



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 22, 2026
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

3. Site, Landscaping, and Architectural Design Review for Elliott Ace Hardware, an existing Retail use, at 11003 W. Oklahoma Ave. (Tax Key No. 523-9986-008)

Overview



The property is 5 acres and zoned Commercial C-4 which permits retail stores. The zoning district is Intended for large-scale, automobile-oriented commercial development serving the needs of the regional population. Ace Hardware is proposing some exterior building improvements which require a building permit and trigger Design Review before Plan Commission.

Architectural plan

Refer to full set of plans toward the end of this report. Below shares a before and after rendered view of the exterior building improvements which will include replacement of the existing concrete walk directly in front of the store, repairing the existing brick veneer, painting the existing brick, and residing and metal roofing the front gable end. Exterior siding will be a darker color earthen tone hardi-siding. The plans note an alternate/option to complete entire storefront roof area with metal siding. Recessed downlighting being installed under storefront soffit.

EXISTING



PROPOSED

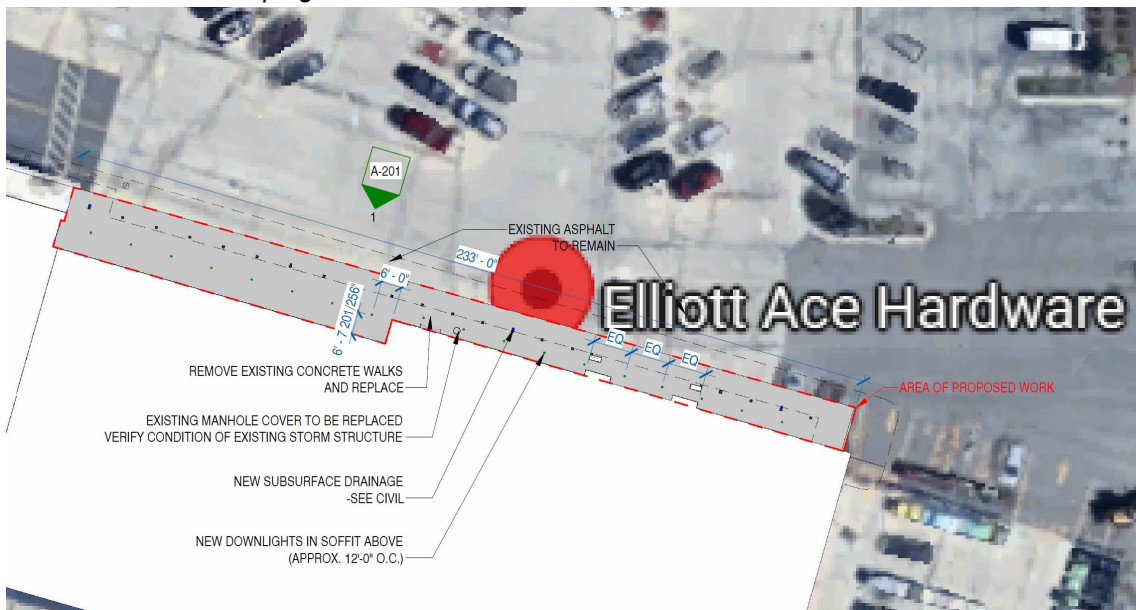


Site and Landscaping Plan

In 2015, as part of a special use hearing, the Common Council required ACE install landscaping islands near their driveway approach/entrance to the site from W. Oklahoma Ave. Staff is recommending ACE provide at least two new landscaping islands or a raised planter area along the store entrance as part of the new concrete work that is planned.



Aerial view of landscaping islands added in 2015-16



New/replacement concrete walkway along storefront

Recommendation: Recommend approval of the Site, Landscaping, and Architectural Design Review for Elliott Ace Hardware, an existing Retail use, at 11003 W. Oklahoma Ave. (Tax Key No. 523-9986-008) subject to the following:

1. Revised site and landscaping plan being submitted to the Planning and Zoning Department to show the following: (a) two new landscaping islands on south end caps of parking rows or a raised planter being added near the store entrance walkway as part of the new concrete sidewalk work that is planned; (c) clarification on roof materials over the balance of the existing asphalt shingles.
2. An electrical permit application to be applied for as part of lighting upgrades.
3. Contact Engineering Department for applicable permit if any work is planned within city right-of-way.

Elliott's Ace Hardware Project Description

- Owner/Name of business:
 - Elliott's Ace Hardware
Contact:
Matt Elliott
15360 Watertown Plank Rd,
Elm Grove, WI 53122
262-893-2408
- Project Director:
 - MSI General
P.O. Box 7, Oconomowoc, WI 53066
262-563-5332
- Narrative:

Elliott's Ace Hardware would like to update their existing storefront. The proposed project includes the replacement of the existing concrete walk directly in front of the store, repairing the existing brick veneer, painting the existing brick, and residing and roofing the front gable end.
- Hours of Operation:

Mon - Fri 7:30am - 8:00pm
Sat 7:30am - 2:00pm
Sun 9:00am - 5:00pm
- Outdoor :
 - Existing asphalt parking is to remain as is. It was recently repaved, and in good working order. Additional downlights are also proposed to be added under the existing roof overhang to deter vandals.
- Expected starting and completion dates of construction:
 - September 2026 – December 2026
- Proposed phasing of the project if appropriate
 - Project is not planned to be phased.



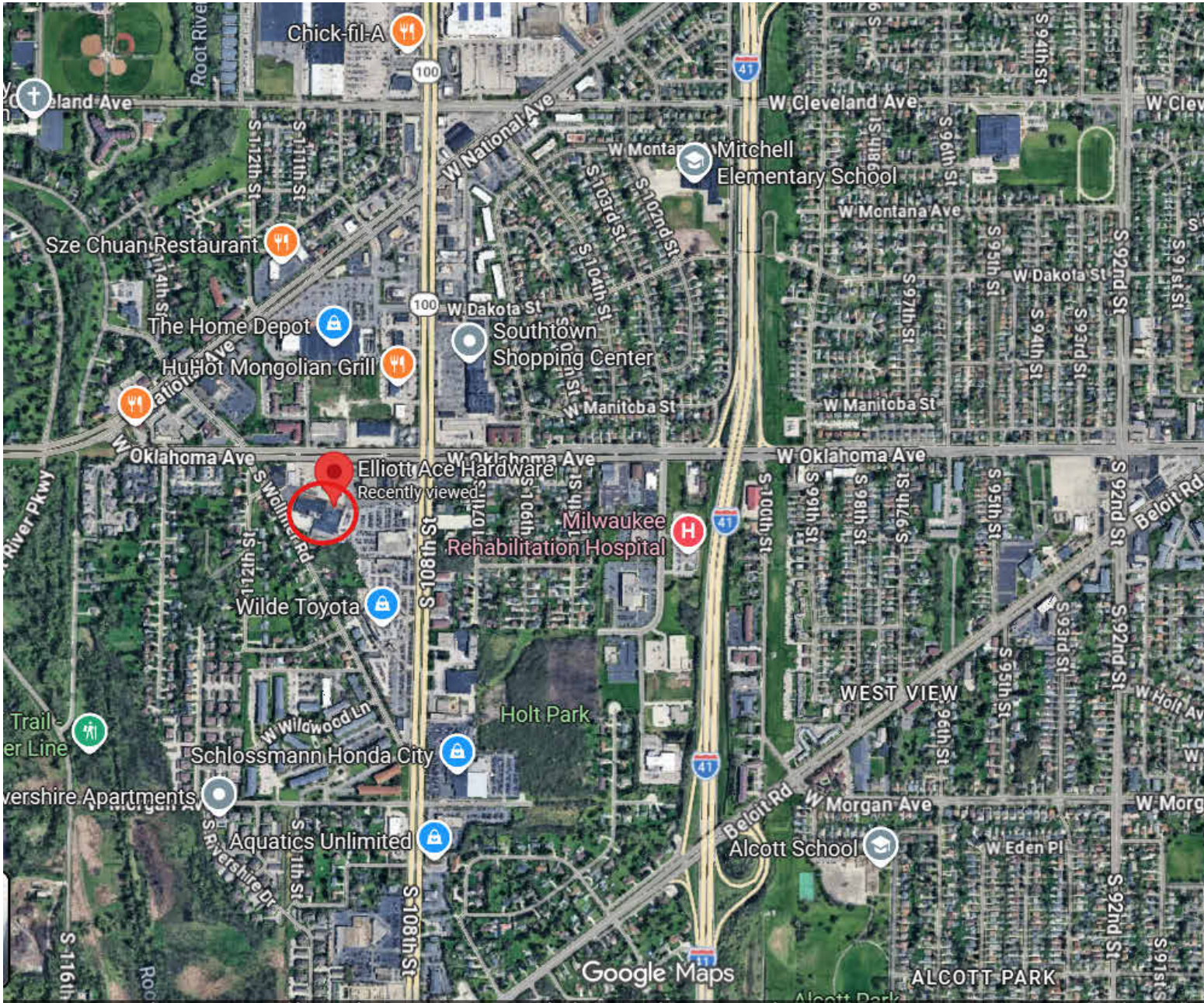
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ELLIOTT ACE HADWARE - WEST ALLIS

EXTERIOR REMODEL

11003 W. OKLAHOMA AVE.
WEST ALLIS, WI 53227

PROJECT INFORMATION				VICINITY MAP				SHEET INDEX				SHEET INDEX			
CODE SUMMARY AND BUILDING INFORMATION								SHEET NUMBER	SHEET NAME	REVISION DESCRIPTION	REVISION DATE	SHEET NUMBER	SHEET NAME	REVISION DESCRIPTION	REVISION DATE
APPLICABLE CODES AND STANDARDS								GENERAL							
BUILDING CODE: MECHANICAL CODE: ENERGY CODE: ELECTRICAL CODE: FIRE CODE: ACCESSIBILITY CODE: WISCONSIN AMENDMENTS: 2021 2024 2021 2017 2021 2017 INTERNATIONAL BUILDING CODE (IBC) WISCONSIN PLUMBING CODE - SPS 381 TO 387 INTERNATIONAL MECHANICAL CODE (IMC) INTERNATIONAL ENERGY CONSERVATION CODE (IECC) NFPA 70 NATIONAL ELECTRIC CODE (NEC) INTERNATIONAL FIRE CODE (IFC) ICC A117.1 (SPS CHAPTERS 316, 381-387)								G-001				COVER SHEET			
PROJECT DESCRIPTION								ARCHITECTURAL SITE							
BUILDING DESCRIPTION AND LOCATION PROPOSED PROJECT IS FOR THE REPAIR / REPLACEMENT OF LIMITED EXTERIOR COVERINGS ON AN EXISTING BUILDING AND CAN BE CLASSIFIED AS A LEVEL 1 ALTERATION. SEE IBC SECTION 701. PROPOSED BUILDING ALTERATIONS DO NOT REDUCE THE CURRENT LEVEL OF SAFETY AND DO NOT REDUCE THE EXISTING BUILDING THERMAL ENVELOPE								AS-101				ARCHITECTURAL SITE PLAN			
								CIVIL							
								C1.0				UTILITY PLAN			
								ARCHITECTURAL							
								A-140				OVERALL ROOF PLAN			
								A-201				EXTERIOR ELEVATIONS			
								A-220				EXTERIOR RENDERINGS			

PROJECT DESCRIPTION

BUILDING DESCRIPTION AND LOCATION

PROPOSED PROJECT IS FOR THE REPAIR / REPLACEMENT OF LIMITED EXTERIOR COVERINGS ON AN EXISTING BUILDING AND CAN BE CLASSIFIED AS A LEVEL 1 ALTERATION. SEE IEBC SECTION 701. PROPOSED BUILDING ALTERATIONS DO NOT REDUCE THE CURRENT LEVEL OF SAFETY AND DO NOT REDUCE THE EXISTING BUILDING THERMAL ENVELOPE

PROJECT AREA

FIRST FLOOR

PROJECT AREA

EXISTING BUILDING AREA: 58,500 S.F.

EX. EXT. SPACE TO BE ALTERED

3,487 SF

3,487 SF

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)

GROUPS:

M MERCANTILE

FIRE RESISTIVE RATING REQ. FOR BUILDING ELEMENTS (IBC CHAPTER 6)

CONSTRUCTION TYPE:

VB

PRIMARY STRUCTURAL FRAMING:

BEARING WALLS EXTERIOR:

BEARING WALLS INTERIOR:

NON-BEARING WALLS INTERIOR:

FLOOR CONSTRUCTION:

ROOF CONSTRUCTION:

0

0

0

0

0

HR

HR

HR

HR

HR

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:

0

HR

FIRE PROTECTION SYSTEM (IBC CHAPTER 9)

AUTOMATIC SPRINKLER SYSTEM:

FIRE ALARM SYSTEM:

EXISTING

EXISTING

OTHER

IEBC 200.2: EXTERIOR WALL COVERINGS TO BE REPLACED DOES NOT EXCEED 15% OF TOTAL WALL AREA. CHAPTER 14 AND 26 OF BC CODES NOT APPLY

IEBC 408.1: REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

IEBC 405.2.1: DAMAGE LESS THAN SUBSTANTIAL STRUCTURAL DAMAGE SHALL BE PERMITTED TO BE RESTORED TO THEIR PRE-DAMAGED CONDITION

IEBC 602: ALTERATIONS INCLUDE THE REMOVAL AND REPLACEMENT OF THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES THAT SERVE THAT SAME PURPOSE.

IEBC 701.2: AN EXISTING BUILDING OR PORTION THEREOF SHALL NOT BE ALTERED SUCH THAT THE BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION.

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MILESTONE ISSUE DATES

PRELIMINARY SET: 4/17/2026

BUDGET SET:

LOCAL DESIGN REVIEW SET:

PROPOSAL SET: 7/1/2026

PERMIT SET:

CONSTRUCTION SET:

RECORD DRAWING SET:

REVISIONS:

PROJECT NAME
ELLIOTT ACE HADWARE - WEST ALLIS

PROJECT DESCRIPTION
EXTERIOR REMODEL

STREET ADDRESS
11003 W. OKLAHOMA AVE.

CITY / STATE / ZIP
WEST ALLIS, WI 53227

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT STRUCTURAL ENGINEER LANDSCAPE DESIGN

DESIGN ARCHITECT CIVIL ENGINEER REVIEWED BY

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

G-001

PROJECT NUMBER: P13874

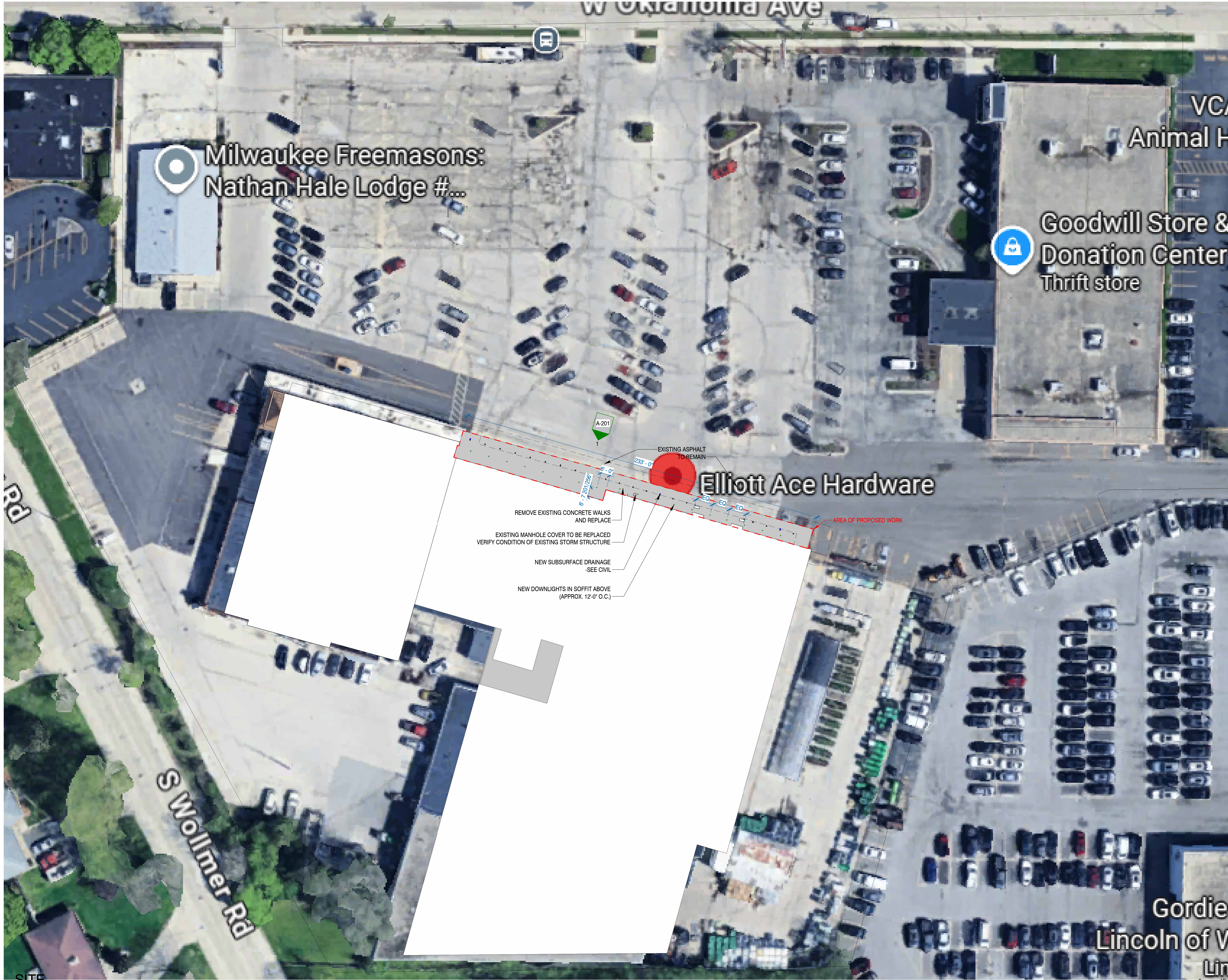
NOT FOR CONSTRUCTION

LEADERS

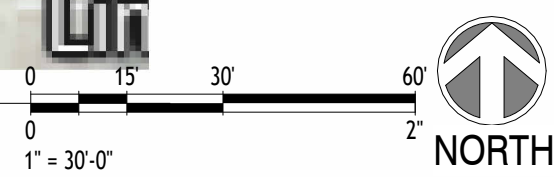
ENGINEERS

CONTRACTORS

ARCHITECTS



1 SITE
1" = 30'-0"



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PROJECT ARCHITECT	STRUCTURAL ENGINEER	LANDSCAPE DESIGN
DESIGN ARCHITECT TKM	CIVIL ENGINEER	REVIEWED BY

SHEET TITLE:
ARCHITECTURAL SITE PLAN

SHEET NUMBER:

AS-101

PROJECT NUMBER:

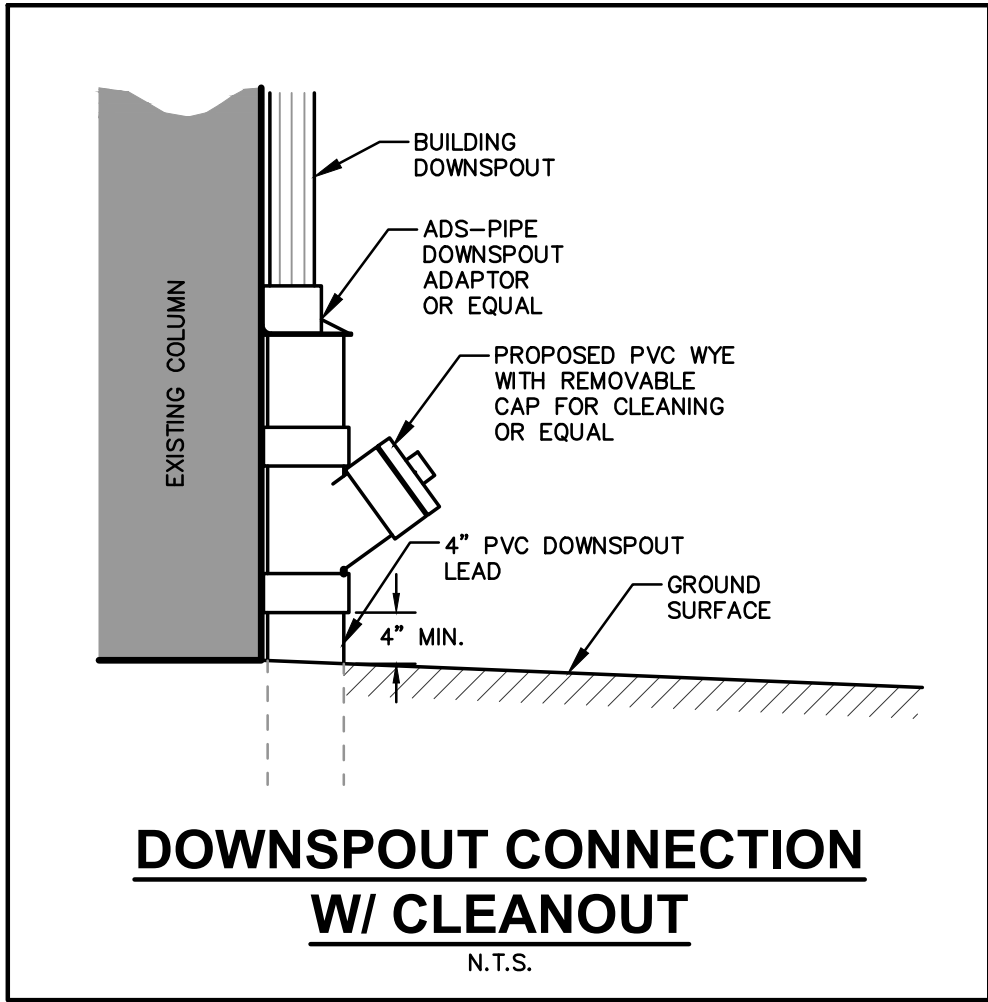
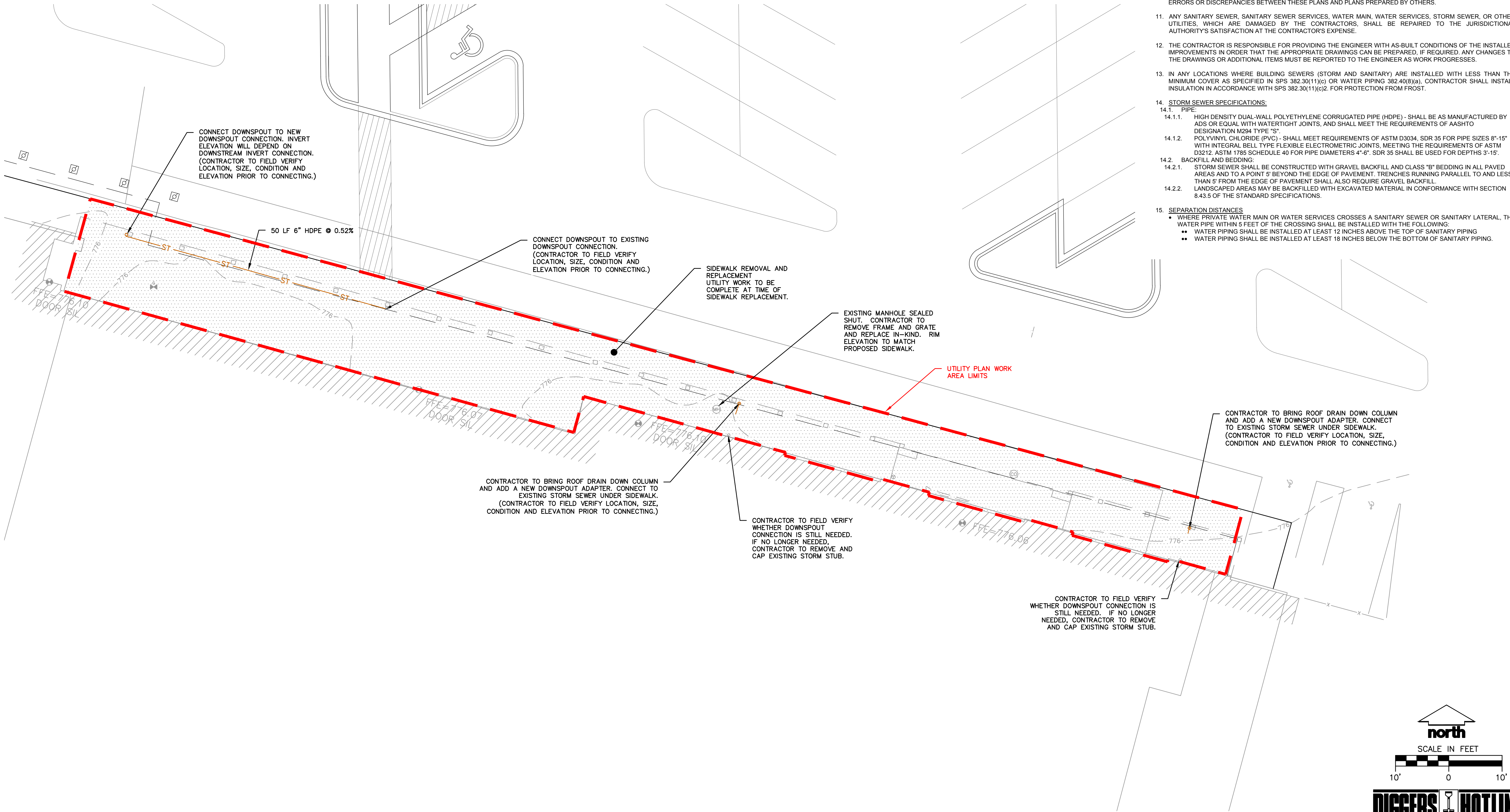
P13874

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



- ### UTILITY NOTES
- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE JURISDICTIONAL AUTHORITIES.
 - SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
 - ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.36(7)(C)10., AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE.
 - DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY. CONTRACTOR SHALL COORDINATE DESIGN AND FINAL LOCATION WITH APPROPRIATE UTILITY COMPANY.
 - THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE INSTALLED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER AS SPECIFIED IN SPS 382.30(11)(c) OR WATER PIPING 382.40(8)(a), CONTRACTOR SHALL INSTALL INSULATION IN ACCORDANCE WITH SPS 382.30(11)(c)2. FOR PROTECTION FROM FROST.
 - STORM SEWER SPECIFICATIONS:**
 - PIPE:
 - HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATERTIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M204 TYPE "S".
 - POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3122, ASTM 1788 SCHEDULE 40 FOR PIPE DIAMETERS 4'-6". SDR 35 SHALL BE USED FOR DEPTHS 3'-15".
 - BACKFILL AND BEDDING:
 - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL.
 - LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS.
 - SEPARATION DISTANCES**
 - WHERE PRIVATE WATER MAIN OR WATER SERVICES CROSSES A SANITARY SEWER OR SANITARY LATERAL, THE WATER PIPE WITHIN 5 FEET OF THE CROSSING SHALL BE INSTALLED WITH THE FOLLOWING:
 - WATER PIPING SHALL BE INSTALLED AT LEAST 12 INCHES ABOVE THE TOP OF SANITARY PIPING
 - WATER PIPING SHALL BE INSTALLED AT LEAST 18 INCHES BELOW THE BOTTOM OF SANITARY PIPING.



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W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:
W215 EAST WISCONSIN AVENUE
NASHOTAH, WI 53085

PROJECT:
ELLIOT ACE HARDWARE -
WEST ALLIS

PROJECT LOCATION:
11003 WEST OKLAHOMA AVENUE
WEST ALLIS, WI 53227

PLAN MODIFICATIONS:

#	Date:	Description:
1	7/1/2026	CLIENT REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: (Initials)

Reviewed By: (Initials)

Approved By: (Initials)

SHEET TITLE:

UTILITY PLAN

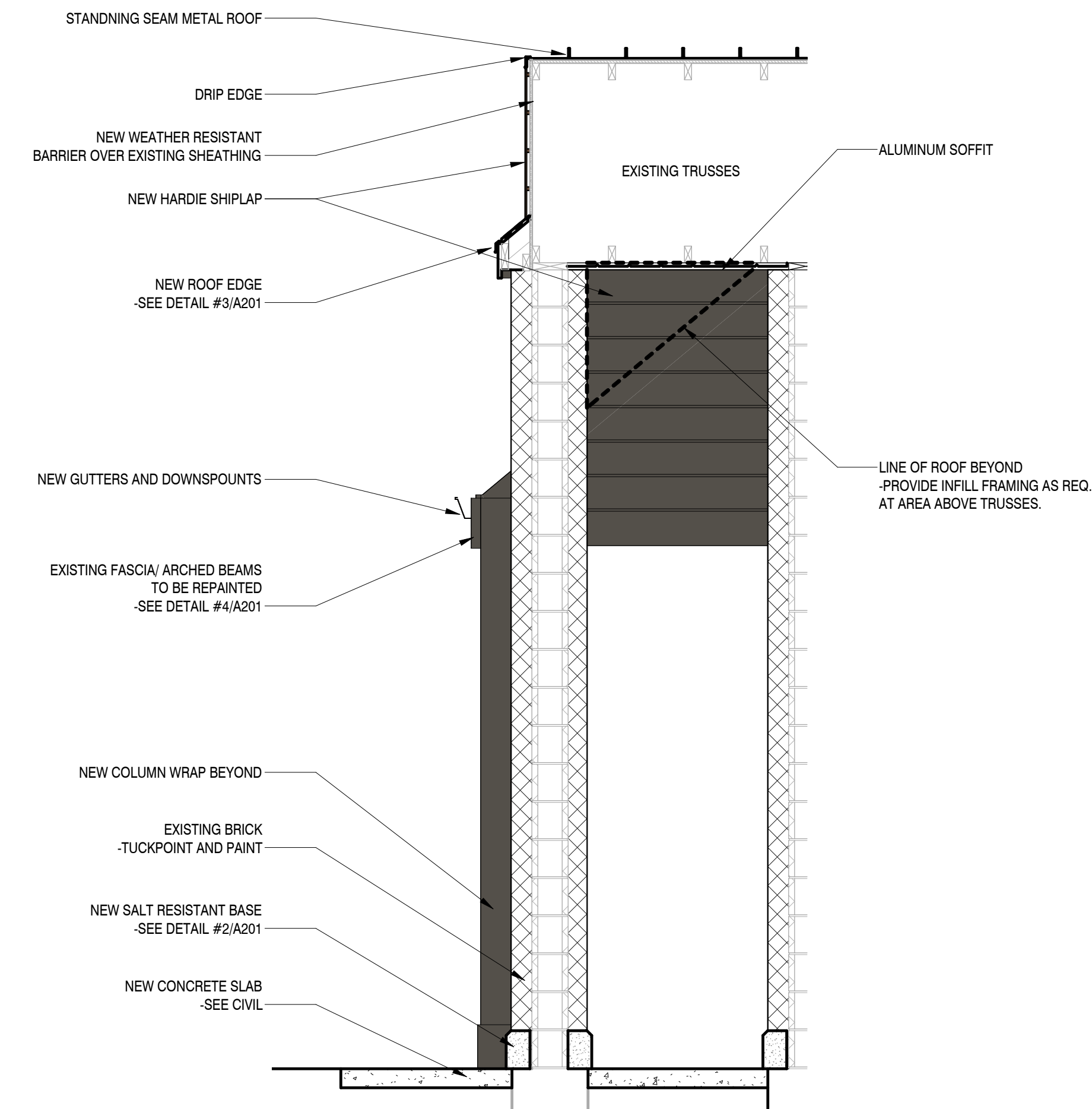
SHEET NUMBER:

C1.0

JSD PROJECT NO:

26-17409

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2 WALL SECTION
1/2" = 1'-0"



1 ROOF PLAN
1" = 20'-0"



NORTH

NOT FOR CONSTRUCTION



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MILESTONE ISSUE DATES	
PRELIMINARY SET:	4/17/2026
BUDGET SET:	
LOCAL DESIGN REVIEW SET:	
PROPOSAL SET:	7/1/2026
PERMIT SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

REVISIONS:	

PROJECT NAME
ELLIOTT ACE HADWARE - WEST ALLIS

PROJECT DESCRIPTION
EXTERIOR REMODEL

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PROJECT ARCHITECT	STRUCTURAL ENGINEER	LANDSCAPE DESIGN
DESIGN ARCHITECT TKM	CIVIL ENGINEER	REVIEWED BY

SHEET TITLE:
OVERALL ROOF PLAN

SHEET NUMBER:
A-140

PROJECT NUMBER:
P13874

P13874

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



ENGINEERS

CONTRACTORS

ARCHITECTS

EXISTING



PROPOSED



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PROJECT ARCHITECT STRUCTURAL ENGINEER LANDSCAPE DESIGN

DESIGN ARCHITECT CIVIL ENGINEER REVIEWED BY
TNK

SHEET TITLE:
EXTERIOR RENDERINGS

SHEET NUMBER:

A-220

PROJECT NUMBER: P13874

P13874

LEADERS



ENGINEERS



CONTRACTORS



ARCHITECTS

APPROVED

DATE 8-20-2015

The Common Council required these islands at the public hearing.

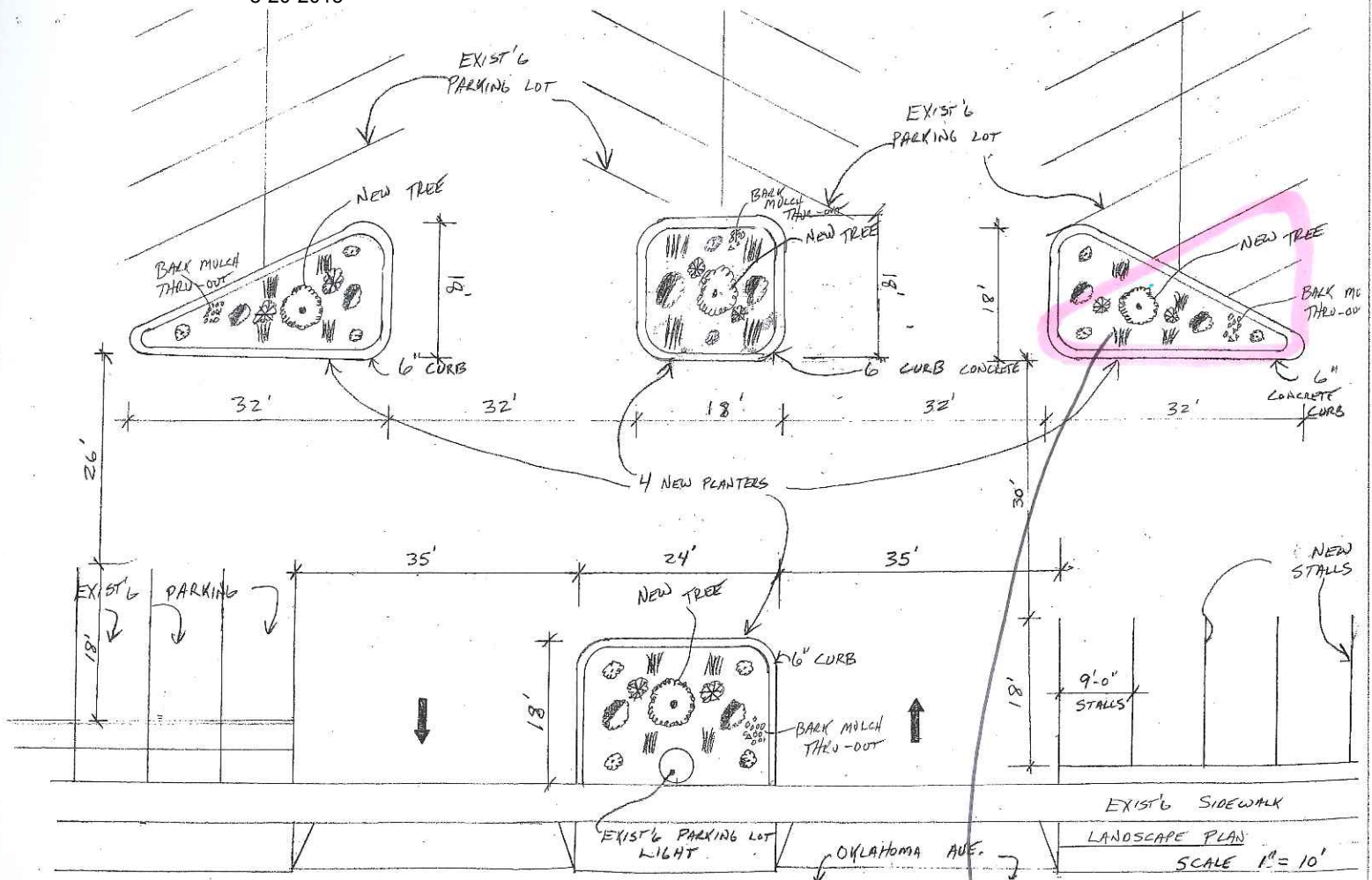
8-20-2015



APPROVED

DATE 8/20/15

8-20-2015



Flip 180°

8/20/15

LANDSCAPE PLANT LIST



AMERICAN ELM
& AUTUMN BLAZE MAPLE



CATMINT RED BUSH.



VIGOR GRASS



DAYLILY STOLA-O-ORO



JUNIPER BAR HARBOR



BARK MULCH THRU-OUT.