STAGING AND GRADING TEMPORARY EASEMENT AGREEMENT Amendment #1

This Amendment #1 to the Staging and Grading Temporary Easement Agreement (the "**Agreement**") dated the 25th day of October, 2021 by and between the COMMUNITY DEVELOPMENT AUTHORITY OF THE CITY OF WEST ALLIS, a separate body politic created by ordinance in the City of West Allis, pursuant to Section 66.1335 of the Wisconsin Statutes ("**Grantor**") and MANDEL DEVELOPMENT, INC., a Wisconsin corporation and assignees and affiliates thereof ("**Grantee**").

All capitalized terms used herein shall have the same meaning as in the Agreement.

The parties to hereby agree as follows:

- 1. EXHIBIT A is hereby replaced by the attached EXHIBIT A, which is the recorded CSM map.
- 2. EXHIBIT B is deleted. The reference to "Adjacent Parcels" is amended as follows: The Adjacent Parcels are identified as Lots 1, 3 and 4 as shown on EXHIBIT A.
- 3. EXHIBIT C is deleted and replaced by the updated Civil Engineering Plans attached hereto as EXHIBIT C.
- 4. Grantee hereby notifies Grantor that it has assigned its rights under this Agreement to Makers Row Phase I LLC, a Wisconsin limited liability company ("Makers Row") as to this Agreement's access rights and rights of Grading and Soils Management, Construction Staging and Storage and Site Utility Construction located on the Adjacent Parcels identified as Lots 1, 3 and 4 of the Certified Survey Map attached as EXHIBIT A (the "Certified Survey Map"). Adjacent Parcels are also identified independently as "Lots" herein. Makers Row is hereby appended to and referred to as Grantee with regards to Lots 1 and 3.
- 5. Grantee and Makers Row do hereby agree to coordinate any activities undertaken pursuant to this Agreement such that the work performed is consistent with that work as contained in the Civil Engineering Plans regardless of lot lines between Adjacent Parcels.
- 6. Grantee has requested additional rights as to Lot 2 whereby Grantee's contractors would be permitted to install subgrade footings and foundations and above-grade concrete foundation walls ("Early Start Work") provided Grantee holds all necessary building permits issued by the City of West Allis ("City"). Grantor consents to this additional scope of work however, in the

event the sale and conveyance of Lot 2 to Grantee is not completed, then Grantor at Grantor's sole option can elect to a) require Grantee to demolish and remove all of the Early Start Work or b) require Grantee to quit claim to Grantor all of Grantee's interests in the Early Start Work. Grantee explicitly agrees that all Early Start Work shall be subject at all times to Section 7 of the Agreement, including in the event of transfer to Grantor.

- 7. Section 4 of the Agreement is replaced in its entirety as follows:
 - 4. Progression of Work; Purchase of Lots 1 and 3; Purchase of Lot 4
- (a) Obligation to Complete Work When Started. Upon commencement of any of the Easement Activities, Grantor agrees that it shall complete the work on Lots 1, 3 and 4 at least sufficient to ensure that grading work is properly shaped to drain correctly and is otherwise capped and seeded; and that any underground utility construction work commenced is completed such that the utility service is complete and ready to provide individual service to each Lot.

In the event Makers Row and/or affiliates do not purchase either of Lot 1 or Lot 3, then ownership of that work completed on such Parcels prior to the expiration of the respective purchase and sale agreement shall be conveyed by quit claim deed to Grantor by Grantee and Makers Row. Grantee and Makers Row explicitly agree that all work on Lots 1 and 3 shall be subject at all times to Section 7 of the Agreement, including in the event of transfer to Grantor.

(b) Purchase of Adjacent Parcels - Lots 1 and 3. Grantor agrees to enter into purchase and sale agreements ("PSA" or "PSAs") with Makers Row for Lots 1 and 3 of the Certified Survey Map at the earliest possible date, subject to normal and customary municipal approvals. The purchase and sale agreements will include terms and conditions as contained in that certain agreement between Grantor and SoNa Lofts LLC for Lot 2. Makers Row and Grantor agree to expedite the execution of such agreements at the earliest possible date.

The parties acknowledge that the financing structure for development of Lots 1 and 3 will likely require some form of assistance, support or participation from Grantor, the City of West Allis or other outside parties other than private debt and equity. Makers Row's ability to undertaken development of these Lots is dependent on a feasible economic structure. Further, the parties acknowledge that final plans for Lot 1 have received conditional zoning approval from the City been approved but that plans have not yet been submitted for Makers Row Phase II.

Given the above status of development proposals for Lots 1 and 3, the parties agree that the target acquisition date for Lot 1 will be March 1, 2022 and the target acquisition date for Lot 3 will be July 1, 2022 (the "Target Acquisition Dates") subject to terms and conditions to be negotiated and agreed to by the parties and further subject to the completion of an agreed-to financing plan for each development subject however, to Makers Row's right to extend either or both Target Acquisition Dates by up to sixty (60) days in consideration of the status of approvals and financing.

(c) Purchase of Adjacent Parcel - Lot 4. Grantor and Grantee may negotiate the purchase of Lot 4 at the discretion of the parties.

Signatures follow on next page

IN WITNESS WHEREOF, the Grantor and the Grantees have hereunto set their hands and seals on date set forth above.

GRANTOR:

COMMUNITY DEVELOPMENT AUTHOR1TY
OF THE CITY OF WEST ALLIS

By:
Patrick Schloss
Its: Executive Director
State of
Personally came before me this day of, 2021, the above-named Patrick Schloss, to me known as the Executive Director of the Community Development Authority of the City of West Allis, who executed the foregoing instrument and acknowledged that he executed the same for the purposes herein contained on behalf of said community development authority.
Notary Public
Name:
State of County of
My Commission Expires:

My Commission Expires:

MAKERS ROW PHASE I LLC

By:	
By:Robert B. Monnat	
Its: Manager	
State of	
Personally came before me this day of the above-named Robert B. Monnat, to me known as the Mar I LLCwho executed the foregoing instrument and acknowled same for the purposes herein contained on behalf of said corp	hager of Makers Row Phase ged that he executed the
Notary Public	
Name:	
State of County of	
My Commission Expires:	

EXHIBIT SCHEDULE

EXHIBIT A – CERTIFIED SURVEY MAP

EXHIBIT B – REMOVED FROM ORIGINAL AGREEMENT INTENTIONALLY

EXHIBIT C - CIVIL ENGINEERING PLANS

EXHIBIT A – CERTIFIED SURVEY MAP

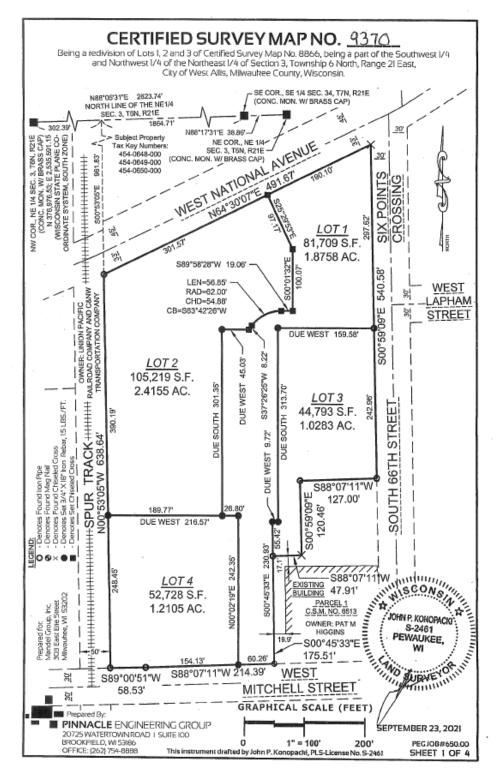
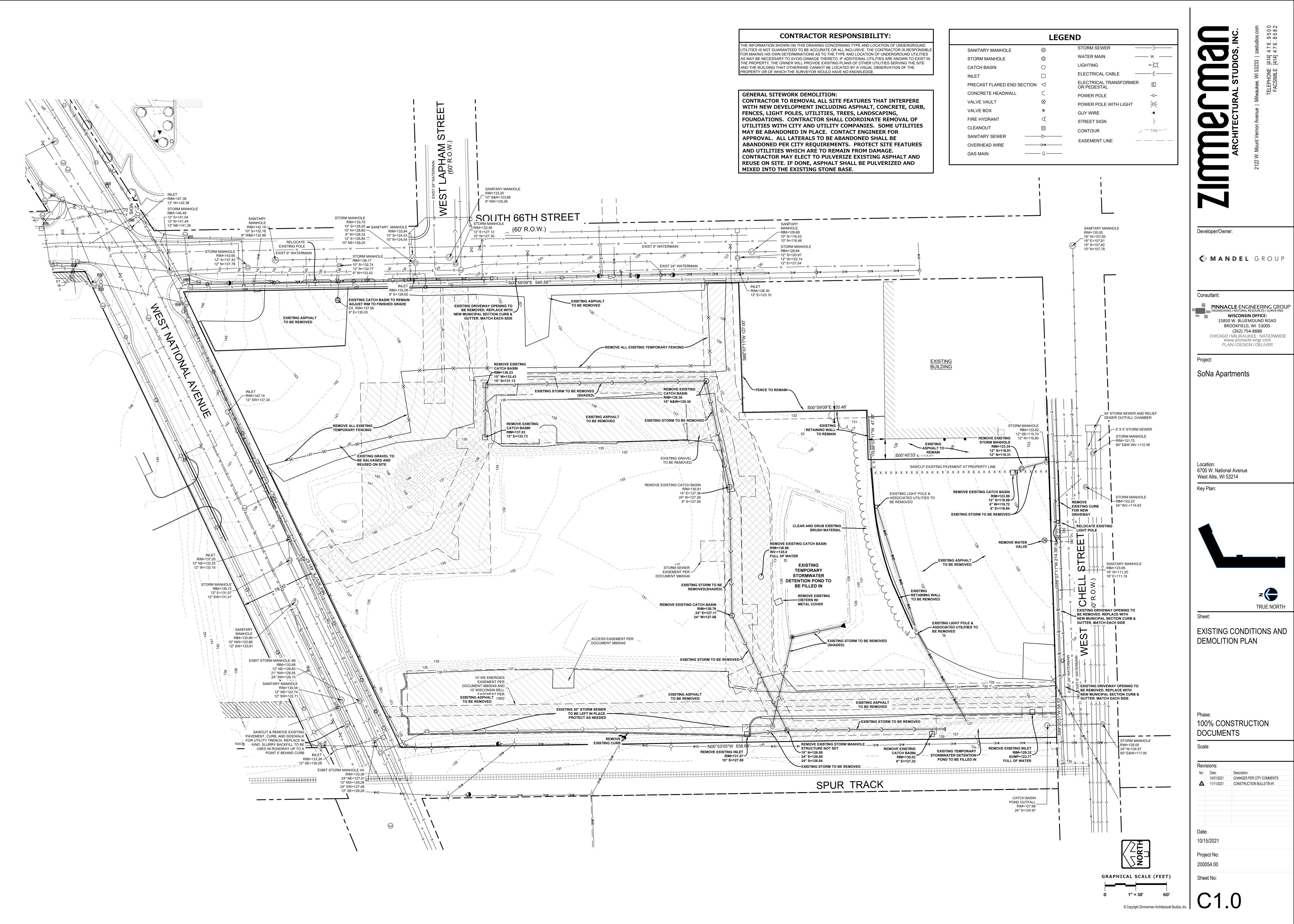
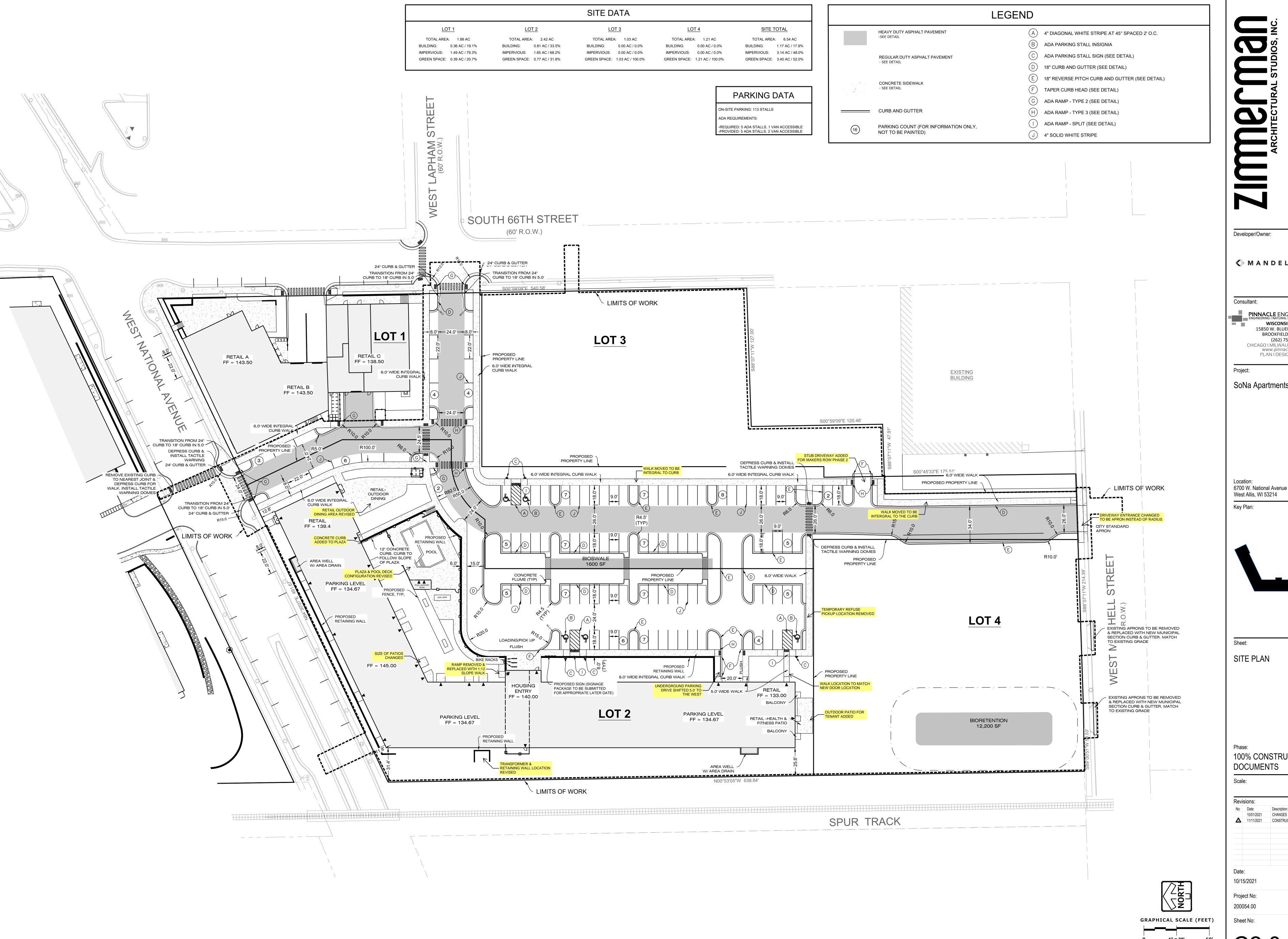


EXHIBIT B – INTENTIONALLY REMOVED FROM ORIGINAL DOCUMENT VIA THIS AMENDMENT

EXHIBIT C - CIVIL ENGINEERING PLANS

(EXHIBIT C IS SPECIFICALLY LOCATED ON THE 10 PAGES FOLLOWING THIS PAGE)





Developer/Owner:

♦ MANDEL GROUP

PINNACLE ENGINEERING GROUP ENGINEERING I NATURAL RESOURCES I SURVEYING WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD BROOKFIELD, WI 53005 (262) 754-8888 CHICAGO I MILWAUKEE : NATIONWIDE www.pinnacle-engr.com PLAN I DESIGN I DELIVER

SoNa Apartments

Location:

West Allis, WI 53214

Key Plan:

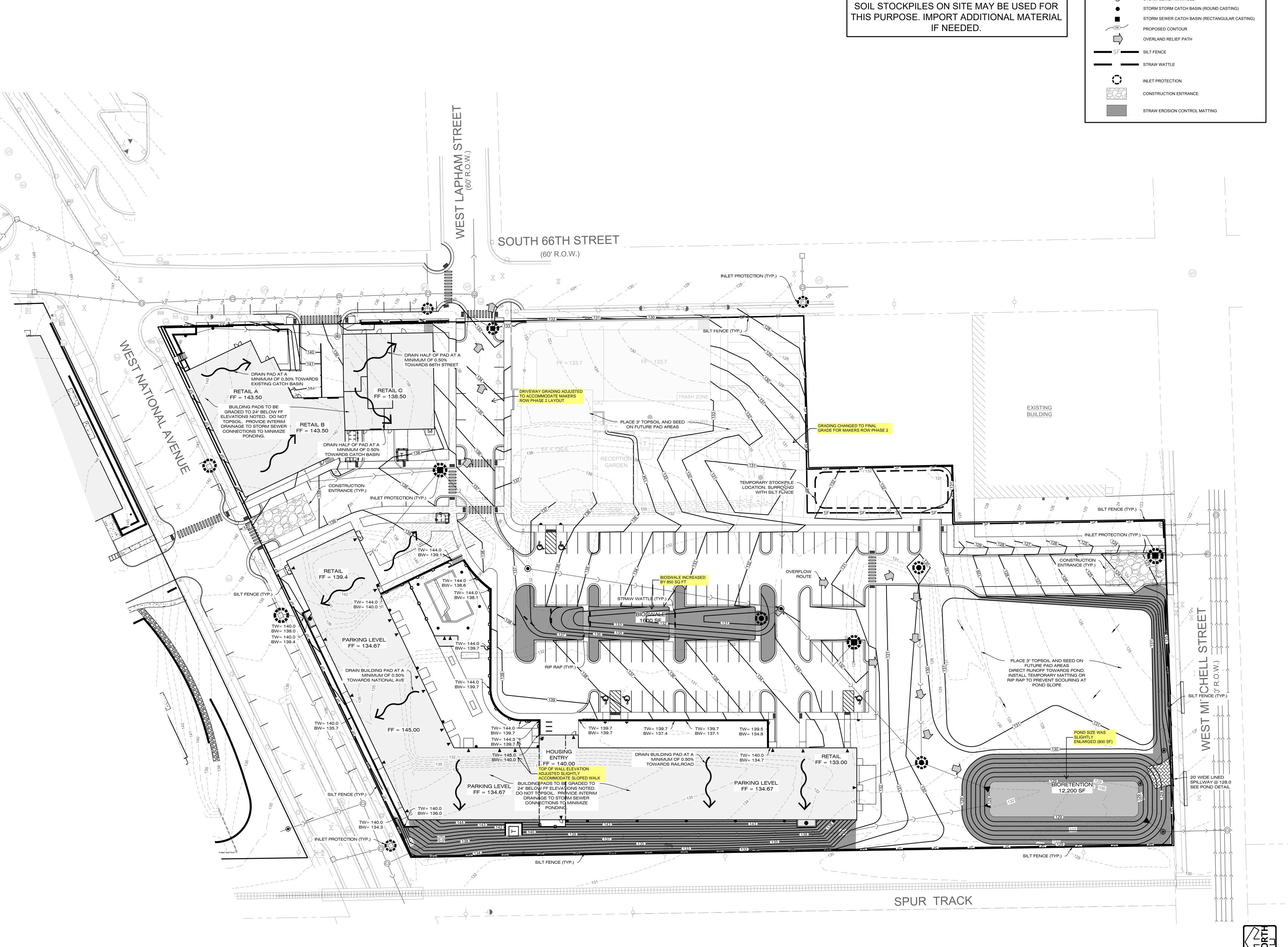
TRUE NORTH

100% CONSTRUCTION DOCUMENTS

No: Date: Description:
10/01/2021 CHANGES PER CITY COMMENTS
11/11/2021 CONSTRUCTION BULLETIN #1

Project No:

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LEGEND STORM SEWER MANHOLE

IN ALL GREEN SPACE AREAS AN 18" CLEAN

SOIL CAP SHALL BE PLACED. THE EXISTING

Developer/Owner:

♦ MANDEL GROUP

Consultant:

PINNACLE ENGINEERING GROUP ENGINEERING I NATURAL RESOURCES I SURVEYING WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD BROOKFIELD, WI 53005 (262) 754-8888 CHICAGO I MILWAUKEE : NATIONWIDE

www.pinnacle-engr.com PLAN I DESIGN I DELIVER

SoNa Apartments

Location: 6700 W. National Avenue

West Allis, WI 53214

Key Plan:





TRUE NORTH

GRADING & EROSION CONTROL PLAN

100% CONSTRUCTION

DOCUMENTS Scale:

Revisions:

No: Date: Description:

10/01/2021 CHANGES PER CITY COMMENTS

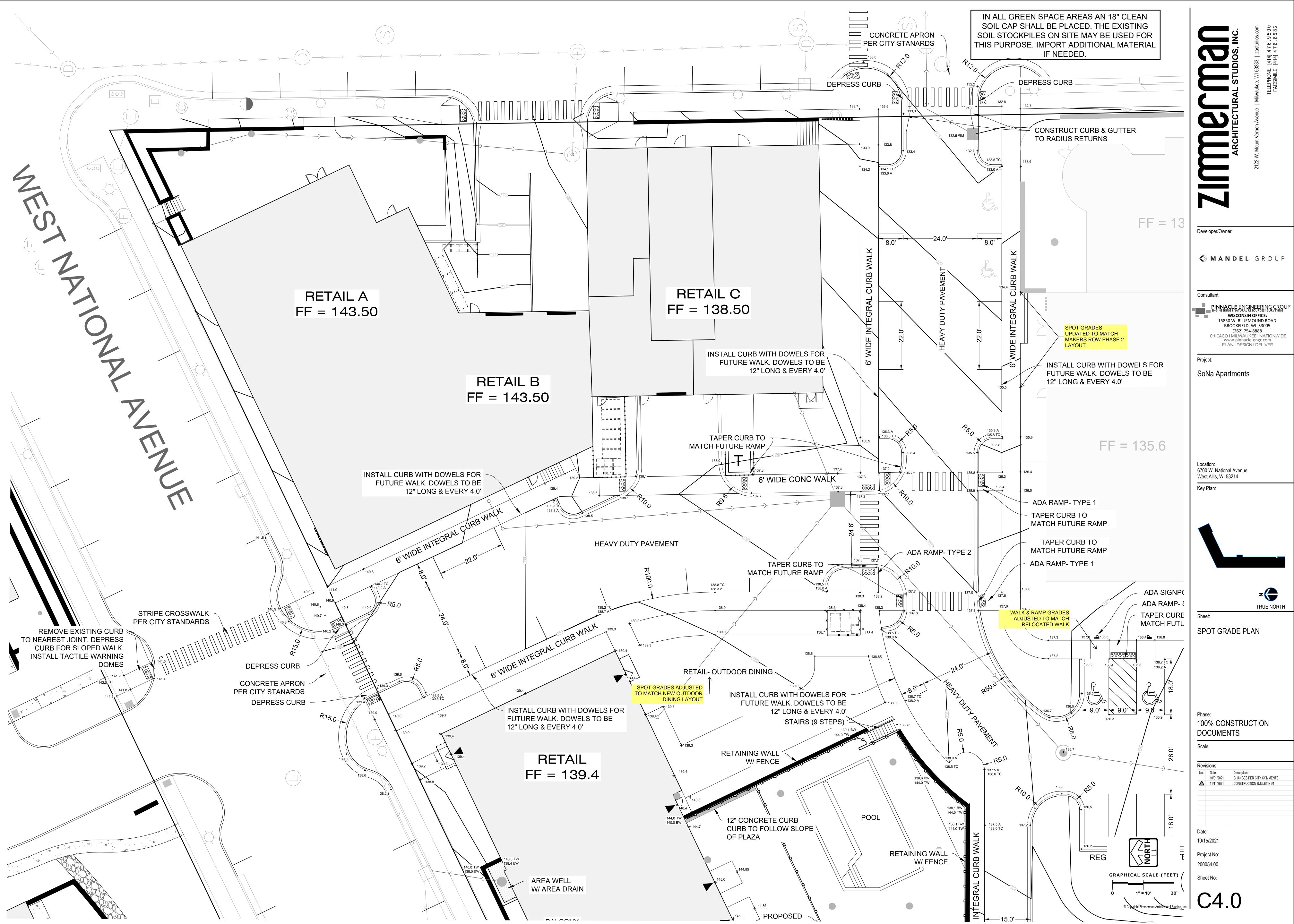
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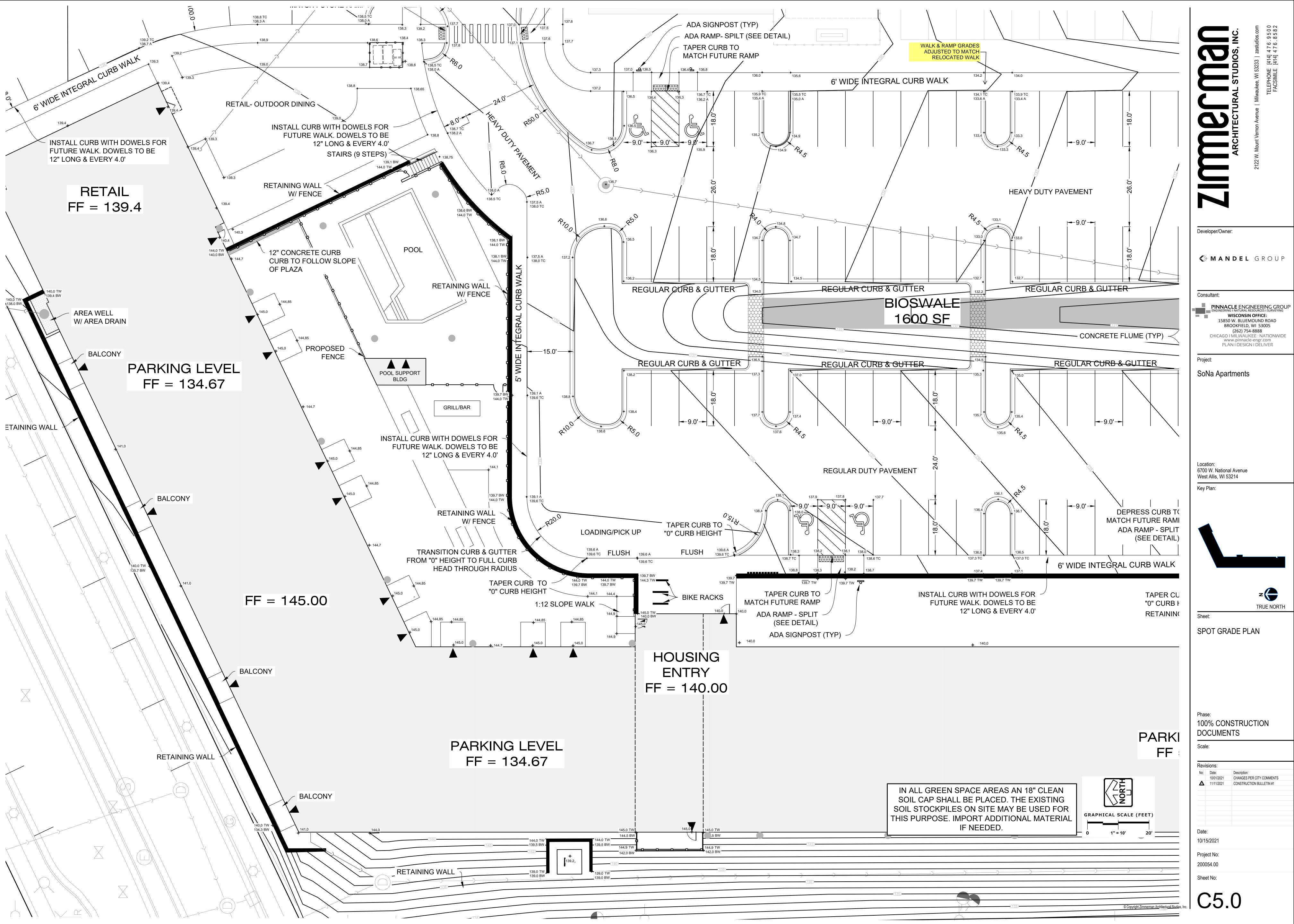
10/15/2021

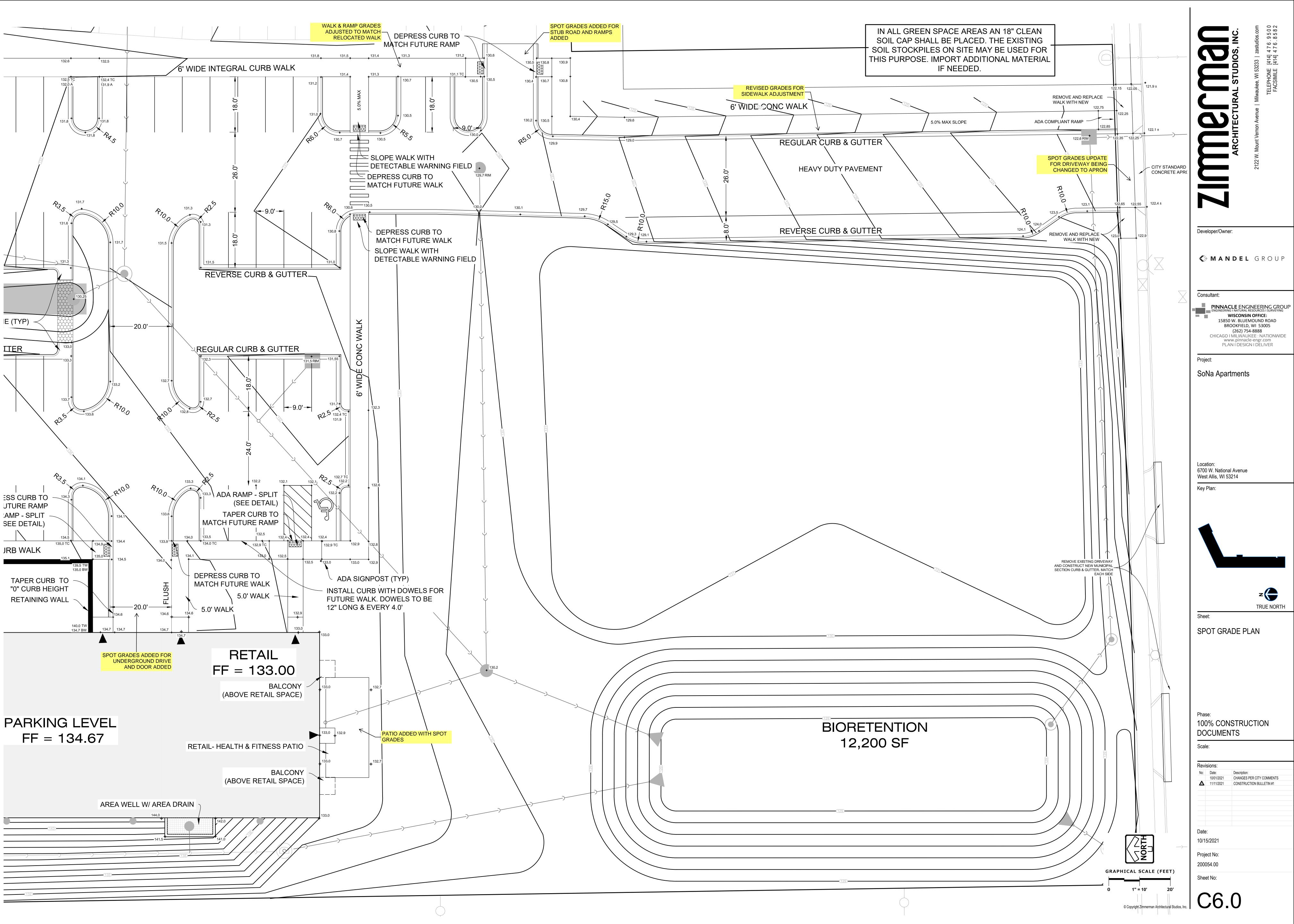
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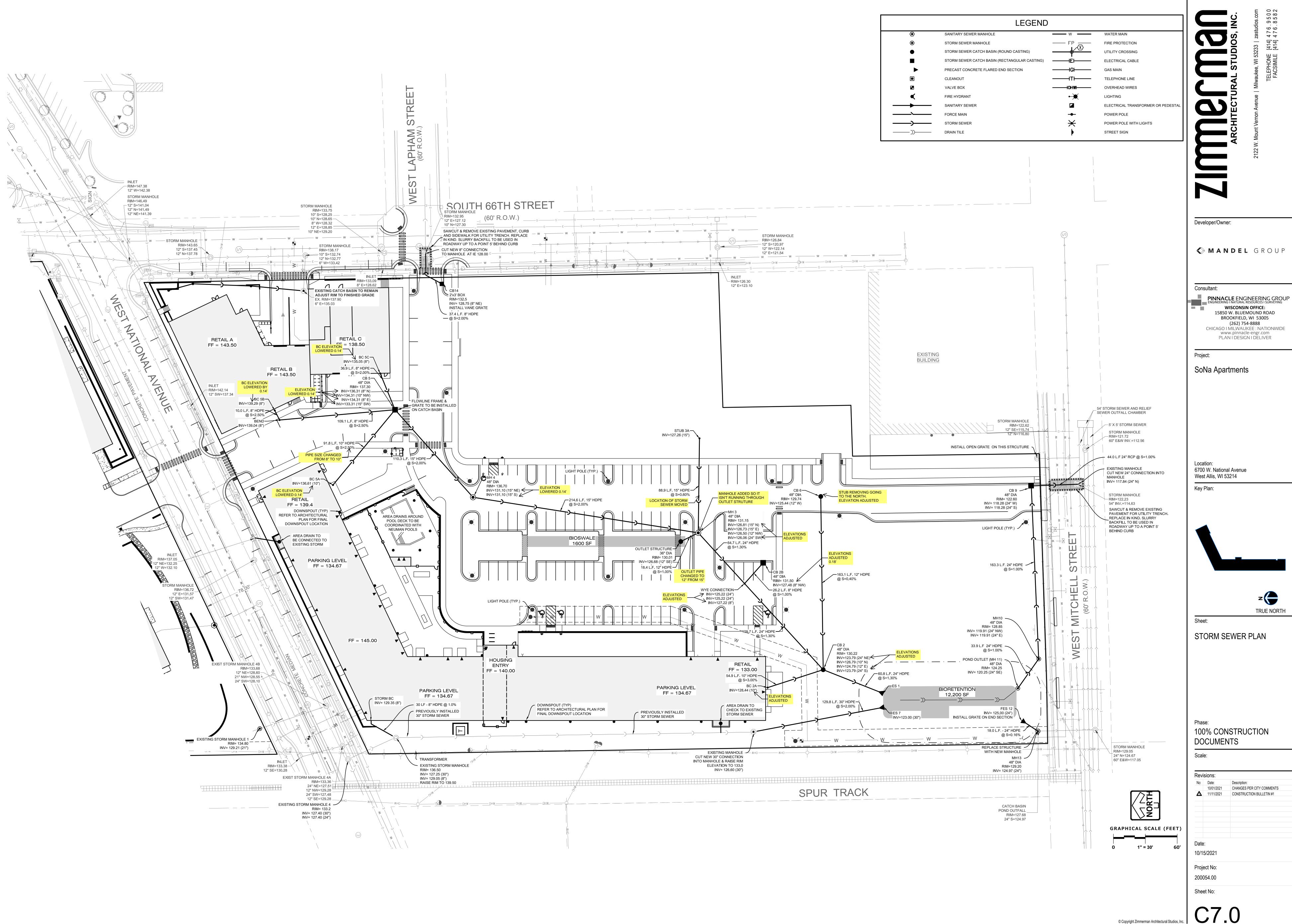
GRAPHICAL SCALE (FEET)

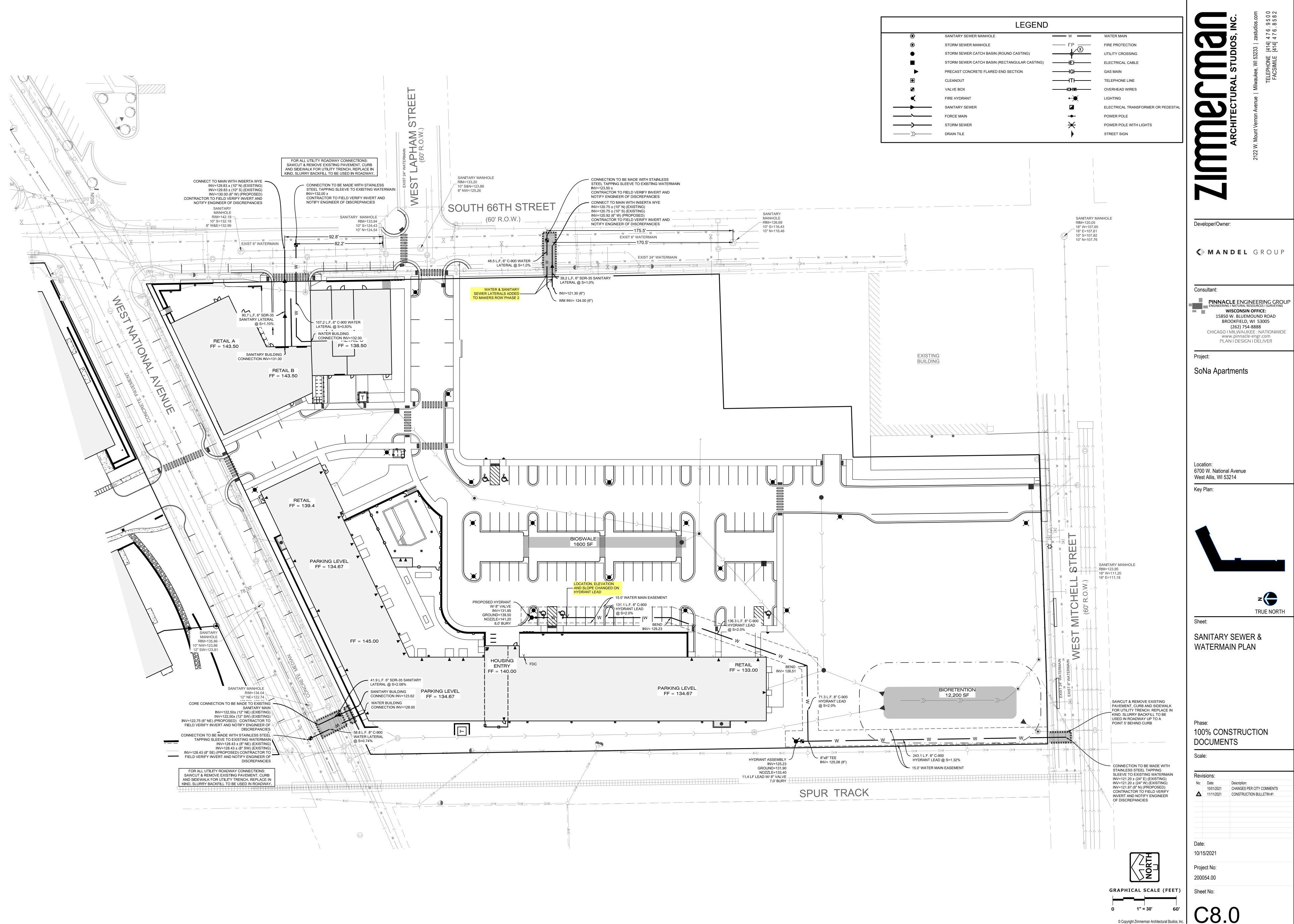
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GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE

STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS. 2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.

3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. 4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE,

AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK. 5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.

8 SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. 9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.

10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.

11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL 1. EARTHWORK FOR SITE ONLY- REFER TO 31 00 00 - EARTHWORK BUILDING IN THE MASTER SPECIFICATIONS FOR REQUIREMENTS UNDER STRUCTURES

2. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER. 3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.

4. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.

5. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WITTING BEFORE ANY DEVIATIONS ARE MADE.

6. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS. FREE OF ALL ORGANIC. FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM-D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT, IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY. OR 5 PERCENT HIGHER THAN UNDERLYING FILL

MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY, DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY

7. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED. 8. SUBGRADE TOLERANCES ARE +/-1" FOR LANDSCAPE AREAS AND +/- ½" FOR ALL PAVEMENT AND BUILDING AREAS.

9. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.

10. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.

11. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS, THE ROADWAYS SHALL BE POWER SWEPT IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.

SPECIFICATIONS FOR PRIVATE UTILITIES

BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION. THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATERMAIN SHALL BE WET TAPED WITH A STAINLESS STEEP TAPPING SLEEVE. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUTS CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.

4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.

5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS), MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE PER THE DETAIL ON THE PLANS. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERTA WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS.

6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERTA WYE OR EQUIVALENT. A MINIMUM OF 6' OF COVER IS REQUIRED FOR ALL SANITARY SEWER.

7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS; WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE, PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE), TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS), CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6' COVER IS REQUIRED FOR ALL WATERMAIN. VALVES SHALL BE NONRISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE

8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.

9. TRACER WIRE (NO. 8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END.

10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATERMAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY. 11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

SPECIFICATIONS FOR PAVING

AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1 1/2" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.

SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT.

REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE. A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.

5. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.

DIRECTION_ ` EXPRESS NOTE: ADDITIONAL POST DEPTH OR TIE BACKFILL AND BACKS MAY BE REQUIRED IN UNSTABLE COMPACT TRENCH VITH EXCAVATED SOIL TRENCH DETAIL FABRIC ONLY LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES 1. ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1056 GEOTEXTII F FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE TABLE 1 OR 2, CLASS

4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.

5. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.

6 SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE WHERE APPLICABLE

INLET SPECIFICATIONS AS PER PLAN. DIMENSION LENGTH AND WIDTH TO MATCH USE REBAR OR STEEL ROD FOR REMOVAL FOR INLETS WITH CAST CURB BOX USE WOOD -2"x4", EXTEND 10" BEYOND GRATE WIDTH ON GEOTEXTILE FABRIC, GRATE WITH WIRE OR PLASTIC TIES. TYPE "FF" 4" x 6" OVAL HOLE -SHALL BE HEAT INLET PROTECTION DEVICES SHALL BE MAINTAINED SIDE PANELS OR REPLACED AT THE DIRECTION OF THE ENGINEER. FRONT, BACK, AND MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT FROSION CONTROL PRODUC FROM SINGLE PIECE ACCEPTABILITY LIST MAY BE SUBSTITUTED. OF FABRIC WHEN REMOVING OR MAINTAINING INLET MINIMUM DOUBLE PROTECTION, CARE SHALL BE TAKEN SO THAT THE STITCHED SEAMS SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC ALL AROUND SIDE DOES NOT FALL INTO THE INLET. ANY MATERIAL CES AND ON FLAP LLING INTO THE INLET SHALL BE REMOVED POCKETS. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10 INCHES AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL. 2) FLAP POCKETS SHALL BE LARGE ENOUGH TO <u> INSTALLATION NOTES:</u> ACCEPT WOOD 2 INCH X 4 INCH.

DO NOT INSTALL INLET PROTECTION TYPE "D" IN INLETS SHALLOWER THAN 30 INCHES, MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3 INCHES OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3 INCHES. WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO

ACHIEVE THE 3 INCHES CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4 INCHES FROM THE BOTTOM OF THE BAG. **INLET PROTECTION**

TOP OF BENCH

1. CLEAN UNDERSIDE OF ADJUSTING RING OR CAST IRON FRAME AND SET IN PLACE.

4. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.

STORM SEWER MANHOLE

2. TUCK POINT MORTAR INTO ANNULAR CRACK AND BACKPLASTERED INSIDE AND OUTSIDE OF ALL

3. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT

5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR &

- SIDE BY SIDE

WALLS

2 STRIPS OF 1" F-7-STIK

BETWEEN ALL MANHOLE

R-1660 WITH VENTED LID, UNLESS OTHERWISE

CONCRETE DECK MAY BE SUBSTITUTED FOR CON SECTION FOR SHALLOW

SIDE BY SIDE JOINT (TYP)

STORM SEWERS

STORM SEWER PIPE

NOTES:

12" LONG #4 REBAR 4' O.C. WHERE FUTURE WALK WILL ABUT CURB

MINIMUM 5" COMPACTED

BASE COARSE UNDER CURB

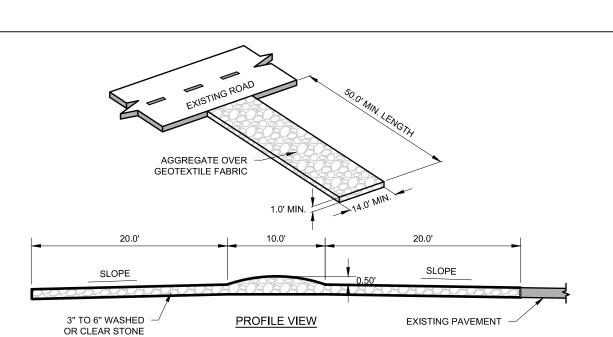
12" LONG #4 REBAR 4' O.C. WHERE FUTURE WALK WILL ABUT CURB

MINIMUM 5" COMPACTED

BASE COARSE UNDER CURB

THE USE OF A FLAT TAPERED TOP.

NOTED ON THE PLANS



1. ALL TRACKING PAD MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1057.

TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE. CONTRACTOR SHALL VERIFY LOCATION THE AGGREGATE FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIALS TO BE RETAINED ON

THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12-INCHES THICK. ON SITES WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PAD, THE PAD SHALL BE UNDERLAIN WITH GEOTEXTILE FABRIC WHICH MEETS MATERIAL SPECIFICATION 592 GEOTEXTILE, TABLE 1 OR 2, CLASS I, II OR IV, TO PREVENT MIGRATION OF UNDERLYING SOILS INTO THE

5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. MINIMUM WIDTH IS 14 FEET FOR ONE-WAY TRAFFIC AND 20 FEET FOR TWO-WAY TRAFFIC, WITH AN ADDITIONAL INCREASE OF 4 FEET FOR TRAILER TRAFFIC. THE TRACKING PAD SHALL BE A MINIMUM 50-FEET LONG ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, AT

THE END OF EACH WORKING DAY TRACKING PADS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24-HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5-INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.

CONSTRUCTION ENTRANCE

3.0'

. EASY STICK, RUBBER GASKET OR APPROVED EQUIVALENT SHALL BE PLACED AT ALL JOINTS

2' x 3' CATCH BASIN

2. THE FLAT TOP MAY BE USED IN LIEU OF THE TAPERED TOP WHEN FIELD CONDITIONS PROHIBIT USE

5" PRECAST

CONC. WALLS

OF A TAPERED TOP.

REINF'D CONCRETE FOUNDATION

W/ #5 RE-BAR @ 12" EA. WAY

12" LONG #4 REBAR 4' O.C. WHERE FUTURE WALK WILL ABUT CURB

MINIMUM 4" COMPACTED

BASE COARSE UNDER CURB

12" LONG #4 REBAR 4' O.C. WHERE FUTURE WALK WILL ABUT CURB

BASE COARSE UNDER CURB

8. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.

NEENAH FOUNDRY R-1878-B7G GRATE. FOR NON-CURB CATCH BASINS

NEENAH FOUNDRY R-3067 CURB INLET

BASINS. USE TYPE L GRATE AT RIVEWAY LOCATIONS.

WITH TYPE V GRATE, FOR CURB CATCH

SEE PLAN FOR SEWER

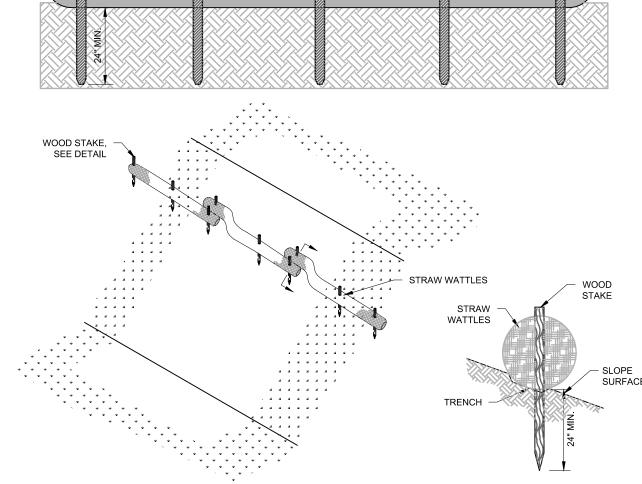
SIZE AND INVERT ELEV.

PAVING SURFACE (TYP

PAVING SURFACE (TYP

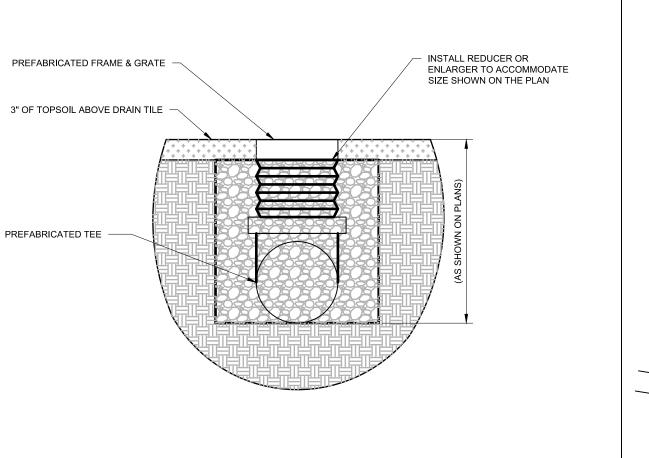
- CONCRETE CURB

CONCRETE CURB

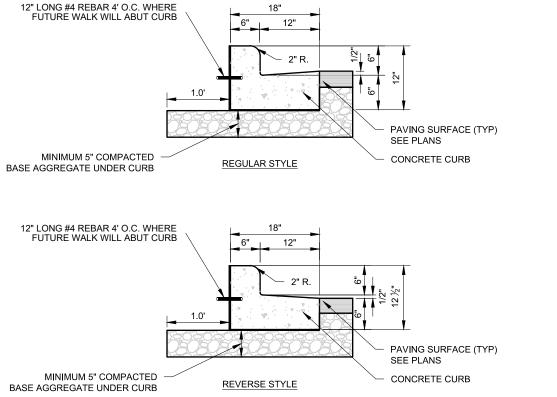


OF END OF WATTLI

12" WOOD STAK



WISDOT NO. 1 GRADATION WASHED STONE SURROUNDED ON ALL SIDES WITH TYPE SAS FILTER FABRIC

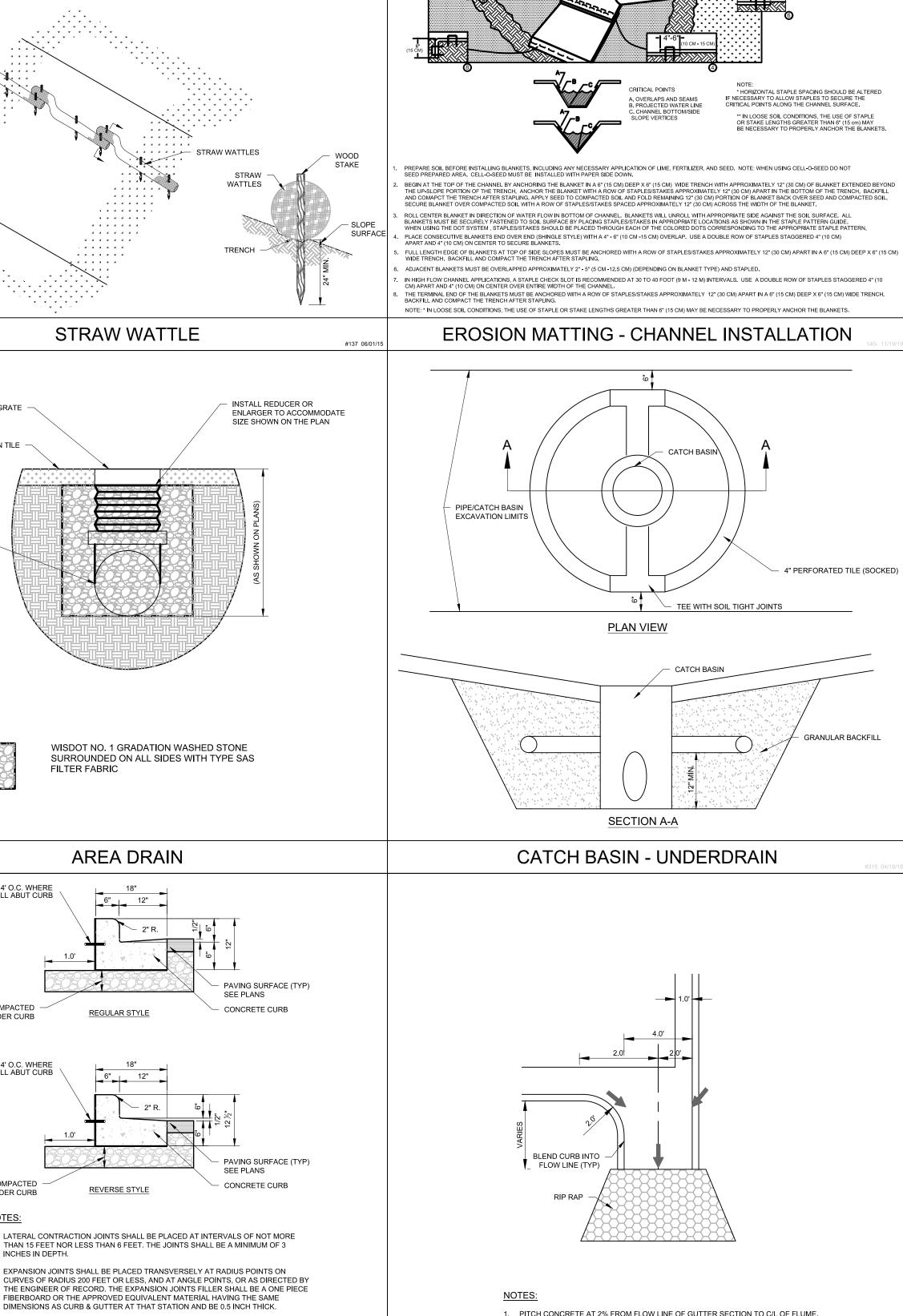


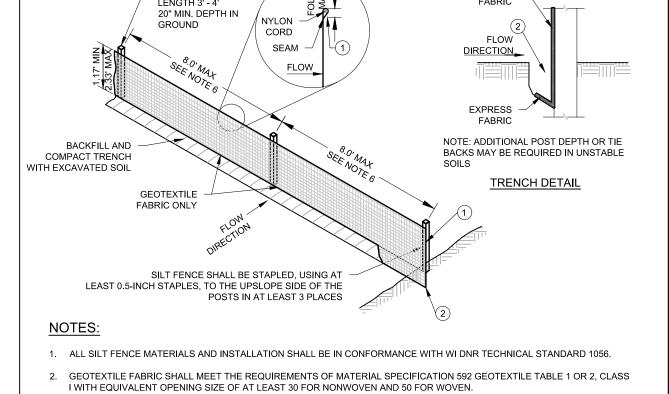
1 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 2. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON

THE ENGINEER OF RECORD. THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK. 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

NOTES: 1. PITCH CONCRETE AT 2% FROM FLOW LINE OF GUTTER SECTION TO C/L OF FLUME.

2. 6" RIVER JACKS TO BE USED FOR RIP RAP EXTENDING FROM FLUME END TO SWALE BOTTOM





. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A

4. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.

7. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN AND 3-FEET FOR NON-WOVEN).

SILT FENCE

BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTÉD SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATEL' 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON

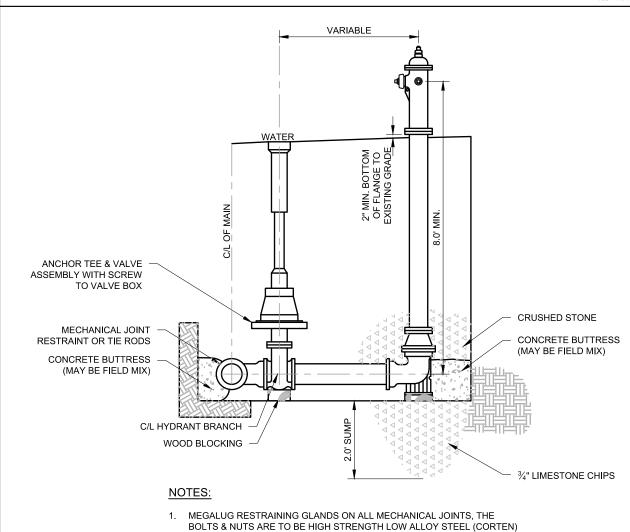
PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

PROPERLY SECURE THE BLANKETS **EROSION MATTING - SLOPE INSTALLATION**

CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3"

(7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO



AS PER SECTION 11.6.5 OF A.W.W.A. C-111 2. THE FOLLOWING HYDRANTS SHALL BE ALLOWED:

FIRE HYDRANT

MUELLER SUPER CENTURION 250 3-WAY FIRE HYDRANT U.S. PIPE METROPOLITAN / M-94 DUCTILE IRON FIRE HYDRANT WATEROUS 51/4" PACER FIRE HYDRANT

1 I ATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD, THE

4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

24" DEPRESSED CURB

REVERSE STYLE

EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALEN MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK. 3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED 5. 24" CURB TO BE USED WITHIN RIGHT OF WAY

PAVING SURFACE (TYP

CONCRETE CURB

CONCRETE CURB

1. LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15 FEET NOR LESS THAN 6 FEET. THE JOINTS SHALL BE A MINIMUM OF 3 INCHES IN DEPTH EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200 FEET OR LESS. AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER OF RECORD, THE EXPANSION JOINTS FILLER SHALL BE A ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 0.5 INCH THICK.

REVERSE STYLI

3. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED 4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS. 5. 24" CURB TO BE USED WITHIN RIGHT OF WAY

24" VERTICAL FACE CURB

18" VERTICAL FACE CURB

4. REVERSE STYLE CURB LOCATIONS ARE NOTED ON THE PLANS.

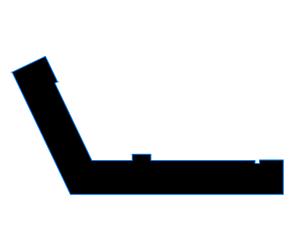
CONCRETE FLUME

HANDEL GROU

Developer/Owner:

WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD BROOKFIELD, WI 53005 (262) 754-8888 CHICAGO I MILWAUKEE : NATIONWIDE www.pinnacle-engr.com PLAN I DESIGN I DELIVER

6700 W. National Avenue West Allis, WI 53214 Key Plan:



TRUE NORTH

AND SPECIFICATIONS

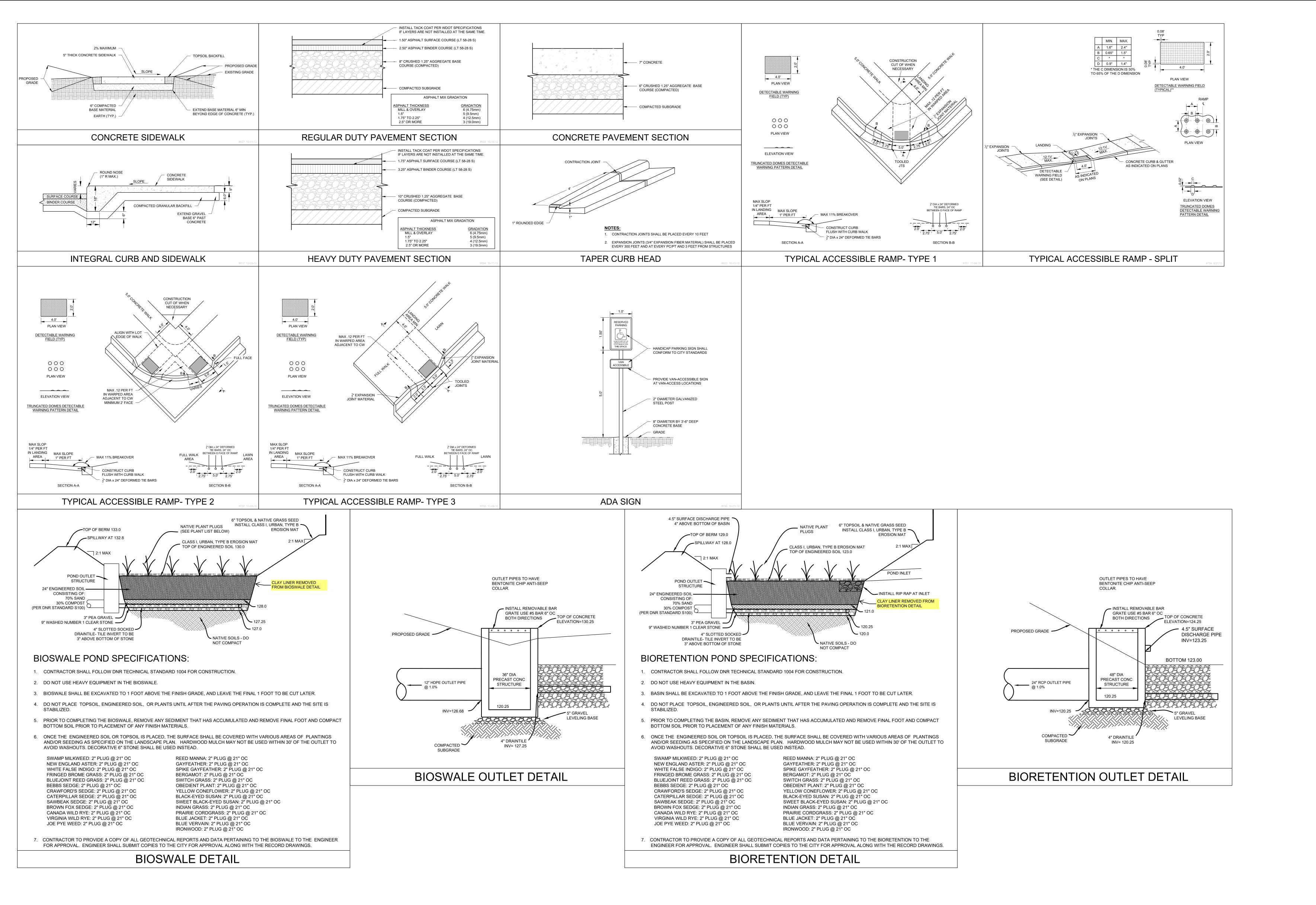
100% CONSTRUCTION

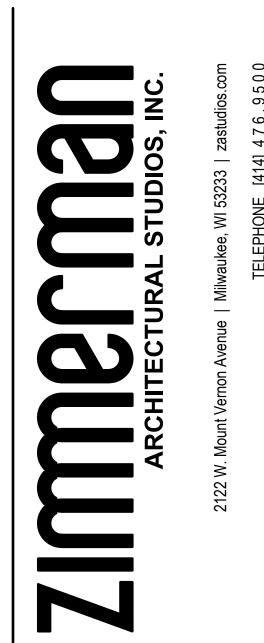
DOCUMENTS Scale:

Revisions: No: Date: Description: 10/01/2021 CHANGES PER CITY COMMENTS ▲ 11/11/2021 CONSTRUCTION BULLETIN #1

10/15/2021 Project No:

200054.00 Sheet No:





Developer/Owner:

◆ MANDEL GROU

Consultant:

PINNACLE ENGINEERING GROUP
ENGINEERING I NATURAL RESOURCES I SURVEYING

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CHICAGO I MILWAUKEE: NATIONWIDE
www.pinnacle-engr.com
PLAN I DESIGN I DELIVER

Project:

SoNa Apartments

Location: 6700 W. National Avenue West Allis, WI 53214

Key Plan:



TRUE NORTH

CONSTRUCTION DETAILS
AND SPECIFICATIONS

Phase: 100% CONSTRUCTION

DOCUMENTS

Scale:

Revisions:

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10/01/2021 CHANGES PER CITY COMMENTS
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Sheet No:

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