



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 22nd, 2026
City Hall, Room 128
6:00 PM**

4. Site, Landscaping, and Architectural Design Review for Natty Oaks, an existing Restaurant use, at 11505 W. National Ave. (Tax Key No. 520-9974-001)



Project Overview

The proposed project at [11505 W. National Ave.](#) involves the demolition of an existing outdoor wood platform stage at the western side of the property to replace it with a permanent, one-story enclosed pavillion structure used for live music and entertainment. The 432 sq. ft. structure will be oriented toward the main building and outdoor patio area to minimize any potential noise disruptions to the surrounding neighborhood. The structure will be located on one of the two parcels owned by Natty Oaks – specifically the .20 acre parcel (Parcel 2) situated on the corner of National Ave. and Oklahoma Ave. Live music and seasonal uses, such as Santa meet and greets, will prompt this structure to be open within some capacity year-round. The pavillion will be available for use during all operational hours of Natty Oaks. The hours of operation for Natty Oaks (and the subsequent new pavillion) are as follows:

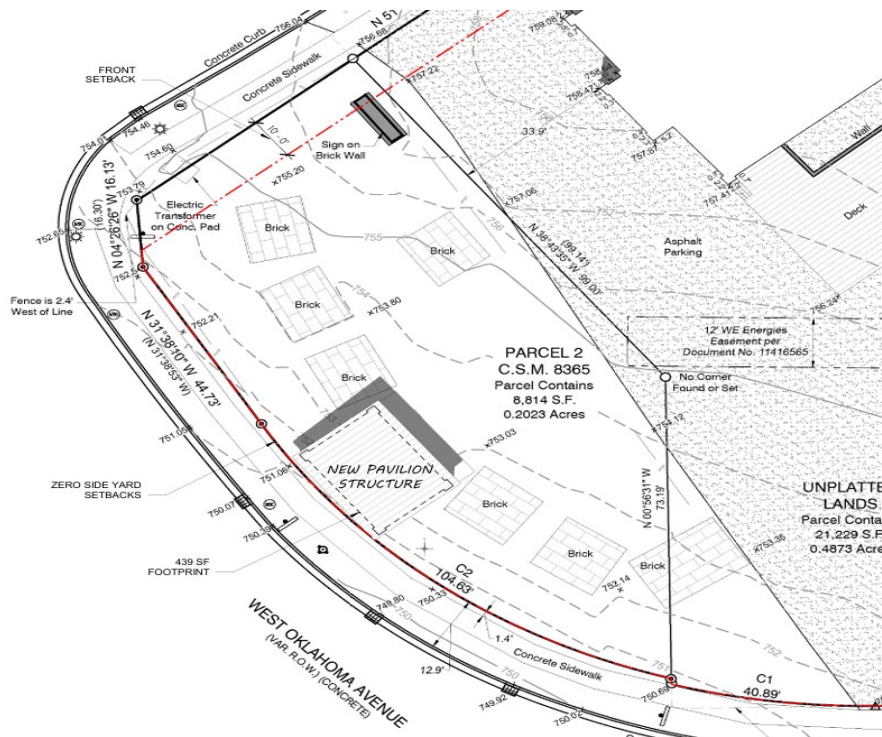
Monday – Wednesday: 11 am – 12 am
Thursday and Friday: 11 am – 2 am
Saturday: 9 am – 2 am
Sunday: 9 am – 12 am

The project will commence construction immediately upon issuance of a building permit with completion set on or before December 1st.



Existing stage to be demolished (above)

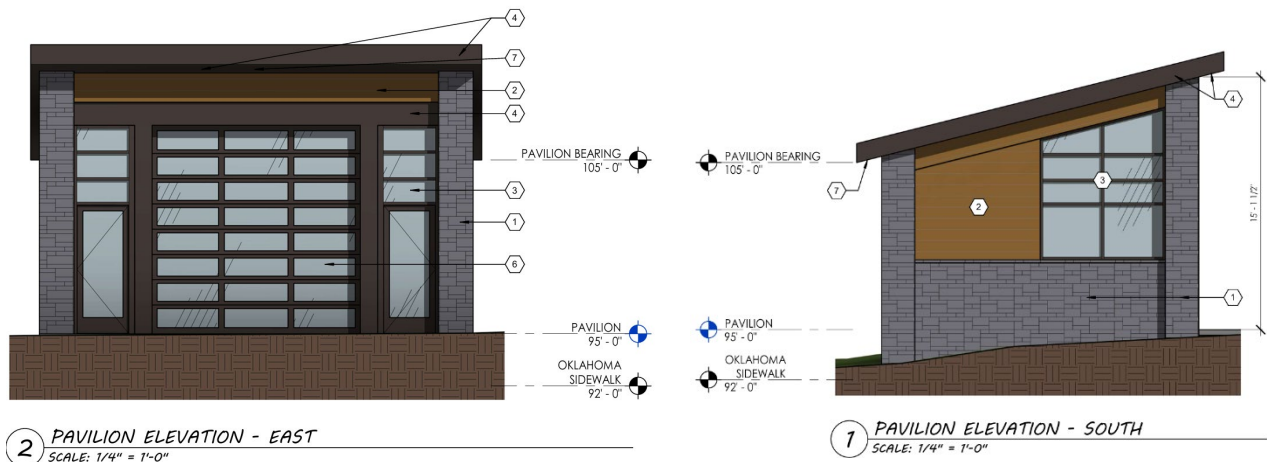
Natty Oaks is located on a property that is zoned C-4, "Intended for large-scale, automobile-oriented commercial development serving the needs of the regional population." The structure must comply with a front setback regulation of 10 ft (minimum), which staff finds compliant within the proposed plans. The structure will be located at least 10 ft. from National Ave. Side and rear setback regulations for the site do not state any minimum or maximum values that would pertain to this property, so the new structure may be constructed up to the lot line adjacent to Oklahoma Ave.



Site, Landscaping, and Architectural Plans

The building footprint will be approximately 24 feet long by 18 feet wide. It will be oriented toward the existing main building and patio areas. It will feature an operable upward acting stacking panel overhead glass door on the front façade to promote an “open air venue” as weather permits for guests gathering on the lawn area, patio and elevated deck of the main building.

The rectangular building footprint will be capped with a simple sloped shed roof clad by standing seam metal panels. The exterior walls will be covered with horizontal siding enhanced by a stone veneer base with integral stone veneer corner columns. Large windows placed at the front section of the end walls provide daylight into the interior space. The four exterior facades will have accent lighting to highlight the building at night, though staff note that no lighting plans have been submitted as part of this application. The exterior face of the west wall (rear wall) will prominently feature the City of West Allis logo, should the property owner obtain permission from the City to use its logo.



Landscaping will be added and modified on the western portion of the site. Approximately 12 evergreen trees, bushes, and shrubs will be relocated to the northwest region of the site, between the patios and sidewalk in line with existing landscaping. Salt tolerant plantings will be installed along the west pavilion elevation, not to exceed 2 ft in height to maintain signage visibility.



Staff note that the property owner has taken measures to address a comment from the City's Code Enforcement Department regarding the number of restrooms on site. Due to recent building code changes, inspectors are prompted to count both indoor and outdoor occupancy for sites in calculating bathroom requirements for projects. Because of the outdoor programming at Natty Oaks and subsequent 25 person capacity of the proposed pavilion structure, the property owner has installed 3 temporary restrooms on site to accommodate this requirement.



Planning staff has also considered the long-term vision for this site and encourage its use to the fullest potential. Due to the increased programming of Parcel 2 of the property, staff does recommend that the

property owner combines the two parcels into one. This would benefit the site to maintain consistency long-term with its primary use as a restaurant and ensure that any future projects are not limited due to zoning or land use inconsistencies between the two properties. For example, combining the parcels could grant the property owner greater flexibility for buildable space and setback requirements.

Recommendation: Approval of Site, Landscaping, and Architectural Design Review for Natty Oaks, an existing Restaurant use, at 11505 W. National Ave. (Tax Key No. 520-9974-001) subject to the following conditions:

1. Submission of a lighting plan for proposed lighting features submitted to the Planning and Zoning Department subject to review and approval.
2. Porta Potty locations and consideration of screen enclosure or landscaping being provided.
3. Combination of the two parcels into one lot of record.

Natty Oaks
11505 West National Avenue
West Allis, Wisconsin 53227

New Pavilion

Description of Building Improvements:

This project involves demolition of the existing outdoor wood platform stage enclosure at the western side of the property and replacing it with a new permanent one-story enclosed building for music and entertainment. The building footprint will be approximately 24 feet long by 18 feet wide. It will be oriented toward the existing main building and patio areas. It will feature an operable upward acting stacking panel overhead glass door on the front façade to promote an “open air venue” as weather permits for guests gathering on the lawn area, patio and elevated deck of the main building.

The rectangular building footprint will be capped with a simple sloped shed roof clad by standing seam metal panels. The exterior walls will be covered with horizontal siding enhanced by a stone veneer base with integral stone veneer corner columns. Large windows placed at the front section of the end walls provide daylight into the interior space. The four exterior facades will have accent lighting to highlight the building at night.

The exterior face of the west wall (rear wall) will prominently feature the City of West Allis logo. Thousands of vehicles will view this face of the building each day.

Landscaping will be added and modified on the western portion of the site. Seasonal weather conditions will be considered as the New Pavilion will be used throughout the year for music, entertainment and the locally famous “Santa’s Village”.

Timeline for Completion:

This project will commence construction immediately upon issuance of a building permit with completion on or before December 1, 2026.

Description of Operations/Services:

The New Pavilion will be used for music and entertainment. It will be available for use during all hours of operation of Natty Oaks. Seasonal uses and music will be promoted throughout the year. Santa Claus will visit during the Christmas Holiday Season to listen to requests and wishes from children and parents in a new enclosed facility.

Days and Hours of Operation:

The New Pavilion will be available for use during all hours of operation of Natty Oaks. Natty Oaks hours of operation are:

Monday, Tuesday & Wednesday: 11:00am to 12:00am
Thursday & Friday: 11:00am to 2:00am
Saturday: 9:00am to 2:00am
Sunday 9:00am to 12:00am

PROJECT INFORMATION:

CLIENT:

NATTY OAKS PUB & EATERY
11505 W NATIONAL AVE, WEST ALLIS, WI 53227
CONTACT: JOHN ROOTS
PHONE: 414-807-4321
EMAIL: jroots1@gmail.com

GENERAL CONTRACTOR:

TBD

HVAC CONTRACTOR:

TBD

ELECTRICAL CONTRACTOR:

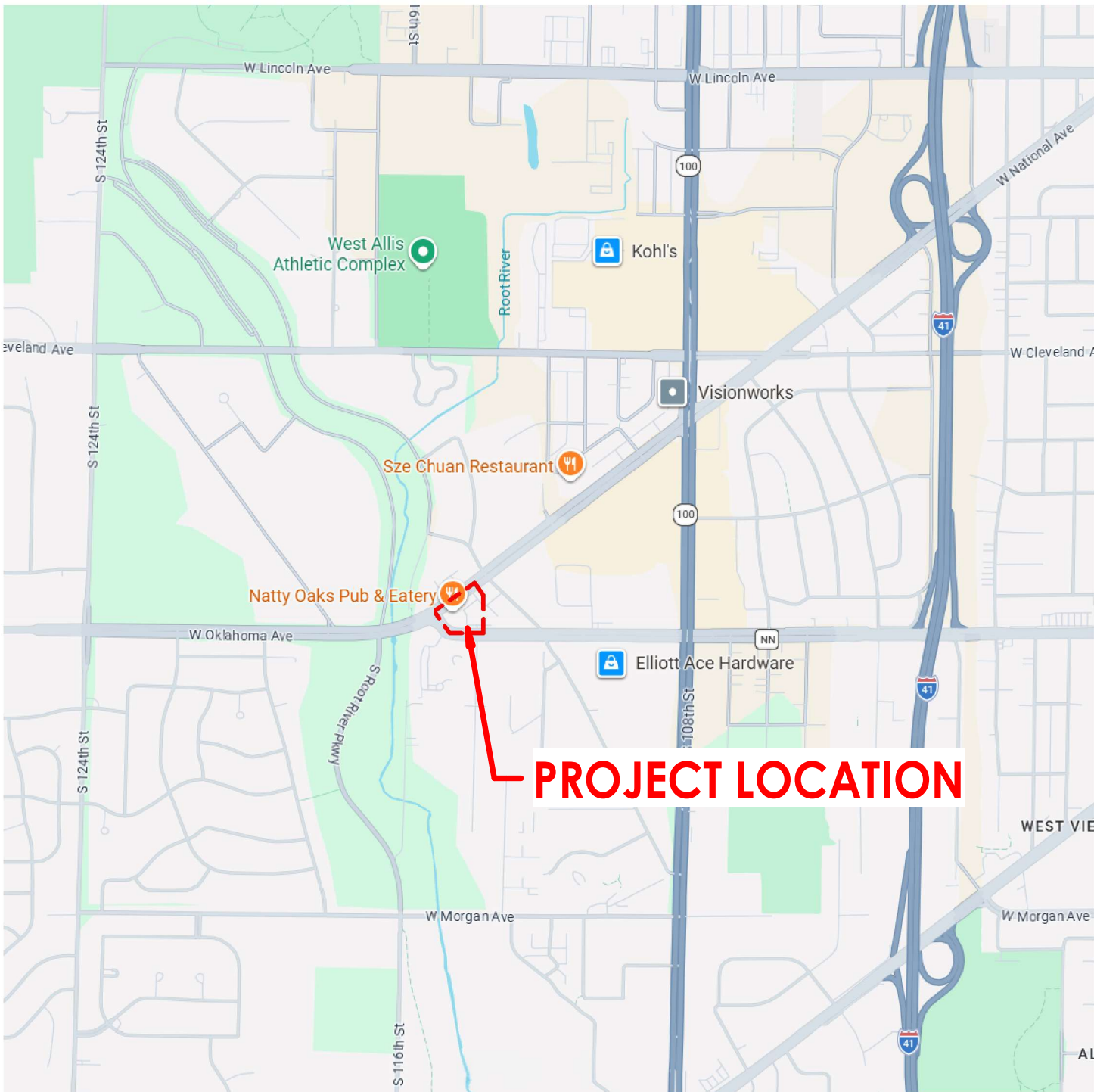
TBD

PLUMBING CONTRACTOR:

TBD

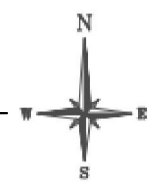
SCOPE OF WORK:

THIS PROJECT INVOLVES CONSTRUCTION OF A NEW ONE-STORY ENCLOSED PAVILION BUILDING FOR MUSIC AND ENTERTAINMENT. THE BUILDING WILL FEATURE FRONT-FACING EXTERIOR WALLS THAT CAN BE OPENED TO THE ADJACENT PATIO AND LAWN AREAS.



VICINITY MAP - PROJECT LOCATION

NTS



GENERAL NOTES:

- THE ARCHITECT / ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS OR THOSE WORKING IN SUCH CAPACITIES, FOR THE MEANS OR METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- CONTRACTORS SHALL COMPLY WITH THE LATEST (OSHA) OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, BRACING, SCAFFOLDING, FORMWORK ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT / ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT / ENGINEER IS OBTAINED.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
- DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
- ARCHITECT / ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT / ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, INSERTS, FLOOR FINISHES AND OTHER EMBEDDED ITEMS.
- UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.
- THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:
 - CLASS A: FLAME SPREAD INDEX 0-25; SMOKE-DEVELOPED INDEX 0-450
 - CLASS B: FLAME SPREAD INDEX 26-75; SMOKE-DEVELOPED INDEX 0-450
 - CLASS C: FLAME SPREAD INDEX 76-200; SMOKE-DEVELOPED INDEX 0-450
- INTERIOR WALL AND CEILING FINISHED SHALL COMPLY WITH TABLE 805.9 WITH A MINIMUM RATING OF CLASS C.
- INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC F-1 "PILL TEST".
- FIRE EXTINGUISHERS WITH A MINIMUM 2-A RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHERS SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

CODE INFORMATION:

REFERENCED CODES ARE: IBC 2021; IEBC 2021; ICC/ANSI A117.1-2017; SPS CH. 361-366

TBD

SHEET INDEX

Sheet Number	Sheet Title
T1.0	TITLE SHEET
C1.1	SITE PLANS & LANDSCAPING PLAN
A1.1	PAVILION - PLANS, ELEVATIONS, AND PERSPECTIVES

Project:

NATTY OAKS PHASE 1:
NEW PAVILION
11505 W NATIONAL AVE
WEST ALLIS, WI 53227

Sheet Title:

TITLE SHEET

Revisions:

NO.	DESCRIPTION	DATE
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Date:

07/06/2026

Job No.

26-122

Sheet No.

T1.0

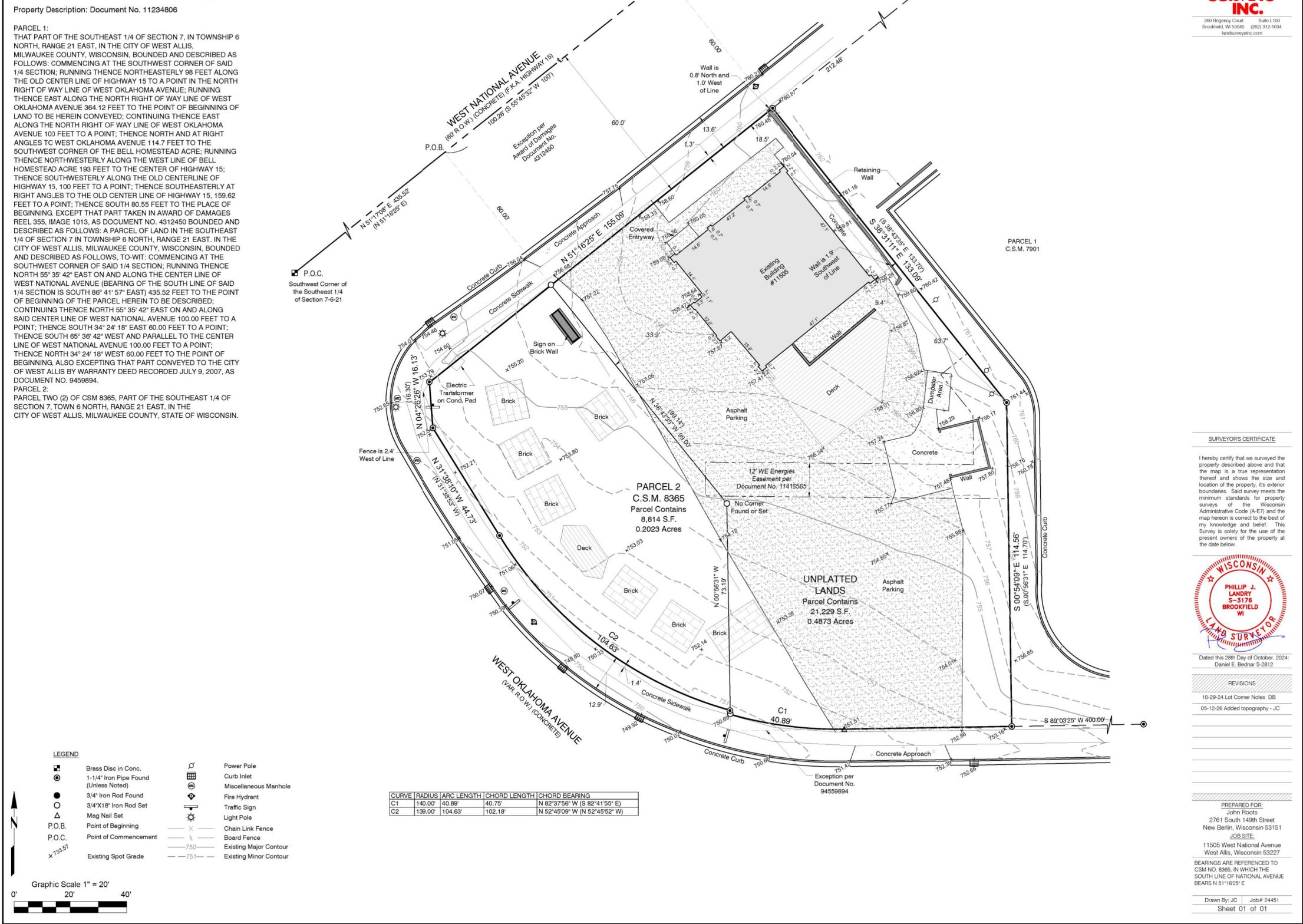


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12310 West Watford Avenue
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PLAN COMMISSION REVIEW on 07/22/2026

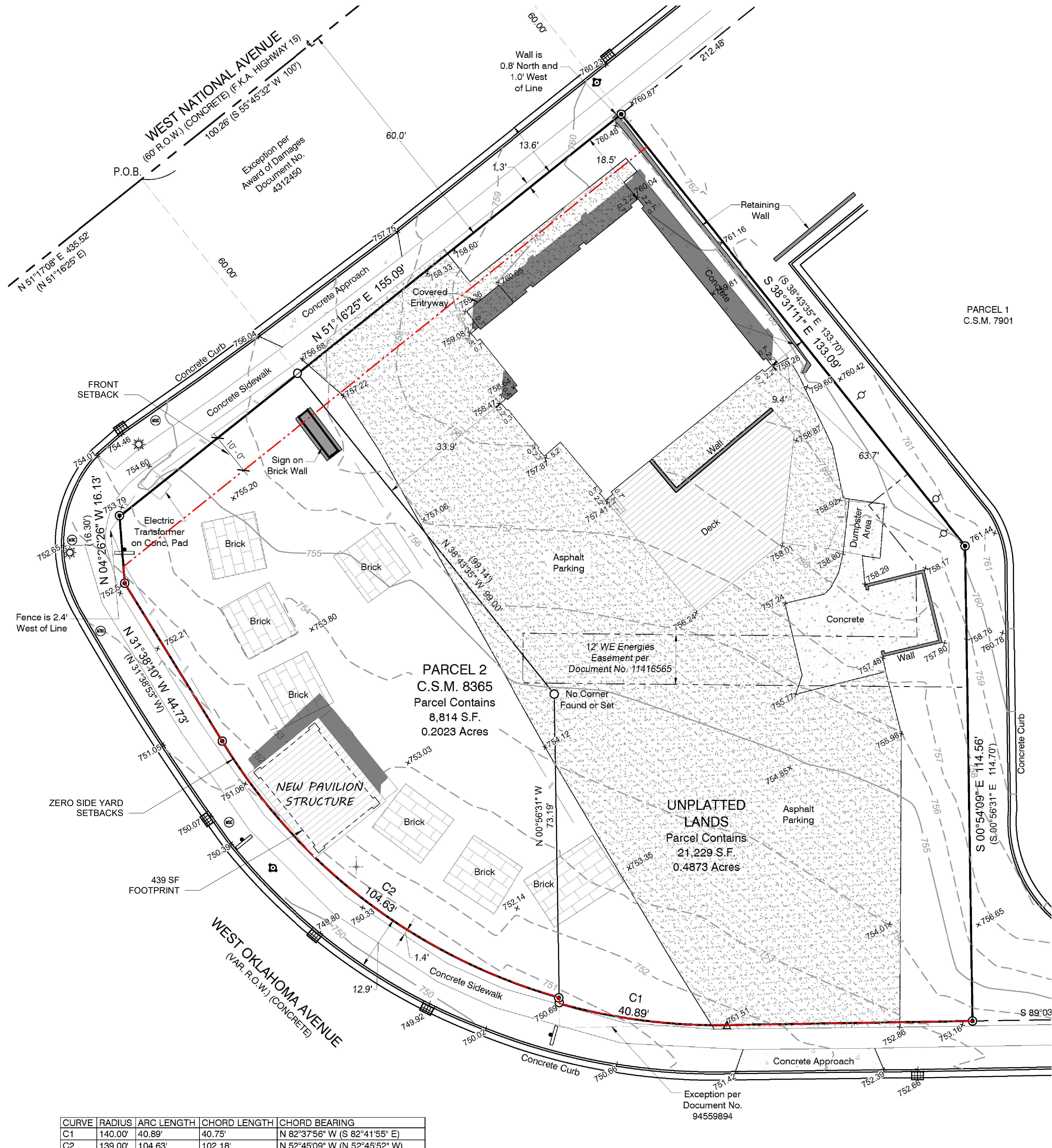
Plat of Survey



SITE PLAN - PLAT OF SURVEY
NTS



1 LANDSCAPE PROPOSAL
SCALE: 1" = 20'-0"



2 SITE PLAN - NEW
SCALE: 1/16" = 1'-0"



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Project: **NATTY OAKS PHASE 1:
NEW PAVILION**
11505 W NATIONAL AVE
WEST ALLIS, WI 53227

Sheet Title:
**SITE PLANS &
LANDSCAPING
PLAN**

Revisions:	NO.	DESCRIPTION	DATE
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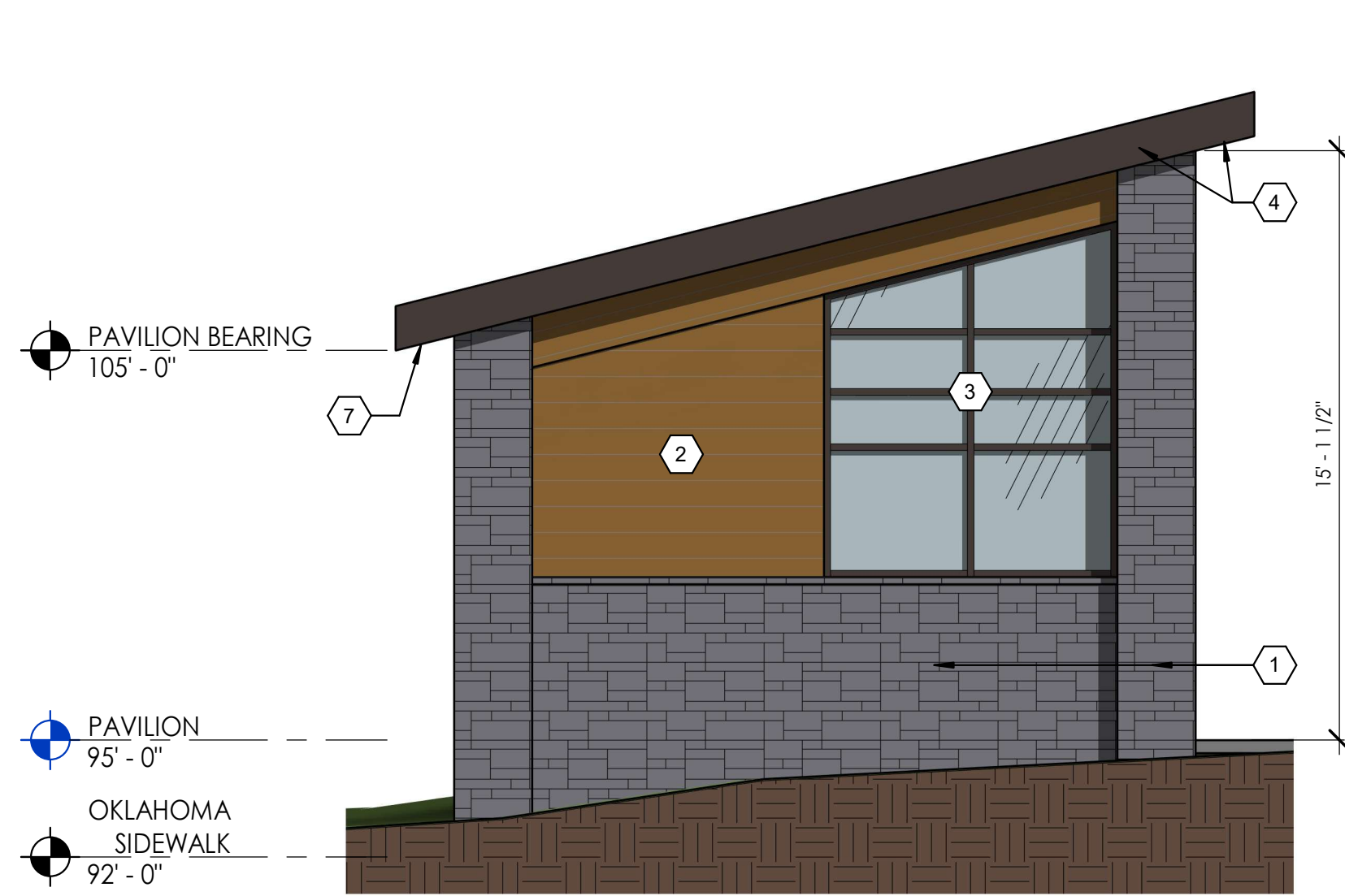
Date: 07/06/2026

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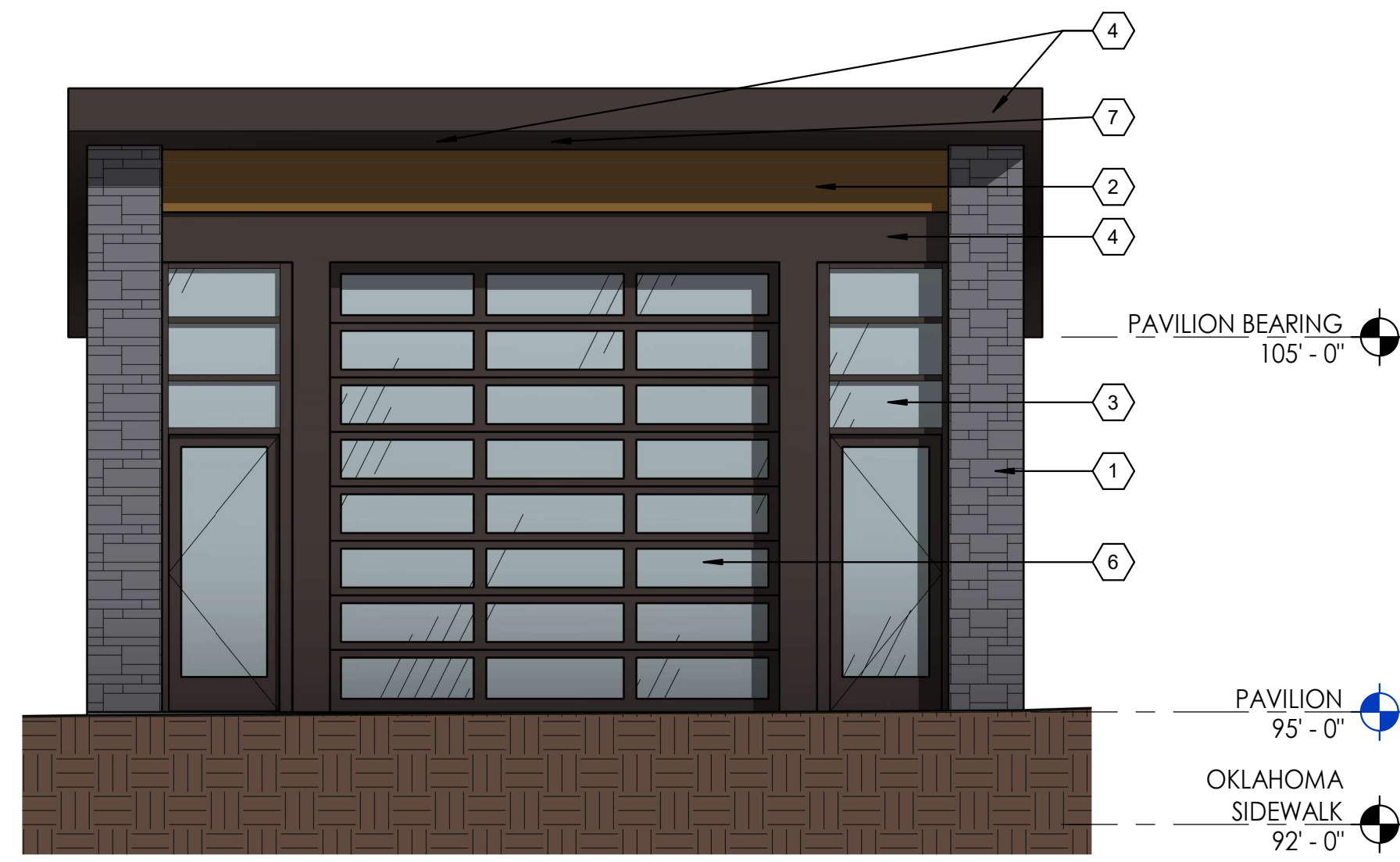
Sheet No.

C1.1

PLAN COMMISSION REVIEW on 07/22/2026



1 PAVILION ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



2 PAVILION ELEVATION - EAST
SCALE: 1/4" = 1'-0"



3 PAVILION ELEVATION - WEST
SCALE: 1/4" = 1'-0"

PROJECT MATERIALS & PRODUCTS

- STONE VENEER, BASIS OF DESIGN: EVOLVE STONE - GEORGETOWN RUN, RIVER CLAY
- LAP SIDING, BASIS OF DESIGN: LP SMARTSIDE CEDAR TEXTURE LAP SIDING, AGED AMBER
- STOREFRONT SYSTEM, DARK BRONZE ANODIZED
- METAL FASCIA AND SOFFIT, DARK BRONZE TO MATCH STOREFRONT
- STANDING SEAM METAL ROOF, FOREST GREEN, MANUFACTURER TBD
- OVERHEAD DOOR: STACKING PANEL OVERHEAD DOOR W/ VISION PANELS. BASIS OF DESIGN: CORNELL VERTISTACK
- LIGHTING - SOFFIT MOUNTED WALL WASH FIXTURES FOR SIGNAGE ILLUMINATION
- SIGNAGE, PERIMETER BACK LIT
- LANDSCAPE PLANTINGS, LOW HEIGHT SALT TOLERANT

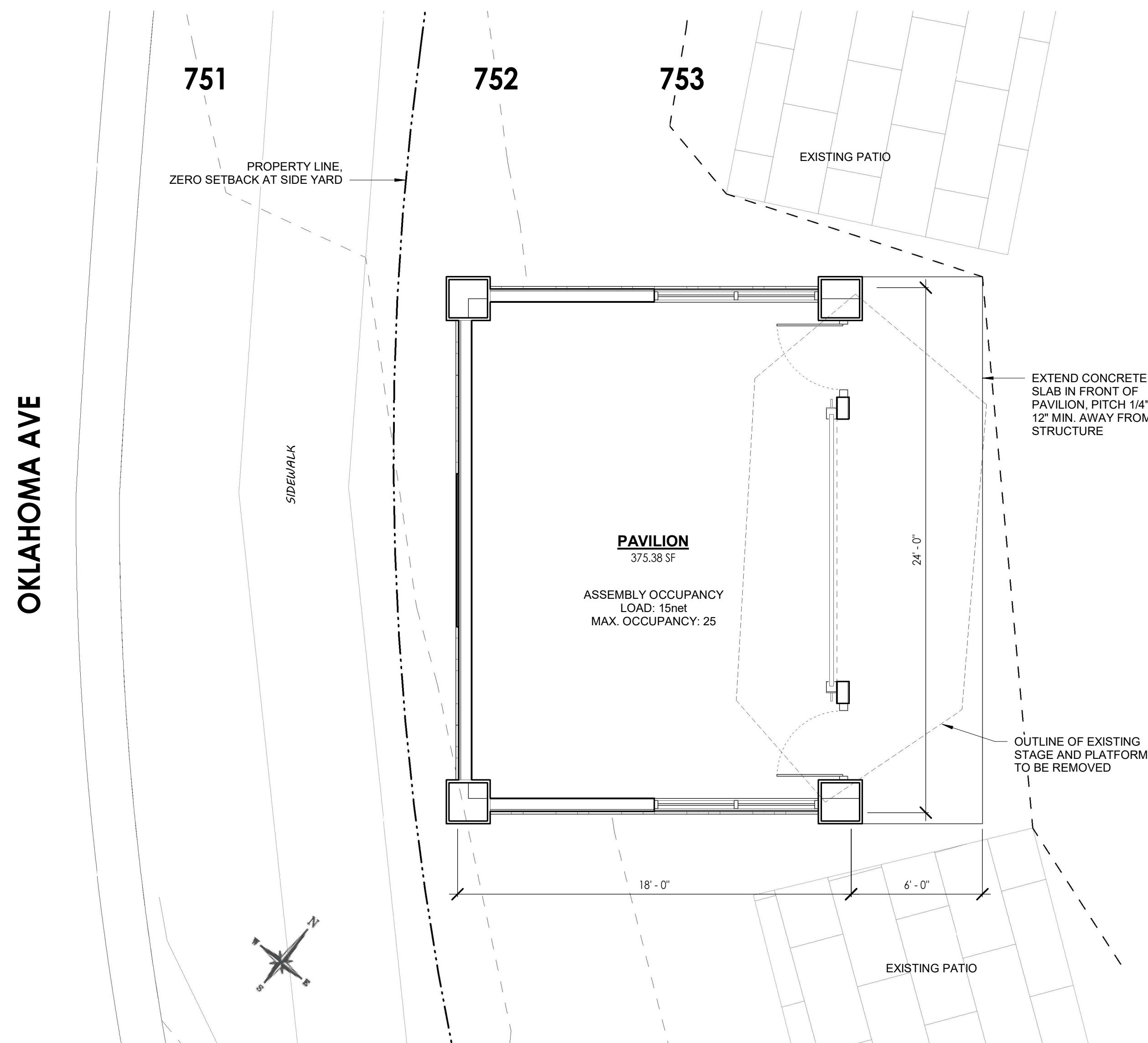
NOTE: RENDERINGS ARE FOR ILLUSTRATION PURPOSES ONLY. VARIATION AND INCONSISTENCY IN COLOR, TEXTURE, AND OVERALL APPEARANCE OFTEN OCCURS WHEN RENDERINGS ARE VIEWED VIA DIFFERENT MEDIA, SUCH AS PRINT OR ON SCREENS. MATERIAL SELECTIONS AND PRODUCTS, WHERE INDICATED, SHALL CONSTITUTE THE FINAL ARCHITECTURAL DESIGN.



PAVILION - SOUTHWEST
CONCEPTUAL RENDERING



3D - PAVILIOIN - SOUTHEAST
CONCEPTUAL RENDERING



4 PAVILION - FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROGRESS SET (NOT FOR CONSTRUCTION)

PLAN COMMISSION REVIEW on 07/22/2026

Project:

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Sheet Title:

PAVILION - PLANS,
ELEVATIONS, AND
PERSPECTIVES

Revisions:

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A1.1

Koz·i·tec·ture
It's not simply Architecture, it's Kozitecture!

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