Residential	358
	Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00		\$94.63
	Reduction Code Heaved								
	(2006) #467			63.00 x	=		100.00		
							Total:		\$94.63



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-0036-002	2322-2360 S 106 ST & 10515 W LINCOLN AVE	Mother of Perpetual Help Congregation				Exempt other	359
Sidewalk Carriage Walk - Sidewalk Program Only		7.60	25.50 x Sq Ft	=	\$193.80	50.00	\$96.90
Reduction Code Heaved							
Exempt Property Charged as Residential							
8.5 x 3.0 #468							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	=	\$189.25	50.00	\$94.63
Reduction Code Heaved							
Exempt Property Charged as Residential							
on Hayes Ave #469							
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.10 x Lin Ft	=	\$193.03	50.00	\$96.52
Reduction Code Heaved							
Exempt Property Charged as Residential							
on Hayes Ave #470							
			100.00 x	=		100.00	
Exempt Property Charged as Residential							
						Total:	\$288.05
485-0054-004	2400 S 108 ST	Ralph Gesualdo				Commercial	360
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	10.10 x Lin Ft	=	\$382.29	62.50	\$238.93
Reduction Code Heaved							
on Hayes Ave #471							
			100.00 x	=		100.00	
						Total:	\$238.93



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-0009-010	2345 S 107 ST	Kevin Leitermann Properties LLC	Commercial	361
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	12.00 x Lin Ft	= \$454.20 62.50 \$283.88
Reduction Code Cracked/Spalled #472				
Sidewalk Asphalt		0.00	20.00 x Sq Ft	= \$0.00 100.00 \$0.00
City Expense 2.0 x 10.0 #472				
Sidewalk Saw		0.00	25.00 x Lin Ft	= \$0.00 100.00 \$0.00
City Expense 25' saw #472				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	11.30 x Lin Ft	= \$427.71 62.50 \$267.32
Reduction Code Cracked/Spalled #473				
			81.00 x	= 100.00
				Total: \$551.20
480-0273-000	2258-2262 S 108 ST	Tekna-KG, LLP	Commercial	362
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	5.00 x Lin Ft	= \$189.25 62.50 \$118.28
Reduction Code Heaved #474				
Sidewalk 5" Concrete - Sidewalk Program Only		37.85	3.00 x Lin Ft	= \$113.55 62.50 \$70.97
Reduction Code Cracked/Spalled #475				
Sidewalk Saw		0.00	10.00 x	= \$0.00 100.00 \$0.00
10' saw #475				
			100.00 x	= 100.00
				Total: \$189.25



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item ID	Address	Owner	Material	Quantity	Unit	Rate	Area	Cost	Notes
485-0001-002	2300 S 108 ST	Joel 5th District Properties, LLC							Commercial 363
	Sidewalk 5" Concrete - Sidewalk Program Only			37.85	14.20 x Lin Ft	=		\$537.47	62.50 \$335.92
	Reduction Code Cracked/Spalled #476								
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=		\$11.75	100.00 \$11.75
									Total: \$347.67
485-0016-004	2362 S 108 ST	James Taylor							Commercial 364
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=		\$11.75	100.00 \$11.75
	Reduction Code Heaved #477								
					100.00 x	=			100.00
									Total: \$11.75
485-9990-015	2600 S 108 ST	Dayton-Hudson Corp							Commercial 365
	Sidewalk 7" Concrete			8.70	52.00 x Sq Ft	=		\$452.40	0.00 \$0.00
	Reduction Code Cracked/Spalled								
	Reduction Code Det. Warning Field								
	8.0 x 6.5 Ramp(on 108)#478								
	Sidewalk Grinding			2.35	5.00 x Lin Ft	=		\$11.75	100.00 \$11.75
	Reduction Code Heaved #479								
	Sidewalk 7" Concrete			8.70	57.60 x Sq Ft	=		\$501.12	0.00 \$0.00
	Reduction Code Cracked/Spalled								
	Reduction Code Det. Warning Field								
	9.6 x 6.0 Ramp(on Clev) #481								
					100.00 x	=			100.00
									Total: \$11.75



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

485-9990-014	2626 S 108 ST	Kamilche WI, LLC				Commercial	366
	Sidewalk 5" Concrete - Sidewalk Program Only	37.85	10.00 x Lin Ft	=	\$378.50	62.50	\$236.56
	Reduction Code Heaved #480						
			100.00 x	=		100.00	
						Total:	\$236.56

Property Type Summary

45	Commercial
1	Exempt state
303	Residential



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

Item Summary

	Total Quantity		Gross Total	Net Total
Commercial	4,185.50			
Exempt state	4.90			
Residential	15,989.00			
Sidewalk				
5" Concrete				
Commercial	48.00	Sq Ft	\$364.80	\$0.00
5" Concrete - Sidewalk Program Only				
Commercial	15.00		\$567.75	\$354.84
Residential	44.00		\$1,665.40	\$1,589.70
Commercial	516.00	Lin Ft	\$19,530.63	\$10,977.91
Exempt state	4.90	Lin Ft	\$0.00	\$0.00
Residential	2,001.30	Lin Ft	\$75,749.33	\$36,804.39
Commercial	10.00	Sq Ft	\$378.50	\$0.00
5" Concrete Interior				
Residential	31.80	Sq Ft	\$241.68	\$120.84
7" Concrete				
Commercial	432.90	Sq Ft	\$3,766.23	\$1,213.65
Residential	203.20	Sq Ft	\$1,767.84	\$615.96



City of West Allis Engineering Department

Project Details P2520W

Sidewalk Areas 2025

7" Concrete - Sidewalk Program Only

Commercial	3.90	Lin Ft	\$169.18	\$105.74
Residential	9.30	Lin Ft	\$403.43	\$201.72

Asphalt

Commercial	20.00	Sq Ft	\$0.00	\$0.00
Residential	11.00	Sq Ft	\$0.00	\$0.00

Carriage Walk - Sidewalk Program Only

Commercial	13.20	Sq Ft	\$100.32	\$50.16
Residential	290.30	Sq Ft	\$2,206.28	\$1,103.14

Grinding

Commercial	5.00		\$11.75	\$11.75
Commercial	70.00	Lin Ft	\$164.50	\$141.00
Residential	448.00	Lin Ft	\$1,052.80	\$1,052.80

Saw

Commercial	10.00		\$0.00	\$0.00
Commercial	25.00	Lin Ft	\$0.00	\$0.00
Residential	8.00	Lin Ft	\$0.00	\$0.00

	\$108,140.42	\$54,343.60
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Grand Totals	\$108,140.42	\$54,343.60
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**CITY OF WEST ALLIS
RESOLUTION R-2025-0055**

RESOLUTION TO CONFIRM AND ADOPT THE REPORT OF THE CITY ENGINEER CONTAINING THE SCHEDULE OF PROPOSED ASSESSMENTS FOR IMPROVEMENT OF VARIOUS STREETS BY CONCRETE RECONSTRUCTION

WHEREAS, The City Engineer, pursuant to Preliminary Resolution No. R-2024-0651 adopted on December 10, 2024, prepared and submitted the report as provided in sec. 66.0703(5) of the Wisconsin Statutes, for the improvement of the general area as hereinafter described; and,

WHEREAS, The City Clerk gave due notice that such report was open for inspection at the Clerk’s office and also at the office of the City Engineer, and that all persons interested could appear before the Common Council and be heard concerning the matters contained in the Preliminary Resolution and Report; and,

WHEREAS, The Common Council met pursuant to such notice, at the time and place therein named; and having considered all statements and communications concerning the proposed improvements, relating to the matters contained in the City Engineer's report, including the schedule of proposed assessments, the Common Council makes no change in said report.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis:

1. The report of the City Engineer, including the schedule of the proposed assessments, for the improvement of W. Lincoln Ave. from S. 93rd St. to S. 96th St., W. Orchard St. from S. 60th St. to S. 63rd. St, W. Mineral St. from S. 60th St. to S. 64th St., S. 91st St. from W. Rogers St. to Dead End, S. 83rd St. from W. Grant St. to W. Becher St. by concrete reconstruction be and the same is hereby approved and adopted.
2. The property against which the assessments are proposed is benefited; the assessments shown on the report are true and correct, have been determined on a reasonable basis and are hereby confirmed.
3. The City Engineer is hereby authorized and directed to prepare final plans for the aforesaid area in accordance with the terms of this resolution.

SECTION 1: **ADOPTION** “R-2025-0055” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0055(Added)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis



NOTICE OF PUBLIC HEARING
February 11, 2025
7:00 PM

NOTICE IS HEREBY GIVEN that on February 11, 2025, at 7:00 p.m., the West Allis Common Council will conduct a public hearing at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis, Wisconsin, where all interested persons may appear before the council and be heard concerning the matters related to the proposed work below.

Concrete reconstruction of the following streets:

W. Lincoln Ave. from S. 93rd St. to S. 96th St.
W. Orchard St. from S. 60th St. to S. 63rd St.
W. Mineral St. from S. 60th St. to S. 64th St.
S. 91st St. from W. Rogers St. to Dead End S.
83rd St. from W. Grant St. to W. Becher St.

NOTICE IS FURTHER GIVEN that a report on the proposal may be inspected online at <https://westalliswi.legistar.com/Calendar.aspx> (scroll to Common Council meeting for February 11, 2025 and click on Agenda Packet on the right side of the row). This report is also available at West Allis City Hall during business hours (M-F, 11:30 a.m. to 4:30 p.m.)

Dated at West Allis, Wisconsin this 24th day of January 2025.

City Clerk

Publish January 31, 2025

Questions Most Asked Regarding A Public Hearing

Q. What is the purpose of the public hearing?

A. To give the people affected by the proposed improvement an opportunity to express their feelings on the project to the Mayor and Common Council.

Q. Is every project "cut and dried"?

A. No. Many projects have been modified or dropped entirely after having been the topic of a public hearing.

Q. When will the decision be made as to approval or rejection of the project?

A. After the Public Hearing, the matter is referred to the Board of Public Works for their recommendation. After the Board makes a recommendation, the report is voted on by the entire Common Council.

Q. How will I know if the project is approved?

A. A copy of the Final Resolution authorizing the Board of Public Works to go ahead with the improvement and advertise for the installation of the improvements will be mailed to all property owners.

Q. How does a project get on the annual Capital Improvement Program for consideration at a Hearing?

A. There are several ways a project could be considered for the annual program:

1. By petition of the people affected.
2. By the request of the Aldermen of the District.
3. Upon recommendation of the Engineering Department.
4. Public interest or necessity.
5. Eligibility for State and Federal aid.

Q. How do I get further information if I do not understand the information sent to me or who should I notify of a change in the mailing address for the information?

A. You should call the City of West Allis Engineering Department at 302-8368 so that you can get any questions you may have answered or to notify us of any mailing address changes.

Q. How and when can I pay for the proposed improvements?

A. Once the project has reached substantial completion, a Special Assessment Billing will be mailed to you outlining the payment options available to you. Please refer to the methods of payment information enclosed herewith for a brief explanation of possible options.

Rev. 5/06

H:\Forms\Questions Asked Regarding Public Hearing.doc



Melinda Dejewski, P.E.
City Engineer
Engineering Department
mdejewski@westalliswi.gov
414.302.8374

February 11, 2025

Honorable Mayor and Common Council
West Allis, Wisconsin

Dear Mayor and Council Members:

I herewith respectfully submit my report on the assessment of benefits for concrete reconstruction of the pavement in:

**W. Lincoln Ave. from S. 93rd St. to S. 96th St.
W. Orchard St. from S. 60th St. to S. 63rd. St
W. Mineral St. from S. 60th St. to S. 64th St.
S. 91st St. from W. Rogers St. to Dead End
S. 83rd St. from W. Grant St. to W. Becher St.**

as directed in Preliminary Resolution No. R-2024-0651 adopted on December 10, 2024

This report consists of the following schedules attached hereto:

- Schedule A. - Preliminary Plans and Specifications;
- Schedule B. - Estimate of Entire Cost of Proposed Improvements;
- Schedule C. - Schedule of Proposed Assessments Against Each Parcel Affected.

The properties against which the assessments are proposed are benefited.

Respectfully submitted,

Melinda Dejewski, P.E.
City Engineer

Encs.

PROPOSED IMPROVEMENT OF

**W. Lincoln Ave. from S. 93rd St. to S. 96th St.
W. Orchard St. from S. 60th St. to S. 63rd. St
W. Mineral St. from S. 60th St. to S. 64th St.
S. 91st St. from W. Rogers St. to Dead End
S. 83rd St. from W. Grant St. to W. Becher St.**

by concrete reconstruction of the pavement

SCHEDULE "A"

Preliminary Plans & Specifications Attached

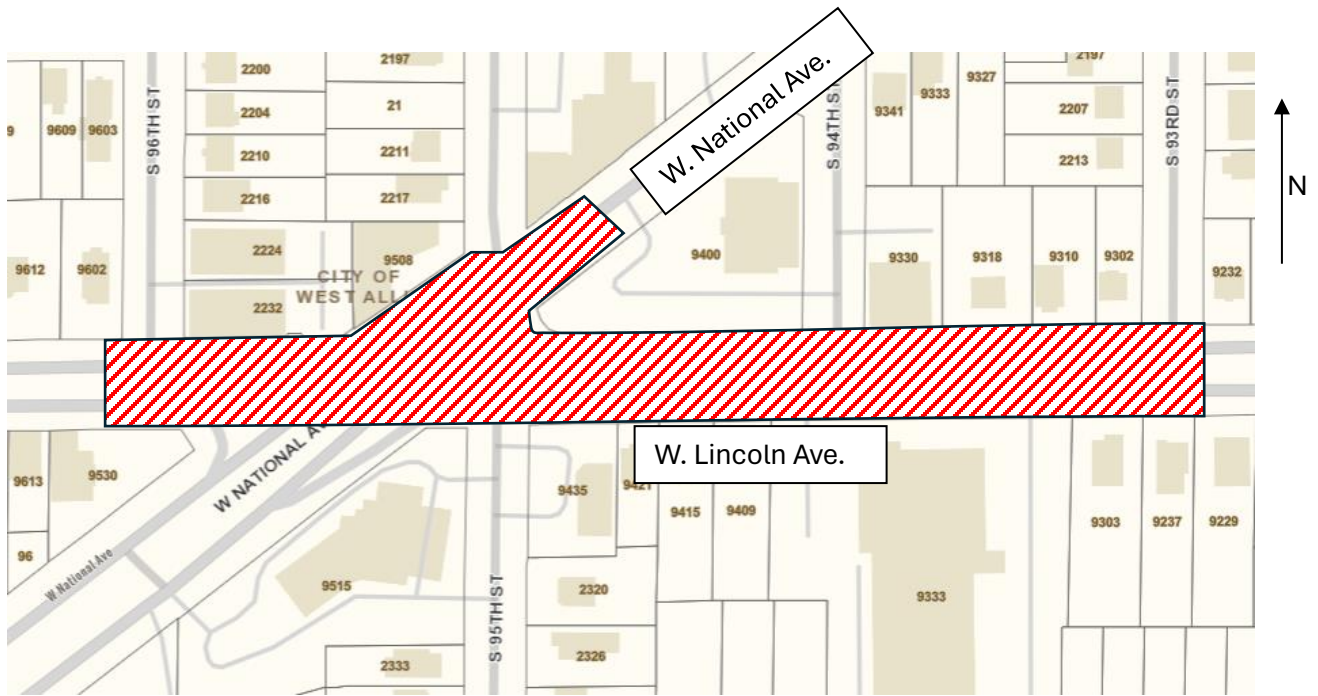
SCHEDULE "B"

Estimate of the Entire Cost

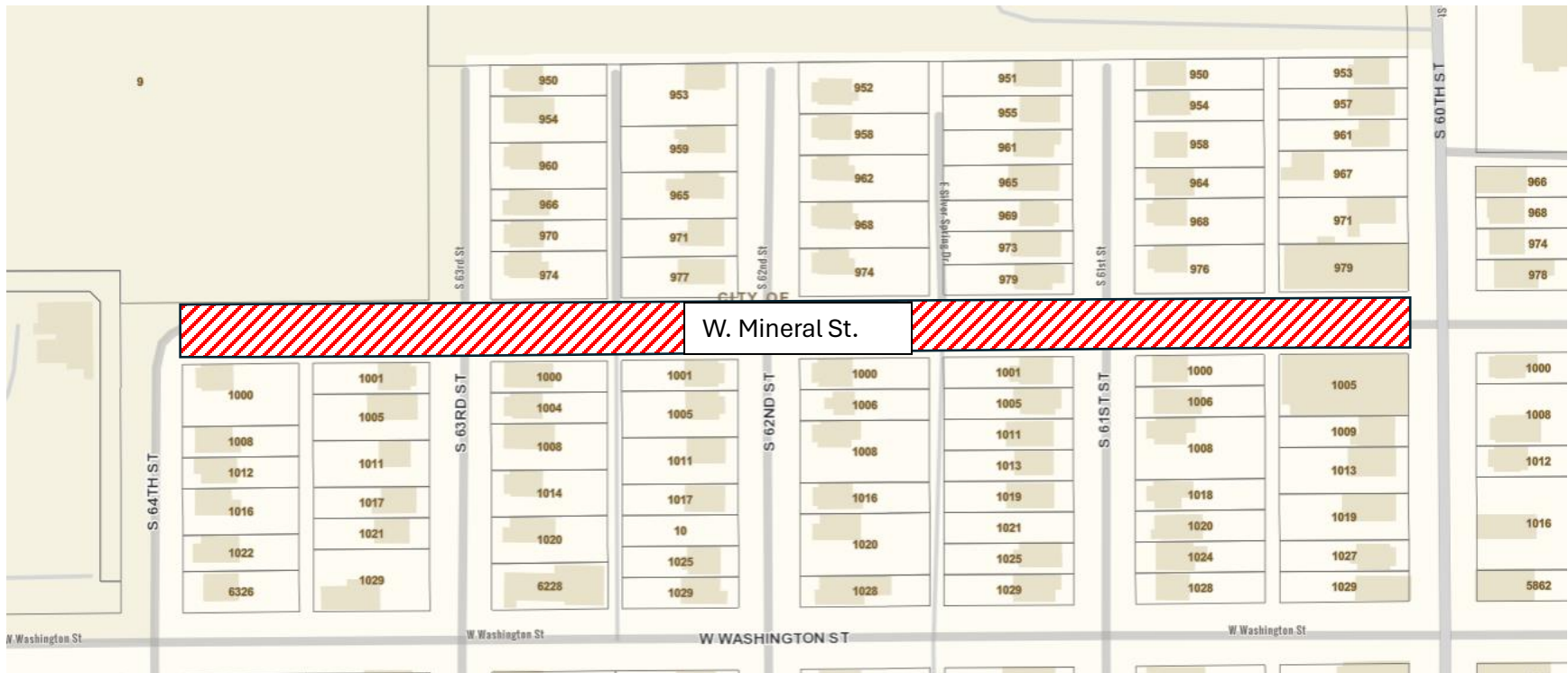
\$11,452,062.00

SCHEDULE "C"

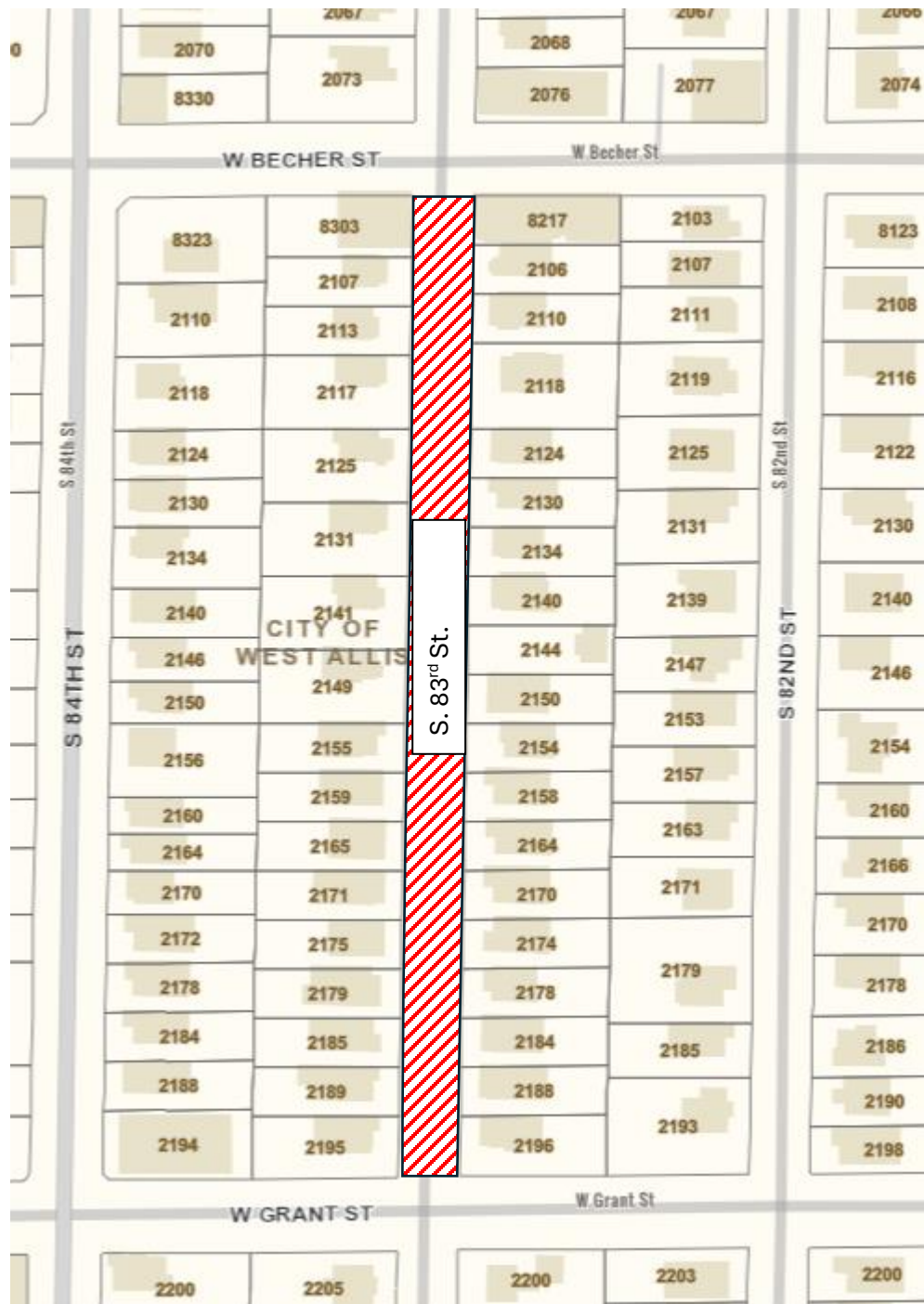
Schedule of Proposed Assessments
Against Each Parcel Affected













Melinda Dejewski, P.E.
City Engineer
Engineering Department
mdejewski@westalliswi.gov
414.302.8374

February 1, 2025

Board of Public Works
West Allis City Hall
West Allis, Wisconsin

Dear Board Members:

I am herewith submitting preliminary plans and an estimate of costs for the concrete reconstruction of the pavement in:

**W. Lincoln Ave. from S. 93rd St. to S. 96th St.
W. Orchard St. from S. 60th St. to S. 63rd. St
W. Mineral St. from S. 60th St. to S. 64th St.
S. 91st St. from W. Rogers St. to Dead End
S. 83rd St. from W. Grant St. to W. Becher St.**

Estimated Construction Cost:	\$10,410,965.00
Contingency:	1,041,097.00
TOTAL:	\$11,452,062.00

Sincerely,

Melinda Dejewski, P.E.
City Engineer

ASSESSMENT REPORT FOR COUNCIL

HEARING DATE: February 11, 2025

LOCATION

DESCRIPTION: W. Lincoln Ave. from S. 93rd St. to S. 96th St.
W. Orchard St. from S. 60th St. to S. 63rd. St
W. Mineral St. from S. 60th St. to S. 64th St.
S. 91st St. from W. Rogers St. to Dead End
S. 83rd St. from W. Grant St. to W. Becher St.

ACCOUNT NO.: P2131T, P2521S, P2522S, P2527S, P2528S

INTEREST RATE: 4.0%

2025 ASSESSMENT RATES

<u>Streets</u>		<u>Residential</u>	<u>Commercial</u>	<u>Manufacturing</u>
Concrete Reconstruction	lin. ft	\$69.67	\$87.09	\$104.51
<u>Driveways</u>				
7" Concrete Approach	sq. ft.	\$8.70	\$8.70	\$8.70
9" Concrete Approach	sq. ft.	\$10.84	\$10.84	\$10.84

The properties against which the assessments are proposed are benefited.



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Property Assessments

Assessment ID	Address	Assessor	Category	Count
479-0418-000	9640-42 W LINCOLN AVE	Roger Eineichner & Diann Eineichner	Residential	1
	Street Reconstruction	69.67	66.00 x Lin Ft	= \$4,598.22 100.00 \$4,598.22
	Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	= \$696.00 100.00 \$696.00
			Total:	\$5,294.22
479-0419-000	9628-30 W LINCOLN AVE	Cody G Rader	Residential	2
	Street Reconstruction	69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	= \$696.00 100.00 \$696.00
			Total:	\$3,482.80
479-0420-000	9626 W LINCOLN AVE	Josh Bobber	Residential	3
	Street Reconstruction	69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	= \$696.00 100.00 \$696.00
			Total:	\$3,482.80
479-0421-000	9620 W LINCOLN AVE	Eusebio Martinez Munoz	Residential	4
	Street Reconstruction	69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	= \$696.00 100.00 \$696.00
			Total:	\$3,482.80
479-0422-000	9612 W LINCOLN AVE	Andrew J Medved & Valarie D Jaeger-Medved	Residential	5
	Street Reconstruction	69.67	60.00 x Lin Ft	= \$4,180.20 100.00 \$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	110.00 x Sq Ft	= \$957.00 100.00 \$957.00
			Total:	\$5,137.20



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Project ID	Address	Owner	Category	Value
479-0423-000	9602 W LINCOLN AVE - 2229 S 96 ST	Michael L Ibarra & Richard Raul Ibarra	Residential	6
Street Reconstruction	60' LINC	69.67	60.00 x Lin Ft =	\$4,180.20 100.00 \$4,180.20
Street Reconstruction	Reduction Code Longside 11' 96th x 40% longside	69.67	11.00 x Lin Ft =	\$766.37 40.00 \$306.55
			Total:	\$4,486.75
479-0729-005	2232 S 96 ST	96th St Apartments LLC	Commercial	20
Street Reconstruction	Reduction Code Longside (164'x 40% long) LINC	87.09	164.00 x Lin Ft =	\$14,282.76 40.00 \$5,713.10
Street Reconstruction	11' 96th	87.09	11.00 x Lin Ft =	\$957.99 100.00 \$957.99
			Total:	\$6,671.09
479-0724-000	9508 W NATIONAL AVE	Emil J Belich & Steven E Belich	Commercial	21
Street Reconstruction	Reduction Code Longside 132.1x40% long (NATIONAL)	87.09	132.10 x Lin Ft =	\$11,504.59 40.00 \$4,601.84
Street Reconstruction	31.27 (95th)	87.09	31.27 x Lin Ft =	\$2,723.30 100.00 \$2,723.30
Driveway Approach	9" Concrete Approach	10.84	100.00 x Sq Ft =	\$1,084.00 100.00 \$1,084.00
			Total:	\$8,409.14
479-0723-000	2217 S 95 ST	Emil J Belich & Steven Belich	Residential	22
Driveway Approach	7" Concrete Approach No frontage only driveway	8.70	55.00 x Sq Ft =	\$478.50 100.00 \$478.50
			Total:	\$478.50



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Item ID	Address	Owner	Category	Value
479-9001-000	9422-26-30- 40 W NATIONAL AVE	West Allis Property Owner	Commercial	23
Street Reconstruction	6.62' (NATIONAL)	87.09	6.62 x Lin Ft =	\$576.54 100.00 \$576.54
Street Reconstruction	Reduction Code Longside 6'x40% long (95th)	87.09	6.00 x Lin Ft =	\$522.54 40.00 \$209.02
			Total:	\$785.56
479-0756-003	9400 W LINCOLN AVE	Kelly Lincoln LLC	Commercial	24
Street Reconstruction	Reduction Code Longside 270'x40% long (LINCOLN)	87.09	270.00 x Lin Ft =	\$23,514.30 40.00 \$9,405.72
Street Reconstruction	57.52' (NATIONAL)	87.09	57.52 x Lin Ft =	\$5,009.42 100.00 \$5,009.42
Street Reconstruction	11' (94th)	87.09	11.00 x Lin Ft =	\$957.99 100.00 \$957.99
			Total:	\$15,373.13
479-0767-001	9330 W LINCOLN AVE	9330 W Lincoln S2 LLC	Commercial	30
Street Reconstruction		87.09	75.00 x Lin Ft =	\$6,531.75 100.00 \$6,531.75
Street Reconstruction		87.09	11.00 x Lin Ft =	\$957.99 100.00 \$957.99
			Total:	\$7,489.74
479-0770-001	9318 W LINCOLN AVE	Douglas O Blank & Susan M Thayer	Residential	31
Street Reconstruction		69.67	88.50 x Lin Ft =	\$6,165.80 100.00 \$6,165.80
Driveway Approach 7" Concrete Approach		8.70	80.00 x Sq Ft =	\$696.00 100.00 \$696.00
			Total:	\$6,861.80
479-0772-001	9310 W LINCOLN AVE	Armando Polomo & Susan K Polomo	Residential	32
Street Reconstruction		69.67	61.50 x Lin Ft =	\$4,284.70 100.00 \$4,284.70
Driveway Approach 7" Concrete Approach		8.70	80.00 x Sq Ft =	\$696.00 100.00 \$696.00
			Total:	\$4,980.70



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Project ID	Address	Engineer	Category	Area	Unit	Rate	Quantity	Total Cost
479-0774-000	9302 W LINCOLN AVE	Edward Repinski	Residential				33	
	Street Reconstruction	69.67	45.00 x Lin Ft	=	\$3,135.15	100.00		\$3,135.15
	45' (LINCOLN)							
	Street Reconstruction	69.67	22.00 x Lin Ft	=	\$1,532.74	40.00		\$613.10
	Reduction Code Longside							
	22'x40% long (93th)							
							Total:	\$3,748.25
479-0801-000	9232 W LINCOLN AVE	Sydney Schmidt	Residential				40	
	Street Reconstruction	69.67	8.51 x Lin Ft	=	\$592.89	100.00		\$592.89
	8.51' (LINCOLN remaining)							
	Street Reconstruction	69.67	22.00 x Lin Ft	=	\$1,532.74	40.00		\$613.10
	Reduction Code Longside							
	22'x40% long (93th)							
							Total:	\$1,205.99
479-0430-001	9638 W NATIONAL AVE - 2324 S 97 ST	Ronald Mellantine	Commercial				100	
	Street Reconstruction	87.09	75.00 x Lin Ft	=	\$6,531.75	100.00		\$6,531.75
	Driveway Approach 9" Concrete Approach	10.84	20.00 x Sq Ft	=	\$216.80	100.00		\$216.80
							Total:	\$6,748.55
479-0434-001	9622 W NATIONAL AVE	The James S Morateck and Karen M Morateck Revoc	Commercial				101	
	Street Reconstruction	87.09	80.00 x Lin Ft	=	\$6,967.20	100.00		\$6,967.20
	Driveway Approach 9" Concrete Approach	10.84	260.00 x Sq Ft	=	\$2,818.40	100.00		\$2,818.40
							Total:	\$9,785.60
479-0425-000	9613 W LINCOLN AVE	Paul A Grant	Commercial				102	
	Street Reconstruction	87.09	40.00 x Lin Ft	=	\$3,483.60	100.00		\$3,483.60
	Driveway Approach 9" Concrete Approach	10.84	80.00 x Sq Ft	=	\$867.20	100.00		\$867.20
							Total:	\$4,350.80



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Project ID	Address	Owner	Category	Lot
479-0424-002	9530 W NATIONAL AVE	National Ave 9530, LLC	Commercial	103
Street Reconstruction	87.09	151.15 x Lin Ft	=	\$13,163.65 40.00 \$5,265.46
Reduction Code Longside 151.15x40% long (NATIONAL)				
Street Reconstruction	87.09	152.62 x Lin Ft	=	\$13,291.68 100.00 \$13,291.68
152.62 (LINCOLN)				
Driveway Approach 9" Concrete Approach	10.84	660.00 x Sq Ft	=	\$7,154.40 100.00 \$7,154.40
				Total: \$25,711.54
486-0099-002	9515 W NATIONAL AVE	Landmark Credit Union	Commercial	120
Street Reconstruction	87.09	260.29 x Lin Ft	=	\$22,668.66 40.00 \$9,067.46
Reduction Code Longside 260.29'x40% long (NATIONAL)				
Street Reconstruction	87.09	37.65 x Lin Ft	=	\$3,278.94 100.00 \$3,278.94
37.65' (LINCOLN)				
Street Reconstruction	87.09	14.50 x Lin Ft	=	\$1,262.81 100.00 \$1,262.81
14.5' (95th)				
				Total: \$13,609.21
486-0053-000	9435 W LINCOLN AVE	Sajid E Jaber & Murad E Jaber	Commercial	121
Street Reconstruction	87.09	86.60 x Lin Ft	=	\$7,541.99 100.00 \$7,541.99
86.6' (LINCOLN)				
Street Reconstruction	87.09	17.00 x Lin Ft	=	\$1,480.53 40.00 \$592.21
Reduction Code Longside 17'x40% long (95th)				
Driveway Approach 9" Concrete Approach	10.84	330.00 x Sq Ft	=	\$3,577.20 100.00 \$3,577.20
				Total: \$11,711.40
486-0052-001	9421 W LINCOLN AVE	Diane L Sack	Residential	122
Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80 100.00 \$2,786.80
Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	=	\$696.00 100.00 \$696.00
				Total: \$3,482.80



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

486-0032-000	9415 W LINCOLN AVE	Lori A Klebar					Residential	123
	Street Reconstruction	69.67	53.75	x	Lin Ft	=	\$3,744.76 100.00	\$3,744.76
	Driveway Approach 7" Concrete Approach	8.70	105.00	x	Sq Ft	=	\$913.50 100.00	\$913.50
							Total:	\$4,658.26
486-0031-000	9409 W LINCOLN AVE	Jennifer R Wachholtz & Thomas W Wachholtz					Residential	124
	Street Reconstruction	69.67	55.00	x	Lin Ft	=	\$3,831.85 100.00	\$3,831.85
	Driveway Approach 7" Concrete Approach	8.70	105.00	x	Sq Ft	=	\$913.50 100.00	\$913.50
							Total:	\$4,745.35
486-9001-000	9333 & 9343 W LINCOLN AVE	Sch Dist of Wa Wm Et Al					Exempt Local	125
	Street Reconstruction	69.67	295.52	x	Lin Ft	=	\$20,588.88 100.00	\$20,588.88
	Exempt Property Charged as Residential							
	Driveway Approach 9" Concrete Approach	10.84	260.00	x	Sq Ft	=	\$2,818.40 100.00	\$2,818.40
	Exempt Property Charged as Residential							
							Total:	\$23,407.28
486-9995-001	9303 W LINCOLN AVE	Angel Villarreal & Anna Villarreal					Residential	126
	Street Reconstruction	69.67	65.42	x	Lin Ft	=	\$4,557.81 100.00	\$4,557.81
	Driveway Approach 7" Concrete Approach	8.70	65.00	x	Sq Ft	=	\$565.50 100.00	\$565.50
							Total:	\$5,123.31
486-9995-002	9237 W LINCOLN AVE	Joseph J Jacobsen					Residential	127
	Street Reconstruction	69.67	52.00	x	Lin Ft	=	\$3,622.84 100.00	\$3,622.84
	Driveway Approach 7" Concrete Approach	8.70	65.00	x	Sq Ft	=	\$565.50 100.00	\$565.50
							Total:	\$4,188.34
486-9996-000	9229 W LINCOLN AVE	Dennis L Zarr					Residential	128
	Street Reconstruction	69.67	18.73	x	Lin Ft	=	\$1,304.92 100.00	\$1,304.92
	18.73' remaining frontage (LINCOLN)							
							Total:	\$1,304.92



City of West Allis Engineering Department

Project Details P2431T

W. Lincoln Ave. S. 93rd St. to S. 96th St.

Property Type Summary

11	Commercial
18	Residential

Item Summary

	Total Quantity		Gross Total	Net Total
Driveway Approach				
7" Concrete Approach				
Residential	1,065.00	Sq Ft	\$9,265.50	\$9,265.50
9" Concrete Approach				
Commercial	1,450.00	Sq Ft	\$15,718.00	\$15,718.00
Residential	260.00	Sq Ft	\$2,818.40	\$2,818.40
			<u>\$27,801.90</u>	<u>\$27,801.90</u>
Street				
Reconstruction				
Commercial	1,690.32	Lin Ft	\$147,209.98	\$94,927.76
Residential	1,144.93	Lin Ft	\$79,767.27	\$77,468.17
			<u>\$226,977.25</u>	<u>\$172,395.93</u>
Grand Totals			\$254,779.15	\$200,197.83



City of West Allis Engineering Department

Project Details P2521S

W. Orchard St.: S. 60 St. to S. 63 St.

Property Assessments

Assessment ID	Address	Owner	Category	Area	Rate	Value	Exemption	Total Value
454-0076-000	1436 S 63 ST	Walter J Ostrowski & Sara J Ostrowski	Residential					40
	Street Reconstruction			69.67	106.54 x Lin Ft	= \$7,422.64	40.00	\$2,969.06
	Reduction Code Longside							
	Driveway Approach 7" Concrete Approach			8.70	141.50 x Sq Ft	= \$1,231.05	100.00	\$1,231.05
							Total:	\$4,200.11
454-0075-000	1400 Block S 62 ST	City Of West Allis	Exempt local					41
	Street Reconstruction			0.00	125.00 x Lin Ft	= \$0.00	0.00	\$0.00
	CITY LOT EXEMPT							
							Total:	\$0.00
454-0065-000	1430 S 62 ST	Zhou Enterprises, LLC	Commercial					42
	Street Reconstruction			87.09	80.78 x Lin Ft	= \$7,035.13	100.00	\$7,035.13
							Total:	\$7,035.13
454-0066-000	6120-22 W ORCHARD ST	Robyn A Smith	Residential					43
	Street Reconstruction			69.67	35.00 x Lin Ft	= \$2,438.45	100.00	\$2,438.45
							Total:	\$2,438.45
454-0067-000	6116-18 W ORCHARD ST	Equity Trust Company Custodian, FBO Jennifer Kazrn	Residential					44
	Street Reconstruction			69.67	35.00 x Lin Ft	= \$2,438.45	100.00	\$2,438.45
							Total:	\$2,438.45
454-0068-000	6110-12 W ORCHARD ST	James R Merner	Residential					45
	Street Reconstruction			69.67	35.00 x Lin Ft	= \$2,438.45	100.00	\$2,438.45
							Total:	\$2,438.45
454-0069-000	6106-08 W ORCHARD ST	Eric D'Amour	Residential					46
	Street Reconstruction			69.67	40.00 x Lin Ft	= \$2,786.80	100.00	\$2,786.80
							Total:	\$2,786.80



City of West Allis Engineering Department

Project Details P2521S

W. Orchard St.: S. 60 St. to S. 63 St.

454-0070-000	1431-33 S 61 ST	Toriono Mayek					Residential	47
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00		\$2,786.80
							Total:	\$2,786.80
454-0051-000	6036 W ORCHARD ST	Tica Group LLC					Residential	50
	Street Reconstruction	69.67	36.00 x Lin Ft	=	\$2,508.12	100.00		\$2,508.12
							Total:	\$2,508.12
454-0052-000	6032 W ORCHARD ST	Lee Ann M Lauritch & Jennifer M Lauritch					Residential	51
	Street Reconstruction	69.67	38.38 x Lin Ft	=	\$2,673.93	100.00		\$2,673.93
							Total:	\$2,673.93
454-0053-000	6026-28 W ORCHARD ST	Priscilla Romero & Jose Juan Padilla					Residential	52
	Street Reconstruction	69.67	35.00 x Lin Ft	=	\$2,438.45	100.00		\$2,438.45
							Total:	\$2,438.45
454-0054-000	6022-24 W ORCHARD ST	Joseph P Henika & Shirley Henika					Residential	53
	Street Reconstruction	69.67	35.00 x Lin Ft	=	\$2,438.45	100.00		\$2,438.45
							Total:	\$2,438.45
454-0006-000	6006 W ORCHARD ST - 1437 S 60 ST	Jose Eduardo Elizondo Lira & Maria Marcela Lira Ron					Residential	159
	Street Reconstruction	69.67	123.93 x Lin Ft	=	\$8,634.20	40.00		\$3,453.68
	Reduction Code Longside Driveway Approach 7" Concrete Approach	8.70	176.00 x Sq Ft	=	\$1,531.20	100.00		\$1,531.20
							Total:	\$4,984.88
454-0158-000	1502 S 63 ST	Ashley E Ferus					Residential	160
	Street Reconstruction	69.67	110.56 x Lin Ft	=	\$7,702.72	40.00		\$3,081.09
	Reduction Code Longside Driveway Approach 7" Concrete Approach	8.70	95.00 x Sq Ft	=	\$826.50	100.00		\$826.50
							Total:	\$3,907.59



City of West Allis Engineering Department

Project Details P2521S

W. Orchard St.: S. 60 St. to S. 63 St.

454-0123-000	1501-03 S 62 ST	Nicholas J Marincic & Sandra M Marincic					Residential	170
	Street Reconstruction		69.67	120.00 x Lin Ft	=	\$8,360.40	40.00	\$3,344.16
	Reduction Code Longside							
	Driveway Approach 7" Concrete Approach		8.70	128.50 x Sq Ft	=	\$1,117.95	100.00	\$1,117.95
							Total:	\$4,462.11
454-0159-001	6101 W ORCHARD ST	City Of West Allis					Exempt local	189
	Street Reconstruction		0.00	1.00 x Lin Ft	=	\$0.00	0.00	\$0.00
	LIBERTY HEIGHTS PARK - EXEMPT							
							Total:	\$0.00
454-0160-000	1503-05 S 60 ST	Encino Properties LLC					Residential	190
	Street Reconstruction		69.67	124.53 x Lin Ft	=	\$8,676.01	40.00	\$3,470.40
	Reduction Code Longside							
	Driveway Approach 7" Concrete Approach		8.70	122.50 x Sq Ft	=	\$1,065.75	100.00	\$1,065.75
							Total:	\$4,536.15

Property Type Summary

1	Commercial
2	Exempt local
14	Residential



City of West Allis Engineering Department

Project Details P2521S

W. Orchard St.: S. 60 St. to S. 63 St.

Item Summary

	Total Quantity		Gross Total	Net Total
Driveway Approach				
7" Concrete Approach				
Residential	663.50	Sq Ft	\$5,772.45	\$5,772.45
			<u>\$5,772.45</u>	<u>\$5,772.45</u>
Street				
Reconstruction				
Commercial	80.78	Lin Ft	\$7,035.13	\$7,035.13
Exempt local	126.00	Lin Ft	\$0.00	\$0.00
Residential	914.94	Lin Ft	\$63,743.87	\$39,266.29
			<u>\$70,779.00</u>	<u>\$46,301.42</u>
Grand Totals			\$76,551.45	\$52,073.87



City of West Allis Engineering Department

Project Details P2522S

W. Mineral St.: S. 60 St. to S. 64 St.

Property Assessments

Property ID	Address	Owner	Assessment Type	Rate	Area/Length	Calculation	Value	Category	Count
439-0001-048	9** S 63 ST	6682 LLC	Commercial						1
	Street Reconstruction	87.09	268.15 x Lin Ft	=	\$23,353.18	100.00	\$23,353.18		
	268.15' (MINERAL)								
	Street Reconstruction	87.09	15.20 x Lin Ft	=	\$1,323.77	40.00	\$529.51		
	Reduction Code Longside								
	15.2"x40% longside (63rd)								
								Total:	\$23,882.69
439-0056-000	974 S 63 ST	George Chaparas	Residential						2
	Street Reconstruction	69.67	113.00 x Lin Ft	=	\$7,872.71	40.00	\$3,149.08		
	Reduction Code Longside								
	113'x40% longside (MINERAL)								
	Street Reconstruction	69.67	15.20 x Lin Ft	=	\$1,058.98	100.00	\$1,058.98		
	15.2' (63rd)								
	Driveway Approach 7" Concrete Approach	8.70	145.00 x Sq Ft	=	\$1,261.50	100.00	\$1,261.50		
								Total:	\$5,469.56
439-0055-000	977-79 S 62 ST	Ronald J Taddey	Residential						3
	Street Reconstruction	69.67	113.00 x Lin Ft	=	\$7,872.71	40.00	\$3,149.08		
	Reduction Code Longside								
	113'x40% longside (MINERAL)								
	Street Reconstruction	69.67	113.00 x Lin Ft	=	\$7,872.71	100.00	\$7,872.71		
	14.3' (62nd)								
	Driveway Approach 7" Concrete Approach	8.70	133.00 x Sq Ft	=	\$1,157.10	100.00	\$1,157.10		
								Total:	\$12,178.89



City of West Allis Engineering Department

Project Details P2522S

W. Mineral St.: S. 60 St. to S. 64 St.

439-0046-000	974 S 62 ST	Anthony E Gierczak, III					Residential	4
	Street Reconstruction	69.67	125.89 x Lin Ft	=	\$8,770.76	40.00		\$3,508.30
	Reduction Code Longside 125.89'x40% longside (MINERAL)							
	Street Reconstruction	69.67	14.30 x Lin Ft	=	\$996.28	100.00		\$996.28
	14.3' (62nd)							
	Driveway Approach 7" Concrete Approach	8.70	162.00 x Sq Ft	=	\$1,409.40	100.00		\$1,409.40
							Total:	\$5,913.98
439-0045-000	979 S 61 ST	Aaron Pollnow & Angela Pollnow					Residential	5
	Street Reconstruction	69.67	125.89 x Lin Ft	=	\$8,770.76	40.00		\$3,508.30
	Reduction Code Longside 125.89'x40% longside (MINERAL)							
	Street Reconstruction	69.67	6.10 x Lin Ft	=	\$424.99	100.00		\$424.99
	6.1' (61st)							
							Total:	\$3,933.29
439-0009-000	976-78 S 61 ST	Carole A West					Residential	6
	Street Reconstruction	69.67	126.00 x Lin Ft	=	\$8,778.42	40.00		\$3,511.37
	Reduction Code Longside 126'x40% longside (MINERAL)							
	Street Reconstruction	69.67	6.10 x Lin Ft	=	\$424.99	100.00		\$424.99
	6.1' (61st)							
							Total:	\$3,936.36
439-0008-000	979 S 60 ST	Tavleen Holdings, LLC & c/o County Beer & Liquor					Commercial	7
	Street Reconstruction	87.09	120.00 x Lin Ft	=	\$10,450.80	40.00		\$4,180.32
	120'x40% longside (MINERAL)							
							Total:	\$4,180.32



City of West Allis Engineering Department

Project Details P2522S

W. Mineral St.: S. 60 St. to S. 64 St.

Project ID	Address	Owner	Category	Value
439-0087-001	1000 S 64 ST	Loralaine A Skowronski	Residential	10
	Street Reconstruction	69.67	113.00 x Lin Ft =	\$7,872.71 40.00 \$3,149.08
	Reduction Code Longside 113'x40% longside (MINERAL)			
			Total:	\$3,149.08
439-0075-000	1001 S 63 ST	Noe Perez & Martha Perez	Residential	11
	Street Reconstruction	69.67	113.00 x Lin Ft =	\$7,872.71 40.00 \$3,149.08
	Reduction Code Longside 113'x40% longside (MINERAL)			
	Street Reconstruction	69.67	11.60 x Lin Ft =	\$808.17 100.00 \$808.17
	11.6' (63rd)			
			Total:	\$3,957.25
439-0074-000	1000 S 63 ST	Christopher Mesko	Residential	12
	Street Reconstruction	69.67	113.00 x Lin Ft =	\$7,872.71 40.00 \$3,149.08
	Reduction Code Longside 113'x40% longside (MINERAL)			
	Street Reconstruction	69.67	11.60 x Lin Ft =	\$808.17 100.00 \$808.17
	11.6' (63rd)			
			Total:	\$3,957.25
439-0062-000	1001 S 62 ST	Steven Q Wittlief	Residential	13
	Street Reconstruction	69.67	113.00 x Lin Ft =	\$7,872.71 40.00 \$3,149.08
	Reduction Code Longside 113'x40% longside (MINERAL)			
	Street Reconstruction	69.67	14.10 x Lin Ft =	\$982.35 100.00 \$982.35
	14.1' (62nd)			
	Driveway Approach 7" Concrete Approach	8.70	133.00 x Sq Ft =	\$1,157.10 100.00 \$1,157.10
			Total:	\$5,288.53



City of West Allis Engineering Department

Project Details P2522S

W. Mineral St.: S. 60 St. to S. 64 St.

Parcel ID	Address	Owner	Area	Unit	Rate	Value	Category	Count
439-0038-000	1000 S 62 ST	Jennifer Ann Frolow					Residential	14
	Street Reconstruction		69.67	125.89 x Lin Ft	=	\$8,770.76	40.00	\$3,508.30
	Reduction Code Longside 125.89'x40% longside (MINERAL)							
	Street Reconstruction		69.67	14.10 x Lin Ft	=	\$982.35	100.00	\$982.35
	14.1' (62nd)							
	Driveway Approach 7" Concrete Approach		8.70	148.00 x Sq Ft	=	\$1,287.60	100.00	\$1,287.60
							Total:	\$5,778.25
439-0026-000	1001 S 61 ST	Christopher Michael Caponi, Jr & Kristen Skellwies Ca					Residential	16
	Street Reconstruction		69.67	125.89 x Lin Ft	=	\$8,770.76	40.00	\$3,508.30
	125.89'x40% longside (MINERAL)							
	Street Reconstruction		69.67	14.80 x Lin Ft	=	\$1,031.12	100.00	\$1,031.12
	14.8' (61st)							
	Driveway Approach 7" Concrete Approach		8.70	155.00 x Sq Ft	=	\$1,348.50	100.00	\$1,348.50
							Total:	\$5,887.92
439-0025-002	1000 S 61 ST	Anderson Family Legacy Trust					Residential	18
	Street Reconstruction		69.67	125.89 x Lin Ft	=	\$8,770.76	40.00	\$3,508.30
	Reduction Code Longside 125.89'x40% longside (MINERAL)							
	Street Reconstruction		69.67	14.80 x Lin Ft	=	\$1,031.12	100.00	\$1,031.12
	14.8' (61st)							
							Total:	\$4,539.42
439-0015-000	1003-05 S 60 ST	60th Street Rental LLC					Commercial	19
	Street Reconstruction		87.09	121.90 x Lin Ft	=	\$10,616.27	40.00	\$4,246.51
	Reduction Code Longside 121.9'x40% longside (MINERAL)							
							Total:	\$4,246.51



City of West Allis Engineering Department

Project Details P2522S

W. Mineral St.: S. 60 St. to S. 64 St.

Property Type Summary

3	Commercial
12	Residential

Item Summary

	Total Quantity		Gross Total	Net Total
Driveway Approach				
7" Concrete Approach				
Residential	876.00	Sq Ft	\$7,621.20	\$7,621.20
			<u>\$7,621.20</u>	<u>\$7,621.20</u>
Street				
Reconstruction				
Commercial	525.25	Lin Ft	\$45,744.02	\$32,309.52
Residential	1,669.15	Lin Ft	\$116,289.71	\$56,368.58
			<u>\$162,033.73</u>	<u>\$88,678.10</u>
Grand Totals			\$169,654.93	\$96,299.30



City of West Allis Engineering Department

Project Details P2527S

S. 91st St.: W. Rogers St.to Dead End

Property Assessments

Property ID	Address	Assessor	Category	Count
478-0183-000	1973-1975 S 91 ST	Stacy M Linscott	Residential	1
Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20 100.00 \$4,180.20
			Total:	\$4,180.20
478-0182-000	1963 S 91 ST	Gabriel F Serafin & Lisa C Serafin	Residential	2
Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20 100.00 \$4,180.20
Driveway Approach 7" Concrete Approach	8.70	84.00 x Sq Ft	=	\$730.80 100.00 \$730.80
			Total:	\$4,911.00
478-0181-000	1955 S 91 ST	Austin Freeck	Residential	4
Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20 100.00 \$4,180.20
Driveway Approach 7" Concrete Approach	8.70	78.00 x Sq Ft	=	\$678.60 100.00 \$678.60
			Total:	\$4,858.80
478-0180-000	1949 S 91 ST	Daniel W Doering	Residential	5
Street Reconstruction	69.67	45.00 x Lin Ft	=	\$3,135.15 100.00 \$3,135.15
Driveway Approach 7" Concrete Approach	8.70	80.00 x Sq Ft	=	\$696.00 100.00 \$696.00
			Total:	\$3,831.15
478-0179-000	1945 S 91 ST	Christopher P Novak & Jodi L Novak	Residential	6
Street Reconstruction	69.67	37.50 x Lin Ft	=	\$2,612.63 100.00 \$2,612.63
Driveway Approach 7" Concrete Approach	8.70	74.00 x Sq Ft	=	\$643.80 100.00 \$643.80
			Total:	\$3,256.43
478-0178-000	1939 S 91 ST	Benjiman Herbert	Residential	8
Street Reconstruction	69.67	38.00 x Lin Ft	=	\$2,647.46 100.00 \$2,647.46
Driveway Approach 7" Concrete Approach	8.70	71.00 x Sq Ft	=	\$617.70 100.00 \$617.70
			Total:	\$3,265.16



City of West Allis Engineering Department

Project Details P2527S

S. 91st St.: W. Rogers St.to Dead End

478-0177-002	1935-1937 S 91 ST	Juanita Karow					Residential	10
	Street Reconstruction	69.67	38.00 x Lin Ft	=	\$2,647.46	100.00		\$2,647.46
	Driveway Approach 7" Concrete Approach	8.70	79.00 x Sq Ft	=	\$687.30	100.00		\$687.30
							Total:	\$3,334.76
478-0177-001	1929-1931 S 91 ST	Anthony Orlando & Connie Orlando					Residential	12
	Street Reconstruction	69.67	37.00 x Lin Ft	=	\$2,577.79	100.00		\$2,577.79
	Driveway Approach 7" Concrete Approach	8.70	79.00 x Sq Ft	=	\$687.30	100.00		\$687.30
							Total:	\$3,265.09
478-0176-000	1921 S 91 ST	Daniel W Kirchner & Jill Kirchner					Residential	14
	Street Reconstruction	69.67	75.00 x Lin Ft	=	\$5,225.25	100.00		\$5,225.25
	Driveway Approach 7" Concrete Approach	8.70	83.00 x Sq Ft	=	\$722.10	100.00		\$722.10
							Total:	\$5,947.35
478-0175-000	1913 S 91 ST	Thang Aung					Residential	16
	Street Reconstruction	69.67	45.00 x Lin Ft	=	\$3,135.15	100.00		\$3,135.15
	Driveway Approach 7" Concrete Approach	8.70	74.00 x Sq Ft	=	\$643.80	100.00		\$643.80
							Total:	\$3,778.95
478-0174-000	1907-1909 S 91 ST	Clifford Hale, III & Teri Hale					Residential	18
	Street Reconstruction	69.67	45.00 x Lin Ft	=	\$3,135.15	100.00		\$3,135.15
	Driveway Approach 7" Concrete Approach	8.70	81.00 x Sq Ft	=	\$704.70	100.00		\$704.70
							Total:	\$3,839.85
478-0173-000	1903 S 91 ST	Kyle Brink & Nina Elia					Residential	20
	Street Reconstruction	69.67	43.00 x Lin Ft	=	\$2,995.81	100.00		\$2,995.81
	Driveway Approach 7" Concrete Approach	8.70	82.00 x Sq Ft	=	\$713.40	100.00		\$713.40
							Total:	\$3,709.21
478-0162-001	1974-1976 S 91 ST	Brett R Pfarr					Residential	78
	Street Reconstruction	69.67	30.00 x Lin Ft	=	\$2,090.10	100.00		\$2,090.10
							Total:	\$2,090.10



City of West Allis Engineering Department

Project Details P2527S

S. 91st St.: W. Rogers St.to Dead End

478-0162-002	1970 S 91 ST	Dawn I Goodman					Residential	80
Street Reconstruction		69.67	30.00 x Lin Ft	=	\$2,090.10	100.00		\$2,090.10
							Total:	\$2,090.10
478-0163-000	1964 S 91 ST	Sean Daane & Allison Daane					Residential	82
Street Reconstruction		69.67	60.00 x Lin Ft	=	\$4,180.20	100.00		\$4,180.20
Driveway Approach 7" Concrete Approach		8.70	80.00 x Sq Ft	=	\$696.00	100.00		\$696.00
							Total:	\$4,876.20
478-0164-000	1954 S 91 ST	Lester P And/Or Sharon L Walenta Liv Trust					Residential	84
Street Reconstruction		69.67	60.00 x Lin Ft	=	\$4,180.20	100.00		\$4,180.20
Driveway Approach 7" Concrete Approach		8.70	84.00 x Sq Ft	=	\$730.80	100.00		\$730.80
							Total:	\$4,911.00
478-0165-000	1946 S 91 ST	Richard J Schmid, Jr					Residential	86
Street Reconstruction		69.67	60.00 x Lin Ft	=	\$4,180.20	100.00		\$4,180.20
Driveway Approach 7" Concrete Approach		8.70	93.00 x Sq Ft	=	\$809.10	100.00		\$809.10
							Total:	\$4,989.30
478-0166-000	1940 S 91 ST	David S Whitted & Theresa M Whitted					Residential	88
Street Reconstruction		69.67	60.00 x Lin Ft	=	\$4,180.20	100.00		\$4,180.20
Driveway Approach 7" Concrete Approach		8.70	84.00 x Sq Ft	=	\$730.80	100.00		\$730.80
							Total:	\$4,911.00
478-0167-000	1930 S 91 ST	Ranger Investments LLC					Commercial	90
Street Reconstruction		87.09	75.00 x Lin Ft	=	\$6,531.75	100.00		\$6,531.75
Driveway Approach 7" Concrete Approach		8.70	87.00 x Sq Ft	=	\$756.90	100.00		\$756.90
							Total:	\$7,288.65
478-0168-000	1922 S 91 ST	Leslie H Ballard & Genevieve M Ballard					Residential	92
Street Reconstruction		69.67	45.00 x Lin Ft	=	\$3,135.15	100.00		\$3,135.15
Driveway Approach 7" Concrete Approach		8.70	82.00 x Sq Ft	=	\$713.40	100.00		\$713.40
							Total:	\$3,848.55



City of West Allis Engineering Department

Project Details P2527S

S. 91st St.: W. Rogers St.to Dead End

478-0169-000	1918 S 91 ST	Deborah A Korsmo				Residential	94
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	87.00 x Sq Ft	=	\$756.90	100.00	\$756.90
						Total:	\$3,543.70
478-0170-000	1912 S 91 ST	Norton 91, LLC				Residential	96
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	84.00 x Sq Ft	=	\$730.80	100.00	\$730.80
						Total:	\$3,517.60
478-0171-000	1906 S 91 ST	Alice Ripple				Residential	98
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	77.00 x Sq Ft	=	\$669.90	100.00	\$669.90
						Total:	\$3,456.70
478-0172-000	1902 S 91 ST	Robert C Ross, Jr				Residential	100
	Street Reconstruction	69.67	42.00 x Lin Ft	=	\$2,926.14	100.00	\$2,926.14
	Driveway Approach 7" Concrete Approach	8.70	87.00 x Sq Ft	=	\$756.90	100.00	\$756.90
						Total:	\$3,683.04

Property Type Summary

1	Commercial
23	Residential



City of West Allis Engineering Department

Project Details P2527S

S. 91st St.: W. Rogers St. to Dead End

Item Summary

	Total Quantity		Gross Total	Net Total
Driveway Approach				
7" Concrete Approach				
Commercial	87.00	Sq Ft	\$756.90	\$756.90
Residential	1,623.00	Sq Ft	\$14,120.10	\$14,120.10
			<u>\$14,877.00</u>	<u>\$14,877.00</u>
Street				
Reconstruction				
Commercial	75.00	Lin Ft	\$6,531.75	\$6,531.75
Residential	1,090.50	Lin Ft	\$75,975.14	\$75,975.14
			<u>\$82,506.89</u>	<u>\$82,506.89</u>
Grand Totals			\$97,383.89	\$97,383.89



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

Property Assessments

Assessment ID	Address	Owner	Category	Count
477-0480-000	8217-31 W BECHER ST	Stryewa, LLC	Commercial	1
Street Reconstruction		87.09	34.40 x Lin Ft	= \$2,995.90 100.00 \$2,995.90
			Total:	\$2,995.90
477-0481-000	2106 S 83 ST	Catherine C Cole	Residential	20
Street Reconstruction		69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
Driveway Approach 7" Concrete Approach		8.70	86.00 x Sq Ft	= \$748.20 100.00 \$748.20
			Total:	\$3,535.00
477-0482-000	2110 S 83 ST	Gregg J Schmitz	Residential	30
Street Reconstruction		69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
Driveway Approach 7" Concrete Approach		8.70	61.00 x Sq Ft	= \$530.70 100.00 \$530.70
			Total:	\$3,317.50
477-0483-000	2118 S 83 ST	Benjamin J Ziebart	Residential	40
Street Reconstruction		69.67	70.00 x Lin Ft	= \$4,876.90 100.00 \$4,876.90
Driveway Approach 7" Concrete Approach		8.70	64.50 x Sq Ft	= \$561.15 100.00 \$561.15
			Total:	\$5,438.05
477-0484-000	2124 S 83 ST	Andrew J Muhar	Residential	50
Street Reconstruction		69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
Driveway Approach 7" Concrete Approach		8.70	82.00 x Sq Ft	= \$713.40 100.00 \$713.40
			Total:	\$3,500.20
477-0485-000	2130-32 S 83 ST	Brittain Brothers LLC	Residential	60
Street Reconstruction		69.67	40.00 x Lin Ft	= \$2,786.80 100.00 \$2,786.80
Driveway Approach 7" Concrete Approach		8.70	87.50 x Sq Ft	= \$761.25 100.00 \$761.25
			Total:	\$3,548.05



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

477-0486-000	2134 S 83 ST	Ernesto Gonzalez				Residential	70
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	85.50 x Sq Ft	=	\$743.85	100.00	\$743.85
						Total:	\$3,530.65
477-0487-000	2140-42 S 83 ST	Phillip James Breske & Mariah Drew Breske				Residential	80
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	79.50 x Sq Ft	=	\$691.65	100.00	\$691.65
						Total:	\$3,478.45
477-0488-000	2144 S 83 ST	Patricia G Koch				Residential	90
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	88.00 x Sq Ft	=	\$765.60	100.00	\$765.60
						Total:	\$3,552.40
477-0489-000	2150-52 S 83 ST	Kyle Jensen				Residential	100
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	82.00 x Sq Ft	=	\$713.40	100.00	\$713.40
						Total:	\$3,500.20
477-0490-000	2154 S 83 ST	Corey D Barksdale & Catherine A Barksdale				Residential	110
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	81.50 x Sq Ft	=	\$709.05	100.00	\$709.05
						Total:	\$3,495.85
477-0491-000	2158-60 S 83 ST	Erik P Peterson				Residential	120
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	77.00 x Sq Ft	=	\$669.90	100.00	\$669.90
						Total:	\$3,456.70



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

477-0492-000	2164-66 S 83 ST	Michael Bauer & Victoria Bauer				Residential	130
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	75.50 x Sq Ft	=	\$656.85	100.00	\$656.85
						Total:	\$3,443.65
477-0493-000	2170 S 83 ST	Christopher Lee Blanchard				Residential	140
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	76.00 x Sq Ft	=	\$661.20	100.00	\$661.20
						Total:	\$3,448.00
477-0494-000	2174-76 S 83 ST	Kelly Cesarz				Residential	150
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	76.50 x Sq Ft	=	\$665.55	100.00	\$665.55
						Total:	\$3,452.35
477-0495-000	2178 S 83 ST	Third Round Holdings, LLC				Residential	160
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	84.00 x Sq Ft	=	\$730.80	100.00	\$730.80
						Total:	\$3,517.60
477-0496-000	2184 S 83 ST	Merle J Hodkiewicz				Residential	170
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	87.00 x Sq Ft	=	\$756.90	100.00	\$756.90
						Total:	\$3,543.70
477-0497-000	2188 S 83 ST	Justin D Robers & Brittany L Gacek				Residential	180
	Street Reconstruction	69.67	40.00 x	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	82.50 x Sq Ft	=	\$717.75	100.00	\$717.75
						Total:	\$3,504.55
477-0498-000	2196 S 83 ST	Wade V Register				Residential	190
	Street Reconstruction	69.67	50.19 x Lin Ft	=	\$3,496.74	100.00	\$3,496.74
						Total:	\$3,496.74



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

477-0500-000	2107 S 83 ST	Peter J Kieturkus				Residential	200
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	79.00 x Sq Ft	=	\$687.30	100.00	\$687.30
						Total:	\$3,474.10
477-0501-000	2113 S 83 ST	Elizabeth L Joseph				Residential	210
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	76.50 x Sq Ft	=	\$665.55	100.00	\$665.55
						Total:	\$3,452.35
477-0502-000	2117 S 83 ST	David J Tremaine & Jenni L Tremaine				Residential	220
	Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20	100.00	\$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	72.50 x Sq Ft	=	\$630.75	100.00	\$630.75
						Total:	\$4,810.95
477-0503-000	2125 S 83 ST	Matthew J Crubel				Residential	230
	Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20	100.00	\$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	79.50 x Sq Ft	=	\$691.65	100.00	\$691.65
						Total:	\$4,871.85
477-0504-000	2131-33 S 83 ST	Francisco Duchicela & Johdi Tzoref				Residential	240
	Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20	100.00	\$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	72.50 x Sq Ft	=	\$630.75	100.00	\$630.75
						Total:	\$4,810.95
477-0505-000	2141 S 83 ST	Tonia R Stavedahl				Residential	250
	Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20	100.00	\$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	83.00 x Sq Ft	=	\$722.10	100.00	\$722.10
						Total:	\$4,902.30



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

477-0506-000	2149-51 S 83 ST	Aaron H Huebner				Residential	260
	Street Reconstruction	69.67	60.00 x Lin Ft	=	\$4,180.20	100.00	\$4,180.20
	Driveway Approach 7" Concrete Approach	8.70	74.50 x Sq Ft	=	\$648.15	100.00	\$648.15
						Total:	\$4,828.35
477-0507-000	2155-57 S 83 ST	Maria Fernanda Arias				Residential	270
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	95.00 x Sq Ft	=	\$826.50	100.00	\$826.50
						Total:	\$3,613.30
477-0508-000	2159-61 S 83 ST	Ryan M Malin				Residential	280
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	74.50 x Sq Ft	=	\$648.15	100.00	\$648.15
						Total:	\$3,434.95
477-0509-000	2165 S 83 ST	Jennifer James				Residential	290
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	70.50 x Sq Ft	=	\$613.35	100.00	\$613.35
						Total:	\$3,400.15
477-0510-000	2171-73 S 83 ST	Kevin Anderson & Valerie Anderson				Residential	300
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	74.50 x Sq Ft	=	\$648.15	100.00	\$648.15
						Total:	\$3,434.95
477-0511-000	2175-77 S 83 ST	2175-2177 S 83rd, LLC				Residential	310
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	40.00 x Sq Ft	=	\$348.00	100.00	\$348.00
						Total:	\$3,134.80



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

477-0512-000	2179-81 S 83 ST	Christopher R Kipp				Residential	320
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	78.00 x Sq Ft	=	\$678.60	100.00	\$678.60
						Total:	\$3,465.40
477-0513-000	2185 S 83 ST	James Rauth & Jacquelynn Rauth				Residential	330
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	68.50 x Sq Ft	=	\$595.95	100.00	\$595.95
						Total:	\$3,382.75
477-0514-000	2189-91 S 83 ST	Alan C Winter & Patricia J Walbert				Residential	340
	Street Reconstruction	69.67	40.00 x Lin Ft	=	\$2,786.80	100.00	\$2,786.80
	Driveway Approach 7" Concrete Approach	8.70	66.00 x Sq Ft	=	\$574.20	100.00	\$574.20
						Total:	\$3,361.00
477-0515-000	2195 S 83 ST	Thomas J Pillar & Gregory D Pillar				Residential	350
	Street Reconstruction	69.67	50.48 x Lin Ft	=	\$3,516.94	100.00	\$3,516.94
						Total:	\$3,516.94
477-0499-000	8303-05-07 W BECHER ST	Chybowski Properties, LLC				Commercial	370
	Street Reconstruction	87.09	45.30 x Lin Ft	=	\$3,945.18	100.00	\$3,945.18
	Driveway Approach 7" Concrete Approach	8.70	69.00 x Sq Ft	=	\$600.30	100.00	\$600.30
						Total:	\$4,545.48

Property Type Summary

2	Commercial
34	Residential



City of West Allis Engineering Department

Project Details P2528S

S. 83 St.: W. Grant St. to W. Becher St.

Item Summary

	Total Quantity		Gross Total	Net Total
Driveway Approach				
7" Concrete Approach				
Commercial	69.00	Sq Ft	\$600.30	\$600.30
Residential	2,460.50	Sq Ft	\$21,406.35	\$21,406.35
			<u>\$22,006.65</u>	<u>\$22,006.65</u>
Street				
Reconstruction				
Residential	40.00		\$2,786.80	\$2,786.80
Commercial	79.70	Lin Ft	\$6,941.08	\$6,941.08
Residential	1,470.67	Lin Ft	\$102,461.58	\$102,461.58
			<u>\$112,189.46</u>	<u>\$112,189.46</u>
Grand Totals			\$134,196.11	\$134,196.11



**CITY OF WEST ALLIS
NOTICE OF PUBLIC HEARING
February 11, 2025 at 7:00PM**

«MailingName1»
«MailingName2»
«MailingAddress1»
«MailingCSZ»

NOTICE IS HEREBY GIVEN that the Common Council of the City of West Allis will conduct a Public Hearing on February 11, 2025 at 7:00PM, or soon thereafter in the Common Council Chambers at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis, Wisconsin on the following:

Conditional Use Permit for Toppers, a proposed restaurant use, at 11045 W National Ave.

Additional project information, comments, questions or concerns can be addressed by emailing planning@westalliswi.gov or calling 414.302.8460. You may express your opinion prior to the meeting in writing by emailing clerk@westalliswi.gov, or in person at the public hearing at the above date, time and location.

NONDISCRIMINATION STATEMENT: The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE: Upon reasonable notice, the City will furnish appropriate auxiliary aids and services, when necessary, to afford individuals with disabilities an equal opportunity to participate in and enjoy benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT: It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.

Conditional Use Permit for Toppers Pizza, a proposed Restaurant, at 11045 W. National Ave.



Legend

- Parcel
- Structure
- Project Area

CITY OF WEST ALLIS NOTICE OF PUBLIC HEARING. NOTICE IS HEREBY GIVEN that the Common Council of the City of West Allis will conduct a Public Hearing on February 11, 2025 at 7:00PM, or soon thereafter in the Common Council Chambers at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis, Wisconsin for a Conditional Use Permit for Hidden Lofts, a proposed 5+ Unit Dwelling, at 3000 Block S. 108th St. (Tax Key No. 520-1011-001) Additional project information, comments, questions or concerns can be addressed by emailing planning@westalliswi.gov or calling 414.302.8460. You may express your opinion prior to the meeting in writing by emailing clerk@westalliswi.gov, or in person at the public hearing at the above date, time and location. Dated this January 14, 2025. Rebecca Grill, City Clerk. Publish as a Class II Legal Notice in the Daily Reporter on January 24, 2025 and January 31, 2025. Legistar File 2025-0041.

City of West Allis • 7525 West Greenfield Avenue • West Allis, WI 53214 • www.westalliswi.gov



**CITY OF WEST ALLIS
NOTICE OF PUBLIC HEARING
February 11, 2025 at 7:00PM**

«MailingName1»
«MailingName2»
«MailingAddress1»
«MailingCSZ»

NOTICE IS HEREBY GIVEN that the Common Council of the City of West Allis will conduct a Public Hearing on February 11, 2025 at 7:00PM, or soon thereafter in the Common Council Chambers at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis, Wisconsin on the following:

**Conditional Use Permit for CD One Price Cleaners, a proposed Dry Cleaning use, at
2367 S. 108 St.**

Additional project information, comments, questions or concerns can be addressed by emailing planning@westalliswi.gov or calling 414.302.8460. You may express your opinion prior to the meeting in writing by emailing clerk@westalliswi.gov, or in person at the public hearing at the above date, time and location.

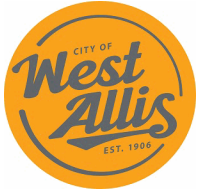
NONDISCRIMINATION STATEMENT: The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE: Upon reasonable notice, the City will furnish appropriate auxiliary aids and services, when necessary, to afford individuals with disabilities an equal opportunity to participate in and enjoy benefits of a service, program or activity provided by the City.

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Conditional Use Permit for CD One Price Cleaners, a proposed Dry Cleaning use at 2367 S. 108 St.





City of West Allis Meeting Minutes Common Council

Mayor Dan Devine, Chair

*Alderspersons: Suzzette Grisham, Kimberlee Grob, Kevin Haass,
Chad Halvorsen, Danna Kuehn, Patty Novak, Marissa Nowling,
Daniel J. Roadt, Ray Turner and Martin J. Weigel*

Tuesday, January 28, 2025

5:00 PM

Meeting ID: 216 026 118 483

Passcode: d9NK3ey6

Dial in by phone

+1 414-939-6451,,687981597#

Phone conference ID: 687 981 597#

SPECIAL VIRTUAL MEETING

A. CALL TO ORDER

Mayor Devine called the meeting to order at 5:00 p.m.

B. ROLL CALL

Present 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

C. APPROVAL OF MINUTES

1. [2025-0048](#) January 14, 2025 Common Council Minutes.

Ald. Haass moved to approve, Ald. Turner seconded, motion carried.

D. STANDING COMMITTEE REPORTS

None.

E. NEW AND PREVIOUS MATTERS

2. [R-2025-0041](#) Resolution to amend recruitment and candidate selection process for managerial/executive level positions.

Ald. Kuehn moved to adopt, Ald. Novak seconded, motion carried with the following roll call vote:

Aye: 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

No: 0

3. [R-2025-0052](#) Resolution approving the Purchase and Sales agreement, Development agreement, and Development Finance agreement for the sale and redevelopment of land between the Community Development Authority of the City of West Allis, the City of West Allis, and Makers Row QOZB, LLC.

Ald. Haass moved to adopt, Ald. Weigel seconded, motion carried with the following roll call vote:

Aye: 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

No: 0

- 4. [R-2025-0054](#) Resolution authorizing the submission of an Entrepreneurship Partner Grant application to Wisconsin Economic Development Corporation (WEDC) to support Economic development to support efforts in growing entrepreneurship and business growth in the city.

Ald. Kuehn moved to adopt, Ald. Nowling seconded, motion carried with the following roll call vote:

Aye: 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

No: 0

- 5. [2025-0057](#) Veto of the Conditional Use Permit for The Emerald, a proposed Event Space (5,000 or more sq. ft.), at 7546 W. Greenfield Ave.

Ald. Haass moved to hold until the February 11, 2025 Council meeting, Ald. Nowling seconded, motion carried with the following roll call vote:

Aye: 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

No: 0

- 6. [2024-1143](#) Conditional Use Permit for The Emerald, a proposed Event Space (5,000 or more sq. ft.), at 7546 W. Greenfield Ave.

Ald. Haass moved to hold until the February 11, 2025 Council meeting, Ald. Nowling seconded, motion carried with the following roll call vote:

Aye: 10 - Ald. Grisham, Ald. Grob, Ald. Haass, Ald. Halvorsen, Ald. Kuehn, Ald. Novak, Ald. Nowling, Ald. Roadt, Ald. Turner, Ald. Weigel

No: 0

F. ADJOURNMENT

Ald. Haass moved to adjourn at 5:15 p.m., Ald. Grisham seconded, motion carried.

Next scheduled meeting is February 11, 2025 at 7:00 p.m.



All meetings of the Common Council are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.

Type of Permit: *Seasonal Labor Day to Memorial Day Weekend- Alcohol and Entertainment (includes music)*
Record Number: *TEMP-25-1*

Business Name: *Paulie's Pub & Eatery*

Date submitted: *January 23, 2025*

Location: *8031 W. Greenfield Ave.*

Applicant: *KristineM Budiak*

Current Class B License Number: *ALC-22-99*

Requested Start Date: *May 23, 2025*

Requested End Date: *September 30, 2025*

Additional Date Information: *Since the weather in September has been so pleasant, and we have everything we need rented already, we are requesting an extra month. This also gives us more flexibility to host any fundraisers or other events that might be planned on short notice.*

Sunday Times: *10AM - 8PM*

Monday Times: *10AM - 8PM*

Tuesday Times: *N/A*

Wednesday Times: *N/A*

Thursday Times: *N/A*

Friday Times: *10AM - 10PM*

Saturday Times: *10AM - 10PM*

Additional Hours Information, if any: *Requesting a Special Condition: the extension would allow for events on 09/06/2025, 09/07/2025, 09/13/2025, 09/14/2025, 09/20/2025 & 09/21/2025. Saturday hours are 10am-10pm & Sunday hours are 10am-8pm. This time span includes time for setup and takedown. This was granted in 2024.*

Description of Requested Area: *The parking lot. See attached drawing for more details.*

Type of Entertainment Requested, if any:

Live Bands outside.



City Clerk
clerk@westalliswi.gov

January 30, 2025

Kristine Budiak
1542 S 80th St
West Allis, WI 53214

RE: Public Safety Committee Application Review

Dear Kristine:

Your application is scheduled for a televised hearing before the Public Safety Committee on: **February 3, 2025 at 5:00 pm in Room 128 at City of West Allis, City Hall, 7525 W. Greenfield Avenue, West Allis.**

If you fail to appear your application could be denied. If your license is denied, you will have to wait six months from the date of denial to reapply.

Please park in the parking lot on the south side of the building. After entering the building, walk straight back to the Common Council Chambers. When the Common Council begins their recess meetings (sometime after 7PM), you will then go to Room 128.

If you have questions, please email clerk@westalliswi.gov.

Common Council for the recess meeting on January 14, 2024 at 7:00 p.m., or as soon thereafter as the matter may be called, in Room 128, of the West Allis City Hall located at 7525 W. Greenfield Avenue in the City of West Allis, or as soon thereafter as this matter can be heard, to admit or deny the allegations in the complaint. You may be represented by counsel on this date.

In the case of your failure to appear as required by this summons, the allegations in the complaint against you shall be taken as true and, if the Public Safety Committee of the West Allis Common Council finds the allegations sufficient, a recommendation that your license(s) be suspended or revoked will be made to the full Common Council. The Common Council may then vote to suspend or revoke your license(s).

You are further notified that if you appear as required by this summons and contest the allegations in the complaint, a hearing will be scheduled at a later date before the Public Safety Committee, at which time you may be represented by counsel, cross examine the witnesses who testify adversely against you, and present witnesses in your own behalf. A written transcript of said hearing shall be made and you may obtain a copy of the transcript of this proceeding at your expense.

Dated at West Allis, Wisconsin, this 9th day of January, 2025.

WEST ALLIS COMMON COUNCIL

By: Rebecca N. Grill
Rebecca Grill
City Administrator and City Clerk

located at 1357 S 76th Street, State of Wisconsin, for the license period running July 1, 2024 to June 30, 2025.

4. That Rupinderjit Singh is the agent appointed pursuant to Wis. Stat. § 125.04(6)(a) for license number ALC-23-23.

Incidents Subject to Complaint

Count 1: July 30, 2024

5. That on July 30, 2024, the West Allis Police Department conducted alcohol compliance checks at several alcohol licensed establishments within the City. West Allis Police Officer Ryan Schultz was the lead officer involved.
6. The police department worked with a 20-year-old male identified by initials N.A.S. (d.o.b. 01/08/2004) to aid their investigation. N.A.S. was instructed to purchase an alcoholic beverage at each business.
7. N.A.S. entered the Super Bottle store and purchased an alcoholic beverage from the lone employee without showing identification while he was under 21 years old.
8. The lone employee, Tarunbir Singh, confirmed to Officer Schultz that the transaction occurred and that he did not ask N.A.S. for identification and advised he was a part owner of the store.

Count 2: November 11, 2024

9. That on November 11, 2024, the West Allis Police Department conducted alcohol compliance checks at several alcohol licensed establishments within the City. West Allis Police Officer Kevyn Mussatti was the lead officer involved.

10. The police department worked with an 18-year-old female identified by initials D.R.M. (DOB 09/02/2006) to aid their investigation. D.R.M. was instructed to attempt to purchase an alcoholic beverage at each business.
11. D.R.M. entered the Super Bottle store and purchased an alcoholic beverage from the lone employee without showing identification while she was under 21 years old.
12. The lone employee, Rupinderjit Singh, claimed that D.R.M. was a regular at the business. D.R.M. had never been a customer of Super Bottle prior to this date.

Violations of State Law and Local Code

13. That the Class "A" fermented malt beverage license and Class "A" intoxicating liquor license issued to Super Bottle LLC is subject to suspension or revocation pursuant to the provision of West Allis Code §§ 9.51 and 9.60(5) and Wis. Stat. § 125.12(2)(ag)1 regarding a licensee improperly selling, vending, dealing, or trafficking alcohol to an underage person not accompanied by a parent, guardian, or spouse who has attained the legal drinking age in violation Wis. Stat. § 125.07(1)(a)2 found in counts 1 and 2.¹

WHEREFORE, Officer Carrie Novinska requests that the licensee named herein, Super Bottle LLC, by licensing agent Rupinderjit Singh, be summoned to appear before the Public Safety Committee of the West Allis Common Council to answer this complaint and, if the material allegations of the complaint are denied, that a hearing be held to determine whether the licenses and permits issued to Super Bottle LLC should be revoked or suspended.

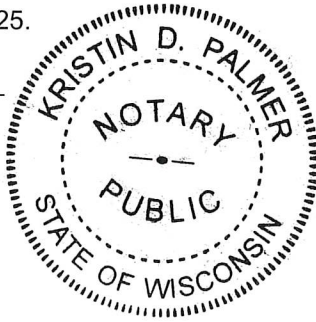
¹ Wis. Stat. § 125.12(1)(b)2 mandates that no violation for service to an underage individual may be considered unless the licensee or permittee has committed another violation within one year preceding the violation. If the licensee or permittee has committed two or more violations within one year, all violations committed within one year may be considered.

Dated this 9th day of January, 2025.

By: Carrie Novinska
City of West Allis Police Department

Subscribed and sworn to before me
this 9th day of January, 2025.

Kristin D. Palmer
(Name) Kristin D. Palmer
Notary Public, State of Wisconsin
My Commission expires: 12/13/27



AFFIDAVIT OF SERVICE

State of Wisconsin)

: ss

Milwaukee County)

I, Sydney Wilcox, being first duly sworn on oath, state that I am an employee of the City of West Allis and not a named party of this action.

I hereby swear that on:

DATE: 01/09/25

TIME: 9:55 AM

LOCATION: Super Bottle, 1357 S. 76th St, West Allis, WI 53214

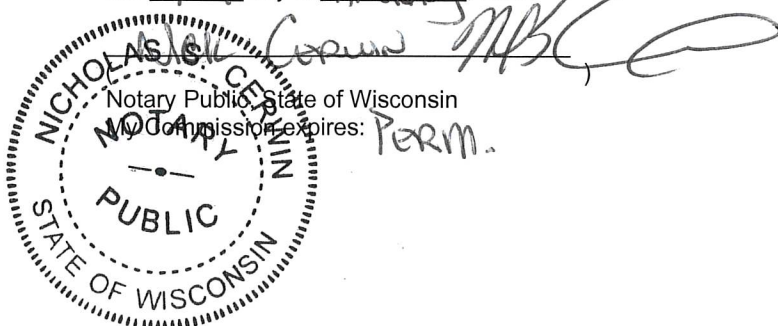
I have hand delivered a copy of the attached "SUMMONS" and "COMPLAINT" dated January 9, 2025, to:

Jarunbir Singh
Name

Son of Owner/Employee
Title

Sydney Wilcox
Affiant Name: Sydney J Wilcox
Title: Legal Intern

Subscribed and sworn to before me
this 9th day of January, 2025.



**WEST ALLIS COMMON COUNCIL
PUBLIC SAFETY COMMITTEE
CITY OF WEST ALLIS**

**In the Matter of the
Complaint Against**

**FINDINGS OF FACT, CONCLUSIONS OF
LAW, AND RECOMMENDATION**

**Super Bottle LLC
D/B/A Super Bottle**

**Premises Location:
1357 S. 76th Street
West Allis, WI 53214**

Agent: Rupinderjit Singh

**STATE OF WISCONSIN)
) ss.
COUNTY OF MILWAUKEE)**

Upon consideration of the complaint presented at the Public Safety Committee on January 14, 2025, and the admissions made by the licensing agent, Rupinderjit Singh , on January 14, 2025, and February 3, 2025, the Committee finds the following:

FINDINGS OF FACT:

1. That Super Bottle LLC, doing business as Super Bottle, holds a Class “A” fermented malt beverage license and a Class “A” intoxicating liquor license, combined under license number ALC-23-23, for the premises located at 1357 S. 76th Street in the City of West Allis, for the license period running from July 1, 2024, to June 30, 2025.
2. That Rupinderjit Singh is the agent appointed pursuant Wis. Stat. § 125.04(6)(a) for license number ALC-23-23.

3. That on January 9, 2025, Super Bottle LLC was served with a copy of the summons and complaint through corporate service at the primary business location of 1357 S. 76th Street in the City of West Allis. Super Bottle LLC, by licensing agent Rupinderjit Singh, subsequently appeared before the Public Safety Committee of the City of West Allis on January 14, 2025.
4. That on January 14, 2025, and subsequently on February 3, 2025, licensing agent Rupinderjit Singh did admit to the allegations in the complaint. On February 3, 2025, Rupinderjit Singh did provide further explanation for the mistakes and his daughter did provide updated information to the Committee related to remedial efforts.

CONCLUSIONS OF LAW

1. That Super Bottle LLC was properly served at least three (3) days and not more than ten (10) days before the licensee was commanded to appear and that service was accomplished in a manner provided under Wis. Stat. Ch. 801 for service in civil actions as commanded by Wis. Stat. 125.12(2)(ar).
2. That based upon the admissions by the licensee, the West Allis Public Safety Committee finds the allegations in the complaint to be substantially true including:
 - a. That the licensee had improperly sold, vended, dealt, or trafficked alcohol to an underage person not accompanied by a parent, guardian, or spouse who has attained the legal drinking age in violation of Wis. Stat. Sec. 125.07(1)(a)2 on July 30, 2024, and November 11, 2024.
3. That these conclusions by the Public Safety Committee form a sufficient basis, pursuant to Wis. Stat. § 125.12(2)(b)2 and WAMC §§ 9.51 and 9.60(5) to impose a

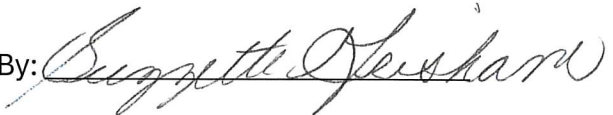
suspension of license ALC-23-23 of not less than 10 days nor more than 90 days or to revoke the license.

RECOMMENDATION

Therefore, the Public Safety Committee recommends to the Common Council of the City of West Allis that the 2024-2025 Class "A" fermented malt beverage license and a Class "A" intoxicating liquor license, combined under license number ALC-23-23, for the premises located at 1357 S. 76th Street in the City of West Allis and issued to Super Bottle LLC, be suspended for a total period of 10 consecutive days.

The recommendation of the Committee is that the suspension shall start at 9:00 AM on February 12, 2025, and will run each day consecutively until lifted on February 22, 2025, at 9:00 AM.

Dated this _____ of February 2025.

By: 

Aldersperson Suzzette Grisham
Acting Chair
License and Health Committee
West Allis Common Council

**CITY OF WEST ALLIS
RESOLUTION R-2025-0078**

**RESOLUTION HONORING AND COMMENDING REBECCA N. GRILL FOR HER
SERVICE AS CITY ADMINISTRATOR FOR THE CITY OF WEST ALLIS**

WHEREAS, Rebecca N. Grill has served as City Administrator for the City of West Allis for over 10 years, demonstrating exceptional leadership, dedication, and professionalism in overseeing the City's operations and strategic initiatives; and

WHEREAS, during her tenure, Rebecca played an instrumental role in modernizing municipal codes and policies, implementing innovative technology solutions, and ensuring fiscal responsibility while maintaining high-quality services for residents and businesses; and

WHEREAS, she successfully navigated complex budgetary challenges, balanced capital improvement demands, and safeguarded competitive employee compensation and benefits, all while prioritizing efficiency and accountability in local government; and

WHEREAS, under her leadership, the City of West Allis has seen significant advancements in transparency, operational effectiveness, and long-term strategic planning, benefiting both City employees and the community at large; and

WHEREAS, Rebecca's ability to collaborate with elected officials, department heads, and staff created an environment of strong governance, forward-thinking policy development, and a commitment to public service excellence; and

WHEREAS, her wisdom, professionalism, and dedication have earned her the respect and admiration of her colleagues, making a lasting impact on the City of West Allis and those who have had the privilege of working with her; and

WHEREAS, the City of West Allis now bids farewell to Rebecca as she embarks on her next chapter as City Manager for the City of Oshkosh, and while her presence will be greatly missed, her influence and leadership will endure;

NOW THEREFORE, BE IT RESOLVED, that the Common Council of the City of West Allis does hereby honor and commend Rebecca N. Grill for her decade of outstanding service as City Administrator, and extends its deepest appreciation for her dedication to the City; and

BE IT FURTHER RESOLVED, that the City of West Allis wishes Rebecca continued success and fulfillment in her new role, and that a suitably engrossed copy of this resolution be presented to her as a testament to her invaluable contributions.

SECTION 1: **ADOPTION** “R-2025-0078” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0078(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
ORDINANCE O-2025-0006**

**ORDINANCE TO AMEND SPEED LIMIT ON WEST CLEVELAND AVENUE
FROM SOUTH 108TH STREET TO SOUTH 124TH STREET**

AMENDING SECTION 10.02

WHEREAS, Wis. Stat. 346.57 and 349.11 allow local authorities to establish speed limits on highways within the City;

NOW THEREFORE, the common council of the City of West Allis do ordain as follows:

SECTION 1: **AMENDMENT** “10.02 Special Speed Limits” of the City Of West Allis Municipal Code is hereby *amended* as follows:

A M E N D M E N T

10.02 Special Speed Limits

1. In addition to complying with the speed restrictions in Section 10.01(1), no person shall drive a vehicle at a speed in excess of the limits hereinafter provided on the following designated streets:

- a. 40 MPH Zone.

South 108 Street from North City Limits to South City Limits
West Greenfield Avenue from South 116 Street to South 124 Street

- b. 35 MPH Zone.

South 76 Street from West Beloit Road to West Oklahoma Avenue
South 124 Street from West Cleveland Avenue to West Greenfield Avenue
West Cleveland Avenue from ~~Hale Creek Bridge~~ South 118 Street to South 124 Street
South Curtis Road from North City Limits to South 116 Street
West Greenfield Avenue from South 100 Street to South 116 Street
West Lincoln Avenue from South 102 Street to South 124 Street
West National Avenue from West Lincoln Avenue to West Oklahoma Avenue
West Oklahoma Avenue from East City Limits to South 124 Street

- c. 30 MPH Zone.

South 60 Street from North City Limits to South City Limits

South 68 Street from West Lincoln Avenue to West Arthur Avenue
South 70 Street from North City Limits to West Mitchell Street
South 76 Street from North City Limits to West Greenfield Avenue
South 76 Street from West Lincoln Avenue to West Beloit Road
South 84 Street from North City Limits to West Greenfield Avenue
South 84 Street from West Lincoln Avenue to West Oklahoma Avenue
South 92 Street from North City Limits to West Greenfield Avenue
South 92 Street from West Lincoln Avenue to West Oklahoma Avenue
South 102 Street from West Lincoln Avenue to West Oklahoma Avenue
South 116 Street from West Greenfield Avenue to West Lincoln Avenue
South 124 Street from West Morgan Avenue to West Cleveland Avenue
West Arthur Avenue from South 102 Street to South 108 Street
West Becher Place from West Burnham Street to West Becher Street
West Becher Street from West Becher Place to National Avenue
West Beloit Road from East City Limits to West Oklahoma Avenue
West Burnham Street from the East City Limits to West Becher Street
West Cleveland Avenue from East City Limits to South 76 Street
West Cleveland Avenue from South 84 Street to South ~~108~~ 118 Street
West Greenfield Avenue from East City Limits to South 70 Street
West Greenfield Avenue from South 76 Street to South 100 Street
West Hayes Avenue from South 102 Street to South 108 Street
West Lincoln Avenue from East City Limits to South 102 Street
West Mitchell Street from the East City Limits to South 70 Street
West Morgan Avenue from South 108 Street to South 124 Street
West National Avenue from the East City Limits to West Lincoln Avenue
West Schlinger Avenue from South 84 to South 100 Street
West Theodore Trecker Way from South 108 Street to South 116 Street

d. 20 MPH Zone.

South 62 Street in the 1500 Block
West Cleveland Avenue east of South 84th Street into McCarty Park
West Lapham Street in the 6000 and 6100 Blocks
West Orchard Street in the 6000 and 6100 Blocks
West Washington Street from South 106 Street to South 108 Street
West Beloit Road from South 84 Street to South Osage Avenue (only at those times when children are going to or from school or are playing within the sidewalk area at or about the school)

2. The fines and stipulation deposits for violations of the speed limits indicated in this section shall be the same as those provided in Section 10.01(1) of this Code, under the reference to §§ 346.57(4)(d), (e), (f), (g) and (h) and (5) of the Wisconsin Statutes, and subject to the provisions of Sections 10.01(2) and (3) of this Code.

SECTION 2: EFFECTIVE DATE This Ordinance shall be in full force and effect on and after the required approval and publication according to law.

SECTION 3: AUTHORIZATION The director of public works is authorized to erect official traffic signs indicating the assigned speed limit within the described area.

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
ORDINANCE O-2025-0010**

**ORDINANCE TO AMEND SALARY SCHEDULE BY CREATING CITY CLERK
AND MARKETING & COMMUNICATIONS MANAGER POSITIONS (GRADE N2)**

WHEREAS, the common council seeks to align its organizational chart and salary schedule with the current needs of the City;

NOW THEREFORE, the common council of the City of West Allis do ordain as follows:

The position of City Clerk is created and classified in Salary Grade N2
The position of Marketing & Communications Manager is created and classified in Salary Grade N2

SECTION 1: **AMENDMENT** “Salary Schedule” of the City Of West Allis Municipal Code is hereby *amended* as follows:

AMENDMENT

Salary Schedule

1. Establishment
 - a. Compensation Paid. City employees and officers shall receive compensation based on the salary schedule in this ordinance, the terms of an employment contract, or the terms of a collective bargaining agreement.
 - b. Residency Defined. If an employee or officer's compensation is based that person being a City resident, residency shall be determined based upon the same factors as domicile or legal residence is determined for Wisconsin state income tax purposes.
2. Automatic Cost of Living Adjustments. This salary schedule does not include an automatic adjustment for personnel in conformity with fluctuations upwards and downwards in the cost of living.
3. Employee and Appointed Officer Salaries. Each City employee and officer who holds a position recognized within the salary schedule below shall receive compensation within the range assigned to the salary grade for that employee's or officer's position.

Start Date	End Date	Salary Schedule	Ordinance
2/16/25	None	Link	O-2025-0010
1/5/25	2/15/25 None	Link	O-2025-0003

9/3/24	1/4/25	Link	O-2024-0034
7/10/24	9/2/24	Link	O-2024-0030
3/19/24	7/9/24	Link	O-2024-0015
2/6/24	3/18/24	Link	O-2024-0003
1/7/24	2/5/24	Link	O-2023-0093
11/14/23	1/6/24	Link	O-2023-0075
9/19/23	11/13/23	Link	O-2023-0066
9/5/23	9/18/23	Link	O-2023-0064
7/18/23	9/4/23	Link	O-2023-0055
5/16/23	7/17/23	Link	O-2023-0041
5/2/23	5/15/23	Link	O-2023-0038
4/18/23	5/1/23	Link	O-2023-0032
3/7/23	4/17/23	Link	O-2023-0014
1/8/23	3/6/23	Link	O-2023-0006 O-2022-0167
10/16/22	1/7/23	Link	O-2022-0149
9/18/22	10/15/22	Link	O-2022-0140
9/4/22	9/17/22	Link	O-2022-0128
7/12/22	9/3/22	Link	O-2022-0107
6/7/22	7/11/22	Link	O-2022-0090
5/3/22	6/6/22	Link	O-2022-0084
4/19/22	5/2/22	Link	O-2022-0075
4/7/22	4/18/22	Link	O-2022-0047
2/2/22	4/6/22	Link	O-2022-0036
1/11/22	2/1/22	Link	O-2022-0012
10/3/21	1/10/22	Link	O-2021-0076
7/13/21	10/2/21	Link	O-2021-0051
6/15/21	7/12/21	Link	O-2021-0049
6/1/21	6/14/21	Link	O-2021-0042
3/2/21	5/31/21	Link	O-2021-0022

2/2/21	3/1/21	Link	
12/15/20	2/1/21	Link	O-2020-0058
10/18/20	12/17/20	Link	
9/1/20	10/17/20	Link	
3/17/20	8/31/20	Link	
3/3/20	3/16/20	Link	
1/7/20	3/2/20	Link	
8/6/19	1/6/20	Link	
3/19/19	8/5/19	Link	
10/16/18	3/18/19	Link	
10/2/18	10/15/18	Link	
6/19/18	10/1/18	Link	
4/17/18	6/18/18	Link	
3/6/18	4/16/18	Link	
1/14/18	3/5/18	Link	

4. Elected Officer Salaries. Elected officers shall receive annual salaries as indicated in this subsection. Salaries for elected officers shall be paid in biweekly payments in the same manner as employees and appointed officers.

a. Alderperson

Date	Annual Salary
Effective 4/21/2020	\$10,000
Effective 1/1/2021	\$10,200
Effective 1/1/2022	\$10,400
Effective 1/1/2023	\$10,600
Effective 1/1/2024	\$10,800
Effective 1/1/2025	\$11,000

b. Mayor

Date	Annual Salary
------	---------------

Effective 4/21/2020	\$73,583.75
Effective 4/20/2021	\$75,791.26
Effective 4/19/2022	\$78,065.00
Effective 4/18/2023	\$80,406.95
Effective 4/17/2024	\$82,819.16
Effective 1/1/2025	\$85,303.73
Effective 1/1/2026	\$87,862.84
Effective 1/1/2027	\$90,498.73
Effective 1/1/2028	\$93,213.69

c. Municipal Judge

Date	Annual Salary
Effective 5/1/2019	\$69,603.82

5. Hourly Employee Pay Rates. Each City employee who holds a position recognized below shall receive compensation within the range assigned but shall not receive benefits. The rates assigned to any position shall increase by 5% if the employee is a City resident.

Position	Minimum Hourly Pay	Maximum Hourly Pay
Children's Program Care Provider	\$10.00	\$14.71
Code Enforcement Part-Time Inspector	\$24.51	\$29.41
Co-Facilitator (WISH)	\$25.00	\$30.00
Co-op/Intern/Temporary Seasonal Laborer	\$12.00	\$20.00
Community Service Officer	\$20.00	\$25.00
Lead Library Page	\$12.00	\$17.00
Library Page	\$10.00	\$12.00
Market Attendant	\$18.79	\$25.77
Neighborhood Partnership Specialist	\$18.00	\$23.00
Part-Time Cleaner	\$17.00	\$21.00

Police Background Investigator	\$24.51	\$29.41
--------------------------------	---------	---------

6. Election Official Pay Rates. Any person who is appointed as an election official under Wis. Stat. 7.30 or seeking that appointment shall receive compensation of:
- a. \$150.00 per full day of work on election day as an inspector. The city clerk may authorize up to \$50.00 in additional pay for meeting performance metrics established by the city clerk.
 - b. \$175.00 per full day of work on election day as an assistant chief inspector. The city clerk may authorize up to \$75.00 in additional pay for meeting performance metrics established by the city clerk.
 - c. \$200.00 per full day of work on election day as a chief inspector of a polling place. The city clerk may authorize up to \$100.00 in additional pay for meeting performance metrics established by the city clerk.
 - d. \$25.00 for attending an instructional meeting prior to election day.
 - e. \$15.00 per hour for any of the following:
 - i. training prior to election day.
 - ii. working as a special voting deputy under Wis. Stat. 6.875.
 - f. \$375.00 per full day of work on election day as chief inspector of the location canvassing absentee ballots under Wis. Stat. 7.52. The city clerk may authorize up to \$100.00 in additional pay for meeting performance metrics established by the city clerk.
7. Unlisted Positions. Each City employee and officer who holds a position not recognized within this salary schedule shall receive compensation in the manner described in that employee's or officer's employment contract or collective bargaining agreement.

[Fire Department Salary Schedule - Effective 1/1/22-12/31/25 \(Link\)](#)

[Fire Department Salary Schedule - Effective 4/5/20-12/31/21 \(Link\)](#)

Wis. Stat. 7.03, 62.09(6), 66.0507, 755.04

SECTION 2: **EFFECTIVE DATE** This Ordinance shall be in full force and effect on and after February 16, 2025.

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

Grade	Type	90%	92.5%	95%	97.5%	100%	102%	104%	105.5%	107%	108.5%	110%	High	125%
		Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Perf.	Max

FLSA EXEMPT - 2

R2	Non-Res	116,168.00	119,392.00	122,616.00	125,840.00	129,064.00	131,643.20	134,222.40	136,156.80	138,091.20	140,025.60	141,980.80	▶	161,324.80
		\$55.85	\$57.40	\$58.95	\$60.50	\$62.05	\$63.29	\$64.53	\$65.46	\$66.39	\$67.32	\$68.26	▶	\$77.56
	Res +5%	121,971.20	125,361.60	128,752.00	132,142.40	135,512.00	138,216.00	140,940.80	142,958.40	144,996.80	147,035.20	149,073.60	▶	169,395.20
		\$58.64	\$60.27	\$61.90	\$63.53	\$65.15	\$66.45	\$67.76	\$68.73	\$69.71	\$70.69	\$71.67	▶	\$81.44

Assistant City Administrator
City Attorney
City Engineer

Director of Public Works
Finance Director
Fire Chief*

Health Commissioner/City Sealer
Police Chief*

Q2	Non-Res	106,496.00	109,449.60	112,424.00	115,377.60	118,331.20	120,702.40	123,073.60	124,841.60	126,609.60	128,398.40	130,166.40	▶	147,908.80
		\$51.20	\$52.62	\$54.05	\$55.47	\$56.89	\$58.03	\$59.17	\$60.02	\$60.87	\$61.73	\$62.58	▶	\$71.11
	Res +5%	111,820.80	114,920.00	118,040.00	121,139.20	124,238.40	126,734.40	129,230.40	131,081.60	132,932.80	134,825.60	136,676.80	▶	155,313.60
		\$53.76	\$55.25	\$56.75	\$58.24	\$59.73	\$60.93	\$62.13	\$63.02	\$63.91	\$64.82	\$65.71	▶	\$74.67

Assistant Fire Chief**
Deputy Police Chief - Operations**

Deputy Police Chief - Support Services**
Director of Information Technology

Marketing Director

P2	Non-Res	101,649.60	104,478.40	107,307.20	110,115.20	112,944.00	115,211.20	117,457.60	119,163.20	120,848.00	122,553.60	124,238.40	▶	141,190.40
		\$48.87	\$50.23	\$51.59	\$52.94	\$54.30	\$55.39	\$56.47	\$57.29	\$58.10	\$58.92	\$59.73	▶	\$67.88
	Res +5%	106,724.80	109,699.20	112,673.60	115,627.20	118,601.60	120,972.80	123,323.20	125,112.00	126,900.80	128,689.60	130,457.60	▶	148,241.60
		\$51.31	\$52.74	\$54.17	\$55.59	\$57.02	\$58.16	\$59.29	\$60.15	\$61.01	\$61.87	\$62.72	▶	\$71.27

Code Enforcement Director

Library Director

Deputy City Attorney

O2	Non-Res	96,824.00	99,507.20	102,190.40	104,894.40	107,577.60	109,720.00	111,883.20	113,484.80	115,107.20	116,729.60	118,331.20	▶	134,472.00
		\$46.55	\$47.84	\$49.13	\$50.43	\$51.72	\$52.75	\$53.79	\$54.56	\$55.34	\$56.12	\$56.89	▶	\$64.65
	Res +5%	101,670.40	104,478.40	107,307.20	110,136.00	112,964.80	115,211.20	117,478.40	119,163.20	120,868.80	122,574.40	124,238.40	▶	141,190.40
		\$48.88	\$50.23	\$51.59	\$52.95	\$54.31	\$55.39	\$56.48	\$57.29	\$58.11	\$58.93	\$59.73	▶	\$67.88

Captain (Police)**

* Annual Holiday Allowance Additional

^ Compression Adjustment

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

Grade	Type	90% Step 1	92.5% Step 2	95% Step 3	97.5% Step 4	100% Step 5	102% Step 6	104% Step 7	105.5% Step 8	107% Step 9	108.5% Step 10	110% Step 11	High Perf.	125% Max
N2	Non-Res	91,998.40	94,536.00	97,094.40	99,652.80	102,211.20	104,249.60	106,308.80	107,827.20	109,366.40	110,905.60	112,424.00	▶	127,774.40
		\$44.23	\$45.45	\$46.68	\$47.91	\$49.14	\$50.12	\$51.11	\$51.84	\$52.58	\$53.32	\$54.05	▶	\$61.43
	Res +5%	96,595.20	99,257.60	101,940.80	104,644.80	107,328.00	109,470.40	111,633.60	113,214.40	114,836.80	116,459.20	118,040.00	▶	134,160.00
		\$46.44	\$47.72	\$49.01	\$50.31	\$51.60	\$52.63	\$53.67	\$54.43	\$55.21	\$55.99	\$56.75	▶	\$64.50

Assistant City Engineer

Assistant Director of Public Works

Battalion Chief**

City Assessor

[City Clerk]

City Treasurer

Deputy Finance Director

Deputy Fire Chief **

Deputy Health Commissioner

Economic Development Executive Director

Lieutenant (Police)**

[Marketing & Communications Manager]

M2	Non-Res	87,193.60	89,627.20	92,040.00	94,473.60	96,886.40	98,820.80	100,755.20	102,211.20	103,667.20	105,123.20	106,579.20	▶	121,118.40
		\$41.92	\$43.09	\$44.25	\$45.42	\$46.58	\$47.51	\$48.44	\$49.14	\$49.84	\$50.54	\$51.24	▶	\$58.23
	Res +5%	91,561.60	94,099.20	96,636.80	99,195.20	101,732.80	103,771.20	105,788.80	107,328.00	108,846.40	110,385.60	111,904.00	▶	127,171.20
		\$44.02	\$45.24	\$46.46	\$47.69	\$48.91	\$49.89	\$50.86	\$51.60	\$52.33	\$53.07	\$53.80	▶	\$61.14

WIC Program Director

L2	Non-Res	82,368.00	84,656.00	86,944.00	89,232.00	91,520.00	93,350.40	95,180.80	96,553.60	97,926.40	99,299.20	100,672.00	▶	114,400.00
		\$39.60	\$40.70	\$41.80	\$42.90	\$44.00	\$44.88	\$45.76	\$46.42	\$47.08	\$47.74	\$48.40	▶	\$55.00
	Res +5%	86,486.40	88,899.20	91,291.20	93,704.00	96,096.00	98,009.60	99,944.00	101,379.20	102,814.40	104,270.40	105,705.60	▶	120,120.00
		\$41.58	\$42.74	\$43.89	\$45.05	\$46.20	\$47.12	\$48.05	\$48.74	\$49.43	\$50.13	\$50.82	▶	\$57.75

City Planning Director

Deputy City Clerk

Environmental Supervisor

HR Manager

Library Manager

Network and Security Administrator

Principal Assistant City Attorney

Principal Engineer

Public Health Nurse Supervisor

* Annual Holiday Allowance Additional

^ Compression Adjustment

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

		90%	92.5%	95%	97.5%	100%	102%	104%	105.5%	107%	108.5%	110%	High	125%
Grade	Type	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Perf.	Max
K2	Non-Res	77,521.60	79,664.00	81,827.20	83,969.60	86,132.80	87,859.20	89,585.60	90,875.20	92,164.80	93,454.40	94,744.00	▶	107,660.80
		\$37.27	\$38.30	\$39.34	\$40.37	\$41.41	\$42.24	\$43.07	\$43.69	\$44.31	\$44.93	\$45.55	▶	\$51.76
	Res +5%	81,390.40	83,657.60	85,924.80	88,171.20	90,438.40	92,248.00	94,057.60	95,409.60	96,782.40	98,134.40	99,486.40	▶	113,048.00
		\$39.13	\$40.22	\$41.31	\$42.39	\$43.48	\$44.35	\$45.22	\$45.87	\$46.53	\$47.18	\$47.83	▶	\$54.35

Adult Services & Circulation Supervisor
 Business Manager
 Cataloging & Technical Processing Librarian
 Community Engagement Coordinator
 Development Project Manager
 Electrical Maintenance Manager
 Environmentalist Coordinator

Facilities Manager
 Fleet Services Manager
 Forestry & Parks Manager
 Lead Project Nutritionist
 Municipal Court Administrator
 Professional Engineer
 Public Health Nurse Coordinator

Public Safety Communications Manager
 IT Supervisor
 Risk Manager
 Sanitation & Streets Manager
 Water Systems Manager

J2	Non-Res	72,716.80	74,734.40	76,752.00	78,769.60	80,787.20	82,409.60	84,011.20	85,238.40	86,444.80	87,651.20	88,857.60	▶	100,984.00
		\$34.96	\$35.93	\$36.90	\$37.87	\$38.84	\$39.62	\$40.39	\$40.98	\$41.56	\$42.14	\$42.72	▶	\$48.55
	Res +5%	76,356.80	78,478.40	80,600.00	82,700.80	84,822.40	86,528.00	88,212.80	89,502.40	90,771.20	92,040.00	93,308.80	▶	106,038.40
		\$36.71	\$37.73	\$38.75	\$39.76	\$40.78	\$41.60	\$42.41	\$43.03	\$43.64	\$44.25	\$44.86	▶	\$50.98

Assistant City Attorney
 Children Services Supervisor
 Code Enforcement Officer - Supervisor
 Community Development Senior Planner
 Deputy Treasurer/Senior Accountant

Engineer & Professional Land Surveyor
 Environmentalist
 GIS Administrator
 Public Health Nurse
 Public Health Specialist Coordinator

Marketing and Engagement Strategist
 Senior Accountant
 Street & Sewer Supervisor
 Tourism and Event Manager

I2	Non-Res	67,870.40	69,742.40	71,635.20	73,507.20	75,400.00	76,918.40	78,416.00	79,539.20	80,683.20	81,806.40	82,950.40	▶	94,244.80
		\$32.63	\$33.53	\$34.44	\$35.34	\$36.25	\$36.98	\$37.70	\$38.24	\$38.79	\$39.33	\$39.88	▶	\$45.31
	Res +5%	71,260.80	73,236.80	75,212.80	77,188.80	79,164.80	80,766.40	82,347.20	83,512.00	84,718.40	85,904.00	87,089.60	▶	98,966.40
		\$34.26	\$35.21	\$36.16	\$37.11	\$38.06	\$38.83	\$39.59	\$40.15	\$40.73	\$41.30	\$41.87	▶	\$47.58

Civil Engineer
 Community Health Registered Dietitian
 Customer Service Administrator
 Customer Service Center Supervisor
 Database Administrator

HR Generalist
 Lead Planner
 Public Health Social Worker
 Public Health Specialist
 Public Safety Communications Supervisor

Sanitation Supervisor
 Senior Buyer
 Senior Center Coordinator
 Solutions Analyst
 Supply Chain Purchasing Supervisor

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

Grade	Type	90%	92.5%	95%	97.5%	100%	102%	104%	105.5%	107%	108.5%	110%	High	125%
		Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Perf.	Max

H2	Non-Res	63,065.60	64,812.80	66,580.80	68,328.00	70,075.20	71,468.80	72,883.20	73,923.20	74,984.00	76,024.00	77,084.80	▶	87,588.80
		\$30.32	\$31.16	\$32.01	\$32.85	\$33.69	\$34.36	\$35.04	\$35.54	\$36.05	\$36.55	\$37.06	▶	\$42.11
	Res +5%	66,227.20	68,057.60	69,908.80	71,739.20	73,569.60	75,046.40	76,523.20	77,625.60	78,728.00	79,830.40	80,932.80	▶	91,977.60
		\$31.84	\$32.72	\$33.61	\$34.49	\$35.37	\$36.08	\$36.79	\$37.32	\$37.85	\$38.38	\$38.91	▶	\$44.22

Community Health Education Coordinator
Deputy Clerk - Elections

Housing Coordinator
Librarian

Office Supervisor

G2	Non-Res	58,219.20	59,841.60	61,464.00	63,065.60	64,688.00	65,977.60	67,267.20	68,244.80	69,222.40	70,179.20	71,156.80	▶	80,870.40
		\$27.99	\$28.77	\$29.55	\$30.32	\$31.10	\$31.72	\$32.34	\$32.81	\$33.28	\$33.74	\$34.21	▶	\$38.88
	Res +5%	61,131.20	62,836.80	64,542.40	66,227.20	67,932.80	69,284.80	70,636.80	71,656.00	72,675.20	73,694.40	74,713.60	▶	84,905.60
		\$29.39	\$30.21	\$31.03	\$31.84	\$32.66	\$33.31	\$33.96	\$34.45	\$34.94	\$35.43	\$35.92	▶	\$40.82

Accountant
Community Health Nutritionist

Content and Multimedia Creator
Economic Development Specialist

Market Manager

FLSA NON-EXEMPT - 1

J1	Non-Res	\$34.96	\$35.93	\$36.90	\$37.87	\$38.84	\$39.62	\$40.39	\$40.98	\$41.56	\$42.14	\$42.72	▶	\$48.55
	Res +5%	\$36.71	\$37.73	\$38.75	\$39.76	\$40.78	\$41.60	\$42.41	\$43.03	\$43.64	\$44.25	\$44.86	▶	\$50.98

Fleet Manager

Lead Electrical Mechanic

I1	Non-Res	\$32.63	\$33.53	\$34.44	\$35.34	\$36.25	\$36.98	\$37.70	\$38.24	\$38.79	\$39.33	\$39.88	▶	\$45.31
	Res +5%	\$34.26	\$35.21	\$36.16	\$37.11	\$38.06	\$38.83	\$39.59	\$40.15	\$40.73	\$41.30	\$41.87	▶	\$47.58

Business Operations Specialist
Commercial Construction Inspector
Electrical Mechanic

Facility and Sign Specialist
Forestry and Parks Specialist
Lead Equipment Mechanic

Plumber
Zoning Administrator and City Process Liaison

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

		90%	92.5%	95%	97.5%	100%	102%	104%	105.5%	107%	108.5%	110%	High	125%
Grade	Type	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Perf.	Max

H1	Non-Res	\$30.32	\$31.16	\$32.01	\$32.85	\$33.69	\$34.36	\$35.04	\$35.54	\$36.05	\$36.55	\$37.06	▶	\$42.11
	Res +5%	\$31.84	\$32.72	\$33.61	\$34.49	\$35.37	\$36.08	\$36.79	\$37.32	\$37.85	\$38.38	\$38.91	▶	\$44.22

Appraiser
 Crime Analyst
 Engineering Technician - IT Systems

Engineering Technician - Traffic & Utilities
 Equipment Mechanic II
 PC Network Specialist

Residential Construction Inspector
 Victim Advocate
 Water Lead Person

G1	Non-Res	\$27.99	\$28.77	\$29.55	\$30.32	\$31.10	\$31.72	\$32.34	\$32.81	\$33.28	\$33.74	\$34.21	▶	\$38.88
	Res +5%	\$29.39	\$30.21	\$31.03	\$31.84	\$32.66	\$33.31	\$33.96	\$34.45	\$34.94	\$35.43	\$35.92	▶	\$40.82

Assessment Technician
 Boring Operator
 Building Maintenance Technician
 City Planner
 Code Enforcement Officer
 Community Health Specialist

Community Services Coordinator
 Customer Service Specialist - Lead
 Dental Hygienist
 Directional Boring Operator
 Engineering Technician
 Equipment Mechanic I

Equipment Operations Specialist
 Graphic Design/Production Specialist
 HVAC Technician
 Maintainer
 Tradesperson - Carpenter

F1	Non-Res	\$25.67	\$26.38	\$27.09	\$27.81	\$28.52	\$29.09	\$29.66	\$30.09	\$30.52	\$30.94	\$31.37	▶	\$35.65
	Res +5%	\$26.95	\$27.70	\$28.44	\$29.20	\$29.95	\$30.54	\$31.14	\$31.59	\$32.05	\$32.49	\$32.94	▶	\$37.43

Associate Planner
 City Clerk Specialist
 Customer Service Specialist
 Dispatcher
 Engineering Services Specialist
 Equipment Operator

Housing Navigator
 Inventory Services Specialist
 Lead Clerk Records Unit
 Library Assistant
 Maintenance Repairer
 Payroll Administrator

Print and Production Specialist
 Pumping Station Operator
 Rehabilitation Specialist
 Truck Driver - Lead

CITY OF WEST ALLIS SALARY SCHEDULE

Effective February 16, 2025

Grade	Type	90%	92.5%	95%	97.5%	100%	102%	104%	105.5%	107%	108.5%	110%	High	125%
		Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9	Step 10	Step 11	Perf.	Max

E1	Non-Res	\$23.35	\$23.99	\$24.64	\$25.29	\$25.94	\$26.46	\$26.98	\$27.37	\$27.76	\$28.14	\$28.53	▶	\$32.43
	Res +5%	\$24.52	\$25.19	\$25.87	\$26.55	\$27.24	\$27.78	\$28.33	\$28.74	\$29.15	\$29.55	\$29.96	▶	\$34.05

Accounting Specialist	Deputy Registrar	Painter
Administrative Support Specialist	Fleet Maintenance Technician	Parking Control Operator
Administrative Support Specialist - Police Body Cam	Health Screening Technician	PC Technician
Arborist	Human Resources Specialist	Property Room Technician
Assistant Pumping Station Operator	Lead Library Technician	Truck Driver
Carpenter	Legal Secretary - Principal	
Community Health Technician	Municipal Court Clerk	

D1	Non-Res	\$21.02	\$21.61	\$22.19	\$22.78	\$23.36	\$23.83	\$24.29	\$24.64	\$25.00	\$25.35	\$25.70	▶	\$29.20
	Res +5%	\$22.07	\$22.69	\$23.30	\$23.92	\$24.53	\$25.02	\$25.50	\$25.87	\$26.25	\$26.62	\$26.99	▶	\$30.66

Administrative Support Assistant	Legal Secretary - Senior	Utility Locate Technician
Environmental Technician	Sign Painter	

C1	Non-Res	\$19.46	\$20.00	\$20.54	\$21.08	\$21.62	\$22.05	\$22.48	\$22.81	\$23.13	\$23.46	\$23.78	▶	\$27.03
	Res +5%	\$20.43	\$21.00	\$21.57	\$22.13	\$22.70	\$23.15	\$23.60	\$23.95	\$24.29	\$24.63	\$24.97	▶	\$28.38

Circulation Services Representative	Library Technician	Water Meter Technician
Custodian/Janitor	Municipal Court Assistant	
Laborer	Park Attendant	

B1	Non-Res	\$18.03	\$18.53	\$19.03	\$19.53	\$20.03	\$20.43	\$20.83	\$21.13	\$21.43	\$21.73	\$22.03	▶	\$25.04
	Res +5%	\$18.93	\$19.46	\$19.98	\$20.51	\$21.03	\$21.45	\$21.87	\$22.19	\$22.50	\$22.82	\$23.13	▶	\$26.29

Clerical Assistant	Yard Attendant
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A1	Non-Res	\$16.68	\$17.14	\$17.60	\$18.07	\$18.53	\$18.90	\$19.27	\$19.55	\$19.83	\$20.11	\$20.38	▶	\$23.16
	Res +5%	\$17.51	\$18.00	\$18.48	\$18.97	\$19.46	\$19.85	\$20.23	\$20.53	\$20.82	\$21.12	\$21.40	▶	\$24.32

WIC Breastfeeding Peer Counselor

**CITY OF WEST ALLIS
RESOLUTION R-2025-0063**

**RESOLUTION APPROVING THE APPOINTMENT OF TRACEY L. UTTKE TO
THE POSITION OF CITY CLERK**

WHEREAS, the City of West Allis is committed to maintaining excellence in public service, ensuring transparency in government operations, and providing high-quality customer service to residents; and

WHEREAS, Tracey L. Uttke, a highly skilled and experienced municipal professional, has demonstrated extensive expertise in customer service management, election administration, and municipal clerk responsibilities; and

WHEREAS, Ms. Uttke has served as Customer Service Center Supervisor and Deputy Clerk for the City of West Allis, playing a pivotal role in the administration of licenses, election operations, records management, and customer service improvements; and

WHEREAS, her leadership experience includes spearheading the establishment of the City’s Customer Service Center, troubleshooting and resolving complex service issues, and participating in the LEAD West Allis leadership program; and

WHEREAS, her professional background in municipal government, combined with her experience in process improvement and public engagement, makes her exceptionally qualified for the role of City Clerk; and

WHEREAS, a detailed work history highlighting Ms. Uttke’s qualifications and accomplishments is provided in her resume, which is attached to this file.

NOW THEREFORE, by the Common Council of the City of West Allis, that the appointment of Tracey L. Uttke to the position of City Clerk is hereby approved, and shall take effect on February 24, 2025.

SECTION 1: **ADOPTION** “R-2025-0063” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0063(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis



Rebecca Grill
City Administrator

February 5, 2025

Mayor Dan Devine
Members of the Common Council
City of West Allis

Subject: Request for Approval of the Appointment of Tracey Uttke as City Clerk

Dear Mayor Devine and Members of the Common Council,

I am pleased to submit for your consideration the appointment of Tracey Uttke to the position of City Clerk for the City of West Allis, effective February 24, 2025. Tracey has demonstrated exceptional leadership, attention to detail, and a deep commitment to public service. Her experience in municipal operations, election administration, and customer service positions her well to take on the responsibilities of City Clerk.

Attached is her resume, which highlights her qualifications, including her strong background in public administration, record management, and customer relations. Her role in overseeing licensing, tax collection processes, and election coordination has proven her capability to manage the vital functions of the City Clerk's office efficiently.

I respectfully request the approval of this appointment and look forward to your support in ensuring a seamless transition. Please let me know if you require any further information.

Sincerely,

A handwritten signature in cursive script that reads "Rebecca Grill".

Rebecca Grill
City Administrator & City Clerk
City of West Allis

Tracey L. Uttke

Objective

To secure a leadership role that leverages my strong communication skills and extensive municipal experience to enhance operational efficiency and service delivery.

Work Experience

City of West Allis | West Allis, WI

Deputy Clerk (current position); Various Positions | September 2018 – Present

- Issue licenses, prepare agendas and minutes for City meetings, publish legal notices, and assist in overseeing the election process.
- Played a key role in the creation of the Customer Service Center at City Hall.
- Selected as one of eight employees city-wide to participate in LEAD West Allis, a program focused on leadership and personal development.

City of Oak Creek – Water & Sewer Utility | Oak Creek, WI

Utility Clerk | January 2010 – August 2018

- Served as the primary point of contact for over 9,000 Utility customers via phone, email, and in-person interactions.
- Investigated customer complaints, escalating to a department manager only when necessary.
- Processed payments and managed large cash deposits with accuracy.
- Prepared payroll sheets and timecards for processing.
- Played a critical role in implementing a new payroll system independent from City Hall.
- Maintained customer service and inventory records efficiently.

National Bakery & Deli | Greendale, WI

Store Manager | February 2009 – December 2009

- Opened and managed a new retail location in Greendale Village.
- Led a team of 12 employees, overseeing hiring, training, and terminations.
- Managed customer inquiries, requests, and grievances effectively.
- Maintained relationships with food service providers to ensure product availability.
- Handled all banking transactions and cash flow management.

Education

Waukesha County Technical College | Pewaukee, WI

Culinary Management | December 2008

Western Illinois University | Macomb, IL

Bachelor of Arts in Literature & Language | May 2006

Minor: Journalism



Employment Contract

The City of West Allis ("City") and Tracey Uttke (the "Candidate") hereby enter into this employment contract pursuant to the terms below.

RECITALS:

WHEREAS, the position of City Clerk (the "Position") serves as an appointed officer of the City of West Allis under state and local law; and

WHEREAS, the Position is filled through appointment by the West Allis Common Council pursuant to Wis. Stat. § 62.09(3)(b)3. and applicable charter ordinances; and

WHEREAS, the City Administrator has recommended the appointment of the Candidate to the Position, the common council has confirmed the Candidate's appointment, and the Candidate has accepted that appointment;

NOW, THEREFORE, the parties hereby agree to the following terms regarding the Candidate's employment while serving the City in the Position:

1. *APPOINTMENT*: Pursuant to Wis. Stat. § 62.09(3)(b)3., the Candidate is appointed to fill the Position subject to a satisfactory completion of background check, satisfactory completion of pre-employment drug screen, and verification of education, credentials, licenses/certifications.
2. *OATH*: Pursuant to Wis. Stat. § 62.09(4)(a), the Candidate will timely take the oath for the faithful performance of their duties and responsibilities (within 10 days after notice of appointment for all positions except City Assessor).
3. *BOND*: Pursuant to Wis. Stat. § 62.09(4)(b), the Candidate is not required to execute and file an official bond because the City will maintain a dishonesty insurance policy or other appropriate insurance policy that covers the Candidate, in an amount determined by the council, in lieu of the bond requirement.
4. *RESPONSIBILITIES*: The Candidate shall perform at a professional level of competence the services, duties and responsibilities of the Position as set forth in the laws of the State of Wisconsin and the ordinances, resolutions, regulations and policies of the City which now exist, or which may hereinafter be enacted. The Candidate shall be responsible to the Common Council in the discharge of their duties and responsibilities; however, such duties and responsibilities shall be exercised under the supervision of the City Administrator of the City of West Allis on a day-to-day basis in accordance with directives of the Common Council, as applicable. The Candidate shall devote full-time to their duties and responsibilities with the City while serving in the Position and shall not engage in any pursuit which interferes with the proper discharge of said duties and responsibilities.

5. *TERMS OF EMPLOYMENT*

- a. Commencement Date: The Candidate's appointment to the Position is effective on February 24, 2025.
- b. Term: The Candidate shall serve for an indefinite term.
- c. Salary: The Candidate shall be paid a salary in an amount consistent with the Salary Schedule range for the Position. The actual salary paid to the Candidate within that range at any point in time shall be in an amount agreeable to the City and the Candidate.
- d. Benefits: The Candidate will be eligible for all the benefits afforded to full-time employees holding benefitted positions. In addition:
 - 1. Time Off: Upon commencement of employment the hours in the Candidate's time off bank shall carry over.
- e. Eligibility for Health and Dental Coverage: If the Candidate chooses to obtain health and/or dental coverage through the City, the Candidate and their eligible family members will be afforded health and dental coverage effective upon the Commencement Date above.
- f. Outside Work: The Candidate agrees to limit outside professional work and activity to outside City of West Allis boundaries and to comply with the Code of Ethics for City Officials under state and local law.
- g. Terminating Employment: The Candidate may resign from the Position at any time. If the Candidate provides the City with at least 60 days' advance notice of the effective date of resignation, the Candidate will be paid for any unused hours in the Candidate's time-off bank. The Candidate will forfeit and will not be paid for any unused hours in the Candidate's time-off bank if the Candidate resigns from the Position without providing at least 60 days' advance notice of the effective date of resignation. The Candidate may be removed from the Position by the West Allis Common Council, at pleasure, with or without cause, but only by an affirmative vote of three-fourths of all the members thereof.

Any terms and conditions of employment not stated within this contract shall be governed by the provisions of the West Allis Municipal Code and applicable policies and procedures of the City of West Allis, and future amendments thereto, applicable to appointments in the unclassified service.

AMENDMENTS: The terms of this employment contract are subject to amendment, alteration, or addition only by subsequent agreement between and executed by the City and the Candidate where mutually agreeable. The waiver of any breach, term, or condition of this Agreement by either party hereto shall not constitute a precedent in the future enforcement of all its terms and conditions.

Dated: _____

CITY OF WEST ALLIS

By: _____
Dan Devine, Mayor

By: _____
Kevin Haass, Council President

By: _____
Rebecca N. Grill, City Administrator

I hereby accept the offer as stated in this Contract and agree to abide by its provisions.

By: _____
Tracey Uttke

Dated: _____

Countersigned this _____ day of _____, 2025 and I hereby certify that provision has been made to pay the liability that will accrue under this Contract.

Jason Kaczmarek, Finance Director/Comptroller

Approved as to form this _____ day of _____, 2025.

Kail Decker, City Attorney

**CITY OF WEST ALLIS
RESOLUTION R-2025-0039**

**RESOLUTION GRANTING A PRIVILEGE TO CHARLES VINCENT ROONEY
FOR PROPERTY LOCATED AT 5932 W. MITCHELL ST. (TAX KEY NO.455-0006-
000)**

WHEREAS, Charles Vincent Rooney requests from the City of West Allis a Privilege to place an obstruction beyond a lot line within a highway as allowed by Wis. Stat. 66.0425, consisting of the obstruction(s) listed on the application (PRV-27) located at 5932 W. Mitchell St., in the City of West Allis, WI ("Privilege"); and

WHEREAS, by receiving this Privilege, the Applicant assumes primary liability for damages to person or property by reason of the granting of this Privilege, is obligated to remove an obstruction or excavation upon 10 days' notice by the City and waives the right to contest in any manner the validity of Wis. Stat. 66.0425 or the amount of compensation charged; and

WHEREAS, the Applicant will annually submit to the City proof of insurance consistent with coverage amounts required by the City Attorney's office; and

WHEREAS, the City requires the Applicant file a bond of \$0 that runs to the City and to 3rd parties that may be injured; and that secures the performance of the conditions specified in this privilege; and

WHEREAS, compensation of \$50.00 for this Privilege shall be paid into the general fund; and

WHEREAS, the holder of this Privilege is not entitled to damages for removal of an obstruction or excavation, and if the holder does not remove the obstruction or excavation upon due notice, it shall be removed at the holder's expense; and

WHEREAS, the cost to remove an obstruction may be collected from Charles Vincent Rooney by placing the cost upon the owned property as a special tax; and

WHEREAS, third parties whose rights are interfered with by the granting of this Privilege have a right of action against the holder of this Privilege only;

NOW THEREFORE, be it resolved by the Council of the City of West Allis, in the State of Wisconsin, that the City of West Allis grants to Charles Vincent Rooney a Privilege to place an obstruction beyond a lot line within a highway as described above and located adjacent to 5932 W. Mitchell St., in the City of West Allis, WI.

SECTION 1: **ADOPTION** “R-2025-0039” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0039(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0040**

**RESOLUTION GRANTING A PRIVILEGE TO LUTZ LAND MANAGEMENT LLC
FOR PROPERTY LOCATED AT 6923 W. BECHER ST. (TAX KEY NO.476-0203-900)**

WHEREAS, Lutz Land Management LLC requests from the City of West Allis a Privilege to place an obstruction beyond a lot line within a highway as allowed by Wis. Stat. 66.0425, consisting of the obstruction(s) listed on the application (PRV-30) located at 6923 W. Becher St., in the City of West Allis, WI ("Privilege"); and

WHEREAS, by receiving this Privilege, the Applicant assumes primary liability for damages to person or property by reason of the granting of this Privilege, is obligated to remove an obstruction or excavation upon 10 days' notice by the City and waives the right to contest in any manner the validity of Wis. Stat. 66.0425 or the amount of compensation charged; and

WHEREAS, the Applicant will annually submit to the City proof of insurance consistent with coverage amounts required by the City Attorney's office; and

WHEREAS, the City requires the Applicant file a bond of \$0 that runs to the City and to 3rd parties that may be injured; and that secures the performance of the conditions specified in this privilege; and

WHEREAS, compensation of \$50.00 for this Privilege shall be paid into the general fund; and

WHEREAS, the holder of this Privilege is not entitled to damages for removal of an obstruction or excavation, and if the holder does not remove the obstruction or excavation upon due notice, it shall be removed at the holder's expense; and

WHEREAS, the cost to remove an obstruction may be collected from Lutz Land Management LLC by placing the cost upon the owned property as a special tax; and

WHEREAS, third parties whose rights are interfered with by the granting of this Privilege have a right of action against the holder of this Privilege only;

NOW THEREFORE, be it resolved by the Council of the City of West Allis, in the State of Wisconsin, that the City of West Allis grants to Lutz Land Management LLC a Privilege to place an obstruction beyond a lot line within a highway as described above and located adjacent to 6923 W. Becher St., in the City of West Allis, WI.

SECTION 1: **ADOPTION** "R-2025-0040" of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0040(Added)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0042**

**RESOLUTION AUTHORIZING PUBLIC IMPROVEMENT CONCRETE
CONSTRUCTION, CONCRETE RECONSTRUCTION AND/OR ASPHALT
RESURFACING IN VARIOUS LOCATIONS AND LEVYING SPECIAL
ASSESSMENTS AGAINST BENEFITED PROPERTIES**

WHEREAS, Public necessity requires the improvement of certain streets as hereinafter described; and,

WHEREAS, The Common Council has received final plans and specifications for such proposed improvements; and,

WHEREAS, A hearing has been conducted pursuant to Sec. 66.0703(7) of the Wisconsin Statutes; and,

WHEREAS, The Common Council finds that each property against which the assessments are proposed is benefited by the improvement.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis as follows:

1. That the final plans and specifications heretofore submitted for the improvement of S. 53rd St. from W. Burnham St. to W. Rogers St. (Plan File No. SP-1299) and W. Rogers St. from S. 53rd St. to the Dead End (Plan File No. SP-1300) by concrete reconstruction be and the same are hereby approved and adopted.
2. That the Board of Public Works be and is hereby authorized and directed to cause said streets to be improved in accordance with the plans and specifications, and it is directed to advertise in the official paper for sealed proposals for all work necessary to be done with the installation of the above described improvements.
3. That such improvements be assessed in accordance with the report of the City Engineer as finally approved, and the due date for payment of such assessments, without interest, is the 30th day following the billing date; and
4. That each property owner be given the opportunity of paying the assessment against his property by one of the following methods:
 - a. Payment of entire assessment, or any portion thereof, without interest at any time prior to due date as noted on the billing.
 - b. Payment of the entire assessment with the next tax roll including a 4.0% interest charge from due date to December 31 of the year billed. All assessments of \$100.00 or less will

automatically fall under category a or b.

c. Payment in five annual installments on the property tax bill including a 4.0% interest charge on each succeeding unpaid principal amount. All assessments between \$100.01 and \$250.00 which are not paid by due date or elected to be paid under plans a or b above will automatically be extended in this manner.

d. Payment in ten annual installments on the property tax roll, including a 4.0% interest charge on each succeeding unpaid principal amount. All assessments over \$250.00 which are not paid by due date or elected to be paid under plans a, b or c will automatically be extended in this manner.

5. That if, after election to pay to the City Treasurer by November 1st of the year billed said property owner shall fail to make the payment to the City Treasurer, the City Treasurer's office shall place the said assessment, with interest at the rate of 4.0% per annum as applicable from due date, on the next succeeding tax roll for collection; and,

6. That if the property owner fails to notify the City Treasurer's office, in writing prior to the due date, of his option, the assessment shall be written in ten annual installments, except that any total assessment or assessment balance of less than \$100.00 against any one property shall be written in one payment, and those between \$100.01 and \$250.00 shall be written in five annual installments; and,

7. That a certified list of such assessments and assessment installments be given to the City Treasurer's office, and the City Treasurer's office shall inscribe the same on the tax roll as they become due; and,

8. That property owners may submit duly executed waivers prior to or following the passage of the Final Resolution, approving assessments against their properties and waiving all statutory requirements and proceedings in public work of this nature and agreeing to pay all assessments levied against their properties by reason of the installation of the improvements stated therein, in the same manner and in the same effect as if said statutory requirements relating to said work had been complied with, and such waivers are hereby confirmed and adopted by the Common Council; and,

9. That the City Clerk is hereby directed to publish this resolution as a Class I Notice in the assessment district.

10. That the City Engineer's office is further directed to mail a copy of this resolution and upon completion of the improvement, a statement of the final assessment against his property, to every property owner whose name appears on the assessment roll whose post office address is known or can, with reasonable diligence, be ascertained.

BE IT FURTHER RESOLVED as follows:

1. That with the above installations the existing street and alley grades and widths are hereby being re-established in accordance with Paving Plan Nos. SP-1299 and SP-1300.
2. That the Common Council does hereby exercise the authority contained in sec. 66.0911 of the Wisconsin Statutes, to require the installation of laterals to every property abutting said street where it is felt said services are necessary and that any required assessments be applied as therein provided; and
3. That the plans and specifications for the sanitary sewer relay as aforesaid be submitted to the Milwaukee Metropolitan Sewerage District for approval; and
4. That the plans and specifications for the water main relay and sanitary sewer relay as aforesaid be submitted to the Department of Natural Resources for approval; and
5. That said work be performed with funding from Bond Funds, Water Utility Funds, Sanitary Sewer Funds, Storm Water Management Funds, and Capital Projects cash reserves (future reimbursement from special assessments).
6. Eng P2525S, P2526S

SECTION 1: **ADOPTION** “R-2025-0042” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

A D O P T I O N

R-2025-0042(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0043**

**RESOLUTION GRANTING A PRIVILEGE TO SCHWAB REAL ESTATE
INVESTMENTS LLC FOR PROPERTY LOCATED AT 7038-42 W. GREENFIELD
AVE. (TAX KEY NO. 440-0230-000)**

WHEREAS, Schwab Real Estate Investments LLC requests from the City of West Allis a Privilege to place an obstruction beyond a lot line within a highway as allowed by Wis. Stat. 66.0425, consisting of the obstruction(s) listed on the application (PRV-14) located at 7038-42 W. Greenfield Ave., in the City of West Allis, WI ("Privilege"); and

WHEREAS, by receiving this Privilege, the Applicant assumes primary liability for damages to person or property by reason of the granting of this Privilege, is obligated to remove an obstruction or excavation upon 10 days' notice by the City and waives the right to contest in any manner the validity of Wis. Stat. 66.0425 or the amount of compensation charged; and

WHEREAS, the Applicant will annually submit to the City proof of insurance consistent with coverage amounts required by the City Attorney's office; and

WHEREAS, the City requires the Applicant file a bond of \$0 that runs to the City and to 3rd parties that may be injured; and that secures the performance of the conditions specified in this privilege; and

WHEREAS, compensation of \$50.00 for this Privilege shall be paid into the general fund; and

WHEREAS, the holder of this Privilege is not entitled to damages for removal of an obstruction or excavation, and if the holder does not remove the obstruction or excavation upon due notice, it shall be removed at the holder's expense; and

WHEREAS, the cost to remove an obstruction may be collected from Schwab Real Estate Investments LLC by placing the cost upon the owned property as a special tax; and

WHEREAS, third parties whose rights are interfered with by the granting of this Privilege have a right of action against the holder of this Privilege only;

NOW THEREFORE, be it resolved by the Council of the City of West Allis, in the State of Wisconsin, that the City of West Allis grants to Schwab Real Estate Investments LLC a Privilege to place an obstruction beyond a lot line within a highway as described above and located adjacent to 7038-42 W. Greenfield Ave., in the City of West Allis, WI.

SECTION 1: **ADOPTION** “R-2025-0043” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0043(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0044**

**RESOLUTION GRANTING A PRIVILEGE TO 9501 GREENFIELD AVENUE LLC
FOR PROPERTY LOCATED AT 9505-09 W. GREENFIELD AVE. (TAX KEY
NO.450-0042-001)**

WHEREAS, 9501 Greenfield Avenue LLC requests from the City of West Allis a Privilege to place an obstruction beyond a lot line within a highway as allowed by Wis. Stat. 66.0425, consisting of the obstruction(s) listed on the application (PRV-17) located at 9505-09 W. Greenfield Ave., in the City of West Allis, WI ("Privilege"); and

WHEREAS, by receiving this Privilege, the Applicant assumes primary liability for damages to person or property by reason of the granting of this Privilege, is obligated to remove an obstruction or excavation upon 10 days' notice by the City and waives the right to contest in any manner the validity of Wis. Stat. 66.0425 or the amount of compensation charged; and

WHEREAS, the Applicant will annually submit to the City proof of insurance consistent with coverage amounts required by the City Attorney's office; and

WHEREAS, the City requires the Applicant file a bond of \$0 that runs to the City and to 3rd parties that may be injured; and that secures the performance of the conditions specified in this privilege; and

WHEREAS, compensation of \$50.00 for this Privilege shall be paid into the general fund; and

WHEREAS, the holder of this Privilege is not entitled to damages for removal of an obstruction or excavation, and if the holder does not remove the obstruction or excavation upon due notice, it shall be removed at the holder's expense; and

WHEREAS, the cost to remove an obstruction may be collected from 9501 Greenfield Avenue LLC by placing the cost upon the owned property as a special tax; and

WHEREAS, third parties whose rights are interfered with by the granting of this Privilege have a right of action against the holder of this Privilege only;

NOW THEREFORE, be it resolved by the Council of the City of West Allis, in the State of Wisconsin, that the City of West Allis grants to 9501 Greenfield Avenue LLC a Privilege to place an obstruction beyond a lot line within a highway as described above and located adjacent to 9505-09 W. Greenfield Ave., in the City of West Allis, WI.

SECTION 1: **ADOPTION** “R-2025-0044” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0044(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0051**

**RESOLUTION GRANTING A PRIVILEGE TO THE DECO VENUES LLC FOR
PROPERTY LOCATED AT 7540-46 W. GREENFIELD AVE. (TAX KEY NO.440-
0442-000)**

WHEREAS, The Deco Venues LLC requests from the City of West Allis a Privilege to place an obstruction beyond a lot line within a highway as allowed by Wis. Stat. 66.0425, consisting of the obstruction(s) listed on the application (PRV-10) located at 7540-46 W. Greenfield Ave., in the City of West Allis, WI ("Privilege"); and

WHEREAS, by receiving this Privilege, the Applicant assumes primary liability for damages to person or property by reason of the granting of this Privilege, is obligated to remove an obstruction or excavation upon 10 days' notice by the City and waives the right to contest in any manner the validity of Wis. Stat. 66.0425 or the amount of compensation charged; and

WHEREAS, the Applicant will annually submit to the City proof of insurance consistent with coverage amounts required by the City Attorney's office; and

WHEREAS, the City requires the Applicant file a bond of \$0 that runs to the City and to 3rd parties that may be injured; and that secures the performance of the conditions specified in this privilege; and

WHEREAS, compensation of \$50.00 for this Privilege shall be paid into the general fund; and

WHEREAS, the holder of this Privilege is not entitled to damages for removal of an obstruction or excavation, and if the holder does not remove the obstruction or excavation upon due notice, it shall be removed at the holder's expense; and

WHEREAS, the cost to remove an obstruction may be collected from The Deco Venues LLC by placing the cost upon the owned property as a special tax; and

WHEREAS, third parties whose rights are interfered with by the granting of this Privilege have a right of action against the holder of this Privilege only;

NOW THEREFORE, be it resolved by the Council of the City of West Allis, in the State of Wisconsin, that the City of West Allis grants to The Deco Venues LLC a Privilege to place an obstruction beyond a lot line within a highway as described above and located adjacent to 7540-46 W. Greenfield Ave., in the City of West Allis, WI.

SECTION 1: **ADOPTION** “R-2025-0051” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0051(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0057**

**RESOLUTION TO APPROVE THE REPLACEMENT OF THE CONTROL VALVE
FOR PUMP #2 AT THE 84TH STREET PUMP STATION**

WHEREAS, the 84th Street pump station is a critical infrastructure component in the City of West Allis Water Utility system, and ensuring its proper operation is essential for reliable water service; and,

WHEREAS, Pump #2 at the 84th Street pump station requires the replacement of the control valve to maintain operational efficiency and system reliability; and,

WHEREAS, Dornier Company is a single source provider for the equipment and has been selected to provide the necessary replacement valve, a 12" Cla-Val Model 136-BCSYKCKHKX Combination Solenoid Control and Check Valve, including an X117H Valve Position Transmitter, at a total cost of \$42,174, as outlined in their quote dated October 31, 2024; and,

WHEREAS, Sabel Mechanical LLC has been selected to perform the installation of the replacement control valve, including labor, equipment, and materials, at a total cost of \$9,938.61, as outlined in their quote dated October 30, 2024; and,

WHEREAS, the total project cost for the replacement of the control valve for Pump #2 at the 84th Street pump station is \$52,112.61; and,

WHEREAS, this work is necessary to ensure continued operation of the pump station and to prevent potential service disruptions.

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of West Allis that:

1. The proposed work to replace the control valve for Pump #2 at the 84th Street pump station is hereby approved.
2. The expenditure of funds for the project, in the amount not to exceed \$52,112.61, is authorized from the appropriate accounts.
3. The Mayor, City's Finance Department, Water Utility Manager, and other authorized officials are directed to execute any agreements or contracts necessary to complete this project.

SECTION 1: **ADOPTION** "R-2025-0057" of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0057(Added)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

DORNER QUOTATION

To: West Allis Water Utility
Attn: Dina Arendt
Ref: 84th Street Pump House-Pump Control Valve Replacement

Date: 10/31/2024
Proposal No. Q550clwe
Page: one of one
Industry Code: 4952

FOB: Pre-Pay & Add
Terms: N30
Delivery: 4-6 Weeks

Make Order To: Dorner Company
N61 W23043 Silver Spring Dr.
Sussex, WI 53089

Phone No: (262) 932-2100

Sales Contact: Gordie Hoeft

Prepared By: Gordie Hoeft

REV.1

Item	Quan.	Description	Unit Price	Total
1	1	12" Cla-Valve Model 136-BCSYKCKHKX, Combination Solenoid Control and Check Valve, Ductile Iron Body with Stainless Steel Trim, 150lb. Flanged Connections, Angle Pattern body, 120/1/60 Solenoid with Manual Override, X117H Valve Position Transmitter (4-20mA or 0-10 PSI), Copper Tubing, KX=valve will be installed on its side, pilot system to all be built on top side of valve, recommended heavy main valve cover spring. NOTE: Pricing includes (1) one Dorner Service Technician to test installed valve, and start up & training services.	\$ 38,802	\$ 38,802
2	1	New X117H Valve Position Transmitter (4-20mA or 0-10 VDC) for existng 12" Cla-Valve Model 136-BCSYKCKHKX, Combination Solenoid Control and Check Valve. Dorner Service to remove existing X105LCW Close Limit Switch and install new X117 Valve Position Transmitter, set up, test valve, and start up and training services.	\$ 3,372	\$ 3,372
Total				\$ 42,174

Notes: Prices quoted are FOB Factory with freight pre-pay & add. Quote valid for 30 days. Any applicable taxes are not included in the above pricing. Delivery times are estimated and are not guaranteed.



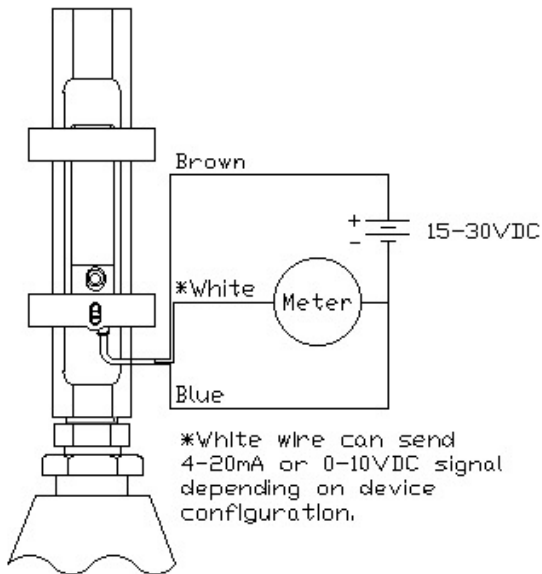
Model X117H

VALVE POSITION TRANSMITTER

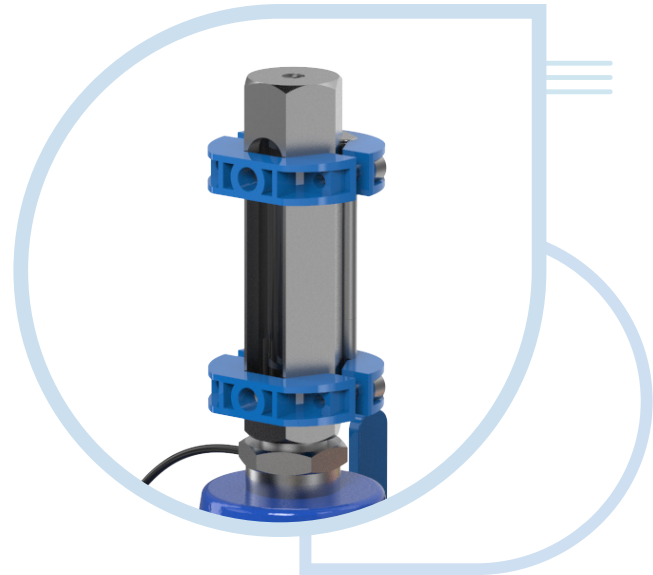
PRODUCT FEATURES

The Cla-Val Model X117H Valve Position Transmitter is an accurate monitor of the valve position. Through an industry standard 4-20mA or 0-10VDC output signals, the X117H delivers the accuracy required for computer-guided control valve systems (SCADA).

WIRING



See Model X101D for details and dimensions



SPECIFICATIONS

- Fits Valve Sizes:** 1-1/2" to 16"
- Enclosure:** IP-68 Water Resistant up to 6.6 ft (2m) for 1 Month
- Temperature Range:**
Ambient Temperature: -13°F to 185°F (-25C to 85C)
Fluid Temperature: 32°F to 185°F (0C to 85C)
- Electrical Conn.:**
Cable Length: 6.6 Feet (2m)
Power Supply Voltage 15-30 VDC
Output Signal 4-20mA or 0-10 VDC (configurable)
- Parameters:**
Pressure Rating: 360 psi max
Accuracy: $\pm 100 \mu\text{m}$
- Standard Materials:**
Site Tube: Pyrex
Site Tube Housing: 316 Stainless Steel

CLA-VAL Company
www.cla-val.com
info@cla-val.com
S-X117H (R-01/2022)



Quote No. Q11218
Date: Oct 30, 2024

W 3150 Co Rd H, Fond du Lac, WI 54937
920-581-5810
www.sabelmechanical.com
Sabel Contact: Brad Parkhurst
Email: bparkhurst@sabelmechanical.com

Sabel Mechanical LLC

Customer Billing Information	Job Site Information	Contact and Other Information
West Allis Water 6300 W Mc Geoch Ave, West Allis, WI 53219	84th Booster Station 8405 W National Ave, West Allis, WI 53227	Contact: Dina Arendt Phone: 414-302-8830 Email: darendt@westalliswi.gov

Sabel Mechanical is pleased to submit this proposal for:

Scope of Work

84th Booster Station-Control Valve Replacement \$9,938.61

Labor, Equipment, and Materials to perform the following:

- Remove existing 12" control valve
- Install new 12" right angle control valve (provided by others)
- Provide new SS spool pieces
- Provide new SS hardware and gaskets

Excludes new valve (provided by Dorner)
Excludes wiring (provided by Dorner)

NOTE: Insulation will need to be removed prior to install of new valve to measure piping to get correct flange fillers

Quote Total: \$9,938.61
Estimate valid until: Nov 29, 2024

Customer Signature: _____ Date _____

Customer Name (Print) _____

P.O. #: _____

Due to the fluctuating material pricing and availability, quote is valid thru end of today's business day, Pricing may have to be adjusted at time of purchase and will be reflected when project is invoiced

**CITY OF WEST ALLIS
RESOLUTION R-2025-0059**

**RESOLUTION ACCEPTING WORK OF LALONDE CONTRACTORS, INC. FOR
THE STREET RECONSTRUCTION AT S. 65TH ST. FROM W. GREENFIELD AVE.
TO W. NATIONAL AVE AND S. 66TH ST. FROM W. NATIONAL AVE. TO W.
MITCHELL ST. IN THE CITY OF WEST ALLIS AND AUTHORIZING AND
DIRECTING SETTLEMENT OF SAID CONTRACT IN ACCORDANCE WITH
CONTRACT TERMS OF 2022 PROJECT NO. 1 FOR FINAL PAYMENT IN THE
AMOUNT OF \$0.00**

WHEREAS, LaLonde Contractors, Inc. has completed their contractual obligations in accordance with the plans and specifications therefore, attested by the approval for payment by the City Engineer.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis that the work of:

LaLonde Contractors, Inc. - 2022 Project No.1

for the installation of concrete curb and gutter, concrete pavement, concrete sidewalk, driveway replacement, sanitary sewer relay, storm sewer, storm sewer relay, water main relay, building services, pavement marking, green infrastructure, and utility adjustments in:

S. 65th St. from W. Greenfield Ave. to W. National Ave.
S. 66th St. from W. National Ave. to W. Mitchell St.

be and the same is hereby accepted, and the proper City officers are hereby authorized and directed to make settlement with the said contractor in accordance with terms of said contract.

SECTION 1: **ADOPTION** “R-2025-0059” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0059(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0060**

**RESOLUTION TO ACCEPT THE PROPOSAL OF RAINBOW TREECARE,
PROVIDING 4% EMAMECTIN BENZOATE AN EMERALD ASH INSECTICIDE
TREATMENT, FOR A TOTAL NET SUM OF \$ 31,898.24**

WHEREAS, the Finance Department has reported that it duly processed a request for quotation for furnishing 92 qts. of 4% Emamectin Benzoate Emerald Ash treatment for the Public Works Forestry Division of the City of West Allis; and,

WHEREAS, the Common Council deems it to be in the best interests of the City of West Allis that the proposals of Complete Landscape Supply be accepted.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of West Allis that the proposal submitted by Rainbow Treecare for furnishing and delivering 92 quarts of 4% Emamectin Benzoate insecticide, not to exceed \$31,898.24 net 30 days, in accordance with City of West Allis RFP 25-002 be and is hereby accepted. Funding for this purchase has been budgeted and is available in the General Fund, Public Works Budget, and the purchase will be charged to Account Number 100-4301-533-53.02.

BE IT FURTHER RESOLVED, that the Finance Department be and is hereby authorized to enter into a contract for the aforesaid supplies.

SECTION 1: **ADOPTION** “R-2025-0060” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0060(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

City of West Allis Bid for Quart Bottles approved ArborMectin or Mectinite (Emamectin Benzoate - 4% Active Ingredient).

Please submit a bid for Quart Bottles approved ArborMectin or Mectinite (Emamectin Benzoate - 4% Active Ingredient).

Any questions please contact me, or our forestry office at 414-302-8811.

Thank you

	Quantity	Unit Price	Total								
<table border="1"> <tr><td>Reinders Inc.</td></tr> <tr><td>W227 N6225 Sussex Rd</td></tr> <tr><td>Sussex, WI 53089-3969</td></tr> <tr><td>262-786-3301</td></tr> <tr><td>customerservice@reinders.com</td></tr> </table>	Reinders Inc.	W227 N6225 Sussex Rd	Sussex, WI 53089-3969	262-786-3301	customerservice@reinders.com	92	no bid	#VALUE!			
Reinders Inc.											
W227 N6225 Sussex Rd											
Sussex, WI 53089-3969											
262-786-3301											
customerservice@reinders.com											
<table border="1"> <tr><td>Complete Landscape Supply</td></tr> <tr><td>7900 W Clinton Ave</td></tr> <tr><td>Milwaukee, WI 53233</td></tr> <tr><td>414-393-9101</td></tr> <tr><td>info@cllsupply.com</td></tr> <tr><td>Brandon Wickus</td></tr> <tr><td>Cell: 262-352-7921</td></tr> <tr><td>brandon@cllsupply.com</td></tr> </table>	Complete Landscape Supply	7900 W Clinton Ave	Milwaukee, WI 53233	414-393-9101	info@cllsupply.com	Brandon Wickus	Cell: 262-352-7921	brandon@cllsupply.com	92	\$348.56	\$32,067.52
Complete Landscape Supply											
7900 W Clinton Ave											
Milwaukee, WI 53233											
414-393-9101											
info@cllsupply.com											
Brandon Wickus											
Cell: 262-352-7921											
brandon@cllsupply.com											
<table border="1"> <tr><td>Carlin-Progreen Plus</td></tr> <tr><td>16680 W. Cleveland Ave. STE-R</td></tr> <tr><td>NEW BERLIN, WI 53151</td></tr> <tr><td>Karl Schimmel</td></tr> <tr><td>Office: 262-789-9550</td></tr> <tr><td>Cell: 815-351-1224</td></tr> <tr><td>KSchimmel@progreenplus.com</td></tr> </table>	Carlin-Progreen Plus	16680 W. Cleveland Ave. STE-R	NEW BERLIN, WI 53151	Karl Schimmel	Office: 262-789-9550	Cell: 815-351-1224	KSchimmel@progreenplus.com	92	\$356.00	\$32,752.00	
Carlin-Progreen Plus											
16680 W. Cleveland Ave. STE-R											
NEW BERLIN, WI 53151											
Karl Schimmel											
Office: 262-789-9550											
Cell: 815-351-1224											
KSchimmel@progreenplus.com											
<table border="1"> <tr><td>Rainbow Treecare Scientific</td></tr> <tr><td>Lee Fredericks</td></tr> <tr><td>312-485-9260</td></tr> <tr><td>lfredericks@treecarescience.com</td></tr> </table>	Rainbow Treecare Scientific	Lee Fredericks	312-485-9260	lfredericks@treecarescience.com	92	\$346.72	\$31,898.24				
Rainbow Treecare Scientific											
Lee Fredericks											
312-485-9260											
lfredericks@treecarescience.com											

**CITY OF WEST ALLIS
RESOLUTION R-2025-0061**

**RESOLUTION TO ACCEPT THE PROPOSALS OF VARIOUS NURSERIES FOR
FURNISHING AND DELIVERING 504 TREES FOR 2025 SPRING PLANTING FOR
A TOTAL NET SUM OF \$45,973**

WHEREAS, the Finance Department has reported that it has duly advertised a request for proposal for various species of trees for the Department of Public Works of the City of West Allis, that the proposals received as shown on the attached bid report were reasonable; and,

WHEREAS, the Common Council deems it to be in the best interests of the City of West Allis that the proposals hereinafter mentioned be accepted.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of West Allis approve the proposals submitted by Acorn Farms for 67 trees at \$8,049, Chestnut Ridge for 69 trees at \$5,845, McKay for 31 trees at \$2,254, and Schichtel for 337 trees at \$29,825, for 504 trees for a total net amount of \$45,973. Funding is provided from the following account MMSD (540-1801-538-56-02) in accordance with City of West Allis RFP #25-001 be and is hereby accepted.

BE IT FURTHER RESOLVED that the Finance Department be and is hereby authorized to enter into a contract for the aforesaid trees.

SECTION 1: **ADOPTION** “R-2025-0061” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0061(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

RFP # 25-001 Spring Trees for 2025

Item #	QTY	Description	NEW QTY	Price	Low Bid	Total
1	3	Abies Concolor, White Fir, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	3	\$127.00	schichtel	\$381.00
2	2	Acer platanoides 'Columnare', Columnare Norway Maple, 1-1/2 – 1-3/4" BR	2	\$74.00	chestnut	\$148.00
3	6	Acer platanoides 'Deborah', Deborah Norway Maple, 1-1/2 – 1-3/4" BR	6	\$71.00	schichtel	\$426.00
4	11	Acer platanoides 'Emerald Queen' or 'Emerald Lustre', Emerald Queen or Emerald Lustre Norway Maple, 1-1/2-1-3/4" BR	11	\$68.00	schichtel	\$748.00
5	1	Acer tataricum Tatarian Maple, 1-1/2 – 1-3/4" BR	1	\$82.00	schichtel	\$82.00
6	4	Acer truncatun x A.platanoides 'Warrenred', Pacific Sunset Hybrid Maple, 1-1/2 – 1-3/4" BR	4	\$86.00	schichtel	\$344.00
7	1	Aesculus glabra 'JN Select', Earlyglow Buckeye, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
8	10	Aesculus x 'Homestead', Homestead Buckeye, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	10	\$174.00	schichtel	\$1,740.00
9	16	Amelanchier arborea 'Autumn Brilliance' Autumn Brilliance Serviceberry 1-1/2-1-3/4" BR	16	\$94.00	schichtel	\$1,504.00
10	1	Amelanchier arborea 'Princess Diana' Princess Diana Serviceberry 1-1/2-1-3/4" BR	1	\$94.00	schichtel	\$94.00
11	9	Amelanchier laevis 'Cumulus' Cumulus Serviceberry 1-1/2-1-3/4" BR	9	\$94.00	schichtel	\$846.00
12	12	Betula nigra, River Birch, 1-1/2 – 1-3/4" BR	12	\$77.00	mckay	\$924.00
13	1	Carya cordiformis, Bitternut Hickory, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$141.00	acorn	\$141.00
14	1	Carya ovata, Shagbark Hickory, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$141.00	acorn	\$141.00
15	2	Catalpa speciosa, Northern Catalpa, 1-1/2 – 1-3/4" BR	2	\$65.00	schichtel	\$130.00
16	19	Celtis occidentalis, Hackberry, 1-1/2 – 1-3/4" BR	19	\$68.00	schichtel	\$1,292.00

17	6	Celtis occidentalis, Hackberry, 1-1/2 - 1-3/4" B&B, cont, or grow bag	6	\$118.00	acorn	\$708.00
18	7	Celtis occidentalis 'JFS-KSU1', Prairie Sentinel Hackberry, 1-1/2 - 1-3/4" BR	7	\$88.00	schichtel	\$616.00
19	4	Celtis occidentalis 'JFS-KSU1', Prairie Sentinel Hackberry, 1-1/2 - 1-3/4" B&B, cont, or grow bag	4	\$125.00	acorn	\$500.00
20	6	Cercidiphyllum japonicum, Katsura Tree, 1-1/2 - 1-3/4" BR	6	\$68.00	schichtel	\$408.00
21	6	Cercidiphyllum japonicum, Katsura Tree, 1-1/2 - 1-3/4" B&B, cont or grow bag	6	\$136.00	schichtel	\$816.00
22	6	Cladrastis kentukea, American Yellowwood, 1/2 - 1-3/4" BR	6	\$90.00	chestnut	\$540.00
23	7	Cladrastis kentukea, American Yellowwood, 1/2 - 1-3/4" B&B, cont or grow bag	7	\$118.00	acorn	\$826.00
24	2	Cornus mas 'Golden Glory', Golden Glory Dogwood 1-1/2 - 1-3/4" B&B, cont or grow bag	2	\$111.00	schichtel	\$222.00
25	8	Eucommia ulmoides, Hardy Rubber Tree, 1-1/2 - 1-3/4" BR	8	\$75.00	schichtel	\$600.00
26	5	Eucommia ulmoides, Hardy Rubber Tree, 1-1/2 - 1-3/4" B&B, Cont, or grow bag	5	\$136.00	schichtel	\$680.00
27	1	Fagus grandifolia, American Beech, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$138.00	acorn	\$138.00
28	12	Fagus sylvatica 'Riversii', Riversii European Beech, 1-1/2 - 1-3/4" B&B, cont or grow bag	12	\$121.00	acorn	\$1,452.00
29	25	Ginkgo biloba 'Princeton Sentry', Princeton Sentry Ginkgo, 1-1/2 - 1-3/4" BR	25	\$103.00	schichtel	\$2,575.00
30	22	Gleditsia tricanthos 'Skyline', Skyline Honeylocust, 1-1/2 - 1-3/4" BR	22	\$70.00	schichtel	\$1,540.00
31	8	Gymnocladus dioicus 'Espresso', Espresso Kentucky Coffeetree', 1-1/2 - 1-3/4" BR	8	\$85.00	schichtel	\$680.00
32	1	Gymnocladus dioicus 'Skinny Latte', Skinny Latte Kentucky Coffeetree', 1-1/2 - 1-3/4" BR	1	\$85.00	schichtel	\$85.00
33	1	Juglans cineria, Butternut, 1-1/2 - 1-3/4" B&B, cont or grow bag	1	\$150.00	schichtel	\$150.00
34	1	Larix laricina, American Larch, 1-1/2 - 1-3/4" B&B, cont or grow bag	1	\$112.00	schichtel	\$112.00
35	12	Liriodendron tulipifera, Tuliptree, 1-1/2 - 1-3/4" BR	12	\$75.00	schichtel	\$900.00
36	12	Liriodendron tulipifera, Tuliptree, 1-1/2 - 1-3/4" B&B.Cont. or grow bag	12	\$118.00	acorn	\$1,416.00
37	6	Liriodendron tulipifera 'Fastigiatum' or Emerald City, Fastigate or Emerald City Tuliptree, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	6	\$118.00	acorn	\$708.00

38	4	Maackia amurensis 'Magnificent', Magnificent, Amur Maackia 1-1/2 - 1-3/4" BR	4	\$99.00	schichtel	\$396.00
39	19	Maclura pomifera 'white shield', White Shield Osage Orange, 1-1/2 - 1-3/4" BR	19	\$90.00	schichtel	\$1,710.00
40	5	Magnolia acuminata Cucumbertree 1-1/2 - 1-3/4" B&B, cont, or grow bag	5	\$220.00	schichtel	\$1,100.00
41	1	Magnolia liliflora 'Elizabeth', Elizabeth Magnolia, 1-1/2 - 1-3/4" B&B, cont, or grow bag	1	\$220.00	schichtel	\$220.00
42	6	Magnolia 'Moonglow' 1-1/2 - 1-3/4" B&B, cont, or grow bag	6	\$135.00	schichtel	\$810.00
43	3	Malus 'Adams', Adams Crabapple, 1-1/2 - 1-3/4" BR	3	\$77.00	chestnut	\$231.00
44	4	Malus 'Adirondak', Adirondak Crabapple, 1-1/2 - 1-3/4" BR	4	\$78.00	chestnut	\$312.00
45	1	Malus 'Firebird', Firebird Crabapple, 1-1/2 - 1-3/4" BR	1	\$84.00	chestnut	\$84.00
46	1	Malus 'Raspberry Spear', Raspberry Spear Crabapple, 1-1/2 - 1-3/4" BR	2	\$86.00	schichtel	\$172.00
47	5	Matesequoia glyptostroboides, Dawn Redwood, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	5	\$85.00	schichtel	\$425.00
48	5	Ostrya virginiana, Ironwood, 1-1/2 - 1-3/4" B&B, cont, or grow bag	5	\$140.00	schichtel	\$700.00
49	8	Phellodendron lavallei 'Longnecker' or 'His Majesty', Eyestopper or His Majesty Corktree, 1-1/2-1-3/4" BR	8	\$100.00	chestnut	\$800.00
50	25	Platanus x acerfolia 'Morton Circle', Exclamation London Planetree, 1-1/2 - 1-3/4" BR	26	\$59.00	schichtel	\$1,534.00
51	4	Pyrus calleryana 'Autumn Blaze' Autumn Blaze Callery Pear, 1-1/2 - 1-3/4" BR	4	\$99.00	schichtel	\$396.00
52	17	Pyrus calleryana 'Chanticleer' OR 'Cleveland Select', Chanticleer or Cleveland Select Callery Pear, 1-1/2 - 1-3/4" BR	18	\$70.00	schichtel	\$1,260.00
53	1	Pyrus calleryana 'Chastity' Chastity Callery Pear, 1-1/2 - 1-3/4" BR	1	\$82.00	chestnut	\$82.00
54	11	Pyrus calleryana 'Jack' Jack Callery Pear, 1- 1/2 - 1-3/4" BR	11	\$84.00	schichtel	\$924.00
55	1	Quercus alba, White Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
56	1	Quercus bicolor, Swamp White Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
57	1	Quercus bicolor, Beacon Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$128.00	acorn	\$128.00
58	5	Quercus macrocarpa, Bur Oak, 1-1/2 - 1- 3/4" B&B, Cont. or grow bag	5	\$128.00	acorn	\$640.00
59	1	Syringa meyeri 'Pablin', Dwarf Korean Lilac on standard, 4-6 ft	1	\$121.00	acorn	\$121.00

60	19	Syringa reticulata 'Ivory Silk', Ivory Silk Japanese Lilac, 1-3/4" BR	1-1/2 -	19	\$70.00	mckay	\$1,330.00
61	4	Taxodium distichum, Baldcypress, 1/2 - 1-3/4" B&B, Cont. or grow bag	1-	4	\$80.00	schichtel	\$320.00
62	10	Tilia Americana 'Redmond', Redmond Linden, 1-1/2 - 1-3/4" BR		10	\$59.00	schichtel	\$590.00
63	6	Tilia cordata 'Corzam', Corinthian Littleleaf Linden, 1-1/2 - 1-3/4" BR		6	\$88.00	schichtel	\$528.00
64	5	Tilia cordata 'Glenleven', Glenleven Littleleaf Linden, - 1-3/4" BR	1-1/2	5	\$72.00	chestnut	\$360.00
65	22	Tilia Tomentosa 'Sterling', Sterling Silver Linden, 1-1/2 - 1-3/4" BR		22	\$83.00	chestnut	\$1,826.00
66	9	Ulmus x 'Frontier', Frontier Hybrid Elm, 1/2 - 1-3/4" BR	1-	9	\$74.00	schichtel	\$666.00
67	2	Ulmus x 'Frontier', Frontier Hybrid Elm, 1/2 - 1-3/4" B&B, Cont. or grow bag	1-	2	\$108.00	acorn	\$216.00
68	2	Ulmus carpinifolia 'Morton Glossy', Triumph Elm, 1-1/2 - 1-3/4" BR		2	\$67.00	schichtel	\$134.00
69	9	Ulmus 'Prospector', Prospector Elm, 1-1/2 - 1-3/4" BR		9	\$67.00	schichtel	\$603.00
70	4	Ulmus x 'New Horizon', New Horizon Hybrid Elm, 3/4" BR	1-1/2 - 1-	4	\$67.00	schichtel	\$268.00
71	5	Ulmus x 'New Horizon', New Horizon Hybrid Elm, 3/4" B&B, cont or grow bag	1-1/2 - 1-	5	\$112.00	acorn	\$560.00
72	7	Zelkova serrata 'Green Vase', Green Vase Zelkova, 3/4" BR	1-1/2 - 1-	7	\$86.00	chestnut	\$602.00
73	10	Zelkova serrata 'Musashino', Musashino Zelkova, 1-1/2 - 1-3/4" BR		10	\$86.00	chestnut	\$860.00
74	1	Zelkova serrata 'Schmidtlow', Wireless Zelkova, 1-3/4" B&B, cont, and grow bag	1-1/2 -	1	\$98.00	schichtel	\$98.00

Payment Terms
P-Card Acceptance

Total Trees	501	Total Trees	504	\$45,973.00	67
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504 \$45,973.00

<u>ACORN</u>		<u>BAILEYS</u>		<u>Bruce</u>		<u>CHESTNUT</u>		<u>GOODMARK</u>		<u>JOHNSONS</u>	
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\$158.00						\$74.00	3'				
\$128.00						\$74.00					
\$78.00						\$73.00					
\$68.00	1.25"					\$73.00		\$142.50	bb		
\$112.00						\$87.00		\$142.50	sub		
\$183.00		\$55.78	8'			\$93.00					
\$118.00		\$72.80	1.25"			\$165.00		\$187.00			
						\$299.00		\$187.00	sub		
\$118.00	bb					\$107.00		\$160.00			
\$98.00	cont					\$112.00		\$160.00	sub		
\$118.00	bb					\$110.00		\$164.00	sub		
\$78.00		\$44.55	1.25"			\$88.00		\$152.00	sub		
\$141.00											
\$141.00								\$230.00			
\$58.00	5'					\$70.00		\$160.00			
\$68.00	1"	\$37.80	1"			\$90.00		\$154.00	bb		

\$118.00		\$37.80	1"		\$145.00		\$154.00			
\$102.00	1.25"				\$102.00		\$161.00	sub		
\$125.00					\$165.00		\$161.00	sub		
\$98.00	1.25"				\$98.00		\$187.00	bb		
\$102.00	1.25"				\$185.00		\$187.00			
\$118.00	bb				\$90.00					
\$118.00					\$155.00					
\$114.00					\$175.00		\$168.00			
\$156.00	bb				\$107.00					
\$156.00					\$175.00					
\$138.00					\$210.00		\$270.00			
\$121.00					\$199.00	Avail 2				
\$148.00	bb	\$82.38	1.25"		\$109.00		\$270.00	bb		
\$118.00		\$68.77	1.25"		\$90.00		\$140.00			
\$118.00	1.25"				\$102.00		\$187.00			
					\$102.00	sub				
					\$199.00	sub				
					\$199.00					
\$118.00	bb	\$34.05	6'		\$95.00					
\$118.00		\$34.05	6'		\$185.00		\$187.00			
\$118.00					\$179.00		\$187.00			

						\$112.00		\$178.50			
								\$176.00	sub		
\$156.00											
		\$38.98	1"			\$77.00					
\$94.00	bb	\$33.60	5'			\$78.00		\$132.00			
\$94.00	bb					\$84.00		\$132.00			
\$110.00	bb					\$94.00		\$132.00	sub		
\$95.00		\$44.80	6'			\$185.00		\$199.75			
						\$178.00		\$161.50			
						\$100.00					
\$92.00		\$63.84	1.25"			\$74.00		\$161.50			
						\$104.00					
						\$85.00					
						\$82.00					
\$109.00						\$94.00					
\$118.00		\$64.91	1.25"			\$175.00		\$182.75			
\$118.00		\$58.41	1"			\$169.00		\$161.25			
\$128.00						\$169.00		\$161.25			
\$128.00		\$58.41	1"			\$169.00		\$161.25			
\$121.00		\$64.80				\$145.00		\$24.00	24"		

\$118.00	bb	\$55.51	1"			\$89.00		\$187.00			
\$148.00		\$45.08	5'			\$155.00		\$170.00			
\$108.00		\$61.13				\$90.00		\$153.75			
\$124.00		\$65.41	1"			\$90.00		\$153.75	sub		
\$108.00	1.25"					\$72.00		\$153.75	sub		
\$108.00		\$77.17				\$83.00		\$153.75			
\$74.00	1.25"	\$43.51	6'			\$85.00		\$127.50	bb		
\$108.00		\$43.51	6'			\$165.00		\$127.50			
\$78.00						\$85.00		\$127.50			
						\$85.00		\$153.00	sub		
\$112.00	cont	\$52.47	1"			\$90.00					
\$112.00		\$52.47	1"			\$165.00		\$127.50			
\$122.00		\$71.29	1"			\$86.00		\$170.00			
\$115.00		\$70.45	1.25"			\$86.00		\$170.00			
\$116.00						\$188.00					

\$3000 min

\$5000 min

Acorn	Baileys	Chestnut	Goodmark	Johnson
\$8,049.00		69 \$5,845.00		

KANKAKEE		LEAVES INSPIRED		LEGACY		MEACHAM		McKAY		SCHICHEL	
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								\$235.00		\$127.00	
										\$79.00	
								\$72.00		\$71.00	
								\$72.00		\$68.00	
						\$89.75		\$120.00		\$82.00	
		\$117.00								\$86.00	
		\$153.00								\$174.00	
										\$174.00	
		\$114.00						\$95.00		\$94.00	
										\$94.00	
		\$114.00	sub							\$94.00	
		\$100.00	sub					\$77.00		\$79.00	
										\$150.00	
		\$180.00								\$150.00	
		\$89.00						\$82.00		\$65.00	
		\$70.00				\$96.75		\$70.00		\$68.00	

		\$123.00			\$151.50		\$195.00		\$132.00
		\$109.00							\$88.00
		\$135.00							\$139.00
		\$133.00							\$68.00
		\$186.00					\$195.00		\$136.00
		\$131.00							\$92.00
		\$161.00							\$140.00
		\$120.00							\$111.00
									\$75.00
									\$136.00
					\$159.50				\$140.00
									\$140.00
									\$103.00
		\$115.00			\$94.00		\$72.00		\$70.00
		\$129.00					\$120.00		\$85.00
		\$130.00							\$85.00
									\$150.00
		\$130.00					\$195.00		\$112.00
									\$75.00
		\$213.00							\$185.00
		\$182.00							\$185.00

									\$99.00
									\$90.00
									\$220.00
									\$220.00
							\$175.00	sub	\$135.00
									\$86.00
		\$125.00					\$90.00		\$86.00
		\$110.00					\$120.00		\$86.00
		\$127.00							\$86.00
									\$85.00
					\$149.50		\$195.00		\$140.00
							\$150.00	bb	\$59.00
		\$122.00	sub				\$180.00	bb	\$99.00
		\$122.00	sub		\$79.50		\$95.00	cont	\$70.00
		\$122.00							\$90.00
									\$84.00
		\$165.00					\$195.00		\$135.00
		\$155.00			\$168.50		\$195.00		\$135.00
		\$155.00					\$195.00		\$135.00
		\$152.00			\$147.50		\$195.00		\$135.00
		\$115.00					\$135.00		\$175.00

		\$111.00				\$97.35		\$70.00		\$70.00
		\$150.00	sub					\$175.00		\$80.00
		\$105.00				\$94.50		\$75.00		\$59.00
										\$88.00
		\$105.00				\$94.50		\$75.00		\$88.00
						\$94.50		\$75.00	sub	\$90.00
										\$74.00
										\$135.00
		\$105.00						\$90.00		\$67.00
		\$105.00						\$90.00	sub	\$67.00
		\$105.00				\$82.35		\$90.00		\$67.00
		\$135.00				\$139.75		\$135.00		\$130.00
										\$90.00
										\$90.00
										\$98.00

Kankakee

Leaves

Meacham

Mckay

Schichtel

31

\$2,254.00

337

\$29,825.00

<u>TILLMANN</u>		<u>TIMBER LINE</u>		<u>WAYSIDE</u>		<u>Willoway</u>					<u>CD</u>
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				\$110.00			
\$155.00	bb			\$110.00			
\$155.00	bb			\$110.00			
\$155.00	bb			\$110.00			
				\$120.00			
\$175.00	bb			\$105.00			
\$155.00	bb						
\$155.00	bb			\$115.00			
				\$115.00			

\$155.00				\$130.00			
				\$135.00			
				\$155.00			
				\$175.00			
				\$190.00			
				\$155.00			
				\$170.00			
				\$140.00			
\$195.00	bb			\$265.00			
\$150.00	bb			\$100.00			
\$160.00	bb			\$170.00			
				\$160.00			
				\$180.00			

\$130.00	bb			\$80.00	sub		
\$130.00	bb			\$90.00			
\$130.00	bb			\$115.00			
				\$165.00	bb		
				\$140.00			
				\$170.00			
\$155.00	bb			\$110.00			
				\$125.00			
				\$125.00			
				\$140.00			
\$145.00	bb						
\$155.00							
\$155.00							
\$170.00				\$175.00			

\$160.00	bb			\$180.00			
\$155.00	bb			\$135.00			
\$155.00	bb			\$135.00			
				\$135.00			
				\$145.00			
\$145.00							
\$145.00	bb			\$110.00			
				\$110.00			
\$145.00				\$125.00			

Tillman Timberline Wayside Willoway

C22401
220-7522-563-53-16

10043015335302

		<u>STREET</u>
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100-4301-533-53-02

<u>Item #</u>	<u>QTY</u>	<u>Description</u>	<u>NEW QTY</u>	<u>Price</u>	<u>Low Bid</u>	<u>Total</u>
1	3	Abies Concolor, White Fir, 1-1/2 – 1-3/4" B&B,Cont. or grow bag	3	\$127.00	schichtel	\$381.00
3	6	Acer platanoides 'Deborah', Deborah Norway Maple, 1-1/2 – 1-3/4" BR	6	\$71.00	schichtel	\$426.00
4	11	Acer platanoides 'Emerald Queen' or 'Emerald Lustre', Emerald Queen or Emerald Lustre Norway Maple, 1-1/2-1-3/4" BR	11	\$68.00	schichtel	\$748.00
5	1	Acer tataricum Tatarian Maple, 1-1/2 – 1-3/4" BR	1	\$82.00	schichtel	\$82.00
6	4	Acer truncatun x A.platanoides 'Warrenred', Pacific Sunset Hybrid Maple, 1-1/2 – 1-3/4" BR	4	\$86.00	schichtel	\$344.00
8	10	Aesculus x 'Homestead', Homestead Buckeye, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	10	\$174.00	schichtel	\$1,740.00
9	16	Amelanchier arborea 'Autumn Brilliance' Autumn Brilliance Serviceberry 1-1/2-1-3/4" BR	16	\$94.00	schichtel	\$1,504.00
10	1	Amelanchier arborea 'Princess Diana' Princess Diana Serviceberry 1-1/2-1-3/4" BR	1	\$94.00	schichtel	\$94.00
11	9	Amelanchier laevis 'Cumulus' Cumulus Serviceberry 1-1/2-1-3/4" BR	9	\$94.00	schichtel	\$846.00
15	2	Catalpa speciosa, Northern Catalpa, 1-1/2 – 1-3/4" BR	2	\$65.00	schichtel	\$130.00
16	19	Celtis occidentalis, Hackberry, 1-1/2 - 1-3/4" BR	19	\$68.00	schichtel	\$1,292.00
18	7	Celtis occidentalis 'JFS-KSU1', Prairie Sentinel Hackberry, 1-1/2 – 1-3/4" BR	7	\$88.00	schichtel	\$616.00
20	6	Cercidiphyllum japonicum, Katsura Tree, 1-1/2 - 1-3/4" BR	6	\$68.00	schichtel	\$408.00
21	6	Cercidiphyllum japonicum, Katsura Tree, 1-1/2 - 1-3/4" B&B, cont or grow bag	6	\$136.00	schichtel	\$816.00

24	2	Cornus mas 'Golden Glory', Golden Glory Dogwood 1-1/2 - 1-3/4" B&B, cont or grow bag	2	\$111.00	schichtel	\$222.00
25	8	Eucommia ulmoides, Hardy Rubber Tree, 1-1/2 - 1-3/4" BR	8	\$75.00	schichtel	\$600.00
26	5	Eucommia ulmoides, Hardy Rubber Tree, 1-1/2 - 1-3/4" B&B, Cont, or grow bag	5	\$136.00	schichtel	\$680.00
29	25	Ginkgo biloba 'Princeton Sentry', Princeton Sentry Ginkgo, 1-1/2 - 1-3/4" BR	25	\$103.00	schichtel	\$2,575.00
30	22	Gleditsia tricanthos 'Skyline', Skyline Honeylocust, 1-1/2 - 1-3/4" BR	22	\$70.00	schichtel	\$1,540.00
31	8	Gymnocladus dioicus 'Espresso', Espresso Kentucky Coffeetree', 1-1/2 - 1-3/4" BR	8	\$85.00	schichtel	\$680.00
32	1	Gymnocladus dioicus 'Skinny Latte', Skinny Latte Kentucky Coffeetree', 1-1/2 - 1-3/4" BR	1	\$85.00	schichtel	\$85.00
33	1	Juglans cineria, Butternut, 1-1/2 - 1-3/4" B&B, cont or grow bag	1	\$150.00	schichtel	\$150.00
34	1	Larix laricina, American Larch, 1-1/2 - 1-3/4" B&B, cont or grow bag	1	\$112.00	schichtel	\$112.00
35	12	Liriodendron tulipifera, Tuliptree, 1-1/2 - 1-3/4" BR	12	\$75.00	schichtel	\$900.00
38	4	Maackia amurensis 'Magnificent', Magnificent, Amur Maackia 1-1/2 - 1-3/4" BR	4	\$99.00	schichtel	\$396.00
39	19	Maclura pomifera 'white shield', White Shield Osage Orange, 1-1/2 - 1-3/4" BR	19	\$90.00	schichtel	\$1,710.00
40	5	Magnolia acuminata Cucumbertree 1-1/2 - 1-3/4" B&B, cont, or grow bag	5	\$220.00	schichtel	\$1,100.00
41	1	Magnolia liliflora 'Elizabeth', Elizabeth Magnolia, 1-1/2 - 1-3/4" B&B, cont, or grow bag	1	\$220.00	schichtel	\$220.00
42	6	Magnolia 'Moonglow' 1-1/2 - 1-3/4" B&B, cont, or grow bag	6	\$135.00	schichtel	\$810.00
46	1	Malus 'Raspberry Spear', Raspberry Spear Crabapple, 1-1/2 - 1-3/4" BR	2	\$86.00	schichtel	\$172.00
47	5	Matesequoia glyptostroboides, Dawn Redwood, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	5	\$85.00	schichtel	\$425.00
48	5	Ostrya virginiana, Ironwood, 1-1/2 - 1-3/4" B&B, cont, or grow bag	5	\$140.00	schichtel	\$700.00
50	25	Platanus x acerfolia 'Morton Circle', Exclamation London Planetree, 1-1/2 - 1-3/4" BR	26	\$59.00	schichtel	\$1,534.00
51	4	Pyrus calleryana 'Autumn Blaze' Autumn Blaze Callery Pear, 1-1/2 - 1-3/4" BR	4	\$99.00	schichtel	\$396.00
52	17	Pyrus calleryana 'Chanticleer' OR 'Cleveland Select', Chanticleer or Cleveland Select Callery Pear, 1-1/2 - 1-3/4" BR	18	\$70.00	schichtel	\$1,260.00
54	11	Pyrus calleryana 'Jack' Jack Callery Pear, 1-1/2 - 1-3/4" BR	11	\$84.00	schichtel	\$924.00
61	4	Taxodium distichum, Baldcypress, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	4	\$80.00	schichtel	\$320.00
62	10	Tilia Americana 'Redmond', Redmond Linden, 1-1/2 - 1-3/4" BR	10	\$59.00	schichtel	\$590.00
63	6	Tilia cordata 'Corzam', Corinthian Littleleaf Linden, 1-1/2 - 1-3/4" BR	6	\$88.00	schichtel	\$528.00

66	9	Ulmus x 'Frontier', Frontier Hybrid Elm, 1-1/2 - 1-3/4" BR	9	\$74.00	schichtel	\$666.00
68	2	Ulmus carpinifolia 'Morton Glossy', Triumph Elm, 1-1/2 - 1-3/4" BR	2	\$67.00	schichtel	\$134.00
69	9	Ulmus 'Prospector', Prospector Elm, 1-1/2 - 1-3/4" BR	9	\$67.00	schichtel	\$603.00
70	4	Ulmus x 'New Horizon', New Horizon Hybrid Elm, 1-1/2 - 1-3/4" BR	4	\$67.00	schichtel	\$268.00
74	1	Zelkova serrata 'Schmidtlow', Wireless Zelkova, 1-1/2 - 1-3/4" B&B, cont, and grow bag	1	\$98.00	schichtel	\$98.00

Totals

337

\$29,825.00

<u>Item #</u>	<u>QTY</u>	<u>Description</u>	<u>NEW QTY</u>	<u>Price</u>	<u>Low Bid</u>	<u>Total</u>
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12	12	Betula nigra, River Birch, 3/4" BR	1-1/2 - 1-	12	\$77.00	mckay	\$924.00
60	19	Syringa reticulata 'Ivory Silk', Ivory Silk Japanese Lilac, 3/4" BR	1-1/2 - 1-	19	\$70.00	mckay	\$1,330.00

Total Trees #####

Total Trees

31

\$2,254.00

<u>Item #</u>	<u>QTY</u>	<u>Description</u>	<u>NEW QTY</u>	<u>Price</u>	<u>Low Bid</u>	<u>Total</u>
7	1	Aesculus glabra 'JN Select', Earlyglow Buckeye, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
13	1	Carya cordiformis, Bitternut Hickory, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$141.00	acorn	\$141.00
14	1	Carya ovata, Shagbark Hickory, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$141.00	acorn	\$141.00
17	6	Celtis occidentalis, Hackberry, 1-1/2 - 1-3/4" B&B, cont, or grow bag	6	\$118.00	acorn	\$708.00
19	4	Celtis occidentalis 'JFS-KSU1', Prairie Sentinel Hackberry, 1-1/2 – 1-3/4" B&B, cont. or grow bag	4	\$125.00	acorn	\$500.00
23	7	Cladrastis kentukea, American Yellowwood, 1/2 - 1-3/4" B&B, cont or grow bag	7	\$118.00	acorn	\$826.00
27	1	Fagus grandifolia, American Beech, 1-1/2 – 1-3/4" B&B, Cont. or grow bag	1	\$138.00	acorn	\$138.00
28	12	Fagus sylvatica 'Riversii', Riversii European Beech, 1-1/2 – 1-3/4" B&B, cont or grow bag	12	\$121.00	acorn	\$1,452.00
36	12	Liriodendron tulipifera, Tuliptree, 1-1/2 - 1-3/4" B&B.Cont. or grow bag	12	\$118.00	acorn	\$1,416.00
37	6	Liriodendron tulipifera 'Fastigiatum' or Emerald City , Fastigate or Emerald City Tuliptree, 1-1/2 - 1-3/4" B&B. Cont. or grow bag	6	\$118.00	acorn	\$708.00
55	1	Quercus alba, White Oak, 1-1/2 - 1- 3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
56	1	Quercus bicolor, Swamp White Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$118.00	acorn	\$118.00
57	1	Quercus bicolor, Beacon Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	1	\$128.00	acorn	\$128.00
58	5	Quercus macrocarpa, Bur Oak, 1-1/2 - 1-3/4" B&B, Cont. or grow bag	5	\$128.00	acorn	\$640.00
59	1	Syringa meyeri 'Pablin', Dwarf Korean Lilac on standard, 4-6 ft	1	\$121.00	acorn	\$121.00
67	2	Ulmus x 'Frontier', Frontier Hybrid Elm, 1-1/2 - 1- 3/4" B&B, Cont. or grow bag	2	\$108.00	acorn	\$216.00
71	5	Ulmus x 'New Horizon', New Horizon Hybrid Elm, 1-1/2 - 1-3/4" B&B, cont or grow bag	5	\$112.00	acorn	\$560.00

Total Trees

67

\$8,049.00

<u>Item #</u>	<u>QTY</u>	<u>Description</u>	<u>NEW QTY</u>	<u>Price</u>	<u>Low Bid</u>	<u>Total</u>
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2	2	Acer platanoides 'Columnare', Columnare Norway Maple, 1-1/2 – 1-3/4" BR	2	\$74.00	chestnut	\$148.00
22	6	Cladrastis kentukea, American Yellowwood, 1/2 - 1-3/4" BR	6	\$90.00	chestnut	\$540.00
43	3	Malus 'Adams', Adams Crabapple, 1-1/2 – 1-3/4" BR	3	\$77.00	chestnut	\$231.00
44	4	Malus 'Adirondak', Adirondak Crabapple, 1-1/2 – 1-3/4" BR	4	\$78.00	chestnut	\$312.00
45	1	Malus 'Firebird', Firebird Crabapple, 1-1/2 – 1-3/4" BR	1	\$84.00	chestnut	\$84.00
49	8	Phellodendron lavallei 'Longnecker' or 'His Majesty', Eyestopper or His Majesty Corktree 1-1/2-1-3/4" BR	8	\$100.00	chestnut	\$800.00
53	1	Pyrus calleryana 'Chastity' Chastity Callery Pear, 1-1/2 - 1-3/4" BR	1	\$82.00	chestnut	\$82.00
64	5	Tilia cordata 'Glenleven', Glenleven Littleleaf Linden, 1-1/2 – 1-3/4" BR	5	\$72.00	chestnut	\$360.00
65	22	Tilia Tomentosa 'Sterling', Sterling Silver Linden, 1-1/2 - 1-3/4" BR	22	\$83.00	chestnut	\$1,826.00
72	7	Zelkova serrata 'Green Vase', Green Vase Zelkova, 1-1/2 - 1-3/4" BR	7	\$86.00	chestnut	\$602.00
73	10	Zelkova serrata 'Musashino', Musashino Zelkova, 1-1/2 - 1-3/4" BR	10	\$86.00	chestnut	\$860.00

Total Trees

69

\$5,845.00



Employment Contract

The City of West Allis ("City") and Dan Adamczyk (the "Candidate") hereby enter into this employment contract pursuant to the terms below.

RECITALS:

WHEREAS, the position of Code Enforcement Director (the "Position") serves as an appointed officer of the City of West Allis under state and local law; and

WHEREAS, the Position is filled through appointment by the West Allis Common Council pursuant to Wis. Stat. § 62.09(3)(b)3. and applicable charter ordinances; and

WHEREAS, the City Administrator has recommended the appointment of the Candidate to the Position, the common council has confirmed the Candidate's appointment, and the Candidate has accepted that appointment;

NOW, THEREFORE, the parties hereby agree to the following terms regarding the Candidate's employment while serving the City in the Position:

1. *APPOINTMENT*: Pursuant to Wis. Stat. § 62.09(3)(b)3., the Candidate is appointed to fill the Position subject to a satisfactory completion of background check, satisfactory completion of pre-employment drug screen, and verification of education, credentials, licenses/certifications.
2. *OATH*: Pursuant to Wis. Stat. § 62.09(4)(a), the Candidate will timely take the oath for the faithful performance of their duties and responsibilities (within 10 days after notice of appointment for all positions except City Assessor).
3. *BOND*: Pursuant to Wis. Stat. § 62.09(4)(b), the Candidate is not required to execute and file an official bond because the City will maintain a dishonesty insurance policy or other appropriate insurance policy that covers the Candidate, in an amount determined by the council, in lieu of the bond requirement.
4. *RESPONSIBILITIES*: The Candidate shall perform at a professional level of competence the services, duties and responsibilities of the Position as set forth in the laws of the State of Wisconsin and the ordinances, resolutions, regulations and policies of the City which now exist, or which may hereinafter be enacted. The Candidate shall be responsible to the Common Council in the discharge of their duties and responsibilities; however, such duties and responsibilities shall be exercised under the supervision of the City Administrator of the City of West Allis on a day-to-day basis in accordance with directives of the Common Council, as applicable. The Candidate shall devote full-time to their duties and responsibilities with the City while serving in the Position and shall not engage in any pursuit which interferes with the proper discharge of said duties and responsibilities.

5. *TERMS OF EMPLOYMENT*

- a. Commencement Date: The Candidate's appointment to the Position is effective on January 19, 2025.
- b. Term: The Candidate shall serve for an indefinite term.
- c. Salary: The Candidate shall be paid a salary in an amount consistent with the Salary Schedule range for the Position. The actual salary paid to the Candidate within that range at any point in time shall be in an amount agreeable to the City and the Candidate.
- d. Benefits: The Candidate will be eligible for all the benefits afforded to full-time employees holding benefitted positions.
 - 1. Time Off: Upon commencement of employment, Candidate's time off balances shall carry over.
- e. Eligibility for Health and Dental Coverage: If the Candidate chooses to obtain health and/or dental coverage through the City, the Candidate and their eligible family members will be afforded health and dental coverage effective upon the Commencement Date above.
- f. Outside Work: The Candidate agrees to limit outside professional work and activity to outside City of West Allis boundaries and to comply with the Code of Ethics for City Officials under state and local law.
- g. Terminating Employment: The Candidate may resign from the Position at any time. If the Candidate provides the City with at least 60 days' advance notice of the effective date of resignation, the Candidate will be paid for any unused hours in the Candidate's time-off bank. The Candidate will forfeit and will not be paid for any unused hours in the Candidate's time-off bank if the Candidate resigns from the Position without providing at least 60 days' advance notice of the effective date of resignation. The Candidate may be removed from the Position by the West Allis Common Council, at pleasure, with or without cause, but only by an affirmative vote of three-fourths of all the members thereof.

Any terms and conditions of employment not stated within this contract shall be governed by the provisions of the West Allis Municipal Code and applicable policies and procedures of the City of West Allis, and future amendments thereto, applicable to appointments in the unclassified service.

AMENDMENTS: The terms of this employment contract are subject to amendment, alteration, or addition only by subsequent agreement between and executed by the City and the Candidate where mutually agreeable. The waiver of any breach, term, or condition of this Agreement by either party hereto shall not constitute a precedent in the future enforcement of all its terms and conditions.

Dated: _____

CITY OF WEST ALLIS

By: _____
Dan Devine, Mayor

By: _____
Kevin Haass, Council President

By: _____
Rebecca N. Grill, City Administrator

I hereby accept the offer as stated in this Contract and agree to abide by its provisions.

By: _____
Dan Adamczyk

Dated: _____

Countersigned this _____ day of _____, 2025 and I hereby certify that provision has been made to pay the liability that will accrue under this Contract.

Jason Kaczmarek, Finance Director/Comptroller

Approved as to form this _____ day of _____, 2025.

Kail Decker, City Attorney

**CITY OF WEST ALLIS
RESOLUTION R-2025-0065**

**RESOLUTION TO APPROVE THE QUOTE FROM AVI SYSTEMS INC FOR
\$139,513.50 TO MODERNIZE THE TECHNOLOGY IN OUR CITY HALL
CONFERENCE ROOMS**

WHEREAS, the majority of the technology seen in our conference rooms today, mainly the cameras and microphones, were procured back when we were streaming meetings to a cable TV Channel and require an AV technician to operate them from within the Cable Communications Department; and

WHEREAS, the City Staff that knew how to operate that equipment have since retired/resigned and their positions have not been back-filled; and

WHEREAS, our use of Microsoft 365 brings us opportunities to do live streaming and recording using newer technologies (TEAMS) that would allow meeting participants to initiate streaming and recording from within the conference rooms; and

WHEREAS, AVI Systems Inc. is already under contract from the City of West Allis to design for us the solutions needed to modernize and simplify how our meeting spaces could work; and

WHEREAS, the City of West Allis Capital Improvement Committee approved a \$100,000 2025 project to move forward with AVI our efforts to complete conference room project; and

WHEREAS, the remaining \$39,513.50 will come from a 2024 CIP project (In-Vehicle Camera Project) that has unused capital funds available; and

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of West Allis that the attached quote between AVI and the City be and is hereby approved.

BE IT FURTHER RESOLVED that the Mayor, City Administrator/Clerk are hereby authorized and directed to execute and deliver said agreement on behalf of the City.

SECTION 1: **ADOPTION** “R-2025-0065” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0065(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

Retail Sales Agreement



Reference Number: 1274701
Date: January 14, 2025

City of West Allis - City Hall - Council Chambers & Two Meeting
Rooms Updates

Prepared By: Alec Nathan
Phone:
Email: alec.nathan@avisystems.com

AVI Systems Inc.
3275 Intertech Drive, Suite 500, Brookfield, WI 53045
Phone: (262)207-1300
Fax: (262)207-1301

COMPANY

City of West Allis
7525 West Greenfield Avenue
West Allis, WI 53214

Contact: Tony Warkoczewski
Phone: (414) 302-8000
Email: twarkoczewski@westalliswi.gov
Account Number: COW0047

PROJECT SITE

City of West Allis
7525 West Greenfield Avenue
West Allis, WI 53214

Contact: Tony Warkoczewski
Phone: 4143028062
Email: twarkoczewski@westalliswi.gov
Account Number: COW0047

INVOICE TO

City of West Allis
7525 West Greenfield Avenue
West Allis, WI 53214

Contact:
Phone: (414) 302-8000
Email: twarkoczewski@westalliswi.gov
Account Number: COW0047

COMMENTS

PRODUCTS AND SERVICES SUMMARY

Equipment	\$57,199.01
Integration	\$71,420.49
PRO Support	\$10,894.00
Shipping & Handling	\$0.00
Tax	\$0.00
Grand Total	\$139,513.50

Unless otherwise specified. The prices quoted reflect a discount for a cash payment (i.e., check, wire transfer) made by Customer in full within the time stated for payment on each invoice. Discount only applies to new items included on the invoice, and only applies if the balance on the invoice is paid in full.

All returned equipment is subject to a restocking charge. The prices are valid for 15 days and may be locked in by signing this Retail Sales Agreement.

Overdue balances are subject to a finance charge of 1.5% per month, or interest at the highest rate permitted by applicable law. In the event AVI must pursue collection of unpaid invoices, Customer agrees to pay all of AVI's costs of collection, including its attorneys' fees.

INVOICING AND PAYMENT TERMS

Customer and AVI have agreed on the payment method of CHECK. Payment must be remitted by stated method. To the extent Customer seeks to use of any payment methods other than stated, and that payment method results in an increased transaction cost to AVI, the new payment must be approved in writing, and the Customer shall be responsible for paying the increased transaction cost to AVI associated with the change in payment method. Payments shall be made 30 days from invoice date. So long as the invoice has been sent and the Customer's payment is made within the terms work will continue.

AVI uses progress billing, and invoices for equipment and services allocated to the contract on a monthly basis. Unless otherwise specified, all items quoted (goods and services) as well as applicable out of pocket expenses (permits, licenses, shipping, etc.) are invoiced in summary (including applicable sales taxes due for each category of invoiced items).

Customer is to make payments to the following "Remit to" address:

AVI Systems
PO Box 842607
Kansas City, MO 64184-2607

If Payment Method is ACH: Customer must make all payments in the form of bank wire transfers or electronic funds transfers through an automated clearinghouse with electronic remittance detail, in accordance with the payment instructions AVI Systems provides on its invoice to Customer.

A monthly summary of detailed equipment received is available upon request. Equipment received may be different than equipment billed based on agreed billing method.

TAXES AND DELIVERY

Unless stated otherwise in the Products and Services Summary above, AVI will add and include all applicable taxes, permit fees, license fees, and delivery charges to the amount of each invoice. Taxes will be calculated according to the state law(s) in which the product(s) and/or service(s) are provided. Unless Customer provides a valid tax exemption certificate for any tax exemption(s) claimed, AVI shall invoice for and collect all applicable taxes in accordance with state law(s), and Customer will be responsible for seeking a tax credit/refund from the applicable taxing authority.

AGREEMENT TO QUOTE AND DOCUMENTS CONSTITUTING YOUR CONTRACT WITH AVI

Customer hereby accepts the above quote for goods and/or services from AVI. When duly executed and returned to AVI, AVI's Credit Department will check Customer's credit and approve the terms. After approval by AVI's Credit Department and signature by AVI, this Retail Sales Agreement will, together with the AVI General Terms & Conditions (which can be found at <http://www.avisystems.com/TermsOfSale>) form a binding agreement between Customer and AVI. (This Retail Sales Agreement and the AVI General Terms & Conditions of Sale (the T&Cs) are referred to collectively as the Agreement). If not defined in this Agreement, all capitalized terms shall have the meaning given to them in the T&Cs. Should AVI's Credit Department determine at any point prior to AVI commencing work that Customer's credit is not adequate, or should it otherwise disapprove of the commercial terms, AVI reserves the right to terminate the Agreement without cause and without penalty to AVI.

AGREED AND ACCEPTED BY

Company	AVI Systems, Inc. Company
Signature	Signature
Printed Name	Printed Name
Date	Date

CONFIDENTIAL INFORMATION

The company listed in the "Prepared For" line has requested this confidential price quotation, and shall be deemed "Confidential Information" as that term is defined in the T&Cs. This information and document is confidential and is intended solely for the private use of the customer identified above. Customer agrees it will not disseminate copies of this quote to any third party without the prior written consent of AVI. Sharing a copy of this quote, or any portion of the Agreement with any competitor of AVI is a violation of this confidentiality provision. If you are not the intended recipient of this quote (i.e., the customer), you are not properly in possession of this document and you should immediately destroy all copies of it.

PRODUCTS AND SERVICES DETAIL

PRODUCTS:

<u>Model #</u>	<u>Mfg</u>	<u>Description</u>	<u>Qty</u>	<u>MSRP</u>	<u>Price</u>	<u>Extended</u>
		MTR Provisioning Services				\$771.44
		Sub-Total:				\$771.44
		Council Chambers				
OFE	OWNER	OFE Projector	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Projection screen	1	\$0.00	\$0.00	\$0.00
HD-DA2-4KZ-E	CRESTRON	1:2 HDMI Distribution Amplifier w/4K60 4:4:4 & HDR Support	1	\$442.00	\$287.01	\$287.01
NC-12X80	QSC	12x Optical Zoom 80 Horizontal Field of View, PTZ Network Camera, PoE, with HDMI and SDI output. Inc	2	\$4,625.00	\$3,603.90	\$7,207.80
60-1683-02	EXTRON	Four Input 12G-SDI Switcher	1	\$2,070.00	\$1,200.60	\$1,200.60
DUETE-5	VISIONARY SOLU	PacketAV Duet 5 Encoder	1	\$1,343.00	\$1,162.34	\$1,162.34
DUETD-5	VISIONARY SOLU	PacketAV Duet 5 Decoder	2	\$1,343.00	\$1,162.34	\$2,324.68
TAPMSTBASELNV3	LOGITECH	Logitech Tap with Lenovo ThinkSmart Core - BASE Bundle (no AV) for Microsoft Teams Rooms	1	\$2,277.99	\$2,050.19	\$2,050.19
C2G30279	C2G	Antimic Dongle DP mDP USBC miniH microH	1	\$255.39	\$178.77	\$178.77
OFE	OWNER	OFE Core 110	1	\$0.00	\$0.00	\$0.00
SLMST-110-P	QSC	Q-SYS Core 110 license for Microsoft Teams Room software features, enables both Q-SYS Scripting and	1	\$700.00	\$490.00	\$490.00
SLDAN-32-P	QSC	Q-SYS Software-based Dante 32x32 Channel (16x16 Flows) License, Perpetual.	1	\$920.00	\$644.00	\$644.00
CONNECT 88D	LEA	8 Channel x 80 watt @ 4ohm, 8ohm, 70V and 100V per channel. Internal DSP w/ Crossovers and Dante, lo	1	\$3,858.00	\$2,507.70	\$2,507.70
OFE	OWNER	OFE Speakers (qty 18)	1	\$0.00	\$0.00	\$0.00
GSM4230PX-100NAS	NETGEAR	M4250 26G4XF POE PLUS MNGD SW	1	\$2,737.66	\$1,825.11	\$1,825.11
IP2CC-P	GLOBAL CACHE	ITACH TCP/IP-CONTACT CLOSE POE	1	\$179.99	\$179.99	\$179.99
ESP1610	EPIPHAN	Pearl Nano	1	\$1,999.00	\$1,926.75	\$1,926.75
OFE	OWNER	OFE Listen LT-800 FM Transmitter	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen Receiver 72 MHz	5	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen 12 Port Charging Station	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE AV Rack	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXCWNCs	2	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXCW640	16	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure SB930	16	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXCWAPT	1	\$0.00	\$0.00	\$0.00
		Sub-Total: Council Chambers				\$21,984.94
		Art Gallery				
OFE	OWNER	OFE Display	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Display cart	1	\$0.00	\$0.00	\$0.00
CSMP9X12	CHIEF	PROX,MOUNT PLATE,9X12	1	\$57.00	\$39.90	\$39.90
HD-RXC-4KZ-101	CRESTRON	DM Essentials 4K60 4:4:4 Receiver for HDMI, RS-232, and IR Signal Extension over CATx Cable	1	\$430.00	\$258.00	\$258.00

HD-TXC-4KZ-101	CRESTRON	DM Essentials 4K60 4:4:4 Transmitter for HDMI, RS-232, and IR Signal Extension over CATx Cable (Art)	1	\$430.00	\$258.00	\$258.00
HD-DA2-4KZ-E	CRESTRON	1:2 HDMI Distribution Amplifier w/4K60 4:4:4 & HDR Support	1	\$442.00	\$265.20	\$265.20
NC-12X80	QSC	12x Optical Zoom 80 Horizontal Field of View, PTZ Network Camera, PoE, with HDMI and SDI output. Inc	1	\$4,625.00	\$3,237.50	\$3,237.50
PTZ-CMB1	QSC	Accessory Ceiling Mount Bracket for PTZ Camera, NC-12x80 and NC-20x60.	1	\$155.00	\$108.50	\$108.50
TAPMSTBASELNV3	LOGITECH	Logitech Tap with Lenovo ThinkSmart Core - BASE Bundle (no AV) for Microsoft Teams Rooms	1	\$2,277.99	\$2,050.19	\$2,050.19
C2G30279	C2G	Antimic Dongle DP mDP USBC miniH microH	1	\$255.39	\$178.77	\$178.77
CORE 8 FLEX	QSC	Unified Core with 8 local audio I/O channels, 64x64 network I/O channels with 8x8 Software-based Dan	1	\$2,930.00	\$2,051.00	\$2,051.00
SLMST-8N-P	QSC	Q-SYS Core 8 Flex, Core Nano, NV-32-H (Core Capable) license for Microsoft Teams Room software featu	1	\$500.00	\$350.00	\$350.00
AD-C6T-ZB-WH	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 16bypass, zero bezel design, 150 conical DMT	12	\$275.00	\$192.50	\$2,310.00
AD-P6T-WH	QSC	6.5" Two-way pendant speaker, 70/100V transformer with 16 bypass, 135 conical DMT coverage, Includes	4	\$379.00	\$265.30	\$1,061.20
SPA4-60	QSC	1/2 RU 4 Channel ENERGY STAR amplifier / Multichannel operation 60 watts into 8 & 4, Bridged pair op	1	\$1,005.00	\$703.50	\$703.50
GSM4230PX-100NAS	NETGEAR	M4250 26G4XF POE PLUS MNGD SW	1	\$2,737.66	\$1,825.11	\$1,825.11
ESP1610	EPIPHAN	Pearl Nano	1	\$1,999.00	\$1,926.75	\$1,926.75
OFE	OWNER	OFE Listen LT-800 FM Transmitter	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen Receiver 72 MHz	5	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen 12 Port Charging Station	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE AV Rack	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXWNCS8	3	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXW1	2	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MX183	2	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXW6	4	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXW8	8	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MX410	8	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE MXWAPT8	2	\$0.00	\$0.00	\$0.00

Sub-Total: Art Gallery

\$16,623.62

Room 128

OFE	OWNER	OFE 86UH5J-H	1	\$0.00	\$0.00	\$0.00
HD-DA2-4KZ-E	CRESTRON	1:2 HDMI Distribution Amplifier w/4K60 4:4:4 & HDR Support	1	\$442.00	\$265.20	\$265.20
HD-RXC-4KZ-101	CRESTRON	DM Essentials 4K60 4:4:4 Receiver for HDMI, RS-232, and IR Signal Extension over CATx Cable	1	\$430.00	\$258.00	\$258.00
HD-TXC-4KZ-101	CRESTRON	DM Essentials 4K60 4:4:4 Transmitter for HDMI, RS-232, and IR Signal Extension over CATx Cable (Art)	1	\$430.00	\$258.00	\$258.00
NC-12X80	QSC	12x Optical Zoom 80 Horizontal Field of View, PTZ Network Camera, PoE, with HDMI and SDI output. Inc	1	\$4,625.00	\$3,237.50	\$3,237.50
PTZ-CMB1	QSC	Accessory Ceiling Mount Bracket for PTZ Camera, NC-12x80 and NC-20x60.	1	\$155.00	\$108.50	\$108.50
TAPMSTBASELNV3	LOGITECH	Logitech Tap with Lenovo ThinkSmart Core - BASE Bundle (no AV) for Microsoft Teams Rooms	1	\$2,277.99	\$2,050.19	\$2,050.19

CG39710	C2G	Decora Wall Plate HDMI F/F White	1	\$45.99	\$32.19	\$32.19
C2G30279	C2G	Antimic Dongle DP mDP USBC miniH microH	1	\$255.39	\$178.77	\$178.77
939-001817	LOGITECH	LOGITECH TAP WALL MOUNT MNT WALL MOUNT FOR TAP UNIT	1	\$199.99	\$179.99	\$179.99
CORE 8 FLEX	QSC	Unified Core with 8 local audio I/O channels, 64x64 network I/O channels with 8x8 Software-based Dan	1	\$2,930.00	\$2,051.00	\$2,051.00
SLMST-8N-P	QSC	Q-SYS Core 8 Flex, Core Nano, NV-32-H (Core Capable) license for Microsoft Teams Room software featu	1	\$500.00	\$350.00	\$350.00
507488	SENNHEISER	TeamConnect Ceiling 2, a beamforming ceiling array mic with two Dante and one analog audio output, P	1	\$4,889.00	\$3,666.75	\$3,666.75
506846	SENNHEISER	SL CM FB-Ceiling fixing bracket for SL ceiling mic, for installing the microphone directly under the	1	\$209.00	\$169.00	\$169.00
AD-C6T-ZB-WH	QSC	6.5" Two-way ceiling speaker, 70/100V transformer with 16bypass, zero bezel design, 150 conical DMT	8	\$275.00	\$192.50	\$1,540.00
SPA2-60	QSC	1/2 RU 2 Channel ENERGY STAR amplifier / Stereo operation 60 watts into 8 & 4, Bridged operation 200	1	\$705.00	\$493.50	\$493.50
GSM4230PX-100NAS	NETGEAR	M4250 26G4XF POE PLUS MNGD SW	1	\$2,737.66	\$1,825.11	\$1,825.11
ESP1610	EPIPHAN	Pearl Nano	1	\$1,999.00	\$1,926.75	\$1,926.75
OFE	OWNER	OFE Listen LT-800 FM Transmitter	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen Receiver 72 MHz	5	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Listen 12 Port Charging Station	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE AV Rack	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXWNCS8	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXW1	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MX183	1	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE Shure MXW6	4	\$0.00	\$0.00	\$0.00
OFE	OWNER	OFE MXWAPT8	1	\$0.00	\$0.00	\$0.00

Sub-Total: Room 128

\$18,590.45

Common services

Professional Services

\$1,705.72

Sub-Total: Common services

\$1,705.72

Integration

Engineering & Drawings
Project Management
Programming
Cable Placement
In Shop Fabrication
On Site Integration
Testing & Acceptance
Training
Integration Cables & Connectors

Sub-Total: Integration

\$68,943.33

Total:

\$128,619.50

PRO SUPPORT:

<u>Model #</u>	<u>Mfg</u>	<u>Description</u>	<u>Qty</u>	<u>Price</u>	<u>Extended</u>
AVISSA1YR	AVI SYSTEMS	1 Year System Support Agreement	1	\$9,004.00	\$9,004.00
Teams Advanced Services	AVI SYSTEMS	Teams Advanced Services			\$1,890.00

Refer to Page 1 for the Grand Total that includes Taxes, and Shipping & Handling.

INTEGRATION SERVICES

INTEGRATION SCOPE OF WORK

A. SUMMARY: The City of West Allis had contracted AVI Systems to assist in developing and designing an update to their 3 primary Conference rooms; Council Chambers, Art Gallery and Room 128. These spaces are utilized for primary City Council meetings, Common Council Meetings, special advisory group meetings, and other common staff meetings and events. Following a preliminary design scope & Budget, the City had requested a phase 1 option to add the core functionality to the rooms. This is in an attempt to expedite some of the updates following the retirement of their staff member who previously ran their live streaming/recording system.

B. SYSTEM DESCRIPTION:

Council Chambers

- Functionality Description: The room is designed for videoconferencing calls and local video presentations. The existing video system, consisting of an OFE projector and an OFE confidence display, will be used to show far-end participants and local content. A new control touch panel will be installed on the table, replacing the current one. This panel will allow users to launch or join Teams meetings and manage room controls through a 'flip page' feature.
Existing microphones and ceiling speakers will provide audio to and from the video calls. New PTZ cameras will be installed on the front and back walls to capture in-room participants. For content sharing during meetings, users can join a Microsoft Teams meeting via their laptops and share their screens.
Additionally, the system will support wired content sharing from an OFE laptop for local presentations and over Teams calls. This functionality will be enabled by connecting the laptop to an HDMI port on the control panel. The room will also be equipped with a recording and streaming platform to enhance its overall capabilities.
- Displays:
 - o OFE projector mounted on the ceiling
 - o OFE projection screen
 - o OFE confidence monitor mounted on the back wall of the room.
- Source Devices:
 - o MTR PC (single display mode)
 - o OFE laptop connected via the HDMI input on the touch control panel.
 - o Customer is responsible for covering all unused or detached IN/OUT panels in the room to prevent user confusion.
- Audio:
 - o The existing speakers and microphones will be reused:
 - (16) Ceiling speakers
 - (2) Surface-mounted speakers
 - (1) Delegate system consisting of (16) microphone stations
 - A new amplifier will replace the existing one.
 - o The existing QSC Core 110 DSP/Control processor will be reused, assuming it is in proper working condition.
- **POSSIBLY LIMITED TO USE**
 - o The four existing wireless microphones (various types) may not be reusable, as they may operate on a frequency range prohibited by the Federal Communications Commission (FCC).
 - o The frequency range will be determined during the installation process, with the customer being informed accordingly.
- Conferencing:
- Video Conferencing
 - o Functionality provided via a Microsoft Teams Room (MTR) appliance and integrate with the AV Systems camera(s), microphone(s), speakers, and video source(s) as outlined in this RSA. HDCP only sources, e.g. Cable TV, are not supported as content sources.
 - o The planned installation location of the conferencing codec is in the credenza.
 - o Customer to provide (qty. 1) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - o Customer to provide Microsoft Teams Pro license. Additionally, a Microsoft Phone license, if needed.
- PTZ Camera (qty. 2)
 - o Configured to provide 1920 x1080 video via USB for MTR needs
 - o Configured to provide 1920 x1080 video via SDI for Streaming needs
 - o Planned installation locations:
 - (1) at the front room on a wall mount.
 - (1) at the back room on a wall mount.
- Controls:
- 10" Touch Screen (wired) Control Interface
 - o User Interface is provided to perform all features as outlined under Software Features and Functional Attributes.

- o Planned installation location of the device is at the front of the room; it will be placed on the table. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
- Software Features and Functional Attributes:
- A Microsoft Teams Room (MTR) Graphical User Interface (GUI) is included. This GUI cannot be adjusted and is subject to changes and updates issued by Microsoft.
- An AVI Systems standard Graphical User Interface (GUI) is included. This GUI will be adjusted as needed based on the sub-systems available and Software Features and Functional Attributes defined below. Customer adjustments of the GUI are provided for, customization unless otherwise specified is not included as part of this RSA.
 - o Additional controls included on the “Flip page” will include:
 - Projector - Power ON/OFF
 - Operation of the projection screen - UP/DOWN
 - Confidence monitor - Power On/OFF
 - Operation of the recording/Streaming platform
 - START/STOP streaming
 - START/STOP recording
 - Switch layout presets
 - o CONTENT ONLY
 - o CAMERA ONLY
 - o CONTENT + CAMERA
 - o CAMERA + CAMERA
 - Camera switching CAMER FRONT/CAMERA BACK
 - Microphone – MUTE ON/OFF
- Breakout session
- Breakout sessions can be facilitated in two ways:
 1. Joining a pre-scheduled Microsoft Teams meeting for each room
 - **Note:**
The native breakout rooms feature in Microsoft Teams is currently unsupported for MTR (Microsoft Teams Room) but may become available in the future.
 2. Using an OFE laptop connected to the room's AV system to share the web stream from the Streaming/Recording platform in a Microsoft Teams meeting.
- Recording/Streaming
- Recording and streaming will be set up using the Epiphan Pearl Nano.
 - o AVI to configure network settings per customer guidance, customer to configure all other options as desired and test device using customer device and app. AVI Systems to verify network connectivity, audio and video signal prior to customer handoff.
 - o Customer to provide any managing software and associated licensing.
- Equipment Location:
- The equipment will be housed in the OFE equipment rack.
 - o The planned installation location of the equipment rack is in Mechanical/Equipment room 116. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
 - o Customer to provide (qty. 2) 120VAC 20A duplex outlets using a technical (isolated) ground scheme at the planned installation location.
 - o Customer to provide (qty. 3) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - o Customer to provide direct pathways from the planned equipment rack location to the ceiling where supporting AV equipment is installed.
 - o The customer is responsible for running all necessary cables from each system component to the planned equipment rack locations.
 - o **NOTE:**
AVI Systems will provide a pull list.

Art Gallery

- Functionality Description: The room is designed for videoconferencing calls and local video presentations. The existing video system, consisting of an OFE display, will be used to show far-end participants and local content. A new control touch panel will be installed on top of the OFE podium/rack. This panel will allow users to launch or join Teams meetings and manage room controls using a 'flip page' feature.
Existing microphones and new ceiling speakers will provide audio to and from video calls. A new PTZ camera will be installed at the front of the room above the display to capture in-room participants. For content sharing during meetings, users can join a Microsoft Teams meeting via their laptops and share their screens.
The system will also support wired content sharing from an OFE laptop for local presentations and over Teams calls. This functionality will be enabled by connecting the laptop to an HDMI port on the control panel. Additionally, the room will feature a recording and streaming platform to enhance its overall capabilities.

- Displays:
 - OFE Display on the OFE cart.
- Source Devices:
 - MTR PC (single display mode)
 - HDMI will be extended from the PC to the display over a category cable.
 - Customer to run CAT6 cable between the equipment rack location and assumed display location.
 - Customer to install RJ45 outlet withing the display location for the HDMI extender.
 - OFE laptop connected via the HDMI input on the touch control panel.
- Audio:
- (12) Ceiling speakers & (4) pendant speakers
 - Speaker system is designed to provide a speech audio level of 65-70 dB SPL and a program audio level of 65-70 dB SPL which is 10 dB above the planned ambient noise level.
 - Planned installation locations are in the ceiling. Ceiling obstructions and hanging obstacles may cause degradation in audio quality and level. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO)
- The existing microphones will be reused:
 - (2) Wireless Dante based microphones system:
 - (2) OFE MXW1 + MX183
 - (4) OFE MXW6
 - (8) OFE MXW8 + MX410
 - (3) OFE MXWNCS8
- Conferencing:
- Video Conferencing
 - Functionality provided via a Microsoft Teams Room (MTR) appliance and integrate with the AV Systems camera(s), microphone(s), speakers, and video source(s) as outlined in this RSA. HDCP only sources, e.g. Cable TV, are not supported as content sources.
 - The planned installation location of the conferencing codec is in the credenza.
 - Customer to provide (qty. 1) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - Customer to provide Microsoft Teams Pro license. Additionally, a Microsoft Phone license, if needed.
- PTZ Camera (qty. 1)
 - Configured to provide 1920 x1080 video via USB for MTR needs
 - Configured to provide 1920 x1080 video via SDI for Streaming needs
 - Planned installation location is at the front room on a ceiling mount.
- Controls:
- 10" Touch Screen (wired) Control Interface
 - User Interface is provided to perform all features as outlined under Software Features and Functional Attributes.
 - Planned installation location of the device is at the front of the room; it will be placed on the table. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
- Software Features and Functional Attributes:
- A Microsoft Teams Room (MTR) Graphical User Interface (GUI) is included. This GUI cannot be adjusted and is subject to changes and updates issued by Microsoft.
- An AVI Systems standard Graphical User Interface (GUI) is included. This GUI will be adjusted as needed based on the sub-systems available and Software Features and Functional Attributes defined below. Customer adjustments of the GUI are provided for, customization unless otherwise specified is not included as part of this RSA.
 - Additional controls included on the "Flip page" will include:
 - Display - Power ON/OFF
 - Operation of the recording/Streaming platform
 - START/STOP streaming
 - START/STOP recording
 - Switch layout presets
 - CONTENT ONLY
 - CAMERA ONLY
 - CONTENT + CAMERA
 - Microphone – MUTE ON/OFF
- Breakout session
- Breakout sessions can be facilitated in two ways:
 1. Joining a pre-scheduled Microsoft Teams meeting for each room
 - **Note:**
The native breakout rooms feature in Microsoft Teams is currently unsupported for MTR (Microsoft Teams Room) but may become available in the future.
 2. Using an OFE laptop connected to the room's AV system to share the webstream from the Streaming/Recording platform in a Microsoft Teams meeting.
- Recording/Streaming

- Recording and streaming will be set up using the Epiphan Pearl Nano.
 1. AVI to configure network settings per customer guidance, customer to configure all other options as desired and test device using customer device and app. AVI Systems to verify network connectivity, audio and video signal prior to customer handoff.
 2. Customer to provide any managing software and associated licensing.
- Equipment Location:
- The equipment will be housed in the OFE equipment rack.
 - o The planned installation location of the equipment rack is the current rack location. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
 - o Customer to provide (qty. 2) 120VAC 20A duplex outlets using a technical (isolated) ground scheme at the planned installation location.
 - o Customer to provide (qty. 3) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - o Customer to provide direct pathways from the planned equipment rack location to the ceiling where supporting AV equipment is installed.
 - o The customer is responsible for running all necessary cables from each system component to the planned equipment rack locations.
 - o **NOTE:**
AVI Systems will provide a pull list.

Room 128

- Functionality Description: The room is designed for videoconferencing calls and local video presentations. The existing video system, consisting of an OFE display, will be used to show far-end participants and local content. A new control touch panel will be installed on the wall near the display location. This panel will allow users to launch or join Teams meetings and manage room controls using a 'flip page' feature.
A new ceiling and existing microphones, along with new ceiling speakers, will provide audio to and from video calls. A new PTZ camera will be installed at the front of the room above the display to capture in-room participants. For content sharing during meetings, users can join a Microsoft Teams meeting via their laptops and share their screens.
The system will also support wired content sharing from an OFE laptop for local presentations and over Teams calls. This functionality will be enabled by connecting the laptop to an HDMI port on the control panel. Additionally, the room will feature a recording and streaming platform to enhance its overall capabilities.
- Displays:
 - o OFE Display on the OFE wall mount.
- Source Devices:
 - o MTR PC (single display mode)
 - HDMI will be extended from the PC to the display over a category cable.
 - Customer to run CAT6 cable between the equipment rack location and assumed display location.
 - Customer to install RJ45 outlet withing the display location for the HDMI extender.
 - o OFE laptop connected via the HDMI input on a wall plate.
- Audio:
- (8) Ceiling speakers
 - o Speaker system is designed to provide a speech audio level of 65-70 dB SPL and a program audio level of 65-70 dB SPL which is 10 dB above the planned ambient noise level.
 - o Planned installation locations are in the ceiling. Ceiling obstructions and hanging obstacles may cause degradation in audio quality and level. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO)
- The existing microphones will be reused:
 - (1) Wireless Dante based microphones system:
 - (1) OFE MXW1 + MX183
 - (4) OFE MXW6
 - (1) OFE MXWNCS8
 - o Customer to provide access points at the assumed locations of ceiling speakers. Access points should be sufficiently large to allow installation of support components for the ceiling speaker system.
 - o Customer is responsible for replacing any broken ceiling tiles if damage occurs during the installation of AV system components.
- Microphone – Ceiling
 - o The provided ceiling microphone are designed for Area Pickup with optimal performance, based on manufacturer specifications, up to 15 feet. Microphone pickup beyond this range will provide lower speech intelligibility and quality.
 - o Planned installation location are in the ceiling. Ceiling obstructions and hanging obstacles may cause degradation of audio quality and coverage. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).

- o Customer to provide access points at the assumed ceiling microphone location. Access points should be sufficiently large to allow installation of support components for the ceiling microphone system.
- o Customer is responsible for replacing any broken ceiling tiles if damage occurs during the installation of AV system components.
- Conferencing:
- Video Conferencing
 - o Functionality provided via a Microsoft Teams Room (MTR) appliance and integrate with the AV Systems camera(s), microphone(s), speakers, and video source(s) as outlined in this RSA. HDCP only sources, e.g. Cable TV, are not supported as content sources.
 - o The planned installation location of the conferencing codec is in the credenza.
 - o Customer to provide (qty. 1) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - o Customer to provide Microsoft Teams Pro license. Additionally, a Microsoft Phone license, if needed.
- PTZ Camera (qty. 1)
 - o Configured to provide 1920 x1080 video via USB for MTR needs
 - o Configured to provide 1920 x1080 video via SDI for Streaming needs
 - o Planned installation location is at the front room on a ceiling mount.
- Controls:
- 10" Touch Screen (wired) Control Interface
 - o User Interface is provided to perform all features as outlined under Software Features and Functional Attributes.
 - o Planned installation location of the device is at the front of the room; it will be placed on the table. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
- Software Features and Functional Attributes:
- A Microsoft Teams Room (MTR) Graphical User Interface (GUI) is included. This GUI cannot be adjusted and is subject to changes and updates issued by Microsoft.
- An AVI Systems standard Graphical User Interface (GUI) is included. This GUI will be adjusted as needed based on the sub-systems available and Software Features and Functional Attributes defined below. Customer adjustments of the GUI are provided for, customization unless otherwise specified is not included as part of this RSA.
 - o Additional controls included on the "Flip page" will include:
 - Display - Power ON/OFF
 - Operation of the recording/Streaming platform
 - START/STOP streaming
 - START/STOP recording
 - Switch layout presets
 - o CONTENT ONLY
 - o CAMERA ONLY
 - o CONTENT + CAMERA
 - Microphone – MUTE ON/OFF
- Breakout session
- Breakout sessions can be facilitated in two ways:
 1. Joining a pre-scheduled Microsoft Teams meeting for each room
 - **Note:**
The native breakout rooms feature in Microsoft Teams is currently unsupported for MTR (Microsoft Teams Room) but may become available in the future.
 2. Using an OFE laptop connected to the room's AV system to share the webstream from the Streaming/Recording platform in a Microsoft Teams meeting.
- Recording/Streaming
- Recording and streaming will be set up using the Epiphan Pearl Nano.
 - o AVI to configure network settings per customer guidance, customer to configure all other options as desired and test device using customer device and app. AVI Systems to verify network connectivity, audio and video signal prior to customer handoff.
 - o Customer to provide any managing software and associated licensing.
- Equipment Location:
- The equipment will be housed in the OFE equipment rack.
 - o The planned installation location of the equipment rack is the current rack location. Final location to be defined in project deliverables/drawings approved by customer during project initiation (i.e. post PO).
 - o Customer to provide (qty. 2) 120VAC 20A duplex outlets using a technical (isolated) ground scheme at the planned installation location.
 - o Customer to provide (qty. 3) network (PoE requirements defined as part of project deliverables) connection at the planned installation location.
 - o Customer to provide direct pathways from the planned equipment rack location to the ceiling where supporting AV equipment is installed.
 - o The customer is responsible for running all necessary cables from each system component to the planned equipment rack locations.
 - o **NOTE:**

AVI Systems will provide a pull list.

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C. EXCLUSIONS: The following work is **not included** in our Scope of Work:

- All conduits, high voltage, wiring panels, breakers, relays, boxes, receptacles, etc.
- Concrete saw cutting and/or core drilling
- Firewall, ceiling, roof, and floor penetration
- Necessary gypsum board replacement and/or repair
- Necessary ceiling tile or T-bar modifications, replacements, and/or repair
- Structural support of equipment *AVI Systems is not responsible for building-related vibrations
- Installation of the ceiling-mounted projection screen
- All millwork (moldings, trim, cutouts, etc.)
- Patching and Painting
- Permits (unless specifically provided for and identified within the contract)
- Unless otherwise stated, the pricing in this agreement does not include prevailing wage or union labor
- Unless specifically noted, lifts and scaffolding are not included

D. CONSTRUCTION CONSIDERATIONS:

In order to accomplish the outlined goals of this project, the Customer will be responsible for contracting with an outside entity to make the necessary modifications to the space as directed by AVI Systems. The costs associated with these modifications are not included in this proposal.

E. NOTICE: THIS SCOPE OF WORK IS DELIVERED ON THE BASIS OF THE FOLLOWING ASSUMPTIONS:

- The room(s) match(es) the drawings provided.
- Site preparation by the Customer and their contractors include electrical and data placement per AVI Systems specification.
- Site preparation will be verified by AVI Systems project manager or representative before the scheduling of the installation. All work areas should be clean and dust free prior to the beginning of the on-site integration of electronic equipment.
- Customer communication of readiness will be considered accurate and executable by AVI Systems project manager.
- In the event of any arrival to the site that AVI Systems is not able to execute work efficiently and definably progress, the Customer will be charged a fee to reimburse AVI Systems for all lost time and inefficiencies. At this time, the Customer will be presented with a Contract Change Order and will/may halt work until acceptance by the Customer and rescheduling of the integration effort is agreed upon.
- Rescheduling and redeployment of AVI Systems technicians due to unacceptable site preparation may cause scheduling delays of up to 10 business days.
- There is ready access to the building/facility and the room(s) for equipment and materials.
- There is secure storage for equipment during a multi-day integration.
- If Customer furnished equipment and existing cabling are to be used, AVI Systems assumes that these items are in good working condition at this time and will integrate into the designed solution. Any repair, replacement, and/or configuration of these items that may be necessary will be made at an additional cost.
- All Network configurations, including IP addresses, are to be provided, operational and functional before AVI Systems integration begins. AVI Systems will not be responsible for testing the LAN connections.
- Cable or Satellite drops must be in place with converter boxes operational before the completion of integration. Any delay resulting in extra work caused by the late arrival of these items will result in a change order for time and materials.
- Document review/feedback on drawings/correspondence will be completed by the Customer within two business days (unless otherwise noted).
- The documented Change Control process will be used to the maximum extent possible – the Customer will have an assigned person with the authority to communicate/approve project Field Directed Change Orders and Contract Change Orders (see Appendix).
- In developing a comprehensive proposal for equipment and integration services, AVI Systems' Sales Representatives and Engineering teams must make some assumptions regarding the physical construction of your facility, the availability of technical infrastructure, and site conditions for installation. If any of the conditions we have indicated in the site survey form are incorrect or have changed for your project or project site, please let your Sales representative know as soon as possible. Conditions of the site found during the integration effort, which are different from those documented, may affect the price of the system solution, integration, or services. To ensure that you have an accurate proposal based on your facility and specific to the conditions of your project, please review all project documentation carefully.

F. INTEGRATION PROJECT MANAGEMENT PROCESSES

AVI Systems will follow a foundational project management process which may include the following actions/deliverables (based on the size/complexity/duration of the integration project):

- Site Survey – performed prior to Retail Sales Agreement and attached
- Project Welcome Notice – emailed upon receipt of Purchase Order
- Project Kick-Off meeting with Customer Representative(s) – either by phone or in-person
- Project Status reviews – informal or formal – either by phone or in person (based on the size/complexity/duration of the project)
- Project Change Control – comprised of Field Directed Change Order and/or Contract Change Order submittals (see Appendix)
- Notice of Substantial Completion (see Appendix) – at Customer walk-through – prior to Service Transition

G. KNOWLEDGE TRANSFER (TRAINING)

This is geared specifically towards the end-user / operator. The purpose of this knowledge transfer is to provide operators with the necessary knowledge to confidently and comfortably operate all aspects of the integrated system. Areas covered include the following:

- Equipment and system overview
- Equipment operation and function
- Equipment start-up, stop and shut down
- Equipment automatic and manual operation
- Discussion and documentation relating to control system operation
- Discussion and documentation relating to the system processor and its control applications
- Powering up and powering down the AV system via the control system
- Manual operation of display systems, audio systems, and all other related components
- Use/operation of patch panels, when and where to be used
- Whom to call when help is required

H. AVI SYSTEMS INTEGRATION SERVICES RESPONSIBILITIES

AVI Systems will provide services/work for the project as described above in the Scope of Work or per the attached separate Scope of Work document detailing the scope of work to be performed.

- Provide equipment, materials, and service items per the contract products and services detail.
- Provide systems equipment integration and supervisory responsibility for the equipment integration.
- Provide systems configuration, checkout, and testing.
- Provide project timeline schedules.
- Provide the necessary information, as requested, to the owner or other parties involved with this project to ensure that proper AC electrical power and cableways and/or conduits are provided to properly integrate the equipment within the facilities.
- Provide manufacturer-supplied equipment documentation.
- Provide final documentation and "as built" system drawings (CAD) - if purchased.
- Provide system training following integration to the designated project leader or team.

I. CUSTOMER INTEGRATION SERVICES RESPONSIBILITIES

- Provide for the construction or modification of the facilities for soundproofing, lighting, electrical, HVAC, structural support of equipment, and decorating as appropriate. Includes installation of any ceiling-mounted projection screen.
- Provide for the ordering, provisioning, installation, wiring, and verification of any Data Network (LAN, WAN, T1, ISDN, etc.) and Telephone Line (Analog or Digital) equipment and services prior to on-site integration.
- Provide all necessary cableways and/or conduits required to facilitate AV systems wiring.
- Provide all necessary conduits, wiring, and devices for technical power to the AV systems equipment.
- Provide reasonable access of AVI Systems personnel to the facilities during periods of integration, testing, and training, including off hours and weekends.
- Provide a secure area to house all integration materials and equipment.
- Provide a project leader who will be available for consultation and meetings.
- Provide timely review and approval of all documentation (Technical Reports, Drawings, Contracts, etc.).

ENGINEERING SERVICES

ENGINEERING SERVICES TO BE PROVIDED

Project Specifications Document – The final audiovisual systems designs will be compiled into a written project technical specifications document with equipment lists and any pricing not already included in the quote for complete integration. This document will include the following system diagrams and documents.

- AV Floor Plan and Elevations detailing locations of AV devices
- AV Video Flow
- AV Audio Flow
- AV Control Flow
- Equipment lists as specified
- System infrastructure requirements, including cable and termination specifications
- System operational and post-operational requirements
- Project Scope of Work
- Project costs
- Project Integration Agreement

System Support

System Support is AVI Systems' fully entitled service and support package that focuses on keeping your Unified Collaboration (UC), Digital Media (DM) and Audiovisual (AV) systems working at their peak performance. Because AVI Systems focuses on the human impact of these systems, we not only support the equipment, but also the end users of your systems.

Customer Care is the most comprehensive and flexible of all our managed service packages. We can apply our expertise and our proven support processes to support your UC, DM, and AV ecosystems. AVI Systems will deliver our offered entitlements in a tiered workflow model that provides support cases at an entry level for initiated incidents. From there, AVI Systems will follow an ITIL based model for remote remediation and on-site dispatch, as necessary. Specific resolver groups and subject matter experts (SMEs) will be alerted for any issue that cannot be easily remedied with Tier 1 or Tier 2 support staff.

SYSTEM SUPPORT AGREEMENT COVERAGE

AVI Systems will perform the services below for covered systems:

Entitlement Coverage		
Entitlement	Definition	Included
Incident Management	AVI Systems provides support to troubleshoot, remediate, and escalate all Incidents through to resolution.	Yes
Remote Support	AVI Systems provides remote Priority Support for supported systems to diagnose and address and attempt to resolve incidents.	Yes
Onsite Support	AVI Systems provides Priority Support for technician dispatch to the customer location to diagnose and address and attempt to resolve an Incident within 8 Business hours or as available and/or scheduled.	Yes
Advanced Parts Replacement	AVI Systems provides advanced replacement of failed hardware components under warranty as available.	Yes
Software Update Assistance	AVI Systems provides labor to implement updates of existing software to correct software errors and/or resolve incidents as scheduled.	Yes
System Training	AVI Systems conducts user training to cover general operation of the system and how to contact AVI Systems for support as scheduled.	Yes
System Health Checks	AVI Systems personnel perform a complete health check and diagnostic on the installed system. Includes cleaning, adjustments, functional tests, and replacement of parts to keep the system equipment in efficient operating condition.	Biannually

Additional Entitlement Coverage		
Entitlement	Definition	Included
Service Delivery Management	AVI Systems will appoint a Service Delivery Manager (SDM) responsible for managing and coordinating services, ensuring communication, adhering to SLAs, reporting performance, handling escalations, and continuously improving service quality.	No

AVI Systems has a standard three level severity protocol and a single level for requests. Our severity levels are Critical (P1), Standard (P3), and Request (P4). Service Levels and response targets are based on Priority. Any needed information, feature enhancements, administrative inquiries are all classified as a request. The following is a severity summary and standard target percentages are listed in the table below.

Target Percentage for Standard Level Agreements (SLA)					
Priority	Details	Incident Management Response	Remote Support Response	Onsite Dispatch (if included)	Target (%)
Critical (P1)	Multiple devices are down, unable to serve data, in a state of frequent or repeating "panic" or "hang," or is in a state of degraded performance sufficient to prevent normal business operations.	Calls: 60 Seconds for calls answered Voicemail: 2 business hours Email: N/A	4 business hours	8 business hours	90
Standard (P3)	Device is experiencing and issue, anomaly, or cosmetic defect that inflicts little or no business impact.	Calls: 60 Seconds for calls answered Voicemail: 2 business hours Email: 4 business hours	8 business hours	8 business hours	90

Request (P4)	Normal requests for information regarding the installation, configuration, use and maintenance of systems under management.	Calls: 60 Seconds for calls answered Voicemail: 4 business hours Email: 4 business hours	16 business hours	Best Effort / Scheduled	90
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Critical (P1): At this severity, both AVI Systems and client must commit the appropriate personnel to restore the system to a functional state or until a mutually agreeable workaround is provided.

NOTE: Email support initiation does not apply – Urgent incidents should be coordinated and requested via phone. Email initiation is logged as Standard (P3).

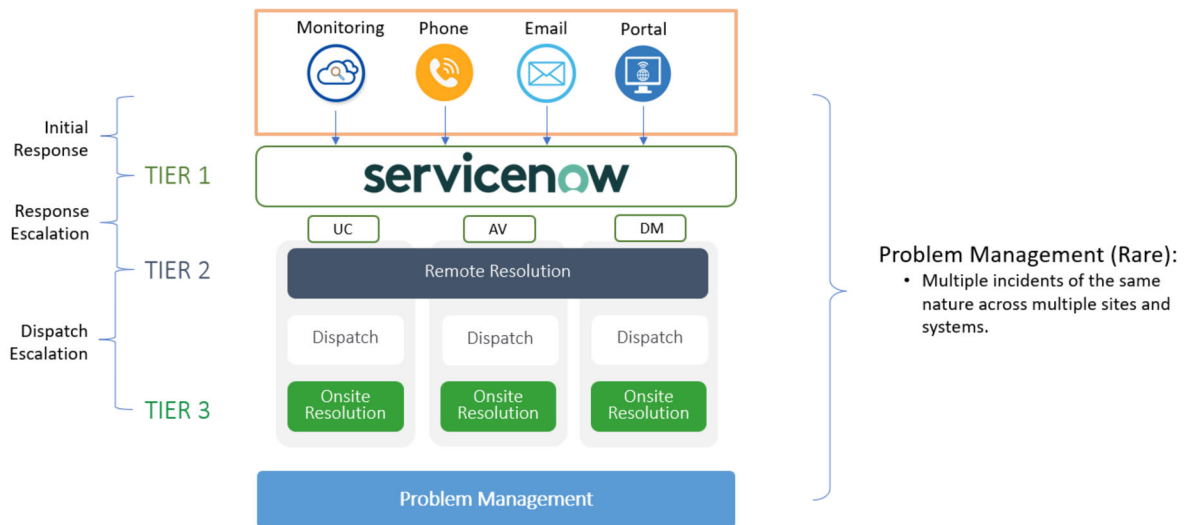
Standard (P3): AVI Systems will provide a viable and mutually agreeable workaround until a more permanent hardware/software upgrade exists to mitigate the incident.

Request (P4): This includes administrative inquiries. There is no impact to your production systems or business operations.

SYSTEM SUPPORT WORKFLOW

AVI Systems follows an Information Technology Infrastructure Library (ITIL) framework with our approach to technology services. Generally, our tiered workflow approach will follow this structure:

1. Incident is reported via monitoring (when purchased), phone, email, or portal (when available)
2. Incident is logged in ServiceNow and triaged (Tier 1)
3. UC / AV / DM Troubleshooting and Remote Resolution (Tier 2)
 - a. Tier 2 remediation (and SLA) begins after Tier 1 triage has been completed.
4. Dispatch Escalation and Resolution (Tier 3)
 - a. Tier 3 Escalation (and SLA) begins after Tier 2 remediation has been attempted.



SERVICE COVERAGE TIME & TIER LEVELS DESCRIPTION

Coverage hours for the ProSupport department are defined as:

8 x 5	AVI Systems will provide 8 x 5 coverage across the time zone locations of the systems under coverage (North America only)
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AVI Systems ProSupport department is the initial contact point for any incoming incident. Upon identification of an issue, the ProSupport team will attempt to restore the technology service back to normal operations. Remediation activities will take place at different tiers of service, but all following a specific workflow. A general description of what happens at each tier level is as follows:

TIER 1 SERVICES:

Tier 1 services are the initial point of contact for any issue and are primarily made up of Incident Management responsibilities. Typical responsibilities for Tier 1 include:

- Taking ownership of incidents in our ServiceNow ITSM system for all issues reported or alerted on. Each incident request will have a unique reference number which is used to allow the support staff to quickly locate, add to or communicate the status of the user's issue or request.
- Assign a severity or update the severity of each incident (Critical, Standard, or Request)
- Provide electronic receipt notification for each incident.

- Provide rapid response and initial triage and technical support.
- Perform remote trouble isolation, resolution, or escalation to a Tier 2 Technician if needed.
- Ongoing status updates and case management through incident resolution.

TIER 2 SERVICES:

Tier 2 services are made up of various remote resolver groups. Escalations will take place at this level. AVI Systems will engage with a remote resolver that specializes in the incident in question. Typical responsibilities for Tier 2 include:

- Specific fault isolation down to the component level.
- Perform specific hardware configuration changes.
- Perform overall system configuration changes.
- In-depth analysis, log analysis, fault tracking and tracing.
- In-depth understanding of the core technologies utilized for corrective action.
- Promote the incident to Tier 3 escalation as needed.

TIER 3 SERVICES (available as SSA master number - if included):

Tier 3 services are made up of onsite resources that are available for dispatch. The ProSupport team will take the learnings from Tier 1 and Tier 2 teams and dispatch a site technician with the correct repair or replacement technology to fully resolve the incident. Typical responsibilities for Tier 3 include:

- Room repair and configuration changes.
- Control and audio system programming.
- Hardware swaps of on-hand critical components.
- Coordination of replacement parts.
- RMA or equipment returns to the manufacturer.
- Advanced diagnostic troubleshooting of cable paths and component level devices.
- Software and firmware updates, as well as identification of incompatible revisions.
- Acceptance testing of the resolved system.
- System health checks (preventative maintenance).
- System reimaging to correct OS/BIOS failures or to generally reconstruct a system back to functionality.

PROBLEM MANAGEMENT:

AVI Systems has a proven problem management process aimed to resolve the root causes of any Tier 3 incidents that are unresolved. Unfortunately, there are occasions where multiple issues happen across multiple platforms. These issues are escalated into an ITIL "Problem". A "problem" in this context is the unknown underlying cause of one or more incidents, and a 'known error' is a problem that is successfully diagnosed and for which either a work-around or a permanent resolution has been identified. Problems can also be identified from a single significant incident, indicative of a single error, for which the cause is unknown, but for which the impact is significant.

A known error is a condition identified by successful diagnosis of the root cause of a problem, and the subsequent development of a work-around. Problem management differs from incident management in that Problem Management aims primarily to find and resolve the root cause of a problem and thus prevent further incidents while the purpose of Incident Management is to return the service to normal level as soon as possible, with the shortest possible business impact.

CONTACTS

AVI Systems Service team can be reached by:

- National Support Phone: 855-521-0040
- **Local Branch support number should be inserted here**
- email: support@avisystems.com
- Portal: Contact your local AVI Systems representative for instructions.

SYSTEM SUPPORT DEFINITIONS

System – Defined as the items listed in the Products and Services Detail section of this Agreement or listed on an attached Equipment List with the exception of Consumables, Owner Furnished Equipment, and Obsolete Equipment.

Remote Support – Means a service whereby remote calls made to communications and terminal equipment via Customer provided IP connection to determine failures and remedies. Only available where equipment is capable and configured by AVI Systems to provide same.

Onsite Support - Service level response assumes customer location is within 60 miles of an AVI Systems Service Center. Additional travel costs may apply if the customer location is beyond 60 miles of an AVI Systems Service Center.

Consumables – Means parts such as recording media, batteries, projection lamps and bulbs, etc. Consumables are parts that are not included under this Agreement.

Obsolete Equipment – Defined as items (though possibly still in use) that are outdated with no manufacturer support or parts availability, or products with formal end of life as defined by their manufacturer. Obsolete Equipment are parts that are not included under this Agreement.

Software Update Assistance – Defined as revisions of existing software which provide maintenance to correct software errors. Assumes software is provided at no charge by the manufacturer or covered under a valid manufacturer maintenance contract. Cascading software dependencies may impact ability to issue updates. Software and features which require additional licensing are not included under this Agreement. Changes to custom templates or scripts after initial deployment are available separate from this agreement.

SYSTEM SUPPORT TERMS

Coverage Dates – Unless otherwise stated, the service coverage date will be effective as of substantial completion or System Support Agreement invoice date; whichever is applicable. Coverage will extend for the duration specified by the corresponding line item description found in the Product and Services Detail section of this Agreement. AVI Systems reserves the right to withhold services until the invoice is paid in full.

Exclusions – For situations where AVI Systems is providing service or support under this Agreement, no cost service, maintenance or repair shall not apply to the Equipment if any person other than an AVI Systems technician or other person authorized by AVI Systems, without AVI Systems prior written consent, improperly wires, integrates, repairs, modifies or adjusts the Equipment or performs any maintenance service on it during the term of this Agreement. Furthermore, any Equipment service, maintenance or repair shall not apply if AVI Systems determines, in its sole discretion, that the problems with the Equipment were caused by (a) Customer's negligence; or (b) theft, abuse, fire, flood, wind, lighting, unreasonable power line surges or brownouts, or acts of God or public enemy; or (c) use of any equipment for other than the ordinary use for which such equipment was designed or the purpose for which such equipment was intended, or (d) operation of equipment within an unsuitable operating environment, or (e) failure to provide a suitable operating environment as prescribed by equipment manufacturer specifications, including, without limitation, with respect to electrical power, air conditioning and humidity control.

Systems Support Terms are in addition to AVI Systems' General Terms and Conditions of Sale.

UNIFIED COMMUNICATIONS TERMS

Coverage Dates – Unless otherwise stated, the service coverage start date for Unified Communications Support Services for new unified communications infrastructure equipment will be the shipped date from the manufacturer, and coverage will extend for the duration of time specified by the corresponding line-item description found in the Product and Services Detail section of this Agreement. The start date for Unified Communications Support Services purchased to cover existing equipment is established by the manufacturer, and the coverage will extend for the duration specified by the corresponding line-item description found in the Product and Services Detail section of this Agreement.

Unified Communications Terms are in addition to AVI Systems' General Terms and Conditions of Sale.

**CITY OF WEST ALLIS
RESOLUTION R-2025-0070**

**RESOLUTION AMENDING THE EXISTING PROFESSIONAL SERVICES
CONTRACT WITH RASMITH TO PROVIDE ROADWAY AND SIGNAL DESIGN
SERVICES FOR THE CITY OF WEST ALLIS FOR AN AMOUNT NOT TO
EXCEED \$42,000**

WHEREAS, the City has an existing Professional Services Contract with raSmith for Engineering Consulting Services; and,

WHEREAS, raSmith previously studied various traffic calming alternatives along W. National Ave. from S. 70th St. to S. 65th St.; and,

WHEREAS, the City has selected a preferred alternative and applied for CDBG funding to implement the traffic calming and pedestrian improvements along W. National Ave.; and,

WHEREAS, the CDBG application was approved for 2025 funding from S. 65th St. to the railroad crossing; and,

NOW THEREFORE, BE IT RESOLVED By the Mayor and Common Council of the City of West Allis that the proposal dated February 4, 2025 for consulting services is hereby amended to provide the continuation of services as well as the additional services described in the scope, for a sum not to exceed \$42,000, the funding of such services is to be paid with Community Block Grant Funding (CDBG) included in the 2025 budget.

BE IT FURTHER RESOLVED that the City Engineer be and is hereby authorized to amend the Professional Services Contract with raSmith.

BE IT FURTHER RESOLVED that the City Engineer be and is hereby authorized to make such substantive changes, modifications, additions and deletions to and from the various provisions of the proposal from raSmith as may be necessary and proper to correct inconsistencies, eliminate ambiguity and otherwise clarify and supplement said provisions to preserve and maintain the general intent thereof and to protect the interests of the City, including but not limited to, any and all changes necessary to preserve the intent of the Common Council of the City of West Allis.

SECTION 1: **ADOPTION** “R-2025-0070” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0070(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

February 4, 2025

Ms. Traci Gengler, P.E.
City of West Allis
7525 W. Greenfield Avenue
West Allis, WI 53214

RE: **Proposal for Traffic Signal & Roadway Design Services**
W. National Avenue (S. 65th Street to Union Pacific Railroad Crossing)
West Allis, Wisconsin

Dear Ms. Gengler:

Thank you for giving raSmith the opportunity to provide a quotation for professional services. The contents of this letter contract spell out the Project Understanding, Scope of Services, Information Provided by the Client, Completion Schedule, and Professional Fees under which this proposal is being made.

PROJECT UNDERSTANDING

The City of West Allis is interested in making traffic signal and roadway improvements along W. National Avenue from S. 65th Street to the Union Pacific Railroad. The recommended improvements are identified in Exhibit A and include but are not limited to: median modifications, curb extensions, traffic signal modification, pedestrian crossing improvements, and intersection lane geometry modifications. The City asked raSmith to prepare a proposal for design services to develop construction plans and specifications. The scope of services is outlined in the following section.

SCOPE OF SERVICES

The following scope of services was developed from information provided by the City and our experience in delivering similar projects and services.

- 1) Develop draft and final roadway plans to be submitted to the City for approval, including the following plan sheets:
 - Title page
 - Project overview
 - General notes
 - Construction details
 - Standard detail drawings
 - Intersection detail sheets
 - Curb ramp detail sheets (up to 8 quadrants)
 - Storm Sewer Plans (plan view only at up to 2 quadrants)
 - Permanent traffic signal and intersection lighting (if required)
 - Permanent traffic signal sequence of operations
 - Permanent signing and pavement marking removals
 - Permanent pavement marking
 - Permanent signing



Ms. Traci Gengler, P.E.
Page 2 / February 4, 2025

- 2) Review intersection design vehicle turning templates (previously prepared by raSmith) and compare to the proposed conceptual intersection improvements. Identify potential conflicts and design alternatives to accommodate the selected design vehicle.
- 3) Prepare project special provisions and submit to the City for their inclusion in the project manual, including boilerplate City specifications and project special provisions.
- 4) Develop construction cost estimate for use by the City.
- 5) Prepare permanent traffic signal timing plans at the W. National Avenue intersection with S. 66th Street to provide to contractor when traffic signal modifications are completed.

All designs and deliverables will be completed in accordance with City of West Allis standards and MUTCD guidelines. In the absence of City design standards, WisDOT standards will be used.

FIELD SURVEY:

- 1) Contact Digger's Hotline to obtain facility system maps and mark utilities in the field prior to the utility field survey (one time).
- 2) Coordinate field survey needs with and obtain field survey data from the City along W. National Avenue, S. 66th Street, and S. 65th Street in the vicinity of the project site. The survey will include the following components:
 - Topographic / mapping features
 - Existing utility mapping as designated by Digger's Hotline
 - Storm Sewer measure-downs, as necessary

Limits of the field survey include up to 50 feet past the point of tangency on each leg of the project intersections, within the existing right-of-way.

- 3) Obtain GIS right-of-way, parcel, and public utility information from the City. Right-of-way boundaries will be shown based off the GIS data, are approximate, and will be used to identify potential right-of-way impacts. Title searches and plat development are considered extra services.

UTILITY COORDINATION:

- 1) Using a City-provided utility contact list, request system maps from utilities with facilities in the project area.
- 2) Identify potential utility conflicts based on utility system maps and surveyed field markings and modify the design accordingly.

MEETINGS:

- 1) Attend up to two (2) in-person meetings with City staff. Meetings shall include the following:
 - Preliminary design review
 - Preconstruction meeting

All services beyond the tasks included in this proposal will be completed on a time-and-materials basis as authorized.

Client Responsibilities/Assumptions

Based on discussions with the City and our knowledge of the project, the following assumptions will apply. Any change to these assumptions may result in additional fees.

- City shall be responsible for all field survey on the project. Coordinate survey scope and needs with raSmith prior to conducting field survey work. Additional survey requests may be required beyond the initial request and will need to be completed in a timely manner to keep the project on schedule.
- Survey mapping of the entire functional area of the intersection is not included in the project. Plans will be prepared using the most recently available orthophotos from Milwaukee County, City of West Allis, or other reputable source.
- Alignment stationing will be approximated using the existing roadway centerlines and provided for the contractor's reference only.
- Monotube signal poles and corresponding signal bases will not be used.
- Assistance with direct purchase of any City-procured traffic signal materials is considered extra services.
- Traffic control will utilize standard detail drawings. Detours will not be required.
- Soil borings are not required.
- Utility relocations are not anticipated. Designer is not responsible for utility conflicts that arise during construction.
- Temporary traffic signals are not required.
- Coordination and permitting with WDNR and MMSD are not anticipated and considered extra services.
- Coordination with the railroad is not anticipated and considered extra services.
- Public involvement activities are not included in the scope of services.
- Construction management and inspection services are not included in this scope of services. If requested, construction services will be provided under a separate contract.
- Temporary or permanent real estate acquisition is not required with the project and a right of way plat is not included in the scope of services. If required, construction permits will be coordinated directly between the property owner and the City.

Completion Schedule

raSmith will submit the draft plans to the City according to the following schedule:

- Draft plans – within twelve (12) weeks of receiving authorization to proceed and complete field survey data
- Final plans – within four (4) weeks of receiving comments from the City on the draft plan set



Ms. Traci Gengler, P.E.
Page 4 / February 4, 2025

raSmith is aware of the City's desire to complete construction as soon as possible and will make every effort to allow the project to start in early Summer 2025. Please be aware that material lead times for certain types of traffic signal equipment (namely traffic signal cabinets, poles, and meter breaker pedestals) have exceeded six months in recent years.

Professional Fees

The lump sum fee for completing the above Scope of Services is \$41,800, including expenses.

If you would like to authorize raSmith to proceed with your project, please sign the attached Professional Services Agreement Between Client and Professional, and forward a signed copy of the entire Agreement to me at john.bruggeman@rasmith.com. Once received, we will execute and return a copy for your records.

We look forward to working with you on this project!

Sincerely,
raSmith

John Bruggeman, P.E., PTOE
Senior Traffic Project Manager

Enclosures: Professional Services Agreement (Contract)
Exhibit A – Recommended Improvements

bth:T:\TRAFFIC\Proposals - Marketing\2024 West Allis Roadway & Signal Improvements\EP 250204 Gengler - Roadway & Signal Improvements - National Ave.docx

**PROFESSIONAL SERVICES AGREEMENT
BETWEEN CLIENT AND PROFESSIONAL**

THIS IS AN AGREEMENT effective as of _____ ("Effective Date") between City of West Allis ("Client") and R.A. Smith, Inc. ("Professional").

Client's Project, of which Professional's services under this Agreement are a part, is generally identified as follows:

Traffic Signal & Roadway Design Services: W. National Avenue (S. 65th Street to Union Pacific Railroad Crossing) - West Allis, WI ("Project").

Professional's services under this Agreement are generally identified as follows:

Please see Scope of Services in the attached proposal letter. ("Services").

Client and Professional further agree as follows:

1.01 *Basic Agreement and Period of Service*

- A. Professional shall provide or furnish the Services solely for the benefit of Client as set forth in this Agreement and in the attached proposal. If authorized by Client, or if required because of changes in the Project, Professional shall furnish services in addition to those set forth above ("Additional Services").

2.01 *Payment Procedures*

- A. *Invoices:* Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Client on a monthly basis. Invoices are due and payable within 30 days of invoice date. If Client fails to make any payment due Professional for Services, Additional Services, and expenses within 30 days after receipt of Professional's invoice, then (1) the amounts due Professional will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day, and (2) in addition Professional may, after giving seven days written notice to Client, suspend Services under this Agreement until Professional has been paid in full all amounts due for Services, Additional Services, expenses, and other related charges. Client waives any and all claims against Professional for any such suspension.
- B. *Payment:* As compensation for Professional providing or furnishing Services and Additional Services, Client shall pay Professional as set forth in this agreement. If Client disputes an invoice, either as to amount or entitlement, then Client shall promptly advise Professional in writing of the specific basis for doing so, may withhold only that portion so disputed, and must pay the undisputed portion.

2.02 *Basis of Payment*

- A. Client shall pay Professional for Services in the amount and manner provided in the attached proposal.
- B. *Additional Services:* Unless specified in the attached proposal, for Additional Services, Client shall pay Professional an amount equal to the cumulative hours charged in providing the Additional Services by each class of Professional's employees, times standard hourly rates for each applicable billing class; plus reimbursement of expenses incurred in connection with providing the Additional Services and Professional's consultants' charges, if any.

3.01 *Suspension and Termination*

- A. The obligation to continue performance under this Agreement may be suspended:
 - 1. *By Client:* Client may suspend the Project for up to 90 days upon seven days written notice to Professional.
 - 2. *By Professional:* Professional may, after giving seven days written notice to Client, suspend services under this Agreement if Client has failed to pay Professional for invoiced services and expenses, as set forth in this Agreement.
- B. The obligation to continue performance under this Agreement may be terminated:
 - 1. For cause,
 - a. By either party upon 14 days written notice in the event of substantial failure by the other party to perform in accordance with the Agreement's terms through no fault of the terminating party. Failure to pay Professional for its services is a substantial failure to perform and a basis for termination.
 - b. By Professional:
 - 1) upon seven days written notice if Client demands that Professional furnish or perform services contrary to Professional's responsibilities as a licensed professional; or
 - 2) upon seven days written notice if the Professional's Services are delayed for more than 90 days for reasons beyond Professional's control, or as the result of the presence at the Site of undisclosed Constituents of Concern.
 - c. By Client, for convenience, effective upon Professional's receipt of written notice from Client

- d. Professional shall have no liability to Client on account of a termination for cause by Professional.
 - e. Notwithstanding the foregoing, this Agreement will not terminate as a result of a substantial failure under this section if the party receiving such notice begins, within seven days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt of notice; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
- C. In the event of any termination under this section, Professional will be entitled to invoice Client and to receive full payment for all Services and Additional Services performed or furnished in accordance with this Agreement, plus reimbursement of expenses incurred through the effective date of termination in connection with providing the Services and Additional Services, and Professional's consultants' charges, if any.
- 4.01 *Successors, Assigns, and Beneficiaries*
- A. Client and Professional are hereby bound and the successors, executors, administrators, and legal representatives of Client and Professional are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
 - B. Neither Client nor Professional may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.
 - C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Client or Professional to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Professional and not for the benefit of any other party.
- 5.01 *General Considerations*
- A. *Standard of Care*

The standard of care for all professional engineering and related services performed or furnished by Professional under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Professional makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Professional. Subject to the foregoing standard of care, Professional and its consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.
 - B. *Design Without Construction Phase Services*

Professional shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor shall Professional have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to such Constructor's furnishing and performing of its work. Professional shall not be responsible for the acts or omissions of any Constructor. Professional neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.
 - C. *Opinions of Cost*

Professional's opinions (if any) of probable construction cost are to be made on the basis of Professional's experience, qualifications, and general familiarity with the construction industry. However, because Professional has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Professional cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from opinions of probable construction cost prepared by Professional. If Client requires greater assurance as to probable construction cost, then Client agrees to obtain an independent cost estimate. Professional shall not be responsible for any decision made regarding the construction contract requirements, or any application, interpretation, clarification, or modification of the construction contract documents other than those made by Professional or its consultants.
 - D. *Use of Documents*

All documents prepared or furnished by Professional are instruments of service, and Professional retains an ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Client shall have a limited license to use the documents on the Project, extensions of the Project, and for related uses of the Client, subject to receipt by Professional of full payment due and owing for all Services and Additional Services relating to preparation of the documents and subject to the following limitations:

 - 1. Client acknowledges that such documents are not intended or represented to be suitable for use on the Project unless completed by Professional, or for use or reuse by Client or others on extensions of the Project, on any other project, or for any other use or purpose, without written verification or adaptation by Professional;

2. Any such use or reuse, or any modification of the documents, without written verification, completion, or adaptation by Professional, as appropriate for the specific purpose intended, will be at Client's sole risk and without liability or legal exposure to Professional or to its officers, directors, members, partners, agents, employees, and consultants;
3. Client shall indemnify and hold harmless Professional and its officers, directors, members, partners, agents, employees, and consultants from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from any use, reuse, or modification of the documents without written verification, completion, or adaptation by Professional; and
4. Such limited license to Client shall not create any rights in third parties.

E. **Liability**

To the fullest extent permitted by Laws and Regulations, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Professional and Professional's officers, directors, employees, and Consultants, to Client and anyone claiming by, through, or under Client for any and all injuries, claims, losses, expenses, costs, or damages whatsoever arising out of, resulting from, or in any way related to the Project, Professional's or its Consultants services or this Agreement from any cause or causes whatsoever, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract, indemnity obligations, or warranty express or implied of Professional or Professional's officers, directors, employees, or Consultants shall not exceed the total amount of \$100,000 or the total compensation received by Professional under this Agreement, whichever is less.

F. **Indemnification**

To the fullest extent permitted by Laws and Regulations, Client shall indemnify and hold harmless Professional and Professional's officers, directors, employees, and Consultants from and against any and all claims, costs, losses and damages (including but not limited to all fees and charges of Professionals, architects, attorneys, and other professionals, and all court, arbitration, or other dispute resolution costs) arising out of or relating to the Project, provided that any such claim, cost, loss, or damage is attributable to bodily injury, sickness, disease, or death or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, but only to the extent caused by any negligent act or omission of the Client or Client's officers, directors, members, partners, agents, employees, consultants, or others retained by or under contract to the Client with respect to this Agreement or to the Project.

G. **Dispute Resolution**

Client and Professional agree to negotiate each dispute between them in good faith during the 30 days after written notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law. The venue for all disputes shall be the state of Wisconsin. Attorney fees will be borne by the non-prevailing party.

H. **Governing Law**

This Agreement is to be governed by the law of the state of Wisconsin.

6.01 **Agreement**

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Client and Professional and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument. Nothing in this Agreement between Professional and Client shall create a contractual relationship between either Professional and Client and an outside third party.

7.01 **Lien Notice**

- A. As required by the Wisconsin construction lien law, Professional hereby notifies Client that persons or companies performing, furnishing, or procuring labor, services, materials, plans, or specifications for the construction on Client's land may have lien rights on Client's land and buildings if not paid. Those entitled to lien rights, in addition to the undersigned Professional, are those who contract directly with the Client or those who give the Client notice within 60 days after they first perform, furnish, or procure labor, services, materials, plans or specifications for the construction. Accordingly, Client probably will receive notices from those who perform, furnish, or procure labor, services, materials, plans, or specifications for the construction, and should give a copy of each notice received to the mortgage lender, if any. Professional agrees to cooperate with the Client and the Client's lender, if any, to see that all potential lien Professionals are duly paid.



IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Project Name: Traffic Signal & Roadway Design Services: W. National Avenue (S. 65th Street to Union Pacific Railroad Crossing) - West Allis, WI

Client: City of West Allis

Professional: R.A. Smith, Inc.

By: _____

By: _____

Print name: Traci Gengler, P.E.

Print name: John Bruggeman, P.E., PTOE

Title: _____

Title: Senior Traffic Project Manager

Date Signed: _____

Date Signed: _____

Address for Client's receipt of notices:

Address for Professional's receipt of notices:

City of West Allis

R.A. Smith, Inc.

7525 W. Greenfield Avenue

16745 West Bluemound Road

West Allis, WI 53214

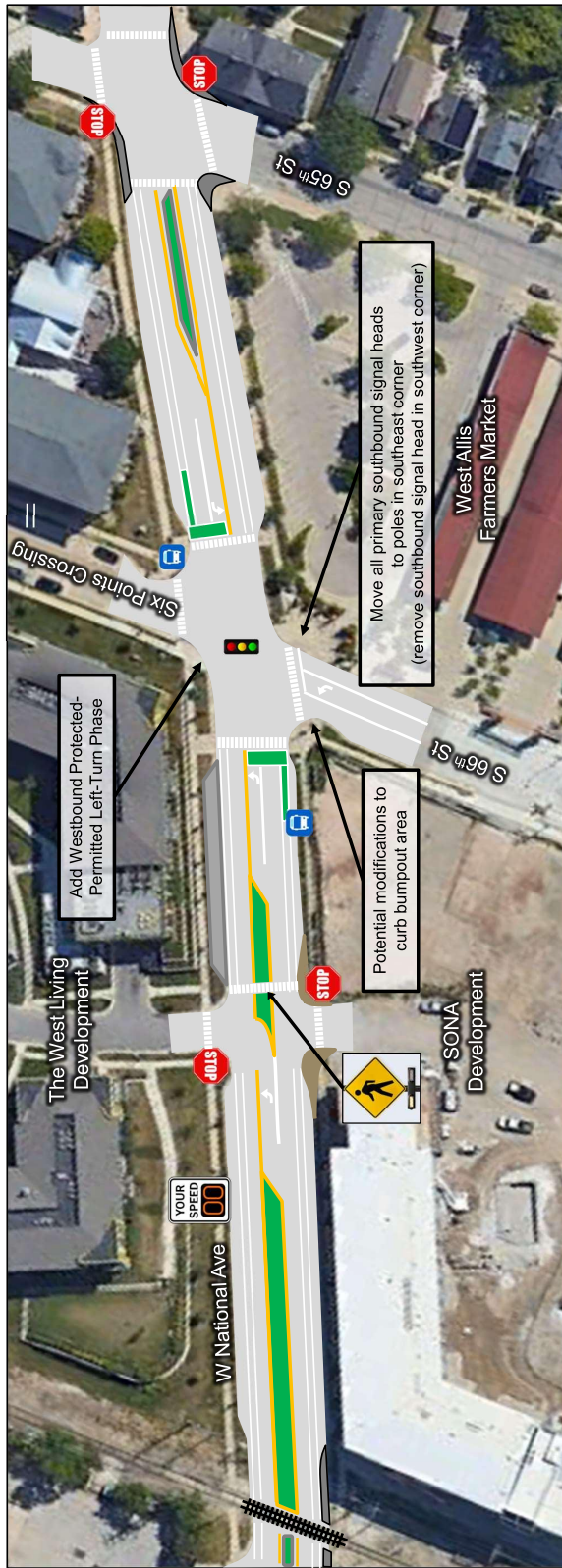
Brookfield, WI 53005

Client's Phone: _____

Professional's Phone: (262) 317-3353

Client's Email: _____

Professional's Email: john.bruggeman@rasmith.com



- Notes:
- 1) High-visibility crosswalks may be colored concrete or continental-style markings.
 - 2) On-street bike planes should be provided in both directions throughout the corridor (mark new westbound bike lane west of railroad tracks)

<ul style="list-style-type: none"> = Raised Median = High-visibility Crosswalk = Curb Bump Out / Extension = Bike Box = Rectangular Rapid Flashing Beacon (RRFB) = Flashing Beacon (RRFB) = YOUR SPEED = Speed Feedback Sign = Transit Stop = Traffic Signal = Stop Sign = Parking Restrictions 	<p>Alternative 2</p> <p>Recommended Improvements</p>	<p>Exhibit</p> <p>A</p>
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**CITY OF WEST ALLIS
RESOLUTION R-2025-0073**

**RESOLUTION AUTHORIZING THE APPLICATION OF ARTS AND HUMANITIES
GRANTS UNDER \$5,000**

WHEREAS, the City of West Allis (“City”) recognizes the importance of building community and engaging residents and businesses to collaborate to improve and enhance the quality of life of the community; and,

WHEREAS, the City of West Allis provides technical assistance to support emerging community leadership, associations, and initiatives to identify shared challenges and opportunities, and to encourage collective problem-solving and the development of innovative solutions that strengthen leadership capabilities, expand community engagement efforts, and drive meaningful community impact; and,

WHEREAS, Wisconsin Arts Board and Wisconsin Humanities, offers small grants opportunities for nonprofit organizations and grants up to \$5,000 and have 1:1 match (includes in-kind) that can be used for addressing local arts and humanities activities; and,

WHEREAS, the City Planning and Zoning Office recommends the City or its partners apply to Wisconsin Arts Board and Wisconsin Humanities for small grants up to \$5,000 for FY 2025.

NOW THEREFORE, BE IT RESOLVED, by the Common Council of the City of West Allis, that it hereby authorizes the submission of a Creative Communities Grant application to Wisconsin Arts Board to support local arts and entertainment activities and an Opportunity Grant to Wisconsin Humanities to support community building and civic engagement activities.

BE IT FURTHER RESOLVED that the City or its partners will submit an application of up to \$5,000 for each grant opportunity.

BE IT FURTHER RESOLVED that the necessary City Staff complete and submit the necessary applications and execute all requirements associated with the Wisconsin Arts Board and Wisconsin Humanities grants.

SECTION 1: **ADOPTION** “R-2025-0073” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0073(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

Wisconsin Arts Board

Creative Communities Grant – Local Grant

[Arts Board Local Arts](#)

\$1,500-6,000

Deadlines: February 20 (Intent to Apply), February 27 (Phase 1 application), April 10 (Phase 2 application)

The Local Arts component provides funds to organizations for projects that create or present exemplary arts experiences, resonate with the heritage and traditions of the community being served, encourage increased local participation and public funding for the arts, and strengthen the effectiveness of organizations. Examples include projects that:

- allow local arts organizations to support community-wide projects such as community outreach programs, information services, workshops, and public art;
- initiate community-wide cultural planning to address broad community goals;
- engage the community in starting up community oriented arts organizations founded in response to community dialogue (community arts councils, community theater groups, community art galleries, artist cooperatives, etc.);
- engage people with disabilities in art making and arts experiences; and
- develop a festival conceived by a community to showcase its current art forms through music, dance and visual arts exhibitions.

Wisconsin Humanities

[Opportunity Grants - Wisconsin Humanities](#)

Up to \$4,000

Deadlines: March 1, July 1, November 1

Opportunity grants support cultural sharing and learning, and your telling of crucial, underheard stories and histories. We support initiatives that foster understanding and civic engagement.

**CITY OF WEST ALLIS
RESOLUTION R-2025-0074**

**RESOLUTION AMENDING THE EXISTING PROFESSIONAL SERVICES
CONTRACT WITH RASMITH TO PROVIDE TRAFFIC ENGINEERING
SERVICES FOR THE CITY OF WEST ALLIS FOR AN AMOUNT NOT TO
EXCEED \$38,000**

WHEREAS, the City has an existing Professional Services Contract with raSmith for Engineering Consulting Services; and,

WHEREAS, the City’s new DPW Facility is being constructed at 1906 S 53rd St. and will add traffic to W. Burnham St. Therefore, the City has decided to add a traffic signal at the intersection of S. 53rd St. and W. Burnham St.; and,

WHEREAS, the City will need further assistance from raSmith to design the roadway improvements and traffic signals at S. 53rd St. and W. Burnham St.; and,

WHEREAS, the new DPW facility budget includes the installation of the traffic signal; and,

NOW THEREFORE, BE IT RESOLVED By the Mayor and Common Council of the City of West Allis that the proposal dated February 4, 2025 for consulting services is hereby amended to provide the continuation of services as well as the additional services described in the scope, for a sum not to exceed \$38,000, the funding of such services is to be paid with the DPW facility budget.

BE IT FURTHER RESOLVED that the City Engineer be and is hereby authorized to amend the Professional Services Contract with raSmith.

BE IT FURTHER RESOLVED that the City Engineer be and is hereby authorized to make such substantive changes, modifications, additions and deletions to and from the various provisions of the proposal from raSmith as may be necessary and proper to correct inconsistencies, eliminate ambiguity and otherwise clarify and supplement said provisions to preserve and maintain the general intent thereof and to protect the interests of the City, including but not limited to, any and all changes necessary to preserve the intent of the Common Council of the City of West Allis.

SECTION 1: **ADOPTION** “R-2025-0074” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0074(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

February 4, 2025

Ms. Traci Gengler, P.E.
City of West Allis
7525 W. Greenfield Avenue
West Allis, WI 53214

RE: **Proposal for Traffic Signal & Roadway Design Services**
W. Burnham Street intersection with S. 53rd Street
West Allis, Wisconsin

Dear Ms. Gengler:

Thank you for giving raSmith the opportunity to provide a quotation for professional services. The contents of this letter contract spell out the Project Understanding, Scope of Services, Information Provided by the Client, Completion Schedule, and Professional Fees under which this proposal is being made.

PROJECT UNDERSTANDING

The City of West Allis is interested in making traffic signal and roadway improvements at the W. Burnham Street intersection with S. 53rd Street in conjunction with the opening of their new Public Works Department facility. The City asked raSmith to prepare a proposal for design services to develop construction plans and specifications. The scope of services is outlined in the following section.

SCOPE OF SERVICES

The following scope of services was developed from information provided by the City and our experience in delivering similar projects and services.

- 1) Develop draft and final roadway plans to be submitted to the City for approval, including the following plan sheets:
 - Title page
 - Project overview
 - General notes
 - Construction details
 - Standard detail drawings
 - Intersection detail sheets (two curb bump-outs in NW and SE quadrants)
 - Curb ramp detail sheets (four quadrants)
 - Permanent traffic signal and intersection lighting (if required)
 - Permanent traffic signal sequence of operations
 - Permanent signing and pavement marking removals
 - Permanent pavement marking
 - Permanent signing
- 2) Review the City's proposed site plans for the Public Works Facility (completed by others) and coordinate the project intersection improvements with City staff and their site design representatives.
- 3) Prepare project special provisions and submit to City for their insertion into the project manual.



Ms. Traci Gengler, P.E.
Page 2 / February 4, 2025

- 4) Develop construction cost estimate for use by the City.
- 5) Prepare permanent traffic signal timing plans and provide to the contractor at the time of traffic signal turn-on.

All designs and deliverables will be completed in accordance with City of West Allis standards and MUTCD guidelines. In the absence of City design standards, WisDOT standards will be used.

FIELD SURVEY:

- 1) Contact Digger's Hotline to obtain facility system maps and mark utilities in the field prior to the utility field survey (one time).
- 2) Coordinate field survey needs with and obtain field survey data from the City in the vicinity of the project site. The survey will include, at a minimum, the following components:
 - Topographic / mapping features
 - Existing utility mapping as designated by Digger's Hotline

Limits of the field survey include up to 50 feet past the point of tangency on each leg of the project intersection, within the existing right-of-way.

- 3) Obtain GIS right-of-way, parcel, and public utility information from the City. Request public utility information for the north leg of the project intersection from the Village of West Milwaukee. Right-of-way boundaries will be shown based off the GIS data, are approximate, and will be used to identify potential right-of-way impacts. Title searches and plat development are considered extra services.

UTILITY COORDINATION:

- 1) Using a City-provided utility contact list, request system maps from utilities with facilities in the project area.
- 2) Identify potential utility conflicts based on utility system maps and surveyed field markings and modify the design accordingly.

MEETINGS:

- 1) Attend up to two (2) in-person meetings with City staff. Meetings shall include the following:
 - Preliminary design review
 - Preconstruction meeting

All services beyond the tasks included in this proposal will be completed on a time-and-materials basis as authorized.

Client Responsibilities/Assumptions

Based on discussions with the City and our knowledge of the project, the following assumptions will apply. Any change to these assumptions may result in additional fees.

- City shall be responsible for all field survey on the project. Coordinate survey scope and needs with raSmith prior to conducting field survey work. Additional survey requests may be required beyond the initial request and will need to be completed in a timely manner to keep the project on schedule.

- Survey mapping of the entire functional area of the intersection is not included in the project. Plans will be prepared using the most recently available orthophotos from Milwaukee County, City of West Allis, or other reputable source.
- Alignment stationing will be approximated using the existing roadway centerlines and provided for the contractor's reference only.
- Monotube signal poles and corresponding signal bases will not be used.
- Any new intersection lighting provided at the S. 53rd Street intersection with W. Burnham Street will include luminaires installed on the traffic signal poles and powered out of the traffic signal cabinet.
- Assistance with direct purchase of any City-procured traffic signal materials is considered extra services.
- Traffic control will utilize standard detail drawings. Detours will not be required.
- Soil borings are not required.
- Utility relocations are not anticipated. The Designer is not responsible for utility conflicts that arise during construction.
- Temporary traffic signals are not required.
- Storm Sewer improvements are not anticipated and are considered extra services.
- Coordination and permitting with WDNR and MMSD are not anticipated and considered extra services.
- Public involvement activities are not included in the scope of services.
- Construction management and inspection services are not included in this scope of services. If requested, construction services will be provided under a separate contract.
- Temporary or permanent real estate acquisition is not required with the project and a right of way plat is not included in the scope of services. If required, construction permits will be coordinated directly between the property owner and the City.
- City to request new traffic signal service installation directly with the local electrical utility.

Completion Schedule

raSmith will submit the draft plans to the City according to the following schedule:

- Draft plans – within twelve (12) weeks of receiving authorization to proceed, complete field survey data, and receipt of final DPW facility site plans for review
- Final plans – within four (4) weeks of receiving comments from the City on the draft plan set

raSmith is aware of the City's desire to complete construction as soon as possible and will make every effort to allow the project to start in late Spring/early Summer 2025. Please be aware that material lead times for certain



Ms. Traci Gengler, P.E.
Page 4 / February 4, 2025

types of traffic signal equipment (namely traffic signal cabinets, poles, and meter breaker pedestals) have exceeded six months in recent years.

Professional Fees

The lump sum fee for completing the above Scope of Services is \$37,600, including expenses.

If you would like to authorize raSmith to proceed with your project, please sign the attached Professional Services Agreement Between Client and Professional, and forward a signed copy of the entire Agreement to me at john.bruggeman@rasmith.com. Once received, we will execute and return a copy for your records.

We look forward to working with you on this project!

Sincerely,
raSmith

A handwritten signature in black ink that reads 'John Bruggeman'.

John Bruggeman, P.E., PTOE
Senior Traffic Project Manager

Enclosure: Professional Services Agreement (Contract)

bth:T:\TRAFFIC\Proposals - Marketing\2024 West Allis Roadway & Signal Improvements\EP 250204 Gengler - Roadway & Signal Improvements - 53rd & Burnham.docx



**PROFESSIONAL SERVICES AGREEMENT
BETWEEN CLIENT AND PROFESSIONAL**

THIS IS AN AGREEMENT effective as of _____ ("Effective Date") between City of West Allis ("Client") and R.A. Smith, Inc. ("Professional").

Client's Project, of which Professional's services under this Agreement are a part, is generally identified as follows:

Traffic Signal & Roadway Design Services: W. Burnham Street intersection with S. 53rd Street - West Allis, Wisconsin ("Project").

Professional's services under this Agreement are generally identified as follows:

Please see Scope of Services in the attached proposal letter. ("Services").

Client and Professional further agree as follows:

1.01 *Basic Agreement and Period of Service*

- A. Professional shall provide or furnish the Services solely for the benefit of Client as set forth in this Agreement and in the attached proposal. If authorized by Client, or if required because of changes in the Project, Professional shall furnish services in addition to those set forth above ("Additional Services").

2.01 *Payment Procedures*

- A. *Invoices:* Professional shall prepare invoices in accordance with its standard invoicing practices and submit the invoices to Client on a monthly basis. Invoices are due and payable within 30 days of invoice date. If Client fails to make any payment due Professional for Services, Additional Services, and expenses within 30 days after receipt of Professional's invoice, then (1) the amounts due Professional will be increased at the rate of 1.0% per month (or the maximum rate of interest permitted by law, if less) from said thirtieth day, and (2) in addition Professional may, after giving seven days written notice to Client, suspend Services under this Agreement until Professional has been paid in full all amounts due for Services, Additional Services, expenses, and other related charges. Client waives any and all claims against Professional for any such suspension.
- B. *Payment:* As compensation for Professional providing or furnishing Services and Additional Services, Client shall pay Professional as set forth in this agreement. If Client disputes an invoice, either as to amount or entitlement, then Client shall promptly advise Professional in writing of the specific basis for doing so, may withhold only that portion so disputed, and must pay the undisputed portion.

2.02 *Basis of Payment*

- A. Client shall pay Professional for Services in the amount and manner provided in the attached proposal.
- B. *Additional Services:* Unless specified in the attached proposal, for Additional Services, Client shall pay Professional an amount equal to the cumulative hours charged in providing the Additional Services by each class of Professional's employees, times standard hourly rates for each applicable billing class; plus reimbursement of expenses incurred in connection with providing the Additional Services and Professional's consultants' charges, if any.

3.01 *Suspension and Termination*

- A. The obligation to continue performance under this Agreement may be suspended:
 - 1. *By Client:* Client may suspend the Project for up to 90 days upon seven days written notice to Professional.
 - 2. *By Professional:* Professional may, after giving seven days written notice to Client, suspend services under this Agreement if Client has failed to pay Professional for invoiced services and expenses, as set forth in this Agreement.
- B. The obligation to continue performance under this Agreement may be terminated:
 - 1. For cause,
 - a. By either party upon 14 days written notice in the event of substantial failure by the other party to perform in accordance with the Agreement's terms through no fault of the terminating party. Failure to pay Professional for its services is a substantial failure to perform and a basis for termination.
 - b. By Professional:
 - 1) upon seven days written notice if Client demands that Professional furnish or perform services contrary to Professional's responsibilities as a licensed professional; or
 - 2) upon seven days written notice if the Professional's Services are delayed for more than 90 days for reasons beyond Professional's control, or as the result of the presence at the Site of undisclosed Constituents of Concern.
 - c. By Client, for convenience, effective upon Professional's receipt of written notice from Client

- d. Professional shall have no liability to Client on account of a termination for cause by Professional.
 - e. Notwithstanding the foregoing, this Agreement will not terminate as a result of a substantial failure under this section if the party receiving such notice begins, within seven days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt of notice; provided, however, that if and to the extent such substantial failure cannot be reasonably cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
- C. In the event of any termination under this section, Professional will be entitled to invoice Client and to receive full payment for all Services and Additional Services performed or furnished in accordance with this Agreement, plus reimbursement of expenses incurred through the effective date of termination in connection with providing the Services and Additional Services, and Professional's consultants' charges, if any.

4.01 *Successors, Assigns, and Beneficiaries*

- A. Client and Professional are hereby bound and the successors, executors, administrators, and legal representatives of Client and Professional are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
- B. Neither Client nor Professional may assign, sublet, or transfer any rights under or interest (including, but without limitation, money that is due or may become due) in this Agreement without the written consent of the other party, except to the extent that any assignment, subletting, or transfer is mandated by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.
- C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owed by Client or Professional to any Constructor, other third-party individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Professional and not for the benefit of any other party.

5.01 *General Considerations*

A. Standard of Care

The standard of care for all professional engineering and related services performed or furnished by Professional under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Professional makes no warranties, express or implied, under this Agreement or otherwise, in connection with any services performed or furnished by Professional. Subject to the foregoing standard of care, Professional and its consultants may use or rely upon design elements and information ordinarily or customarily furnished by others, including, but not limited to, specialty contractors, manufacturers, suppliers, and the publishers of technical standards.

B. Design Without Construction Phase Services

Professional shall not at any time supervise, direct, control, or have authority over any Constructor's work, nor shall Professional have authority over or be responsible for the means, methods, techniques, sequences, or procedures of construction selected or used by any Constructor, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a Constructor to comply with laws and regulations applicable to such Constructor's furnishing and performing of its work. Professional shall not be responsible for the acts or omissions of any Constructor. Professional neither guarantees the performance of any Constructor nor assumes responsibility for any Constructor's failure to furnish and perform its work.

C. Opinions of Cost

Professional's opinions (if any) of probable construction cost are to be made on the basis of Professional's experience, qualifications, and general familiarity with the construction industry. However, because Professional has no control over the cost of labor, materials, equipment, or services furnished by others, or over contractors' methods of determining prices, or over competitive bidding or market conditions, Professional cannot and does not guarantee that proposals, bids, or actual construction cost will not vary from opinions of probable construction cost prepared by Professional. If Client requires greater assurance as to probable construction cost, then Client agrees to obtain an independent cost estimate. Professional shall not be responsible for any decision made regarding the construction contract requirements, or any application, interpretation, clarification, or modification of the construction contract documents other than those made by Professional or its consultants.

D. Use of Documents

All documents prepared or furnished by Professional are instruments of service, and Professional retains an ownership and property interest (including the copyright and the right of reuse) in such documents, whether or not the Project is completed. Client shall have a limited license to use the documents on the Project, extensions of the Project, and for related uses of the Client, subject to receipt by Professional of full payment due and owing for all Services and Additional Services relating to preparation of the documents and subject to the following limitations:

1. Client acknowledges that such documents are not intended or represented to be suitable for use on the Project unless completed by Professional, or for use or reuse by Client or others on extensions of the Project, on any other project, or for any other use or purpose, without written verification or adaptation by Professional;

2. Any such use or reuse, or any modification of the documents, without written verification, completion, or adaptation by Professional, as appropriate for the specific purpose intended, will be at Client's sole risk and without liability or legal exposure to Professional or to its officers, directors, members, partners, agents, employees, and consultants;
3. Client shall indemnify and hold harmless Professional and its officers, directors, members, partners, agents, employees, and consultants from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from any use, reuse, or modification of the documents without written verification, completion, or adaptation by Professional; and
4. Such limited license to Client shall not create any rights in third parties.

E. Liability

To the fullest extent permitted by Laws and Regulations, and notwithstanding any other provision of this Agreement, the total liability, in the aggregate, of Professional and Professional's officers, directors, employees, and Consultants, to Client and anyone claiming by, through, or under Client for any and all injuries, claims, losses, expenses, costs, or damages whatsoever arising out of, resulting from, or in any way related to the Project, Professional's or its Consultants services or this Agreement from any cause or causes whatsoever, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract, indemnity obligations, or warranty express or implied of Professional or Professional's officers, directors, employees, or Consultants shall not exceed the total amount of \$100,000 or the total compensation received by Professional under this Agreement, whichever is less.

F. Indemnification

To the fullest extent permitted by Laws and Regulations, Client shall indemnify and hold harmless Professional and Professional's officers, directors, employees, and Consultants from and against any and all claims, costs, losses and damages (including but not limited to all fees and charges of Professionals, architects, attorneys, and other professionals, and all court, arbitration, or other dispute resolution costs) arising out of or relating to the Project, provided that any such claim, cost, loss, or damage is attributable to bodily injury, sickness, disease, or death or to injury to or destruction of tangible property (other than the Work itself), including the loss of use resulting therefrom, but only to the extent caused by any negligent act or omission of the Client or Client's officers, directors, members, partners, agents, employees, consultants, or others retained by or under contract to the Client with respect to this Agreement or to the Project.

G. Dispute Resolution

Client and Professional agree to negotiate each dispute between them in good faith during the 30 days after written notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law. The venue for all disputes shall be the state of Wisconsin. Attorney fees will be borne by the non-prevailing party.

H. Governing Law

This Agreement is to be governed by the law of the state of Wisconsin.

6.01 *Agreement*

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Client and Professional and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument. Nothing in this Agreement between Professional and Client shall create a contractual relationship between either Professional and Client and an outside third party.

7.01 *Lien Notice*

- A. As required by the Wisconsin construction lien law, Professional hereby notifies Client that persons or companies performing, furnishing, or procuring labor, services, materials, plans, or specifications for the construction on Client's land may have lien rights on Client's land and buildings if not paid. Those entitled to lien rights, in addition to the undersigned Professional, are those who contract directly with the Client or those who give the Client notice within 60 days after they first perform, furnish, or procure labor, services, materials, plans or specifications for the construction. Accordingly, Client probably will receive notices from those who perform, furnish, or procure labor, services, materials, plans, or specifications for the construction, and should give a copy of each notice received to the mortgage lender, if any. Professional agrees to cooperate with the Client and the Client's lender, if any, to see that all potential lien Professionals are duly paid.



IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1.

Project Name: Traffic Signal & Roadway Design Services: W. Burnham Street intersection with S. 53rd Street - West Allis, Wisconsin

Client: City of West Allis

Professional: R.A. Smith, Inc.

By: _____

By: _____

Print name: Traci Gengler, P.E.

Print name: John Bruggeman, P.E., PTOE

Title: _____

Title: Senior Traffic Project Manager

Date Signed: _____

Date Signed: _____

Address for Client's receipt of notices:

Address for Professional's receipt of notices:

City of West Allis

R.A. Smith, Inc.

7525 W. Greenfield Avenue

16745 West Bluemound Road

West Allis, WI 53214

Brookfield, WI 53005

Client's Phone: _____

Professional's Phone: (262) 317-3353

Client's Email: _____

Professional's Email: john.bruggeman@rasmith.com

**CITY OF WEST ALLIS
RESOLUTION R-2025-0075**

**RESOLUTION TO APPROVE BID OF MUSSON BROS., INC. SANITARY SEWER
CONNECTION LINERS IN VARIOUS LOCATIONS WITHIN THE CITY OF WEST
ALLIS IN THE AMOUNT OF \$344,000**

WHEREAS, The Board of Public Works reports that it duly advertised for bids for the furnishing of certain materials and the performance of all work required for the improvements in a certain area as hereinafter described; that the bids received as shown on the attached bid report were reasonable and hereby recommends and deems it to be for the best interests of the City of West Allis that the bid of Musson Bros., Inc. for 2024 Project No. 11 be accepted.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis that the bid of Musson Bros., Inc. for 2024 Project No. 11 for the installation of connection liners in the sanitary sewer system at:

Various Locations within the City of West Allis

(PLAN FILE NOS. X-944)

for the sum of Three Hundred, Forty-four Thousand and 00/100 dollars (\$344,000) be accepted, and the proper City officers are hereby authorized and directed to enter into contractual relations with said contractor for the performance of said work, in accordance with the prices submitted in their proposal and with the specifications of the City of West Allis, and that all other bids received for same be rejected; and,

BE IT FURTHER RESOLVED That said improvements be installed with funding by Sanitary Sewer Funds.

SECTION 1: **ADOPTION** “R-2025-0075” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0075(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0076**

**RESOLUTION TO APPROVE BID OF VISU-SEWER, LLC SANITARY SEWER
LINING IN VARIOUS LOCATIONS WITHIN THE CITY OF WEST ALLIS IN THE
AMOUNT OF \$162,032**

WHEREAS, The Board of Public Works reports that it duly advertised for bids for the furnishing of certain materials and the performance of all work required for the improvements in a certain area as hereinafter described; that the bids received as shown on the attached bid report were reasonable and hereby recommends and deems it to be for the best interests of the City of West Allis that the bid of Visu-Sewer, LLC for 2024 Project No. 12 be accepted.

NOW THEREFORE, BE IT RESOLVED By the Common Council of the City of West Allis that the bid of Visu-Sewer, LLC for 2024 Project No. 12 for the installation of connection liners in the sanitary sewer system at:

Various Locations within the City of West Allis

(PLAN FILE NOS. X-945)

for the sum of One Hundred, Sixty-two Thousand, Thirty-two and 00/100 dollars (\$162,032) be accepted, and the proper City officers are hereby authorized and directed to enter into contractual relations with said contractor for the performance of said work, in accordance with the prices submitted in their proposal and with the specifications of the City of West Allis, and that all other bids received for same be rejected; and,

BE IT FURTHER RESOLVED That said improvements be installed with funding by Sanitary Sewer Funds.

SECTION 1: **ADOPTION** “R-2025-0076” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

A D O P T I O N

R-2025-0076(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0082**

**RESOLUTION TO RESCIND REAL PROPERTY TAX FOR 6901 W. BELOIT RD.
(TAX KEY NO. 489-0037-000)**

WHEREAS, the City West Allis City Assessor has determined that the following error has occurred on the 2023 assessment roll:

Tax Key No. 489-0037-000 located at 6901 W. Beloit Rd. was discovered to be exempt in the taxation district in accordance with Wisconsin Statute Section 74.33(1) (c).

WHEREAS, based upon the City Assessor's reconsideration of these matters, in accordance with the assessment methods which conform to statutory requirements, and which are outlined in the Wisconsin Property Assessment Manual, the City Assessor has concluded that the assessed value of the subject property on January 1, 2023, should be corrected as follows:

Tax Key No. 489-0037-000, the assessment roll for January 1, 2023, shows an erroneous value of \$93,600. The assessment roll should reflect a Total Assessed Value of \$0.

WHEREAS, the Common Council, the governing body of the taxation district, finds that the assessment of the real property for the year 2023 included property exempt by law in the taxation district, and therefore the City Council should rescind the part of the general property tax which was assessed in error in accordance with Wisconsin Statutes Section 74.33(l)(c) and(d); and

WHEREAS, the Common Council hereby intends to cancel the tax on the difference between the erroneous total values and the correct total values of these accounts, so that if the property owner has already paid the tax based upon the erroneous value, the difference should be refunded the taxpayer, and if the taxpayer has not yet paid the tax a corrected tax bill should be sent to the property owner.

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of West Allis, Milwaukee County, Wisconsin, that the following property taxes for the 2023 tax year are hereby rescinded:

Tax Key No. 489-0037-000 \$2,591.76

SECTION 1: **ADOPTION** “R-2025-0082” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

A D O P T I O N

R-2025-0082(Added)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0084**

**RESOLUTION TO ADD A SENIOR ACCOUNTANT POSITION TO THE FINANCE
DEPARTMENT**

WHEREAS, over the past few years, the Finance Department has undergone significant process and efficiency improvements; and,

WHEREAS, despite the improvements, staffing levels in the Department have been insufficient to maintain proper levels of service; and,

WHEREAS, insufficient coverage exists during periods of turnover, most recently highlighted by the extreme pressure created by turnover in payroll, a critical City function; and,

WHEREAS, Finance leadership have found it difficult to take time off and have maintained a level of hours leading to burn-out, with the deputy director having averaged the most worked hours of any non-director exempt employee over the past four years; and,

WHEREAS, one of the City’s strategic goals is “Finance”, to have a City government that is fiscally responsible and aligns organizational resources with the needs of the community; and,

WHEREAS, adding an additional Senior Accountant to the Finance Department will help the City’s efforts to achieve that goal, as well as address the issues noted above; and,

WHEREAS, funding in 2025 for the additional position is available through delayed implementation of a new payroll system.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of West Allis, that the Finance Director is authorized to add one additional Senior Accountant position to the 2025 Finance Department org-chart.

BE IT FURTHER RESOLVED that the Finance Director is authorized to reclassify 2025 Finance Department budget funds from the Computer Software account to cover this expense.

SECTION 1: **ADOPTION** “R-2025-0084” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

A D O P T I O N

R-2025-0084(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0085**

**RESOLUTION TO ACCEPT THE PROPOSALS OF HEIN ELECTRIC AND
GRAYBAR ELECTRIC, FOR FURNISHING AND DELIVERING FUSES, FUSE
HOLDERS, CONNECTORS, WIRE, CABLE, AND LUMINAIRES FOR A TOTAL
SUM OF \$135,125.86**

WHEREAS, the Inventory Division reported that it has received proposals through a competitive bid process for furnishing and delivering electrical supplies for the Street Light Conversion Project, for the Department of Public Works of the City of West Allis, and that the proposal was reasonable; and,

WHEREAS, the Common Council deems it to be in the best interest of the City of West Allis that the proposal submitted by Hein Electric for furnishing fuses, fuse holders and multi-tap connectors, shorting caps, 30,000 ft of HDPE Conduit, and 20,000 feet of underground power cable for a total of \$60,088.86, and Graybar Electric for furnishing 9,000 ft of THHN wire, 410 luminaires, and 21 LED Lamps, for \$75,037 be accepted.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of West Allis that the proposals submitted by Hein Electric and Graybar Electric, budgeted for 2025 Project # M2320M, Street Light Conversion Project with funding provided by Account Number: 354-6051-517.31-02, Capital Projects Fund, Project Activities, Other, be and is hereby accepted.

BE IT FURTHER RESOLVED that the Inventory Department be and is hereby authorized to enter into contracts for the aforementioned material.

SECTION 1: **ADOPTION** “R-2025-0085” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0085(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

Item #	Item Name	WA Part #	QTY	U/M	Graybar Unit Price	Graybar Manufacturer	Graybar Part Number	Hein Unit Price	Hein Manufacturer	Hein Part Number	Neher Unit Price	Neher Manufacturer	Neher Part Number	Graybar Total Price	Hein Total Price
#0-1	Burial Cable XHHW-2	280-080-12002	20,000	FT	NO BID			1.8	ENCORE	8/2 #10 GG XHHW-2 TRAY CABLE	1.85	BASIC WIRE & CAB	6-2602-G		\$36,000.00
#0-2	LED Street / Area Lum	285-050-00065	370	Each	175.7	Cree- this is their ne	GWYS-A-8L-30K7-3M-UL-GY-W10	177.4	CREE	GWYS-A-8L-30K7-3M-UL-GY-W10	178	CREE	GWYS-A-8L-30K7-3M-UL-GY-W10	\$65,009.00	
#0-3	LED Street / Area Lum	285-050-00066	40	Each	175.7	Cree- this is their ne	GWYS-A-8L-30K7-3M-UL-BZ-W10	177.4	CREE	GWYS-A-8L-30K7-3M-UL-BZ-W10	178	CREE	GWYS-A-8L-30K7-3M-UL-BZ-W10	\$7,028.00	
#0-4	Twist Lock Shorting	285-050-00011	386	Each	5.07	Intermatic- sold per	SK4500KJ (50 PACK) 8 PACK OF 50 \$1960	3.75	INTERMATIC	SK4500KJ	3.95	INTERMATIC	SK4500KJ		\$1,447.50
#0-5	Multi-tap Connector	285-010-00002	24	Each	10.53	ILSCO	PBTS-2-4	9.89	ILSCO	PBTS-2-4	NO BID				\$237.36
#0-6	Multi-tap Connector	285-010-45004	300	Each	15.26	ILSCO	PBTS-3-4	14.65	ILSCO	PBTS-3-4	NO BID				\$4,395.00
#0-7	Multi-tap Connector	285-010-00003	60	Each	19.32	ILSCO	PBTS-4-4	18.65	ILSCO	PBTS-4-4	NO BID				\$1,119.00
#0-8	Fuse, 5 Amp, 500V, f	285-034-22020	420	Each	3.5	LITTEL FUSE	OFLQ005.T	3.25	LITTLEFUSE	FLQ005	5.1	BUSS	FNQ-5		\$1,365.00
#0-9	HEB In-Line Fuse Hol	285-034-22019	300	Each	8.09	LITTEL FUSE	OLEB00AAXK	6.75	LITTLEFUSE	OLEB00AAXK	9.75	BUSS	HEB-AA		\$2,025.00
#0-10	Wire, THHN #10 Stra	280-024-54029	4500	Feet	0.24	generic wire	THHN-10-STR-RED-500S (GBID 88284528)	0.25	ENCORE	THHN-10-STR-RED	NO BID			\$1,080.00	
#0-11	Wire, THHN #10 Stra	280-024-54028	4500	Feet	0.24	generic wire	THHN-10-STR-BLK-500S	0.25	ENCORE	THHN-10-STR-BLACK	NO BID			\$1,080.00	
#0-12	Conduit, HDPE 2" SC	285-019-00019	20000	Feet	0.45	Duraline	HDP200RSCH40RIBLKBKLNPP12DSSRS90M02500	0.45	DURA-LINE	2044592110	NO BID				\$9,000.00
#0-13	Conduit, HDPE 2" SC	TBD	10000	Feet	0.45	Duraline	HDP200RSCH40RIORGORGNNPP12DSSRS90M02500	0.45	DURA-LINE	2044592120	NO BID				\$4,500.00
#0-14	LED Lamp, 50 Watt,	TBD	21	Each	40	Satco	S49673	69.15	GE	#22679 LED50ED23.5/740	67	GE	#22679	\$840.00	
														\$75,037.00	\$60,088.86

**CITY OF WEST ALLIS
RESOLUTION R-2025-0086**

**RESOLUTION TO AUTHORIZE THE PURCHASE OF PORTABLE COLUMN
LIFTS FOR THE SHOP IN THE NEW PUBLIC WORKS FACILITY FROM
ROTARY LIFT FOR \$382,141.02**

WHEREAS, portable column lifts are needed for the new Public Works facility and the purchase was included in the original approval of the facility costs; and,

WHEREAS, a proposal through the GSA cooperative contract #GS07F294AA has been received from Rotary Lift; and,

WHEREAS, the Common Council deems it to be in the best interests of the City of West Allis that the quote of Rotary Lift be accepted.

NOW THEREFORE, BE IT RESOLVED by the Mayor and Common Council of the City of West Allis that the quote submitted Rotary Lift to furnish and install portable column lifts at a total cost of \$382,141.02, as outlined in their quote dated Nov. 4, 2024. Funding for this purchase is available and will be charged to account number 354-6052-533.31-01, project NEWDPW.

BE IT FURTHER RESOLVED that the Finance Department be and is hereby authorized to enter into a contract for the aforesaid equipment.

SECTION 1: **ADOPTION** “R-2025-0086” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0086(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

Rotary Lift GSA Quotation

Quote # : 2024670

Date: 11/4/2024

Requested By: _____

Quote Expires: 3/4/2025

Payment Terms: NET 60

Warranty: 1yr. Parts & Labor

Prepared By: Tammy Boldery

***If completion of installation is delayed more than one month due to governmental entity delays (i.e. electrical, etc.), Rotary can request partial payment for work completed. (both equipment and installation).**



Note: Quote for Equipment & Installation

Project Name: City of West Allis, WI

Model No.	Description	Unit Price Ea.	Qty.	Extended Price
MCHM419	Portable Column Lift set of 4 75,200 lb Total Capacity	\$ 44,262.90	8	\$ 354,103.20
MCHM219	Portable Column Lift set of 2 37,000 lb Total Capacity	\$ 22,781.91	1	\$ 22,781.91
FD2448KITYL	Extra Wide Ramp Style Cross Beam With (2) Ramps for WingPlows	\$ 3,605.91	1	\$ 3,605.91
XXX01CTT	Installation	\$ 1,650.00	1	\$ 1,650.00
Freight	Prepaid by Rotary			
	**Does not include any applicable fees or taxes			

Total Quote \$ 382,141.02

ADDITIONAL TERMS AND CONDITIONS: By submitting a purchase order to Vehicle Service Group, LLC. (VSG), customer accepts and agrees to these terms and conditions as additional terms to the existing agreement between the parties referenced on the face of this quotation (Existing Agreement), notwithstanding anything to the contrary contained therein. All additional or different terms and conditions contained in Customer's purchase order are hereby rejected. No additional or different terms or conditions, or any modifications, changes, or amendments to these terms of the existing agreement shall be binding on VSG, unless expressly accepted by VSG in writing.

DISCLAIMER: Notwithstanding anything to the contrary in the Existing Agreement, VSG shall not be liable for any loss, damage or additional costs arising from unforeseen conditions affecting installation, including but not limited to contaminated soil, bed rock, in-floor heating system, high water conditions, or any othertype of in-ground conditions. Customer acknowledges and agrees that Customer shall be responsible for any additional costs due to such conditions, in addition to the installation price set forth herein.

DELAY: Notwithstanding anything to the contrary in the Existing Agreement, if delivery of the equipment or completion of the work is delayed by more than thirty (30) days due to the acts or omission of Customer or any third party other than VSG or its sub-contractors, VSG may require Customer to render payment for equipment manufactured or delivered, and portions of the work completed, within thirty (30) days from the date of VSG's invoice, in the amounts set forth in such invoice.

*Cancelled orders or returned goods are subject to 20% restocking fee

GSA Contract #	GS07F294AA	Rotary Lift
CAGE #:	7K311	2700 Lanier Dr.
Tax ID #:	90-0501347	Madison, IN 47250
DUNS #:	00-638-2634	Tammy Boldery, Government Sales Leader
		800-445-5438 x 5655
		tboldery@rotarylif.com



MUNICIPAL COURT MONTHLY FINANCIAL REPORT

County Name Milwaukee		County Code Number 40		Report for Month/Year <i>December, 2024</i>	
Municipal Name West Allis Municipal Court		Municipal Code Number 292		Telephone Number 414-302-8181	
I. MUNICIPAL COURT OFFICIAL		Total Amount Collected	Share to be retained by Municipality	Share to be sent to County	Share to be sent to State
1. Forfeitures for Municipal Ordinance Violations (Except for Municipal Ordinances in Conformity with Ch 348, Stats.)		\$ 37,661.83	\$ 37,661.83		
Adjustment (if applicable)		\$.00	\$.00		
2. Municipal Court Costs (Chapter 814, Subchapter II, s. 814.65, Stats.)		\$ 12,293.46	\$ 10,663.49		\$ 1,629.97
Adjustment (if applicable)		\$.00	\$.00		\$.00
3. Penalty Surcharges (s. 757.05, Stats.)		\$ 8,664.22			\$ 8,664.22
Adjustment (if applicable)		\$.00			\$.00
4. County Jail Surcharges (s. 302.46(1)(a), Stats.)		\$ 3,231.75		\$ 3,231.75	
Adjustment (if applicable)		\$.00		\$.00	
5. Driver Improvement Surcharges (s. 346.655, Stats.)		\$ 9,445.00		\$ 3,927.62	\$ 5,517.38
Adjustment (if applicable)		\$.00		\$.00	\$.00
6. Crime Lab and Drug Enforcement Surcharges (s. 165.755(4), Stats.)		\$ 4,179.25			\$ 4,179.25
Adjustment (if applicable)		\$.00			\$.00
7. Domestic Abuse Surcharges (s. 973.055(2)(b), Stats.)		\$.00			\$.00
Adjustment (if applicable)		\$.00			\$.00
8. Truck Weight Restrictions (Municipal Ordinances in Conformity with Ch. 348, Stats., s. 66.12(3)(c))		\$.00	\$.00		\$.00
Adjustment (if applicable)		\$.00	\$.00		\$.00
9. Ignition Interlock Device Surcharge (s. 343.301(5), Stats.)		\$ 762.35		\$ 762.35	
Adjustment (if applicable)		\$.00		\$.00	
10. GPS Tracking Surcharge (for violations of ordinances conforming to s. 813.12 or s.813.125, Stats.)		\$.00			\$.00
Adjustment (if applicable)		\$.00			\$.00
11. Safe Ride Program (s. 85.55, Stats.)		\$ 1,025.00			\$ 1,025.00
Adjustment (if applicable)		\$.00			\$.00
12. Totals		\$ 77,262.86	\$ 48,325.32	\$ 7,921.72	Pay This Amount \$ 21,015.82

Continue onto the next page.



MUNICIPAL COURT MONTHLY FINANCIAL REPORT

II. CERTIFICATION OF MUNICIPAL COURT OFFICIAL

I hereby certify that this report reflects all actions requiring forfeitures, court costs and surcharges collected during the month designated.

Name: Paul M. Murphy Signature: Paul M. Murphy Date: 1-6-25

III. TREASURER'S CERTIFICATION

I hereby certify that the above amount due the state has been received. After so certifying, a copy of this report will be returned to the signer of this report as a receipt, and the stated amount will be remitted to the Department of Administration with this report.

Treasurer: Corinne Zurad Date: 1-7-2025

In the event the Department of Administration has questions about this report and payment, who should we contact?

Name:	Telephone Number	Email Address
<u>Ann Drosen</u>	<u>414-302-8181</u>	<u>adrosen@westalliswi.gov</u>

STATE OF WISCONSIN CIRCUIT COURT MILWAUKEE

Servbank, SB vs. Litisha M. Smith et al

**Electronic Filing
Notice**

Case No. 2025CV000617
Class Code: Foreclosure of Mortgage

FILED
01-21-2025
Anna Maria Hodges
Clerk of Circuit Court
2025CV000617
Honorable William
Sosnay-08
Branch 08

COMMUNITY DEVELOPMENT AUTHORITY OF THE CITY OF WES...
7525 W GREENFIELD AVE
MILWAUKEE WI 53214-4648

Case number 2025CV000617 was electronically filed with/converted by the Milwaukee County Circuit Court office. The electronic filing system is designed to allow for fast, reliable exchange of documents in court cases.

Parties who register as electronic parties can file, receive and view documents online through the court electronic filing website. A document filed electronically has the same legal effect as a document filed by traditional means. Electronic parties are responsible for serving non-electronic parties by traditional means.

You may also register as an electronic party by following the instructions found at <http://efiling.wicourts.gov/> and may withdraw as an electronic party at any time. There is a fee to register as an electronic party. This fee may be waived if you file a Petition for Waiver of Fees and Costs Affidavit of Indigency (CV-410A) and the court finds you are indigent under §814.29, Wisconsin Statutes.

If you are not represented by an attorney and would like to register an electronic party, you will need to enter the following code on the eFiling website while opting in as an electronic party.

Pro Se opt-in code: 3fe64b

Unless you register as an electronic party, you will be served with traditional paper documents by other parties and by the court. You must file and serve traditional paper documents.

Registration is available to attorneys, self-represented individuals, and filing agents who are authorized under Wis. Stat. 799.06(2). A user must register as an individual, not as a law firm, agency, corporation, or other group. Non-attorney individuals representing the interests of a business, such as garnishees, must file by traditional means or through an attorney or filing agent. More information about who may participate in electronic filing is found on the court website.

If you have questions regarding this notice, please contact the Clerk of Circuit Court at 414-278-4140.

Milwaukee County Circuit Court
Date: January 21, 2025

CITY OF WEST ALLIS
24 JAN '25 PM 1:35

1/24/25 1:28 T-S [Signature] PPS

FILED
01-21-2025
Anna Maria Hodges
Clerk of Circuit Court
2025CV000617
Honorable William
Sosnay-08
Branch 08

STATE OF WISCONSIN

CIRCUIT COURT

MILWAUKEE COUNTY

Servbank, SB
3138 E Elwood St
Phoenix, AZ 85034

SUMMONS

Plaintiff,

vs.

Case Code 30404
(Foreclosure of Mortgage)
The amount claimed exceeds \$10,000.00

Litisha M. Smith
5642 N 74th St
Milwaukee, WI 53218-2246

John Doe Smith
5642 N 74th St
Milwaukee, WI 53218-2246

DJuan Oquinn Staten
2940 N Dr William Finlayson St Unit A
Milwaukee, WI 53212-2330

The City of West Allis, Dept of Development,
Housing Division
7525 W Greenfield Ave
Milwaukee, WI 53214-4648

The United States of America
c/o US Attorney
517 East Wisconsin Avenue
Milwaukee, WI 53202
&
c/o US Attorney General
950 Pennsylvania Ave NW, Rm B-103
Washington, DC 20530-0001

The Community Development Authority of the
City of West Allis
7525 W Greenfield Ave
Milwaukee, WI 53214-4648

MV Realty of Wisconsin, LLC
c/o CT Corporation System, Registered Agent
301 S Bedford St Ste 1
Madison, WI 53703-3691

State of Wisconsin
State of Wisconsin c/o Attorney General
114 East State Capitol
Madison, WI 53703

Metro Capital Funding LLC
c/o Scott Lurie, Registered Agent
5601 W North Ave Ste 110
Milwaukee, WI 53208-1052

Defendants.

THE STATE OF WISCONSIN

To each person named above as a defendant:

You are hereby notified that the plaintiff named above has filed a lawsuit or other legal action against you. The complaint, which is attached, states the nature and basis of the legal action.

Within 20 days of receiving this summons (60 days if you are the United States of America, 45 days if you are the State of Wisconsin or an insurance company), you must respond with a written answer, as that term is used in Chapter 802 of the Wisconsin Statutes, to the complaint. The court may reject or disregard an answer that does not follow the requirements of the statutes. The answer must be sent or delivered to the court, whose address is set forth below, and to the plaintiff's attorney, at the address set forth below. You may have an attorney help or represent you.

If you do not provide a proper answer within 20 days (60 days if you are the United States of America, 45 days if you are the State of Wisconsin or an insurance company), the court may grant judgment against you for the award of money or other legal action requested in the complaint, and you may lose your right to object to anything that is or may be incorrect in the complaint. A judgment may be enforced as provided by law. A judgment awarding money may become a lien against any real estate

you own now or in the future, and may also be enforced by garnishment or seizure of property.

Dated this 21st day of January, 2025.

Gray & Associates, L.L.P.
Attorneys for Plaintiff

By: 

Ian J. Thomson
State Bar No. 1076280

16345 West Glendale Drive
New Berlin, WI 53151-2841
(414) 224-1987
086698F04

Address of Court:
Milwaukee County Courthouse
901 N. Ninth Street
Milwaukee, WI 53233-1425

Gray & Associates, L.L.P. is attempting to collect a debt and any information obtained will be used for that purpose. If you have previously received a discharge in a chapter 7 bankruptcy case, this communication should not be construed as an attempt to hold you personally liable for the debt.

1-27-25
12:40 pm
Carl Marsh

Robert M. Romashko
Partner

1801 Pennsylvania Avenue, NW, Suite 1000
Washington, DC 20006
Direct: 202.378.2310
Fax: 202.378.2319
Robert.Romashko@huschblackwell.com

January 24, 2025

VIA PERSONAL SERVICE

City of West Allis Clerk
7525 W. Greenfield Avenue
West Allis, WI 53214

Re: Refund Claim for 2024 Unlawful Tax
Landmark Harmony Housing LLC
1441 S. 68th Street, Parcel No. 453-0002-001 (“Property 1”)
69 Orchard Street, Parcel No. 453-0001-009 (“Property 2”)

Dear Clerk:

On behalf of Landmark Harmony Housing LLC (“Landmark”), and pursuant to Wis. Stat. § 74.35(2), we file this refund claim (“Claim”) for unlawful tax against the City of West Allis (the “City”) to recover that amount of the general property tax imposed on the above-referenced parcels of real property (“Properties”) because the City’s January 1, 2024 assessments (the “2024 Assessments”) were unlawful.

In support of this claim, the Properties were exempt from taxation on January 1, 2024 under Wis. Stat. §§ 70.11(4a) and (4d), and their assessment as taxable property was non-uniform with the exemptions granted other properties in the same classification. Further grounds are set forth in the pleadings and papers filed and exchanged in Milwaukee County Case No. 24-CV-6049. All such materials are available with the City Assessor’s office and through consultation with the City’s counsel, Rebecca Monti and Nicholas Cerwin.

The City’s 2024 Assessment of Property 1 included \$13,442,300 of exempt property. Accordingly, with respect to Property 1, Landmark’s Claim is in the amount of not less than \$274,378.54, plus any interest as provided by law. The City’s 2024 Assessment of Property 2 included \$150,600 of exempt property. Accordingly, with respect to Property 2, Landmark’s Claim is in the amount of not less than \$3,069.06, plus any interest as provided by law.

Landmark has complied with the procedures for objecting to the 2024 Assessments under Wis. Stat. § 74.35. Landmark has not contested the 2024 Assessments of the Properties under Wis. Stat. §§ 74.33 or 806.04.

Despite the unlawful assessments of the Properties, Landmark has paid the full amount of \$274,378.54 alleged to be due for Property 1 posted on January 23, 2025 prior to the filing of this

HUSCH BLACKWELL

City of West Allis Clerk
January 24, 2025
Page 2

Claim. (See Exhibit A, attached.) Landmark has also paid the full amount of \$3,069.06 alleged to be due for Property 2 posted on January 23, 2025 prior to the filing of this Claim. (See Exhibit B, attached.)

By this letter, Landmark has stated a valid claim to recover taxes paid with respect to the unlawful taxes on the Properties for the 2024 tax year. Landmark respectfully requests that the City act on this Claim within 90 days from the date of service thereof.

Please contact the undersigned with any questions regarding this matter.

Best regards,



Robert M. Romashko

Attachments

2024 Real Estate Tax Summary

01/24/2025 12:33 PM

Page 1 Of 3

Parcel #: 4530002001
Alt. Parcel #:

292 - CITY OF WEST ALLIS
 MILWAUKEE COUNTY, WISCONSIN

Tax Address:
 LANDMARK HARMONY HOUSING, LLC
 152 W 57TH ST 60TH FLOOR
 NEW YORK NY 10019

Owner(s): O = Current Owner, C = Current Co-Owner
 O - LANDMARK HARMONY HOUSING, LLC

Districts: SC = School, SP = Special

Type	Dist #	Description
SC	6300	WEST ALLIS/W MIL SCH DIST
SP	5020	MMSD

Property Address(es): * = Primary

* 1441 S 68 ST
 1441 S 68 ST UNIT 100
 1441 S 68 ST UNIT 102
 1441 S 68 ST UNIT 104
 1441 S 68 ST UNIT 105
 1441 S 68 ST UNIT 106

more...

Abbreviated Description: **Acres:** 3.212
 (See recorded documents for a complete legal description.)
 CERTIFIED SURVEY MAP NO 6230 PARCEL 1
 EXC PART FOR STR (3.209 AC) NW 1/4 SEC
 3-6-21

Parcel History:

Date	Doc #	Vol/Page	Type
------	-------	----------	------

Plat: * = Primary
 * N/A-NOT AVAILABLE

Tract: (S-T-R 40% 160% GL) **Block/Condo Bldg:**
 03-06N-21E

Tax Bill #:	6825	Net Mill Rate	0.020378856	Installments	
		Gross Tax	293,258.83	End Date	Total
		School Credit	19,320.13	1	01/31/2025
Land Value	833,700	Total	273,938.70	2	03/31/2025
Improve Value	12,608,600	First Dollar Credit	60.16	3	05/31/2025
Total Value	13,442,300	Lottery Credit	0.00		
Ratio	0.8759	Net Tax	273,878.54		
Fair Mrkt Value	15,346,800				

	Amt Due	Amt Paid	Balance
Net Tax	273,878.54	273,878.54	0.00
Special Assmnt	0.00	0.00	0.00
Special Chrg	500.00	500.00	0.00
Delinquent Chrg	0.00	0.00	0.00
Private Forest	0.00	0.00	0.00
Woodland Tax	0.00	0.00	0.00
Managed Forest	0.00	0.00	0.00
Prop. Tax Interest		0.00	0.00
Spec. Tax Interest		0.00	0.00
Prop. Tax Penalty		0.00	0.00
Spec. Tax Penalty		0.00	0.00
Other Charges	0.00	0.00	0.00
TOTAL	274,378.54	274,378.54	0.00

Payment History: (Posted Payments)

Date	Receipt #	Type	Amount
01/23/2025	46554	T	274,378.54

Key: Payment Type: A-Adjustment, B-Write Off Bankrupt, D-Write Off Deeded, Q-Quit Claim, R-Redemption, T-Tax

2024 Real Estate Tax Summary

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Page 2 Of 3

Parcel #: 4530002001
Alt. Parcel #:

292 - CITY OF WEST ALLIS
MILWAUKEE COUNTY, WISCONSIN

Property Addresses: cont.

1441 S 68 ST UNIT 107
1441 S 68 ST UNIT 108
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1441 S 68 ST UNIT 314
1441 S 68 ST UNIT 315
1441 S 68 ST UNIT 316

2024 Real Estate Tax Summary

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Parcel #: 4530002001
Alt. Parcel #:

292 - CITY OF WEST ALLIS
MILWAUKEE COUNTY, WISCONSIN

Property Addresses: cont.

1441 S 68 ST UNIT 317
1441 S 68 ST UNIT 318
1441 S 68 ST UNIT 319
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1441 S 68 ST UNIT 400
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1441 S 68 ST UNIT 447
1441 S 68 ST UNIT 448
1441 S 68 ST UNIT 449

2024 Real Estate Tax Summary

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Parcel #: 4530001009
Alt. Parcel #:

292 - CITY OF WEST ALLIS
 MILWAUKEE COUNTY, WISCONSIN

Tax Address:
 LANDMARK HARMONY HOUSING, LLC
 152 W 57TH ST 60TH FLOOR
 NEW YORK NY 10019

Owner(s): O = Current Owner, C = Current Co-Owner
 O - LANDMARK HARMONY HOUSING, LLC

Districts: SC = School, SP = Special
Type Dist # Description
 SC 6300 WEST ALLIS/W MIL SCH DIST
 SP 5020 MMSD

Property Address(es): * = Primary
 * 69 ORCHARD ST

Abbreviated Description: **Acres:** 0.471
 (See recorded documents for a complete legal description.)
 CERTIFIED SURVEY MAP NO 6231 PARCEL 1
 (0.4710 AC) NW 1/4 SEC 3-6-21

Parcel History:
Date Doc # Vol/Page Type

Plat: * = Primary
 * N/A-NOT AVAILABLE

Tract: (S-T-R 40¼ 160¼ GL) **Block/Condo Bldg:**
 03-06N-21E

Tax Bill #: 6824		Net Mill Rate 0.020378856	Installments		
Land Value	150,600	Gross Tax	3,285.51	End Date	Total
Improve Value	0	School Credit	216.45	1 01/31/2025	1,043.50
Total Value	150,600	Total	3,069.06	2 03/31/2025	1,012.78
Ratio	0.8759	First Dollar Credit	0.00	3 05/31/2025	1,012.78
Fair Mrkt Value	171,900	Lottery Credit 0 Claims	0.00		
		Net Tax	3,069.06		

	Amt Due	Amt Paid	Balance
Net Tax	3,069.06	3,069.06	0.00
Special Assmnt	0.00	0.00	0.00
Special Chrg	0.00	0.00	0.00
Delinquent Chrg	0.00	0.00	0.00
Private Forest	0.00	0.00	0.00
Woodland Tax	0.00	0.00	0.00
Managed Forest	0.00	0.00	0.00
Prop. Tax Interest		0.00	0.00
Spec. Tax Interest		0.00	0.00
Prop. Tax Penalty		0.00	0.00
Spec. Tax Penalty		0.00	0.00
Other Charges	0.00	0.00	0.00
TOTAL	3,069.06	3,069.06	0.00

Payment History: (Posted Payments)

Date	Receipt #	Type	Amount
01/23/2025	46553	T	3,069.06

Key: Payment Type: A-Adjustment, B-Write Off Bankrupt, D-Write Off Deeded, Q-Quit Claim, R-Redemption, T-Tax

FAX

To: City of West Aliss
Company:
Fax: 4143028444
Phone:

From:
Fax:
Phone: 337.460.xxxx
E-mail: kewing@amerisafe.com

NOTES:

Date and time of transmission: Thursday, February 06, 2025 12:00:30 PM
Number of pages including this cover sheet: 02

**AMERISAFE RISK SERVICES, INC. – CLAIMS DIVISION**

2/5/2025

City of West Allis
7525 W Greenfield Ave
West Allis, WI 53214

RE: Your Claim #:
AIRC Claim#: 202571005
Employee: Rolando Coria
Date of Injury: 01/22/2025

To whom it may concern:

Amerisafe Risk Services is the worker's compensation insurance carrier for Unit Drop Forge Company, Inc. Unit Drop Forge Company has indicated to us that, on 01/22/2025, there was a pipe under S 62nd St south of W Burnham St that is or was leaking and caused excessive ice buildup on the street. On the afternoon of 01/22/2025, Rolando Coria was leaving his employment at Unit Drop Forge company and was crossing S 62nd St south of W Burnham St to reach his employers parking lot, when he slipped and fell on the ice.

Our investigation indicates that Mr. Coria suffered injuries as a result of the above captioned accident. Pursuant to Menick v. City of Menasha, 200 Wis. 2d 737, we believe that the City of West Allis is liable for Mr. Coria's damages related to this accident.

The purpose of this letter is to notify you of our subrogation lien and intent to subrogate costs incurred as a result of this injury. Please forward a letter to us within 30 days to acknowledge receipt of this lien.

If you have any questions, please feel free to contact me at my numbers listed below.

Sincerely,

Kana Ewing, CPCU, SCLA Gold
Field Case Manager
Phone: 337.460.2248
Fax: 337.460.3343
kewing@amerisafe.com

Monthly Listing of Claims Paid
January 2025

Payment Date: 01/02/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38273	A. GALENA, LLC	223-7602-563.43-03		HAPRENT-1-25	1,261.00
38273 - Summary					1,261.00
38274	ADSIT, CHRIS	223-7602-563.43-03		HAPRENT-1-25	3,043.00
38274 - Summary					3,043.00
38275	AMBROSELLI, DOMINIC	223-7602-563.43-03		HAPRENT-1-25	1,517.00
38275 - Summary					1,517.00
38276	AMU-PLUS, LLC	223-7602-563.43-03		HAPRENT-1-25	429.00
38276 - Summary					429.00
38277	ANDERSON, JEFFREY	223-7602-563.43-03		HAPRENT-1-25	1,195.00
38277 - Summary					1,195.00
38278	ANDERSON, JEFFREY	223-7602-563.43-03		HAPRENT-1-25	2,069.00
38278 - Summary					2,069.00
38279	AUTUMN GLEN LLC	223-7602-563.43-03		HAPRENT-1-25	1,032.00
38279 - Summary					1,032.00
38280	AVILA, JORGE	223-7602-563.43-03		HAPRENT-1-25	729.00
38280 - Summary					729.00
38281	BAKER, BRADLEY	223-7602-563.43-03		HAPRENT-1-25	1,356.00
38281 - Summary					1,356.00
38282	BARTSCH MANAGEMENT, LLC	223-7602-563.43-03		HAPRENT-1-25	1,631.00
	BARTSCH MANAGEMENT, LLC	226-7605-563.43-08		HAPRENT-1-25	850.00
38282 - Summary					2,481.00
38283	BAYER, WERNER	223-7602-563.43-03		HAPRENT-1-25	1,099.00
38283 - Summary					1,099.00
38284	BECHER PROPERTY LLC	223-7602-563.43-03		HAPRENT-1-25	711.00
38284 - Summary					711.00
38285	BELOIT ROAD SENIOR APARTMENTS LLC	223-7602-563.43-07		VACRENT-1-25	800.00
	BELOIT ROAD SENIOR APARTMENTS LLC	223-7602-563.43-07		HAPRENT-1-25	52,829.00
38285 - Summary					53,629.00
38286	BERRADA PROPERTIES MGT INC	226-7605-563.43-08		HAPRENT-1-25	675.00
38286 - Summary					675.00
38287	BIECK MANAGEMENT	226-7605-563.43-08		HAPRENT-1-25	1,100.00
38287 - Summary					1,100.00
38288	BIECK MANAGEMENT, INC.	223-7602-563.43-03		HAPRENT-1-25	624.00
38288 - Summary					624.00
38289	BILL HOAG PROPERTIES, LLC	223-7602-563.43-03		HAPRENT-1-25	513.00
38289 - Summary					513.00
38290	BLAKE-WEISE MGT DBA FRENCH QUARTER	223-7602-563.43-03		HAPRENT-1-25	1,421.00
	BLAKE-WEISE MGT DBA FRENCH QUARTER	226-7605-563.43-08		HAPRENT-1-25	781.00
38290 - Summary					2,202.00
38291	BRAMBILA, EXSIQUIA RUBIO	226-7605-563.43-08		HAPRENT-1-25	950.00
38291 - Summary					950.00
38292	BUCKHORN STATION ESSENTIAL HOUSING	226-7605-563.43-08		HAPRENT-1-25	292.00
38292 - Summary					292.00
38293	BURNHAM HILL APTS	226-7605-563.43-08		HAPRENT-1-25	2,960.00
38293 - Summary					2,960.00
38294	BURNHAM 2 LLC	226-7605-563.43-08		HAPRENT-1-25	502.00
38294 - Summary					502.00
38295	BUTTITTA, NICK	223-7602-563.43-03		HAPRENT-1-25	539.00
38295 - Summary					539.00
38296	CARRAN, CARL	223-7602-563.43-03		HAPRENT-1-25	1,710.00
38296 - Summary					1,710.00
38297	CATHERINE GALLAGHER,	223-7602-563.43-03		HAPRENT-1-25	850.00
38297 - Summary					850.00
38298	CHIARA COMMUNITIES, INC	223-7602-563.43-03		HAPRENT-1-25	1,576.00
	CHIARA COMMUNITIES, INC	226-7605-563.43-08		HAPRENT-1-25	2,078.00
38298 - Summary					3,654.00

Monthly Listing of Claims Paid
January 2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38299	CHIARA COMMUNITIES, INC	226-7605-563.43-08		HAPRENT-1-25	686.00
38299 - Summary					686.00
38300	CITY OF WEST ALLIS-FSS DEPOSITS	223-7602-563.43-09		FSSRENT-1-25	2,288.00
38300 - Summary					2,288.00
38301	CITYWIDE RENTALS &PROPERTY MGMT LLC	223-7602-563.43-03		HAPRENT-1-25	2,578.00
38301 - Summary					2,578.00
38302	CLARKE SQUARE TERRACE HOUSING LLC	226-7605-563.43-08		HAPRENT-1-25	136.00
38302 - Summary					136.00
38303	CLENDENNING PROPERTIES	226-7605-563.43-08		HAPRENT-1-25	67.00
38303 - Summary					67.00
38304	COBALT SUPREME - CP, LLC	223-7602-563.43-03		HAPRENT-1-25	208.00
38304 - Summary					208.00
38305	COBALT SUPREME-CP, LLC	223-7602-563.43-03		HAPRENT-1-25	445.00
38305 - Summary					445.00
38306	CORNERSTONE MANAGEMENT ASSOC	226-7605-563.43-08		HAPRENT-1-25	1,279.00
38306 - Summary					1,279.00
38307	DAVENPORT, DERRICK	226-7605-563.43-08		HAPRENT-1-25	705.00
38307 - Summary					705.00
38308	DAYFORTH APARTMENTS LLP	226-7605-563.43-08		HAPRENT-1-25	483.00
38308 - Summary					483.00
38309	EAST SHORE PROPERTIES	226-7605-563.43-08		HAPRENT-1-25	343.00
38309 - Summary					343.00
38310	EBERLE, JOSEPH	223-7602-563.43-03		HAPRENT-1-25	633.00
38310 - Summary					633.00
38311	ELITE PROPERTIES INC	223-7602-563.43-03		HAPRENT-1-25	484.00
	ELITE PROPERTIES INC	226-7605-563.43-08		HAPRENT-1-25	405.00
38311 - Summary					889.00
38312	ENIGMA PROPERTIES	223-7602-563.43-03		HAPRENT-1-25	5,889.00
38312 - Summary					5,889.00
38313	ENIGMA PROPERTIES	223-7602-563.43-03		HAPRENT-1-25	763.00
38313 - Summary					763.00
38314	ENIGMA PROPERTIES 84TH ST	223-7602-563.43-03		HAPRENT-1-25	627.00
38314 - Summary					627.00
38315	FABISZAK, MEL	223-7602-563.43-03		HAPRENT-1-25	703.00
38315 - Summary					703.00
38316	FIFTH STRET SCHOOL LLC	226-7605-563.43-08		HAPRENT-1-25	1,554.00
38316 - Summary					1,554.00
38317	FOND DU LAC APARTMENTS, LLC	226-7605-563.43-08		HAPRENT-1-25	579.00
38317 - Summary					579.00
38318	FRISKE, JONATHON	223-7602-563.43-03		HAPRENT-1-25	742.00
38318 - Summary					742.00
38319	GALOVIC, STEFAN	223-7602-563.43-03		HAPRENT-1-25	715.00
38319 - Summary					715.00
38320	GHAFFAR, AYUB	226-7605-563.43-08		HAPRENT-1-25	274.00
38320 - Summary					274.00
38321	GRAD, FRANK	223-7602-563.43-03		HAPRENT-1-25	2,151.00
38321 - Summary					2,151.00
38322	GREENFIELD GARDEN, LLC	223-7602-563.43-03		HAPRENT-1-25	1,100.00
38322 - Summary					1,100.00
38323	GREENFIELD SENIOR APARTMENTS, LLC	226-7605-563.43-08		HAPRENT-1-25	1,190.00
38323 - Summary					1,190.00
38324	HAI PROPERTY MANAGEMENT LLC	226-7605-563.43-08		HAPRENT-1-25	1,870.00
38324 - Summary					1,870.00
38325	HAYMARKET LOFTS LP	226-7605-563.43-08		HAPRENT-1-25	827.00
38325 - Summary					827.00
38326	HEARTLAND-WEST ALLIS COURTYARD LLC	223-7602-563.43-03		HAPRENT-1-25	7,563.00
	HEARTLAND-WEST ALLIS COURTYARD LLC	226-7605-563.43-08		HAPRENT-1-25	1,804.00

Monthly Listing of Claims Paid
January 2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38326 - Summary					9,367.00
38327	HEBERT, STEVEN	226-7605-563.43-08		HAPRENT-1-25	900.00
38327 - Summary					900.00
38328	HERITAGE HOUSE	223-7602-563.43-03		HAPRENT-1-25	702.00
38328 - Summary					702.00
38329	HERITAGE WEST ALLIS	223-7602-563.43-03		HAPRENT-1-25	4,361.00
38329 - Summary					4,361.00
38330	HOCHSCHILD, LAWRENCE	223-7602-563.43-03		HAPRENT-1-25	650.00
38330 - Summary					650.00
38331	HOOKER, SUSAN	223-7602-563.43-03		HAPRENT-1-25	1,419.00
38331 - Summary					1,419.00
38332	HOSPEL, BRIAN	226-7605-563.43-08		HAPRENT-1-25	329.00
38332 - Summary					329.00
38333	HOUSE, ASHLEY	223-7602-563.43-03		HAPRENT-1-25	647.00
38333 - Summary					647.00
38334	HURLEY, NOAH	223-7602-563.43-03		HAPRENT-1-25	551.00
38334 - Summary					551.00
38335	IRIZARRY, JOSEPH	223-7602-563.43-03		HAPRENT-1-25	615.00
38335 - Summary					615.00
38336	JARABA, BELAL	223-7602-563.43-03		HAPRENT-1-25	1,106.00
38336 - Summary					1,106.00
38337	JOHN ELLIOTT REALTY	223-7602-563.43-03		HAPRENT-1-25	276.00
38337 - Summary					276.00
38338	JOHN STARR PICKLES, LLC	226-7605-563.43-08		HAPRENT-1-25	647.00
38338 - Summary					647.00
38339	JTS PROPERTIES, LLC	223-7602-563.43-03		HAPRENT-1-25	297.00
38339 - Summary					297.00
38340	K.B. CO INVESTMENTS	226-7605-563.43-08		HAPRENT-1-25	465.00
38340 - Summary					465.00
38341	KATHLEEN MARY PROPERTIES	223-7602-563.43-03		HAPRENT-1-25	977.00
38341 - Summary					977.00
38342	KATZ PROPERTIES, INC	226-7605-563.43-08		HAPRENT-1-25	2,069.00
38342 - Summary					2,069.00
38343	KELLEN, JAMES	226-7605-563.43-08		HAPRENT-1-25	329.00
38343 - Summary					329.00
38344	KELLNER PROPERTIES, LLC	223-7602-563.43-03		HAPRENT-1-25	542.00
38344 - Summary					542.00
38345	KEY WAY RENTALS, LLC	223-7602-563.43-03		HAPRENT-1-25	1,264.00
38345 - Summary					1,264.00
38346	KLEIN, CAROL J	223-7602-563.43-03		HAPRENT-1-25	756.00
38346 - Summary					756.00
38347	KNITTING FACTORY ESSENTIAL HOUSING	226-7605-563.43-08		HAPRENT-1-25	1,635.00
38347 - Summary					1,635.00
38348	KORONKA, HELEN	223-7602-563.43-03		HAPRENT-1-25	279.00
38348 - Summary					279.00
38349	KRUEGER, RONALD	223-7602-563.43-03		HAPRENT-1-25	375.00
38349 - Summary					375.00
38350	KTI, LLC	223-7602-563.43-03		HAPRENT-1-25	879.00
38350 - Summary					879.00
38351	LADEWIG, GAVIN	223-7602-563.43-03		HAPRENT-1-25	758.00
38351 - Summary					758.00
38352	LAI, SHUPING	223-7602-563.43-03		HAPRENT-1-25	79.00
38352 - Summary					79.00
38353	LAKE, CHRIS	223-7602-563.43-03		HAPRENT-1-25	683.00
38353 - Summary					683.00
38354	LANDMARK HARMONY HOUSING LLC	223-7602-563.43-03		HAPRENT-1-25	1,846.00
	LANDMARK HARMONY HOUSING LLC	226-7605-563.43-08		HAPRENT-1-25	1,518.00

Monthly Listing of Claims Paid
January 2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38354 - Summary					3,364.00
38355	LINCOLN CREST APARTMENTS	223-7602-563.43-03		HAPRENT-1-25	16,662.00
	LINCOLN CREST APARTMENTS	226-7605-563.43-08		HAPRENT-1-25	279.00
38355 - Summary					16,941.00
38356	LOGIC PROPERTIES, LLC	223-7602-563.43-03		HAPRENT-1-25	688.00
38356 - Summary					688.00
38357	LUCEY, GREGORY	223-7602-563.43-03		HAPRENT-1-25	643.00
38357 - Summary					643.00
38358	LUTZ LAND MANAGEMENT	223-7602-563.43-03		HAPRENT-1-25	900.00
38358 - Summary					900.00
38359	MAHNKE, JACK	223-7602-563.43-03		HAPRENT-1-25	1,645.00
38359 - Summary					1,645.00
38360	MAIER, NATE	223-7602-563.43-03		HAPRENT-1-25	845.00
38360 - Summary					845.00
38361	MARGARITA VILLA, LLC	226-7605-563.43-08		HAPRENT-1-25	670.00
38361 - Summary					670.00
38362	MAYER, JOSEPH	226-7605-563.43-08		HAPRENT-1-25	779.00
38362 - Summary					779.00
38363	METRO RENTAL MGMT	226-7605-563.43-08		HAPRENT-1-25	1,586.00
38363 - Summary					1,586.00
38364	METROPOLITAN ASSOCIATES	223-7602-563.43-03		HAPRENT-1-25	26,073.00
	METROPOLITAN ASSOCIATES	226-7605-563.43-08		HAPRENT-1-25	3,160.00
38364 - Summary					29,233.00
38365	MIAO, XIANGDONG	223-7602-563.43-03		HAPRENT-1-25	779.00
38365 - Summary					779.00
38366	MILWAUKEE INVESTMENTS II, LLC	223-7602-563.43-03		HAPRENT-1-25	1,306.00
38366 - Summary					1,306.00
38367	MILWAUKEE PROPERTY MGMT LLC	226-7605-563.43-08		HAPRENT-1-25	497.00
38367 - Summary					497.00
38368	MLL PROPERTIES #2	223-7602-563.43-03		HAPRENT-1-25	1,079.00
38368 - Summary					1,079.00
38369	MONTY, TROY	223-7602-563.43-03		HAPRENT-1-25	1,400.00
38369 - Summary					1,400.00
38370	MORRISON, TOM	223-7602-563.43-03		HAPRENT-1-25	2,970.00
	MORRISON, TOM	226-7605-563.43-08		HAPRENT-1-25	2,096.00
38370 - Summary					5,066.00
38371	MUTHUPANDIYAN, BALRAJ	223-7602-563.43-03		HAPRENT-1-25	667.00
38371 - Summary					667.00
38372	MY PLACE RENTALS, LLC	223-7602-563.43-03		HAPRENT-1-25	493.00
38372 - Summary					493.00
38373	NASH, BRYAN	223-7602-563.43-03		HAPRENT-1-25	594.00
38373 - Summary					594.00
38374	NATIONAL AVE LOFTS LLC	226-7605-563.43-08		HAPRENT-1-25	66.00
38374 - Summary					66.00
38375	ORTH, JOSEPH OR LONI	223-7602-563.43-03		HAPRENT-1-25	145.00
38375 - Summary					145.00
38376	OSCEOLA COUNTY BOARD OF	222-7601-563.30-04		AFRENT-1-25	51.76
	OSCEOLA COUNTY BOARD OF	223-7602-563.43-05		HAPRENT-1-25	1,318.00
38376 - Summary					1,369.76
38377	OTT, DONALD	223-7602-563.43-03		HAPRENT-1-25	555.00
38377 - Summary					555.00
38378	PASSAVANT HARMONY HOUSING, LLC	226-7605-563.43-08		HAPRENT-1-25	606.00
38378 - Summary					606.00
38379	PERKINS, CHARLES	226-7605-563.43-08		HAPRENT-1-25	197.00
38379 - Summary					197.00
38380	PLENNES, TIMOTHY	223-7602-563.43-03		HAPRENT-1-25	956.00
38380 - Summary					956.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
38381	PORCH LIGHT PROPERTY MGMT	226-7605-563.43-08		HAPRENT-1-25	306.00
38381 - Summary					306.00
38382	RANGER INVESTMENTS LLC	223-7602-563.43-03		HAPRENT-1-25	1,126.00
38382 - Summary					1,126.00
38383	REIS PROPERTY MANAGEMENT	223-7602-563.43-03		HAPRENT-1-25	1,548.00
38383 - Summary					1,548.00
38384	REVIVING HOMES, LLC	223-7602-563.43-03		HAPRENT-1-25	762.00
38384 - Summary					762.00
38385	RICH FIELD PROPERTY	223-7602-563.43-03		HAPRENT-1-25	1,266.00
38385 - Summary					1,266.00
38386	RITTENHOUSE, KARYN	223-7602-563.43-03		HAPRENT-1-25	634.00
38386 - Summary					634.00
38387	RIVERSHIRE, LLC	223-7602-563.43-03		HAPRENT-1-25	1,001.00
38387 - Summary					1,001.00
38388	ROBINSON, EDWARD (TED)	223-7602-563.43-03		HAPRENT-1-25	435.00
38388 - Summary					435.00
38389	RODIEZ, TIM	226-7605-563.43-08		HAPRENT-1-25	662.00
38389 - Summary					662.00
38390	ROTAB LLC	223-7602-563.43-03		HAPRENT-1-25	779.00
38390 - Summary					779.00
38391	ROZMAN, GLORIA	223-7602-563.43-03		HAPRENT-1-25	567.00
38391 - Summary					567.00
38392	RUPENA, MATTHEW	226-7605-563.43-08		HAPRENT-1-25	2,567.00
38392 - Summary					2,567.00
38393	S. 13TH STREET LLC	226-7605-563.43-08		HAPRENT-1-25	233.00
38393 - Summary					233.00
38394	SANDOVAL, DANIEL	223-7602-563.43-03		HAPRENT-1-25	232.00
38394 - Summary					232.00
38395	SC RESIDENCE, LLC	226-7605-563.43-08		HAPRENT-1-25	1,506.00
38395 - Summary					1,506.00
38396	SHELL, EVAN	226-7605-563.43-08		HAPRENT-1-25	700.00
38396 - Summary					700.00
38397	SCHMID, THERESA SCHLUETER	223-7602-563.43-03		HAPRENT-1-25	617.00
38397 - Summary					617.00
38398	SCHUELE, RONALD	223-7602-563.43-03		HAPRENT-1-25	1,400.00
38398 - Summary					1,400.00
38399	SHERMAN PARK TENANT, LLC	226-7605-563.43-08		HAPRENT-1-25	1,361.00
38399 - Summary					1,361.00
38400	SHOE FACTORY LOFTS - MILWAUKEE LLC	226-7605-563.43-08		HAPRENT-1-25	195.00
38400 - Summary					195.00
38401	SMART ASSET REALTY	223-7602-563.43-03		HAPRENT-1-25	5,429.00
	SMART ASSET REALTY	226-7605-563.43-08		HAPRENT-1-25	652.00
38401 - Summary					6,081.00
38402	SMART LIVING, LLC	223-7602-563.43-03		HAPRENT-1-25	941.55
38402 - Summary					941.55
38403	SORMRUDE, JULIAN	223-7602-563.43-03		HAPRENT-1-25	509.00
38403 - Summary					509.00
38404	SOUTHEAST WISCONSIN PROP MGMT	223-7602-563.43-03		HAPRENT-1-25	1,311.00
	SOUTHEAST WISCONSIN PROP MGMT	226-7605-563.43-08		HAPRENT-1-25	456.00
38404 - Summary					1,767.00
38405	STAMOS, JANA	223-7602-563.43-03		HAPRENT-1-25	1,106.00
38405 - Summary					1,106.00
38406	STEFANIAK, PETER	223-7602-563.43-03		HAPRENT-1-25	312.00
38406 - Summary					312.00
38407	STEFANOVICH, SUSAN	223-7602-563.43-03		HAPRENT-1-25	570.00
38407 - Summary					570.00
38408	STRYEWA, LLC	223-7602-563.43-03		HAPRENT-1-25	426.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
38408 - Summary					426.00
38409	STUCKERT, KRISTIE	223-7602-563.43-03		HAPRENT-1-25	900.00
38409 - Summary					900.00
38410	S2 REAL ESTATE GROUP 2 LLC	223-7602-563.43-03		HAPRENT-1-25	1,140.00
38410 - Summary					1,140.00
38411	TARANTINO, VINCENZO	223-7602-563.43-03		HAPRENT-1-25	1,275.00
38411 - Summary					1,275.00
38412	THE BERKSHIRE-WEST ALLIS	223-7602-563.43-03		HAPRENT-1-25	12,043.00
	THE BERKSHIRE-WEST ALLIS	226-7605-563.43-08		HAPRENT-1-25	6,193.00
38412 - Summary					18,236.00
38413	TJH ENTERPRISES, LLC	223-7602-563.43-03		HAPRENT-1-25	286.00
38413 - Summary					286.00
38414	URBAN, JEFFERY	223-7602-563.43-03		HAPRENT-1-25	515.00
38414 - Summary					515.00
38415	VIEYRA, MICHAEL	223-7602-563.43-03		HAPRENT-1-25	636.00
38415 - Summary					636.00
38416	VITAIRA RENTAL GROUP LLC	223-7602-563.43-03		HAPRENT-1-25	1,636.00
38416 - Summary					1,636.00
38417	VP INVESTORS LLC	223-7602-563.43-03		HAPRENT-1-25	748.00
38417 - Summary					748.00
38418	WALNUT GLEN APARTMENTS, LLC	226-7605-563.43-08		HAPRENT-1-25	292.00
38418 - Summary					292.00
38419	WE ENERGIES	223-7602-563.43-04		URRENT-1-25	1,981.00
	WE ENERGIES	226-7605-563.43-04		URRENT-1-25	694.00
38419 - Summary					2,675.00
38420	WE LIVE WI LLC	223-7602-563.43-03		HAPRENT-1-25	833.00
38420 - Summary					833.00
38421	WELFORD SANDERS LOFTS	226-7605-563.43-08		HAPRENT-1-25	1,246.00
38421 - Summary					1,246.00
38422	WELLSTON APARTMENTS	226-7605-563.43-08		HAPRENT-1-25	849.00
38422 - Summary					849.00
38423	WELSH, RICHARD	223-7602-563.43-03		HAPRENT-1-25	424.00
38423 - Summary					424.00
38424	WENKER, GARY	223-7602-563.43-03		HAPRENT-1-25	384.00
38424 - Summary					384.00
38425	WESLEY SCOTT ESSENTIAL HOUSING	226-7605-563.43-08		HAPRENT-1-25	632.00
38425 - Summary					632.00
38426	WIESNER, BENJAMIN	223-7602-563.43-03		HAPRENT-1-25	289.00
38426 - Summary					289.00
38427	WIESNER, JOHN	223-7602-563.43-03		HAPRENT-1-25	1,134.00
38427 - Summary					1,134.00
38428	WILLIAMSTOWN BAY-CUDAHY LLC	226-7605-563.43-08		HAPRENT-1-25	604.00
38428 - Summary					604.00
38429	WOOD PROPERTY MANAGEMENT, LLC	223-7602-563.43-03		HAPRENT-1-25	774.00
38429 - Summary					774.00
38430	ZAGRODNIK, ROBERT AND DOROTHY	223-7602-563.43-03		HAPRENT-1-25	701.00
38430 - Summary					701.00
38431	ZASTROW, DANIEL	223-7602-563.43-03		HAPRENT-1-25	99.00
38431 - Summary					99.00
38432	ZAWAHIR, BILLIE JO	223-7602-563.43-03		HAPRENT-1-25	556.00
38432 - Summary					556.00
38433	ZOCCOLI, MARCO	223-7602-563.43-03		HAPRENT-1-25	7,877.00
	ZOCCOLI, MARCO	226-7605-563.43-08		HAPRENT-1-25	4,528.00
38433 - Summary					12,405.00
38434	ZORIC, LUKA	223-7602-563.43-03		HAPRENT-1-25	594.00
38434 - Summary					594.00
38435	1422, LLC	223-7602-563.43-03		HAPRENT-1-25	2,595.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
38435 - Summary					2,595.00
38436	15 LLC	223-7602-563.43-03		HAPRENT-1-25	1,208.00
	15 LLC	226-7605-563.43-08		HAPRENT-1-25	611.00
38436 - Summary					1,819.00
38437	2453 N. 17TH ST., LLC	223-7602-563.43-03		HAPRENT-1-25	3,033.00
38437 - Summary					3,033.00
38438	3317-19 WOLLMER LLC	223-7602-563.43-03		HAPRENT-1-25	1,360.00
38438 - Summary					1,360.00
38439	6100 BURNHAM LLC	223-7602-563.43-03		HAPRENT-1-25	767.00
38439 - Summary					767.00
38440	700 LOFTS MILWAUKEE, LLC	226-7605-563.43-08		HAPRENT-1-25	446.00
38440 - Summary					446.00
01/02/2025 - Summary					312,365.31

Payment Date: 01/09/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
196729	FIRST AMERICAN TITLE INSURANCE CO.	320-6606-563.30-04		CLOSING SIX POINTS SQUARE	5,274.11
196729 - Summary					5,274.11
01/09/2025 - Summary					5,274.11

Payment Date: 01/10/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38441	WEST ALLIS PROFESSIONAL POLICE	100-0000-202.08-00		PAYROLL SUMMARY	2,613.88
38441 - Summary					2,613.88
38442	AB DATA	501-2901-537.51-01		WATER UTILITY STATEMENTS	4,465.93
	AB DATA	510-3803-536.51-01		WATER UTILTIY STATEMENTS	340.93
	AB DATA	510-3803-536.51-01		WATER UTILITY STATEMENTS	4,125.00
	AB DATA	540-1807-538.51-01		WATER UTILITY STATEMENTS	4,465.92
	AB DATA	550-4233-535.51-01		WATER UTILITY STATEMENTS	4,465.93
38442 - Summary					17,863.71
38443	ARING EQUIPMENT COMPANY INC	100-4401-533.53-02		YELLOW & GRAY PAINT	52.83
	ARING EQUIPMENT COMPANY INC	100-4501-533.53-02		PLUG, ORING	105.90
	ARING EQUIPMENT COMPANY INC	100-4501-533.53-02		CAP, TUBE, SEALS, DAMPER	666.76
38443 - Summary					825.49
38444	BOBCAT PLUS INC	100-4501-533.53-02		Hose guide	75.31
	BOBCAT PLUS INC	100-4501-533.53-02		HYDRAULIC CAP	54.81
38444 - Summary					130.12
38445	CAYO, JAMES	100-4118-531.58-01		cayo comm learner permit	30.00
38445 - Summary					30.00
38446	DEVINE, DAN	100-0201-513.56-02		Devine Urban Oshkosh	136.22
38446 - Summary					136.22
38447	DIGGERS HOTLINE	100-4101-533.30-04		Email fees December 2024	43.52
	DIGGERS HOTLINE	100-4118-531.30-04		Email fees December 2024	43.52
	DIGGERS HOTLINE	100-4301-533.30-04		Email fees December 2024	43.52
	DIGGERS HOTLINE	501-2708-537.53-02		Email fees December 2024	43.52
	DIGGERS HOTLINE	540-1801-538.30-04		Email fees December 2024	43.52
38447 - Summary					217.60
38448	EDWARD H. WOLF & SONS, INC.	100-4501-533.53-01		Unleaded and Diesel Fuel	38,788.85
38448 - Summary					38,788.85
38449	ELECTION SYSTEMS & SOFTWARE INC	100-1502-514.51-02		Election Paper	245.97
38449 - Summary					245.97
38450	FOY, DANIEL	100-2107-521.56-02		TRNG MEAL EXP	82.00
38450 - Summary					82.00
38451	FUEL SYSTEMS INC	100-4401-533.53-02		Inventory stock items	91.05
	FUEL SYSTEMS INC	100-4401-533.53-02		5 CLAMP	19.30
	FUEL SYSTEMS INC	100-4401-533.53-02		FILTERS	497.92
	FUEL SYSTEMS INC	100-4401-533.53-02		FILTER	67.84
	FUEL SYSTEMS INC	100-4401-533.53-02		EXHAUST CLAMPS	78.18
	FUEL SYSTEMS INC	100-4401-533.53-02		CABIN FILTER	59.42

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38451	FUEL SYSTEMS INC	100-4401-533.53-02		AIR FILTER	182.13
	FUEL SYSTEMS INC	100-4401-533.53-02		FUEL,AIR,CABIN FILTERS	873.28
	FUEL SYSTEMS INC	100-4401-533.53-02		OIL FILTER	43.92
38451 - Summary					1,913.04
38452	GONZALEZ, CARLOS	100-1301-517.60-02		DPW Safety Shoe Reimb.	150.00
38452 - Summary					150.00
38453	GRAINGER	100-4101-533.44-08		Fire Admin Hvac fuses	35.96
	GRAINGER	100-4401-533.53-02		Photo eyes	150.40
	GRAINGER	100-4401-533.53-02		PUSH BROOM HEAD	45.72
	GRAINGER	100-4401-533.53-02		GRINDING WHEEL, HOOKS	325.00
	GRAINGER	100-4401-533.53-02		GATE VALVE	88.57
	GRAINGER	100-4401-533.53-02		3/4 SNAP ROUND EYE	125.20
	GRAINGER	100-4401-533.53-02		Wire & flap wheels	56.99
	GRAINGER	100-4401-533.53-02		Hose & grinding wheels	163.77
	GRAINGER	100-4401-533.53-02		EYE BOLT	4.07
	GRAINGER	100-4501-533.53-02		PARTS TAGS	59.63
	GRAINGER	501-2710-537.53-02		combo cartridge/filter	137.36
	GRAINGER	501-2710-537.53-02		PIPESOCK,60 L.BLACK	263.34
38453 - Summary					1,456.01
38454	GREAT LAKES SALT COMPANY	100-4218-531.53-02		regular brine	2,915.37
	GREAT LAKES SALT COMPANY	100-4218-531.53-02		WS1 Brine	4,693.12
38454 - Summary					7,608.49
38455	GRILL, REBECCA	100-1502-514.56-02		Urban Alliance Grill	88.44
	GRILL, REBECCA	100-1502-514.56-02		Grill WCMA Travel	198.20
38455 - Summary					286.64
38456	HUMPHREY SERVICE PARTS INC	100-4401-533.53-02		FITTINGS	98.10
	HUMPHREY SERVICE PARTS INC	100-4401-533.53-02		PIGGY BACK BRAKE CHAMBER	109.11
	HUMPHREY SERVICE PARTS INC	100-4501-533.53-02		EXHAUST PIPE	199.81
	HUMPHREY SERVICE PARTS INC	100-4501-533.53-02		PART RETURNED FOR CREDIT	(122.45)
	HUMPHREY SERVICE PARTS INC	100-4501-533.53-02		EXHAUST TIP	162.12
	HUMPHREY SERVICE PARTS INC	100-4501-533.53-02		ADIP Purge valve	50.06
38456 - Summary					496.75
38457	LEUNG, FRANK	100-4601-533.14-10		November Mileage	63.65
	LEUNG, FRANK	100-4601-533.14-10		October Mileage	62.98
	LEUNG, FRANK	100-4601-533.14-10		September Mileage	37.52
38457 - Summary					164.15
38458	LIBERTY HEIGHTS PARK NEIGHBORHOOD	100-2302-563.37-02		bal of 2024 grant fund	751.80
38458 - Summary					751.80
38459	LITWAITIS, BECKY	242-9601-542.56-01	SW2404	Aug-Dec 24 Mileage	144.72
38459 - Summary					144.72
38460	MENARDS - WEST ALLIS	100-2201-522.53-27		TOTE BOX	4.50
	MENARDS - WEST ALLIS	100-2201-522.60-02	MIH	SAFETY ASSISTANCE ITEMS	42.84
38460 - Summary					47.34
38461	OPENGOV, INC	100-1501-517.32-01		OpenGov Annual Contract	79,900.00
38461 - Summary					79,900.00
38462	PAGEL, MAYA	100-1301-517.25-01		English Comp 1 @ WCTC	484.85
38462 - Summary					484.85
38463	POOLER, MASON	100-1301-517.25-01		Arprt Driver @ Fox Valley	1,000.00
38463 - Summary					1,000.00
38464	RAMBOLL ENVIRON US CORPORATION	235-7203-563.30-02	D23403	Billed thru Nov 30, 2024	12,922.34
	RAMBOLL ENVIRON US CORPORATION	236-7204-563.30-06	D22403	Billing thru Nov 30, 2024	4,657.26
	RAMBOLL ENVIRON US CORPORATION	268-8614-517.30-02	NEWDPW	Waste Transfer Station	3,241.19
38464 - Summary					20,820.79
38465	RIES, KRISTOPHER	100-1301-517.25-01		CRR @ Columbia Southern	240.00
38465 - Summary					240.00
38466	ROHDE, DANIEL	100-1301-517.25-01		Extreme Ownershp @ Echlon	104.97
38466 - Summary					104.97
38467	SAMSARA, INC.	100-2201-522.32-01		Vehicle Cameras-Fire	9,828.00
	SAMSARA, INC.	100-4001-533.32-01		Vehicle Cameras-DPW Admin	30,420.00
	SAMSARA, INC.	352-4201-535.70-03	IT2304	Shipping-Original CIP	774.00

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38467	SAMSARA, INC.	501-2901-537.32-01		Vehicle Cameras-Water	2,808.00
	SAMSARA, INC.	510-3803-536.32-01		Vehicle Cameras-Sanitary	1,404.00
	SAMSARA, INC.	540-1807-538.32-01		Vehicle Cameras-Storm	3,744.00
	SAMSARA, INC.	550-4233-535.32-01		Vehicle Cameras-Solid Was	3,276.00
38467 - Summary					52,254.00
38468	SAVAGE SOLUTIONS, LLC	201-5101-517.30-04		Tourism Campaign	19,580.00
38468 - Summary					19,580.00
38469	SCHWARTZ, DAN	100-4601-533.14-10		Dec Mileage	104.92
38469 - Summary					104.92
38470	SEIDL, THERESA	242-9601-542.56-01	SW2404	2024 Mileage Oct-Dec	33.36
38470 - Summary					33.36
38471	SHERWIN INDUSTRIES INC	100-4218-531.53-02		quickstix adhesive	130.86
	SHERWIN INDUSTRIES INC	100-4218-531.53-02		S23 Fiber Mix Bulk	2,148.90
	SHERWIN INDUSTRIES INC	100-4401-533.53-02		ELECTRODES	61.51
	SHERWIN INDUSTRIES INC	100-4501-533.53-02		METAL CLIP, CAD CELL DECT	94.80
	SHERWIN INDUSTRIES INC	501-2707-537.53-08		S23 Fiber Mix Bulk	4,889.40
	SHERWIN INDUSTRIES INC	540-1801-538.53-02		S23 Fiber Mix Bulk	870.00
38471 - Summary					8,195.47
38472	STEALTH PARTNER GROUP, LLC	602-9101-517.21-60		Jan stop loss	97,962.96
38472 - Summary					97,962.96
38473	SUPERION, LLC	100-1401-515.32-01		Naviline Inv-8 Jan 2025	13,541.60
	SUPERION, LLC	100-2201-522.32-01		SERVICES RENEWAL 2025	8,945.48
38473 - Summary					22,487.08
38474	THOMAS, MELISSA	242-9601-542.56-01	SW2412	Local Project Travel	8.71
	THOMAS, MELISSA	242-9601-542.56-01	SW2430	Local Project Travel	34.17
	THOMAS, MELISSA	242-9601-542.56-01	SW2508	Local Project Travel	34.84
	THOMAS, MELISSA	997-9703-541.56-01		CHS Travel	1.34
38474 - Summary					79.06
38475	WAWM FAMILY RESOURCE CENTER	220-7522-563.31-80	C24216	1/1 to 8/31/24	6,881.47
38475 - Summary					6,881.47
38476	WE ENERGIES	100-2110-521.41-04		Dec PD Elec	5,684.47
	WE ENERGIES	100-2110-521.41-04		Dec trng house elec	100.06
	WE ENERGIES	100-2110-521.41-05		Dec PD gas	5,938.85
	WE ENERGIES	100-2201-522.41-04		10830 W Lapham St Elec	1,203.64
	WE ENERGIES	100-2201-522.41-04		7332 W National Ave Elec	1,719.33
	WE ENERGIES	100-2201-522.41-05		7332 W National Ave Gas	843.79
	WE ENERGIES	100-2201-522.41-05		10830 W Lapham Gas	1,425.95
	WE ENERGIES	100-3507-555.41-04		7421 W National Elec	2,650.14
	WE ENERGIES	100-4101-533.41-04		8435 W National Ave Elec	33.23
	WE ENERGIES	100-4101-533.41-04		8405 W National Ave Elec	121.31
	WE ENERGIES	100-4101-533.41-05		8435 W National Ave Gas	146.73
	WE ENERGIES	100-4101-533.41-05		8435 W National Ave. Gas	23.74
	WE ENERGIES	100-4101-533.41-05		8405 W National Ave Gas	1,000.10
	WE ENERGIES	100-4201-535.41-04		11401 W Lincoln Ave	450.15
	WE ENERGIES	100-8201-517.41-04		1559 S 65 St.	732.87
	WE ENERGIES	501-2601-537.41-04		5536 W National Ave Elec	48.21
	WE ENERGIES	501-2601-537.41-04		1725 S 96 St Elec	144.16
	WE ENERGIES	501-2601-537.41-04		801 S 77 St	34.54
	WE ENERGIES	501-2601-537.41-05		1725 S 96 Gas	680.29
	WE ENERGIES	540-1801-538.41-04		2179 S 111 ST Elec	329.99
	WE ENERGIES	540-1801-538.41-05		2179 S 111 St Gas	519.46
	WE ENERGIES	540-1801-538.41-05		1981 S 84 St Gas	62.03
WE ENERGIES	997-9701-541.41-04		7120 W National Ave Elec	1,684.31	
WE ENERGIES	997-9701-541.41-05		7102 W National Ave Gas	865.51	
38476 - Summary					26,442.86
38485	US BANK - PCARD	100-0000-229.07-00		BESTBUYCOM807006500852	189.99
	US BANK - PCARD	100-0000-441.08-00		DOJ EPAY RECORDS CHECK	336.00
	US BANK - PCARD	100-0301-516.56-01		MATC GARAGE	29.16
	US BANK - PCARD	100-0301-516.56-01		CITY MILW POM METERS	4.25
	US BANK - PCARD	100-0401-512.51-01		AMAZON MARK* Z95BD6T31	130.68
	US BANK - PCARD	100-0501-517.52-02		METROMLS	69.00
	US BANK - PCARD	100-0501-517.52-02		COSTAR GROUP INC	455.62

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Check#	Vendor	GL Account	Proj No	Description	Amount
38485	US BANK - PCARD	100-0501-517.57-01		IAAO	240.00
	US BANK - PCARD	100-1001-513.30-04		DOCUSIGN	152.06
	US BANK - PCARD	100-1001-513.57-01		OPENAI *CHATGPT SUBSCR	20.00
	US BANK - PCARD	100-1101-517.51-11		AMAZON MARK* Z17KM3TL1	15.99
	US BANK - PCARD	100-1101-517.51-11		AMZN MKTP US*Z90340E32	25.01
	US BANK - PCARD	100-1101-517.51-11		AMAZON MARK* Z35D11120	154.24
	US BANK - PCARD	100-1101-517.51-11		COMPULOCKS BRANDS INC.	199.90
	US BANK - PCARD	100-1301-517.30-04		CONCENTRA INC	1,272.00
	US BANK - PCARD	100-1301-517.51-02		AMZN MKTP US*RG41U8S83	227.69
	US BANK - PCARD	100-1301-517.51-02		AMAZON RETA* Z37KD0YM0	25.98
	US BANK - PCARD	100-1301-517.52-03		OPENAI *CHATGPT SUBSCR	20.00
	US BANK - PCARD	100-1301-517.54-02		LINKEDIN PRE 10078302636	39.99
	US BANK - PCARD	100-1401-515.51-02		AMAZON MARK* QF3F84O23	(22.99)
	US BANK - PCARD	100-1401-515.54-02		BRIDGETOWER MEDIA ADS	31.80
	US BANK - PCARD	100-1401-515.56-02		MARRIOTT MADISON WEST	98.00
	US BANK - PCARD	100-1401-515.57-02		EHLERS SEMINAR	210.00
	US BANK - PCARD	100-1405-515.54-02		BRIDGETOWER MEDIA ADS	23.85
	US BANK - PCARD	100-1501-517.54-02		BRIDGETOWER MEDIA ADS	122.27
	US BANK - PCARD	100-1501-517.57-01		WMCA	65.00
	US BANK - PCARD	100-1502-514.56-02		HI STEVENS POINT CONVEN	98.00
	US BANK - PCARD	100-2001-523.56-01		PAYPAL *CRAWDADDYSG CRAWD	100.00
	US BANK - PCARD	100-2001-523.56-01		RUPENAS FINE FOODS	200.00
	US BANK - PCARD	100-2001-523.56-01		TST*REUNION RESTAURANT	100.00
	US BANK - PCARD	100-2101-521.30-04		AMAZON MARK* Z90071TV1	44.95
	US BANK - PCARD	100-2101-521.30-04		CNA SURETY	90.00
	US BANK - PCARD	100-2101-521.30-04		STERICYCLE INC/SHRED-IT	140.32
	US BANK - PCARD	100-2101-521.30-04		AMZN MKTP US*ZL2F58HR1	23.98
	US BANK - PCARD	100-2101-521.30-04		ETCHANTSTORE.COM	417.60
	US BANK - PCARD	100-2101-521.51-02		AMZN MKTP US*ZL4V132M1	19.59
	US BANK - PCARD	100-2101-521.51-02		AMZN MKTP US*ZL38A1G80	109.99
	US BANK - PCARD	100-2101-521.51-02		STAPLES	238.72
	US BANK - PCARD	100-2101-521.51-02		AMAZON RETA* YH2HU0TA3	292.99
	US BANK - PCARD	100-2101-521.51-09		AMAZON MARK* ZX31V8F62	49.99
	US BANK - PCARD	100-2101-521.51-09		AMAZON RETA* ZL8P88IK1	18.87
	US BANK - PCARD	100-2101-521.51-09		HOMEDEPOT.COM	185.86
	US BANK - PCARD	100-2101-521.51-09		AMZN MKTP US*ZR30R60S1	24.95
	US BANK - PCARD	100-2101-521.51-09		AMAZON MARK* Z97V37OE1	66.78
	US BANK - PCARD	100-2101-521.51-09		IL TOLLWAY-WEB	51.80
	US BANK - PCARD	100-2101-521.51-09		AMAZON MARK* ZL1X8930	46.72
	US BANK - PCARD	100-2101-521.57-01		WISCONSIN CHIEFS OF POLIC	250.00
	US BANK - PCARD	100-2107-521.51-05		RACINECOUNTYLINERIFLE	1,100.00
	US BANK - PCARD	100-2107-521.53-41		NORTH AMERICAN RESCUE LL	2,345.65
	US BANK - PCARD	100-2107-521.57-02		ALLIANZ TRAVEL INS	28.00
	US BANK - PCARD	100-2107-521.57-02		WI STATE PATROL ACADEMY P	310.00
	US BANK - PCARD	100-2107-521.57-02		PAYPAL *WISCONSINTR	780.00
	US BANK - PCARD	100-2107-521.57-02		AMERICAN AIR0012199768112	228.48
	US BANK - PCARD	100-2107-521.57-02		AMERICAN AIR0012197466096	258.48
	US BANK - PCARD	100-2107-521.57-02		NATIONAL ASSOCIATION OF S	550.00
	US BANK - PCARD	100-2107-521.60-01		STREICHER'S MO	8,683.88
	US BANK - PCARD	100-2107-521.60-01		DUNN'S SPORTING GOODS	45.00
	US BANK - PCARD	100-2107-521.60-01		SYMBOLARTS, LLC	305.00
	US BANK - PCARD	100-2107-521.60-01		BSG1881* MATC POLICE	575.41
	US BANK - PCARD	100-2110-521.51-06		AMAZON MARK* ZX71S5W12	34.28
	US BANK - PCARD	100-2110-521.51-06		NASSCO INC.	1,540.29
	US BANK - PCARD	100-2110-521.51-06		ULINE *SHIP SUPPLIES	330.70
	US BANK - PCARD	100-2114-521.51-03		AMAZON MARK* Z16DT5BD2	59.18
	US BANK - PCARD	100-2114-521.51-03		ULINE *SHIP SUPPLIES	127.45
	US BANK - PCARD	100-2201-522.44-05		AMAZON MARK* ZR7D41BY2	122.91
	US BANK - PCARD	100-2201-522.51-04		NASSCO INC.	745.98
	US BANK - PCARD	100-2201-522.51-06		NASSCO INC.	598.75
	US BANK - PCARD	100-2201-522.51-07		AMAZON MARK* ZX7PJ80T0	149.49
	US BANK - PCARD	100-2201-522.51-08		HARBOR FREIGHT TOOLS 280	72.82
	US BANK - PCARD	100-2201-522.51-11		AMAZON RETA* ZX7QF6JG0	45.98
	US BANK - PCARD	100-2201-522.52-01		AMAZON RETA* ZL4VT5QB1	186.30
	US BANK - PCARD	100-2201-522.52-01		AUDIBLE*Z93HH7682	15.83
	US BANK - PCARD	100-2201-522.52-01		GANNETT MEDIA CO	19.99

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Check#	Vendor	GL Account	Proj No	Description	Amount
38485	US BANK - PCARD	100-2201-522.53-27		BA SHIELDS	260.00
	US BANK - PCARD	100-2201-522.53-27		THE HOME DEPOT #4902	37.03
	US BANK - PCARD	100-2201-522.53-27		FASTENAL COMPANY 01WIGOV	184.03
	US BANK - PCARD	100-2201-522.56-02		IL TOLLWAY-AUTOREPLENISH	20.00
	US BANK - PCARD	100-2201-522.57-01		AMERICAN HEART SHOPCPR	10.20
	US BANK - PCARD	100-2401-524.51-02		ODP BUS SOL LLC# 106869	21.63
	US BANK - PCARD	100-2401-524.57-02		WI CODE UPDATES	250.00
	US BANK - PCARD	100-2402-524.51-09		DOA E PAY DOC SALES	337.60
	US BANK - PCARD	100-2501-515.51-02		ODP BUS SOL LLC# 106869	38.24
	US BANK - PCARD	100-2501-515.51-02		AMAZON RETA* ZL24H72T1	29.99
	US BANK - PCARD	100-3401-544.51-02		AMAZON MARK* ZX1BY5L00	77.00
	US BANK - PCARD	100-3401-544.51-06		AMAZON RETA* ZX6J19L21	63.28
	US BANK - PCARD	100-3501-555.51-02		ODP BUS SOL LLC# 106869	724.65
	US BANK - PCARD	100-3502-555.52-21		BAKER & TAYLOR - BOOKS	555.09
	US BANK - PCARD	100-3502-555.52-28		AMAZON RETA* Z14LO8KM1	113.07
	US BANK - PCARD	100-3502-555.52-28		AMAZON RETA* ZX8GR2BP0	19.99
	US BANK - PCARD	100-3502-555.52-28		BAKER & TAYLOR - BOOKS	5,317.99
	US BANK - PCARD	100-3502-555.52-28		AMAZON RETA* Z19Z78MX2	21.06
	US BANK - PCARD	100-3502-555.52-28		AMZN MKTP US*Z32UY0J01	38.24
	US BANK - PCARD	100-3502-555.52-28		AMAZON RETA* ZR58H3A41	12.51
	US BANK - PCARD	100-3502-555.52-28		AMAZON RETA* Z35O64BQ0	66.28
	US BANK - PCARD	100-3502-555.52-28		AMAZON MARK* Z33VM1KW0	71.95
	US BANK - PCARD	100-3502-555.52-30		BAKER & TAYLOR - BOOKS	119.75
	US BANK - PCARD	100-3502-555.52-31		NYTIMES	1,189.36
	US BANK - PCARD	100-3502-555.52-31		AMAZON RETA* ZX9UJ4NB2	15.81
	US BANK - PCARD	100-3502-555.52-36		CAMPAIGNMONITOR	58.65
	US BANK - PCARD	100-3502-555.52-38		BAKER & TAYLOR - BOOKS	1,190.16
	US BANK - PCARD	100-3502-555.52-48		BAKER & TAYLOR - BOOKS	4,021.11
	US BANK - PCARD	100-3502-555.52-57		BAKER & TAYLOR - BOOKS	235.44
	US BANK - PCARD	100-3504-555.51-02		PLAYAWAY PRODUCTS LLC	60.27
	US BANK - PCARD	100-3504-555.51-02		BRODART SUPPLIES	213.01
	US BANK - PCARD	100-3504-555.51-02		DEMCO INC	216.26
	US BANK - PCARD	100-3506-555.51-06		AMAZON MARK* ZR8H82Y00	70.05
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* Z33VM1KW0	6.38
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* ZX0IW4NC2	36.98
	US BANK - PCARD	100-3506-555.51-09		AMAZON RETA* Z110F6M30	33.44
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* Z15Z74ZH1	26.09
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* Z31X04141	37.17
	US BANK - PCARD	100-3506-555.51-09		PICK N SAVE #847	268.88
	US BANK - PCARD	100-3506-555.51-09		AMAZON RETA* ZR4M01LN1	24.99
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* ZR79L1IU0	11.00
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* Z14NZ1LH1	50.66
	US BANK - PCARD	100-3506-555.51-09		AMAZON RETA* ZR9VP7AA1	35.99
	US BANK - PCARD	100-3506-555.51-09		AMAZON MARK* Z91ZG3DS2	4.75
	US BANK - PCARD	100-3507-555.51-06		AMAZON MARK* C03K97AS3	27.00
	US BANK - PCARD	100-3507-555.51-06		NASSCO INC.	605.17
	US BANK - PCARD	100-4001-533.53-02		WISCONSIN VISION CORPORA	175.00
	US BANK - PCARD	100-4001-533.53-02		ODP BUS SOL LLC# 106869	26.05
	US BANK - PCARD	100-4101-533.44-08		PAYPAL *AFC FILTERS AMERI	215.36
	US BANK - PCARD	100-4101-533.44-08		GRAINGER	190.12
	US BANK - PCARD	100-4101-533.44-08		MILWAUKEE RUBBER PRODU	179.90
	US BANK - PCARD	100-4101-533.44-08		SQ *WHITLOW'S SECURITY	35.00
	US BANK - PCARD	100-4101-533.44-08		LINCOLN CONTRACTORS SUPPL	20.00
	US BANK - PCARD	100-4101-533.44-08		THE HOME DEPOT #4902	19.98
	US BANK - PCARD	100-4101-533.44-08		MENARDS WEST MILWAUKEE WI	116.23
	US BANK - PCARD	100-4101-533.44-08		FERGUSON ENT #1020	408.25
	US BANK - PCARD	100-4101-533.44-08		HAJOCA ABLE DIST 353	165.17
	US BANK - PCARD	100-4101-533.44-08		G&O THERMAL SUPPLY	10.20
	US BANK - PCARD	100-4101-533.44-08		SHERWIN-WILLIAMS703713	35.39
	US BANK - PCARD	100-4101-533.44-08		MENARDS WEST ALLIS WI	99.99
	US BANK - PCARD	100-4101-533.44-08		MARKS PLUMBING PARTS	1,143.34
	US BANK - PCARD	100-4101-533.53-02		AMZN MKTP US*ZR73J3851	68.99
	US BANK - PCARD	100-4101-533.53-02		AMZN MKTP US*ZR9DC75E1	137.98
	US BANK - PCARD	100-4101-533.53-02		AMAZON MARK* ZR21D1RV1	10.11
	US BANK - PCARD	100-4118-531.53-01		SPEEDWAY 02090 9130 W OKL	44.58
	US BANK - PCARD	100-4118-531.53-02		AMZN MKTP US*ZX1BX2PZ1	318.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
38485	US BANK - PCARD	100-4118-531.57-02		WI CODE UPDATES	125.00
	US BANK - PCARD	100-4201-535.53-02		SAMS CLUB#8164	22.98
	US BANK - PCARD	100-4201-535.53-02		AMAZON MARK* ZX8TK8IC1	23.89
	US BANK - PCARD	100-4201-535.53-02		AMAZON MARK* Z18J35AQ0	14.99
	US BANK - PCARD	100-4218-531.53-02		AMAZON MARK* Z99L98C00	28.11
	US BANK - PCARD	100-4301-533.53-02		AMAZON MARK* Z997J1VE1	73.50
	US BANK - PCARD	100-4301-533.53-02		SP SPRINKL SUPPLY	48.29
	US BANK - PCARD	100-4301-533.53-02		ELLIOTT ACE HDWE	45.99
	US BANK - PCARD	100-4301-533.53-02		WWW.PLUMBERSSTOCK.COM	1,154.46
	US BANK - PCARD	100-4301-533.53-02		MENARDS WEST MILWAUKEE WI	46.87
	US BANK - PCARD	100-4301-533.53-02		AMZN MKTP US*Z13XQ1DH0	256.79
	US BANK - PCARD	100-4301-533.53-02		FORESTRY SUPPLIERS INC	502.37
	US BANK - PCARD	100-4301-533.53-02		AMAZON MARK* Z98B27OL0	825.15
	US BANK - PCARD	100-4301-533.53-02		BTS*VERMEERWISCONSIN	2,097.36
	US BANK - PCARD	100-4301-533.53-02		MONKEY BEAV	516.30
	US BANK - PCARD	100-4301-533.53-02		TREESTUFF	160.64
	US BANK - PCARD	100-4301-533.53-02		EGELHOFF LAWNMOWER SERVIC	618.96
	US BANK - PCARD	100-4401-533.53-02		AMAZON MARK* Z94XB2VP2	31.56
	US BANK - PCARD	100-4401-533.53-02		AMAZON RETA* ZR26C0E92	47.82
	US BANK - PCARD	100-4401-533.53-02		AMZN MKTP US*ZX67K7EA0	105.51
	US BANK - PCARD	100-4501-533.53-02		WEATHERTECH	605.70
	US BANK - PCARD	100-4501-533.53-02		AMAZON RETA* Z14TT1GG0	20.45
	US BANK - PCARD	100-4501-533.53-02		AMZN MKTP US*ZL0E27WS2	20.66
	US BANK - PCARD	100-4501-533.53-02		AMZN MKTP US*ZL2XK31B0	10.88
	US BANK - PCARD	100-4601-533.56-02		UWSP CONTINUING ED ONLINE	235.00
	US BANK - PCARD	100-4601-533.57-01		ASCE PURCHASING	321.00
	US BANK - PCARD	100-4601-533.57-01		WWW.APWA.NET	253.00
	US BANK - PCARD	100-4601-533.57-01		WLSL	210.00
	US BANK - PCARD	100-8201-517.30-04		REDIQUICK DRY CLEANERS	69.55
	US BANK - PCARD	100-8201-517.32-01		SPROUT SOCIAL, INC	472.00
	US BANK - PCARD	100-8201-517.32-01		MAILCHIMP	132.00
	US BANK - PCARD	100-8201-517.32-01		ADOBE *ADOBE	330.71
	US BANK - PCARD	100-8201-517.51-02		ARTS CAMERA PLUS	148.24
	US BANK - PCARD	100-8201-517.51-02		BT *BLANKS/USA	374.14
	US BANK - PCARD	100-8201-517.51-04		SQ *GREBE'S BAKERY	173.98
	US BANK - PCARD	100-8201-517.51-04		SQ *ALPHONSO'S THE ORIGIN	149.63
	US BANK - PCARD	100-8201-517.51-04		RUPENAS FINE FOODS	50.00
	US BANK - PCARD	100-8201-517.51-04		SQ *WEST ALLIS CHEESE & S	85.00
	US BANK - PCARD	100-8201-517.51-04		SQ *BECHER MEATS	173.88
	US BANK - PCARD	100-8201-517.51-04		SQ *CARRIE'S CRISPIES LLC	36.17
	US BANK - PCARD	100-8201-517.51-09		THE BUSINESS JOURNALS	200.00
	US BANK - PCARD	100-8201-517.51-09		WISCONSIN STATE FAIR	800.00
	US BANK - PCARD	100-8201-517.51-09		AMERICAN SCIENCE & SURPLU	101.64
	US BANK - PCARD	100-8201-517.57-01		PRINTING UNITED ALLIANCE	119.00
	US BANK - PCARD	100-8201-517.57-02		PRINTING UNITED ALLIANCE	178.00
	US BANK - PCARD	201-5101-517.51-09		DNH*GODADDY#3407058290	85.19
	US BANK - PCARD	202-0801-521.64-05		HOBBY-LOBBY #858	19.43
	US BANK - PCARD	202-0801-521.64-05		PICK N SAVE #846	266.37
	US BANK - PCARD	202-0801-521.64-05		WF *WAYFAIR4310788753	302.84
	US BANK - PCARD	202-0801-521.64-05		DOLLARTREE	62.22
	US BANK - PCARD	202-0801-521.64-05		WAL-MART #5438	124.16
	US BANK - PCARD	202-0801-521.64-05		TARGET 00021998	45.00
	US BANK - PCARD	204-0701-555.64-05		RCB AWARDS	465.64
	US BANK - PCARD	206-0601-544.64-05		SPECTRUM	14.09
	US BANK - PCARD	207-0000-467.01-00	SC0009	GLASSCRAFTERS.COM	106.89
	US BANK - PCARD	207-0601-544.64-05	SC0003	SPOTIFY USA	12.70
	US BANK - PCARD	207-0601-544.64-05	SC0004	FACEBK *YYFFAEUG32	15.97
	US BANK - PCARD	207-0601-544.64-05	SC0007	PICK N SAVE #846	7.96
	US BANK - PCARD	207-0601-544.64-05	SC0007	PICK N SAVE #847	60.60
	US BANK - PCARD	207-0601-544.64-05	SC0007	DOLLAR TREE	58.30
	US BANK - PCARD	207-0601-544.64-05	SC0007	ALDI 64010	2.90
	US BANK - PCARD	207-0601-544.64-05	SC0007	GFS STORE #1929	357.55
	US BANK - PCARD	207-0601-544.64-05	SC0009	AMZN MKTP US*Z93189LT0	79.99
	US BANK - PCARD	208-0701-555.64-05		BAKER & TAYLOR - BOOKS	148.66
	US BANK - PCARD	212-0801-521.64-05		SP DARECATALOG	1,758.00
	US BANK - PCARD	214-0801-521.64-05		SIRCHIE ACQUISITION COMPA	478.99

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Check#	Vendor	GL Account	Proj No	Description	Amount
38485	US BANK - PCARD	215-0801-521.64-05		NORTH AMERICAN POLICE WOR	50.00
	US BANK - PCARD	215-0801-521.64-05		AMAZON RETA* ZL1SS2S01	74.99
	US BANK - PCARD	215-0801-521.64-05		ALLPAID*VILLAGE OF LISBON	13.00
	US BANK - PCARD	215-0801-521.64-05		KWIK TRIP #1047	100.00
	US BANK - PCARD	220-7522-563.51-09	C24218	ZOOM.US 888-799-9666	15.99
	US BANK - PCARD	222-7601-563.30-04		DOJ EPAY RECORDS CHECK	14.00
	US BANK - PCARD	222-7601-563.51-02		AMZN MKTP US*ZL1VQ1BD0	18.79
	US BANK - PCARD	222-7601-563.51-02		AMAZON RETA* ZL49Q80E1	12.05
	US BANK - PCARD	242-9601-542.41-06	SW2404	AMZN MKTP US*Z113H9RE0	232.42
	US BANK - PCARD	242-9601-542.51-02	SW2468	4IMPRINT, INC	517.86
	US BANK - PCARD	242-9601-542.51-02	SW2468	AMAZON MARK* EQ4L089D3	244.66
	US BANK - PCARD	242-9601-542.51-09	SW2404	AMAZON MARK* Z97B06OE0	230.07
	US BANK - PCARD	242-9601-542.51-09	SW2404	SP JUSTIN STROM	403.03
	US BANK - PCARD	242-9601-542.51-09	SW2404	DOLLAR TREE	21.86
	US BANK - PCARD	242-9601-542.51-09	SW2404	AMAZON MARK* Z95OP96E2	278.42
	US BANK - PCARD	242-9601-542.51-09	SW2404	ETSY.COM - MULTIPLE SHOP	61.10
	US BANK - PCARD	242-9601-542.51-09	SW2406	TARGET.COM *	475.36
	US BANK - PCARD	242-9601-542.51-09	SW2406	PAYPAL *MILWAUKEEMA	2,200.00
	US BANK - PCARD	242-9601-542.51-09	SW2406	AMZN MKTP US*Z98MW0PK0	24.00
	US BANK - PCARD	242-9601-542.51-09	SW2406	AMAZON MARK* ZX5DJ9HW2	649.50
	US BANK - PCARD	242-9601-542.51-09	SW2406	AMAZON RETA* Z968V9AL1	149.13
	US BANK - PCARD	242-9601-542.51-09	SW2430	AMAZON MARK* Z329I4352	59.07
	US BANK - PCARD	242-9601-542.51-09	SW2430	TARGET 00021998	1,250.00
	US BANK - PCARD	242-9601-542.51-09	SW2430	AMAZON RETA* Z35A66VF0	34.86
	US BANK - PCARD	242-9601-542.51-09	SW2430	AMAZON MARK* ZR2416LP1	58.45
	US BANK - PCARD	242-9601-542.51-09	SW2430	AMAZON MARK* Z33SG61X1	0.00
	US BANK - PCARD	242-9601-542.51-09	SW2547	AMAZON MARK* ZX3JP4K71	39.99
	US BANK - PCARD	242-9601-542.51-11	SW2404	AMZN MKTP US*ZX0MN7RA0	14.00
	US BANK - PCARD	242-9601-542.54-03	SW2468	FACEBK *YFFFAEUG32	41.93
	US BANK - PCARD	242-9601-542.56-02	SW2404	SOUTHWES 5262591238940	511.95
	US BANK - PCARD	242-9601-542.56-02	SW2404	SOUTHWES 5262592291601	511.95
	US BANK - PCARD	242-9601-542.56-02	SW2404	AMAZON MARK* Z98KL52R2	110.97
	US BANK - PCARD	242-9601-542.57-02	SW2404	NATIONAL WIC ASSOCIATI	1,098.00
	US BANK - PCARD	242-9601-542.70-01	SW2404	SP SENSORYEDGE	899.90
	US BANK - PCARD	242-9601-542.70-01	SW2404	PLAYSCAPES LLC	305.83
	US BANK - PCARD	242-9601-542.70-01	SW2404	SP FELT RIGHT LLC	345.88
	US BANK - PCARD	242-9601-542.70-01	SW2404	AMZN MKTP US*ZX0KJ8IE0	899.94
	US BANK - PCARD	242-9601-542.70-03	SW2404	PERSPECTIVE ENTERPRISES	1,437.00
	US BANK - PCARD	255-8101-521.30-04	I23549	MICROSOFT-G069430017	427.96
	US BANK - PCARD	255-8101-521.30-04	I23549	AMAZON WEB SERVICES	30.05
	US BANK - PCARD	255-8101-521.30-04	I23549	SMASHBALLOON.COM	89.10
	US BANK - PCARD	255-8101-521.30-04	I23549	THE HOME DEPOT #4902	87.77
	US BANK - PCARD	255-8101-521.30-04	I23549	SCREENCLOUD	480.00
	US BANK - PCARD	255-8101-521.30-04	I24534	STAMPS.COM	19.99
	US BANK - PCARD	255-8101-521.51-09	I23556	ODP BUS SOL LLC # 101090	167.27
	US BANK - PCARD	255-8101-521.51-09	I23556	ODP BUS SOL LLC# 106869	558.10
	US BANK - PCARD	255-8101-521.51-09	I24534	ODP BUS SOL LLC# 106869	407.71
	US BANK - PCARD	255-8101-521.51-09	I24534	ODP BUS SOL LLC # 103253	11.30
	US BANK - PCARD	257-5701-517.30-04	SP0010	AMZN MKTP US*Z335P5N32	66.98
	US BANK - PCARD	257-5701-517.30-04	SP0010	OTC BRANDS *OTC BRANDS	407.52
	US BANK - PCARD	257-5701-517.51-09	SP0009	PICK N SAVE #846	42.92
	US BANK - PCARD	257-5701-517.51-09	SP0010	DOLLAR TREE	3.97
	US BANK - PCARD	257-5701-517.51-09	SP0010	HOBBY-LOBBY #858	23.37
	US BANK - PCARD	258-3102-565.51-02		HOBBY-LOBBY #858	6.78
	US BANK - PCARD	258-3102-565.51-02		MENARDS WEST ALLIS WI	12.69
	US BANK - PCARD	258-3102-565.51-04		PAPA JOHN'S #2336	111.96
	US BANK - PCARD	258-3102-565.51-04		TST*REUNION RESTAURANT	58.10
	US BANK - PCARD	258-3102-565.52-01		GANNETT MEDIA CO	19.99
	US BANK - PCARD	258-3102-565.56-01		SUMMIT MARKET	18.00
	US BANK - PCARD	258-3102-565.56-01		MILWAUKEE CITY CENTER	20.00
	US BANK - PCARD	258-3102-565.57-01		WI POLICY FORUM	25.00
	US BANK - PCARD	258-3102-565.57-01		IEDC ONLINE	385.00
	US BANK - PCARD	263-5001-517.51-09		JETS PIZZA - WEST ALLI	101.41
	US BANK - PCARD	266-8350-522.30-04		SPROUT SOCIAL, INC	149.00
	US BANK - PCARD	279-0000-465.01-00		BAKER & TAYLOR - BOOKS	71.80
	US BANK - PCARD	279-0701-555.51-09		BAKER & TAYLOR - BOOKS	2,405.36

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38485	US BANK - PCARD	279-0701-555.51-09		AMAZON MARK* Z34BY1EL1	63.99
	US BANK - PCARD	279-0701-555.51-09		SWANK MOTION PICTURES IN	1,453.00
	US BANK - PCARD	350-6008-531.31-02	P2420S	WM.COM	2,377.09
	US BANK - PCARD	352-2201-522.70-02		ULINE *SHIP SUPPLIES	388.45
	US BANK - PCARD	352-3501-555.70-03		ODP BUS SOL LLC# 106869	99.90
	US BANK - PCARD	501-2706-537.53-02		HOMEDEPOT.COM	276.00
	US BANK - PCARD	501-2706-537.53-02		THE HOME DEPOT #4902	149.00
	US BANK - PCARD	501-2707-537.53-02		THE HOME DEPOT #4902	194.13
	US BANK - PCARD	501-2707-537.53-02		NTE 5443	29.95
	US BANK - PCARD	501-2710-537.53-02		LINCOLN CONTRACTORS SUPPL	64.77
	US BANK - PCARD	501-2710-537.53-02		FERGUSON ENT #1020	21.77
	US BANK - PCARD	501-2710-537.53-02		NTE 5443	624.95
	US BANK - PCARD	501-2901-537.51-01		USPS.COM CLICKNSHIP	9.55
	US BANK - PCARD	501-2901-537.51-01		PAYPAL *USPS CNS	19.55
	US BANK - PCARD	501-2901-537.51-02		AMAZON MARK* Z39PZ5PN2	30.56
	US BANK - PCARD	501-2901-537.51-02		AMAZON RETA* Z39PF5VM0	62.99
	US BANK - PCARD	501-2901-537.51-09		WI STATE HYGIENE LAB	391.00
	US BANK - PCARD	501-2901-537.57-02		WISCONSIN WASTEWATER OPER	105.00
	US BANK - PCARD	501-2901-537.75-01		BRIDGETOWER MEDIA ADS	115.28
	US BANK - PCARD	501-2901-537.75-01	BF0041	BRIDGETOWER MEDIA ADS	129.27
	US BANK - PCARD	510-3801-536.53-13		AMAZON MARK* ZR9HQ1NP1	149.85
	US BANK - PCARD	510-3801-536.56-02		NASSCO, INC.	775.00
	US BANK - PCARD	540-1801-538.53-02		SP EPASALES	266.34
	US BANK - PCARD	550-4233-535.51-09		AMZN MKTP US*ZR6NK0Z82	401.32
	US BANK - PCARD	550-4233-535.51-09		MENARDS WEST ALLIS WI	24.99
	US BANK - PCARD	550-4233-535.51-09		AMAZON RETA* ZX1YT4TT2	109.36
	US BANK - PCARD	550-4233-535.51-09		MENARDS WEST MILWAUKEE WI	232.92
	US BANK - PCARD	550-4233-535.51-09		SIR WAXER	259.75
	US BANK - PCARD	550-4233-535.51-09		BLUEAIR INC	99.99
	US BANK - PCARD	997-9701-541.32-04		ZOOM.US 888-799-9666	16.93
	US BANK - PCARD	997-9701-541.51-01		USPS.COM CLICKNSHIP	9.90
	US BANK - PCARD	997-9701-541.51-02		AMAZON RETA* ZX72F1N60	24.48
	US BANK - PCARD	997-9701-541.51-02		TARGET.COM *	53.56
	US BANK - PCARD	997-9701-541.51-02		AMAZON RETA* ZL7BG17J0	26.34
	US BANK - PCARD	997-9701-541.51-02		THE WEBSTAUANT STORE INC	102.61
	US BANK - PCARD	997-9701-541.51-02		AMAZON RETA* ZX5D50WB2	9.49
	US BANK - PCARD	997-9701-541.51-04		FESTIVAL FOODS WEST	26.46
	US BANK - PCARD	997-9701-541.51-04		TARGET 00021998	76.35
	US BANK - PCARD	997-9701-541.51-04		DOLLAR TREE	9.27
	US BANK - PCARD	997-9701-541.51-04		WAL-MART #5438	151.13
	US BANK - PCARD	997-9701-541.51-09		SIMPLYSTAMPS.COM	59.28
	US BANK - PCARD	997-9701-541.70-01		SP ATLAS PHONES	214.78
	US BANK - PCARD	997-9703-541.30-04		AVAILITY	35.00
	US BANK - PCARD	997-9703-541.53-41		HENRY SCHEIN*	40.46
	US BANK - PCARD	997-9703-541.57-01		WI PUBLIC HEALTH ASSOC	60.00
	US BANK - PCARD	997-9703-541.57-01		ASSOCIATION OF PUBLIC HEA	125.00
	US BANK - PCARD	997-9703-541.57-02		WIHEALTHYAGING.ORG	150.00
	US BANK - PCARD	997-9704-541.57-01		NATIONAL ENVIRONMENTAL HE	25.00
38485 - Summary					92,461.72
196730	CITY OF WEST ALLIS	100-0000-202.07-00		PAYROLL SUMMARY	51.00
196730 - Summary					51.00
196731	KUBASA, GARY	602-0000-229.04-00		KUBASA, GARY	248.94
196731 - Summary					248.94
196732	KUBASA, GARY	602-0000-229.04-00		KUBASA, GARY	170.14
196732 - Summary					170.14
196733	TRIPOLI MOTORCORPS	100-8201-517.30-04		Indep. Day Parade Partici	600.00
196733 - Summary					600.00
196734	U S POSTMASTER-MILW	100-1502-514.51-01		2024 BUSINESS REPLY	3,114.20
	U S POSTMASTER-MILW	222-7601-563.51-01		2024 BUSINESS REPLY	217.58
	U S POSTMASTER-MILW	501-2901-537.51-01		2024 BUSINESS REPLY	5.20
196734 - Summary					3,336.98
196735	UNITED WAY - MILWAUKEE	100-0000-202.09-00		PAYROLL SUMMARY	356.67
196735 - Summary					356.67

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Check#	Vendor	GL Account	Proj No	Description	Amount
196736	ABOVE PAR GOLF CARS, LLC	263-5001-517.30-04		Golf Cart for Xmas parade	370.00
196736 - Summary					370.00
196737	AECOM TECHNICAL SERVICES INC	540-1807-538.30-02		Storm Water Support	1,438.05
	AECOM TECHNICAL SERVICES INC	540-1807-538.30-02		Storm Water	4,108.11
196737 - Summary					5,546.16
196738	AIRGAS USA LLC	100-2110-521.51-08		dec mech tools	34.72
	AIRGAS USA LLC	100-2110-521.51-08		mechanic supplies	33.60
	AIRGAS USA LLC	100-4101-533.53-02		Cylinder Rental 12/2024	16.91
	AIRGAS USA LLC	100-4401-533.53-02		PROPANE, TRI MIX CYLINDER	347.30
	AIRGAS USA LLC	100-4401-533.53-02		RAIN BOOTS, WELDING GLOVE	110.58
	AIRGAS USA LLC	100-4401-533.53-02		HARDHAT,EAR MUFFS, GLOVE	160.52
	AIRGAS USA LLC	100-4501-533.44-08		Cylinder Rental 12/2024	304.42
	AIRGAS USA LLC	501-2901-537.53-02		Cylinder Rental 12/2024	16.91
196738 - Summary					1,024.96
196739	ALSTAR COMPANY	100-4401-533.53-02		1131MF BATTERIES	1,417.00
196739 - Summary					1,417.00
196740	AMERICAN HYDRAULICS INC	100-4401-533.53-02		PLOW WING CYLINDER REBUIL	1,123.00
196740 - Summary					1,123.00
196741	AT&T	100-1101-517.41-06		AT&T Centrex - December	54.85
196741 - Summary					54.85
196742	AURORA MEDICAL GROUP	100-2001-523.59-01		NEW HIRE MED EVALS	679.00
196742 - Summary					679.00
196743	AXON ENTERPRISES, INC.	100-2101-521.32-03		2025 Body Worn Cameras	399,333.43
196743 - Summary					399,333.43
196744	Big Deal Burgers and Custard	100-0000-442.03-01		OVERPAYMENT	75.00
196744 - Summary					75.00
196745	BADGER MATERIALS RECYCLING, LLC	550-4233-535.41-09		november tires	382.20
196745 - Summary					382.20
196746	BARRICADE FLASHER SERVICE INC	100-4401-533.53-02		BARRICADE FLASHER LIGHTS	1,498.80
196746 - Summary					1,498.80
196747	BLUE RIBBON ORGANICS	540-1801-538.41-09		yard waste/residential	9,229.44
	BLUE RIBBON ORGANICS	540-1801-538.41-09		leaves	91,874.88
	BLUE RIBBON ORGANICS	550-4233-535.41-09		forestry brush/logs	12,480.72
196747 - Summary					113,585.04
196748	BOUND TREE MEDICAL LLC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 61	932.42
196748 - Summary					932.42
196749	BRAKE AND EQUIPMENT	100-4401-533.53-02		TARP CROSS BAR	136.20
	BRAKE AND EQUIPMENT	100-4501-533.53-02		EXHAUST ELBOWS	118.00
196749 - Summary					254.20
196750	BRENNAN EXTERIORS, LLC	397-0000-129.00-00		Roof Replacement	11,035.00
196750 - Summary					11,035.00
196751	BUILDING SERVICE INC	100-2201-522.44-05		ST 61 BLDG MAINTENANCE	450.00
	BUILDING SERVICE INC	100-2201-522.44-05		BLDG REPAIR/MAINTENANCE	2,079.00
196751 - Summary					2,529.00
196752	BUTTERS-FETTING CO INC	100-4101-533.44-08		CH-hvac-2 offices-repair	2,082.47
	BUTTERS-FETTING CO INC	100-4101-533.44-08		DPW-HVAC-exhaust fan	4,410.90
	BUTTERS-FETTING CO INC	100-4101-533.44-08		PD-HVAC air compressor	2,410.30
196752 - Summary					8,903.67
196753	CARE-PLUS DENTAL PLANS INC	100-0000-202.18-02		CarePlus Jan premium	0.00
196753 - Summary					0.00
196754	CASPER'S TRUCK EQUIPMENT INC	100-4401-533.53-02		HYDRAULIC MOTOR	2,530.44
196754 - Summary					2,530.44
196755	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86077357	26.39
	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86073180	55.98
196755 - Summary					82.37
196756	CENTER POINT LARGE PRINT	100-3502-555.52-27		INVOICE #2142541	60.00
196756 - Summary					60.00
196757	CERTAPRO PAINTERS	100-4101-533.44-08		PD Substation-ex painting	4,454.45
196757 - Summary					4,454.45

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Check#	Vendor	GL Account	Proj No	Description	Amount
196758	CINTAS FIRE PROTECTION	100-4101-533.32-04		Sen Ctr-2025 ann alarm	807.38
	CINTAS FIRE PROTECTION	100-4101-533.32-04		Library-25 sprinlr wet	554.10
	CINTAS FIRE PROTECTION	100-4101-533.32-04		PD-2025 ann alarm insp	1,126.37
	CINTAS FIRE PROTECTION	316-6606-563.31-02	T16010	McKinley-2025 ann extingu	80.92
196758 - Summary					2,568.77
196759	CITY OF WEST ALLIS	314-6606-563.41-02	T14010	8/31/24 to 11/30/24	739.54
196759 - Summary					739.54
196760	CITY OF WEST ALLIS	501-0000-449.09-00		Permits 17830 & 17832	540.00
	CITY OF WEST ALLIS	501-0000-449.09-00		Permits 17278 & 17279	540.00
196760 - Summary					1,080.00
196761	CIVICSMART PARKING TECHNOLOGIES INC	100-2101-521.32-01		elect tix support Jan	375.00
196761 - Summary					375.00
196762	COMMUNITY PLANNING & DEVELOPMENT	220-7521-563.30-02	C24101	FY24 Final Inv.	5,940.00
196762 - Summary					5,940.00
196763	CON-COR COMPANY INC	100-4401-533.53-02		BUFFER	24.00
	CON-COR COMPANY INC	100-4501-533.53-02		FUEL CAP	26.93
	CON-COR COMPANY INC	100-4501-533.53-02		PLUG, SPLINE SCREW	13.89
	CON-COR COMPANY INC	100-4501-533.53-02		ENGINE KIT,PIPE, DECOMPRES	492.75
196763 - Summary					557.57
196764	CORE AND MAIN	501-2707-537.53-02		8 x 6 MJ REDUCER USA	189.67
	CORE AND MAIN	501-2901-537.53-02		REPAIR CLAMPS	531.05
196764 - Summary					720.72
196765	COUNTY MATERIALS CORP	100-4401-533.53-02		JT SEAL	720.00
196765 - Summary					720.00
196766	CRESCENT ELECTRIC SUPPLY COMPANY	100-4118-531.53-02		hdpe couplings	440.06
196766 - Summary					440.06
196767	D & Z HOME IMPROVEMENT, LLC	220-7534-563.31-01	C23306	Garage Roof Replacement	3,800.00
196767 - Summary					3,800.00
196768	DASH MEDICAL GLOVES INC	100-2201-522.53-41		MEDICAL SUPPLES/ST 61	270.00
196768 - Summary					270.00
196769	DEAL RITE INC	100-4401-533.53-02		TARP	90.00
196769 - Summary					90.00
196770	DON'S AUTO BODY	100-2110-521.44-03		SQD 68 REPAIRS	4,745.79
196770 - Summary					4,745.79
196771	DOWNTOWN WEST ALLIS BID	100-8201-517.54-03		Winter Week Sponsorship	300.00
196771 - Summary					300.00
196772	DUNN'S SPORTING GOODS	100-4001-533.30-04		dpw tshirts	234.65
196772 - Summary					234.65
196773	EGOLDFAX	100-1101-517.30-13		egoldfac - december	107.48
196773 - Summary					107.48
196774	ELLIOTT'S ACE HARDWARE	100-2201-522.44-03		CLEAR LIGHT #4208	8.99
	ELLIOTT'S ACE HARDWARE	100-2201-522.44-05		REPAIR OUTSIDE SIGNAGE	47.67
	ELLIOTT'S ACE HARDWARE	100-2201-522.44-05		ADMIN OFFICES	27.23
	ELLIOTT'S ACE HARDWARE	100-2201-522.51-06		1 BOX SHOP TOWELS	15.29
	ELLIOTT'S ACE HARDWARE	100-2201-522.51-06		SOAP REFILLS - ST 62	77.38
	ELLIOTT'S ACE HARDWARE	100-4118-531.53-02		sen. center phone syst.	5.64
	ELLIOTT'S ACE HARDWARE	100-4501-533.53-02		Misc. Fasteners/Hardware	38.79
196774 - Summary					220.99
196775	EVOLVE CONSTRUCTION	220-7534-563.31-01	C23313	Bathroom Repairs	12,888.00
196775 - Summary					12,888.00
196776	EXPRESS ELEVATOR LLC	100-4101-533.32-04		Maint-elevators-Dec 2024	607.00
196776 - Summary					607.00
196777	F J A CHRISTIANSEN ROOFING CO INC	354-6051-517.31-01	BF0040	library roof	80,015.00
196777 - Summary					80,015.00
196778	FABICK	100-4401-533.53-02		OIL SAMPLE KITS	1,981.00
	FABICK	100-4501-533.52-01		CAT ET Sub. Renewal	2,500.00
	FABICK	100-4501-533.53-02		PULLEY	162.75
196778 - Summary					4,643.75
196779	FASTENAL COMPANY	100-4401-533.53-02		BATTERIES, PLOW BOLTS	99.19

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Check#	Vendor	GL Account	Proj No	Description	Amount
196779	FASTENAL COMPANY	100-4401-533.53-02		WASHERS, D CELL BATTERY	53.77
	FASTENAL COMPANY	100-4401-533.53-02		HEX BUSH	19.14
	FASTENAL COMPANY	100-4401-533.53-02		ROPE WIRE CLIP	6.69
	FASTENAL COMPANY	100-4401-533.53-02		HAND CLEANER	377.88
	FASTENAL COMPANY	100-4401-533.53-02		CABLE TIES	57.50
	FASTENAL COMPANY	100-4401-533.53-02		CAP SCREWS	127.93
	FASTENAL COMPANY	100-4401-533.53-02		NYLOCK NUT	33.79
	FASTENAL COMPANY	100-4401-533.53-02		3/8 NYLON FW	3.34
	FASTENAL COMPANY	100-4401-533.53-02		PIPE NIPPLE	3.29
196779 - Summary					782.52
196780	FEENEY, JAMES	100-3506-555.30-04		LIBRARY PROGRAM 2/22/25	100.00
196780 - Summary					100.00
196781	FERGUSON ENTERPRISES	100-0000-442.03-01		OVERPAYMENT	150.00
196781 - Summary					150.00
196782	FERGUSON ENTERPRISES #1550	501-2710-537.53-02		HOSE SEDIMENT BAGS	126.00
	FERGUSON ENTERPRISES #1550	501-2901-537.53-02		REPAIR CLAMP	426.32
196782 - Summary					552.32
196783	FLOCK SAFETY	100-2101-521.32-01		2025 flock renewal	67,500.00
196783 - Summary					67,500.00
196784	FORCE AMERICA INC	100-4401-533.53-02		TEMP/LEVEL SENSOR	251.99
196784 - Summary					251.99
196785	Gene Wagner Plumbing	100-0000-229.04-00		Plumbing Permit refund	1,196.40
196785 - Summary					1,196.40
196786	Gene Wagner Plumbing	100-0000-229.04-00		Plumbing Permit Refund	1,196.40
196786 - Summary					1,196.40
196787	Gene Wagner Plumbing	100-0000-229.04-00		Plumbing Permit refund	747.75
196787 - Summary					747.75
196788	GENERAL COMMUNICATIONS	100-2101-521.70-02		new sqd 27 set up	9,379.75
	GENERAL COMMUNICATIONS	100-2101-521.70-02		new sqd 11 set up	11,656.75
	GENERAL COMMUNICATIONS	100-2101-521.70-02		new sqd 49 set up	14,881.55
	GENERAL COMMUNICATIONS	100-2101-521.70-02		new sqd 60 set up	9,005.75
196788 - Summary					44,923.80
196789	GEOTEST INC	100-4601-533.30-02		Concrete test - Rogers	120.00
	GEOTEST INC	100-4601-533.30-02		Concrete test - Pierce	100.00
	GEOTEST INC	100-4601-533.30-02		Concrete test - 77th	450.00
	GEOTEST INC	100-4601-533.30-02		Concrete test - 118th	120.00
	GEOTEST INC	100-4601-533.30-02		Concrete test - Rainbow	100.00
	GEOTEST INC	100-4601-533.30-02		Concrete test - Walker	120.00
	GEOTEST INC	268-8614-517.30-02	NEWDPW	DPW Site Testing	26,016.76
196789 - Summary					27,026.76
196790	GOODYEAR COMMERCIAL TIRE & SERVICE	100-4401-533.53-02		RECAP TIRES	7,655.30
	GOODYEAR COMMERCIAL TIRE & SERVICE	100-4401-533.53-02		TIRES, RECONDITION RIMS	1,531.30
196790 - Summary					9,186.60
196791	GRAEF	100-4101-533.30-04		farmers market shelter	12,713.99
196791 - Summary					12,713.99
196792	GREATER MILWAUKEE FOUNDATION	204-0000-465.01-02		FRIENDS OF WAPL 12/16	227,000.00
196792 - Summary					227,000.00
196793	GREENFIELD POLICE DEPARTMENT	100-2101-521.30-04		forensic lab dues 2025	4,500.00
196793 - Summary					4,500.00
196794	HILLER FORD INC	100-2110-521.44-03		SQD 47 PARTS	151.45
	HILLER FORD INC	100-2110-521.44-03		SQUAD 31 PARTS	38.50
196794 - Summary					189.95
196795	HOLZ MOTORS INC	100-4501-533.53-02		GASKETS,SENSOR,INTAKE	1,239.71
	HOLZ MOTORS INC	100-4501-533.53-02		MANIFOLD	153.89
	HOLZ MOTORS INC	100-4501-533.53-02		CORE CREDIT	(100.00)
	HOLZ MOTORS INC	100-4501-533.53-02		SENSOR	107.49
	HOLZ MOTORS INC	100-4501-533.53-02		INTAKE COOLER	566.00
196795 - Summary					1,967.09
196796	HOMESTYLE CUSTOM UPHOLSTERY	100-4501-533.44-03		Recover 3 truck seats	903.00
196796 - Summary					903.00

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196797	HYDROTEX	100-4401-533.53-02		ACCULUBE 16 GAL	731.46
196797 - Summary					731.46
196798	IAED	100-2101-521.32-01		EMD Recertif-Blattner	110.00
196798 - Summary					110.00
196799	J.H. MEDINGER INC	100-2201-522.44-02		TOWER 62 ROOF SAW REPAIR	8.17
196799 - Summary					8.17
196800	JX PETERBILT -WAUKESHA	100-4401-533.53-02		CAT COOLANT	619.38
	JX PETERBILT -WAUKESHA	100-4401-533.53-02		MIRROR SWITCHES	375.52
	JX PETERBILT -WAUKESHA	100-4401-533.53-02		AIR CARTRIDGES	137.98
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		Fuel tank & core charge	2,063.98
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		CORE CREDIT	(507.99)
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		Parts core CREDIT	(1,435.98)
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		Fuel tank parts	1,288.32
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		OIL PRESSURE SENDER	89.55
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		Parts return CREDIT	(644.16)
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		FUEL LEVEL SENSOR	222.99
JX PETERBILT -WAUKESHA	100-4501-533.53-02		CALIPERS	3,327.41	
196800 - Summary					5,537.00
196801	KAESTNER AUTO ELECTRIC CO	100-4401-533.53-02		WING PLOW LIGHT	227.80
	KAESTNER AUTO ELECTRIC CO	100-4501-533.53-02		Warn. Light & Mount Brkts	4,468.00
	KAESTNER AUTO ELECTRIC CO	100-4501-533.53-02		DEUTCH PLUG AND TERMINALS	285.70
196801 - Summary					4,981.50
196802	KL ENGINEERING	354-6051-517.31-02	M2420M	Str Ltg design	1,975.00
	KL ENGINEERING	354-6051-517.31-02	M2420M	Str Lighting Const Ovrst	20,750.26
196802 - Summary					22,725.26
196803	KOSZALKA, MICHAEL	100-3506-555.51-09		CLAIRE DE ROCHEFORT 12/29	77.84
196803 - Summary					77.84
196804	LA PUB & GRILL	220-7526-563.31-69	C23507	Commercial Facade Prg	20,000.00
196804 - Summary					20,000.00
196805	LALONDE CONTRACTORS INC	540-1807-538.75-01	P2424R	89: Orchrld-Grnflld-Storm	3,822.00
196805 - Summary					3,822.00
196806	LANGE ENTERPRISES	100-4118-531.53-02		Labeling Material	1,140.45
196806 - Summary					1,140.45
196807	LUBECORE CENTRAL STATES, INC	100-4501-533.53-02		EP-0 GREASE PAIL	285.65
196807 - Summary					285.65
196808	Mary Morris-Braden	207-0601-544.64-05	SC0007	Holiday Party Supplies	94.16
196808 - Summary					94.16
196809	MACQUEEN EQUIPMENT	100-2201-522.53-27		OPERATIONAL SUPPLIES	1,083.60
	MACQUEEN EQUIPMENT	100-4501-533.53-02		Mirror	145.84
196809 - Summary					1,229.44
196810	MCCRIGHT & ASSOCIATES, LLC	222-7601-563.30-02		Rent Reasonableness Repor	31.80
196810 - Summary					31.80
196811	MEAD AND HUNT, INC	100-4001-533.30-04		gis storm response	1,395.00
196811 - Summary					1,395.00
196812	MIDWEST CERTIFIED TRAINING INC	997-9704-541.57-02		Smith Training 10-15-24	285.00
196812 - Summary					285.00
196813	MILWAUKEE BALLET COMPANY, INC	203-0701-555.64-05		LIBRARY PROGRAM 1/25/25	150.00
196813 - Summary					150.00
196814	MILWAUKEE CNTY REG OF DEEDS	224-7701-563.31-01	HM2410	Record Financial Docs	30.00
196814 - Summary					30.00
196815	MILWAUKEE COUNTY CLERK OF COURTS	100-0000-229.11-10		bail	1,600.00
	MILWAUKEE COUNTY CLERK OF COURTS	100-0000-229.11-10		BAIL	3,000.00
196815 - Summary					4,600.00
196816	MILWAUKEE LIGHT BULB DELIVERY	100-4401-533.53-02		100 WATT LIGHT BULBS	32.63
196816 - Summary					32.63
196817	MILWAUKEE RUBBER PRODUCTS, INC	100-4401-533.53-02		FEMALE COUPLER	180.00
196817 - Summary					180.00
196818	MODERN BLOOM	279-0701-555.51-09		WEST ALLIS LIBRARY 11/28	416.00
196818 - Summary					416.00

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196819	MOTOROLA SOLUTIONS INC	100-2101-521.44-04		mics	617.20
196819 - Summary					617.20
196820	NAPA AUTO PARTS- WEST ALLIS	100-2110-521.44-03		stock parts	582.11
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		GLOVES	499.50
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		HAND AND NAIL BRUSH	7.78
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		HYDRAULIC FITTINGS	658.87
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		RETURN CREDIT	(399.60)
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		FITTINGS	3.24
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		ROCKER SWITCH, ADAPTERS	57.24
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		ADAPTERS	32.48
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		BRAKE CLEANER	179.28
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		EXHAUST CLAMP KIT	62.69
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		YELLOW SPRAY PAINT	27.70
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		HEADLIGHTS	19.58
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		HYDRAULIC ADAPTERS	61.43
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		BLUE THREADLOCKER	19.99
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		SPARK PLUGS, HYD FITTINGS	220.96
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		Wiper blades/hyd fittings	277.52
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		NITRILE GLOVES	399.60
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		PART RETURNED FOR CREDIT	(13.24)
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		BRAKE LUBRICANT	16.99
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		FUEL PUMP ASSEMBLY	163.37
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		BRAKE PADS, RAD &HOSES	657.49
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		BATTERY & CORE	157.26
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		Auto greaser fittings	3.20
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		BELT	60.33
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		TAILGATE HANDLE AND BEZEL	32.64
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		TIRE MOUNTING LUBE	92.19
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		DOOR HINGE PIN KIT	33.56
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		Coolant hose	75.31
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		Part core CREDIT	(18.00)
196820 - Summary					3,971.47
196821	NATIONAL ELEVATOR INSPECTION SERVIC	100-4101-533.30-04		Library-elevator insp-lic	71.50
196821 - Summary					71.50
196822	NETWORK HEALTH ADMIN SERVICES, LLC	603-9130-517.21-83		FSP admin fee Dec	550.00
	NETWORK HEALTH ADMIN SERVICES, LLC	603-9130-517.21-83		FSP RET sep-nov sharesavi	13,930.13
	NETWORK HEALTH ADMIN SERVICES, LLC	603-9130-517.21-83		FSP Sep-Nov shared saving	32,570.90
	NETWORK HEALTH ADMIN SERVICES, LLC	603-9130-517.21-83		Retiree FSP admin fee Dec	225.00
196822 - Summary					47,276.03
196823	NEW BERLIN REDI-MIX	501-2707-537.53-08		9 bag #1 stone with air	1,925.00
	NEW BERLIN REDI-MIX	501-2707-537.53-08		#1 slurry 50/50	391.00
196823 - Summary					2,316.00
196824	OAK CREEK POLICE DEPARTMENT	100-0000-229.11-10		OAK CREEK PD BAIL	345.00
196824 - Summary					345.00
196825	Patricia Ortiz	100-0000-229.01-00		2024 W-MKE taxes	3,287.31
196825 - Summary					3,287.31
196826	PAGEFREEZER SOFTWARE, INC	100-8201-517.32-01		Software for Social Media	6,350.00
196826 - Summary					6,350.00
196827	PAYNE & DOLAN INC	501-2707-537.53-02		3/8 Chips	394.98
	PAYNE & DOLAN INC	501-2708-537.53-02		3/8 Chips	394.97
196827 - Summary					789.95
196828	POMP'S TIRE SERVICE INC	100-2110-521.53-03		squad tires	1,808.72
	POMP'S TIRE SERVICE INC	100-2201-522.44-03		TIRES #4134	606.08
	POMP'S TIRE SERVICE INC	100-4401-533.53-02		TIRES	1,054.34
196828 - Summary					3,469.14
196829	PORT-A-JOHN INC	263-5001-517.30-04		Xmas Parade Portas	350.00
196829 - Summary					350.00
196830	PROPHOENIX CORP	100-2101-521.32-01		2025 Mtce/supp renewal	77,454.63
	PROPHOENIX CORP	100-2201-522.32-01		2025 MAINTENACE RENEWAL	16,037.97
196830 - Summary					93,492.60
196831	PUBLIC SERVICE COMMISSION OF WI	501-2901-537.58-01		pump stn generator,rates	6,595.06

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196831	Summary				6,595.06
196832	R. S. PAINT & TOOLS LLC	100-4401-533.53-02		SLEDGE HAMMER	71.68
	R. S. PAINT & TOOLS LLC	100-4401-533.53-02		RED PRIMER	100.62
196832	Summary				172.30
196833	RACINE COUNTY SHERIFF'S D	100-0000-229.11-10		RACINE CO BAIL	185.00
196833	Summary				185.00
196834	RELIANCE STANDARD LIFE INSURANCE CO	100-0000-202.18-05		LTD January	6,024.81
196834	Summary				6,024.81
196835	RELIANT FIRE APPARATUS INC	100-2201-522.44-03		VALVE CONTROL/SCREEN	2,471.92
	RELIANT FIRE APPARATUS INC	100-2201-522.44-03		CLEAR LIGHT #4208	43.89
196835	Summary				2,515.81
196836	RENT A FLASH OF WISCONSIN INC	100-4101-533.53-02		type 2 barricades	2,100.80
196836	Summary				2,100.80
196837	RESOLUTE SYSTEMS INC	100-0302-516.30-05		CWA Tax Cases #6323016	875.00
196837	Summary				875.00
196838	RHYME BUSINESS PRODUCTS LLC	100-1101-517.30-13		Rhyme - November	7,890.16
196838	Summary				7,890.16
196839	RIVIERA LANES	100-8201-517.51-04		Employee Holiday Bowling	1,124.70
196839	Summary				1,124.70
196840	ROAD & CONSTRUCTION MATERIALS	100-4118-531.53-02		Electrical Spoils	80.00
	ROAD & CONSTRUCTION MATERIALS	100-4218-531.53-02		single axle load	80.00
	ROAD & CONSTRUCTION MATERIALS	501-2707-537.53-02		CleanFill:SingleAxle Load	600.00
	ROAD & CONSTRUCTION MATERIALS	501-2708-537.53-02		CleanFill:SingleAxle Load	600.00
	ROAD & CONSTRUCTION MATERIALS	540-1801-538.53-02		single axle load	80.00
196840	Summary				1,440.00
196841	ROBERT HALF TECHNOLOGY	100-1401-515.30-02		Wilson Temp Svcs 12/27/24	1,844.75
	ROBERT HALF TECHNOLOGY	100-1401-515.30-02		Wilson Temp Svcs 12/13/24	3,316.40
	ROBERT HALF TECHNOLOGY	100-1401-515.30-02		Wilson Temp Svcs 12/20/24	3,109.13
196841	Summary				8,270.28
196842	ROTO-ROOTER	501-2708-537.53-02		Residential Wtr Jetting	625.00
196842	Summary				625.00
196843	Schlossmann Honda City	100-0302-516.61-02	WA4301	Settle 1-/18/24 CWA Claim	1,053.78
196843	Summary				1,053.78
196844	SANOFI PASTEUR INC	997-9703-541.53-41		TB Supply	500.00
196844	Summary				500.00
196845	SEIBEL LAW OFFICES LLC	100-0302-516.30-05		WA Hotel Ventures v WA	125.00
	SEIBEL LAW OFFICES LLC	100-0302-516.30-05		Mobile Home Tax Cases	2,550.00
196845	Summary				2,675.00
196846	SOLIS, KENNETH	100-3506-555.30-04		LIBRARY PROGRAM 1/15/25	50.00
196846	Summary				50.00
196847	SPECTRUM	100-1101-517.41-06		Spectrum - Cable TV	24.52
196847	Summary				24.52
196848	SPEEDY METALS LLC	100-2201-522.44-02		BRACKETS FOR LUCAS	85.00
	SPEEDY METALS LLC	100-2201-522.44-03		ALUMINUM ANGLE #4208	80.00
	SPEEDY METALS LLC	100-4501-533.53-02		SHEET OF STEEL	332.50
	SPEEDY METALS LLC	100-4501-533.53-02		STEEL RECTANGULAR TUBE	529.94
	SPEEDY METALS LLC	100-4501-533.53-02		Steel	923.84
	SPEEDY METALS LLC	100-4501-533.53-02		STEEL TUBE	539.94
196848	Summary				2,491.22
196849	SPELLMAN TRAILERS INC	100-4401-533.53-02		CYLINDER BUSHING	75.76
196849	Summary				75.76
196850	STATE OF WISCONSIN	997-9701-541.51-09		Emergency Paper Stock	175.12
196850	Summary				175.12
196851	T-MOBILE USA, INC.	100-2101-521.30-04		CRIM INV TOOL	50.00
196851	Summary				50.00
196852	TAPCO	100-4501-533.53-02		Control power harness	114.25
196852	Summary				114.25
196853	TITAN PUBLIC SAFETY SOLUTIONS LLC	100-2101-521.32-01		tips annual supp/mtce	10,872.00

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196853	Summary				10,872.00
196854	TRI CITY NATIONAL BANK	100-0000-229.16-00		Dec 2024 Loan Payments	460.76
196854	Summary				460.76
196855	TRUCK COUNTRY	100-4401-533.53-02		CRANKCASE VENT FILTER	169.68
	TRUCK COUNTRY	100-4501-533.53-02		Washer nozzles	28.96
	TRUCK COUNTRY	100-4501-533.53-02		Parts core CREDITS	(523.08)
	TRUCK COUNTRY	100-4501-533.53-02		DOOR JAMB SWITCH	10.90
	TRUCK COUNTRY	100-4501-533.53-02		SEAT AIR SPRING KIT	89.95
	TRUCK COUNTRY	100-4501-533.53-02		Misc. repair parts	860.48
	TRUCK COUNTRY	100-4501-533.53-02		GASKET,BOLTS, WATER TUBE	133.61
	TRUCK COUNTRY	100-4501-533.53-02		DEF COOLANT TUBE ASSY	335.07
196855	Summary				1,105.57
196856	ULINE	501-2901-537.51-01		Shipping & Handling	19.23
	ULINE	501-2901-537.51-09		TYCHEM COVERALL, X-4X	256.00
196856	Summary				275.23
196857	UNEMPLOYMENT INSURANCE	100-1301-517.29-02	WA4301	Dec 2024 Forestry	3,157.85
196857	Summary				3,157.85
196858	UNIFIRST CORPORATION	100-4101-533.53-02		Mats and mops 12/26	10.62
196858	Summary				10.62
196859	UPI LLC	350-6008-531.31-01	P2322S	59: Mobile-Beloit Streets	51.84
	UPI LLC	350-6008-531.31-01	P2323S	61: National-Mineral Stre	10,580.66
	UPI LLC	501-2901-537.75-01	P2323H	61: National-Mineral Wate	18,272.00
	UPI LLC	510-3803-536.75-01	P2323N	61: National-Mineral Sani	5,232.00
	UPI LLC	540-1807-538.75-01	P2323R	61: National-Mineral Stor	9,727.50
196859	Summary				43,864.00
196860	USI INSURANCE SERVICES, LLC	602-9101-517.30-02		Group Benefit Fee 7 of 12	5,579.16
196860	Summary				5,579.16
196861	VECTOR SOLUTIONS	100-2201-522.32-01		2025 ANNUAL RENEWAL	7,386.80
196861	Summary				7,386.80
196862	VEOLIA	100-4118-531.53-02		recycle old bulbs	11,121.58
196862	Summary				11,121.58
196863	VERIZON WIRELESS	100-1401-515.41-06		November Verizon	14,495.75
196863	Summary				14,495.75
196864	VERMEER-WISCONSIN INC	100-4401-533.53-02		Chipper fuel filters	136.46
	VERMEER-WISCONSIN INC	100-4501-533.53-02		ANTI-SKID TAPE	51.38
	VERMEER-WISCONSIN INC	100-4501-533.53-02		Breakaway switch	35.83
	VERMEER-WISCONSIN INC	354-6051-517.31-02	M2420M	horizontal drill parts	53.49
196864	Summary				277.16
196865	VISU-SEWER INC	510-3803-536.75-01	P2342N	Sanitary Lining& Grouting	68,842.89
196865	Summary				68,842.89
196866	VON BRIESEN & ROPER S.C.	100-1301-517.30-02		Matter 006664-00006	759.00
196866	Summary				759.00
196867	Wolverine Construction	501-0000-229.03-00		HYD-24-21 refund C21410	1,500.00
196867	Summary				1,500.00
196868	WAWM RECREATION DEPT	220-7522-563.31-80	C24214	6/1 TO 10/31/24	10,000.00
	WAWM RECREATION DEPT	263-5001-517.30-04		Xmas Parade Shuttle Bus	520.00
196868	Summary				10,520.00
196869	WASTEBUILT	100-4401-533.53-02		Packer panel cylinder	1,027.77
196869	Summary				1,027.77
196870	WAUSAU EQUIPMENT COMPANY INC	100-4401-533.53-02		PARKING PIN STAND	266.32
196870	Summary				266.32
196871	WDJT TELEVISION STUDIO	241-8690-542.54-03	H99102	Billboard Campaign	4,660.00
196871	Summary				4,660.00
196872	WEDIGE RADIATOR & AC, INC	100-4501-533.53-02		INTAKE CLEANING	273.34
	WEDIGE RADIATOR & AC, INC	100-4501-533.53-02		Clean parts	260.00
196872	Summary				533.34
196873	WELLNESS EMPOWERED LLC	100-3506-555.30-04		LIBRARY PROGRAM 1/8/25	50.00
196873	Summary				50.00
196874	WINTER EQUIPMENT	100-4401-533.53-02		PLOW MARKER	380.15

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Check#	Vendor	GL Account	Proj No	Description	Amount
196874	Summary				380.15
196875	WIS DEPARTMENT OF ADMINISTRATION	100-0000-445.01-00		Q4 Vital Records	24,860.00
196875	Summary				24,860.00
196876	WIS DEPT OF FINANCIAL INSTITUTIONS	100-2101-521.30-04		RENEW NOTARY	20.00
196876	Summary				20.00
196877	WISCONSIN LIFTING SPECIALISTS INC	100-4401-533.53-02		HOOKS, BINDERS	1,340.40
	WISCONSIN LIFTING SPECIALISTS INC	100-4501-533.53-02		CHAIN	96.94
196877	Summary				1,437.34
196878	WISCONSIN STATE FAIR PARK	263-5001-517.30-04		WSFP xmparade incidentals	327.00
196878	Summary				327.00
196879	WMLW	241-8690-542.54-03	H99102	Billboard Campaign	3,930.00
196879	Summary				3,930.00
196880	WYTU - TELEMUNDO	241-8690-542.54-03	H99102	Billboard Campaign	4,300.00
196880	Summary				4,300.00
196881	ZIGNEGO READY MIX INC	501-2707-537.53-02		Base Course 1.25/Ton	465.38
	ZIGNEGO READY MIX INC	501-2707-537.53-02		BASE COURSE 1.25	215.69
	ZIGNEGO READY MIX INC	501-2707-537.53-08		1.25 base course	131.33
	ZIGNEGO READY MIX INC	501-2708-537.53-02		Base Course 1.25/Ton	465.38
	ZIGNEGO READY MIX INC	501-2708-537.53-02		BASE COURSE 1.25	215.69
196881	Summary				1,493.47
196882	ZOLL MEDICAL CORPORATION	100-2201-522.53-41		MEDICAL SUPPLIES/ST 62	526.26
196882	Summary				526.26
196883	80 West Allis, LLC	100-0000-229.04-00		CB Refund 4-14-2005	1,000.00
196883	Summary				1,000.00
196884	ADVANCED REAL ESTATE MGMT LLC	100-0000-229.01-00		Overapid Tax 4489982000	6,329.58
196884	Summary				6,329.58
196885	AMY RAMMINGER	100-0000-229.01-00		Overpaid Tax 4440097000	280.22
196885	Summary				280.22
196886	ANDREW LAUBY	100-0000-229.01-00		Overpaid Tax 4500300000	284.40
196886	Summary				284.40
196887	ANNETTE KLECZKA	100-0000-229.01-00		Overpaid Tax 4530495000	66.51
196887	Summary				66.51
196888	BALD & BOMBACK PARTNERSHIP	100-0000-229.01-00		Overpaid Tax 4390128000	2,813.27
196888	Summary				2,813.27
196889	BC MANAGEMENT, LLC	100-0000-229.01-00		Overpaid Tax 5209959000	319.02
196889	Summary				319.02
196890	BRAXTON SANTOLINO	100-0000-229.01-00		Overpaid Tax 4790224000	4,706.37
196890	Summary				4,706.37
196891	BRIAN THOMPSON	100-0000-229.01-00		Overpaid Tax 4790655001	281.58
196891	Summary				281.58
196892	CHARMAYNE HELANN LEMANSKI	100-0000-229.01-00		Overpaid Tax 4879972010	138.10
196892	Summary				138.10
196893	CITY OF WEST ALLIS	100-0000-229.01-00		Overpaid Tax various	0.70
196893	Summary				0.70
196894	COOK SPECIALTY CO., INC	100-0000-229.01-00		Overpaid Tax 4530117000	1,324.28
196894	Summary				1,324.28
196895	COOK SPECIALTY CO., INC	100-0000-229.01-00		Overpaid Tax 4789993001	2,937.21
196895	Summary				2,937.21
196896	DEANNA WALIMAKI	100-0000-229.01-00		Overpaid Tax 4880274000	247.58
196896	Summary				247.58
196897	DEVIN SCHUCKERT	100-0000-229.01-00		Overpaid Tax 4450474000	228.76
196897	Summary				228.76
196898	DONALD FALK	100-0000-229.01-00		Overpaid Tax 4400314000	3,655.93
196898	Summary				3,655.93
196899	FOCUS TITLE LLC	100-0000-229.01-00		Overpaid Tax 5190350001	1,465.94
196899	Summary				1,465.94
196900	FRANCES BRAAM	100-0000-229.01-00		Overpaid Tax 4880434000	46.09

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Check#	Vendor	GL Account	Proj No	Description	Amount
196900	Summary				46.09
196901	GUY PASZKOWSKI	100-0000-229.01-00		Overpaid Tax 5150017000	39.32
196901	Summary				39.32
196902	JAMES BARNES	100-0000-229.01-00		Overpaid Tax 4870281000	116.43
196902	Summary				116.43
196903	JANET JONIETZ	100-0000-229.01-00		Overpaid Tax 4910035000	56.28
196903	Summary				56.28
196904	JASON & JOAN SCHWARTZ REV TRUST	100-0000-229.01-00		Overpaid Tax 4790706000	565.87
196904	Summary				565.87
196905	JEFFREY CLARK	100-0000-229.01-00		Overpaid Tax 4900443000	145.98
196905	Summary				145.98
196906	JOAN SLICKER	100-0000-229.01-00		Overpaid Tax 4870056000	166.49
196906	Summary				166.49
196907	JOHN HOUCK	100-0000-229.01-00		Overpaid Tax 4500073000	28.46
196907	Summary				28.46
196908	JOHN SAUX	100-0000-229.01-00		Overpaid Tax 4500052000	278.92
196908	Summary				278.92
196909	JOSEPH & TAMMY BENVENUTO JR TRUST	100-0000-229.01-00		Overpaid Tax 4420234001	67.17
196909	Summary				67.17
196910	KATHLEEN FARRIS	100-0000-229.01-00		Overpaid Tax 4900135000	69.38
196910	Summary				69.38
196911	KENNETH BAUM	100-0000-229.01-00		Overpaid Tax 4390063000	293.02
196911	Summary				293.02
196912	KOWALSKY JOINT REVOC TRUST	100-0000-229.01-00		Overpaid Tax 4880426000	276.14
196912	Summary				276.14
196913	LANDMARK CREDIT UNION - ATTN: MORTG	100-0000-229.01-00		Overpaid Tax 4530837000	1,012.82
196913	Summary				1,012.82
196914	LANDMARK CREDIT UNION - ATTN: MORTG	100-0000-229.01-00		Overpaid Tax 4830040000	1,397.15
196914	Summary				1,397.15
196915	LARRY KENNEDY	100-0000-229.01-00		Overpaid Tax 5169994014	279.78
196915	Summary				279.78
196916	LEFTY BURGOS ALBARRAN	100-0000-229.01-00		Overpaid Tax 5160206000	368.84
196916	Summary				368.84
196917	LEUROCK HOLDINGS, LLC	100-0000-229.01-00		Overpaid Tax 5219939003	1,540.69
196917	Summary				1,540.69
196918	LUS FLORES	100-0000-229.01-00		Overpaid Tax 4540319000	96.78
196918	Summary				96.78
196919	LYDIA LOPEZ	100-0000-229.01-00		Overpaid Tax 4450405000	486.49
196919	Summary				486.49
196920	LYNN MESA	100-0000-229.01-00		Overpaid Tax 4740328000	125.11
196920	Summary				125.11
196921	MANINDER GHUMAN	100-0000-229.01-00		Overpaid Tax 4780530000	37.63
196921	Summary				37.63
196922	MARY ELIZABETH TOPF	100-0000-229.01-00		Overpaid Tax 4500269001	539.69
196922	Summary				539.69
196923	MARY ZICK	100-0000-229.01-00		Overpaid Tax 4440493000	58.86
196923	Summary				58.86
196924	MERIT TITLE LLC	100-0000-229.01-00		Overpaid Tax 4760241000	261.61
196924	Summary				261.61
196925	MICHAEL KALMANSON	100-0000-229.01-00		Overpaid Tax 5180456001	135.66
196925	Summary				135.66
196926	MICHAEL KARFONTA	100-0000-229.01-00		Overpaid Tax 5230132000	521.51
196926	Summary				521.51
196927	MICHAEL NYMAN	100-0000-229.01-00		Overpaid Tax 5249963000	170.16
196927	Summary				170.16
196928	MILENA VRANJES	100-0000-229.01-00		Overpaid Tax 4420487000	374.60

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Check#	Vendor	GL Account	Proj No	Description	Amount
196928	Summary				374.60
196929	NICHOLAS LUCHT	100-0000-229.01-00		Overpaid Tax 4450478000	314.06
196929	Summary				314.06
196930	PAUL MITCH, LLC	100-0000-229.01-00		Overpaid Tax 5200010001	3,798.49
196930	Summary				3,798.49
196931	RALPH MICHELS	100-0000-229.01-00		Overapid Tax 4900446000	189.90
196931	Summary				189.90
196932	RANDOLPH BUCK	100-0000-229.01-00		Overpaid Tax 4530963001	36.47
196932	Summary				36.47
196933	RHONDA JONES	100-0000-229.01-00		Overpaid Tax 4510054000	2,260.89
196933	Summary				2,260.89
196934	RICHARD ZUELKE	100-0000-229.01-00		Overpaid Tax 5220289000	20.00
196934	Summary				20.00
196935	RICK LEITEL	100-0000-229.01-00		Overpaid Tax 5220064000	376.25
196935	Summary				376.25
196936	SANDRA OESTERLE	100-0000-229.01-00		Overpaid Tax 4540369000	69.57
196936	Summary				69.57
196937	SHARON NEUMAN	100-0000-229.01-00		Overpaid Tax 4890175000	346.64
196937	Summary				346.64
196938	SHERRY JOSSART	100-0000-229.01-00		Overpaid Tax 4420387000	322.88
196938	Summary				322.88
196939	STEPHEN ADAMCZYK	100-0000-229.01-00		Overpaid Tax 4860178001	1.00
196939	Summary				1.00
196940	TARLOK BHATIA	100-0000-229.01-00		Overpaid Tax 4770174000	15.05
196940	Summary				15.05
196941	TIMBER HOLDINGS LLC	100-0000-229.01-00		Overpaid Tax 4409003000	2,297.23
196941	Summary				2,297.23
196942	WATERSTONE BANK, SSB	100-0000-229.01-00		Overpaid Tax 4420580000	16.38
196942	Summary				16.38
196943	WATERSTONE BANK, SSB	100-0000-229.01-00		Overpaid Tax 4400008000	272.41
196943	Summary				272.41
196944	ZENAIDA DANIELSON	100-0000-229.01-00		Overpaid Tax 5190225000	377.80
196944	Summary				377.80
01/10/2025 - Summary					2,131,193.45

Payment Date: 01/15/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38477	BEANS BEANS LLC	226-7605-563.43-08		HAPRENT-1-25	709.00
38477	Summary				709.00
38478	BELOIT ROAD SENIOR APARTMENTS LLC	223-7602-563.43-07		HAPRENT-1-25	758.00
38478	Summary				758.00
38479	CORNERSTONE MANAGEMENT ASSOC	226-7605-563.43-08		HAPRENT-1-25	1,133.00
38479	Summary				1,133.00
38480	HOUSING & REDEVELOPMENT AUTHORITY	222-7601-563.30-04		AFRENT-1-25	92.63
	HOUSING & REDEVELOPMENT AUTHORITY	223-7602-563.43-05		HAPRENT-1-25	1,017.00
38480	Summary				1,109.63
38481	LINCOLN CREST APARTMENTS	223-7602-563.43-03		HAPRENT-1-25	27.00
38481	Summary				27.00
38482	METROPOLITAN ASSOCIATES	223-7602-563.43-03		HAPRENT-1-25	804.00
38482	Summary				804.00
38483	THE BERKSHIRE-WEST ALLIS	223-7602-563.43-03		HAPRENT-1-25	1,075.00
38483	Summary				1,075.00
01/15/2025 - Summary					5,615.63

Payment Date: 01/23/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38485	ALBRECHT, SCOTT	255-8101-521.56-03	I24534	Mileage	948.72

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Check#	Vendor	GL Account	Proj No	Description	Amount
38485 - Summary					948.72
38486	BACON, CHRISTOPHER	100-4101-533.58-01		bacon cdl	57.00
38486 - Summary					57.00
38487	BAILEY, KENT	255-8101-521.56-03	I23535	Mileage	688.09
38487 - Summary					688.09
38488	BOBCAT PLUS INC	100-4401-533.53-02		RETURN CREDIT	(316.44)
	BOBCAT PLUS INC	100-4401-533.53-02		HYD FLUID	236.00
	BOBCAT PLUS INC	100-4401-533.53-02		BOBCAT FILTERS	706.78
	BOBCAT PLUS INC	100-4501-533.53-02		WIPER BLADES	88.68
38488 - Summary					715.02
38489	BROOKS, MELANIE	997-9703-541.56-01		Mileage Q4 2024	54.94
38489 - Summary					54.94
38490	CLARK, CHARLES	100-2101-521.51-09		reimbrse challenge coins	173.06
38490 - Summary					173.06
38491	COREY OIL LTD	100-4401-533.53-02		RV ANTIFREEZE	311.10
	COREY OIL LTD	100-4401-533.53-02		DIESEL BIO KLEEN	2,013.60
	COREY OIL LTD	100-4501-533.53-02		DEF FLUID	695.45
38491 - Summary					3,020.15
38492	EDWARD H. WOLF & SONS, INC.	100-4501-533.53-01		Unleaded and Diesel Fuel	19,641.91
38492 - Summary					19,641.91
38493	FUEL SYSTEMS INC	100-4401-533.53-02		HYDRAULIC FILTER	107.16
	FUEL SYSTEMS INC	100-4401-533.53-02		COOLANT FILTER	26.20
	FUEL SYSTEMS INC	100-4401-533.53-02		FILTERS	262.30
38493 - Summary					395.66
38494	GOETTMANN, AMY	997-9704-541.56-01		Q4 Mileage 2024	79.32
38494 - Summary					79.32
38495	GRAINGER	100-4401-533.53-02		BALL VALVE,STEP DRILL	98.72
	GRAINGER	100-4401-533.53-02		FILTER	31.78
	GRAINGER	100-4401-533.53-02		WIRE WHEEL, ANCHOR SHACKL	110.42
	GRAINGER	100-4401-533.53-02		UNDERCOATING, DRILL BITS	134.69
	GRAINGER	100-4501-533.53-02		VACUUM FILTER	17.23
	GRAINGER	100-4501-533.53-02		3 WAY BALL VALVE	101.55
	GRAINGER	100-4501-533.53-02		BALL VALVE	33.13
38495 - Summary					527.52
38496	GREAT LAKES SALT COMPANY	100-4218-531.53-02		Regular Brine	947.46
	GREAT LAKES SALT COMPANY	100-4218-531.53-02		Regular brine	3,636.02
38496 - Summary					4,583.48
38497	HUMPHREY SERVICE PARTS INC	100-4401-533.53-02		PIGGY BACK BRAKE CHAMBER	131.10
	HUMPHREY SERVICE PARTS INC	100-4401-533.53-02		90 SWIVEL, BRAKE CHAMBER	78.03
38497 - Summary					209.13
38498	KOS, LEO	100-1301-517.60-02		Leos Shoes	137.67
38498 - Summary					137.67
38499	LEISCHOW, ROBERT	997-9701-541.56-01		Q4 2024 Mileage	73.36
38499 - Summary					73.36
38500	LINCOLN CONTRACTORS SUPPLY INC	100-4401-533.53-02		FUEL FILTER	13.00
	LINCOLN CONTRACTORS SUPPLY INC	100-4401-533.53-02		FUEL FILTERS	26.00
38500 - Summary					39.00
38501	LOCAL 342	100-0000-202.08-00		PAYROLL SUMMARY	7,864.56
38501 - Summary					7,864.56
38502	LOCAL 342 - CONDUIT FUND	100-0000-202.08-00		PAYROLL SUMMARY	430.00
38502 - Summary					430.00
38503	MARSZALKOWSKI, REBECCA	242-9601-542.56-01	SW2406	Q4 Mileage	5.63
	MARSZALKOWSKI, REBECCA	242-9601-542.56-01	SW2468	Q4 Mileage	8.17
	MARSZALKOWSKI, REBECCA	242-9601-542.56-01	SW2522	Q4 Mileage	0.40
	MARSZALKOWSKI, REBECCA	997-9702-541.56-01		Q4 Mileage	8.31
38503 - Summary					22.51
38504	MENARDS - WEST ALLIS	100-4118-531.53-02		fire2 cord reel relo	5.96
38504 - Summary					5.96
38505	PACKERLAND RENT A MAT INC	255-8101-521.30-04	I24534	Mats	180.08

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Check#	Vendor	GL Account	Proj No	Description	Amount
38505 - Summary					180.08
38506	PEARSON, EMILY	242-9601-542.56-01	SW2404	Q4 2024 Mileage	25.46
38506 - Summary					25.46
38507	PFAFF, RICHARD	100-1301-517.25-01		Adv. Interviewing-Carroll	1,000.00
38507 - Summary					1,000.00
38508	ROMERO, YOLANDA	997-9701-541.56-01		Q4 2024 Mileage	8.04
38508 - Summary					8.04
38509	SARDINA, VINCENT	100-1301-517.60-02		DPW Safety Shoe Reimb.	150.00
38509 - Summary					150.00
38510	SCHWARTZ, DAN	100-1301-517.60-02		Dans Shoes	144.02
38510 - Summary					144.02
38511	SIBILSKI, CHARLES	100-4218-531.58-01		sibilski clp	30.00
38511 - Summary					30.00
38512	SKELTON, BRENNA	255-8101-521.56-03	I24538	Mileage	163.48
38512 - Summary					163.48
38513	SUTTON, KATHERINE	997-9703-541.56-01		Jan-Dec Mileage 24	109.55
38513 - Summary					109.55
38514	VJS CONSTRUCTION SERVICES	268-8616-537.75-01	NEWDPW	Progress Payment 7	1,454.02
	VJS CONSTRUCTION SERVICES	354-0000-206.00-00	NEWDPW	Progress Payment 7-Retain	(217,256.19)
	VJS CONSTRUCTION SERVICES	354-6052-533.31-01	NEWDPW	Progress Payment 7	4,343,669.96
38514 - Summary					4,127,867.79
38515	WAWM FAMILY RESOURCE CENTER	220-7522-563.31-80	C24216	09-01-24 to 12-30-24	8,716.17
38515 - Summary					8,716.17
38516	WASTE MANAGEMENT	540-1801-538.41-09		DEC 2024 Sweepings	4,910.47
	WASTE MANAGEMENT	550-4233-535.41-09		DEC 2024 Refuse	100,532.71
38516 - Summary					105,443.18
38517	WE ENERGIES	100-2110-521.41-04		Dec substation elec	539.48
	WE ENERGIES	100-2110-521.41-05		Dec substation gas	491.09
	WE ENERGIES	100-2201-522.41-05		7300 W National Ave. Gas	1,652.04
	WE ENERGIES	100-2201-522.41-05		2040 S 67 Gas	2,320.72
	WE ENERGIES	100-3401-544.41-04		7001 W National Ave. Elec	1,142.35
	WE ENERGIES	100-3401-544.41-05		7001 W Natl Gas	921.96
	WE ENERGIES	100-3507-555.41-04		7421 W National Ave Elec	96.43
	WE ENERGIES	100-3507-555.41-05		7421 W National Ave. Gas	2,172.55
	WE ENERGIES	100-4101-533.41-04		1530 S 62 St Elec	1,166.23
	WE ENERGIES	100-4101-533.41-04		9651 W Lapham St	30.96
	WE ENERGIES	100-4101-533.41-04		1000 S 72 St Elec	121.51
	WE ENERGIES	100-4101-533.41-04		1718 S 84 St Elec	310.12
	WE ENERGIES	100-4101-533.41-04		6300 W McGeoch Elec	89.94
	WE ENERGIES	100-4101-533.41-04		Burnham St Elec	40.89
	WE ENERGIES	100-4101-533.41-04		1647 S 76 St Elec	23.95
	WE ENERGIES	100-4101-533.41-04		1631 S 96 St Elec	64.34
	WE ENERGIES	100-4101-533.41-04		7525 W Greenfield Ave Ele	3,945.40
	WE ENERGIES	100-4101-533.41-05		7525 W Greenfield Ave Gas	3,857.23
	WE ENERGIES	100-4101-533.41-05		6200 W Beloit Rd Gas	10.80
	WE ENERGIES	100-4101-533.41-05		6300 W McGeoch Gas	6,757.67
	WE ENERGIES	100-4101-533.41-05		1000 S 72 St Gas	304.04
	WE ENERGIES	100-4118-531.41-04		1490 S 85 St Elec	202.01
	WE ENERGIES	100-4118-531.41-04		702 S 104 St Elec	591.67
	WE ENERGIES	100-4118-531.41-04		5822 W Lapham St Elec	316.09
	WE ENERGIES	100-4118-531.41-04		Group Bill Elec	42,079.91
	WE ENERGIES	100-4118-531.41-04		1425 S 71 St Elec	28.51
	WE ENERGIES	100-4118-531.41-04		9621 W Lapham St	493.64
	WE ENERGIES	100-4118-531.41-04		1422 S 73 St Elec	77.86
	WE ENERGIES	100-4118-531.41-04		2700 S 84 St Elec	92.58
	WE ENERGIES	100-4118-531.41-04		720 S 92 St Elec	147.25
	WE ENERGIES	100-4118-531.41-04		6991 W Orchard St Elec	37.15
	WE ENERGIES	100-4118-531.41-04		1426 S 74 St Elec	22.81
	WE ENERGIES	100-4118-531.41-04		6133 W Mitchell St Elec	231.77
WE ENERGIES	100-4118-531.41-04		76th and National Elec	285.49	
WE ENERGIES	100-4118-531.41-04		3211 S 106 St Elec	119.22	
WE ENERGIES	100-4118-531.41-04		57th and Mineral	350.78	

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Check#	Vendor	GL Account	Proj No	Description	Amount
38517	WE ENERGIES	100-4118-531.41-04		1113 S 92 St Elec	545.98
	WE ENERGIES	258-3102-565.41-04		6424 W Greenfield Ave.	32.00
	WE ENERGIES	501-2601-537.41-04		Water Group Bill	13,369.27
	WE ENERGIES	510-3801-536.41-04		7012 W Burnham St. Elec	28.36
38517 - Summary					85,112.05
38518	WEST ALLIS PROFESSIONAL POLICE	100-0000-202.08-00		PAYROLL SUMMARY	2,588.00
38518 - Summary					2,588.00
196945	ADORAMA	214-0801-521.64-05		drone equipment	8,829.66
196945 - Summary					8,829.66
196946	ADORAMA INC	214-0801-521.64-05		drone equipment	6,518.48
196946 - Summary					6,518.48
196947	AFLAC	100-0000-202.14-01		PAYROLL SUMMARY	54.77
196947 - Summary					54.77
196948	AIRGAS USA LLC	100-2201-522.53-41		CYLINDER RENTALS	130.20
196948 - Summary					130.20
196949	ALSTAR COMPANY	100-4401-533.53-02		GROUP 31 BATTERIES	1,558.70
196949 - Summary					1,558.70
196950	AMERICAN HYDRAULICS INC	100-4401-533.53-02		PLOW CYLINDER REBUILD	2,841.00
196950 - Summary					2,841.00
196951	AMERICAN TREE EXPERTS INC	100-4301-533.30-04		pruning contract	24,850.00
196951 - Summary					24,850.00
196952	ANTAEUS LLC	100-2501-515.30-04		DEC ANTAEUS INV	300.00
196952 - Summary					300.00
196953	ARMORSOURCE, LLC	214-0801-521.64-05		helmets	1,639.17
196953 - Summary					1,639.17
196954	AT & T MOBILITY	255-8101-521.30-04	I23549	Internet	296.52
196954 - Summary					296.52
196955	AT&T	255-8101-521.30-04	I23549	Phone	1,521.64
196955 - Summary					1,521.64
196956	AT&T	100-2101-521.32-01		December wireless 911	621.60
196956 - Summary					621.60
196957	AURORA EAP	602-9101-517.30-04		EAP Dec-Feb 2024	3,134.04
196957 - Summary					3,134.04
196958	AURORA MEDICAL GROUP	100-1301-517.30-04		Audiometry	952.00
	AURORA MEDICAL GROUP	100-1301-517.30-04		Drug Screens - DPW	2,116.00
	AURORA MEDICAL GROUP	100-1301-517.30-04		Respiratory - Fire	27.00
196958 - Summary					3,095.00
196959	AYRES ASSOCIATES	314-6606-563.30-02	T14010	6771 W Mitchell Lot	2,500.00
196959 - Summary					2,500.00
196960	BEYOND VISION, INC	100-1502-514.30-04		Tax Call Coverage	5,230.00
196960 - Summary					5,230.00
196961	BOUND TREE MEDICAL LLC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 63	762.93
	BOUND TREE MEDICAL LLC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 61	2,237.54
	BOUND TREE MEDICAL LLC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 62	1,647.71
196961 - Summary					4,648.18
196962	BRO-TEX INC	100-4401-533.53-02		SCRIM TOWELS	1,375.05
196962 - Summary					1,375.05
196963	BUILDING SERVICE INC	268-8612-542.31-01	BF0042	PARTIAL PAYMENT/DORMS	216,688.00
196963 - Summary					216,688.00
196964	BUTTERS-FETTING CO INC	100-4101-533.44-08		PD-HVAC-boilers	1,004.18
	BUTTERS-FETTING CO INC	100-4101-533.44-08		DPW-lube rack HVAC	292.84
	BUTTERS-FETTING CO INC	100-4101-533.44-08		DPW-HVAC repair	292.84
196964 - Summary					1,589.86
196965	CARE-PLUS DENTAL PLANS INC	100-0000-202.18-02		CarePlus Jan premium	18,295.89
196965 - Summary					18,295.89
196966	CASPER'S TRUCK EQUIPMENT INC	352-4301-533.70-03		F-450 dump truck	21,334.00
196966 - Summary					21,334.00
196967	CAVENDISH SQUARE	100-3502-555.52-48		INVOICE #CAL350160I	186.03

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Check#	Vendor	GL Account	Proj No	Description	Amount
196967	Summary				186.03
196968	CDW-G	354-6053-523.31-01		computer equip for ALPRS	5,649.82
196968	Summary				5,649.82
196969	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86190753	27.99
	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86149226	126.36
	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86150262	23.19
	CENGAGE LEARNING INC	100-3502-555.52-27		INVOICE #86172523	56.78
196969	Summary				234.32
196970	CHARTER COMMUNICATIONS	255-8101-521.30-04	I23549	Internet	199.97
196970	Summary				199.97
196971	CHARTER COMMUNICATIONS	100-1101-517.41-06		Spectrum Phone - Dec	916.66
196971	Summary				916.66
196972	CINTAS FIRE PROTECTION	316-6606-563.31-02	T16010	McKinley 2025 monitoring	809.84
196972	Summary				809.84
196973	CITY OF WEST ALLIS	100-0000-202.07-00		PAYROLL SUMMARY	54.00
196973	Summary				54.00
196974	CNC 868 Corp	100-0000-425.01-00		Overpayment- Refund	70.00
196974	Summary				70.00
196975	COLEMAN TOOL & MANUFACTURING CORP	100-4401-533.53-02		PACKER LOWER PANEL	3,818.00
196975	Summary				3,818.00
196976	COMPRISE TECHNOLOGIES INC	100-3501-555.70-01		Credit card terminals	3,150.00
196976	Summary				3,150.00
196977	CVMIC	100-1001-513.61-01		CVMIC Annual insurance	353,227.92
	CVMIC	605-5212-517.61-01		CVMIC WC TPA Qrtly Fee	4,550.00
	CVMIC	605-5212-517.61-01		CVMIC Excess WC Coverage	92,919.00
196977	Summary				450,696.92
196978	DAKOTA COUNTY SHERIFF'S OFFICE	255-8101-521.56-03	I24548	MSANI training	449.56
	DAKOTA COUNTY SHERIFF'S OFFICE	255-8101-521.56-03	I24548	Gladiator training	3,234.80
196978	Summary				3,684.36
196979	DIVERSIFIED BENEFIT SERVICES, INC	100-5219-517.21-15		HRA fees	215.00
196979	Summary				215.00
196980	DON'S AUTO BODY	100-2110-521.44-03		repair squad	194.80
196980	Summary				194.80
196981	DWD-UI	605-5212-517.30-04		FY2025 DWD Fees	3,020.14
196981	Summary				3,020.14
196982	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		sqd parts	(75.00)
	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		credit didnt receive	(13.22)
	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		k9 49 squad parts	468.23
	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		credit on sqd parts	(216.91)
	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		stock parts	561.05
	EAGLE AUTOMOTIVE -MILWAUKEE	100-2110-521.44-03		sqd 60 parts	65.95
196982	Summary				790.10
196983	EJ EQUIPMENT INC	100-4401-533.53-02		SOLENOID	147.85
196983	Summary				147.85
196984	ELLIOTT'S ACE HARDWARE	100-2101-521.51-09		mis mech supplies	37.74
196984	Summary				37.74
196985	ETNA SUPPLY	501-2901-537.53-02		TAPPING SLEEVE	2,308.72
196985	Summary				2,308.72
196986	EWALD CHRYSLER JEEP DODGE LLC	100-2110-521.44-03		jeep 40 parts	124.73
196986	Summary				124.73
196987	EXPRESS ELEVATOR LLC	100-4101-533.44-08		Hist Society-elevator rep	487.25
196987	Summary				487.25
196988	F J A CHRISTIANSEN ROOFING CO INC	354-6051-517.31-01	BF0040	Library Roof	90,000.00
196988	Summary				90,000.00
196989	FACTUAL DATA	220-7521-563.30-02	C24101	Brzycki, Michael	126.85
	FACTUAL DATA	220-7521-563.30-02	C24101	Daniel, Nowak	126.85
196989	Summary				253.70
196990	FALK, DONALD	263-5001-517.51-09		Lunch for Float Storage c	80.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
196990	Summary				80.00
196991	FASTENAL COMPANY	100-4401-533.53-02		HARDWARE	38.08
	FASTENAL COMPANY	100-4401-533.53-02		CABLE TIES	17.68
196991	Summary				55.76
196992	FEDEX	255-8101-521.30-04	I24534	Shipping	51.14
196992	Summary				51.14
196993	FERGUSON ENTERPRISES #3326	501-2901-537.53-02		GRABBER LEVER AND JAWS	114.06
196993	Summary				114.06
196994	FIRE COMPANY FUND	100-0000-202.16-00		PAYROLL SUMMARY	672.00
196994	Summary				672.00
196995	FRANZEN, CAROL	602-0000-229.04-00		FRANZEN, CAROL	248.94
196995	Summary				248.94
196996	FRANZEN, CAROL	602-0000-229.04-00		FRANZEN, CAROL	248.94
196996	Summary				248.94
196997	GEOTEST INC	354-6052-533.31-02	NEWDPW	DPW Site Testing	1,861.50
196997	Summary				1,861.50
196998	GFL ENVIRONMENTAL	354-6052-533.30-06	NEWDPW	Soil disposal-main site	51,021.92
196998	Summary				51,021.92
196999	GORDIE BOUCHER FORD	100-4501-533.53-02		GAS TANK STRAPS	148.41
196999	Summary				148.41
197000	GRAEF	540-1807-538.75-01	P2450G	rogers park	29,600.00
197000	Summary				29,600.00
197001	GRAPHIC INNOVATIONS, LLC	100-2501-515.55-02		2024 Drop Box	94.00
	GRAPHIC INNOVATIONS, LLC	263-5001-517.51-09		Xmas Parade Supplies	234.00
	GRAPHIC INNOVATIONS, LLC	997-9701-541.55-02		SWSHD Logo	60.00
197001	Summary				388.00
197002	GREAT LAKES TESTING, INC	100-2201-522.32-04		AERIAL LADDER INSPECTIONS	1,650.00
197002	Summary				1,650.00
197003	GREEN BAY PIPE AND TV	510-3803-536.30-04	P2441N	TV Inspection-Sanitary	500.00
197003	Summary				500.00
197004	HASTINGS AIR-ENERGY CONTROL	354-6053-523.31-01	BF0043	PLYMOVENT SYSTEM REPAIRS	1,897.86
197004	Summary				1,897.86
197005	HDR INC- HEAVY DUTY RADIATOR	100-4501-533.44-03		Radiator Test & Clean	94.95
197005	Summary				94.95
197006	HEALTH JOY, LLC	602-9101-517.30-04		HJ Dec Chronic	545.00
197006	Summary				545.00
197007	HEIN ELECTRIC SUPPLY COMPANY	100-1101-517.51-02		C.H. Cams	26.16
197007	Summary				26.16
197008	IACP	255-8101-521.30-04	I24548	Training membership	275.00
197008	Summary				275.00
197009	INTECH SOFTWARE SOLUTIONS INC	100-1502-514.32-01		Modus Software Subscripti	10,199.00
197009	Summary				10,199.00
197010	IRON MOUNTAIN	255-8101-521.30-04	I24534	Shredding	146.87
197010	Summary				146.87
197011	JOHNS DISPOSAL SERVICE	550-4233-535.41-09		december recycling	13,359.48
197011	Summary				13,359.48
197012	JX PETERBILT -WAUKESHA	100-4401-533.53-02		FUEL FILTERS	205.81
	JX PETERBILT -WAUKESHA	100-4401-533.53-02		OIL FILTERS	57.42
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		MIRROR SWITCH	281.14
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		BRAKE VALVE, CONTROL VALV	340.83
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		TEMP SENSOR, GASKETS	338.74
	JX PETERBILT -WAUKESHA	100-4501-533.53-02		Part core CREDIT	(435.99)
197012	Summary				787.95
197013	KALLCENTS	255-8101-521.30-04	I24538	Q Card	18.63
197013	Summary				18.63
197014	KORALEWSKI, DANIEL	220-7533-563.30-04	C24301	Clearance Testing	255.00
197014	Summary				255.00
197015	KUENY ARCHITECTS, LLC	354-6052-533.31-02	NEWDPW	Progress Payment	222,520.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
197015 - Summary					222,520.00
197016	KUNES BUICK GMC OF GREENFIELD	100-2110-521.44-03		sqd 67 parts	381.28
197016 - Summary					381.28
197017	LaLonde Contractors Inc	501-0000-229.03-00		HYD-24-9 refund P2427H	1,500.00
197017 - Summary					1,500.00
197018	LAKESIDE INTERNATIONAL TRUCKS INC	100-4401-533.53-02		FUEL FILTER KIT	90.56
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		AUTO LUBER PUMP	3,107.71
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		FUEL SOLENOID	519.46
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		PART RETURNED FOR CREDIT	(61.03)
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Axle breathers	24.92
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		PULLEYS,CLIPS,HOSES	769.20
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Front extension	541.02
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Pulley / tensioner	418.84
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Receiver	44.79
	LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Core charge CREDIT	(740.05)
LAKESIDE INTERNATIONAL TRUCKS INC	100-4501-533.53-02		Part return CREDIT	(3,213.70)	
197018 - Summary					1,501.72
197019	LALONDE CONTRACTORS INC	350-6008-531.31-01	P2324S	Boone Ave: 86-88 Streets	13,347.48
	LALONDE CONTRACTORS INC	350-6008-531.31-01	P2326S	Orchard 108-DE-Streets	5,000.00
	LALONDE CONTRACTORS INC	350-6008-531.31-01	P2348S	Parking Lots-Streets	500.00
	LALONDE CONTRACTORS INC	350-6009-531.31-01	P2301A	108-109 Grant-Linc Street	500.00
	LALONDE CONTRACTORS INC	350-6009-531.31-01	P2302A	58-59 Grnfield-Lap Street	3,000.00
	LALONDE CONTRACTORS INC	540-1807-538.75-01	P2302G	58-59 Grnfield-Lap GI	101.56
	LALONDE CONTRACTORS INC	540-1807-538.75-01	P2302R	58-59 Grnfield-Lap Storm	(700.00)
197019 - Summary					21,749.04
197020	LANDSCAPE FORMS INC	100-4101-533.44-08		75/Natl-2 recpt(accident)	5,143.09
	LANDSCAPE FORMS INC	100-4101-533.44-08		77/Natl-bench(accident)	3,248.36
197020 - Summary					8,391.45
197021	LEADS ONLINE LLC	255-8101-521.30-04	I23549	CellHawk service	16,217.00
197021 - Summary					16,217.00
197022	LIBRARY SQUARE	242-9601-542.30-04	SW2468	SIL Project- Fall/Winter	1,000.00
197022 - Summary					1,000.00
197023	LIFE-ASSIST, INC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 61	2,061.29
	LIFE-ASSIST, INC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 62	864.27
	LIFE-ASSIST, INC	100-2201-522.53-41		MEDICAL SUPPLIES/ST 63	660.72
197023 - Summary					3,586.28
197024	MACQUEEN EQUIPMENT	100-4501-533.53-02		BELT, CURTAIN RELEASE SLO	506.57
	MACQUEEN EQUIPMENT	100-4501-533.53-02		DIRT SHOE RUNNER	55.68
197024 - Summary					562.25
197025	MANSKE PROCESS & INVESTIGATIONS LLC	100-0302-516.30-05		Cardinal Capitol-St Als	45.00
197025 - Summary					45.00
197026	MCCRIGHT & ASSOCIATES, LLC	222-7601-563.30-02		Annual Inspections	2,156.21
197026 - Summary					2,156.21
197027	MCFLS	100-3501-555.30-04		ECOMMERCE	113.28
	MCFLS	100-3504-555.51-02		CATALOGING	132.00
	MCFLS	100-3505-555.51-01		POSTAGE	243.57
	MCFLS	100-3505-555.51-02		CIRCULATION	20.65
197027 - Summary					509.50
197028	MCKESSON MEDICAL-SURGICAL	242-9601-542.53-41	SW2509	Lead Kits	1,617.48
197028 - Summary					1,617.48
197029	MEAD AND HUNT, INC	100-4001-533.30-04		gis storm response	940.00
197029 - Summary					940.00
197030	MENARDS- WEST MILWAUKEE	100-2201-522.53-27		OPERATIONAL SUPPLY	18.99
197030 - Summary					18.99
197031	MEREDITH, BRUCE	255-8101-521.30-04	I23549	Domain service	47.97
197031 - Summary					47.97
197032	METRO MUNICIPAL CLERK'S ASSOC	100-1501-517.57-01		Uttke Metro Muni Clerk Fe	30.00
197032 - Summary					30.00
197033	MIDAMERICAN BUILDING SERVICES	255-8101-521.30-04	I24534	Janitorial	3,225.00
	MIDAMERICAN BUILDING SERVICES	255-8101-521.51-09	I24534	Janitorial	2,045.85

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Check#	Vendor	GL Account	Proj No	Description	Amount
197033 - Summary					5,270.85
197034	MIDLAND PLASTICS INC	100-2201-522.54-02		ST 61 PRIDE WALL	209.00
	MIDLAND PLASTICS INC	352-2201-522.70-02		DIVIDERS/NEW MED RIGS	1,183.40
197034 - Summary					1,392.40
197035	MIDWEST TAPE	100-3502-555.52-22		INVOICE #506592595	162.96
197035 - Summary					162.96
197036	MILLS HOTEL WYOMING LLC	255-8101-521.41-04	I24534	Electric	8,022.12
	MILLS HOTEL WYOMING LLC	255-8101-521.41-05	I24534	Gas	974.38
	MILLS HOTEL WYOMING LLC	255-8101-521.43-03	I24534	RE Taxes	4,565.95
	MILLS HOTEL WYOMING LLC	255-8101-521.43-03	I24534	TI	18,686.10
	MILLS HOTEL WYOMING LLC	255-8101-521.43-03	I24534	Base rent	27,746.10
	MILLS HOTEL WYOMING LLC	255-8101-521.43-03	I24534	CAM	3,782.48
197036 - Summary					63,777.13
197037	MILWAUKEE COUNTY CLERK OF COURTS	100-0000-229.11-10		Bail	3,150.00
197037 - Summary					3,150.00
197038	MILWAUKEE COUNTY ELECTION COMMISSIO	100-1502-514.51-09		August Ballots Scoring	11,796.53
197038 - Summary					11,796.53
197039	MILWAUKEE COUNTY TREASURER	100-0000-141.01-00		PO NUM 144108	240.24
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4750225000	70.73
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4390407001	183.50
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4440214012	77.64
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 5150105000	26.28
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 5180248000	67.50
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 5170128000	69.57
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4450474000	67.18
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4380062000	67.05
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 5160347000	339.32
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4420143007	29.98
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4790659001	65.29
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4440130000	2,304.24
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4520198000	90.05
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 5230150000	72.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4390297000	1,086.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4750199000	23.66
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4900058000	67.57
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4830029000	77.21
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4760169000	69.41
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4380543000	71.65
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4510330000	300.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4869922005	79.64
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4760468000	61.89
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4390268001	48.34
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4760145000	64.96
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4440131000	542.03
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4780305000	426.27
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4890057002	34.84
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 4810091000	71.51
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 5239969001	34.80
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4880146000	1,210.79
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4410076000	158.32
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 4890085000	106.89
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpaid Tax 5209974001	56.83
	MILWAUKEE COUNTY TREASURER	100-0000-229.01-00		Overpayment 479-0767-001	552.88
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2946 S 103 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2123 S 78 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2743 S 96 ST	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		7239 W Greenfield Ave	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1512 S 77 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2133 S 69 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1304 S 63 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2230 S 66 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1450 S 72 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2180 S 60 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2415 S 66 St	100.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
197039	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		7311 W Greenfield Ave	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		6500 W Greenfield Ave	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		916-18 S 74 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2753 S 111 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		6931 W Beloit Rd	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2351 S 99 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1224 S 76 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2634 S 88 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1912 S 82 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2436 S 67 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		8432 W Orchard St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2413 S 68 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1512 S 77 ST	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1425 S 85 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		6923 W Becher St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1339 S 103 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		2137 S 69 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1533 S 93 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1024 S 74 St	200.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		5826 W Walker St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1112-18 S 60 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1305 S 74 ST	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1407 S 86 ST	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1427 S 77 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		5523 W Burnham St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		11117 W Cleveland Ave	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		1533 S 81 St	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.04-00		10540 W Everett Circle	100.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-10		TRUMAINE MORGAN 07301983	63.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-10		BAIL OVERPAYMENT	65.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		Release of Funds	525.00
	MILWAUKEE COUNTY TREASURER	100-0000-422.01-09		Plan review refund	200.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Bartel, Marilyn	366.72
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Burbach, Charles D	146.56
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		WARNING, BRYAN D	130.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Young, William	800.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Sowinsky, Ivy M	20.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		TACKETT, RAYMOND A	200.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Robinson, Diamond S	1,003.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Matthei, Marianne R	600.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Ferraro, Sandro M	182.19
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Knitter, Jessica L	607.43
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Thompson, Roger L	354.18
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Villwock, Bradley S	265.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Schoen, Richard	95.10
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Wichman, Michelle L	33.63
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Braun, Joan E	363.64
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		MOMMAERTS, WILLIAM J	880.67
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Schmidt, Janet	587.28
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		RINK, ROBERT J	82.57
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		LULING, DELORIS M	71.80
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Wroblewski, Dennis L	610.16
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		RAYMARK, MARION B	266.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-07		Smith, Deonjane M	95.57
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-11		Madsen, Sara L	250.00
	MILWAUKEE COUNTY TREASURER	100-0000-442.03-11		Baumeister, Alyssa	300.00
	MILWAUKEE COUNTY TREASURER	100-0000-451.01-00		refund	566.47
	MILWAUKEE COUNTY TREASURER	100-0000-451.01-00		refund overpymnt	344.79
	MILWAUKEE COUNTY TREASURER	100-0000-451.02-00		Tax Intercept Refund	510.00
	MILWAUKEE COUNTY TREASURER	100-0000-451.02-00		trip parking refund	60.00
	MILWAUKEE COUNTY TREASURER	100-2201-522.60-01		GEAR CLEANING/REPAIR	25.00
	MILWAUKEE COUNTY TREASURER	100-3401-544.30-04		FITNESS EQUIPMENT REPAIR	264.00
	MILWAUKEE COUNTY TREASURER	100-4201-535.44-08		(2) Tag axle shock	156.22
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		OCTOBER MMM COUPONS	44.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		OCTOBER SNAP TOKENS	40.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		MARKET 8/22/23	122.00

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Check#	Vendor	GL Account	Proj No	Description	Amount
197039	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		SEPTEMBER SNAP TOKENS	213.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		July 4th Banner	75.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		SNAP PAYMENTS	130.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-01		July SNAP tokens	50.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-02		SEPTEMBER MMM COUPONS	209.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-02		MARKET 8/22/23	80.00
	MILWAUKEE COUNTY TREASURER	100-8201-517.38-02		SNAP PAYMENTS	146.00
	MILWAUKEE COUNTY TREASURER	207-0601-544.64-05	SC0009	Stained Glass Supplies	31.32
	MILWAUKEE COUNTY TREASURER	255-8101-521.30-04	I23538	Q-card service	20.66
	MILWAUKEE COUNTY TREASURER	350-6008-531.31-07	P1946S	Easements	300.00
	MILWAUKEE COUNTY TREASURER	350-6008-531.31-07	P1946S	Easement	2,400.00
	MILWAUKEE COUNTY TREASURER	350-6008-531.31-07	P1946S	Easement Beloit Rd	400.00
	MILWAUKEE COUNTY TREASURER	350-6008-531.31-07	P1946S	Easement 6530 W Beloit	500.00
	MILWAUKEE COUNTY TREASURER	350-6008-531.31-07	P2131T	Easement-Lincoln Ave	250.00
	MILWAUKEE COUNTY TREASURER	501-0000-229.05-00		MANUAL CHECK	411.05
	MILWAUKEE COUNTY TREASURER	501-2901-537.44-03		Leaf spring repair	159.87
	MILWAUKEE COUNTY TREASURER	550-4233-535.41-09		used oil collection	125.00
	MILWAUKEE COUNTY TREASURER	602-0000-229.04-00		GORATOWSKI, JUDITH	249.93
	MILWAUKEE COUNTY TREASURER	602-0000-229.04-00		ZIZZO, RONALD	25.00
	MILWAUKEE COUNTY TREASURER	602-0000-229.04-00		BARRETT, JENNIFER	37.00
MILWAUKEE COUNTY TREASURER	602-0000-229.04-00		PIECHURA, ROBERT F	499.86	
MILWAUKEE COUNTY TREASURER	602-0000-229.04-00		SCHUMACHER, JOHN E	249.93	
197039 - Summary					30,775.66
197040	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED J LAMBERY	23.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED L BRYANT	120.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED A TRIPLETT	40.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED WEATHERS, DEQUA	59.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED RECORD HEAD	50.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED BURGER KING	515.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED M KOVAC	749.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED MCDONALDS	140.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED CORSTEN, JACKIE	60.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED FAMILY DOLLAR	404.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED J LUCIUS	32.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED L THEISEN	164.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED WILBER, GIOVANN	165.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED M JACKSON	47.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED MCCLOUD, J	30.25
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED I DOMINGUEZ	25.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED D HILL	40.00
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED HARVESTER, ELEN	27.32
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED RITU RAI	22.47
	MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED CRICKET	371.00
MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED R HUBER	66.51	
MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED T GLOSSEN	20.00	
MILWAUKEE COUNTY TREASURER	100-0000-229.11-12		UNCLAIMED M JONES	12,312.00	
197040 - Summary					15,482.55
197041	MILWAUKEE COUNTY TREASURER	100-0000-451.01-00		Dec 2024 Court Fines	7,921.72
197041 - Summary					7,921.72
197042	MILWAUKEE RUBBER PRODUCTS, INC	100-4401-533.53-02		SUCTION HOSE	399.20
	MILWAUKEE RUBBER PRODUCTS, INC	100-4501-533.53-02		RUBBER SHEET	75.00
197042 - Summary					474.20
197043	MJ CONSTRUCTION INC	510-3803-536.30-04		Sanitary spot relays	(1,425.60)
	MJ CONSTRUCTION INC	510-3803-536.75-01	P2241N	Sanitary spot relays	1,925.60
	MJ CONSTRUCTION INC	540-1807-538.75-01	P2241R	Storm sewer install	779.50
197043 - Summary					1,279.50
197044	MONTAGE	263-5001-517.51-09		Christmas Parade Band	550.00
197044 - Summary					550.00
197045	NAPA AUTO PARTS- WEST ALLIS	100-2110-521.44-03		stock parts	770.18
	NAPA AUTO PARTS- WEST ALLIS	100-2110-521.44-03		sqd 67 parts	159.56
	NAPA AUTO PARTS- WEST ALLIS	100-2110-521.44-03		jeep 43 parts	119.39
	NAPA AUTO PARTS- WEST ALLIS	100-2110-521.44-03		sqd 37 parts	159.56
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		Wipers	10.86
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		Hydraulic fitting	9.38

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Check#	Vendor	GL Account	Proj No	Description	Amount
197045	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		LAMP, HYDRAULIC HOSE	370.07
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		TERMINALS, COUPLING, BULB	74.56
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		Inventory items	58.19
	NAPA AUTO PARTS- WEST ALLIS	100-4401-533.53-02		WIPER BLADES	16.29
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		DOUBLE SIDED TAPE	11.74
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		METRIC GREASE FITTINGS	28.15
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		PART RETUERNEED FOR CREDIT	(95.19)
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		Belt tensioner & pulley	85.04
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		GREASE ZERK FITTING KIT	29.11
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		FUSE HOLDERS	25.22
	NAPA AUTO PARTS- WEST ALLIS	100-4501-533.53-02		TOGGLE SWITCHES	17.88
	NAPA AUTO PARTS- WEST ALLIS	214-0801-521.64-05		siu car56 parts	159.56
197045 - Summary					2,009.55
197046	NEW BERLIN REDI-MIX	501-2707-537.53-08		9 bag #1 stone with air	957.00
197046 - Summary					957.00
197047	PORTFOL SOFTWARE	220-7521-563.52-03	C25101	CDBG ED LOAN PRG	2,469.89
	PORTFOL SOFTWARE	258-3102-565.52-03		CAPITAL CATALYST LOANS	68.61
	PORTFOL SOFTWARE	258-3102-565.52-03		EPA RLF LOANS	68.61
	PORTFOL SOFTWARE	311-6606-563.52-03	T11010	TID 77 LOAN FUNDS	205.82
	PORTFOL SOFTWARE	314-6606-563.52-03	T14010	TID 14 LOANS	205.82
197047 - Summary					3,018.75
197048	POST, SCOTT	602-0000-229.04-00		POST, SCOTT	722.80
197048 - Summary					722.80
197049	PRINT TECH LLC	100-8201-517.32-01		Maint. Contract for press	1,200.00
	PRINT TECH LLC	100-8201-517.51-09		Maint. cutter blade	100.00
197049 - Summary					1,300.00
197050	PUBLIC SERVICE COMMISSION OF WI	501-2901-537.58-01		Expenses December 2024	336.73
197050 - Summary					336.73
197051	QUAD/GRAPHICS, INC	602-9101-517.21-65		QuadMed MonthEnd 12/31/24	30,943.00
197051 - Summary					30,943.00
197052	REGISTRATION FEE TRUST	100-4501-533.44-03		Title & Registration App.	169.50
197052 - Summary					169.50
197053	REMY BATTERY CO INC	100-4101-533.44-08		Fire panel Batt. replace	36.80
	REMY BATTERY CO INC	316-6606-563.31-02	T16010	fire alarm batt. replace	58.40
197053 - Summary					95.20
197054	RICOH USA INC	255-8101-521.30-04	I23549	Copier	532.55
197054 - Summary					532.55
197055	ROSCO'S	501-0000-229.05-00		MANUAL CHECK	0.00
197055 - Summary					0.00
197056	RYDELL, SHAWN	255-8101-521.56-03	I24548	MN training travel	264.52
197056 - Summary					264.52
197057	SAARI, STEVE	602-0000-229.04-00		SAARI, STEVEN A	11,318.45
197057 - Summary					11,318.45
197058	SAARI, STEVEN A	602-0000-229.04-00		SAARI, STEVEN A	180.05
197058 - Summary					180.05
197059	SAARI, STEVEN A	602-0000-229.04-00		SAARI, STEVEN A	180.05
197059 - Summary					180.05
197060	SAARI, STEVEN A	602-0000-229.04-00		SAARI, STEVEN A	180.05
197060 - Summary					180.05
197061	SECURIAN FINANCIAL GROUP INC	100-0000-202.18-01		Life Feb	16,686.48
197061 - Summary					16,686.48
197062	SIDELLO PROPERTY SERVICES INC	100-2406-524.30-04		Work Order - PMNA-24-16	3,335.00
197062 - Summary					3,335.00
197063	SIMCO DRILLING EQUIPMENT INC	501-2901-537.70-02		New Water Drill Rig Truck	179,019.00
197063 - Summary					179,019.00
197064	SOUTHTOWN TIRE & AUTO	100-2110-521.44-03		sqd 10 parts	55.00
197064 - Summary					55.00
197065	STATE OF WISCONSIN	100-0000-451.01-00		Dec 2024 Court Fines	21,015.82
197065 - Summary					21,015.82

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Check#	Vendor	GL Account	Proj No	Description	Amount
197066	STERICYCLE INC	997-9701-541.32-04		GF- Sharps	138.92
197066 - Summary					138.92
197067	STREICHER'S INC	100-2201-522.60-01		FF CLOTHING (HATS)	155.94
197067 - Summary					155.94
197068	SUPERIOR VISION INSURANCE INC	100-0000-202.18-06		Vision Premiums Jan 2025	1,570.08
197068 - Summary					1,570.08
197069	TAPCO	100-4401-533.53-02		V-LOC AND WEDGE	3,219.66
197069 - Summary					3,219.66
197070	TELEFLEX FUNDING LLC	100-2201-522.53-41		MEDICAL SUPPLIES	1,100.00
197070 - Summary					1,100.00
197071	THOMSON REUTERS - WEST	255-8101-521.30-04	I23549	Subscription	2,681.78
197071 - Summary					2,681.78
197072	TRANS UNION LLC	100-2101-521.30-04		December record checks	95.00
197072 - Summary					95.00
197073	TRANSUNION RISK & ALTERNATIVE	255-8101-521.30-04	I23549	TransUnion	718.00
197073 - Summary					718.00
197074	TRI CITY NATIONAL BANK	100-0000-229.16-00		Jan 2025 Loan Repayments	460.76
	TRI CITY NATIONAL BANK	220-7521-563.30-04	C24101	TCNB Loan Servicing Fees	53.00
	TRI CITY NATIONAL BANK	224-7701-563.30-04		TCNB Loan Servicing Fees	22.00
	TRI CITY NATIONAL BANK	396-6301-563.30-07		TCNB Loan Servicing Fees	5.00
	TRI CITY NATIONAL BANK	397-6301-563.30-07		TCNB Loan Servicing Fees	19.00
197074 - Summary					559.76
197075	TRI-COUNTY WATERWORKS ASSOCIATION	501-2901-537.57-02		2025 4 meetings/4 persons	480.00
197075 - Summary					480.00
197076	TRUCK COUNTRY	100-4501-533.53-02		HORN CONTACT	30.74
	TRUCK COUNTRY	100-4501-533.53-02		HORN BUTTON	50.95
	TRUCK COUNTRY	100-4501-533.53-02		PURGE VALVE KIT	114.19
197076 - Summary					195.88
197077	UNIFIRST CORPORATION	100-2101-521.51-07		Mops and Mats 12/25	28.70
	UNIFIRST CORPORATION	100-2101-521.51-07		Mops and Mats 1/25	67.09
	UNIFIRST CORPORATION	100-2101-521.51-07		Uniforms 1/8/25	16.49
	UNIFIRST CORPORATION	100-2201-522.51-07		LAUNDRY/RAGS	7.70
	UNIFIRST CORPORATION	100-4101-533.53-02		Mops and mats 12/24	10.62
	UNIFIRST CORPORATION	100-4501-533.53-02		Uniforms 1/7/25	133.20
	UNIFIRST CORPORATION	100-4501-533.53-02		Uniforms 12/31/2024	133.20
	UNIFIRST CORPORATION	100-4501-533.53-02		Uniforms Fleet 12/24	133.20
197077 - Summary					532.64
197078	US CELLULAR	255-8101-521.30-04	I24538	PEN	1,800.00
197078 - Summary					1,800.00
197079	USI INSURANCE SERVICES, LLC	602-9101-517.30-02		Group Fee 5 of 12	5,579.16
197079 - Summary					5,579.16
197080	VERIZON WIRELESS	255-8101-521.30-04	I23549	Cell	3,223.91
197080 - Summary					3,223.91
197081	VERMEER-WISCONSIN INC	100-4501-533.53-02		RADIATOR CAP	44.65
197081 - Summary					44.65
197082	VERJNIK, RONALD	602-0000-229.04-00		VERJNIK, RONALD	514.78
197082 - Summary					514.78
197083	VERJNIK, RONALD	602-0000-229.04-00		VERJNIK, RONALD	514.78
197083 - Summary					514.78
197084	VERJNIK, RONALD	602-0000-229.04-00		VERJNIK, RONALD	514.78
197084 - Summary					514.78
197085	VERJNIK, RONALD	602-0000-229.04-00		VERJNIK, RONALD	514.78
197085 - Summary					514.78
197086	VERJNIK, RONALD	602-0000-229.04-00		VERJNIK, RONALD	430.18
197086 - Summary					430.18
197087	VON BRIESEN & ROPER SC	100-1301-517.30-02		Matter 6664-00006	3,657.00
197087 - Summary					3,657.00
197088	WASTEBUILT	100-4401-533.53-02		LATCH SPRING	34.26

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Check#	Vendor	GL Account	Proj No	Description	Amount
197088	Summary				34.26
197089	WAUKESHA CO TECHNICAL COLLEGE	100-2107-521.57-02		Training Courses	745.00
197089	Summary				745.00
197090	WE ENERGIES	220-7522-563.70-05	C23409	WR 5045431-6101 W ORCHARD	1,975.09
197090	Summary				1,975.09
197091	WEDIGE RADIATOR & AC, INC	100-4501-533.44-03		dpf cleaning & gaskets	499.49
197091	Summary				499.49
197092	WELLWORKS FOR YOU	602-9101-517.30-04		Wellworks Nov 2024	1,839.00
	WELLWORKS FOR YOU	602-9101-517.30-04		Wellworks Oct 2024	1,821.00
	WELLWORKS FOR YOU	602-9101-517.30-04		Wellworks Dec 2024	1,830.00
197092	Summary				5,490.00
197093	WI MUNICIPAL JUDGES ASSN	100-0401-512.57-01		Judges dues 2025	150.00
197093	Summary				150.00
197094	WINDSTREAM	255-8101-521.30-04	I23549	Internet	9,045.71
197094	Summary				9,045.71
197095	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2131T	Lincoln 93-96 design	3,070.39
	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2332S	National-Linc/108 Design	11,202.08
	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2440S	84th: Grnfd-Adler Design	1,452.93
	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2442S	Greenfield: 76-84 Design	3,047.97
	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2443S	Greenfield: 70-76 Design	5,480.93
	WISCONSIN DEPT OF TRANSPORTATION	350-6008-531.31-01	P2444S	Greenfield: 56-70 Design	5,350.36
197095	Summary				29,604.66
197096	WISHIN	242-9601-542.30-04	SW2514	2024-25	4,828.00
	WISHIN	242-9601-542.30-04	SW2514	23-24	3,862.00
197096	Summary				8,690.00
197097	WOLF PAVING COMPANY, INC	350-6008-531.31-01	P2228S	W Becher St-Streets	2,000.00
197097	Summary				2,000.00
197098	WOLVERINE CONSTRUCTION, LLC	220-7522-563.31-01	C21410	6901 W Beloit Demo	2,495.00
197098	Summary				2,495.00
197099	WORLDWIDE INTERPRETERS, INC.	100-2101-521.30-04		December Interpreter	252.56
	WORLDWIDE INTERPRETERS, INC.	501-2901-537.30-02		Spanish interpreter	3.36
	WORLDWIDE INTERPRETERS, INC.	997-9701-541.30-04		Translation Services	131.04
197099	Summary				386.96
197100	ZENITH TECH, INC	350-6008-531.31-01	P2347S	Pavement Patch-Streets	12,200.43
	ZENITH TECH, INC	540-1807-538.75-01	P2347R	Pavement Patch-Storm	125.00
197100	Summary				12,325.43
197101	ZOLL MEDICAL CORPORATION	100-2201-522.53-41		MEDICAL SUPPLIES/ST 61	1,020.46
	ZOLL MEDICAL CORPORATION	100-2201-522.53-41		MEDICAL SUPPLIES/ST 62	369.68
	ZOLL MEDICAL CORPORATION	100-2201-522.53-41		MEDICAL SUPPLIES/ST 63	468.52
197101	Summary				1,858.66
197102	1ST SERVICE TITLE & CLOSING	396-6307-563.31-67		Title Policy PO# T11243	500.00
197102	Summary				500.00
197103	AARON SCHWID	100-0000-229.01-00		Overpaid Tax 4160030002	12,829.61
197103	Summary				12,829.61
197104	AD2LUV LLC	100-0000-229.01-00		Overpaid Tax 4879940003	389.51
197104	Summary				389.51
197105	ALLAN HENINGER	100-0000-229.01-00		Overpaid Tax 4900173000	87.51
197105	Summary				87.51
197106	ALLEN KLUMP	100-0000-229.01-00		Overpaid Tax 4790073000	446.83
197106	Summary				446.83
197107	AM2 REAL ESTATE, LLC	100-0000-229.01-00		Overpaid Tax 4520269000	112.03
197107	Summary				112.03
197108	ANTHONY RUTZINSKI	100-0000-229.01-00		Overpaid Tax 4900444000	664.14
197108	Summary				664.14
197109	ASHLEY SLIGA	100-0000-229.01-00		Overpaid Tax 4770558000	97.18
197109	Summary				97.18
197110	AWL MANAGEMENT, LLC	100-0000-229.01-00		Overpaid Tax 4800277000	1,381.83
197110	Summary				1,381.83

Monthly Listing of Claims Paid
January 2025

Check#	Vendor	GL Account	Proj No	Description	Amount
197111	BGB INVESTMENTS LLC	100-0000-229.01-00		Overpaid Tax 4489987007	9,618.71
197111	- Summary				9,618.71
197112	BRANDI IMPASTATO	100-0000-229.01-00		Overpaid Tax 4900297000	3,319.68
197112	- Summary				3,319.68
197113	CAPSTONE REAL ESTATE LLC	100-0000-229.01-00		Overpaid Tax 4890306000	84.25
197113	- Summary				84.25
197114	CASSIDY BORGARDT	100-0000-229.01-00		Overpaid Tax 4460560001	67.10
197114	- Summary				67.10
197115	CHARLENE HORNER	100-0000-229.01-00		Overpaid Tax 4880050000	4,013.49
197115	- Summary				4,013.49
197116	CHARLENE ROEDEL	100-0000-229.01-00		Overpaid Tax 4890521000	4,364.08
197116	- Summary				4,364.08
197117	CHRISTINE KLINGER	100-0000-229.01-00		Overpaid Tax 4900086000	193.69
197117	- Summary				193.69
197118	CHRISTOPHER BALDONI	100-0000-229.01-00		Overpaid Tax 4770295000	193.69
197118	- Summary				193.69
197119	CITY OF WEST ALLIS	100-0000-229.01-00		Overpaid Tax Various	1.10
197119	- Summary				1.10
197120	CORELOGIC - REFUND DEPARTMENT	100-0000-229.01-00		Overpaid Tax 4429994001	4,657.45
197120	- Summary				4,657.45
197121	CORELOGIC - REFUND DEPARTMENT	100-0000-229.01-00		Overpaid Tax 4440214012	1,461.74
197121	- Summary				1,461.74
197122	CORELOGIC - REFUND DEPARTMENT	100-0000-229.01-00		Overpaid Tax 4530155000	4,292.76
197122	- Summary				4,292.76
197123	CORELOGIC - REFUND DEPARTMENT	100-0000-229.01-00		Overpaid Tax 4530579000	4,184.66
197123	- Summary				4,184.66
197124	CORELOGIC - REFUND DEPARTMENT	100-0000-229.01-00		Overpaid Tax 4760126000	3,279.85
197124	- Summary				3,279.85
197125	COREY KMICHIK	100-0000-229.01-00		Overpaid Tax 4531046000	139.08
197125	- Summary				139.08
197126	DANIEL BAILEY	100-0000-229.01-00		Overpaid Tax 5180353000	193.69
197126	- Summary				193.69
197127	DANIEL INGULDSTAD	100-0000-229.01-00		Overpaid Tax 4390039000	258.12
197127	- Summary				258.12
197128	DEHNE BROTHERS PROPERTIES, LLC	100-0000-229.01-00		Overpaid Tax 4530687001	775.49
197128	- Summary				775.49
197129	DESIREE PADDOCK	100-0000-229.01-00		Overpaid Tax 4530868000	188.65
197129	- Summary				188.65
197130	DOMINIC AMBROSELLI	100-0000-229.01-00		Overpaid Tax 4400349000	1,807.69
197130	- Summary				1,807.69
197131	DONALD HOLCOMB	100-0000-229.01-00		Overpaid Tax 5170039000	318.60
197131	- Summary				318.60
197132	ELIZABETH GEDEIT	100-0000-229.01-00		Overpaid Tax 4790025000	84.72
197132	- Summary				84.72
197133	HAYES BUILDING, LLC	100-0000-229.01-00		Overpaid Tax 4859995011	4,898.92
197133	- Summary				4,898.92
197134	HOMERO LOPEZ-FRANCO	100-0000-229.01-00		Overpaid Tax 4750506000	42.95
197134	- Summary				42.95
197135	JADYN MARTINEZ	100-0000-229.01-00		Overpaid Tax 4390040000	108.36
197135	- Summary				108.36
197136	JAMES BAKER	100-0000-229.01-00		Overpaid Tax 4900312000	417.18
197136	- Summary				417.18
197137	JAMIE TOPAZ	100-0000-229.01-00		Overpaid Tax 4530454002	4,614.66
197137	- Summary				4,614.66
197138	JEFFREY ANDERSON	100-0000-229.01-00		Overpaid Tax 4790258000	267.23
197138	- Summary				267.23
197139	JEFFREY ANDERSON	100-0000-229.01-00		Overpaid Tax 4890392000	26.14

Monthly Listing of Claims Paid
January 2025

Check#	Vendor	GL Account	Proj No	Description	Amount
197139	Summary				26.14
197140	JENNIFER KITA	100-0000-229.01-00		Overpaid Tax 4420294000	193.69
197140	Summary				193.69
197141	JOHN ELLIOTT REVOC LIV TRUST	100-0000-229.01-00		Overpaid Tax 4850005009	2,670.71
197141	Summary				2,670.71
197142	JONATHON GILLETTE	100-0000-229.01-00		Overpaid Tax 4740026000	1.24
197142	Summary				1.24
197143	JOSIE BALDERAS	100-0000-229.01-00		Overpaid Tax 4380663000	1,000.00
197143	Summary				1,000.00
197144	JOSUE BERNAL LOPEZ	100-0000-229.01-00		Overpaid Tax 4790386000	429.13
197144	Summary				429.13
197145	KENNETH HILL	100-0000-229.01-00		Overpaid Tax 5170045000	199.79
197145	Summary				199.79
197146	KRISTEN FREUND	100-0000-229.01-00		Overpaid Tax 4790229000	230.75
197146	Summary				230.75
197147	KRISTIN DOUGLAS	100-0000-229.01-00		Overpaid Tax 4530655000	3,422.64
197147	Summary				3,422.64
197148	KRISTINE SCHULZE	100-0000-229.01-00		Overpaid Tax 4450701000	310.95
197148	Summary				310.95
197149	LAURA OFFUTT	100-0000-229.01-00		Overpaid Tax 4500050000	630.29
197149	Summary				630.29
197150	LEIGH MAUREEN KNAPP	100-0000-229.01-00		Overpaid Tax 4530142002	193.69
197150	Summary				193.69
197151	LINDA WARPECHOWSKI	100-0000-229.01-00		Overpaid Tax 4430441000	3.00
197151	Summary				3.00
197152	MADELINE SMITH	100-0000-229.01-00		Overpaid Tax 4380426000	193.69
197152	Summary				193.69
197153	MANFRED KLINGER	100-0000-229.01-00		Overpaid Tax 4860074000	193.69
197153	Summary				193.69
197154	MARIA GUERRERO	100-0000-229.01-00		Overpaid Tax 4750456000	44.71
197154	Summary				44.71
197155	MARK SNYDER	100-0000-229.01-00		Overpaid Tax 4900352000	174.99
197155	Summary				174.99
197156	MAURICIO MORENO	100-0000-229.01-00		Overpaid Tax 4900264000	300.34
197156	Summary				300.34
197157	MIRANDA GREENWOOD	100-0000-229.01-00		Overpaid Tax 4760366000	3,885.08
197157	Summary				3,885.08
197158	MONIQUE WAGNER	100-0000-229.01-00		Overpaid Tax 4900256000	2,731.64
197158	Summary				2,731.64
197159	NICHOLAS MEYTHALER	100-0000-229.01-00		Overpaid Tax 5150254000	572.49
197159	Summary				572.49
197160	PATRICK PUFFER	100-0000-229.01-00		Overpaid Tax 4520377000	183.31
197160	Summary				183.31
197161	QUINN BEAUPRE	100-0000-229.01-00		Overpaid Tax 4900294000	38.44
197161	Summary				38.44
197162	REBECCA SCHRUENDER	100-0000-229.01-00		Overpaid Tax 4460433000	604.11
197162	Summary				604.11
197163	REICH HOMES III LLC	100-0000-229.01-00		Overpaid Tax 4900169000	115.46
197163	Summary				115.46
197164	ROBERT MAHN	100-0000-229.01-00		Overpaid Tax 4890471000	243.01
197164	Summary				243.01
197165	ROSA MORENO	100-0000-229.01-00		Overpaid Tax 4790192000	48.76
197165	Summary				48.76
197166	SOPHIE MALKOWSKI	100-0000-229.01-00		Overpaid Tax 4770328001	193.69
197166	Summary				193.69
197167	SYDNE DAVIS	100-0000-229.01-00		Overpaid Tax 4440366000	3,852.48

**Monthly Listing of Claims Paid
January 2025**

Check#	Vendor	GL Account	Proj No	Description	Amount
197167	- Summary				3,852.48
197168	THOMAS BOEHM	100-0000-229.01-00		Overpaid Tax 4910203002	26.98
197168	- Summary				26.98
197169	THOMAS SAMARTANO	100-0000-229.01-00		Overpaid Tax 4150025000	222.92
197169	- Summary				222.92
197170	TRI CITY NATIONAL BANK	100-0000-229.01-00		Overpaid Tax 4530572000	1,590.65
197170	- Summary				1,590.65
197171	VANESSA BAUTISTA	100-0000-229.01-00		Overpaid Tax 4780018000	464.01
197171	- Summary				464.01
197172	1ST SERVICE TITLE & CLOSING INC	100-0000-229.01-00		Overpaid Tax 4510211000	348.72
197172	- Summary				348.72
01/23/2025 - Summary					6,275,919.69

Payment Date: 01/30/2025

Check#	Vendor	GL Account	Proj No	Description	Amount
38691	WEST ALLIS PROFESSIONAL POLICE	100-0000-202.08-00		PAYROLL SUMMARY	2,613.88
38691	- Summary				2,613.88
197173	AFLAC	100-0000-202.14-01		PAYROLL SUMMARY	54.77
197173	- Summary				54.77
197174	CITY OF WEST ALLIS	100-0000-202.07-00		PAYROLL SUMMARY	54.00
197174	- Summary				54.00
197175	CITY OF WEST ALLIS	501-0000-229.05-00		MANUAL CHECK	20.94
197175	- Summary				20.94
197176	HARRIS, NICHOLE	223-0000-229.04-23		FSS Harris Graduation	17,997.49
197176	- Summary				17,997.49
197177	MILWAUKEE COUNTY CLERK OF COURTS	100-0000-229.11-10		BAIL	3,150.00
197177	- Summary				3,150.00
01/30/2025 - Summary					23,891.08
Overall - Summary					8,754,259.27



MUNICIPAL COURT MONTHLY FINANCIAL REPORT

County Name Milwaukee		County Code Number 40		Report for Month/Year January, 2025	
Municipal Name West Allis Municipal Court		Municipal Code Number 292		Telephone Number 414-302-8181	
I. MUNICIPAL COURT OFFICIAL		Total Amount Collected	Share to be retained by Municipality	Share to be sent to County	Share to be sent to State
1. Forfeitures for Municipal Ordinance Violations (Except for Municipal Ordinances in Conformity with Ch 348, Stats.)		\$ 17,421.16	\$ 17,421.16		
Adjustment (if applicable)		\$.00	\$.00		
2. Municipal Court Costs (Chapter 814, Subchapter II, s. 814.65, Stats.)		\$ 5,881.32	\$ 5,100.32		\$ 781.00
Adjustment (if applicable)		\$.00	\$.00		\$.00
3. Penalty Surcharges (s. 757.05, Stats.)		\$ 3,868.00			\$ 3,868.00
Adjustment (if applicable)		\$.00			\$.00
4. County Jail Surcharges (s. 302.46(1)(a), Stats.)		\$ 1,566.00		\$ 1,566.00	
Adjustment (if applicable)		\$.00		\$.00	
5. Driver Improvement Surcharges (s. 346.655, Stats.)		\$ 4,097.50		\$ 1,678.90	\$ 2,418.60
Adjustment (if applicable)		\$.00		\$.00	\$.00
6. Crime Lab and Drug Enforcement Surcharges (s. 165.755(4), Stats.)		\$ 2,041.00			\$ 2,041.00
Adjustment (if applicable)		\$.00			\$.00
7. Domestic Abuse Surcharges (s. 973.055(2)(b), Stats.)		\$.00			\$.00
Adjustment (if applicable)		\$.00			\$.00
8. Truck Weight Restrictions (Municipal Ordinances in Conformity with Ch. 348, Stats., s. 66.12(3)(c))		\$.00	\$.00		\$.00
Adjustment (if applicable)		\$.00	\$.00		\$.00
9. Ignition Interlock Device Surcharge (s. 343.301(5), Stats.)		\$ 150.00		\$ 150.00	
Adjustment (if applicable)		\$.00		\$.00	
10. GPS Tracking Surcharge (for violations of ordinances conforming to s. 813.12 or s.813.125, Stats.)		\$.00			\$.00
Adjustment (if applicable)		\$.00			\$.00
11. Safe Ride Program (s. 85.55, Stats.)		\$ 475.00			\$ 475.00
Adjustment (if applicable)		\$.00			\$.00
12. Totals		\$ 35,499.98	\$ 22,521.48	\$ 3,394.90	Pay This Amount \$ 9,583.60

Continue onto the next page.



MUNICIPAL COURT MONTHLY FINANCIAL REPORT

II. CERTIFICATION OF MUNICIPAL COURT OFFICIAL

I hereby certify that this report reflects all actions requiring forfeitures, court costs and surcharges collected during the month designated.

Name: Paul M. Murphy Signature: Paul M. Murphy Date: 2-2-25

III. TREASURER'S CERTIFICATION

I hereby certify that the above amount due the state has been received. After so certifying, a copy of this report will be returned to the signer of this report as a receipt, and the stated amount will be remitted to the Department of Administration with this report.

Treasurer: Corinne Zurad Date: 2/4/2025

In the event the Department of Administration has questions about this report and payment, who should we contact?

Name:	Telephone Number	Email Address
<u>Ann Drosen</u>	<u>414-302-8181</u>	<u>adrosen@westalliswi.gov</u>

**CITY OF WEST ALLIS
ORDINANCE 0-2025-0018**

**ORDINANCE TO ALLOW COLLECTION OF SIGN MAINTENANCE INSPECTION FEES AS SPECIAL
CHARGES**

AMENDING SECTION 13.21(8)

WHEREAS, pursuant to Wis. Stat. 66.0627(2) the city may impose a special charge against real property for current services rendered by allocating all or part of the cost of services to the property served.

WHEREAS, pursuant to Wis. Stat. Chpt. 62, a municipality may adopt ordinances for the purpose of facilitating enforcement of municipal and state building, plumbing, electrical, and other such codes for the protection of health and safety.

NOW THEREFORE, The common council of the city of West Allis do ordain as follows

SECTION 1: **AMENDMENT** “13.21 Sign Code” of the City Of West Allis Municipal Code is hereby *amended* as follows:

A M E N D M E N T

13.21 Sign Code

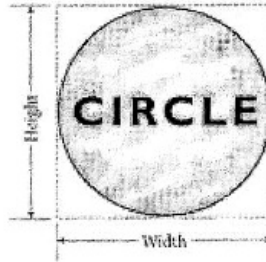
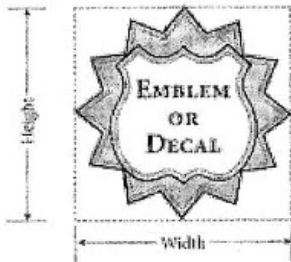
1. Purpose. It is declared that the regulation of signs within the City is necessary and in the public interest to:
 - a. Protect property values within the City.
 - b. Preserve the beauty and the unique character of the City by aesthetically complementing the development, which a sign identifies.
 - c. Promote a healthy and properly designed business environment.
 - d. Provide for the expression of both commercial and noncommercial speech.
 - e. Provide for the identification and advertising needs of businesses.
 - f. Safeguard the general public from damage and injury, which may be caused by the faulty and uncontrolled construction of signs within the City.
 - g. Protect against hazards to vehicular traffic movement through improper placement of signs.
 - h. Promote the public safety, welfare, convenience and enjoyment of travel and the free flow of traffic within the City.
 - i. No regulation of sign content is intended to result from the application of this sign code.

2. Definitions. As used in this section:

"Abandoned sign" means a sign or portion of a sign structure located on a property which becomes vacant and is unoccupied for a period of sixty (60) days or more, any sign or structure which pertains to a time, event or purpose which no longer applies or a sign which no longer directs attention to a business, activity or service offered or product sold on the premises.

"Area of sign" means that area enclosed by one continuous line, connecting the extreme limits or edges of writing, representation or similar figures or characters together with any material forming an integral part of the display or forming the backing surface or background on which the message or symbols are displayed on a sign. The area shall be determined using the largest sign area or silhouette visible at any one time from any point. This area does not include the main supporting sign structure, but other ornamental attachments are to be included in determining area of sign. As shown below:

MEASUREMENT OF DISPLAY AREA



"Awning": means a roof-like cover, often of fabric, metal, or glass designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, door, or the like.

"Awning sign" means a sign attached to an awning.

"Banner" means any sign intended to be hung either with or without frames, possessing characters, letters, illustrations or ornamentations applied to paper, plastic, fabric or similar flexible material of any kind. A flag shall not be considered a banner.

"Building front foot" means the maximum building width measured at grade level with the street.

"Bus shelter" means a structure which protects public transit system passengers from the climate while they wait for the arrival of their buses.

"Business front foot" means the lineal distance of the building space occupied by the particular business measured on a straight line parallel to the street. Where a business does not parallel a street, the front foot shall be measured along the exterior of the building space occupied by the particular business.

"Change of Use" is deemed to have occurred whenever the type of business changes or when the occupant changes.

"Changeable copy sign" means a sign that is designed so that characters, letters or illustrations can be changed or rearranged without altering the face or the surface of the sign.

"Construction sign" means any sign giving the name or names of principal contractors, subcontractors, architects and lending institutions responsible for construction on the site where the sign is placed, together with other pertinent information included thereon.

"Creative sign" means any sign of unique design that exhibits a high degree of thoughtfulness, imagination, inventiveness and spirit, and that makes a positive visual contribution to the overall image of the City.

"Development sign" means any sign used to identify future residential or nonresidential development or such a development under construction.

"Directional sign" means any sign used to identify a certain location on a premises.

"Electronic message center sign" means a type of changeable copy sign upon which message or display is presented with patterns of lights or other means.

"Fascia" means a flat board, band, or face, used sometimes by itself but usually in combination with moldings, often located at the outer face of the cornice.

"Fixture" means a piece of equipment which has been permanently attached to real estate in such a way as to be part of the premises.

"Flag" means any national flag, flag of political subdivisions and symbolic insignia of any institution or business.

"Flashing sign" means a type of changeable copy sign upon which a message or display is presented more frequently than for three-second intervals.

"Freestanding sign" means any sign which is supported by structures or supports in or upon the ground and independent from any building.

"Grand opening sign" means a sign which calls attention to a new business or the announcement of a change in ownership of a business.

"Height of sign" means the overall height of a sign and/or the supporting structure of a sign, where applicable, measured from the top of the sign and/or supporting structure of the sign to the ground.

"Holders of permit" means, collectively, the owner(s) of the premises on which a sign is located and the lessee(s) of the premises to which such sign pertains.

"Illegal sign" means any sign, except the following:

A sign allowed by this section and not requiring a permit.

A sign allowed by this section carrying a valid permit.

A legal nonconforming sign.

"Informational sign" means a sign that indicates separate buildings or services on premises.

"Maintenance" means the replacing or repairing of a part or portion of a sign made unusable by ordinary wear, tear or damage beyond the control of the owner or the reprinting of existing copy without changing the wording, composition or color of the copy.

"Master sign program" means the establishment of an identification program for any multi-tenant operation within the City, including, but not limited to, office parks, industrial and multi-tenant office and retail buildings, and buildings over twenty-five thousand (25,000) square feet of area. The intent of a master sign program is to give a uniform theme of size, color and style to signs in such a development.

"Minor tenant," as part of the Master Sign Program application process, means an individual tenant space of no more than three thousand (3,000) square feet and located within a portion of a multi-tenant commercial building (MTCB) of at least one hundred thousand (100,000) square feet or larger. **[Ord. O-2010-0037, 10/19/2010]**

"Multiple tenant commercial building (MTCB)" means a commercial development, which includes three (3) or more tenants, or a building area of twenty-five thousand (25,000) square feet or more, or buildings with frontage along an interstate highway.

"Nonconforming sign" means a sign that met code regulations when it was originally erected, either by adherence to a previous sign code or by a variance granted to that code, but which does not comply with all the present regulations of this section.

"Parapet wall" means a wall extending above the plate line of the building.

"Pennant" means a tapered or dovetailed banner, sign, or streamer, with or without any representation or writing thereon.

"Permanent sign" means any sign which is intended to be and is so constructed as to be lasting and enduring, remaining unchanged in character, condition (beyond normal wear) and position, and in some permanent manner affixed to the ground, wall or building.

"Planned development" means a collection of like-use buildings, residential, office or industrial in nature, designed contemporaneously and in close proximity to each other as part of a single integrated project, including, but not limited to, residential subdivisions and office or industrial parks.

"Plate line" means the point at which any part of the main roof structure first touches or bears upon an external wall.

"Political sign" means a sign supporting a candidate for office or urging action on any other matter or social issue.

"Portable sign" means any sign not permanently attached to the ground or a building or designed to be permanently attached to the ground or a building, including, but not limited to, signs on trailers.

"Projecting sign" means a sign attached to a wall and projecting away from the wall more than twelve (12) inches but not more than four (4) feet.

"Residential corridor" means a geographic area which predominately features homes.

"Roofline" means the highest point of the main roof structure or highest point on a parapet, but shall not include cupolas, pylons, projections or minor raised portions of the roof.

"Roof sign" means a sign extending above the roofline or located on the roof.

"Sale, lease and rent sign" means a temporary sign which indicates that some premises or vacant land is for sale, lease or rent.

"Sandwich board sign" means a two-sided portable sign constructed of wood, metal or similar rigid material generally displayed outside of a commercial establishment to identify a product or service.

"Seasonal sign" means a temporary sign for seasonal commercial establishments, including, but not limited to, garden centers, Christmas tree lots and fruit and vegetable stands.

"Shingle sign" means a sign used to identify a business whose front is under a roof overhang, covered walkway, covered porch or open lattice walkway.

"Sign" means any device, structure, fixture, banner or placard using graphics, symbols, and/or written copy for the primary purpose of identifying or advertising any establishment, product, goods or services. The term "sign" shall not include any flag.

"Sign value" means the amount reported on the sign permit, which includes the costs of design, materials, construction, and installation.

"Snipe sign" means any sign attached to public property or erected in or over the public right-of-way. This does not include a sign projecting into the public right-of-way for which a grant of privilege has been obtained or signs installed by City, county, state or federal government.

"Streamer" means the same as pennant, as defined in this subsection.

"Structure" means any construction, or any production or piece of work artificially built up or composed of parts joined together in some definite manner.

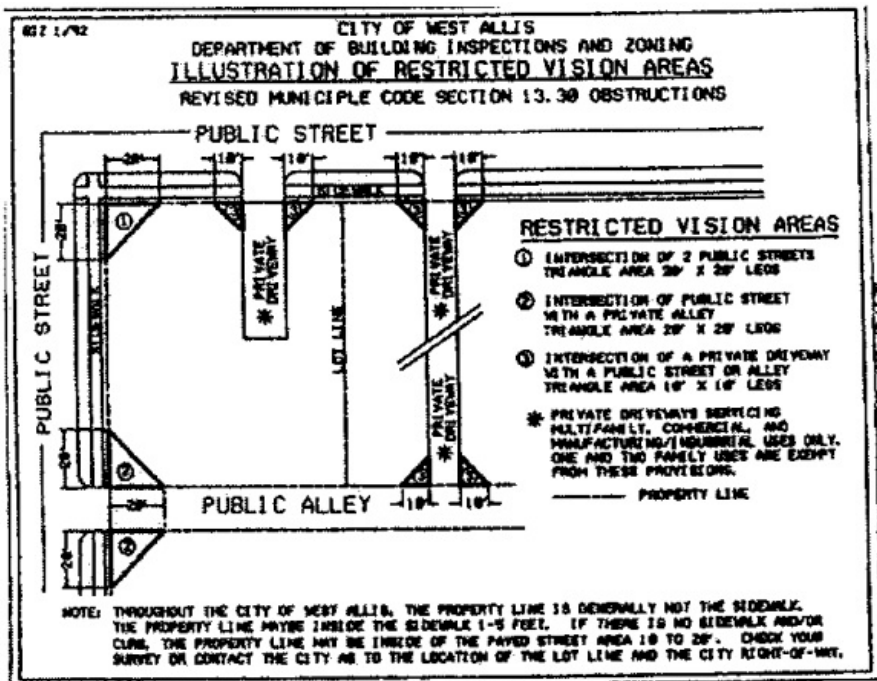
"Temporary sign" means a sign constructed of, but not limited to, cloth, canvas, wood, light fabric, cardboard, wallboard, plastic or other like materials, with or without frames, or any type of sign not permanently attached to the ground, wall or building which is permitted for display for a limited period of time only.

"Tenant directory board" means any sign on which the names of occupants or the uses of a building is given, including, but not limited to, those utilized at office buildings, retail centers and other MTCBs.

"Time and temperature signs" means a sign which conveys the time and/or temperature.

"Traffic directional sign" means a sign designed and located solely for the purpose of relieving traffic congestion and directing and promoting the safe flow of traffic.

"Vision triangle" means a restricted vision area at the intersection of two public streets, a public street and a private alley, and a private driveway and a public street or alley. Private driveways servicing one- and two-family uses are exempt from the vision triangle restriction.



"Wall sign" means a type of sign, the back of which is attached flat (parallel) to a building wall or structure, twelve (12) inches or less from the wall.

"Window sign" means any sign painted upon or attached to or displayed in a window or door in such a manner as to permit viewing from the exterior of the building or structure.

3. Requirement of Conformity. It shall be illegal for a sign to be erected, constructed, repaired, altered, located or maintained in the City, except as provided in this section.
 - a. All signs constructed or maintained contrary to the provisions of this section are declared to be illegal.
 - b. Any person or entity violating any provisions of this section or failing to comply with any orders or regulations made hereunder shall be subject to the penalties hereof and those otherwise provided by law.
 - c. This section shall not apply to signs located in the C-1 Central Business District of the City.
4. Conformity of Nonconforming Signs.
 - a. Any and all signs on a parcel which are nonconforming as of the date of the adoption of this Code (April 17, 2007) nonconforming being defined in Section 13.21(2) of this chapter and Sec. 62.23(7)(h), shall conform to this section: **[Ord. O-2008-0035, 7/1/2008]**
 - i. When there is any alteration to a sign that requires a permit;
 - ii. When there is any alteration to a building or site or structure that requires Plan Commission review;
 - iii. When the total structural repairs or alterations in a nonconforming building, premises, structure, or fixture exceeds fifty percent (50%) of the assessed value of the building, premises, structure, or fixture unless permanently changed to a conforming use; or
 - iv. When the nonconforming use of the building, premises, structure, or fixture is discontinued for a period of twelve (12) months.
 - b. All signs subject to the conformity requirements of this section will have twelve (12) months from issuance of permit for an exterior alteration to a building or site or structure to meet the requirements. An extension of this time limitation may be granted by the Plan Commission in accordance with the following criteria:
 - i. The applicant requesting the extension shall complete a signage application available from the Planning and Zoning Program Staff and shall submit an extension fee in the amount listed on the Fee Schedule.
 - ii. A written explanation for the extension of time shall accompany the signage application along with a timeline/schedule for obtaining necessary permits and a target date for construction start.
 - iii. The request for extension shall be submitted within sixty (60) days of the expiration of the conformity requirements.
 - iv. The extension, if granted, shall be valid for a period of six (6) months. If no building permit has been issued and construction has not commenced within six (6) months from and after the extension has been granted, the extension of time grant shall become null and void.
5. Procedures.
 - a. Sign Application Review and Permitting Process.
 - i. Sign review applications are available through the Planning and Zoning Program Staff. All signs will be reviewed for approval pursuant to the administrative procedures as set by the Planning and Zoning Program Staff except for signs which do not require a permit under Section 13.21(6) of this section, temporary signs as described in Section 13.21(12), and Master Signage Program signs under Section, 13.21(13) of this section, which shall be reviewed and approved by the Plan Commission. Permits are granted from the Code Enforcement Department and will only be granted after approval from the Planning and Zoning Program Staff or Plan Commission.
 - ii. The Planning and Zoning Program Staff decision on an application shall be issued within thirty (30) days of filing of the application with the office of the City Planner unless the applicant has agreed in writing to an extension, or

additional information is required as detailed below.

- (1) Should the applicant be required to supply additional information, the Planning and Zoning Program Staff shall notify the applicant within thirty (30) days of filing and the requested information shall be provided to the Planning and Zoning Program Staff within sixty (60) days of such notice, or the original application shall automatically be denied.
 - iii. Permits are granted from the Code Enforcement Department and will only be granted after approval from the Planning and Zoning Program Staff or Plan Commission.
 - iv. All applicants must submit five (5) color copies of sign proposals along with a signage review fee (see Chapter 12 of the Revised Municipal Code) to the Planning and Zoning Program Staff. Such submissions shall detail the size of the sign, the method of attachment or support, the location(s) of the proposed sign(s), any other sign(s) located on the premises, the materials to be used, and any other information deemed necessary to properly review the proposal.
 - v. Multi-tenant applicants, who include buildings of three (3) or more tenants, or a building area of twenty-five thousand (25,000) square feet or more, or buildings with frontage along an interstate highway, should refer directly to Section 13.21(13) for detailed requirements relative to the Master Sign Program.
 - vi. Guidelines for Approval.
 - (1) The exterior architectural presentation and functional plan of the proposed sign will not be so at variance with or so similar to the exterior architectural presentation and functional plan of signs already constructed or in the course of construction in the area, or so out of harmony with the area, as to potentially contribute to substantial depreciation in the property values of the area.
 - (2) The proposed sign conforms to the location, size and style and other requirements set forth in this section.
 - (3) The proposed sign conforms to the City's long-range planning for the area as set forth in the City's Master Plan as that term is defined in Chapter 62.23(3), Wisconsin Statutes, or relevant portions thereof.
 - (4) The proposed sign shares similar architectural or building material features of the principal building.
 - (5) Signs located in residential corridors may be further regulated by Plan Commission pursuant to Section 13.21(9), such as, but not limited to, lighting operations.
 - vii. The Planning and Zoning Staff Program Development may establish guidelines, which further define and interpret this section. Those guidelines, if any, shall be made available to all sign applicants.
 - viii. Any signage proposals that are denied by the Planning and Zoning Program Staff may be appealed to the Plan Commission in accordance with the variance procedure as stated in Section 13.21(9).
6. Permits, Inspections and Revocations.
- a. A permit shall not be required for the following signs or activities; however, such signs or activities shall be subject to any and all applicable provisions of this section:
 - i. One (1) nonilluminated sign six (6) square feet or less in area unless otherwise specifically required by this section;
 - ii. Maintenance, including repainting or replacing faces of signs, or minor nonstructural repairs of signs (except electrical repair);
 - iii. Political signs;
 - iv. Window signs only as permitted under Section 13.21(18);
 - v. Rental, sale and lease signs six (6) square feet or less in area; and
 - vi. Address markers/signs; and
 - vii. Flags.
 - b. A permit shall not be required for the erection, construction, alteration, placement, maintenance or location of official traffic, fire and police signs, signals, devices and

markings of the state and the City or other public authorities, or the posting of notices required by law or for other signs as approved by the Board of Public Works. See Section 13.21(11).

- c. No person, firm or corporation shall erect, replace, construct, enlarge, alter, move, relocate or maintain any sign as governed by this section without first obtaining a sign permit from the Code Enforcement Department, except as said forth in Section 13.21(6)(a) and (b) above. Before a sign permit may be issued, it shall first be approved by the Planning and Zoning Program Staff in accordance with the procedure in Section 13.21(5), and conform to the requirements of this code, and the applicant shall pay the required fees. See Chapters 12 and 13 of the Revised Municipal Code for a fee schedule.
 - i. Any owner of a premises or agent for the owner shall file an application for a sign permit on a form furnished for such purpose. Each application shall additionally include sufficient information to issue a permit to include plans and drawings detailing sign location information and sign construction information that indicates conformance with the construction standards of Section 13.21(7).
 - ii. In addition to a sign permit, an electrical permit is also required for electrically operated signs.
 - iii. As a condition of the issuance of a sign permit, the sign owner and owner of the premises upon which the sign is located agree to allow inspectors on the property for inspection of the installation and maintenance and further agree to promptly remove the sign should it become unsafe, inadequately maintained, dilapidated, abandoned, in nonconformance with this section, or if prescribed fees are not paid.
- d. Unless waived by the Code Enforcement Department, all signs for which a permit is required shall be subject to the following inspections:
 - i. Electrical inspection on all electrically operated signs.
 - ii. Site inspection to insure that the sign has been constructed according to an approved application and a valid sign permit.
 - iii. Inspection on a yearly basis to insure that the sign continues to conform to the permit and has been adequately and properly maintained.
- e. Permit Revocation and Sign Removal.
 - i. The Code Enforcement Department shall have the authority to revoke any sign permit upon determination that the sign authorized by the permit has been constructed or is being maintained in violation of the permit or the provisions of this section.
 - ii. In revoking any sign permit and requiring the removal of any illegal sign, the Code Enforcement Department shall give a written compliance order to the owner(s) of the premises on which such sign is located and/or to the occupant(s) of the premises to which such sign pertains. The order shall state the reasons and grounds for removal, specifying the deficiencies or defects in such sign, and the violations charged, if any. Such order shall specify what repairs, if any, will make the sign conform to the requirements of this section, specify that the sign must be removed or made to conform with the provisions of this section within the compliance period provided below and further state the appeals process provided below. A sign with an expired permit is an illegal sign and therefore does not require revocation of the permit.
 - iii. Compliance Period for Removal.
 - (1) The compliance period for removal for permanent signs shall be thirty (30) days.
 - (2) The compliance period for removal of temporary signs shall be forty-eight (48) hours.
 - iv. The decision of the Code Enforcement Department to revoke the permit may be appealed to the Plan Commission. A written appeal must be filed within thirty (30) days from the date when the order was served. The Plan Commission shall consider this appeal at its next regularly scheduled meeting. The decision of the Plan Commission shall be the final determination as set forth in Sec. 68.12 of the Wisconsin Statutes. The final determination may be

appealed pursuant to Sec. 68.13 of the Wisconsin Statutes and the notice of the Plan Commission's decision shall inform the parties of the right and time to appeal.

- v. If no appeal has been filed within the thirty-day appeal period, or if the Plan Commission has upheld the decision of the Code Enforcement Department on appeal, the permit is deemed revoked and the sign is deemed illegal. The Code Enforcement Department then shall initiate the procedure for the removal of the illegal sign.
- vi. If after service of order the owner(s) and/or occupant(s) of the premises upon which the sign is located have not removed the sign or brought the sign into compliance with the provisions of the section by the end of the compliance period, the Code Enforcement Department shall take such legal action as deemed appropriate.
- vii. Removal. The Code Enforcement Department is authorized to cause the removal of any sign adjudged to be illegal by a court of competent jurisdiction if the court so orders. The actual cost and expense of any such removal by the Code Enforcement Department shall be charged against the owner of the property and may be entered as a special assessment against such premises to be collected in all respects like other taxes upon the real estate, as provided in Chapter 66.0907(3)(f) of the Wisconsin Statutes, except in the case of snipe signage in the public right-of-way.
- viii. Re-erection of any sign or any substantially similar sign on the same premises after a compliance order has been issued shall be deemed a continuance of the original violation.

7. Sign Construction Standards. All signs shall be designed and constructed to comply with the provision of this code for use of materials, loads and stress as required by the International Building Code (IBC), in the most current edition as published by the International Code Council, Inc.

- a. Signs shall be designed and constructed to withstand wind pressure as provided in IBC Chapter 16.
- b. Signs shall be designed and constructed with the allowable working stress conforming to IBC Chapter 16. The working stress of wire rope and its fastening shall not exceed twenty-five percent (25%) of the ultimate strength of the rope or fasteners. Exceptions:
 - i. The allowable working stress for steel and wood shall be in accordance with IBC Chapters 22 and 23.
 - ii. The working strength of chains, cables, guys or steel rods shall not exceed one-fifth (1/5) of the ultimate strength of such chains, cables, guys or steel.
- c. Signs attached to masonry, concrete or steel shall be safely and securely fastened by means of metal anchors, bolts or approved expansion screws of sufficient size and anchorage to safely support the loads applied. All ferrous chain, wire ropes, guy rods and their fastenings and anchor bolts shall be galvanized or be of other approved equivalent protection. Wood blocks shall not be used for anchorage, except in the case of signs attached to buildings with wood walls. Signs shall not be supported by anchors secured to an unbraced parapet wall. Minimum anchorage for wall signs is three-eighths-inch diameter embedded at least five (5) inches. Minimum anchorage for projecting signs is five-eighths-inch and turnbuckles shall be placed in chains, guys or steel rods supporting projecting signs.
- d. All ferrous parts of signs subject to corrosion shall be protected and maintained free of corrosion.
- e. Wood, approved plastic or other materials of combustible characteristic used as facings or in molding, cappings, nailing blocks, letters and latticing shall comply with Paragraphs 1 through 4 below, and shall not be used for other ornamental features of signs, unless approved.
 - i. All signs greater than forty (40) square feet shall be constructed of metal or other approved noncombustible materials.
 - ii. Plastic and other materials which burn at a rate no faster than two and five-tenths (2.5) inches per minute when tested in accordance with ASTM D 635 shall be deemed approved plastic and can be used as the display surface material and for letters, decorations and facings on signs and outdoor display

structures.

iii. The area of individual plastic facings of electric signs is limited by the area allowed for that type of sign but shall not exceed two hundred (200) square feet. If the total area of display surfaces exceeds two hundred (200) square feet, the area occupied or covered by approved plastics shall be limited to two hundred (200) square feet plus fifty percent (50%) of the difference between two hundred (200) square feet and the area of the display surface. The area of plastic on the display surface shall not exceed one thousand one hundred (1,100) square feet.

iv. Letters and decorations mounted on approved plastic facing or display surface can be made of approved plastics.

- f. No sign shall be illuminated by other than electrical means. Any open spark or flame design is not permitted unless specifically approved.
- g. Signs that require electrical service shall comply with Chapter 14, Electrical Code.
- h. All internally illuminated signs shall bear the label of the manufacturer and approved testing agency and the listing number shall be reported on the sign permit application.
- i. Signs shall not be erected, constructed or maintained so as to obstruct any fire escape or any window or door. A sign shall not be attached in any form, shape or manner to a fire escape, nor be placed in such manner as to interfere with any opening required for ventilation.

8. Maintenance.

- a. All signs and sign support structures, together with all parts to include, but not limited to, sign faces, supports, braces, base, guys and anchors, shall be kept in good repair and in proper state of preservation. Painted surfaces shall be maintained free of peeling, chipping paint. All metal parts and supports thereof shall be maintained free of corrosion.
- b. The Code Enforcement Department shall have the authority at all reasonable times to inspect and order the painting, repair, alteration, maintenance or removal of a sign which constitutes a hazard to safety, health or public welfare by reason of inadequate maintenance, dilapidation, or obsolescence. The Code Enforcement Department shall follow the procedure of notification concerning such maintenance or removal as outlined in Section 13.21(6).
- c. When any sign, advertising structure or device, or a major part thereof, is blown down, destroyed, taken down or removed for any purpose, such structure shall not be re-erected, reconstructed, rebuilt, or relocated, except in conformity with the regulations of this section. Additionally, any existing sign, sign structure, awning, canopy, or other advertising structure requiring repairs at any one time in excess of fifty percent (50%) of the sign's original value shall not be repaired unless made to conform to the requirements of this section.
- d. An abandoned sign is prohibited and shall be made to conform to this code or removed by the owner of the sign or owner of the premises.
- e. Any sign which is located on a premises which becomes vacant or unoccupied for a period of six (6) months or more is considered abandoned and shall be removed.
- f. If a business on a property is suspended because of business or property ownership or management change, for more than six (6) months, any signage associated is considered abandoned and shall be removed.
- g. The Building Inspector may grant up to a six-month extension of time for the removal or intended compliance of a sign, to the sign owner, under the provisions of this subsection. A written request for an extension of time shall be submitted to the Code Enforcement Department.
- h. All signs, awnings, canopies, and other advertising structures projecting into the City right-of-way may be inspected yearly for maintenance and conformance with this code. An annual maintenance inspection fee shall be charged to the sign owner or property owner of each sign in place on January 1 and is due and shall be paid by March 15 of each year following original installation. The fee shall be in accordance with the fee schedule. Any annual maintenance inspection fee that remains unpaid 30 days after imposition of the fee is delinquent and may be assessed against the tax parcel served as a special charge for current services, without notice, pursuant to sec.

66.0627(2) of the Wisconsin Statutes.

- i. All signs, as designated in the Code Enforcement Department fee schedule, may be inspected yearly for maintenance and conformance with the code. An annual maintenance inspection fee shall be charged to the sign owner of each sign and is due and shall be paid by March 15 of each year the sign exists. The fee shall be in accordance with the fee schedule. Any annual maintenance inspection fee that remains unpaid 30 days after imposition of the fee is delinquent and may be assessed against the tax parcel served as a special charge for current services, without notice, pursuant to sec. 66.0627(2) of the Wisconsin Statutes.

9. Variance to Sign Code.

- a. Purpose. Sign variances are intended to allow flexibility in sign regulations while fulfilling the purpose of this ordinance. Variance from specific regulations of this section may be granted by the Plan Commission, where, owing to special conditions, a literal enforcement of the provisions of this section will result in practical difficulty or unnecessary hardship; provided, that the spirit of this section shall be observed, public safety and welfare secured and substantial justice done. Nothing in this section, however, is intended to permit the erection or maintenance of signs which create the potential of public harm or for which there is no public benefit or which are in conflict with the City's Master Plan or relevant portions thereof.
- b. Procedure.
 - i. Any person may request a variance from any provision or requirement of Section 13.21 of the Revised Municipal Code by submitting a written request to the Planning and Zoning Program Staff not less than 20 days before the next regularly scheduled Plan Commission meeting. A fee shall be required of the applicant at the time that a request for a hearing is made in accordance with Development Review Fees in Chapter 12 of the Revised Municipal Code.
 - ii. The Plan Commission shall review such requests for variances using the following criteria:
 - (1) The sign as proposed will not result in an undue concentration of signage, which renders it difficult or confusing to read existing signs.
 - (2) The proposed sign is unique and of exceptional design or style so as to enhance the area.
 - (3) Site difficulties: unusual site factors preclude the construction of a sign in accordance with this section, which would be visible to the roadway adjacent to the site frontage.
 - iii. Should the Plan Commission find that a variance should be granted, the application will be forwarded to the Code Enforcement Department with directions to issue a permit in accordance with its decision. If the Plan Commission finds that a variance should not be granted, it shall inform the applicant of the reasons for such decision, in writing within thirty (30) days of the date of such decision. The decision of the Plan Commission shall be the final determination as set forth in sec. 68.12 of the Wisconsin Statutes. The final determination may be appealed pursuant to sec. 68.13 of the Wisconsin Statutes, and the notice of the Plan Commission's decision shall inform the parties of the right and time to appeal.

10. Prohibited Signs, Lighting and Movement.

- a. Lighting. Bare light bulbs shall not be permitted. No flashing, blinking or rotating lights shall be permitted for either permanent or temporary signs. Illumination shall be so installed to avoid any glare or reflection into any adjacent property, or onto a street or alley to create a traffic hazard as determined by the Code Enforcement Department.
- b. Prohibited Signs. It is unlawful to erect or maintain the following signs: **[Ord. O-2012-0028, 3/6/2012]**
 - i. Flashing signs.
 - ii. Portable signs.
 - iii. Pennants or streamers.
 - iv. Abandoned signs/structures.
 - v. Snipe signs—signs in, on or over public property; excluding those regulated in Section 13.21(11).

- vi. Signs that interfere with traffic.
 - vii. Nonpolitical signs greater than six (6) square feet on a residential use property; not including residential properties over three-family, which are regulated by the Plan Commission under the master sign program, Section 13.21(13).
 - viii. All prohibited signs not mentioned in this section.
11. Signs in the Public Right-of-Way.
- a. No sign, pennant, flag or banner shall be erected, placed, located or maintained within the limits of any street or highway unless allowed as hereafter stated. Street or highway limits include all the dedicated rights-of-way, encompassing the traveled portion of the highway, shoulders, sidewalks, ditches and adjacent dedicated areas. This prohibition applies to freestanding signs and those placed on trees, utility poles, fence post stakes and all other structures within the highway limits.
 - i. Failure to comply with the provisions of this section shall be a violation of Sec. 86.19, Wisconsin Statutes, which is hereby adopted, as well as this section.
 - ii. Any sign in violation of this section shall be removed without notice by the Code Enforcement Department, the Police Department, or the Public Works Department.
 - iii. This prohibition shall not apply to signs placed within the limits of streets or highways by duly constituted municipal, county or state authorities for the guidance or warning of traffic, as provided in Sec. 86.19(1) and (4), Wisconsin Statutes, or to mail boxes and paper boxes, bus shelters, or to banners, signs, pennants, flags or other related decorations hung over streets attached to public property as authorized by the Board of Public Works, in which case these will not require a permit under this section.
 - iv. No sign shall be erected, placed, located or maintained at or near the intersection of any streets so as to obstruct free and clear vision or at any location where, by reason of position, shape and color, it may interfere with, obstruct the view of, or be confused with any authorized traffic sign, signal or device, or which makes use of the words "stop," "look," "danger" or other word, phrase, symbol or character in such manner as to interfere with, mislead or confuse traffic.
 - b. Signs on Public Property. No person shall erect, place or locate any sign in or on public property, with the exception of projecting signs, which are only allowed in the public right-of-way with a grant of privilege from the Board of Public Works.
 - c. Guidance signs. **[Ord. O-2008-0038]**
 - i. Any person or persons conducting a summer or winter resort, hotel, or any place of public entertainment or instruction, or any place of religious worship may be granted permission from the Board of Public Works for erection of guidance signs of a type approved by the Board of Public Works subject to the conditions contained in this subsection. The application shall be filed with the Planning and Zoning Program Staff along with the fee listed on the Fee Schedule for the Public Works Department's cost for materials and labor of the manufacturing and erection of the guidance sign.
 - ii. All guidance signs and their supports shall be constructed, erected and maintained by the Public Works Department, and guidance signs shall be uniform in size as prescribed by the Board of Public Works.
 - iii. No guidance sign may be permitted on freeways, including the national system of interstate highways.
 - iv. Only where such institution or business is located removed from the state trunk highway system, state connecting highway, county trunk highway, or arterial streets, as defined by the Wisconsin Department of Transportation, may such guidance signs be erected.
 - v. Such guidance signs may be erected at only two (2) intersections of the state trunk highway system/state connecting highway with county trunk highways or local roads, and at such intersections of county highways or local roads as are deemed necessary by the Board of Public Works.
 - vi. No person may be permitted to erect or maintain a guidance sign on a

highway or road if that person has any advertising sign in the vicinity of the intersection where the guidance sign is proposed to be erected, or has a business sign on the same highway or road, or whose business's occupancy building is less than five thousand (5,000) square feet in area.

- vii. No flashing, illuminated or reflecting signs or installation shall be permitted.
- viii. No guidance sign may be erected upon a state trunk highway right-of-way at an intersection with the state trunk highway system until the location and manner of erection of the sign have the written approval of the Department of Transportation.
- ix. Provisions from the Wisconsin Administrative Transportation Code 200.03 shall be complied with at all times.

12. Temporary Signs.

a. Permit, Maintenance and Removal.

- i. The Code Enforcement Department may issue a temporary sign permit as stated in this subsection. After permit application, a temporary sign permit may be issued for a time period specified unless as otherwise noted in this subsection.
- ii. Any temporary sign erected without a permit or for which the permit has expired may be removed by the Building Inspector with or without notice.
- iii. All temporary signs shall be maintained in good condition and removed promptly upon expiration of the permit or as ordered by the Building Inspector.

b. Banners.

- i. Application for a banner sign shall include information and/or plans indicating the size of the sign, the advertising or copy on the sign, the location of the sign on the property, sign material type, and information regarding installation (attachment and/or support).
- ii. Each banner allowed may not exceed thirty-two (32) square feet in area.
- iii. No more than two (2) banners may be erected per business or occupant per calendar year, with each permit issued allowing a maximum of thirty (30) days for the banner to be posted on the property. Additionally, there may be no more than two (2) banners erected per site at one time.
- iv. A grand opening banner sign not exceeding thirty-two (32) square feet may be allowed for a new business for a period of thirty (30) days in addition to other banners allowed.
- v. Seasonal signs may be posted for the term of the season as stated on the issued permit.
- vi. The Code Enforcement Director may allow a temporary sign to remain in place for up to ninety (90) days with one (1) ninety-day extension of time, while a business or property owner pursues a permanent sign.

c. Construction and Development Signs.

- i. Construction and development signs are allowed to indicate the new business, development, contractor, subcontractor, architect or lending institution.
- ii. Application for each construction or development sign shall include information and/or plans indicating the size of the sign, copy on the sign, sign material type, the location of the sign on the property, whether single- or double-faced, and sign attachment and/or support information.
- iii. One (1) development sign is allowed per street frontage and may not exceed thirty-two (32) square feet in area.
- iv. Two (2) construction signs are allowed per street frontage and each sign may not exceed thirty-two (32) square feet in area.
- v. Construction and development sign permits shall expire ten (10) days after the first occupancy and shall be removed promptly upon expiration.

d. Sale, Lease and Rent Signs.

- i. Vacant land and land being developed may have a temporary sale, lease, and rent sign posted on each street which the land abuts. The sign shall be placed on the property being sold, leased or rented in accordance with this subsection.

- ii. Residential use properties are allowed a sale, lease, or rent sign, not greater than six (6) square feet in area and may be double-faced. Freestanding signs shall not be greater than five (5) feet in height. No permit is required, and the sign shall be removed upon sale, lease or renting of the use advertised.
 - iii. Nonresidential use properties are allowed one (1) temporary sale, lease, or rent sign, which may be single- or double-faced and shall not exceed thirty-two (32) square feet in area. Freestanding signs shall not be greater than five (5) feet in height. A permit is required for each sign in excess of six (6) square feet. Each sign shall be removed upon sale, lease, or renting of the use advertised, except as stated in Section 13.21(12)(d)(4). The notice to remove noncomplying signs shall be in accordance with the procedures outlined in Section 13.21(6).
 - iv. For new nonresidential developments, a temporary sale, lease, or rent sign permit may be issued for one hundred eighty (180) days and may be renewed for ninety-day periods until the development's units are ninety percent (90%) occupied or when two thousand (2,000) square feet of area or less remains to be sold, leased, or rented. The notice to remove noncomplying signs shall be in accordance with the procedures outlined in Section 13.21(6).
- e. Political Signs. **[Ord. O-2010-0049, 11/16/2010]**
- i. Section 12.04 of the Wisconsin Statutes is hereby adopted and incorporated herein.
 - ii. Yard signs on property zoned residential shall not exceed twenty-four (24) square feet in area.
 - iii. No sign shall be placed such that it interferes with the vision of vehicle operators upon the highway or obstructs pedestrian travel on the public sidewalk.
 - iv. Yard signs displayed in other than residential zoning districts shall not exceed forty-eight (48) square feet in area.
 - v. Political signs may be displayed during the election campaign period and must be removed within a reasonable time after the election.
 - vi. No permit shall be required for political signs.
13. Master Sign Program.
- a. The purpose of the Master Sign Program is to advertise a center and its individual tenants and to allow qualified buildings and/or centers greater flexibility and increased signage area to the specific requirements as hereafter stated.
 - b. Application. **[Ord. O-2010-0037, 10/19/2010]**
 - i. An application for a Master Sign Program must first be filed with the Planning and Zoning Program Staff. With the exception of minor tenant spaces, the Plan Commission shall review all Master Sign Program applications and proposals. The Plan Commission may approve, deny or request changes to a sign, based on the architecture of that sign.
 - ii. Sign applications that meet the definition of a minor tenant space may be staff approved. In such cases, the review of signage application conformance shall be limited to the minor tenant space only and not require the overall conformance of the multi-tenant commercial building.
 - c. The Plan Commission, in its discretion, will consider the type and location of the building site, the proposed tenant mix, the size of the development and such other factors as it deems appropriate in evaluating a Master Sign Program.
 - d. Each individual sign proposed in accordance with an approved Master Sign Program must be applied for and permitted separately in accordance with this section, and in no event shall any recommendation or approval of a Master Sign Program be deemed an approval of or a permission to construct any particular sign under that program. After review and approval by the Planning and Zoning Staff Program Development, all applications for permits for such individual signs must be filed with the Code Enforcement Department.
 - e. The following entities may make application for the Master Sign Program:
 - i. Multi-tenant commercial buildings (MTCBs) or centers of three (3) or more individual tenants or buildings of at least twenty-five thousand (25,000) square

- feet of building area.
 - ii. Commercial or industrial uses which abut 1-94 and 1-894 right-of-way.
 - f. A Master Sign Program, as presented to the Plan Commission, shall include the following components:
 - i. An aesthetically developed theme on color, size and style.
 - ii. A proposed location of all signs for the building, development or center; where possible, signs shall be centered over tenant spaces.
 - iii. The proposed size of individual signs which may be expressed in maximums and minimums for purposes of the proposed Master Sign Program, but which must be proposed in exact terms when application is made for such individual signs after approval of the program.
 - iv. Type of signage proposed, e.g., individual letters, box, etc.
 - v. Blueprints, drawings and written policies governing the color, size, style, location and other features of the proposed signs.
 - g. Freestanding signage (Master Sign Program).
 - i. Multi-tenant commercial buildings, or buildings/centers greater than twenty-five thousand (25,000) and less than fifty thousand (50,000) square feet of building area may be permitted one (1) freestanding sign of no more than seventy-five (75) square feet in area, ten (10) feet in height, and subject to Plan Commission approval.
 - ii. Buildings/centers greater than fifty thousand (50,000) and less than one hundred thousand (100,000) square feet of building area may be permitted one (1) sign per building/center of one hundred fifty (150) square feet in area, not to exceed twelve (12) feet in height, subject to Plan Commission approval.
 - iii. Buildings/centers greater than one hundred thousand (100,000) and less than three hundred thousand (300,000) square feet of building area may be permitted one (1) freestanding sign per arterial street of one hundred fifty (150) square feet in area each, or one (1) sign per building/center of two hundred twenty-five (225) square feet in area, neither to exceed fifteen (15) feet in height, subject to Plan Commission approval.
 - iv. Determination of signage area for buildings or centers greater than three hundred thousand (300,000) square feet of building area shall be determined by the Plan Commission.
 - v. Where changeable copy or electronic message center signage is permitted pursuant to Section 13.21(19), the area of the changeable copy sign must be included in the total computation of allowable signage and subject to Plan Commission review.
 - vi. The Planning and Zoning Program Staff and the Plan Commission shall not approve any Master Sign Plan greater than fifteen (15) feet in height, except for centers over three hundred thousand (300,000) square feet in building area, which height shall be subject to Plan Commission discretion.
 - vii. Freestanding signs must be architecturally integrated with the principal building on the property. The base, sides, and top of the sign shall be constructed of masonry or other approved durable materials. The tone and texture of the base, sides, and top shall reflect the principal building construction as close as possible or shall enhance the exterior architecture of the principal building. The base of the sign shall be a minimum of two (2) feet in height.
 - viii. The color scheme of the sign shall complement the color scheme of the principal building.
 - ix. Architectural features (such as sills, piers, reveals, capstones, medallions, etc.) which are part of the architectural makeup of the principal building shall be incorporated into the sign.
 - x. The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
 - xi. The sign structure or post of a freestanding sign must be wrapped in or

- constructed of a material compatible with the materials utilized in the construction of the building to which the sign refers. The width of the base of the sign must be equal to or greater than the width of the sign face.
- xii. Landscaping requirements. Landscaping shall be provided at the base of the supporting structure equal to twice the area of one face of the sign. For example, twenty (20) square feet of sign area equals forty (40) square feet of landscaped area. The Plan Commission may reduce or waive this requirement if it is determined the additional landscaping would not contribute significantly to the overall aesthetic character of the project.
- h. Wall Signage (Master Sign Program).
- i. Multi-tenant commercial buildings.
- (1) Area. The maximum allowable area of wall signs for eligible multi-tenant commercial buildings shall be computed as one and five-tenths (1.5) square feet per lineal foot of each tenant's frontage.
- (A) If applying the area formula above [Section 13.21(13)(h)(1)(a)] results in a sign area greater than two hundred (200) square feet, the individual tenant wall signs, when submitted to the Planning and Zoning Program Staff in conjunction with a Master Sign Program, shall be permitted an aggregate maximum area of two hundred (200) square feet, subject to Plan Commission approval.
- (B) Where other wall-mounted signage (e.g. projecting signage) is permitted pursuant to Section 13.21(16), the area of the sign must be included in the total computation of allowable signage and subject to Plan Commission review.
- (2) Number. Total number of wall signage permitted for a building or center or multi-tenant commercial building may be apportioned over two (2) building facades, but no more than one (1) sign per facade. Wall signage must be placed on an exterior wall of the business in which the sign identifies.
- (3) Placement. A wall sign must be placed on an exterior wall of the tenant's space, which the sign identifies.
- (A) A wall sign may not project more than twelve (12) inches from the wall surface.
- (B) No part of a wall sign shall extend more than four (4) feet above the plate line nor shall a wall sign extend above a parapet wall, fascia or roofline.
- (C) Wall signs facing an alley shall be no larger than five (5) square feet in area, shall be located on the rear entry door and shall not be illuminated. **[Ord. O-2008-0038]**
- (4) Design. Artistic qualities, design relief and articulation of signage including raised letters, framing, insets/offsets and unique shapes are encouraged.
- (A) The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
- (B) Exclusively flat wall signs shall not be acceptable. Acceptable alternatives include:
- (a) Raised/channeled letters;
- (b) Individual letters;
- (c) Oddly shaped signs; and
- (d) Two-inch thick (minimum) border around the wall sign.
- ii. Buildings greater than twenty-five thousand (25,000) square feet of building area.
- (1) Area. Buildings greater than twenty-five thousand (25,000) and less than fifty thousand (50,000) square feet of building area may be permitted wall signage no greater than two hundred (200) square feet

in area, and subject to Plan Commission approval.

- (2) Area. Buildings greater than fifty thousand (50,000) square feet and less than three hundred thousand (300,000) square feet of building area shall be permitted four hundred (400) square feet in wall sign area, plus additional signage area computed by the following formula: five-tenths (0.5) square foot times the setback length of the building from the street frontage.
- (3) Number. Buildings greater than twenty-five thousand (25,000) and less than one hundred thousand (100,000) square feet of building area may be permitted two (2) wall signs on an exterior wall of the business in which the sign identifies.
- (4) Number. Buildings greater than one hundred thousand (100,000) square feet and less than three hundred thousand (300,000) square feet of building area may be permitted three (3) wall signs on an exterior wall of the business in which the sign identifies.
- (5) Placement. A wall sign must be placed on an exterior wall of the tenant's space, which the sign identifies.
 - (A) A wall sign may not project more than twelve (12) inches from the wall surface.
 - (B) No part of a wall sign shall extend more than four (4) feet above the plate line nor shall a wall sign extend above a parapet wall, fascia or roofline.
 - (C) Wall signs facing an alley shall be no larger than five (5) square feet in area, shall be located on the rear entry door and shall not be illuminated. **[Ord. O-2008-0038]**
- (6) Design. Artistic qualities, design relief and articulation of signage including raised letters, framing, insets/offsets and unique shapes are encouraged.
 - (A) The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
 - (B) Exclusively flat wall signs shall not be acceptable. Acceptable alternatives include:
 - (a) Raised/channeled letters;
 - (b) Individual letters;
 - (c) Oddly shaped signs; and
 - (d) Two-inch thick (minimum) border around the wall sign.
- iii. Determination of wall signage area for buildings greater than three hundred thousand (300,000) square feet of building area shall be determined by the Plan Commission.

14. Freestanding signs.

a. Architecture and Landscaping.

- i. Freestanding signs must be architecturally integrated with the principal building on the property. The base, sides, and top of the sign shall be constructed of masonry or other approved durable materials. The tone and texture of the base, sides, and top shall reflect the principal building construction as close as possible or shall enhance the exterior architecture of the principal building. The base of the sign shall be a minimum of two (2) feet in height.
- ii. The color scheme of the sign shall compliment the color scheme of the principal building.
- iii. Architectural features (such as sills, piers, reveals, capstones, medallions, etc.), which are part of the architectural makeup of the principal building, shall be incorporated into the sign.
- iv. The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.

- v. The sign structure or post of a freestanding sign must be wrapped in or constructed of a material compatible with the materials utilized in the construction of the building to which the sign refers. The width of the base of the sign must be equal to or greater than the width of the sign face.
 - vi. Double-faced or V-shaped signs. A freestanding sign may be double-faced or V-shaped.
 - (1) Interior angle less than or equal to sixty degrees (60°). The area of double-faced or V-shaped signs with interior angles equal to or less than sixty degrees (60°) shall be expressed as the sum of the area of one face.
 - (2) Interior angle greater than sixty degrees (60°). Double-faced or V-shaped signs with interior angles exceeding sixty degrees (60°) shall be reviewed by the Plan Commission. The Plan Commission may approve, deny or request changes to a sign, based on the architecture of that sign. The area of double-faced or V-shaped signs with interior angles greater than sixty degrees (60°) shall be expressed as the sum of the areas of all the faces.
 - vii. Landscaping Requirements. Landscaping shall be provided at the base of the supporting structure equal to twice the area of one (1) face of the sign. For example, twenty (20) square feet of sign area equals forty (40) square feet of landscaped area. The Planning and Zoning Program Staff may reduce or waive this requirement if it is determined the additional landscaping would not contribute significantly to the overall aesthetic character of the project.
 - viii. The Planning and Zoning Program Staff may approve, deny or request changes to a sign, based on the architecture of that sign.
- b. Size Requirements and Location.
- i. Number. One (1) freestanding sign shall be permitted. Two (2) freestanding signs are permitted for qualified sites under the Master Sign Program [Section 13.21(13)].
 - ii. Area. The area of a freestanding sign shall be computed by the following formula: Either six-tenths (0.6) square foot times the lineal front foot of the lot line or eight-tenths (0.8) square foot times the building front foot, whichever is greater, to a maximum of fifty (50) square feet of area, as permitted by the Planning and Zoning Program Staff. Corner lots may use either the front or side dimensions. Should the Planning and Zoning Program Staff Development approve both a freestanding sign and a wall sign for a given building or center, the area permitted must be apportioned between these signs not to exceed one hundred twenty-five (125) square feet. For multi-tenant commercial buildings and buildings over twenty-five thousand (25,000) square feet in area, see Section 13.21(13).
 - iii. The sign may have multiple faces if so approved.
 - iv. Height. The maximum height of a freestanding sign may not exceed ten (10) feet. The applicant shall provide dimensions of the proposed sign. The height of a freestanding sign shall be regulated and approved by the Planning and Zoning Program Staff in consideration of the location of the proposed sign; the height, size, appearance, number and location of other signs in the vicinity of the proposed sign; the propriety of the proposed sign with respect to a Master Sign Plan, if any; and such other facts as the Planning and Zoning Program Staff deems appropriate.
 - v. Location. An offset of no less than one (1) foot from the ultimate right-of-way line should be maintained.
 - (1) The sign shall be located in an area of meaningful open space, which shall be appropriately landscaped, including some year-round plantings.
 - (2) Site consideration should be given to signs on corner lots, near driveways and/or alleys, etc. Signs are not to obstruct the vision triangle (see Figure 1 below). Signs proposed within the vision triangle shall require Plan Commission approval.

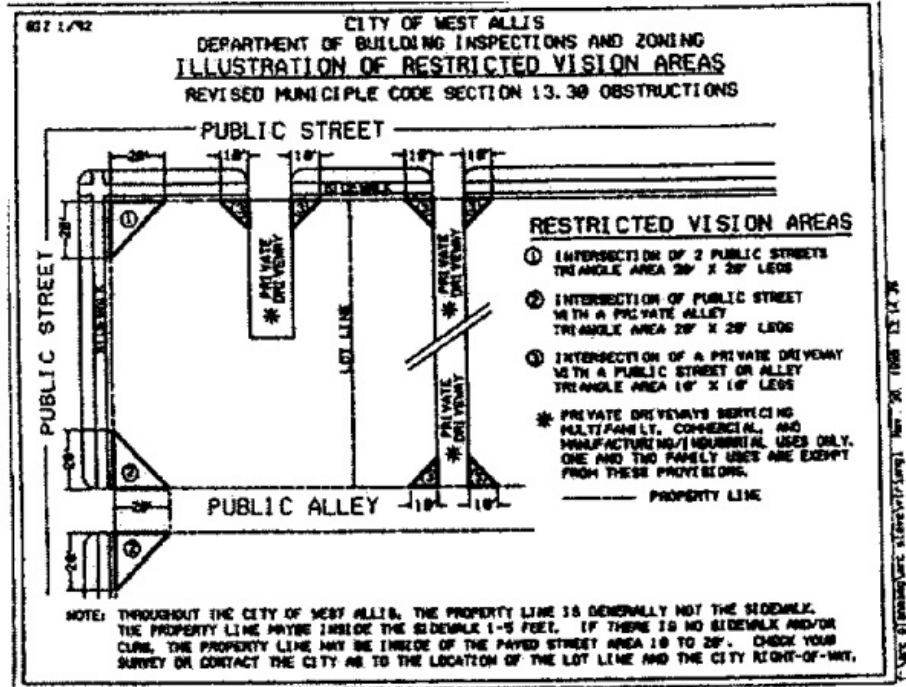


Figure 1: Vision Triangle Restrictions

15. Wall signs.

a. Architecture and Design.

- i. Architecture. Wall signs must be architecturally integrated with the principal building on the property. The tone and texture of the sign shall reflect the principal building construction as close as possible or shall enhance the exterior architecture of the principal building.
- ii. Design. Artistic qualities, design relief and articulation of signage including raised letters, framing, insets/offsets and unique shapes are encouraged.
 - (1) The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
 - (2) Exclusively flat wall signs shall not be acceptable. Acceptable alternatives include:
 - (A) Raised/channeled letters;
 - (B) Individual letters;
 - (C) Oddly shaped signs; and
 - (D) Two-inch thick (minimum) border around the wall sign.

- b. Size Requirements and Location.
 - i. Placement. A wall sign must be placed on an exterior wall of the business, which the sign identifies.
 - (1) A wall sign may not project more than twelve (12) inches from the wall surface.
 - (2) No part of a wall sign shall extend more than four (4) feet above the plate line nor shall a wall sign extend above a parapet wall, fascia or roofline. A wall sign may be allowed on a roof surface only if the roof surface is within twenty-five degrees (25°) of vertical, such as a mansard roof.
 - ii. Number. Two (2) wall signs shall be permitted, or one (1) wall sign per street frontage, whichever is greater.
 - iii. Area. The area of a wall sign shall be regulated and approved by the Planning and Zoning Program Staff in consideration of the factors enumerated in this subsection and shall be computed by the following formula: Either six-tenths (0.6) square foot times the lineal front foot of the lot line or eight-tenths (0.8) square foot times the building front foot, whichever is greater, to a maximum of one hundred twenty-five (125) square feet, as permitted by the Planning and Zoning Staff Program Development. Corner lots may use either the front or side dimensions. Should the Planning and Zoning Program Staff approve both a freestanding sign and a wall sign (or multiple wall signs in the case of a multi-frontage lot) for a given building or center, the area permitted must be apportioned between these signs not to exceed one hundred twenty-five (125) square feet.
 - iv. Wall signs facing an alley shall be no larger than five (5) square feet in area, shall be located on the rear entry door and shall not be illuminated. **[Ord. O-2008-0038]**

16. Projecting Signs.

- a. Number. One (1) projecting sign is permitted per street frontage for each tenant. A grant of privilege will be required for signs over the right-of-way [see Section 13.21(11)].
- b. Area. The gross surface area of the sign shall be limited to a maximum of sixteen (16) square feet for single and multi-tenant buildings. Multi-story buildings are permitted an additional sixteen (16) square feet for each additional level to a maximum of one hundred (100) square feet in area.
- c. Location.
 - i. Projection. The sign shall not project more than four (4) feet from the wall to which it is attached.
 - ii. Clearance. No part of the sign shall be lower than eight (8) feet above the walk or surface below.
- d. Height.
 - i. Signs attached to a one-story building shall not exceed fifteen (15) feet above the walk or surface below, subject to all the above limitations. Signs attached to multi-story buildings shall not extend above the roof, wall or parapet of the building to which it is attached.

17. Awnings.

- a. A grant of privilege is required for awnings over the right-of-way [see Section 13.21(11)].
- b. Area. The area of sign copy shall not exceed twenty-five percent (25%) of the face of the awning/canopy to which the sign is to be affixed (see Figure 2 below).
- c. Location.
 - i. Projection. The sign may be affixed to any awning/canopy. An awning shall not project closer than two (2) feet to the edge of street curb.

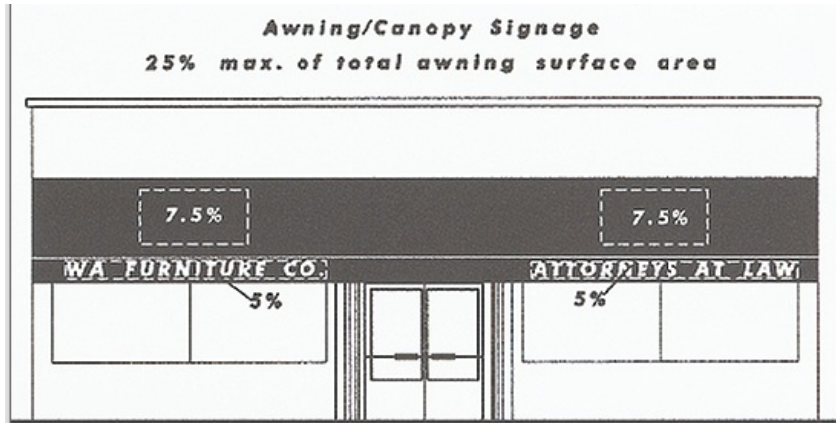


Figure 2: Awning Signage

- ii. Clearance. The lowest part of the awning structure shall not be less than seven (7) feet above the adjacent street grade or walk area below. The height of the awning fringe shall not be less than six (6) feet nine (9) inches above the adjacent grade.
 - d. Materials. Plastic/vinyl awning materials are not permitted.
 - e. Illumination: Awnings may be illuminated.
18. Window Signs.
- a. In no instance may window signs (see Figure 3 below) cover more than twenty percent (20%) of the window space. All window signs must be affixed to the interior of the window.

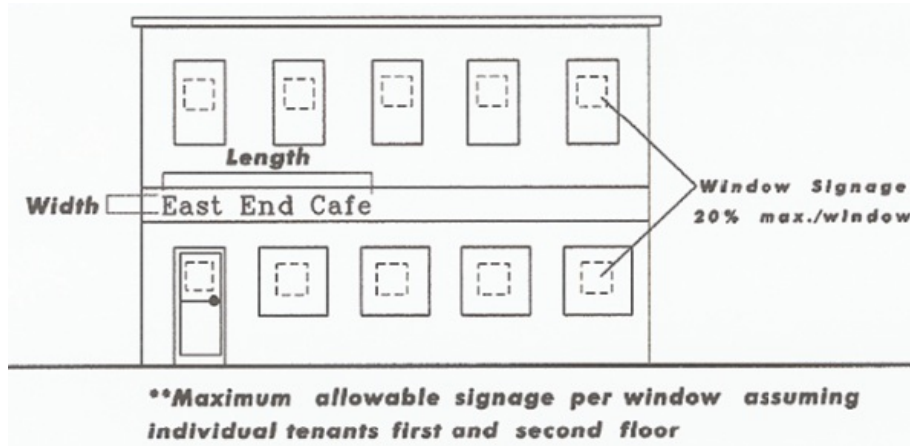


Figure 3: Maximum Window Signage

19. Changeable Copy Signs and Electronic Message Centers.
- a. Area. The computation of sign area for changeable copy signs and electronic message centers shall be included in the total permitted sign area allowed for the building or development where changeable copy signs and electronic message centers are permitted by this section and/or by the Planning and Zoning Program Staff.
 - i. The changeable copy portion of the sign must occupy a secondary position to the name of tenant. The area of changeable copy and electronic message centers shall not exceed thirty-five percent (35%) of the sign face, excepting gas stations for the purpose of displaying price.
 - b. Number. There shall be only one (1) changeable copy sign or electronic message center on each lot or parcel of land.
 - c. Design. Changeable copy signs and electronic message centers must be integrated into the freestanding sign or projecting sign for such building or development.
 - i. Electronic message centers may not change a message or display by an electronic process more frequently than three-second intervals.
 - ii. The sign may be double-faced.
 - iii. Each sign shall be permanently installed or located.
 - iv. Each sign shall be placed in such a manner so as to not interfere with, confuse

or present any hazard to traffic.

20. Tenant Directory Boards. Exterior tenant directory boards for the purpose of guiding pedestrians to individual businesses within a multi-tenant commercial building or center are allowed, subject to the provisions hereof. Letters on a tenant directory board, identifying occupants, may not exceed three (3) inches in height. Reorganization of a tenant directory board may be done for purposes of appearance or clarity. Changes in the structure, style or design of a tenant directory board or to add or delete the name of an occupant shall be allowed unless such tenant directory board is a legal nonconforming sign, in which case such tenant directory board must first be brought into compliance with all of the provisions of this section. Tenant directory boards shall match the color and style of the principal signage for the property and shall be located either within or outside in proximity to the main entrance area of the building. Tenant directory boards are allowed in addition to wall and freestanding signs, for a Master Sign Program. Tenant directory boards require a permit to be issued by the Code Enforcement Department.
21. Directional Signs.
 - a. Number. No more than one (1) single-faced, double-faced or four-sided freestanding sign shall be permitted for each driveway. No directional sign shall be greater than four (4) feet in height.
 - b. Area. The area of each side of a directional sign shall not exceed six (6) square feet. If a driveway is shared by two (2) or more businesses or premises and each such business or premises would be permitted one (1) directional sign, pursuant to this section, such signs may be incorporated into one (1) eight-square-foot directional sign no greater than four (4) feet in height. The area of a directional sign is not calculated with the total signage area permitted on a site.
 - i. Twenty-five percent (25%) of the area of each side of a directional sign may be used for the business name or logo.
 - c. Location. An offset of no less than one (1) foot from the ultimate right-of-way line should be maintained.
 - d. Design.
 - i. Directional signs, including the base, must be architecturally integrated with the principal sign on the property. The tone and texture of the sign shall reflect the principal sign construction as close as possible or shall enhance the exterior architecture of the principal sign.
 - ii. The color scheme of the sign shall complement the color scheme of the principal sign.
 - iii. The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
 - iv. The Planning and Zoning Program Staff may approve, deny or request changes to a sign, based on the architecture of that sign.
 - e. Directional signs may be approved administratively by the Planning and Zoning Staff Program of Development.
22. Informational Signs.
 - a. Signage developed for purely informational reasons, except menu boards, shall be allowed without the necessity of obtaining a permit, unless illuminated, so long as such signs comply with all other applicable provisions of this section. Such signs must be no greater than six (6) square feet in area. Examples of informational signs are signs indicating separate buildings or services on premises, e.g., body shop, car wash, and drive-up window.
 - b. Informational signs consisting of menu boards may exceed six (6) square feet in area, provided, however, that no menu board, regardless of size, may be erected unless first reviewed by the Planning and Zoning Program Staff and a permit is obtained by the Code Enforcement Department.
 - i. Informational signs, including the base, must be architecturally integrated with the principal sign on the property. The tone and texture of the sign shall reflect the principal sign construction as close as possible or shall enhance the exterior architecture of the principal sign.

- ii. The color scheme of the sign shall complement the color scheme of the principal sign.
 - iii. The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
 - iv. The Planning and Zoning Staff Program of Development may approve, deny or request changes to a sign, based on the architecture of that sign.
23. Sandwich Board Signs.
- a. All applications for sandwich board signs shall be filed with the Planning and Zoning Program Staff for consideration. Applications shall include renderings of the sign and a scaled site plan delineating sign location. Permits, when approved, are valid for one (1) year and may be applied for through the Code Enforcement Department.
 - b. The City of West Allis reserves the right to restrict placement of signs during inclement weather, when a snow emergency has been declared, and special events, including, but not limited to, parades.
 - c. General Requirements.
 - i. Sandwich board signs shall only be permitted for commercially used buildings with a zero- to five-foot front yard setback off of the property line.
 - ii. Sandwich board signs shall not be illuminated or have reflective surfaces. No additional items shall be affixed to the signs (i.e., balloons, streamers, flags, etc.).
 - iii. Sandwich board signs shall not be displayed overnight and/or when the business is closed.
 - iv. Number. One (1) sandwich board sign is allowed per business.
 - (1) When there is one (1) entrance for multiple tenants, only one (1) sandwich board sign shall be permitted on that property.
 - v. Area. The maximum sign face size shall be ten (10) square feet, with a base not exceeding two and five-tenths (2.5) feet in width. Two (2) sign faces are permitted. The total height of the sign shall not exceed four (4) feet.
 - vi. Materials. Durable approved materials shall be used such as wood or metal, which are rigid, and make the sign self-supporting. No cardboard, plastic, or PVC pipe materials are permitted.
 - d. Location—Right-of-Way. Sign placement conditions are as follows:
 - i. If the sign will be located in the public right-of-way, then a grant of privilege is required pursuant to Section 13.21(11) and the applicant shall comply with any applicable special conditions in the grant of privilege, and the applicant shall provide an insurance certificate in a form approved by the City Attorney, in the amount of one million dollars (\$1,000,000.), naming the City of West Allis as an insured party in connection with each sign.
 - ii. Signs shall not be located less than six (6) inches from the face of the curb (unless located on premises).
 - iii. Signs shall not be located within ten (10) feet of a fire hydrant or a building fire department connection.
 - iv. Signs shall not be placed to impede or obstruct the general public or the exit of building occupants.
 - v. Signs must not interfere with the vision clearance at corners and must be placed at least fifteen (15) feet from the corner (measured from street curb).
 - vi. Signs shall not be placed more than ten (10) feet from the business entrance in which the sign advertises, at ground level.
 - vii. Signs shall not be placed in the walking or wheelchair pathway areas or private sidewalk pathways.
 - viii. The Code Enforcement Department shall review sandwich board sign placements and shall not issue a permit for any location that may create a traffic or pedestrian hazard.
 - e. Location—Private Property. Sign placement conditions are as follows:
 - i. Signs shall not be located within ten (10) feet of a fire hydrant or a building fire department connection.

- ii. Signs shall not be placed to impede or obstruct the general public or the exit of building occupants.
 - iii. Signs must not interfere with the vision clearance at corners and must be placed at least fifteen (15) feet from the corner (measured from street curb).
 - iv. Signs shall not be placed more than ten (10) feet from the business entrance in which the sign advertises, at ground level.
 - v. Signs shall not be placed in the walking or wheelchair pathway areas or private sidewalk pathways.
 - vi. The Code Enforcement Department shall review sandwich board sign placements and shall not issue a permit for any location that may create a traffic or pedestrian hazard.
- f. Any business that fails to comply with the provisions of this Code, after receiving one (1) written notification from the City of West Allis will lose its privilege to display a sandwich board sign for a one-year period.

24. Creative Signs.

- a. Purpose. The purpose of the creative sign subsection is to establish standards and procedures for the design, review and approval of creative signs, such that consideration may be obtained from the Plan Commission to:
 - i. Encourage signs of unique design, and that exhibit a high degree of thoughtfulness, imagination, inventiveness and spirit; and
 - ii. Provide a process for the application of sign regulations in ways that will allow for creatively designed signs that make a positive visual contribution to the overall image of the City, and in certain instances, a creatively designed sign may be permitted even though it is larger or unusual in design.
- b. Applicability. An applicant may request approval of a sign permit under Section 13.21(6) to authorize on-site signs that employ standards that differ from the other provisions of this section but comply with the provisions of this subsection.
- c. Design criteria. An application for a creative sign must first be filed with the Planning and Zoning Program Staff. The Plan Commission shall review all creative sign applications and proposals. The Plan Commission may approve, deny or request changes to a sign, based on design criteria of that sign. In approving an application for a creative sign, the Plan Commission shall ensure that a proposed sign meets the following design criteria:
 - i. Design quality. The sign shall:
 - (1) Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area.
 - (2) Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
 - (3) Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.
 - ii. Contextual criteria. The sign shall contain at least one (1) of the following elements:
 - (1) Classic historic design style;
 - (2) Creative image reflecting current or historic character of the City;
 - (3) Symbols or imagery relating to the entertainment or design industry; or
 - (4) Inventive representation of the use, name or logo of the structure or business.
 - iii. Architectural criteria. The sign shall:
 - (1) Utilize and/or enhance the architectural elements of the building.
 - (2) Be placed in a logical location in relation to the overall composition of the building's facade and not cover any key architectural features/details of the facade.

25. (Reserved)

Editor's Note: Former Subsection (25), Violation, Penalties and Injunctive Action, was repealed by Ord. O-2014-0002, 2/4/2014. For current penalty provisions, see Section 13.26.

26. Severability. If any provision, clause, sentence, paragraph, subsection of part of this code, or application thereof to any person, firm, corporation of circumstance shall, for any reason, be

adjudged by a court of competent jurisdiction to be unconstitutional or invalid, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions thereof. It is the intent of the Common Council that this code would have been adopted had any such invalid provision or provisions not been included.

[Ord. 6552, 12/19/2000; Ord. 6560, 2/20/2001; Ord. O-2005-0031, 9/6/2005; Ord. O-2007-0006, 4/17/2007]

SECTION 2: **EFFECTIVE DATE** This Ordinance shall be in full force and effect on and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of West Allis

Dan Devine, Mayor, City Of West Allis

**CITY OF WEST ALLIS
RESOLUTION R-2025-0058**

**RESOLUTION TO ADOPT THE PUBLIC SERVICE COMMISSION OF
WISCONSIN WATER UTILITY RATE AND RULE ORDER 6360-WR-111**

WHEREAS, the City of West Allis Water Utility’s last conventional rate water increase was placed into effect on November 1, 2020; and,

WHEREAS, the existing rates are not sufficient to support the Water Utility’s ongoing operations, increased cost of materials, supplies, contracts, and maintenance agreements, etc.; and,

WHEREAS, the approved rates would provide for a \$882,545 increase, which equates to an overall 10.5% rate increase, with a 6.1% rate of return; and,

WHEREAS, the council previously approved up to a \$1,106,508 increase, or 13.34% increase, with a 6.3% rate of return.

NOW THEREFORE, BE IT RESOLVED by the Board of Public Works and Common Council that the West Allis Water Utility shall apply rates authorized by the Public Service Commission of Wisconsin under Utility Rate Order 6360-WR-111 with an effective date of February 1, 2025.

SECTION 1: **ADOPTION** “R-2025-0058” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0058(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis



NEW LICENSE APPLICATION SUMMARY FOR COMMITTEE REVIEW

Record #: ALC-25-1

Applicant's Full Name:
Andrew Ahles

Agent's Full Name:
Megan

License Type(s):
Class B Tavern
Public Entertainment Premises

Legal Name:
Silly Goose Bar MKE, LLC

Trade/Business Name:
Silly Goose Bar

Business Address:
5906 W. Burnham St.

Types of Entertainment:
Yes

Premise Description:

Alcohol will be stored:
Main Bar, Liquor Closet, Basement,
Office, Cooler

Alcohol will be sold/consumed:
Main Bar Area

Alcohol beverage receipts location:
Office

Hours of Operation:

Sunday: 6:00 am - 2:00 am

Thursday: 6:00 am - 2:00 am

Monday: 6:00 am - 2:00 am

Friday: 6:00 am - 2:30 am

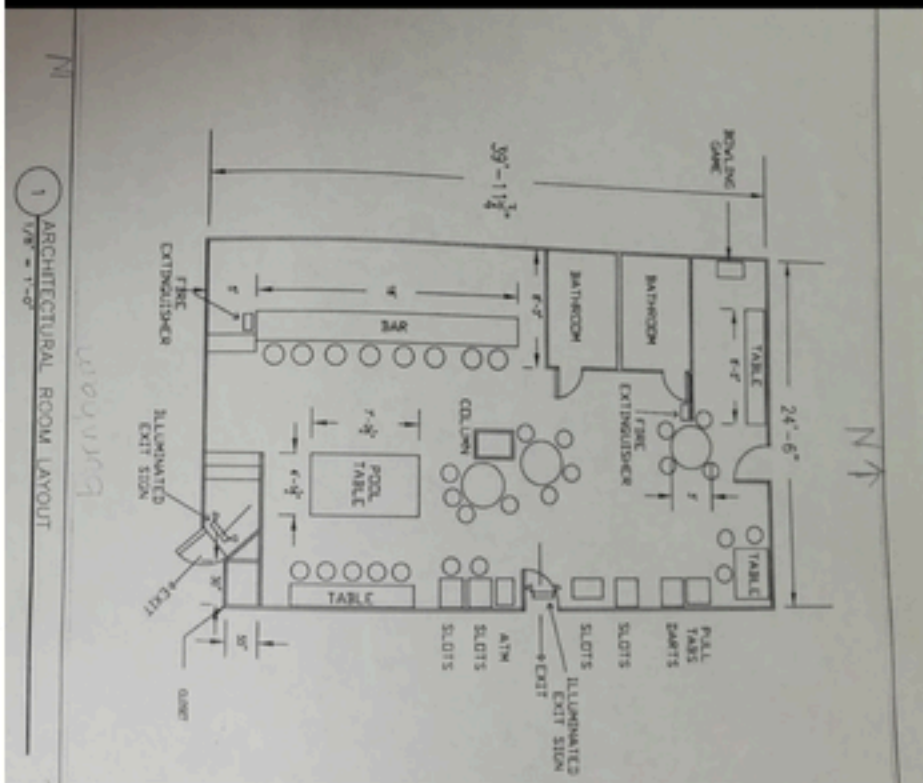
Tuesday: 6:00 am - 2:00 am

Saturday: 6:00 am - 2:30 am

Wednesday: 6:00 am - 2:00 am

Date Applied:
January 18, 2025

Legal Notice Published On:
January 24, 2025



1 ARCHITECTURAL ROOM LAYOUT

Wagon



City Clerk
clerk@westalliswi.gov

January 30, 2025

Andrew Ahles
W145N5246 Thornhill Drive
Menomonee Falls, Wisconsin 53051

RE: Class B Tavern License Application Review for Silly Goose Bar at 5906 W. Burnham St.

City of West Allis Applicant:

Attendance Required:

Your hearing for your license application(s) is scheduled before the Economic Development Committee -

Date: February 11, 2025

Time: 7:00 pm

Location: Art Gallery, City of West Allis, City Hall, 7525 W. Greenfield Avenue, West Allis.

Please note that attending the hearing is required. If you do not attend, your application may be denied.

In the event of a denial, you must wait six months from the date of the decision to reapply.

If you are unable to attend the hearing, please contact the clerk's office at clerk@westalliswi.gov by 4 pm on the day of the meeting or earlier.

Arrival Instructions:

1. Park in the lot on the south side (rear) of the building.
2. Once inside, proceed straight back to the Common Council Chambers and wait for the Common Council to take a break for their recess committee meetings.
3. Sometime after 7 pm, when the Common Council takes a break for the recess committee meetings, go to Art Gallery.

Room Locations:

Room 128: Exit the Common Council Chambers and head towards the parking lot. Room 128 will be on your left through the wooden doors, just before the glass doors leading to the parking lot. Please wait in the back area until your application is called.

Art Gallery: Exit the Common Council Chambers and go down the stairs to the lower level. The Art Gallery will be directly ahead of you at the bottom of the stairs. Please find a suitable area to wait until your application is called.

If you use a wheelchair or have mobility concerns, please approach a staff member for assistance.

Committee Recommendation:

When you appear before the committee, they will likely make a recommendation. This recommendation will be voted on when the Common Council starts after the committee meetings are finished. The typical recommendations are:

1. Approval (with or without changes or conditions).
2. Denial.
3. Hold until a future meeting date.

Common Council Decision:

The Common Council will consider the Committee recommendations and either approve, deny, or hold the application. As the final decision-makers, their decision may differ from the committee's recommendation.

- If your license is approved by the Common Council and all requirements have been met, you will receive a notification within the next two days. This notification will allow you to view and print out your license.
- If your license is denied by the Common Council, you will receive a letter advising you of such and reminding you that you cannot reapply for six months.
- If your license is held by the Committee or the Common Council, you will receive another notice at a later date to appear before the committee.

This is the typical process and may vary from time to time if there are extenuating circumstances.

If you have any questions, email clerk@westalliswi.gov.

Non-Discrimination Policy: *The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.*

Americans with Disabilities Act Notice: *Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.*

**CITY OF WEST ALLIS
RESOLUTION R-2025-0067**

**RESOLUTION AUTHORIZING THE RENEWAL OF PLACER.AI SOFTWARE
PLATFORM FROM PLACER LABS, INC. IN THE AMOUNT OF \$26,250
RELATIVE TO ECONOMIC DEVELOPMENT AND PLANNING ACTIVITIES**

WHEREAS, the Economic Development program survey leading real estate professionals and economic development practitioners about various services that provide information about trade areas, trips and visits within an area, customer insights, etc.; and,

WHEREAS, Placer.ai. was recognized as a leader in providing the level of platform that is user friendly to use data for marketing, economic development recruitment, and planning activities; etc.; and,

WHEREAS, the Economic Development program is recommending a contract with Placer Labs, Inc. to provide date and competitive insights and reports to advance recruitment and community advantages to increase customer visits to West Allis; and,

WHEREAS, the funds for the service will be from the Economic Development FIRE 2025 budget.

NOW THEREFORE, BE IT RESOLVED, by the Common Council of the City of West Allis that it hereby approves the authorizing the renewal of Placer.ai software platform from Placer Labs, Inc. in the amount of \$26,250 purchase of a software platform for economic development and planning activities.

Be It Further Resolved that the Economic Development Executive Director, or his designee, be and is hereby authorized and directed to execute and deliver a contract with Placer Labs, Inc. hereby attached and made a part hereof.

Be It Further Resolved, the Common Council approves the sum of \$26,250 be and hereby appropriated from the Economic Development FIRE program budget.

Be It Further Resolved, the City Attorney be and is hereby authorized to make such non-substantive changes, modifications, additions and deletions to and from the various provisions of the Contract, including any and all attachments, exhibits, addendums and amendments, as may be necessary and proper to correct inconsistencies, eliminate ambiguity and otherwise clarify and supplement said provisions to preserve and maintain the general intent thereof, and to prepare and deliver such other and further documents as may be reasonably necessary to complete the transactions contemplated therein.

SECTION 1: **ADOPTION** “R-2025-0067” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0067(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

*258-3100-525-3002***Invoice #INUS00343**
Date: 1/10/2025**Bill To:**
City of West Allis, WI
7525 W Greenfield Avenue
Milwaukee WI 53214
United States**Due Date: 2/9/2025**
Terms: Net 30

Item	Description	Amount
Platform Access	Location Based Services & Analytics January 1, 2025 - December 31, 2025	26,250.00
Chains Demographics	Chain Demographics	0.00
Subtotal		26,250.00
Tax Total		0.00
Total		USD 26,250.00

IMPORTANT: Protect against payment phishing! For any Placer bank change requests, please confirm telephonically with the billing team at [415-228-2444](tel:415-228-2444) ext:806 to prevent fraudulent transactions.

Our preferred payment method is via Stripe. Click [HERE](#) for Stripe payment link.

Wire/ACH to:Banc of California
To the Credit of: Placer Labs, Inc.
Account Number: 1002153433
Routing & Transit Number: 122238200
SWIFT Code: SQARUS33**Send Check to:**Placer Labs, Inc.
440 N Barranca Ave #1277
Covina, CA 91723Click [HERE](#) to Download our W9

**CITY OF WEST ALLIS
RESOLUTION R-2025-0068**

**RESOLUTION TO APPROVE THE TERMS & CONDITIONS FOR AN ECONOMIC
DEVELOPMENT LOAN TO ALL GOODS LLC, D/B/A ALL GOODS, LOCATED AT
8436 W. GREENFIELD AVE., IN THE AMOUNT OF A \$50,000 ECONOMIC
DEVELOPMENT LOAN UNDER THE COMMUNITY DEVELOPMENT BLOCK
GRANT PROGRAM**

WHEREAS, All Goods LLC has applied for a loan from the City of West Allis in the amount of Fifty Thousand and 00/100 Dollars (\$50,000) under the Economic Development Loan Program to support their business relocation to 8436 W. Greenfield Ave., West Allis; and,

WHEREAS, the Economic Development Program has reviewed the loan request from All Goods LLC and has determined that the project is eligible for funding under the Economic Development Loan Program; and,

WHEREAS, the Economic Development Loan Task Force has recommended approval of an Economic Development Loan for the purpose of completing the project.

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of West Allis that it hereby approves an Economic Development Loan to All Goods LLC, located at 8436 W. Greenfield Ave., in an amount up to \$50,000 as outlined in Exhibit A hereto and incorporated herein by reference.

BE IT FURTHER RESOLVED that the City Attorney is hereby authorized to prepare loan documents required by the aforesaid commitment.

BE IT FURTHER RESOLVED that the City Attorney is authorized to make such non-substantive changes, modifications, additions, and deletions to and from the loan documents, including any and all attachments, exhibits, addendums, and amendments, as may be necessary and proper to correct inconsistencies, eliminate ambiguity, and otherwise clarify and supplement said provisions to preserve and maintain the general intent thereof, and to prepare and deliver such other and further documents as may be reasonably necessary to complete the transactions contemplated therein.

BE IT FURTHER RESOLVED that the proper City Officers, or any of their authorized deputies, as necessary, are authorized on behalf of the City to execute the aforesaid loan documents.

BE IT FURTHER RESOLVED that the Economic Development Executive Director is authorized to modify the terms of the loan agreement or documents if within the original intent of the loan or will help the business to achieve the goals of the loan.

BE IT FURTHER RESOLVED that this loan is funded by the Community Development

Block Grant Program.

SECTION 1: **ADOPTION** “R-2025-0068” of the City Of West Allis
Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0068(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

February 11, 2025



All Goods LLC
8436 W. Greenfield Ave
West Allis, WI 53214

Dear Ali,

Pursuant to your application and information provided by you regarding the purchase of property for the relocation of your vintage clothing store to be located at 8436 W. Greenfield Ave., the Common Council of the City of West Allis ("City") hereby agrees to make a loan to you, in accordance with the federal Community Development Block Grant regulations and the following specific terms and conditions:

1. Borrower. The Borrower shall be All Goods, LLC, d/b/a All Goods, with current business located at 1411 S 72nd St., West Allis, WI 53214
2. Guarantors. Ali Acevedo
3. Project. Loan proceeds are to be used for the acquisition of property to relocate a business located at 8436 W. Greenfield Ave. West Allis, WI 53214
4. Loan Amount. The loan amount shall not exceed Fifty Thousand Dollars (\$50,000) comprised of the following:
 - A. \$50,000 Traditional Economic Development Loan. Funding source – CDBG. Disbursement of the aggregate principal will be at loan closing with proper paid invoices or purchase orders. The loan will be evidenced by a note payable by the Borrower to the City. The loan will have monthly principal and interest payments with a pro-rated portion of principal forgiven at anniversary of occupancy.
5. Interest Rate. (To be computed on basis of 360-day year.) The interest rate shall be the prime rate as published by Bloomberg.com at the time of closing. Today, the interest rate is five percent (5.5%) per annum. In the event of default, all unpaid principal and interest shall bear interest at the rate of eighteen percent (18.0 %) per annum until paid.
6. Term. The term of this loan shall be twenty-five (25) years.
7. Payments. Payments will be as follows:
 - No interest or principal payments for the first 6 months following the date of closing.
 - Principal and Interest payments commencing on the 7th month of the loan.
8. Late Charge. A late charge not to exceed one percent (1%) on each dollar of each payment, which is more than ten (10) days in arrears may be collected provided that no such charge shall exceed the maximum amount which may be charged according to law.
9. Security. As security for the loan, the Borrower will deliver to the City:
 - A. A second position for the mortgage on the property at 8436 W. Greenfield Ave.
 - B. An Unlimited Personal Guarantee from Ali Acevedo in an amount equal to the outstanding balance due on the loan

10. Loan Processing Fee. A non-refundable fee of Five Hundred Dollars (\$500.00) to be paid upon acceptance and delivery of this Commitment. (Borrower may elect to include this fee in the terms of the note). The fee is compensation to the City for making the loan and shall be fully and completely earned upon acceptance of this Commitment by the Borrower.
11. Maturity Date. This loan shall mature on February 1 2050.
12. Closing Date. The loan shall close on or before March 1, 2025.
13. Prepayment Privilege. The loan may be prepaid, in whole or in part, at any time without penalty or restriction.
14. Job Creation/Retention. Borrower agrees to the following:

To create three (2.5) full-time equivalent permanent positions over the next two (2) years of which at least fifty-one percent (51%) or two (2) or more positions are to be held by low-to-moderate income persons. (Attachment A).
15. General Conditions. All the terms and conditions contained in the attached "General Conditions" (Exhibit No. 1) for economic development loans and "Federal Requirements" (Attachment B) are incorporated into this Commitment.
16. Acceptance. Except as provided in the General Conditions, this Commitment shall be deemed binding upon the City if the City receives an unqualified acceptance by the Borrower of the terms and provisions contained herein, evidenced by the Borrower properly executing this document below and delivering it to the office of the undersigned on or before January 1, 2025, along with the non-refundable loan processing fee and the written guarantee of the loan by Ali Acevedo and Alma Avila. If not so accepted, the City shall have no further obligation hereunder.

ACCEPTANCE

The foregoing Commitment, as well as the terms and conditions referred to therein, are hereby accepted.

All Goods LLC

Date: _____

By: _____
Ali Acevedo, Owner

Received Acceptance and Loan Processing Fee:

By: _____
Patrick Schloss,
Executive Director

Date: _____
Attachments

**CITY OF WEST ALLIS
RESOLUTION R-2025-0069**

RESOLUTION APPROVING A NON-EXCLUSIVE PARKING LOT LEASE AGREEMENT BY AND BETWEEN THE CITY OF WEST ALLIS AND THE DECO VENUES, LLC., WHICH IS THE OWNER OF THE PROPERTY LOCATED AT 7546 W. GREENFIELD AVE., FOR PARKING IN THE CITY-OWNED PARKING LOTS LOCATED AT 7525 W. GREENFIELD AVE. AND 14 S. 75TH ST.**

WHEREAS, The Deco Venues, LLC. (“Developer”) is opening an event space at 7546 W. Greenfield Ave. (“Development Property”) and,

WHEREAS, to facilitate the investment in the property and orderly parking for downtown West Allis the Developer has requested access and use of the City of West Allis (“Grantor”) owned parking lot, located at 7525 W. Greenfield Ave. and 14** S. 75 St. (“Access Property”) that is associated with the West Allis City Hall Parking; and,

WHEREAS, Grantor is willing to permit Developer access and use of the Access Property pursuant to the terms of the Non-Exclusive Parking Lot Lease Agreement (“Agreement”) (“Exhibit A”).

NOW THEREFORE, BE IT RESOLVED by the Common Council of the City of West Allis that the attached Agreement, by and between the City of West Allis and Deco Venues, LLC., for the use of the parking lots located at 7525 W. Greenfield Ave. and 14** S. 75th St., is hereby approved.

BE IT FURTHER RESOLVED that the Mayor and the City Clerk of the City of West Allis are hereby authorized and directed to execute and deliver the aforesaid Agreement on behalf of the City of West Allis.

BE IT FURTHER RESOLVED that the City Attorney be and is hereby authorized to make such non-substantive changes, modifications, additions and deletions to and from the various provisions of the contract, including any and all attachments, exhibits, addendums and amendments, as may be necessary and proper to correct inconsistencies , eliminate ambiguity and otherwise clarify and supplement said provisions to preserve and maintain the general intent thereof, and to prepare and deliver such other and final documents as may be reasonably necessary to complete the transactions contemplated therein.

SECTION 1: **ADOPTION** “R-2025-0069” of the City Of West Allis Municipal Resolutions is hereby *added* as follows:

ADOPTION

R-2025-0069(*Added*)

PASSED AND ADOPTED BY THE CITY OF WEST ALLIS COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Ald. Ray Turner	_____	_____	_____	_____
Ald. Kimberlee Grob	_____	_____	_____	_____
Ald. Chad Halvorsen	_____	_____	_____	_____
Ald. Marissa Nowling	_____	_____	_____	_____
Ald. Suzzette Grisham	_____	_____	_____	_____
Ald. Danna Kuehn	_____	_____	_____	_____
Ald. Dan Roadt	_____	_____	_____	_____
Ald. Patty Novak	_____	_____	_____	_____
Ald. Kevin Haass	_____	_____	_____	_____
Ald. Marty Weigel	_____	_____	_____	_____

Attest

Presiding Officer

Rebecca Grill, City Clerk, City Of
West Allis

Dan Devine, Mayor, City Of West
Allis

NON-EXCLUSIVE PARKING LOT LEASE AGREEMENT

This Non-Exclusive Parking Lot Lease Agreement (“Agreement”) is entered into as of February__ , 2025, by and between the City of West Allis (“Grantor”) who owns the north parking lots located at 7525 W. Greenfield Ave. and 14** S. 75 St. West Allis, Wisconsin (“Access Property”), and The Deco Venues, LLC_ (“Grantee”), which is the owner of the property located at 7546 W. Greenfield Ave., West Allis, WI (“Development Property”).

Whereas, Grantee is opening an event space on the Development Property.

Whereas, to facilitate investment in the underutilized Development Property Grantee has requested to utilize the Access Property during evening hours for parking to support the event space use at the Development Property.

Whereas, Grantor is willing to permit Grantee access and use of the Access Property pursuant to the terms of this Agreement.

Now Therefore, in consideration of the mutual conditions and covenants that are contained herein, Grantor and Contractor hereby agree as follows:

1. Access/Storage. Except as limited below, Grantee, and its customers, shall be permitted to non-exclusive access over and upon the Access Property for use for parking of vehicles during the hours of 5:00 p.m. to 2:30 a.m. on weekdays and 9a.m. to 2:30 a.m. on Saturday and Sundays during the Term.
2. Dates of Special Interest. The Grantee shall not have access to the parking lot on dates of elections, the 4th of July Parade, Christmas Parade, during the duration of the State Fair, and any other date upon which the Grantee is given advance notice of 6 months. The Grantor shall notify the grantee of such dates at the beginning of each year or as early as is practicable.
3. Prioritization of Parking. The Grantee shall emphasize to its customers that they should utilize the Access Property for vehicle parking through signage at the Development Property and in communication to event hosts.
4. Restoration. Grantee shall be responsible for any damage to the Access Property caused by Grantee’s use of the Access Property and shall restore any damage caused by Grantee’s use upon conclusion of the term, ordinary wear and tear excluded.
5. Term. The term of the Agreement shall commence upon September 1, 2025 and continue through September 1, 2030 and shall be automatically renewed for 5-year periods thereafter if both parties agree.
6. Rent. The Grantee shall pay to the Grantor, as base rent in the amount of Five Thousand Dollars (\$5,000.00) payable in annual installments beginning on September 1, 2025. Any payment for less than one year shall be prorated.
7. Use of Premise. The Grantee shall use the leased premises for on-grade parking of automobiles and no other purpose.
8. Severability. This Agreement represents the entire and integrated agreement of the Parties with respect to the subject matter of this Agreement, and supersedes and replaces any negotiations, agreements, or other terms related to the subject matter of this Agreement. The provisions of this Agreement are severable. If any provision of this Agreement is determined invalid or

unenforceable by a court of competent jurisdiction, the other provisions of this Agreement shall continue in full force and effect and the voided provision shall be amended, if permissible, to the extent necessary to render it valid and enforceable.

9. Modification. This Agreement shall not be deemed or construed to have been modified, amended, rescinded, cancelled or waived, in whole or in part, except by written amendment signed by each Party.
10. Authority. The Parties hereby each acknowledge that they have read and understand the Agreement. The Parties further acknowledge that they have each retained legal counsel of their own choosing for advice regarding the terms and conditions of this Agreement, and based on that legal advice, enter into this Agreement willingly and fully knowledgeable of their rights and obligations under the Agreement. The signatories below acknowledge that each has the full right and authority to enter into and execute this Agreement on their respective Party's behalf. Each Party further represents and warrants that no other person or entity has an interest in any claims released hereunder.
11. Counterparts. This Agreement may be executed in multiple counterparts and, when joined together, form a complete and binding single instrument. A scanned or electronically-conveyed signature shall be as enforceable as an original, inked signature for purposes of executing this Agreement.

Grantor: _____

Signature _____ Date _____

E-mail:

Address for Notice:

Grantee: The Deco Venues, LLC.

Signature _____ Date _____

E-mail:

Address for Notice: _



City of West Allis

Meeting Minutes

Public Safety Committee

Aldersperson Suzzette Grisham, Chair
Aldersperson Chad Halvorsen, Vice Chair
Alderspersons: Kevin Haass, Daniel J. Roadt and Ray Turner

Monday, February 3, 2025

5:00 PM

City Hall, Art Gallery
7525 W. Greenfield Ave.

SPECIAL MEETING

A. CALL TO ORDER

Ald. Grisham called the meeting to order at 5:00 p.m.

B. ROLL CALL

Present 5 - Grisham, Halvorsen, Haass, Roadt, Turner

C. APPROVAL OF MINUTES

None.

D. NEW AND PREVIOUS MATTERS

1. [2025-0074](#) Class B Tavern Seasonal Temporary Premise Extension request for Paulie's Pub, 8031 W. Greenfield Ave., from May 23, 2025 through September 30, 2025. (TEMP-25-1)

Ald. Halvorsen motioned to approve the seasonal temporary extension request with the conditions of it being no louder of 100 decibels further than 100 feet from premise, Ald. Turner seconded, motion carried unanimously.
2. [2025-0031](#) Summons and complaint against Super Bottle LLC d/b/a/ Super Bottle, 1357 S. 76th St. Agent: Rupinderjit Singh

Agent, Rupinderjit Singh, admitted to all counts. Ald. Haass moved to find all allegations against the agent to be true.

Ald. Haass moved to convene into Closed Session at 5:23 p.m., Ald. Roadt seconded, motion carried by a roll call vote:

Aye: 5 - Grisham, Halvorsen, Haass, Roadt, Turner
No: 0

Ald. Haass moved to re-convene into Open Session at 5:37 p.m., Ald. Halvorsen seconded, motion carried by a roll call vote:

Aye: 5 - Grisham, Halvorsen, Haass, Roadt, Turner
No: 0

Ald. Haass motioned to impose a 10-day suspension of the current Class A License (ALC-23-23). The full 10-day suspension shall be imposed beginning on Wednesday, February 12th, 2025 at 9am, ending on Saturday February 22nd, 2025 at 9am, Alderman Turner seconded, motion carried.

E. MATTERS FOR DISCUSSION/ACTION

F. ADJOURNMENT

Ald. Haass moved to adjourn at 5:39 p.m., Ald. Turner seconded, motion carried.



All meetings of the Public Safety Committee are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City Clerk
clerk@westalliswi.gov

December 2, 2024

Robert Beierle
2168 South 69th Street
West Allis, WI 53219

RE: Operator's License Application Review

Dear Robert;

Your application for an Operator's/Bartender License is scheduled for a televised hearing before the Public Safety Committee on: **December 10, 2024 at 7:00 pm in Room 128 at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis.**

The reason for the hearing is based upon information from your background check relating to conviction(s) for a felony, misdemeanor, or other offense; and/or habitual law offenses. The circumstances of the offenses substantially relate to the operation of a licensed premise because the conduct demonstrates irresponsible or illegal use of alcohol and/or drugs and/or noncompliance with licensing rules and regulations.

You are allowed to show competent evidence of rehabilitation and fitness to engage in the operation of a premises licensed to serve alcohol (Wis. Stat. §111.335(4)(c)1.b.)* See page 2 for additional information.

If you fail to appear you waive your opportunity to be heard to present your evidence of rehabilitation and your license application could be denied.

Please park in the parking lot on the south side of the building. After entering the building, walk straight back to the Common Council Chambers. When the Common Council begins their recess meetings (sometime after 7PM), you will then go to Room 128.

If you have questions, please email clerk@westalliswi.gov.

Pursuant to Wisconsin Statute Section 111.335(4)(d)1, competent evidence of rehabilitation may include:

- A certified copy of a federal department of defense form showing honorable discharge or similar cessation of military service
- A copy of local, state, or federal release documents showing completion of probation, extended supervision, or parole
- Evidence that at least one year has lapsed since release from local, state, or federal custody without a new offense and compliance with terms of supervision

An applicant may also provide information regarding:

- Evidence of the nature and seriousness of the offense
- The circumstances relative to the offense, including mitigating or social conditions
- The age of the applicant at the time of the offense
- The length of time that has lapsed since the offense
- Letters of reference
- Any other relevant evidence of rehabilitation and present fitness.



City Clerk
clerk@westalliswi.gov

January 28, 2025

Sarah Becker
9631 W Hayes Pl
West Allis, WI 53227

RE: Operator's License Application Review

Dear Sarah;

Your application for an Operator's/Bartender License is scheduled for a televised hearing before the Public Safety Committee on: **February 11, 2025 at 7:00 pm in Room 128 at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis.**

The reason for the hearing is based upon information from your background check relating to conviction(s) for a felony, misdemeanor, or other offense; and/or habitual law offenses. The circumstances of the offenses substantially relate to the operation of a licensed premise because the conduct demonstrates irresponsible or illegal use of alcohol and/or drugs and/or noncompliance with licensing rules and regulations.

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- The age of the applicant at the time of the offense
- The length of time that has lapsed since the offense
- Letters of reference
- Any other relevant evidence of rehabilitation and present fitness.



City Clerk
clerk@westalliswi.gov

January 28, 2025

Jason Smith
9725 W Hope Ave
Milwaukee, WI 53222

RE: Operator's License Application Review

Dear Jason;

Your application for an Operator's/Bartender License is scheduled for a televised hearing before the Public Safety Committee on: **February 11, 2025 at 7:00 pm in Room 128 at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis.**

The reason for the hearing is based upon information from your background check relating to conviction(s) for a felony, misdemeanor, or other offense; and/or habitual law offenses. The circumstances of the offenses substantially relate to the operation of a licensed premise because the conduct demonstrates irresponsible or illegal use of alcohol and/or drugs and/or noncompliance with licensing rules and regulations.

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An applicant may also provide information regarding:

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- The circumstances relative to the offense, including mitigating or social conditions
- The age of the applicant at the time of the offense
- The length of time that has lapsed since the offense
- Letters of reference
- Any other relevant evidence of rehabilitation and present fitness.



City Clerk
clerk@westalliswi.gov

February 6, 2025

Hayley Negron
1808 S 64th St
West Allis, WI 53214

RE: Operator's License Application Review

Dear Hayley;

Your application for an Operator's/Bartender License is scheduled for a televised hearing before the Public Safety Committee on: **February 11, 2025 at 7:00 pm in Room 128 at West Allis City Hall, 7525 W. Greenfield Avenue, West Allis.**

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An applicant may also provide information regarding:

- Evidence of the nature and seriousness of the offense
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- The age of the applicant at the time of the offense
- The length of time that has lapsed since the offense
- Letters of reference
- Any other relevant evidence of rehabilitation and present fitness.