



# City of West Allis

## Meeting Agenda

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

---

Wednesday, April 22, 2026

6:00 PM

City Hall, Room 128  
7525 W. Greenfield Ave.

---

#### REGULAR MEETING

#### A. CALL TO ORDER

#### B. ROLL CALL

#### C. APPROVAL OF MINUTES

1. [26-0219](#) March 25, 2026 (draft minutes)

**Attachments:** [March 25, 2026 \(draft minutes\)](#)

#### D. NEW AND PREVIOUS MATTERS

2. [26-0214](#) Site, Landscaping, and Architectural Design Review for Madam Chino, an existing Instruction/Training (30 or fewer persons at one time) use, at 6301 W. Lincoln Ave. (Tax Key No. 490-0112-000)

**Attachments:** [SLA- Madam Chino Fence -6301 W Lincoln Ave](#)

3. [26-0215](#) Site, Landscaping, and Architectural Amendment for Epikos Church, an existing religious institution, at 6229 W. Greenfield Ave. (Tax Key No. 454-0001-000)

**Attachments:** [SLA - Epikos Fence -6229 W Greenfield Ave.](#)

- 4A. [26-0220](#) Conditional Use Permit for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St.

- 4B. [26-0216](#) Site, Landscaping, and Architectural Design Review for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St. (Tax Key No. 455-0031-001)

**Attachments:** [\(CUP-SLA\) El Toro - 5632 W Burnham St](#)

- 5A. [26-0217](#) Conditional Use Permit for The Tennyson, a proposed Event Space (5,000 or more sq. ft.) use, at 6601 W. National Ave.

- 5B. [26-0218](#) Site, Landscaping, and Architectural Design Review for The Tennyson, a proposed Event Space (5,000 or more sq. ft.) use, at 6601 W. National Ave. (Tax Key No. 454-9005-000)

**Attachments:** [\(CUP-SLA\) Tennyson-combined - 6601 W Nat'l Ave](#)

6. [26-0221](#) Project Tracking

**E. ADJOURNMENT**



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

**NOTICE OF POSSIBLE QUORUM**

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**NON-DISCRIMINATION STATEMENT**

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

**AMERICANS WITH DISABILITIES ACT NOTICE**

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

**LIMITED ENGLISH PROFICIENCY STATEMENT**

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



# City of West Allis

## Meeting Minutes

### Plan Commission

7525 W. Greenfield Ave.  
West Allis, WI 53214

---

Wednesday, March 25, 2026

6:00 PM

City Hall, Art Gallery  
7525 W. Greenfield Ave.

---

#### REGULAR MEETING (draft minutes)

#### A. CALL TO ORDER

*Wayne Clark chaired the meeting.*

#### B. ROLL CALL

- Present** 6 - Wayne Clark, Brian Frank, Jessica Katzenmeyer, Brandon Reinke, Lisa Coons, Kathleen Dagenhardt  
**Excused** 3 - Eric Torkelson, Dan Devine, David Raschka

#### Staff

Jack Kovnesky, Planner  
Emily Wagner, Planner

#### Others Attending

Tawan Bowling; Family One Childcare  
Brian Cieslak, Carrie Cieslak, Adrian Brill, Dave "Koz" Koscielniak; Carrie's Crispies  
Scott Boese; Bauer Sign/U-Haul  
Michael Lange; Fourth-N-Long

#### C. APPROVAL OF MINUTES

1. [26-0160](#) February 25, 2026 (draft minutes)

**Attachments:** [February 25, 2026 \(draft minutes\)](#)

Frank moved to approve this matter, Katzenmeyer seconded, motion carried..

#### D. NEW AND PREVIOUS MATTERS

- 2A. [26-0151](#) Conditional Use Permit for Family One Venture, a proposed Group Child Care Center use, at 5408 W. Electric Ave.

*Items 2A & 2B were taken together.*

*Jack Kovnesky presented.*

Dagenhardt moved to approve this matter, Frank seconded, motion carried.

- 2B. [26-0152](#) Site, Landscaping, and Architectural Design Review for Family One Venture, a proposed Group Child Care Center use, at 5408 W. Electric Ave. (Tax Key No. 474-0513-005)

**Attachments:** [\(CUP-SLA\) Family One Venture -5408 W. Electric Ave.](#)

Items 2A & 2B were taken together.

Jack Kovnesky presented.

*Recommendation: Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for Family One Venture, a proposed Group Child Care Center use, at 5408 W. Electric Avenue. (Tax Key No. 474-0513-005) subject to the following conditions:*

1. *Common Council approval of the Conditional Use Permit (Scheduled for April 10, 2026)*
2. *A revised site, landscaping, and architectural plan being submitted to show the following: A revised site, landscaping, and architectural plan being submitted for staff review and approval, showing the following: A) The site plan should replace the word "alley" for what is shown on the site plan as an east-west alley just north of the subject property (between S. 54 St. and a north south alleyway). The site plan should indicate "vacated alley - private property" as this is now considered private property and not a public right-of-way. B) A revised drop-off and pick-up plan, including number of spaces, circulation, and maneuvering, or consideration of relocation to W. Electric Avenue. C) Protective measures between the drop-off area and outdoor play area (e.g., bollards, reinforced fencing, or similar). D) Details of the outdoor play area, including fencing, surfacing, and equipment. E) Landscaping elements to soften the site, where feasible specifically along W. Electric Ave. and around the play area. F) Refuse screening and enclosure details including material G) Identification and resolution of the storm sewer catch basin within the play area. H) Location and status of roof drains, including any proposed relocation and verification of underground connections, I) Exterior repainting of wall surfaces along the alley (west elevation).*
3. *Building permits being completed with the Code Enforcement Department.*
4. *Scope of work being indicated on signage and lighting. A signage permit will be required with the Planning & Zoning Department.*

*Any alterations or concrete work done in the City Right of Way will require a [Permit <https://westalliswi.viewpointcloud.com/categories/1084/record-types/6456>](https://westalliswi.viewpointcloud.com/categories/1084/record-types/6456) from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.*

**Dagenhardt moved to approve this matter, Frank seconded, motion carried.**

3. [26-0153](#) Site, Landscaping, and Architectural Design review for Carrie's Crispies, a proposed Food Production (limited) use, at 8801 W. National Ave. (Tax Key No. 478-0078-001)

**Attachments:** [\(SLA\) Carrie's Crispies - 8801 W. National Ave.](#)

Emily Wagner presented.

Koz spoke to some minor revisions to the plans.

Removal of stairs, signage subject to Plan Commission review, patio and outdoor seating not desired due to business model.

*Recommendation: Approval of Site, Landscaping, and Architectural Design review for Carrie's Crispies, a proposed Food Production (limited) use, at 8801 W. National Ave. (Tax Key No. 478-0078-001) subject to the following conditions:*

1. *A revised site plan being submitted that includes A) A compliant ADA-accessible parking stall with access aisle and striping; B) Bicycle parking location; C) A fence or comparable screening installed along the southern property line, subject to staff approval D) The applicant is encouraged to explore patio or outdoor seating on site.*
2. *Submittal of [building permits](https://westalliswi.portal.opengov.com/categories/1084/record-types/6655) [and plan review](https://westalliswi.portal.opengov.com/categories/1084/record-types/6655) [subject to Code Enforcement review](https://westalliswi.portal.opengov.com/categories/1084/record-types/6651)*
3. *A detailed landscaping plan being submitted, including plantings along National Avenue, the east property line near the entry, and at the base of the sign subject to review and approval by the City Forester.*
4. *An architectural plan indicating street-facing windows transparency of street facing windows and removal or minimization of window coverings, subject to staff review.*
5. *All signage shall comply with code and require separate permits **with additional review before Plan Commission for any painted signage or coverage of the windows that exceeds 20% of the window face.***
6. *Any concrete work done in the City Right of Way will require a [Permit](https://westalliswi.viewpointcloud.com/categories/1084/record-types/6456) from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.*

**Ald. Frank moved to approve this matter, Ald. Dagenhardt seconded, motion carried.**

4. [26-0154](#) Sign Plan for U-Haul, an existing Light Industrial Use, at 800 S. 108th St. (Tax Key No. 444-9995-002)

**Attachments:** [\(SIGN\) U Haul - 800 S 108 St.](#)

*Emily Wagner presented.*

*Recommendation: Approve with no additional conditions.*

**Katzenmeyer moved to approve this matter, Frank seconded, motion carried.**

5. [26-0155](#) Sign Plan for Archie's Flat Top, an existing Restaurant use, at 6922 W. Becher St. (Tax Key No. 476-0086-000)

**Attachments:** [\(SIGN\) Archies - 6922 W. Becher St.](#)

*Emily Wagner presented.*

*Recommendation: Recommend approval of the Sign Plan for Archie's Flat Top, an existing Restaurant use, at 6922 W. Becher St (Tax Key No. 476-0086-000)*

**Katzenmeyer moved to approve this matter, Frank seconded, motion carried.**

8. [26-0158](#) Site, Landscaping, and Architectural Design Review for Fourth and Long, an existing tavern with outdoor dining, at 8911 W. National Ave. (Tax Key No. 478-0085-000)

**Attachments:** [\(SLA\) Fourth N Long - 8911 W National Ave.](#)

Jack Kovnesky presented.

The applicant presented updated information, none of which were external changes that would affect the Site, Landscaping and Architectural Design Plans being reviewed in this meeting. Interior changes would need to be subject to Code Enforcement review.

Recommendation: Approval of Site, Landscaping, and Architectural Design Review for Fourth and Long, an existing tavern with outdoor dining, at 8911 W. National Ave. (Tax Key No. 478-0085-000) subject to the following conditions:

1. Submittal of: [building permits](#)  
<<https://westalliswi.portal.opengov.com/categories/1084/record-types/6655>>  
and  
[plan review](#) <<https://westalliswi.portal.opengov.com/categories/1084/record-types/6651>>  
subject to Code Enforcement review.
2. A revised site and architectural plan being submitted that includes a) bicycle parking location b) details on the proposed exterior materials of the building addition, c) bollards placement should be considered along the east side of the new addition given proximity to off-street parking.
3. Any concrete work done in the City Right of Way will require a [Permit](#)  
<<https://westalliswi.viewpointcloud.com/categories/1084/record-types/6456>> from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.
4. An exterior signage and lighting plan being submitted as part of the sign permit process.

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

6. [26-0156](#) Site, Landscaping, and Architectural Design review for The Picklr, an existing Instruction/Training (31 or more persons at one time) use, at 2550 S. 108th St. (Tax Key Parcel: 485-9990-016).

**Attachments:** [\(SLA\) Picklr - 2550 S 108th St](#)

Jack Kovnesky presented.

Recommendation: Approve the Site, Landscaping, and Architectural plans for The Picklr, a proposed Instruction/Training (31 or more persons at one time) use, at 2550 S. 108th St. (Tax Key Parcel: 485-9990-016) subject the following.

1. A revised Site, Landscaping, Architectural Plan being submitted to Planning & Zoning to note and pavement repairs on site, and also identify bicycle parking in accordance with Chapter 19.44 of the Zoning Code.
2. Approval of the landscaping plan by the City Forester.

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

- 7. [26-0157](#) Tax Incremental District project area 22 (Sona Lofts Phase II) alignment with the 2045 Comprehensive Land Use Plan, and Redevelopment vision for the city.

**Attachments:** [\(FLU\) TID 22](#)

*Jack Kovnesky presented.*

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

- 9. [26-0159](#) Project Tracking.

*Jack Kovnesky & Emily Wagner presented.*

**This matter was Discussed.**

**E. ADJOURNMENT**

*There being no other business, a motion was made by Dagenhardt, seconded by Frank to adjourn at 7:06 p.m.*



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

**NON-DISCRIMINATION STATEMENT**

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

**AMERICANS WITH DISABILITIES ACT NOTICE**

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

**LIMITED ENGLISH PROFICIENCY STATEMENT**

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
 Wednesday, April 22nd, 2026  
 City Hall, Room 128  
 6:00 PM

**2. Site, Landscaping, and Architectural Design Review for Madam Chino, an existing Instruction/Training (30 or fewer people at one time) use, at 6301 W. Lincoln Ave. (Tax Key No. 490-0112-000)**

**Project Overview**



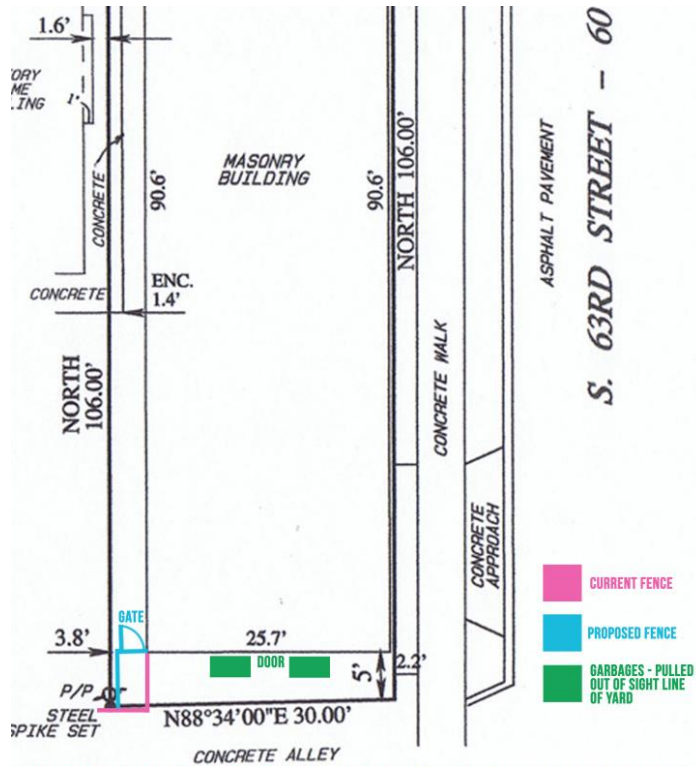
Vanessa Andrews operates an existing instruction/training facility for her business, Madame Chino, located at 6301 W. Lincoln Ave. The property is zoned C-2, with the Instruction/Training of 30 or fewer persons at one time considered a permitted use.

Hours of operation for the existing business are as follows: Monday through Sunday, 10 am – 10 pm by appointment

The applicant is proposing some fence alterations to their site to enhance the appearance of the SW corner of their lot. The fence will be installed on site and along the property line shared with the neighboring residential property. The existing fence is chain link and was installed with a permit over 10 years ago. The existing chain link fences south segment straddles both property's lot lines. The applicant/Vanessa seeks to remedy this situation through a change in fencing type and a minor alteration to its location in order to ensure that the entirety of the fence is contained within her lot's property lines.

The new proposed fencing will correct the non-compliant factors associated with the existing fence. The existing fence extends 6 ft to the southern lot line and 5 ft 7 inches to the western lot line, crossing into the neighboring property. The non-compliant fence is also constructed of chain link materials.

To correct this non-compliance, the applicant will amend the fence location to extend 3 ft to the west and 6 ft to the southern property line. The new fence will be entirely contained within the applicant's



**FENCE POSTS 6" OFF LOT LINE PER RADIUS FOR 12" DIAMETER CEMENT FOOTINGS**

the rear of the building to allow for moveable planters to be located in the newly cleaned up lawn area.

property and will feature a swing gate. The applicant's stated intention for the portion of fencing that extends into her neighbor's property is to remove and replace that portion of chain link with an upgraded wooden fence as a gesture to her neighbor. This would also match the materials proposed for the new fence, which will be a 6 ft cedar solid universal fence. The new gate for the fence will be a 6 ft montage steel gate to match the building's frontage rail. Overall the new proposed fencing will correct the non-compliant features of the existing fencing, improve lot line delineation between the neighbors, screen the neighbor's garbage and recycling bins, and offer improved access to landscaping and building maintenance without trespassing on the neighboring property. Additionally, this plan intends to improve the small lawn space abutting the alley, clean up debris area surrounding the property line, and relocate the refuse containers for Madame Chino the

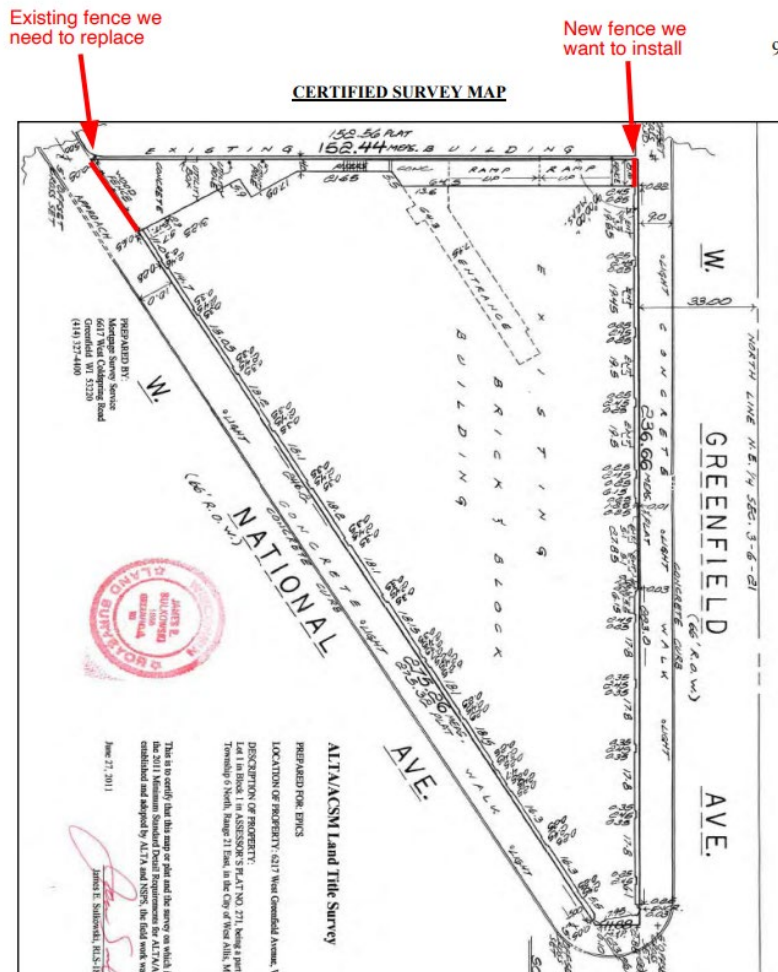
**Recommendation:** Approval of Site, Landscaping, and Architectural Design Review for Madam Chino, an existing Instruction/Training (30 or fewer people at one time) use, at 6301 W. Lincoln Ave. (Tax Key No. 490-0112-000). If additional fencing is proposed along the west property line, it should be submitted for review and approval.



**STAFF REPORT  
WEST ALLIS PLAN COMMISSION  
Wednesday, April 22nd, 2026  
City Hall, Room 128  
6:00 PM**

**3. Site, Landscaping, and Architectural Design Review Amendment for Epikos Church, an existing religious institution, at 6229 W. Greenfield Ave. (Tax Key No. 454-0001-000)**

**Project Overview**



Epikos Church has operated at [6229 W. Greenfield Ave.](#) since 2012, when it established its congregation in the former Paradise Theater. The church serves as a community institution providing weekly services, pastoral care, and ongoing programming for its congregation. Hours of operation for Epikos Church are as follows:

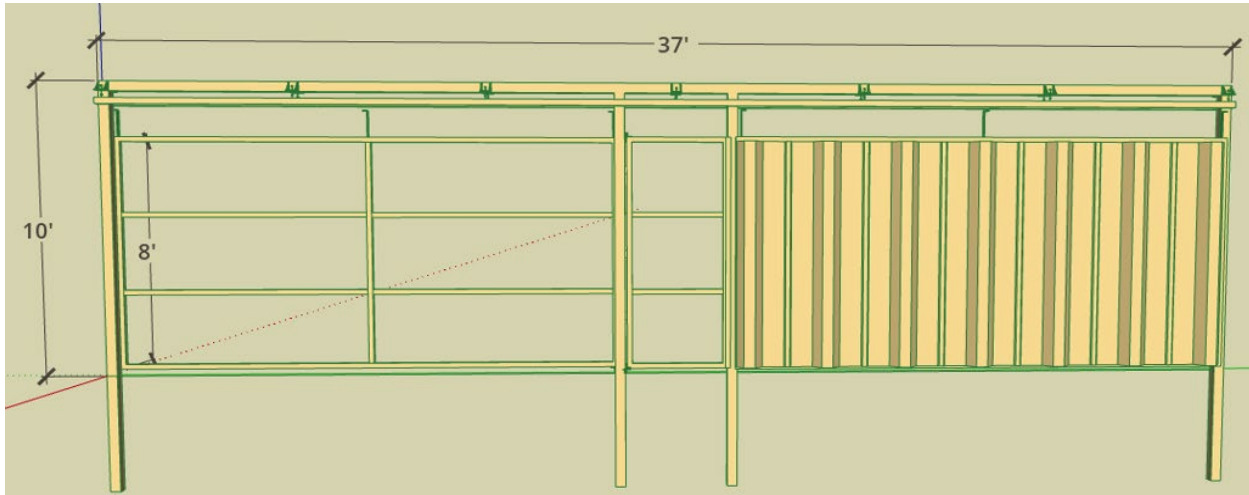
Sunday Worship: 9 am – 12:30 pm  
Office and Weekday Activities, Mon. – Thurs., 8 am – 5 pm

Waige Fischer, on behalf of Epikos, has applied for the replacement of a fence along W. National Ave. and the construction of a new fence along W. Greenfield Ave. This would effectively close off a small, privately owned alleyway that bisects the property from National Ave. to Greenfield Ave. The project descriptions are as follows:

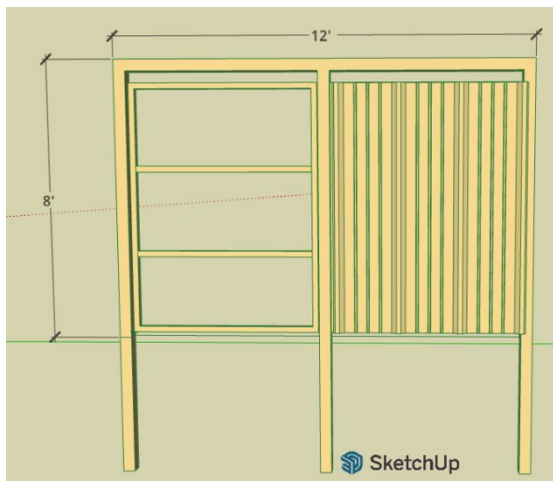
**National Avenue – Storm Damage Replacement**

There has been an existing fence along the National Avenue side of the property that was destroyed during a storm when high winds caused its collapse. The fence served as a primary vehicle access point for the rear alleyway that runs behind the church portion of the building. The loss of this fence has left the property without a functional barrier at this access point, exposing the site to unauthorized entry, vandalism, and ongoing safety concerns for the church.

The fence at this location will be constructed of wood and will be 10 ft high. It will extend the entirety of 37 ft to fully secure this portion of the alleyway.



### **Greenfield Avenue – New Installation**



The alleyway behind the church is accessible from both National Ave. and Greenfield Ave., prompting a sustained pattern of criminal activity and public safety incidents in this space, including multiple break in's to the church's on-site shed, stolen equipment, and impromptu encampments in the alleyway. These incidents represent a direct threat to the safety and wellbeing of the church, prompting the request to enclose both ends of the alleyway in order to secure the space, eliminate unauthorized access, and prevent further incidents.

The fence at this location will be constructed of wood and will be 8 ft high. It will extend the entirety of 12 ft to fully secure this portion of the alleyway.

Note about the Greenfield Fence: Code Enforcement has prompted the Planning Team and Epikos project team to look further into the emergency egress ramp that extends from the building to Greenfield Ave. There must be a 4 ft flat landing area in the alleyway between the buildings prior to where the fence will be installed. Epikos will verify that there is an acceptable 48" flat landing in this area to meet the code. An additional concern was raised regarding how this project will ensure that ADA-compliant egress will be provided to Greenfield Ave. One potential solution proposed by Epikos would be to install a panic bar on this door, allowing individuals to exit directly onto the public ROW from the alleyway's interior in an emergency situation. These plans will be discussed in further detail with the Code Enforcement department to ensure that this egress is maintained with the new fence project.

**Recommendation:** Approval of Site, Landscaping, and Architectural Design Review for Epikos Church, an existing religious institution, at 6229 W. Greenfield Ave. (Tax Key No. 454-0001-000) subject to the following conditions:

1. Confirmation of the ramp landing area to equal 60 inches minimum prior to where the Greenfield fence will be installed.
2. Code Enforcement approval of the Greenfield fence's panic bar plans and installation to allow for code-compliant egress to the public ROW.



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
Wednesday, April 22, 2026  
6:00 PM, Room 128

- 4A. **Conditional Use Permit for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St.**
  
- 4B. **Site, Landscaping, and Architectural Design Review for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St. (Tax Key No. 455-0031-001)**

**Overview and Zoning**

[Taqueria El Toro](#) currently operates numerous locations in the Milwaukee area. Notably, they have an existing location at 8322 W. Lincoln Ave. in West Allis. They also operate the recently approved Toros Sports Complex at 6014 W. Madison St. This proposal at 5632 W. Burnham St. is for a traditional sit-down restaurant that also includes a bar.

The proposed restaurant is to be located in the vacant Fifty Seven Bar. As it exists, an apartment is located on the northern portion of the building. The entirety of the building is proposed to be a restaurant. A total of 5 employees are expected to be on-site. Additionally, site modifications are proposed to support the business. Construction is proposed to take 4-6 months to complete, beginning in May 2026 and completing in November 2026. The property is zoned C-2. A conditional use is required for restaurant uses in the C-2 zoning district.

Hours of Operation are as follows

- Monday – Friday: 10:00 a.m. – 12:00 a.m.
- Saturday: 10:00 a.m. – 1:00 a.m.
- Sunday: 10:00 a.m. – 12:00 a.m.

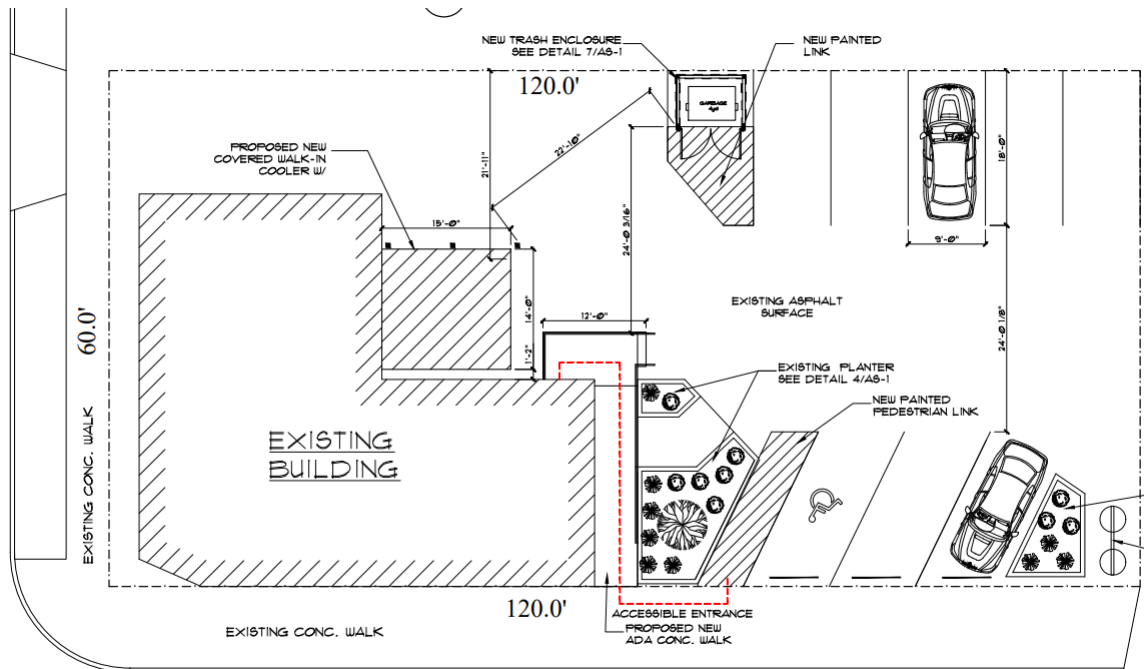


## Site & Landscaping Plan

The site plan submitted by the applicant shows various modifications including an ADA compliant concrete walk and stairs on the east side of the building, a new exterior walk in cooler addition, and a trash enclosure. Site access is located off of a public alley leading to Burnham St. Additionally, there is an entrance off of S. 57<sup>th</sup> St. A total of 8 parking stalls are proposed on-site. The maximum number of stalls for a building of this size is 12 stalls. One ADA stall is shown. No bicycle parking is shown on the site plan. At least 1 bicycle parking space will be required. If any areas are to be used for the parking of food trucks, a revised site plan will need to be submitted to show the location of any food trucks. Additionally, food trucks will need to receive proper licensing if included on-site.

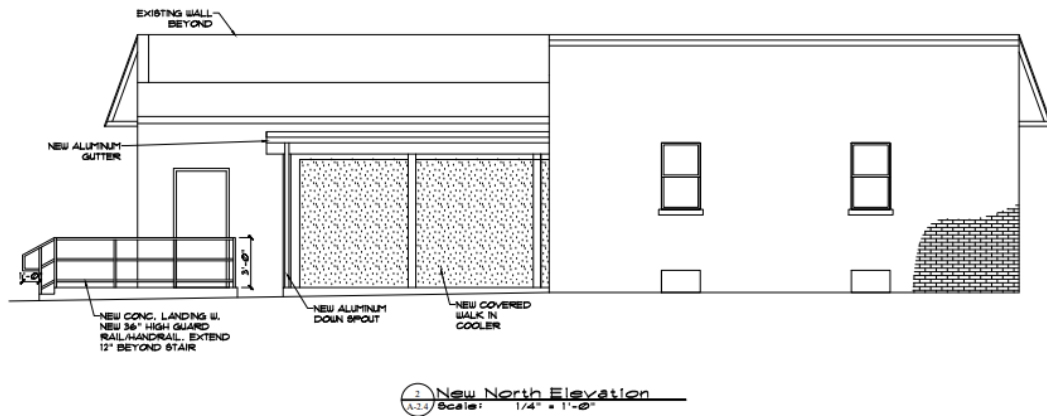
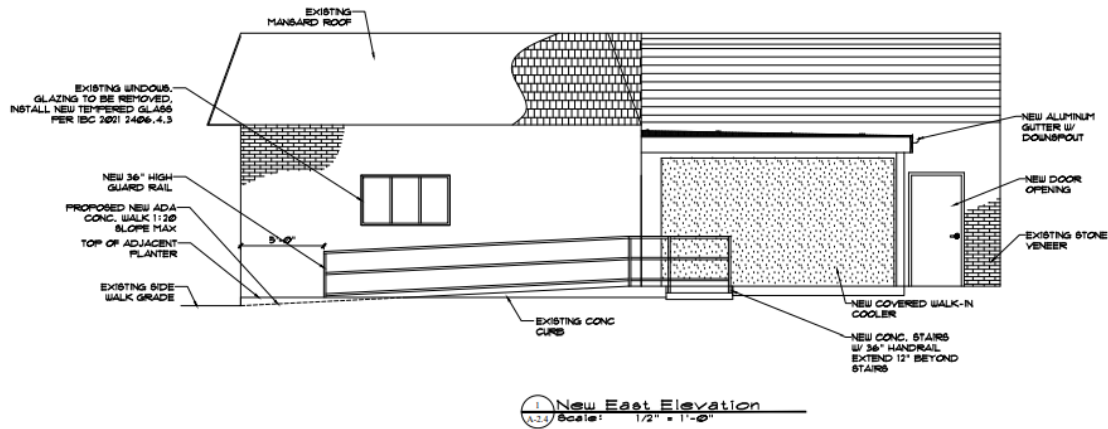
Shown on site is a new ADA concrete walk connecting to the public sidewalk along Burnham St. Landscaping is existing on-site. Upon inspection, the quality of the landscaping appeared mostly satisfactory. However, a few touch ups to the landscaping such as trimming should occur.

The existing building remains largely the same. However, towards the rear of the building a new exterior walk in cooler is proposed. Staff have concerns with the walk in cooler's proximity to vehicles. Protection measures such as bollards are recommended by staff to ensure the walk in cooler is protected. A cedar wood trash refuse area is also proposed on site. There is a residential property adjacent to the business. In efforts to reduce any potential nuisance, staff is recommending fencing along the northern lot line to buffer the residence from the restaurant use. An opaque material like cedar wood is preferred.



## Architectural Plan

The existing building materials are not proposed to change. Staff will seek confirmation if any exterior lighting or exterior painting is planned as that should be indicated on plan for approval. The addition of the exterior walk-in cooler will present new exterior addition/materials. On the elevations submitted by the applicant, details were not given on the exterior materials of the walk-in cooler. Staff is requiring high quality material that complements the existing building.



## Floor Plan

Access to the interior for patrons is provided off of the southwest corner of the building and towards the rear of the building's east side. Within the customer area is a large open area for seating. Additionally, a counter bar is shown. Two bathrooms are shown in this area as well. Proposed for the building is the removal of the existing apartment on the northern portion of the building. This area is to be



(Items 1-4 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for May 5, 2026)
2. A revised site, landscaping, & architectural plan being submitted to show (a) an outdoor bicycle rack in accordance with [WAMC 19.44](#) (b) details being shown on plan to include bollards or other protection measures for the exterior walk-in cooler (c) location of food trucks being shown on-site (if planned) (d) new decorative (wood or composite) double sided fencing being installed on the northern lot line to allow for buffer from the adjacent residence (e) details on the maintenance of landscaping on-site (new/replacement landscaping species list) (f) details being given on the exterior materials for the exterior walk-in cooler (g) confirmation if any exterior lighting or exterior painting is planned as that should be indicated on plan for approval.
3. Scope of work being indicated on signage and lighting. A signage permit will be required with the Planning & Zoning Department.
4. Any concrete work done in the City Right of Way will require a [Permit](#) from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.



**Record No:  
PLAN-26-20**

Planning Application

Status: Active

Submitted On: 3/20/2026

**Primary Location**

5632 W BURNHAM ST  
West Allis, WI 53219

**Owner**

El Toro Properties, LLC  
1640 S 56th St West Allis,  
WI, 53214

**Applicant**

Raul Arteaga  
 347-833-9762  
 raul@aurumarchitectura.com  
 1219 W National Ave  
milwaukee, WI 53221

---

## PLANNING & ZONING APPLICATION

**Contact the Planning & Zoning Department with any questions. Thank you.**

**[planning@westalliswi.gov](mailto:planning@westalliswi.gov)**

---

## PLAN COMMISSION APPLICATION REQUIREMENTS

In order to be placed on the Plan Commission agenda, Planning & Zoning **MUST** receive the following by the last Friday of the month, prior to the month of the Plan Commission meeting:

- Completed OpenGov application
  - Application Fees
  - Project Description
  - Set of plans attached to this application
- 

## TYPE OF APPLICANT

Type of Applicant\*

I represent the property owner

---

# APPLICATION TYPES

Choose which process you are applying for. \*

Conditional Use

**Conditional Uses require a public hearing. Other requirements include site, landscaping and architectural plan review.**

**Choose from the dropdown the total value of your project.**

Conditional Use - Site, Landscaping, Architectural Design Review \*

Site, Landscaping, Architectural Design Review\* 

Level 2: Project Cost \$5,000+ (Fee \$525)

Level 2: Project Cost \$5,000+ (Fee \$525)

Business/Project Name\*

Will you be selling alcohol?\*

El Toro Restaurant

Yes

Will you be selling or serving food?\*

Yes

***Selling alcohol in the City of West Allis requires a license. Apply for an Alcohol Beverage Retail License through the City's online application:***

Alcohol Beverage Retail License application

***Breweries are licensed by the Wisconsin Department of Revenue and do not require a local license. Please click on the link below to go to their website for more information.***

WI DOR Breweries Fact Sheet

***Selling food in the City of West Allis requires a license. Apply for a Food License through the City's online application:***

Food License application

**Will the existing use of the building change?\***

Yes

**Describe the change of use of the building:\***

Existing Use: The building was previously a tavern on the south side and a residential apartment on the north side.

Proposed Use: The entire first floor will be converted into a dine-in restaurant.

1. The north side will house the new kitchen.
2. The south side will be the dining area.

**Are new buildings/and or structures being constructed as part of this project?\***

Yes

---

## Notice Regarding Building Permits and Plan Reviews

**Have you reached out to the Code Enforcement Department?\***

Yes, I have already reached out to the Code Enforcement Department.

## **Project Description/Plan of Operation**

**Date:** March 20, 2026

**Project:** El Toro Restaurant

**Location:** 5632 W Burnham St. West Allis WI 53219

**Owner:** Toribio Perez Martinez

### **Description of Building Improvements**

**Existing Use:** The building was previously a tavern on the south side and a residential apartment on the north side.

**Proposed Use:** The entire first floor will be converted into a dine-in restaurant.

- The north side will house the new kitchen.
- The south side will be the dining area.

### **Exterior Alteration**

- ADA Compliant Concrete Walk and Stairs on the east side of the building.
- Covered Walk-in Cooler Addition.
- New Shrubs in the existing parking lot planters.
- New Trash Enclosure.

### **Interior Alterations**

- New Kitchen, Prep Area, and Dishwashing Area.
- New Bar Area. Two New ADA Bathrooms.
- New Interior Finishes throughout the building.
- New Electrical, HVAC, and Plumbing Systems.

### **Plan Of operation**

#### **Hours of Operation:**

- Monday to Friday: 10:00 a.m. to Midnight
- Saturday: 10:00 a.m. to 1:00 a.m.
- Sunday: 10:00 a.m. to Midnight

#### **Loading/Unloading:**

All deliveries will take place via the rear parking lot, using the north driveway.

#### **Staffing:**

The restaurant expects to have 5 employees on site.

#### **Parking Availability:**

The property has 8 off-street parking spaces available in the parking lot.

### **Construction Timeline:**

We anticipate that construction will take approximately 4 to 6 months, beginning in May 2026 and concluding by November 2026. This includes demolition, structural and exterior work, interior build-out, and final inspections.

### **Conditional Use Permit Considerations**

The applicant is committed to being a responsible business within the community. To mitigate potential concerns regarding late-night operations, we are implementing the following measures:

- **Employee Management:** Employees will be trained to ensure noise levels are kept to a minimum, will monitor customer behavior, and ensure the restaurant operates smoothly with no disruptions to neighboring properties. Staff will be specifically trained on managing the restaurant during late hours, including maintaining a calm atmosphere, preventing customers from loitering outside, and facilitating smooth closing procedures.
- **Security:** The restaurant will have security cameras installed on the premises, and staff will be present during operating hours to oversee activities and address any concerns. Security measures will help maintain a safe environment for both customers and the surrounding neighborhood
- **Waste Management:** Trash collection will occur during daylight hours to avoid disturbing the neighborhood during nighttime hours. A new trash enclosure will be installed on the property to properly manage waste and maintain cleanliness.
- **Neighbor Relations:** The restaurant will provide a contact number to neighboring residents for any concerns or issues that may arise. We are committed to being responsive to the community and resolving matters promptly to maintain good relations with surrounding residents.

# Proposed New Restaurant Taqueria El Toro



MILWAUKEE, WI  
Email: contact@aurumarchitectura.com

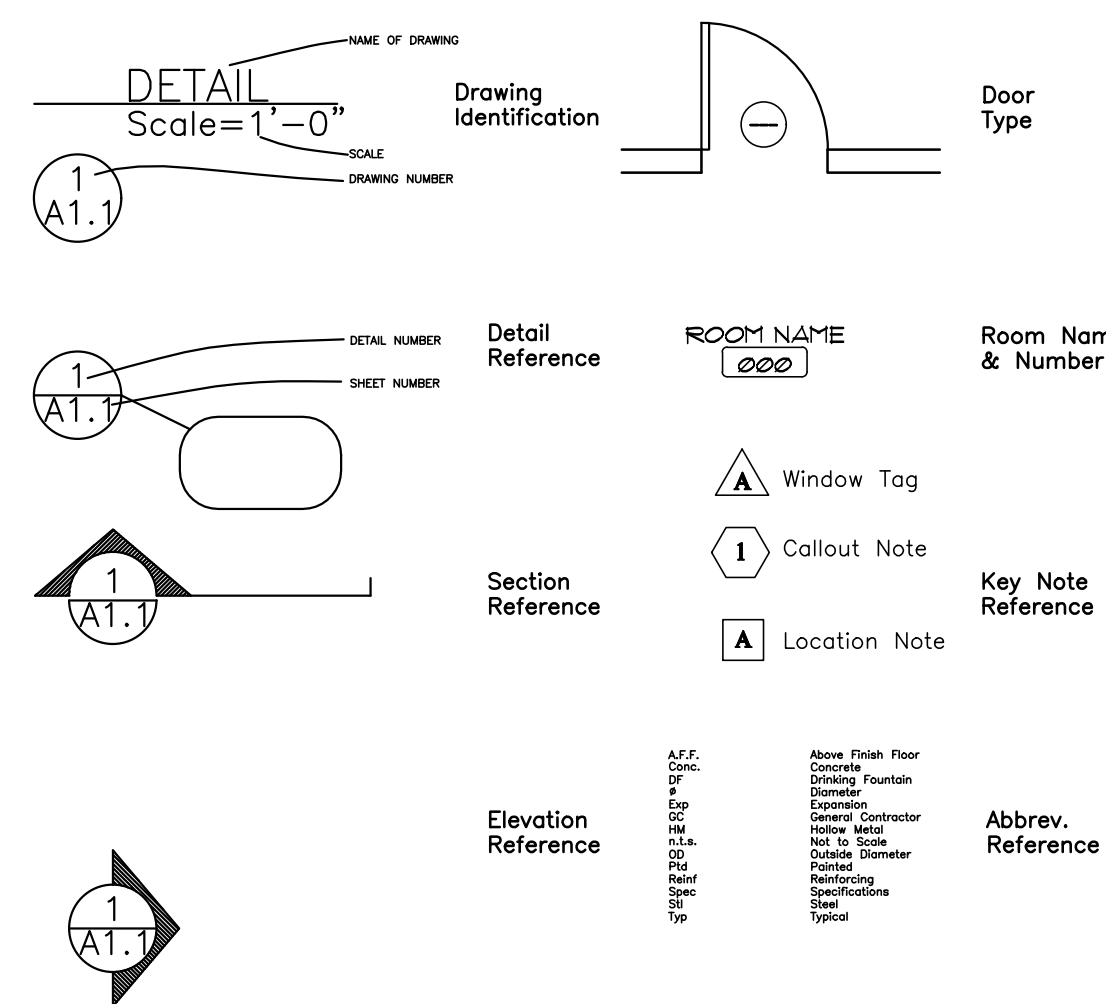
5632 W BURNHAM ST.  
WEST ALLIS, WI 53219

Revised Date: March 31, 2026

Date: March 2, 2026

PROJECT NO.: 2025-19

## SYMBOLS



## General Notes

Mechanical, Electrical & Plumbing design are not the responsibility of the Designer. The M.E.P. will be handled on a design-build basis through the Developer and Construction Manager. The design-build contractor is responsible for code compliance with their work.

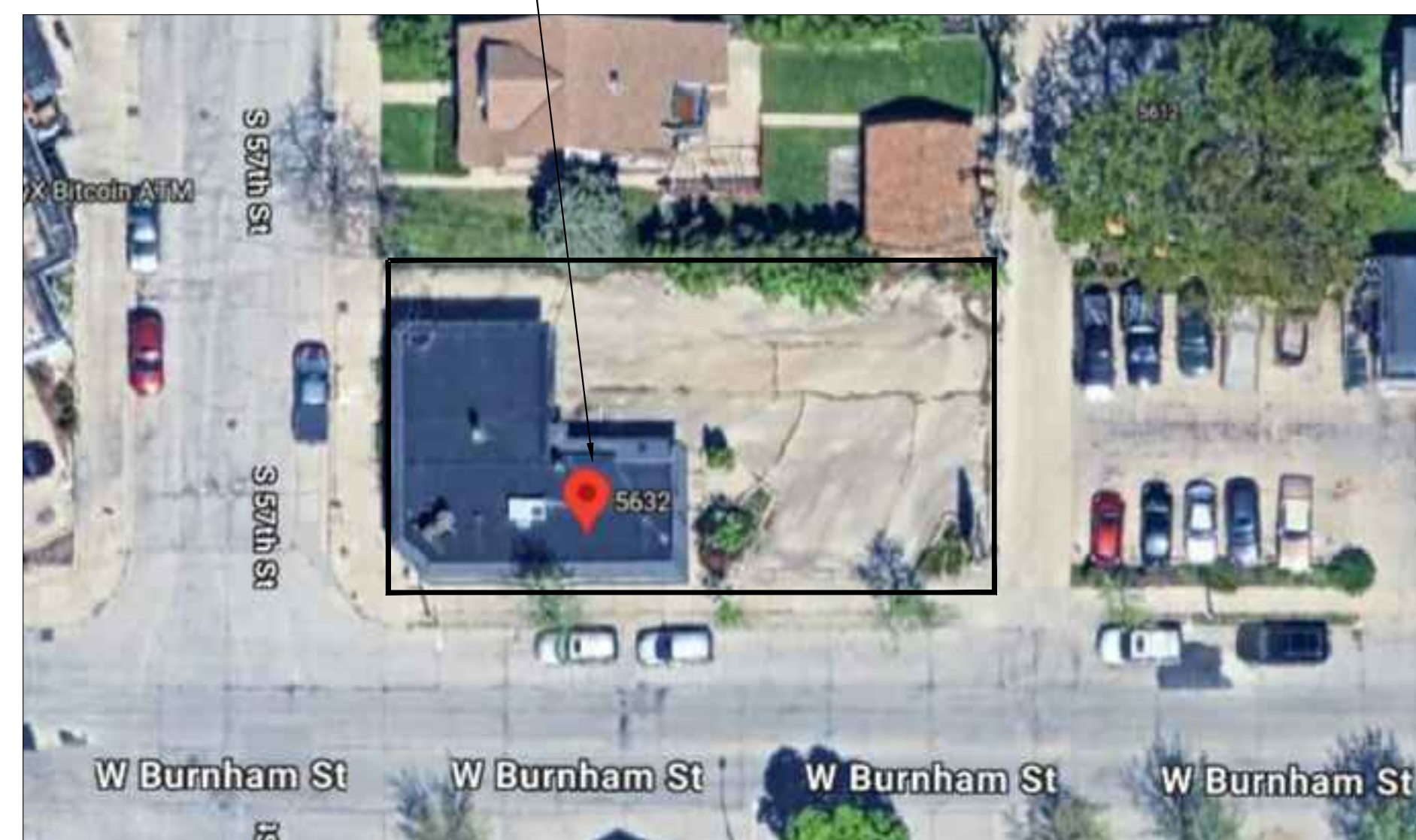
All work shall be done in accordance with all State and Local coded and ordinances.

Field verify all existing conditions and dimensions.

Do NOT scale drawings

The locations of the existing utility installations as shown on the plans are approximate. There may be other

## SITE LOCATION



## Building Information

EXISTING BUILDING USE AND OCCUPANCY:  
GROUP B (TAVERN), GROUP R-2 (APARTMENT)

PROPOSED BUILDING USE AND OCCUPANCY:  
GROUP-A-2 RESTAURANT

BUILDING TYPE: V-B  
LOT AREA: 7,200 SQ.FT.  
ZONING: C2  
EXISTING BUILDING GROSS AREA: 1,874 SQ.FT.  
PARKING: 8 PARKING SPACES

CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS AND PROPOSED CONSTRUCTION DIMENSIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ALTERATIONS.

## SHEET INDEX

- ARCHITECTURAL
- AS-1.0 SITE PLAN
- A-1.0 EXISTING BASEMENT & EXISTING FIRST FLOOR PLAN, EXISTING SECTION
- A-1.1 NEW BASEMENT FLOOR PLAN, NEW FIRST FLOOR FRAMING PLAN
- A-1.2 NEW ROOF FRAMING PLAN
- A-1.3 NEW FIRST FLOOR PLAN, WALL TYPES, DOOR TYPES, RM FINISH SCHEDULE  
ADA TOILET DETAIL, ADA SINK DETAIL
- A-1.4 NEW REFLECTED CEILING PLAN
- A-2.0 NEW BUILDING SECTION
- A-2.1 NEW BUILDING SECTION
- A-2.2 NEW BUILDING SECTION
- A-2.3 NEW BUILDING SECTION
- A-2.4 NEW EXTERIOR ELEVATIONS
- A-3.0 NEW LIFE SAFETY PLAN

## SCOPE OF WORK

- NORTH PORTION OF BUILDING FLOOR LEVEL TO BE LOWERED TO MATCH EXISTING BAR AREA
- NEW BASEMENT STAIRS
- NEW ADA CONC. WALK ON EAST SIDE OF BUILDING
- NEW KITCHEN AREA
- NEW ADA BATHROOMS
- NEW COVERED WALK-IN COOLER

## PROJECT INFORMATION

PROJECT OWNER: Toribio Martinez  
PROJECT ADDRESS: 5632 W Burnham St  
West Allis, WI 53219  
ARCHITECT: Raul Arteaga

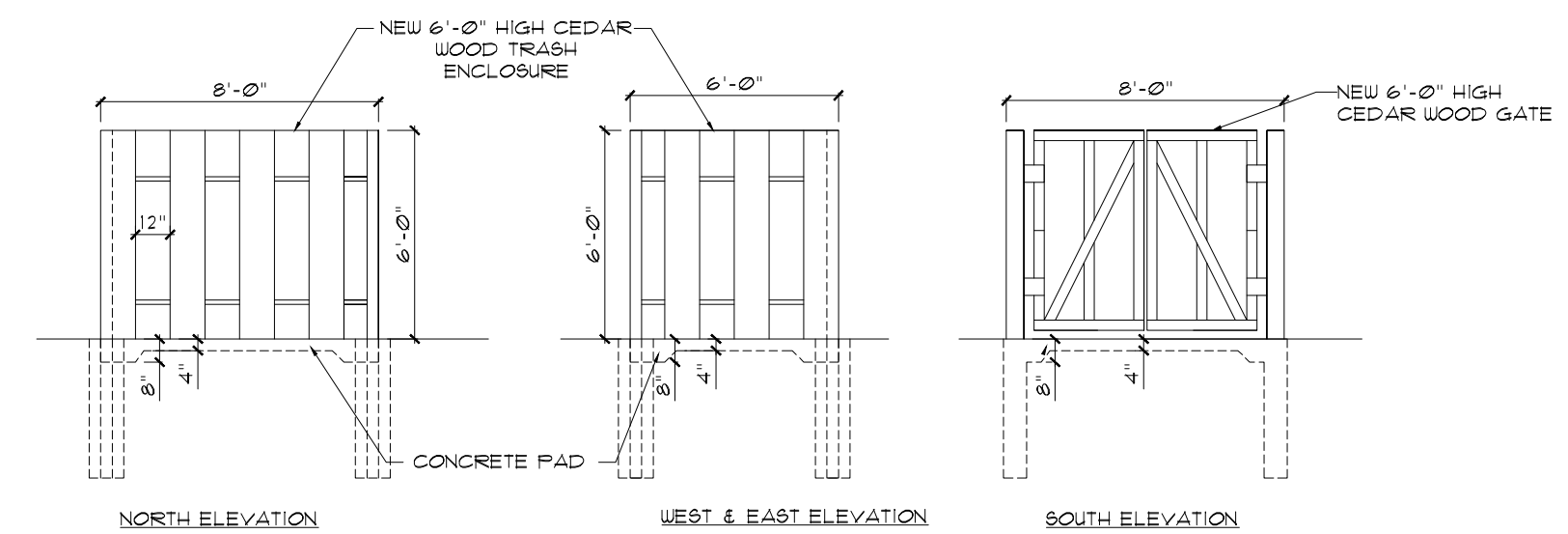
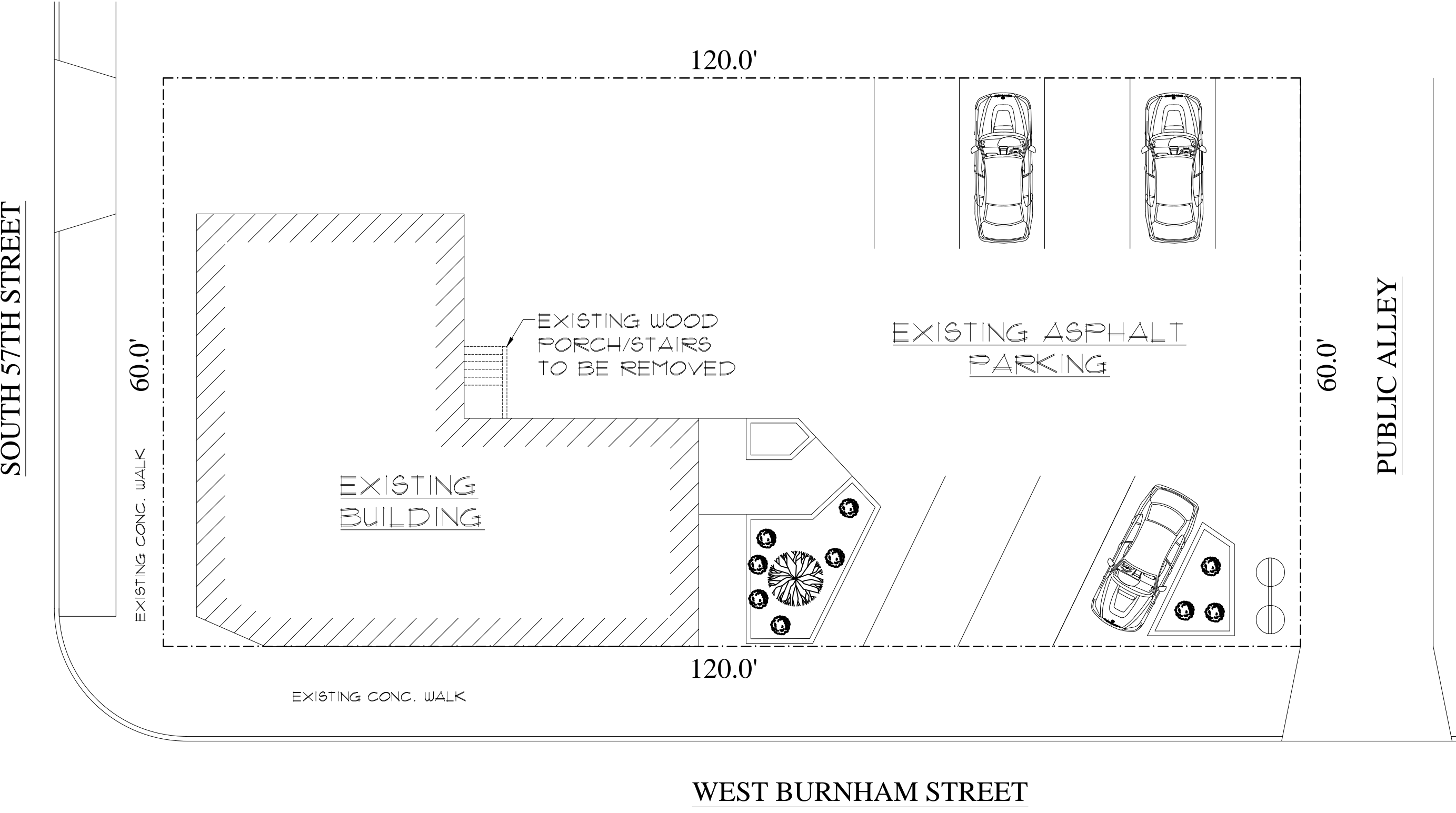
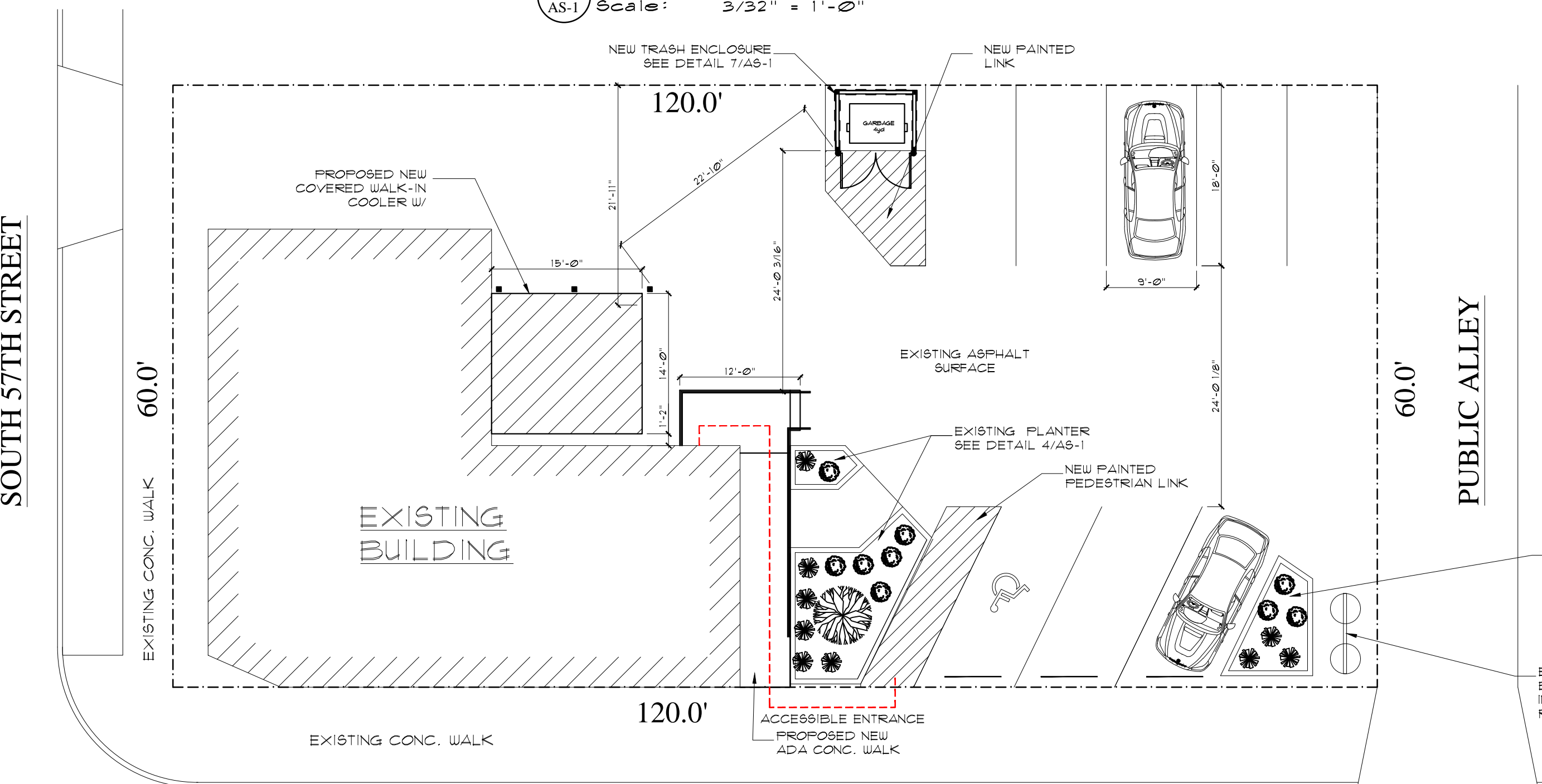
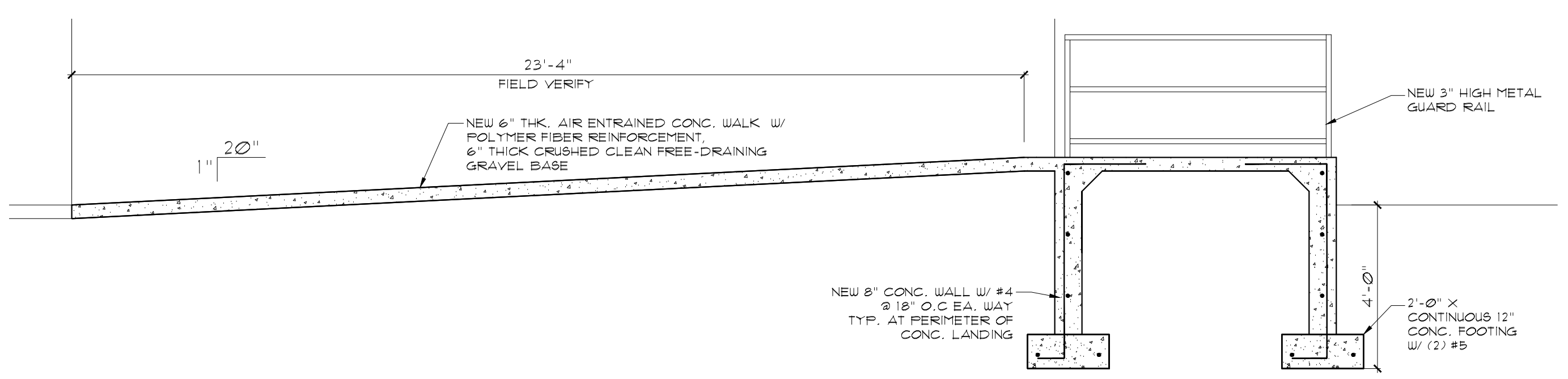
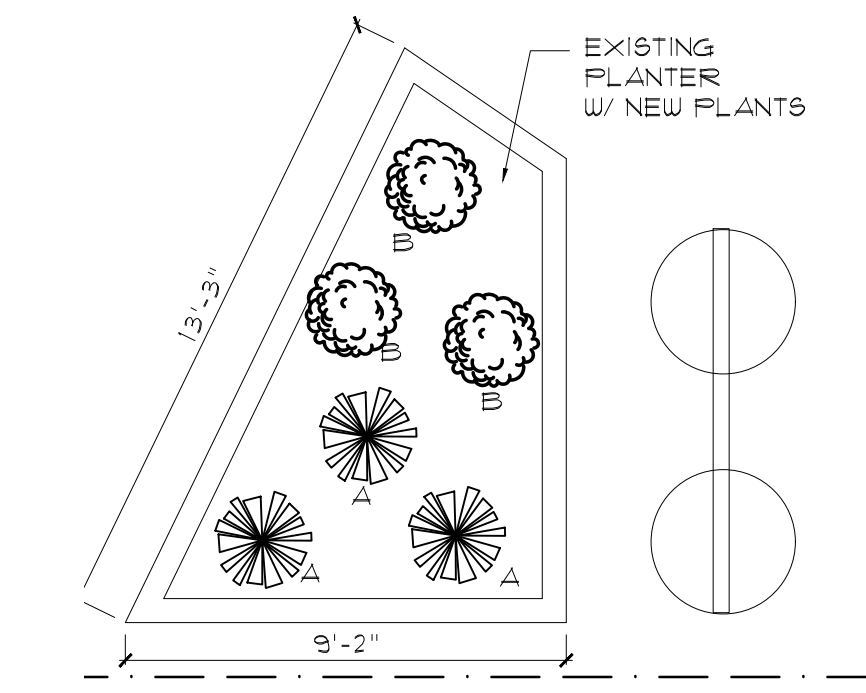
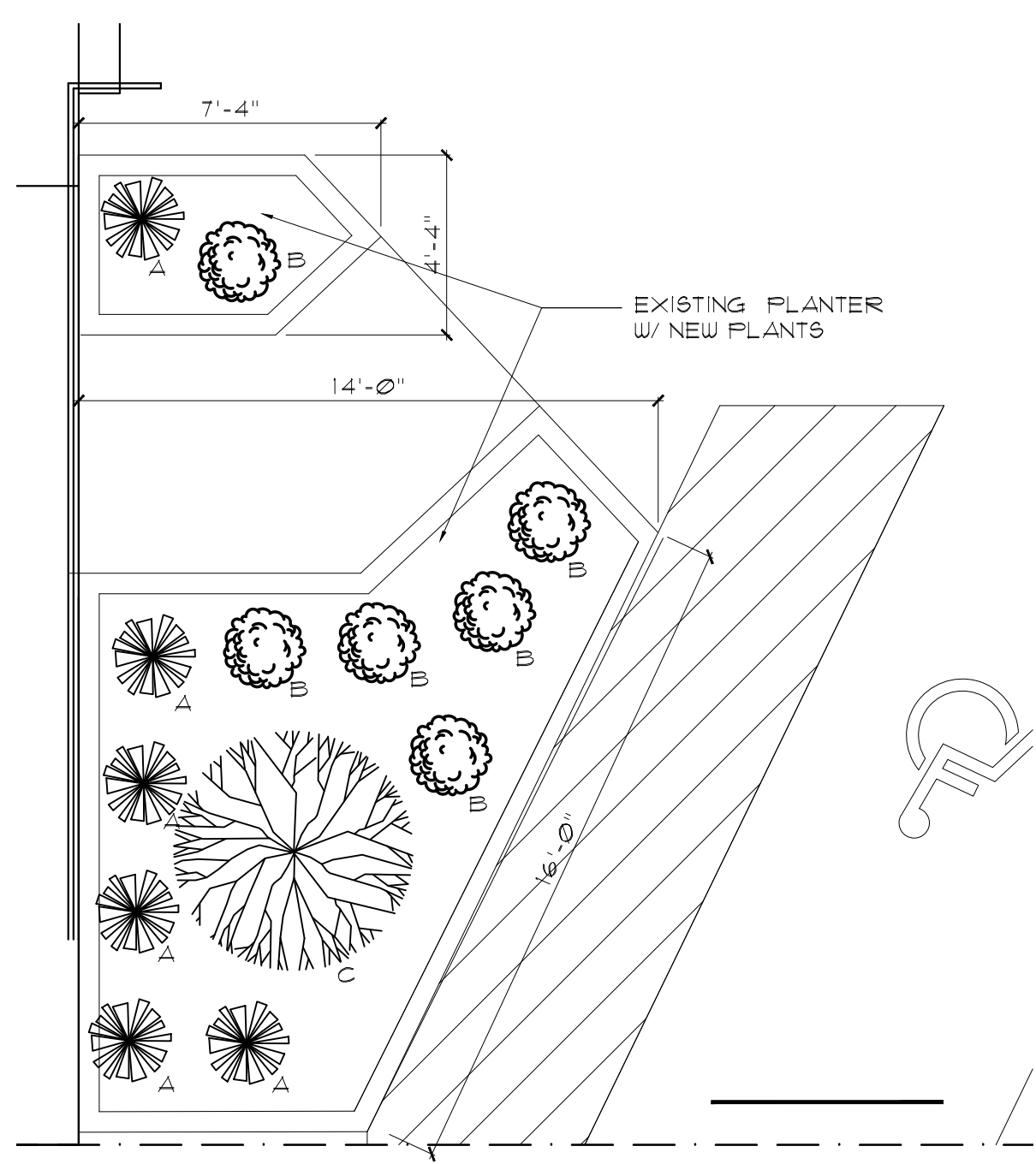
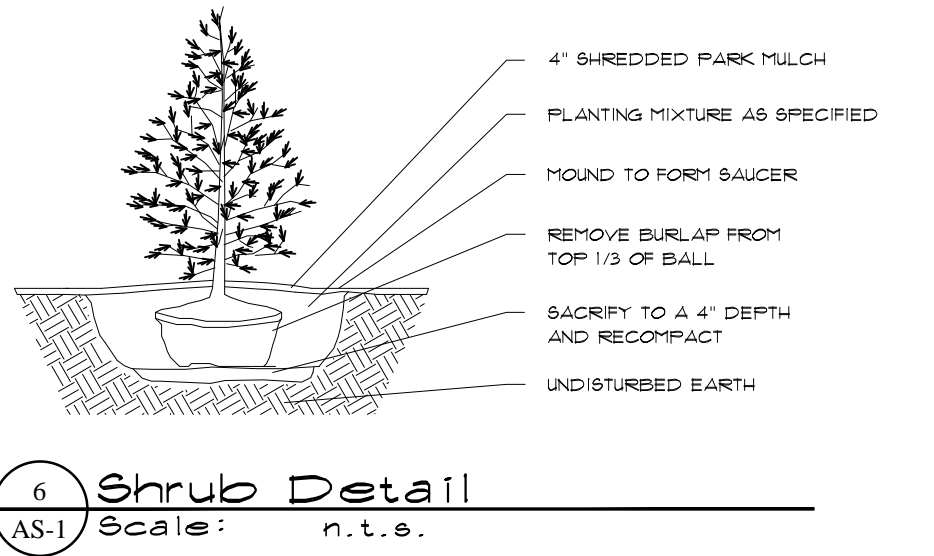
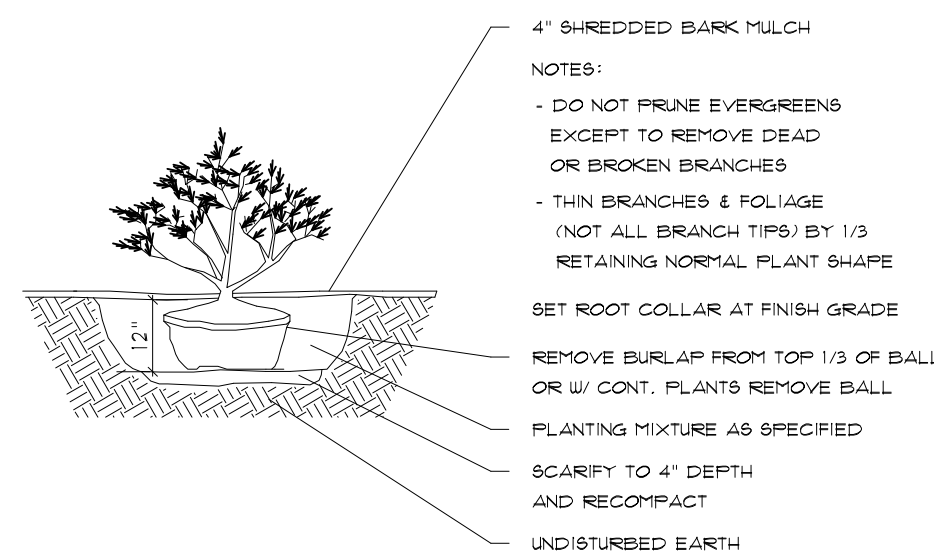


Raul Arteaga  
Digitally signed by Raul Arteaga  
Date: 2026.03.31 21:02:30 -05'00'

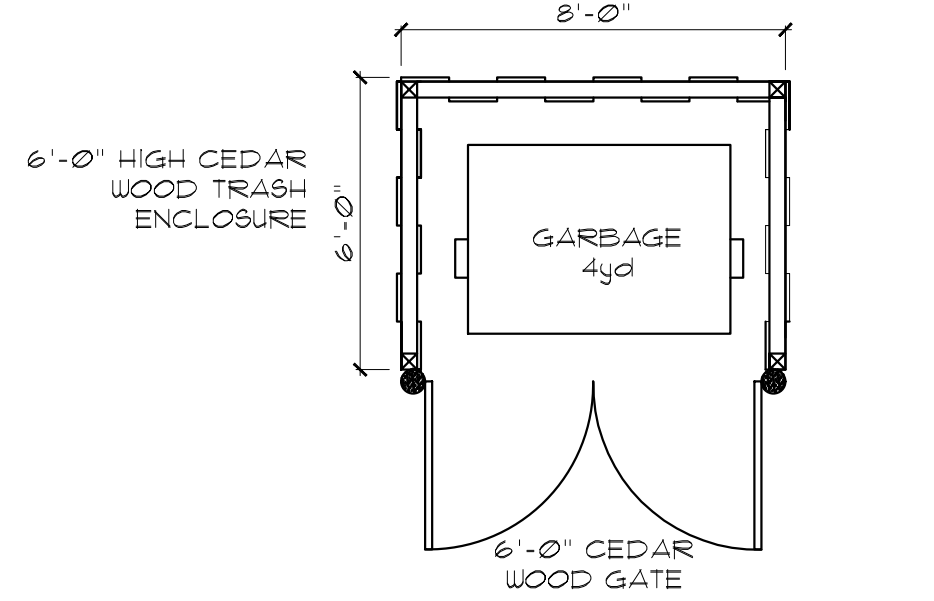
CONSTRUCTION DRAWINGS FOR  
SUBMITTAL TO THE CITY OF  
WEST ALLIS FOR PLAN REVIEW  
AND CONSTRUCTION PERMIT  
DATE: MARCH 31, 2026

**LANDSCAPE PLANTING SCHEDULE**

SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE
A	9	SYRINGA MEYERI	DWARF KOREAN LILAC	36"
B	9	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	36"
C	1	GINKGO BILOBA (MALE)	GINKGO	8 Ft.



8 Trash Enclosure Elevations  
AS-1 Scale: 3/8" = 1'-0"



7 Trash Enclosure Plan  
AS-1 Scale: 1/4" = 1'-0"

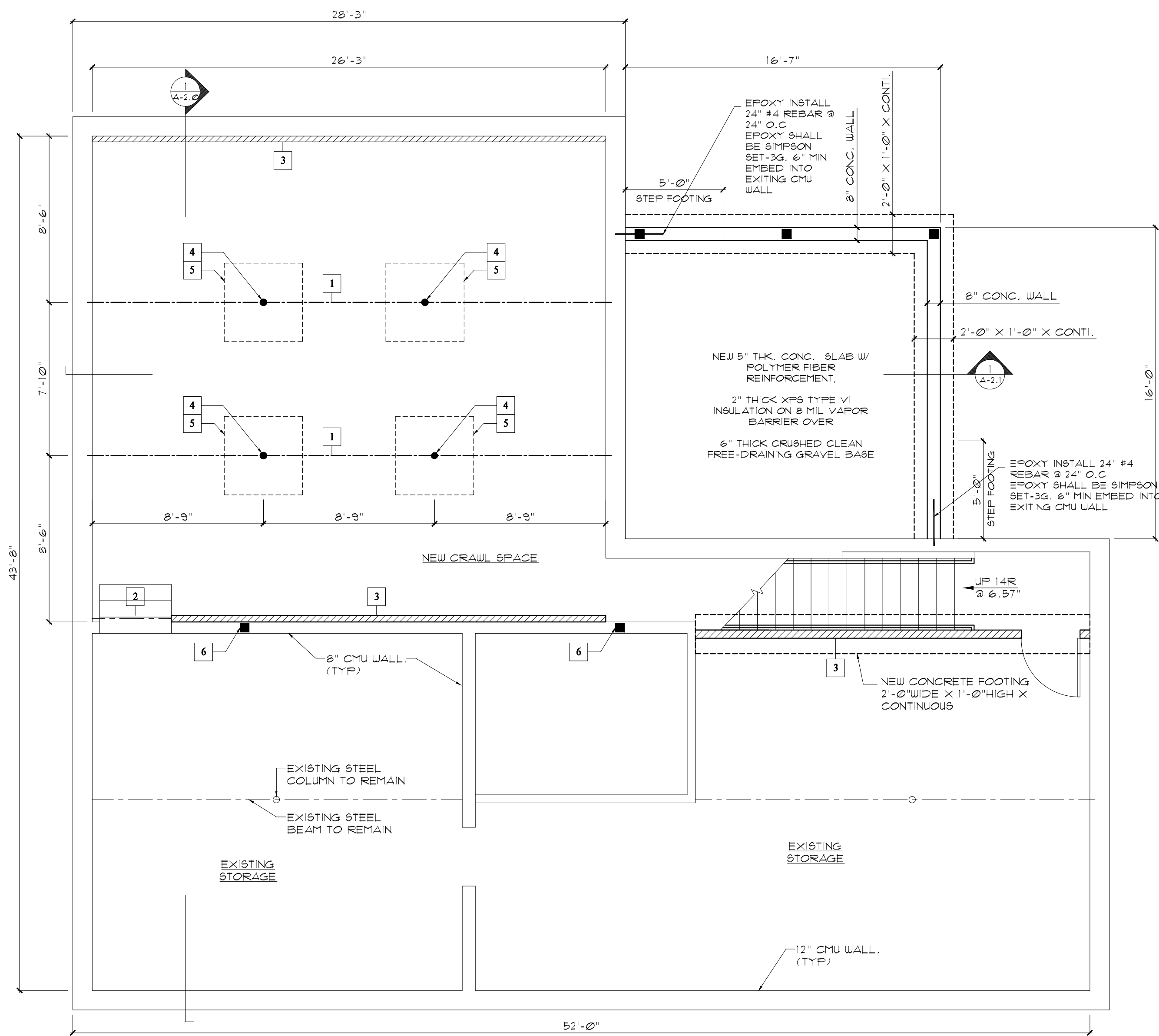
- GENERAL NOTES**
- DRAWINGS REPRESENT DESIGN INTENT. MEANS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND VERIFICATION OF INFORMATION TO BE COORDINATED BY OTHERS. THE CONTRACTOR SHALL REPORT ANY UNCLEAR INFORMATION AND DISCREPANCIES WITH ARCH. DRAWINGS OR OTHER REQUIREMENTS PRIOR TO PROCEEDING.
  - THESE DRAWINGS ASSUME THE CONTRACTOR IS FAMILIAR WITH TYPE OF CONSTRUCTION SHOWN AND HAS WORKING KNOWLEDGE OF APPLICABLE CODES AND STANDARDS AND CORRECT INDUSTRY ACCEPTED PRACTICES.
  - ALL SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED INSPECTION. ALL REQUIRED INSPECTIONS SHALL BE PERFORMED BY THE BUILDING DEPARTMENT OR AN INSPECTION AGENCY.
  - PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MFR. RECOMMENDATIONS, CODE REQUIREMENTS, AND CORRECT INDUSTRY ACCEPTED PRACTICES, UNLESS NOTED OTHERWISE IN THESE DRAWINGS.
  - UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
  - THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN/BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.



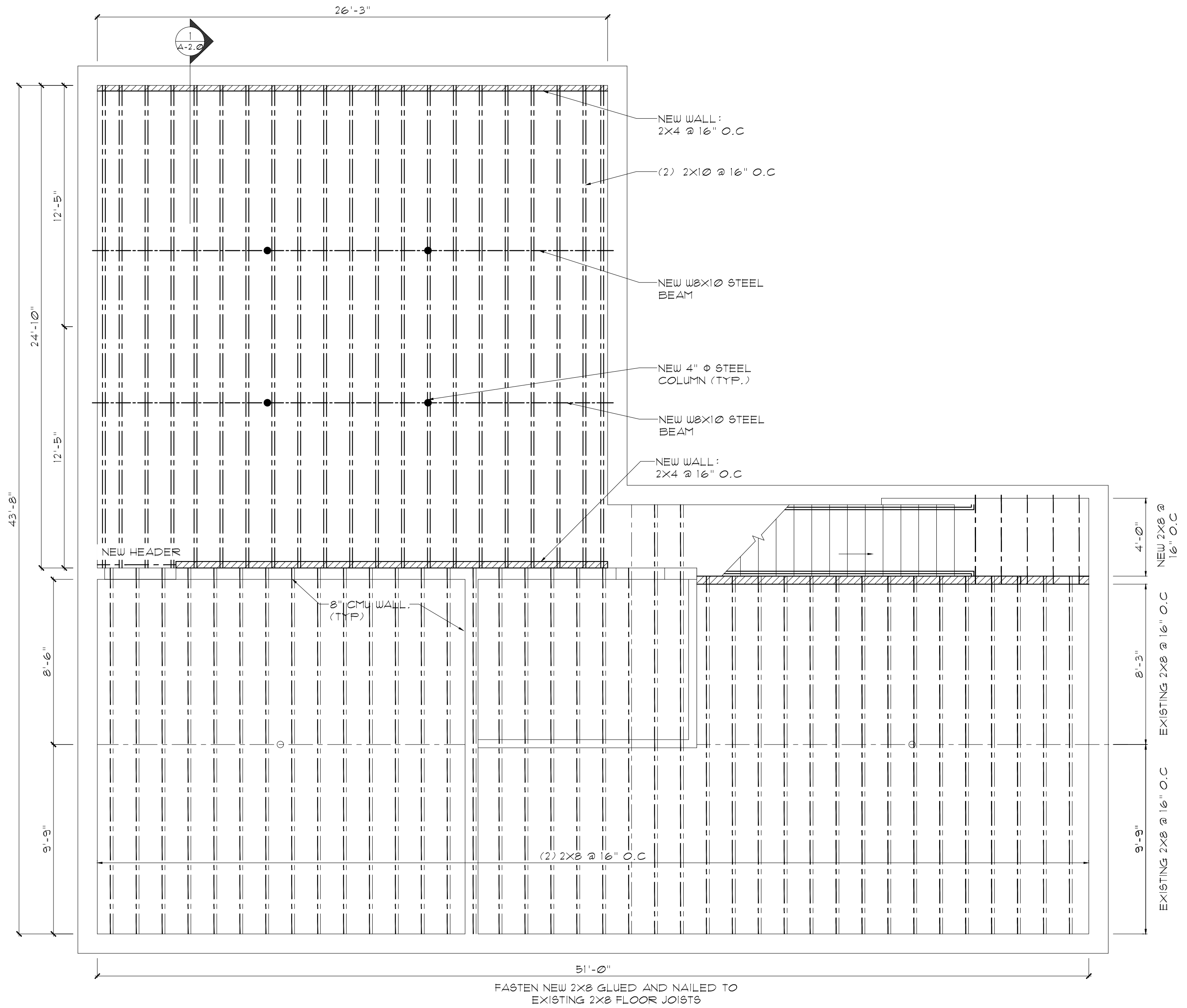
GENERAL DIMENSION NOTE:  
DIMENSIONS ARE TYPICALLY  
SHOWN TO FACE OF FINISHES

ALL FINISHES TBD, AND COORDINATED  
BY OWNER & CONTRACTOR. ALL  
DIMENSIONS TO BE VERIFIED IN FIELD  
AND ADJUSTED AS NECESSARY.

- NOTES
- 1 NEW W8 X 10 STEEL BEAM
  - 2 NEW (2) 2X8 HEADER
  - 3 NEW LOAD-BEARING WALL: 2X4 @ 16" O.C
  - 4 NEW 4" Ø STEEL COLUMN
  - 5 NEW 4'-0" X 4'-0" X 10" CONC. FOOTING W/ (4) #5 REBAR BOTH WAYS
  - 6 NEW 6X6 COLUMN RESTING ON EXISTING CMU WALL. EACH OF THE 2 CMU CLLS CLOSEST TO THE POST SHALL BE GROUTED SOLID AND PROVIDE (1) CONTINUOUS #5 VERTICAL REINFORCING BARS



1 New Basement Floor Plan  
A-1.1 Scale: 1/4" = 1'-0"



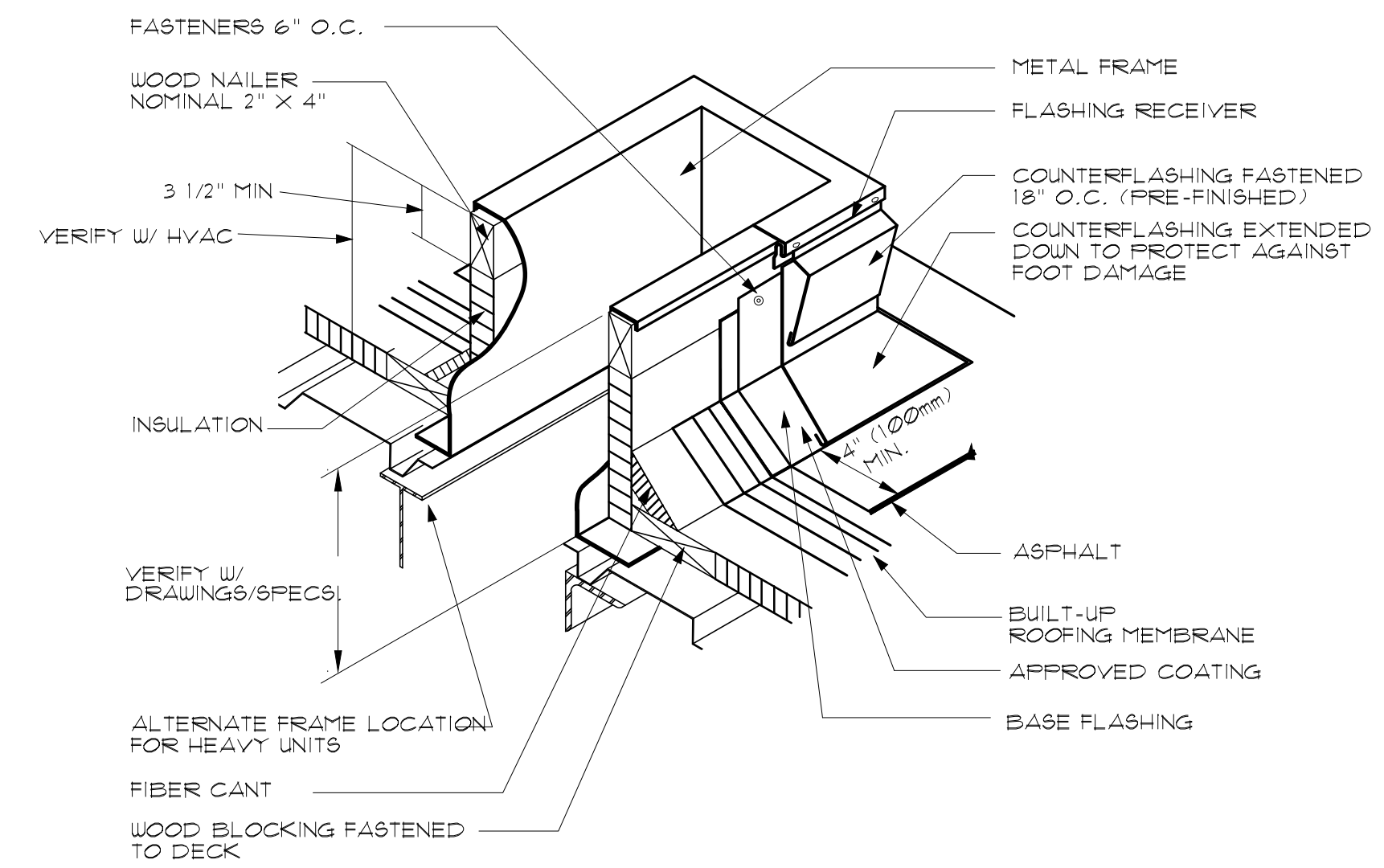
1 New First Floor Framing  
A-1.1 Scale: 1/4" = 1'-0"

Revisions		
NO	DATE	DESCRIPTION
1	3/21/2026	REMOVAL OF COOLER COLUMNS

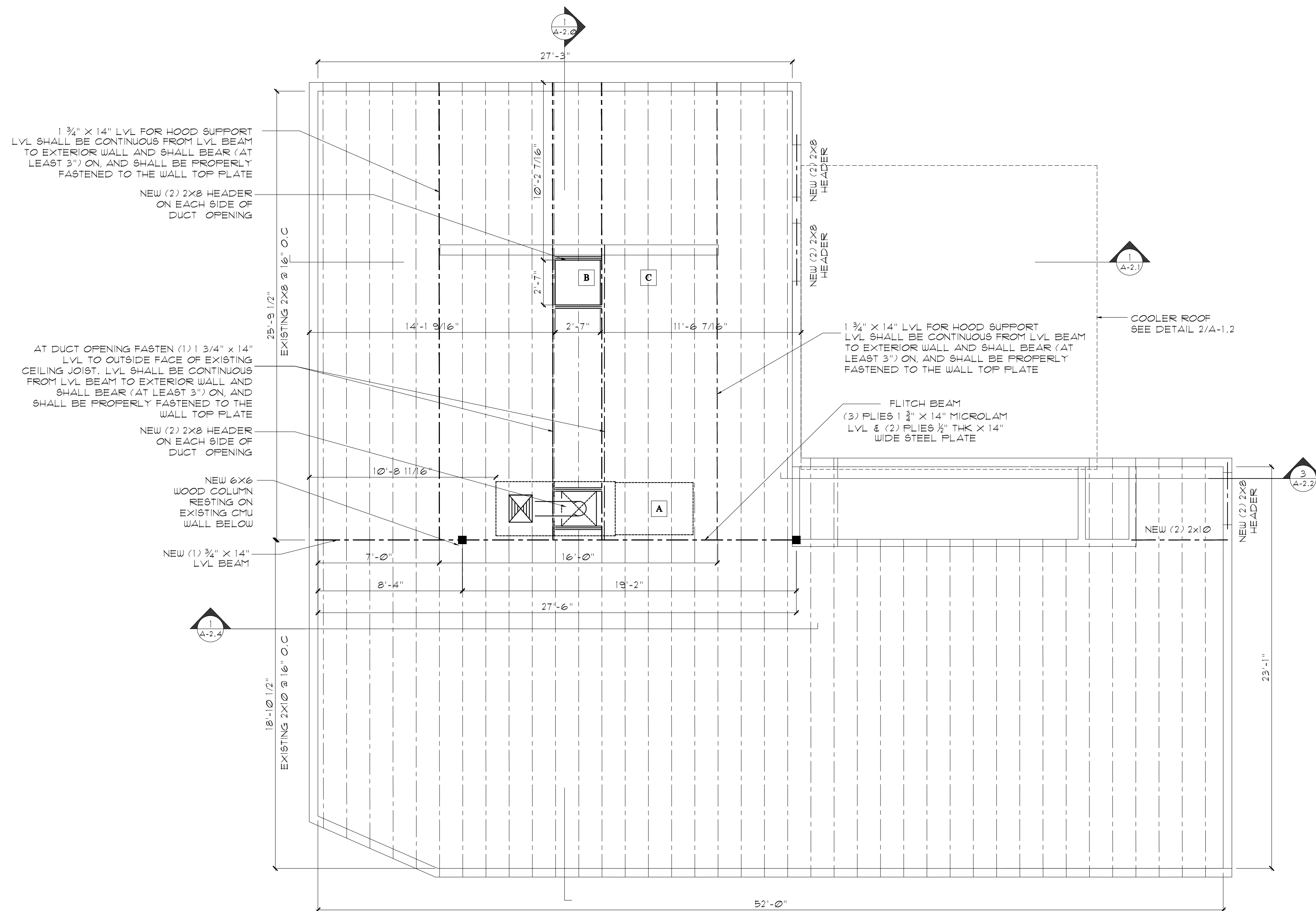
Revisions		
NO	DATE	DESCRIPTION
1	3/21/2026	
- REMOVAL OF COOLER COLUMNS		
- NEW LEDGER BOARD		

ROOF TOP EQUIPMENT	WEIGHT
<b>A</b> MAKE UP AIR UNIT:	800 LBS
MAU CURB:	100 LBS
<b>B</b> EXHAUST FAN:	350 LBS
EXHAUST FAN CURB:	50 LBS
<b>C</b> HOOD	600 LBS

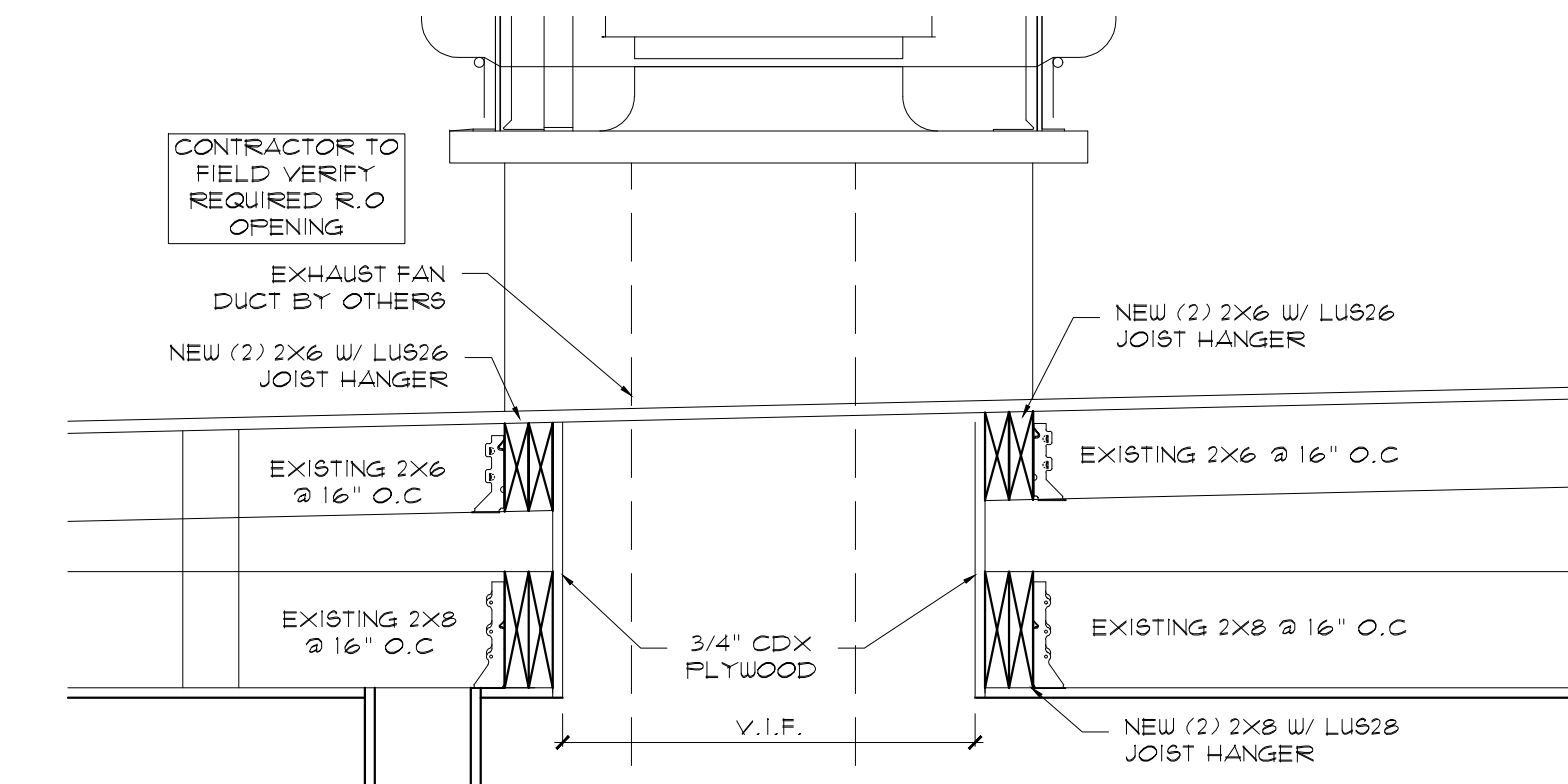
CONTRACTOR TO VERIFY ROOF TOP EQUIPMENT SIZE, WEIGHT AND QUANTITY.



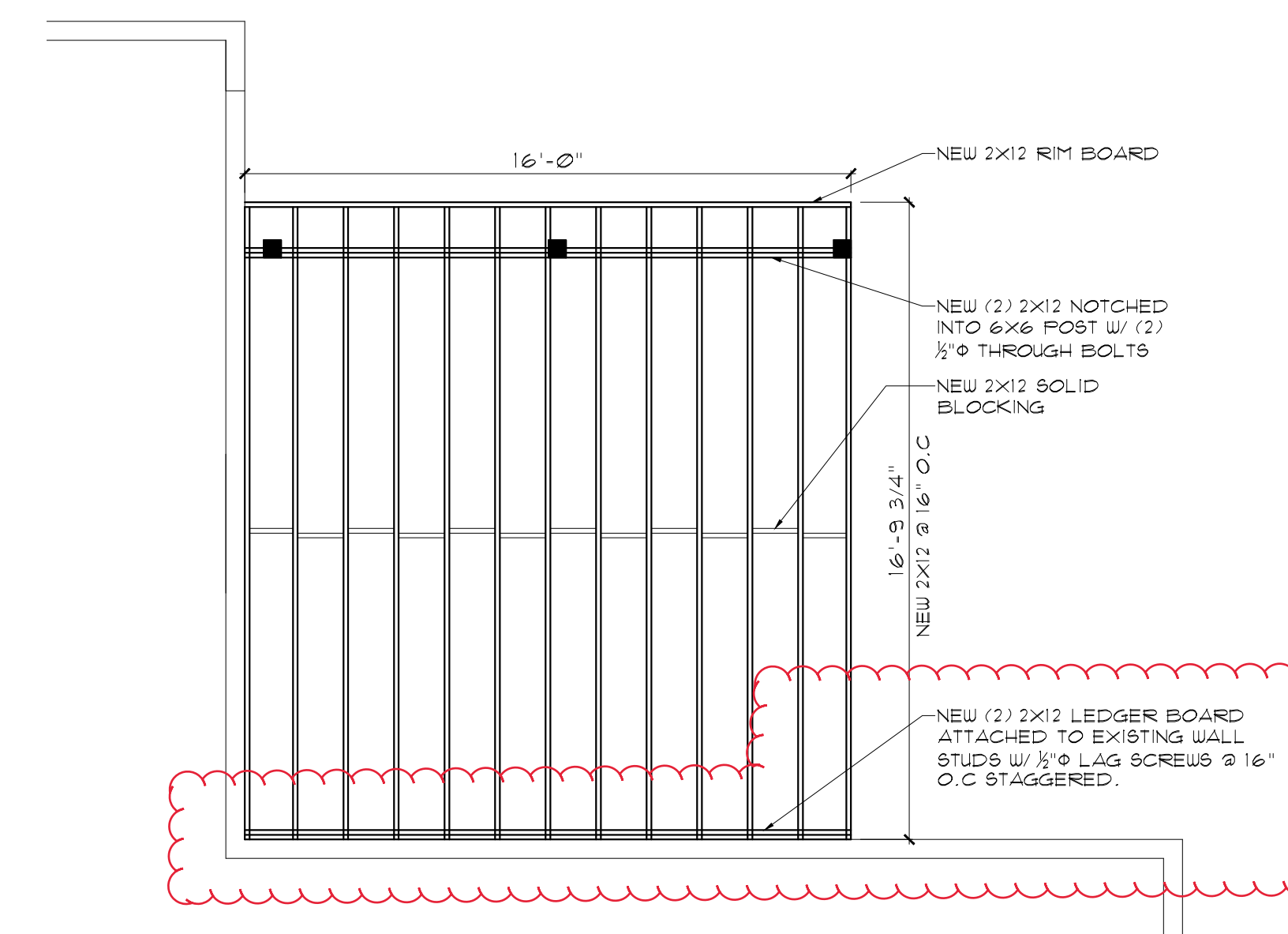
4 Roof Equip. Curb Detail  
A-1.2 Scale: 1/4" = 1'-0"



1 New Roof Framing Plan  
A-1.2 Scale: 1/4" = 1'-0"



3 New Exhaust Fan/ MAU Duct Opening typ.  
A-1.2 Scale: 1/4" = 1'-0"



2 Cooler Roof Framing Plan  
A-1.2 Scale: 1/4" = 1'-0"

NO.	ROOM NAME	FLOORING		WALL FINISHES								CEILING		REMARKS
		BASE	FLOOR	NORTH		SOUTH		EAST		WEST		MTL.	HT.	
	MENS	VB-1	CT-1	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	ACT-1	9'-0"	
	Womens	VB-1	CT-1	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	ACT-1	9'-0"	
	Kitchen	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Dishwashing/Prep	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Bar	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Dining	VB-1	LVT-1	Gyp Bd	FT-1	Gyp Bd	FT-1	Gyp Bd	FT-1	Gyp Bd	FT-1	Gyp Bd	10'-10"	
	Jan Closet	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	

Gyp Bd = GYPSUM BOARD  
 FT = FINISH  
 ACT = ACOUSTICAL CEILING TILE  
 CT = CERAMIC TILE  
 QT = QUARTZ TILE  
 LVT = LUXURY VINYL TILE

NOTE:  
 1.) CEILING AT RESTROOMS, PREP AREA, SALES AREA TO HAVE WASHABLE SURFACE, VINYL COATED ACT W/ ALUMINUM GRID  
 2.) WET WALLS TO HAVE MOISTURE RESISTANT GYPSUM BOARD  
 4.) INSTALL INTEGRATED TILE COVE BASE @ PREP AREA, DISHWASHING AREA, KITCHEN, BAR AREA, RESTROOMS  
 5.) INSTALL FRP PANELS AT MOP SINK, PREP AREA, DISHWASHING AREA, KITCHEN, BAR AREA, (UP TO 6'-0" A.F.F. MIN.)  
 6.) AT TILE WALLS USE 1/2" CEMENT BOARD BACKING

WALLS: COLOR TO BE SELECTED BY OWNER

ET-1: ONE COATED TINTED PRIMER TO MATCH WALL COLOR (PREPARED AND BACK ROLLED) AND TWO (2) COATS, EGGSHELL, OR EQUAL, LATEX PAINT (ROLLED)

FRP: MERLITE FIBER REINFORCED PLASTIC PANELS OR SIM. WITH SMOOTH FINISH. COLOR TO BE SELECTED BY OWNER.

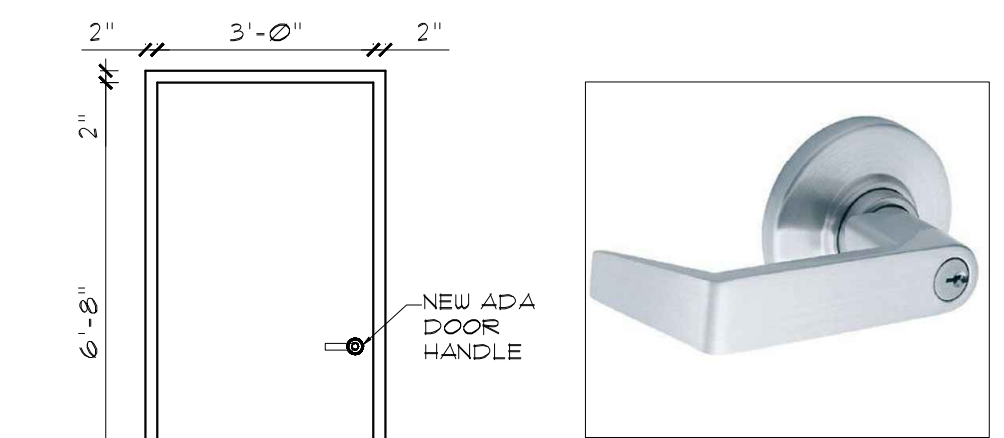
CT-1: PORCELAIN TILE 6" X 6" X 5/16", EPOXY GROUT-HAPEI KERAPOXY

FLOORING  
 QT: 6X6 QUARTZ TILE W/ 4" INTEGRATED COVE BASE  
 LVT-1: LUXURY VINYL TILE, COMMERCIAL GRADE. WEAR LAYER MUST BE EQUAL TO OR EXCEED 20 MIL AND THICKNESS MUST EQUAL TO OR GREATER THAN 5/16"

CEILING  
 ACT-1: VINYL COVERED GMB, 24" X 24" X 1/2" W SQUARE EDGE FOR 3/16" TEE GRID, USG CLIMAPLUS WHITE VINYL STIPPLE PATTERN, OR EQUAL

NOTE: ALUMINUM ACT GRID IN KITCHEN, PREP AREA, DISHWASHING AREA & TOILET ROOMS.  
 VERIFY ALL FINISHES WITH OWNER PRIOR TO ORDERING/INSTALLING

NOTES:  
 A NON-HAND OPERATED FAUCET MUST BE INSTALLED AT ALL HAND WASH SINKS W/STELBOW BLADE HANDLES, PAPER TOWEL DISPENSERS OR OTHER APPROVED HAND DRYING DEVICE SHALL BE INSTALLED AT ALL HAND WASH SINKS  
 HAND CLEANSER DISPENSER SHALL BE INSTALLED AT ALL HAND SINKS.  
 PROVIDE COVER WASTE RECEPTACLE AT TOILET ROOMS  
 LIGHTING SHALL BE SHATTER RESISTANT AND SHALL PROVIDE 50-FOOT CANDLES OF LIGHT IN THE FOOD PREPARATION.  
 WORK SURFACE SHALL BE CONSTRUCTED OF A MATERIAL THAT IS DURABLE NONABSORBENT AND EASILY CLEANABLE (STAINLESS STEEL)  
 FOOD STORAGE SHELVES SHALL STAINLESS STEEL OR COATED WITH VINYL.

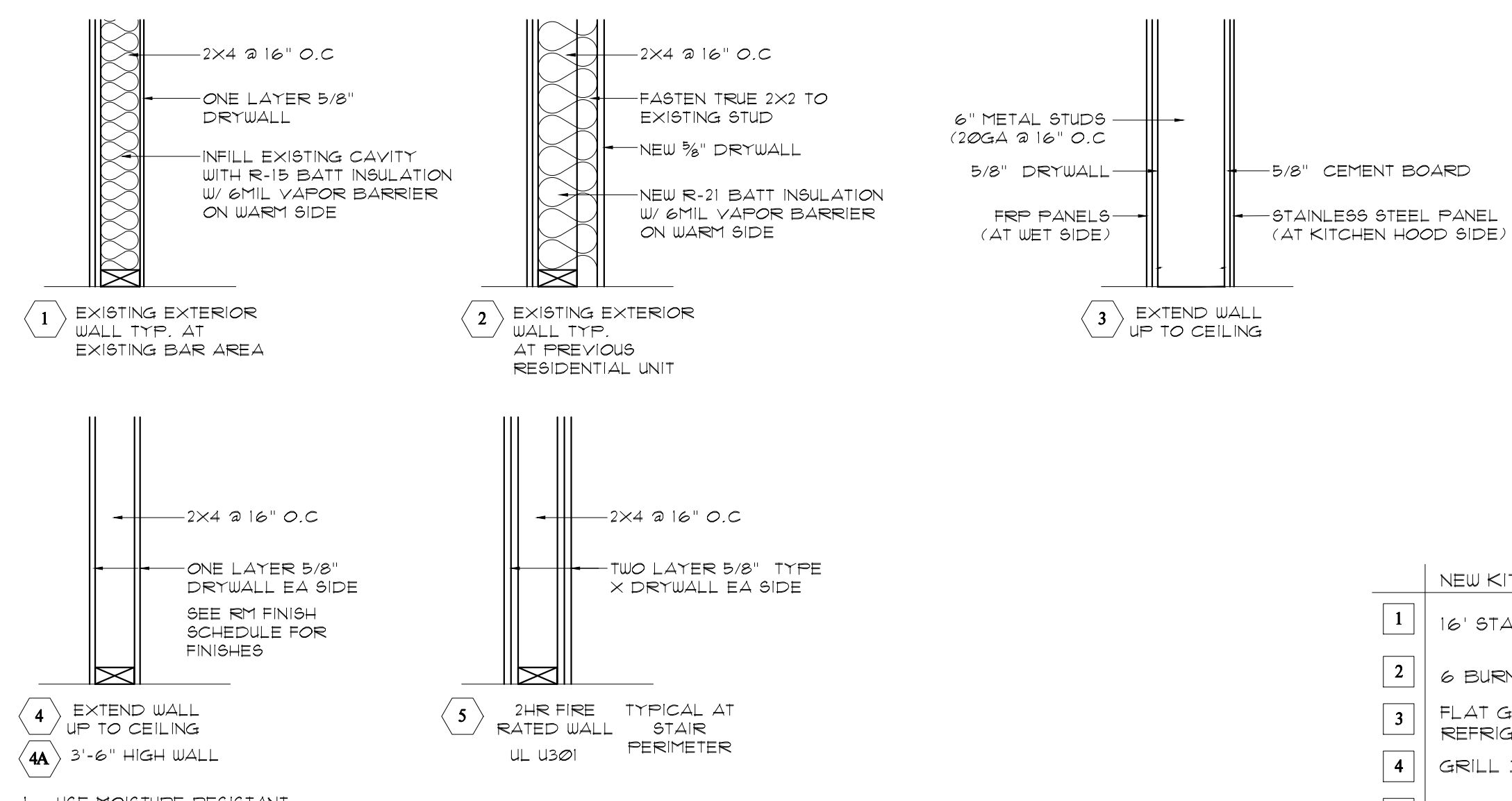


- 1 WOOD DOOR & FRAME
  - 1A 90 MIN FIRE RATED DOOR & FRAME
  - 2 HM DOOR & FRAME
- AT EXTERIOR DOORS PROVIDE SURFACE MOUNTED CLOSURE

4 Door Type  
 A-1.3 Scale: 3/8" = 1'-0"

GENERAL DIMENSION NOTE:  
 DIMENSIONS ARE TYPICALLY SHOWN TO FACE OF FINISHES

KEY  
 [Symbol] EXISTING WALL TO REMAIN  
 [Symbol] NEW WALL

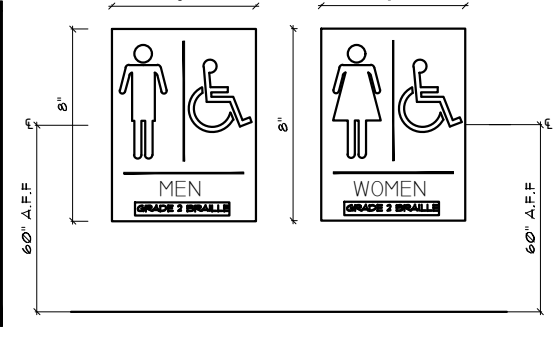


2 New Wall Types  
 A-1.3 Scale: 1" = 1'-0"

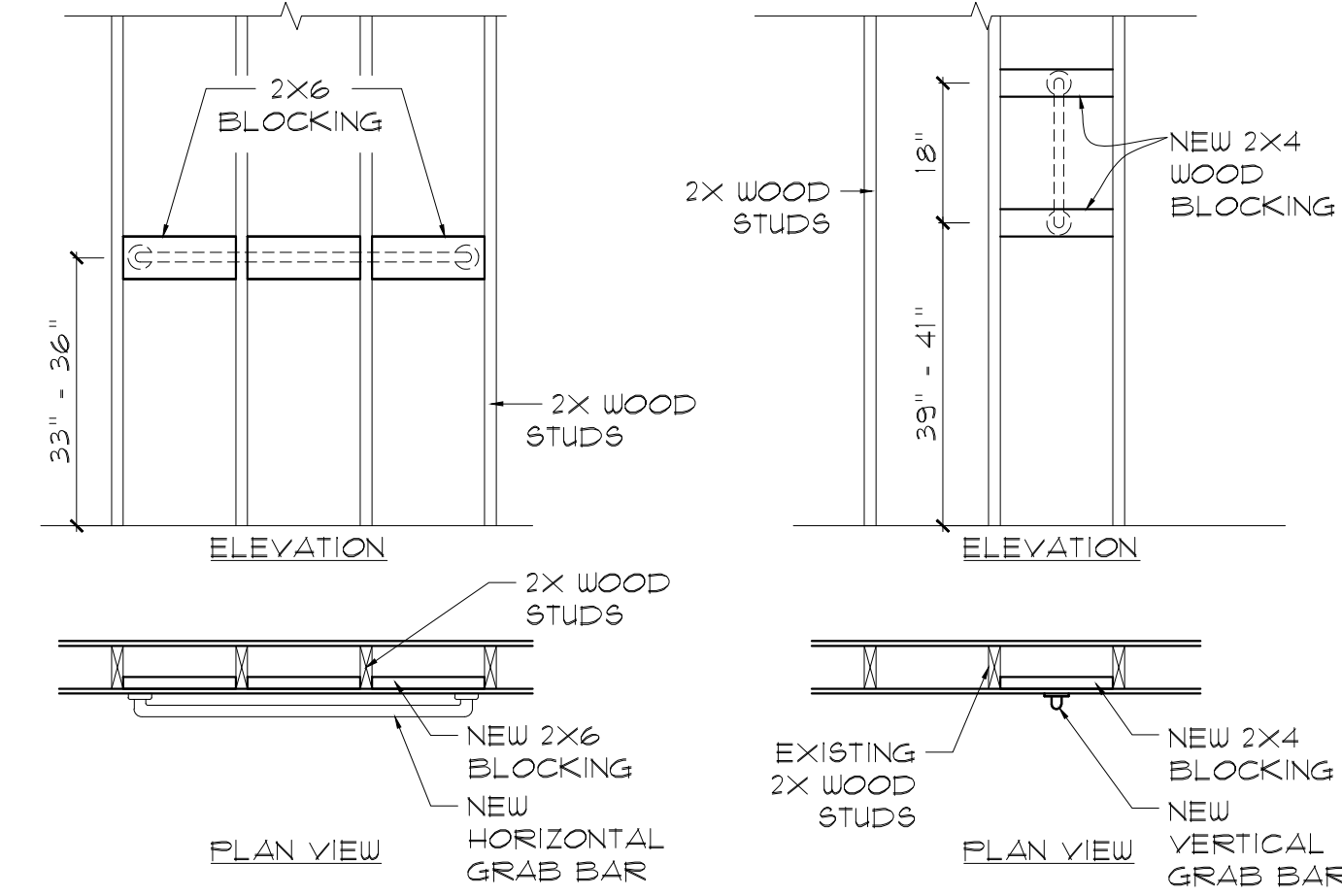
- NEW KITCHEN EQUIPMENT LIST
- 16" STAINLESS STEEL HOOD
  - 6 BURNER RANGE
  - FLAT GRIDDLE 3'-0"
  - REFRIGERATED TABLE BELOW
  - GRILL 3'-0" W/ TABLE BELOW
  - FRYER 20"
  - HAND SINK
  - VEGETABLE SINK
  - 4 COMPARTMENT SINK
  - CHROME DISH RACK 14"x24"
  - PREP TABLE W/ REFRIGERATOR
  - STAINLESS STEEL

- NEW BAR EQUIPMENT LIST
- A 4 COMPARTMENT UNDER COUNTER SINK
  - B HAND SINK
  - C ICE BIN
  - D REFRIGERATOR WITH COUNTER
  - E ICE MACHINE

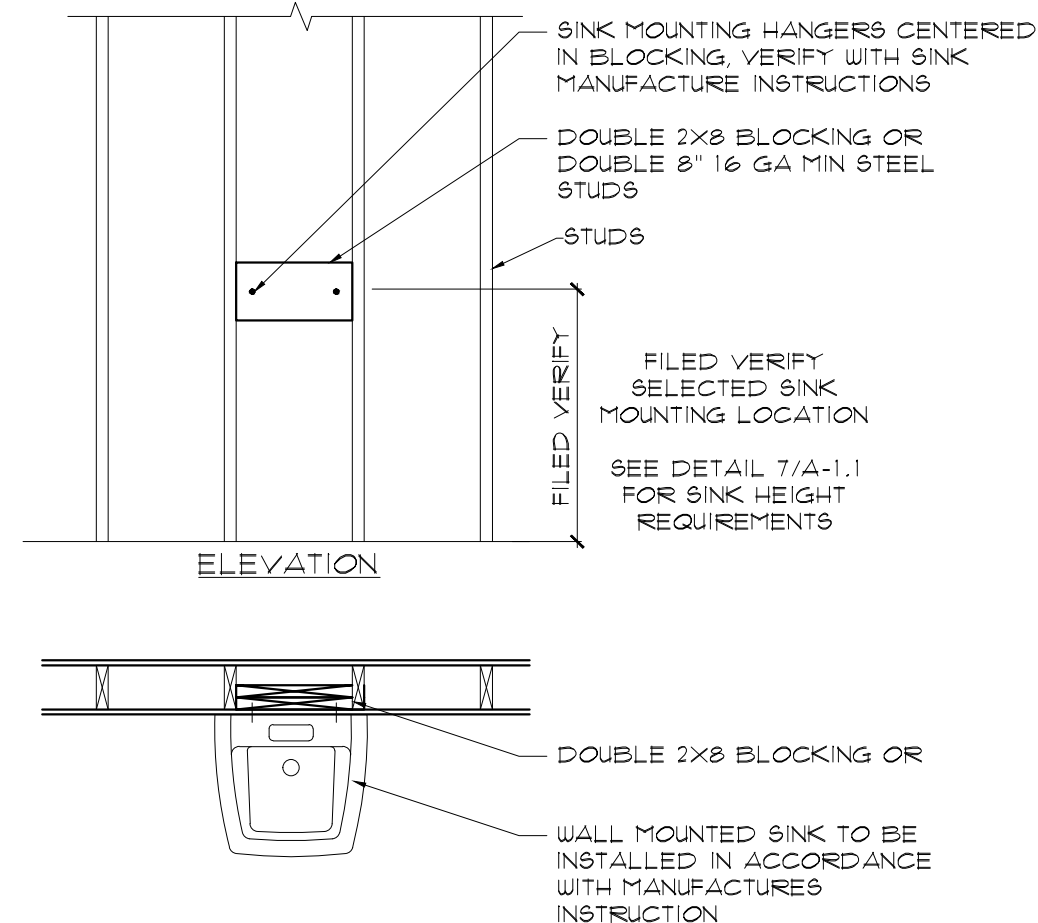
GENERAL SIGN NOTES  
 1. ALL TEXT TO BE 5/8" HIGH 1/32" RAISED GRAPHICS UNLESS NOTED  
 2. SIGNS SHALL BE INSTALLED ON LATCH SIDE OF DOOR, WHERE THERE IS NO WALL SPACE TO LATCH SIDE OF DOOR AND ON DOUBLE DOORS, SIGNS SHALL BE INSTALLED ON THE NEAREST ADJACENT WALL  
 3. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO CENTERLINE OF SIGN.



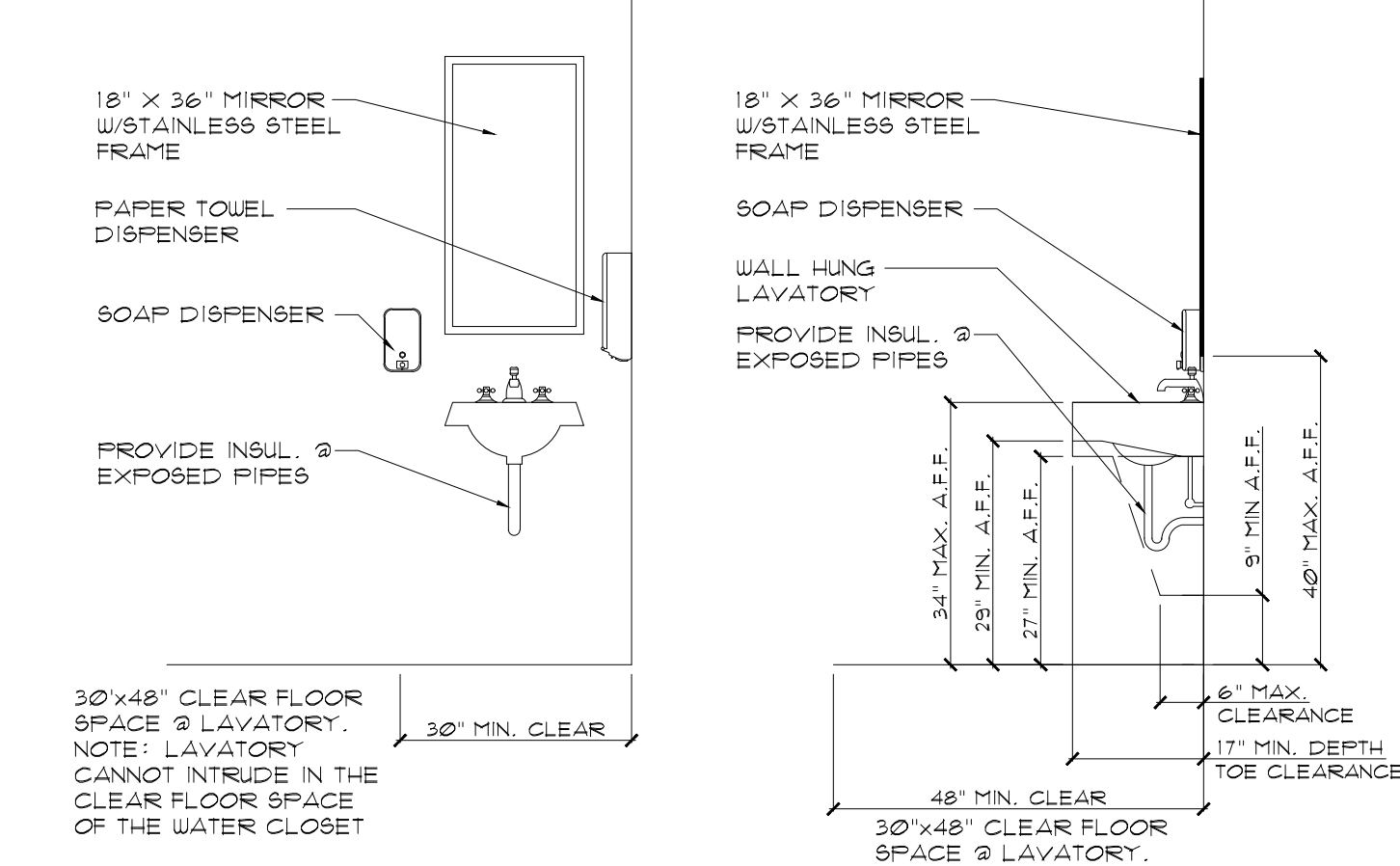
3 Restroom Sign  
 A-1.3 Scale: N.T.S.



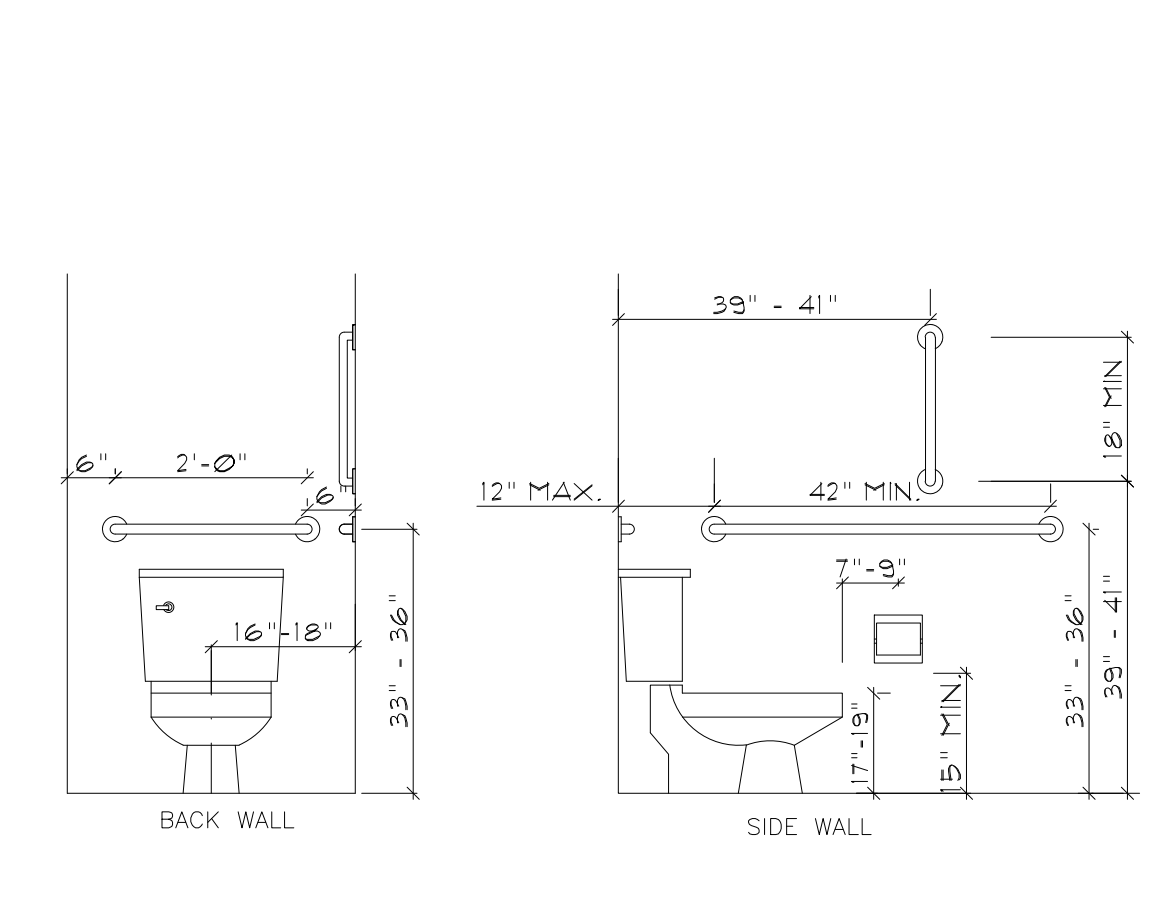
5 Grab Bar Blocking Detail  
 A-1.3 Scale: 1/2" = 1'-0"



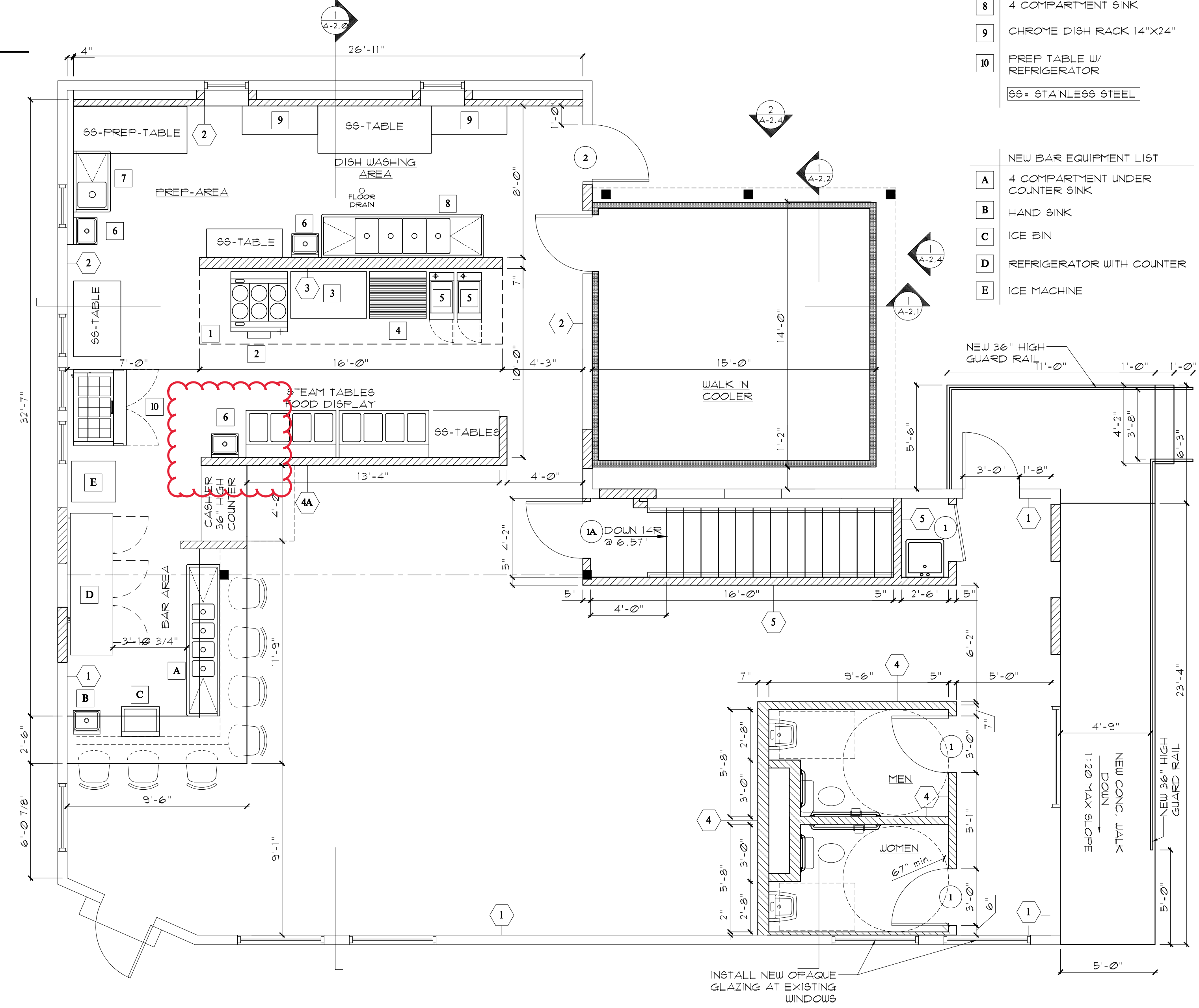
6 Sink Blocking Detail  
 A-1.3 Scale: 1/2" = 1'-0"



7 ADA Sink Detail  
 A-1.3 Scale: 1/2" = 1'-0"



8 ADA Toilet Detail  
 A-1.3 Scale: 1/2" = 1'-0"



1 New First Floor Plan  
 A-1.3 Scale: 1/4" = 1'-0"

Phone: 347-833-9762  
 Email: contact@aurumarchitectura.com  
 © COPYRIGHT 2026  
 UNAUTHORIZED USE IS PROHIBITED

PROPOSED NEW RESTAURANT  
 5632 W BURNHAM ST.  
 WEST ALLIS, WI

JOB NO: AU 2025-19

NO	DATE	DESCRIPTION
1	3/21/2026	STAIRS LANDING
		BATHROOM DIMENSIONS
		DOOR #2 CLEARANCE
		ADA WALK & STAIR DIMS.
2	3/31/2026	HAND SINK

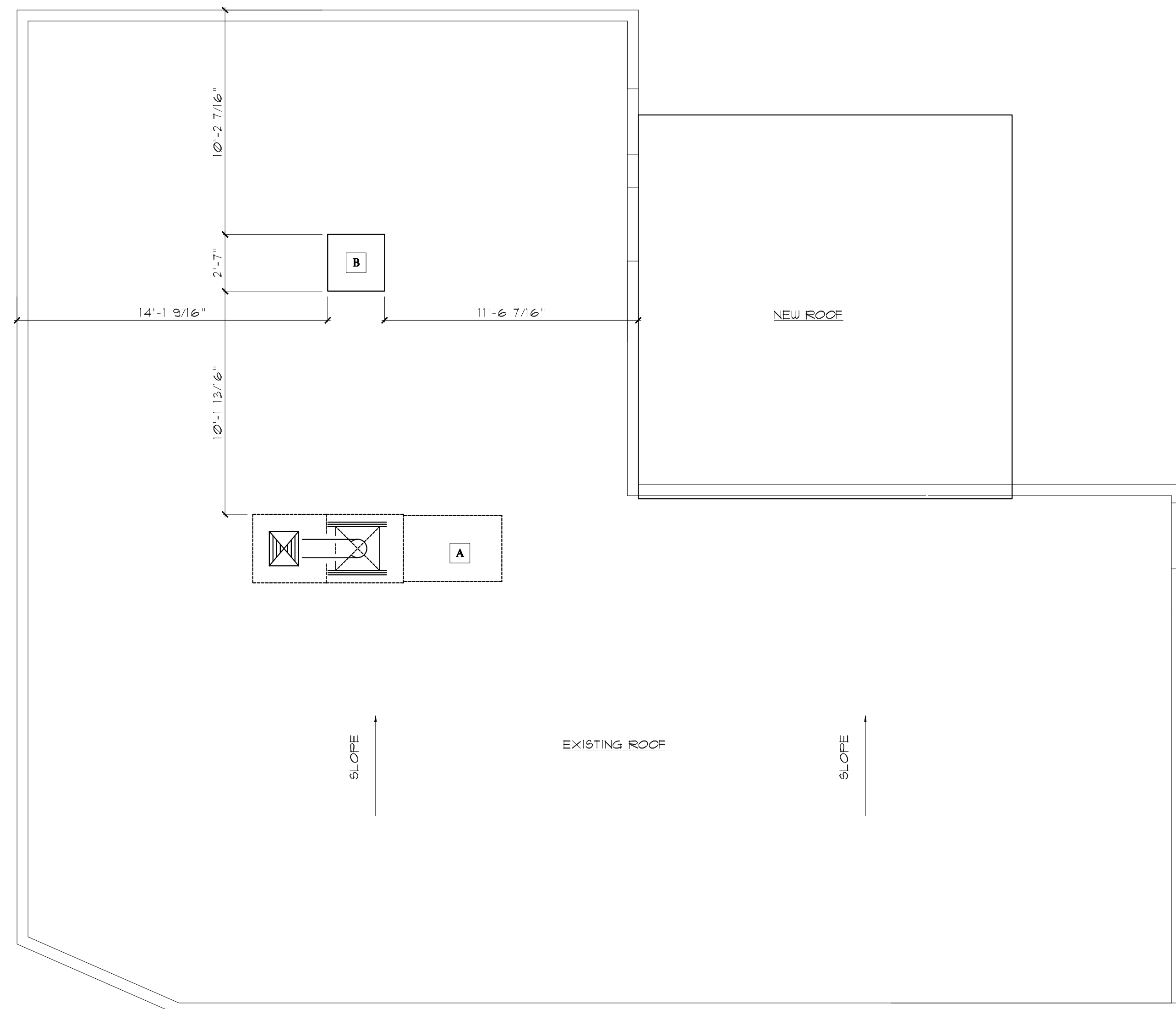
DATE: 03/02/2026  
 DRAWN BY: R.A.  
 SCALE: AS SHOWN

NOTE:  
- VERIFY ALL FINISHES WITH OWNER PRIOR TO INSTALLATION  
- USE VINYL COATED ACOUSTICAL CEILING TILE AT KITCHEN & RESTROOM W/ ALUMINUM GRID  
- ELECTRICAL/ LIGHTING ARE FOR REFERENCE ONLY. ELECTRICAL CONTRACTOR SHALL SUBMIT DOCUMENTATION, CALCULATION, DATA TO LOCAL AUTHORITIES FOR APPROVALS

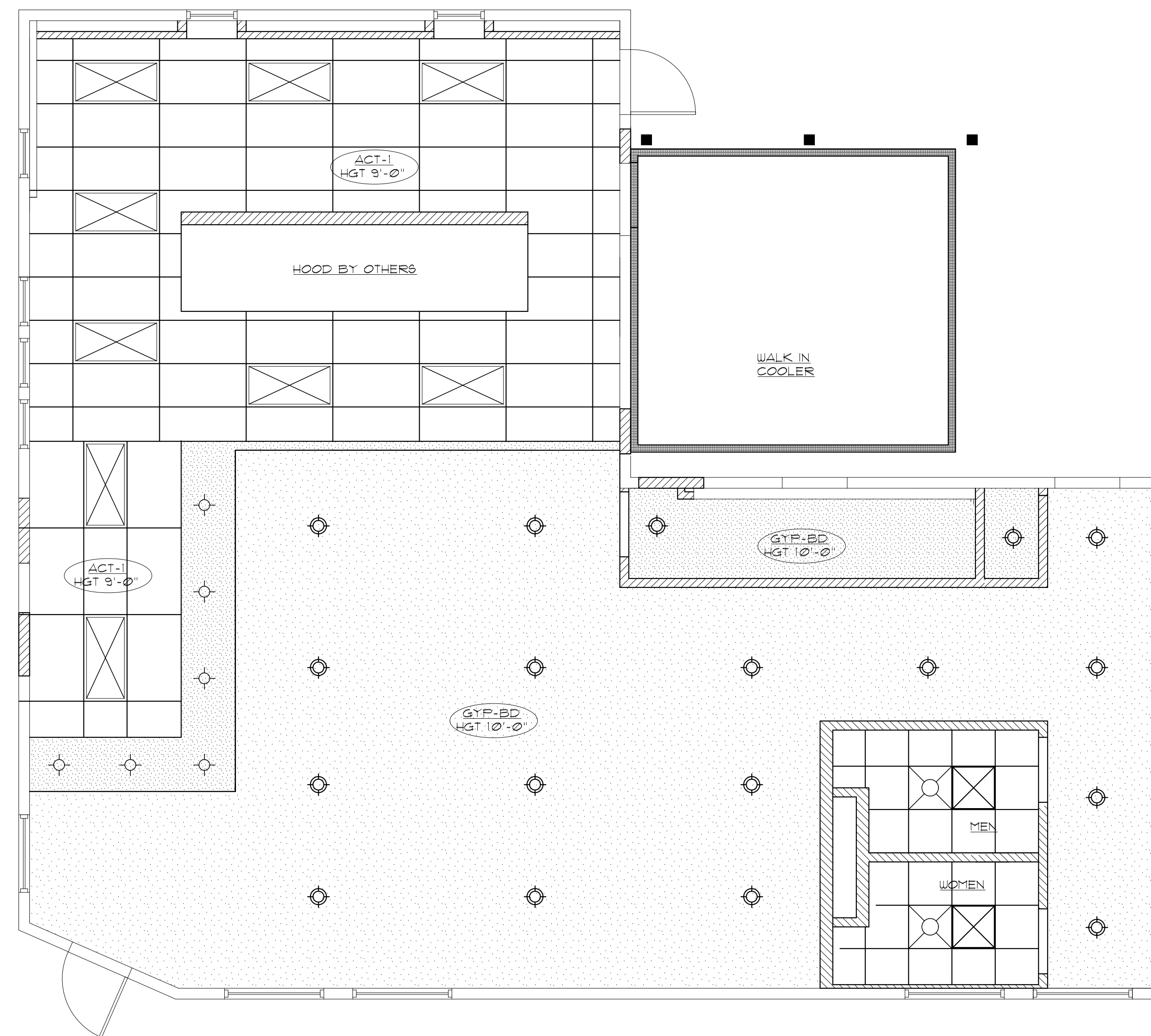
- RCP LEGEND
- PENDANT LIGHT FIXTURE
  - RECESSED LIGHT FIXTURE
  - 2X4 LIGHT FIXTURE
  - 2X2 LIGHT FIXTURE
  - 2X2 EXHAUST FAN
  - EXIT/ EMERGENCY LIGHT
  - 2X4 ACOUSTICAL CEILING TILE
  - 2X2 ACOUSTICAL CEILING TILE
  - GYPSUM BOARD

ROOF TOP EQUIPMENT	WEIGHT
<b>A</b> MAKE UP AIR UNIT:	800 LBS
MAU CURB:	100 LBS
<b>B</b> EXHAUST FAN:	350 LBS
EXHAUST FAN CURB:	50 LBS

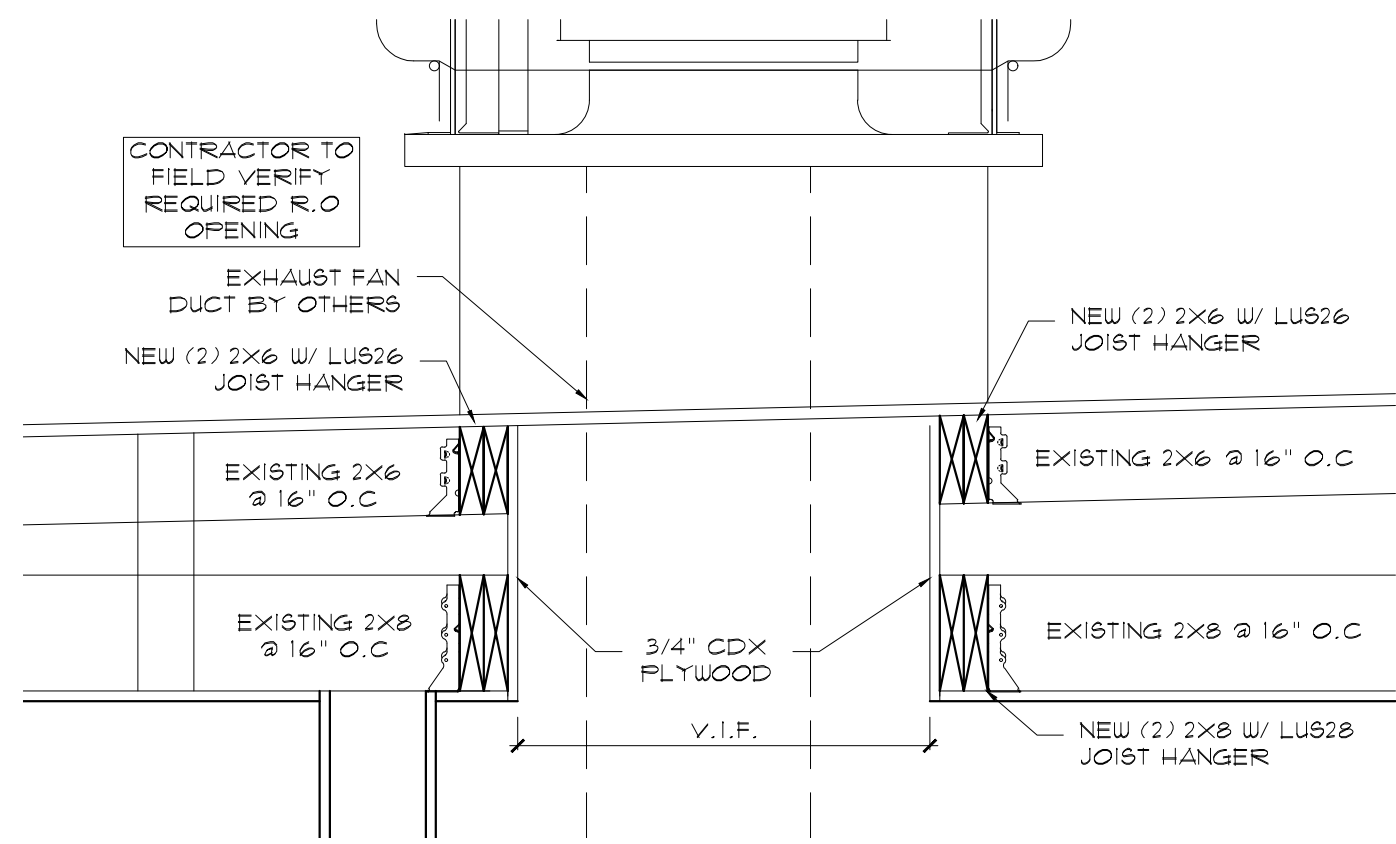
CONTRACTOR TO VERIFY ROOF TOP EQUIPMENT SIZE, WEIGHT AND QUANTITY.  
VERIFY EQUIPMENT DISTANCE AWAY FROM PROPERTY LINE & AIR INTAKE PER IMC 2021  
PROVIDE RAILING AS REQUIRED PER IMC 2021  
MECHANICAL CONTRACTOR SHALL SUBMIT DOCUMENTATION, CALCULATION, DATA TO LOCAL AUTHORITIES FOR APPROVALS



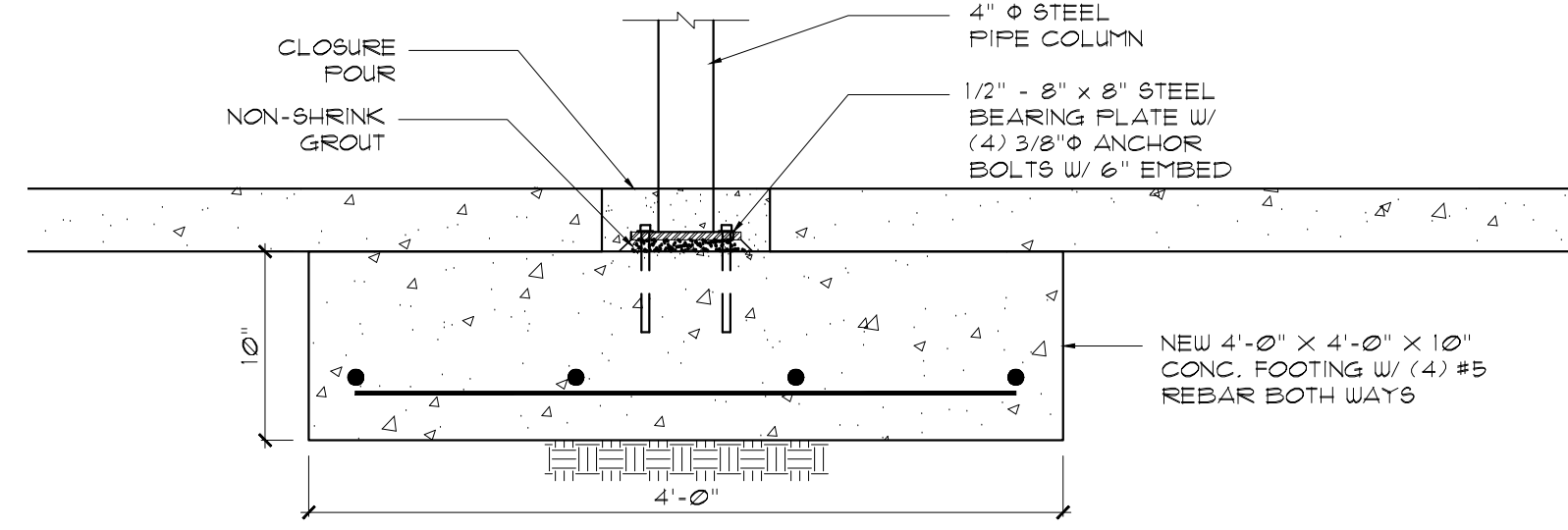
1 New Roof Plan  
A-1.4 Scale: 1/4" = 1'-0"



2 New Reflected Ceiling Plan  
A-1.4 Scale: 1/4" = 1'-0"



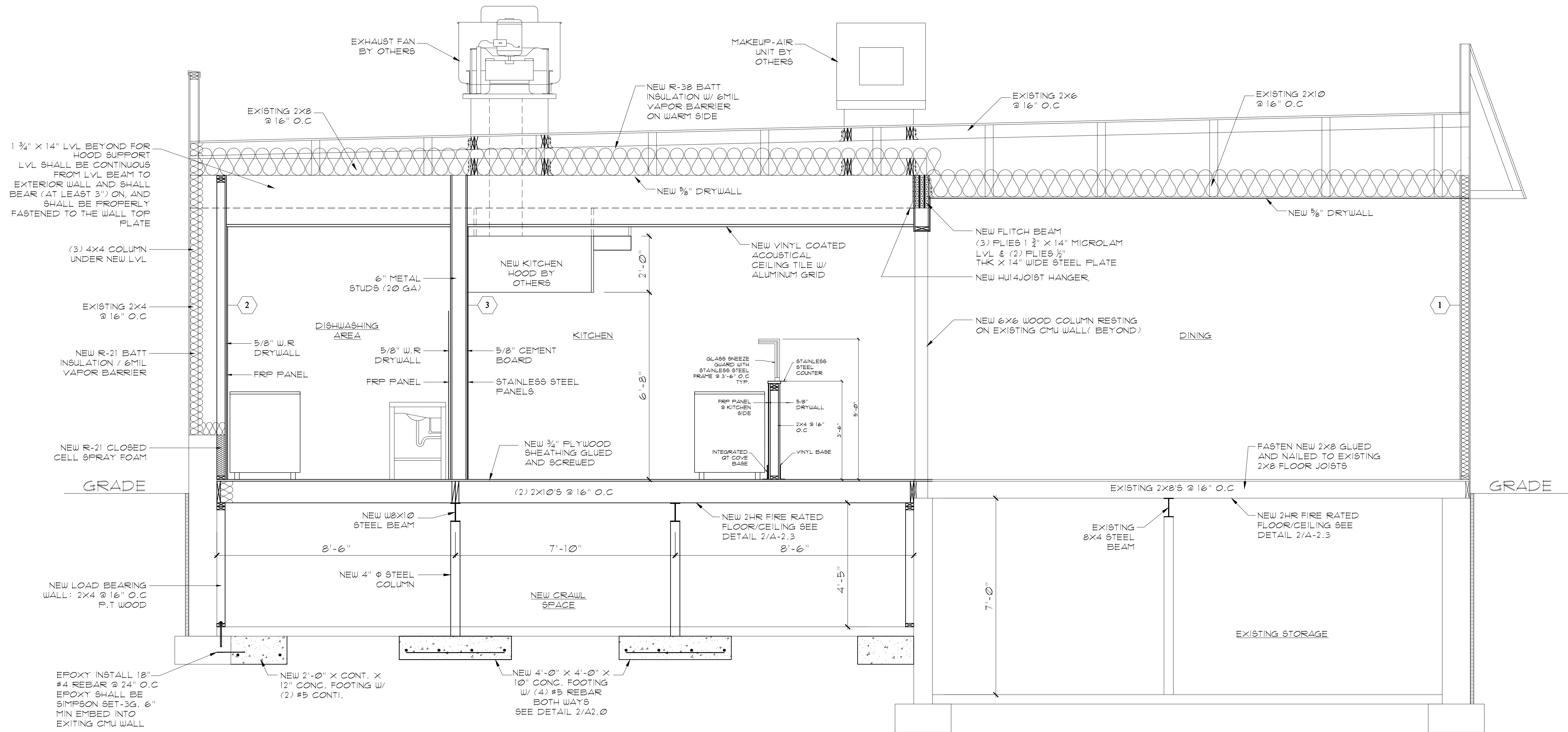
3 New Exhaust Fan/ MAU Duct Opening typ.  
A-2.0 Scale: 1" = 1'-0"



2 New Footing Detail  
A-2.0 Scale: 1" = 1'-0"

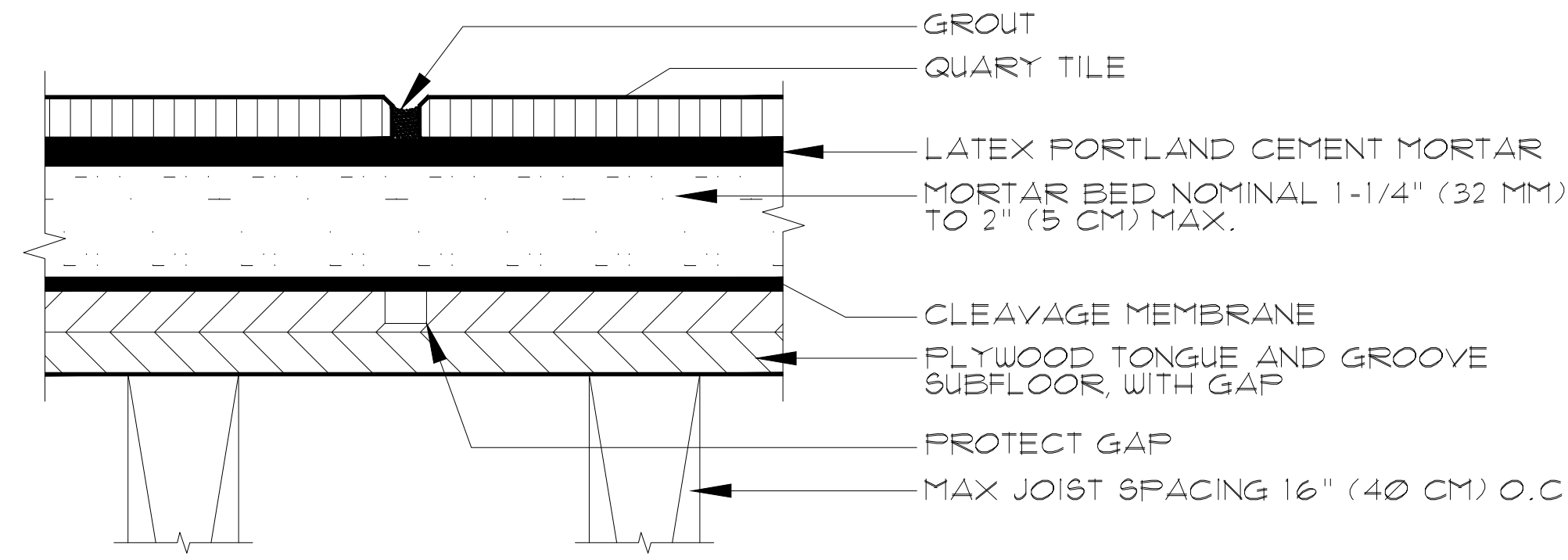
- PLUMBING NOTES**
- CAP WASTE VENT AND WATER PIPING WITHIN THE FLOOR AS REQUIRED FOR EXISTING FIXTURES TO BE REMOVED.
  - CONNECTION TO EXISTING WASTE, VENT AND WATER PIPING WITHIN THE WALL OR BELOW THE FLOOR AS REQUIRED.
  - PLUMBER TO COORDINATE CUTTING WITH GENERAL CONTRACTOR.
  - HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED TO PROTECT AGAINST CONTACT.
  - GENERAL CONTRACTOR TO PATCH AND REFINISH FLOORS, WALLS, AND CEILING TO MATCH EXISTING AND ADJACENT SURFACES.

- KEY NOTES**
- INSTALL NEW STAINLESS STEEL MIRROR @ 40" AFF
  - INSTALL NEW TOWEL DISPENSER @ 48" AFF
  - INSTALL NEW LAVATORY @ 34" AFF TO RIM AND INSTALL NEW SOAP DISPENSER @ 40" AFF
  - INSTALL NEW 3/6" GRAB BARS @ THE SIDES OF THE TOILET
  - INSTALL NEW TOILET PAPER DISPENSER @ 19" AFF
  - INSTALL NEW H.C TOILET @ 19" AFF TO THE RIM & @ 18" THE WALL
  - INSTALL NEW MECHANICAL EXHAUST IN TOILET ROOMS

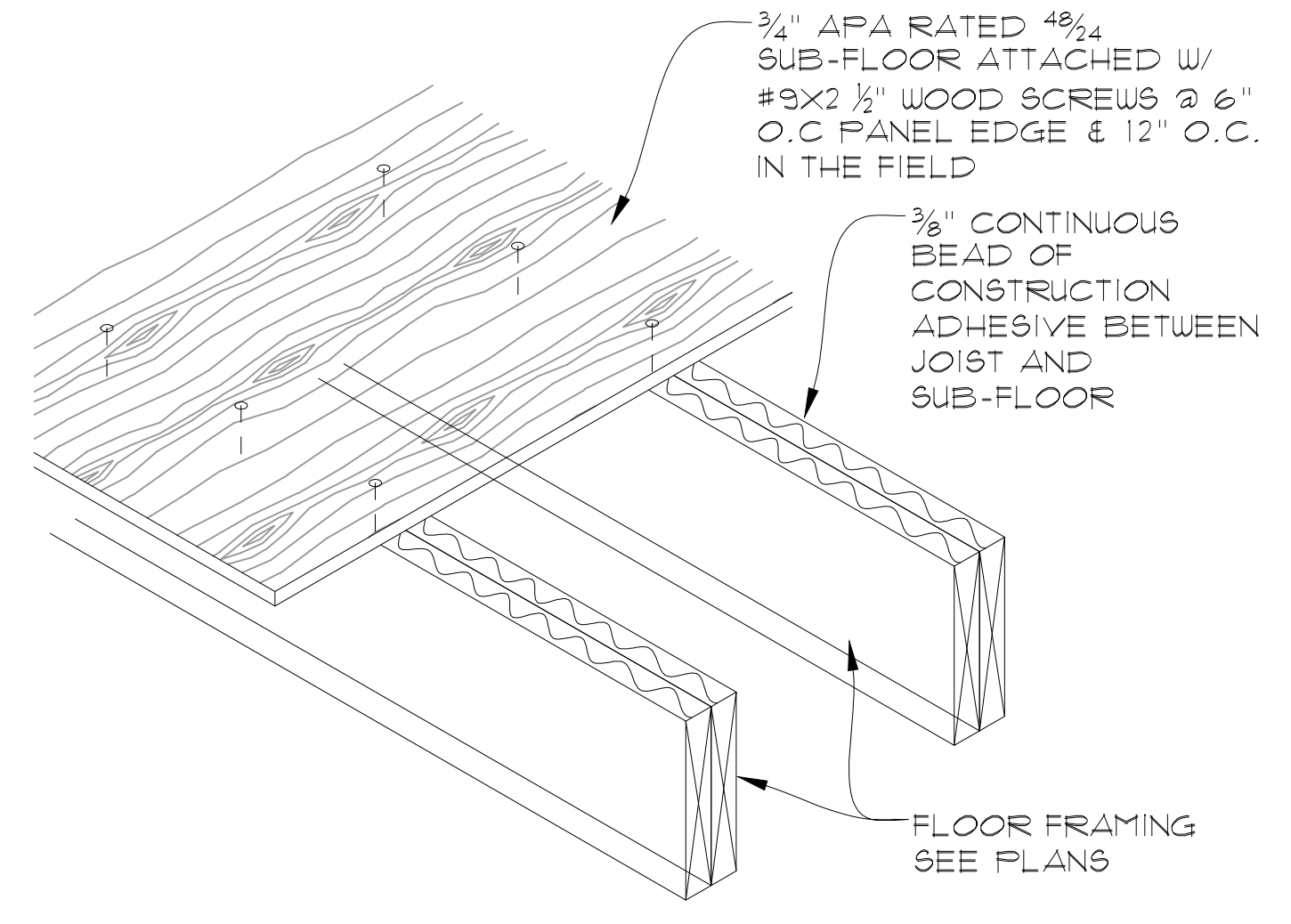


1 New Building Section  
A-2.0 Scale: 1/2" = 1'-0"

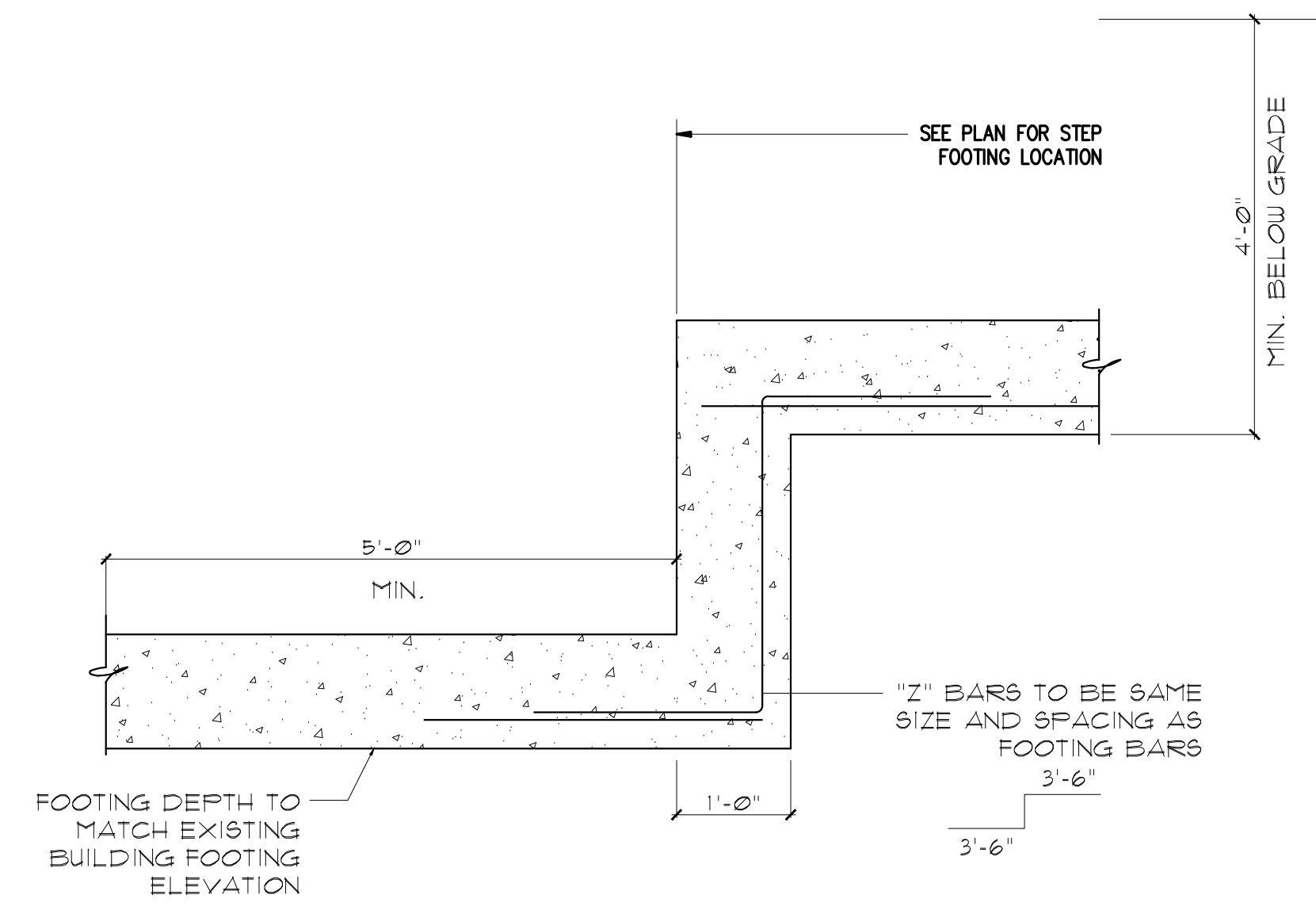
Revisions		
NO	DATE	DESCRIPTION



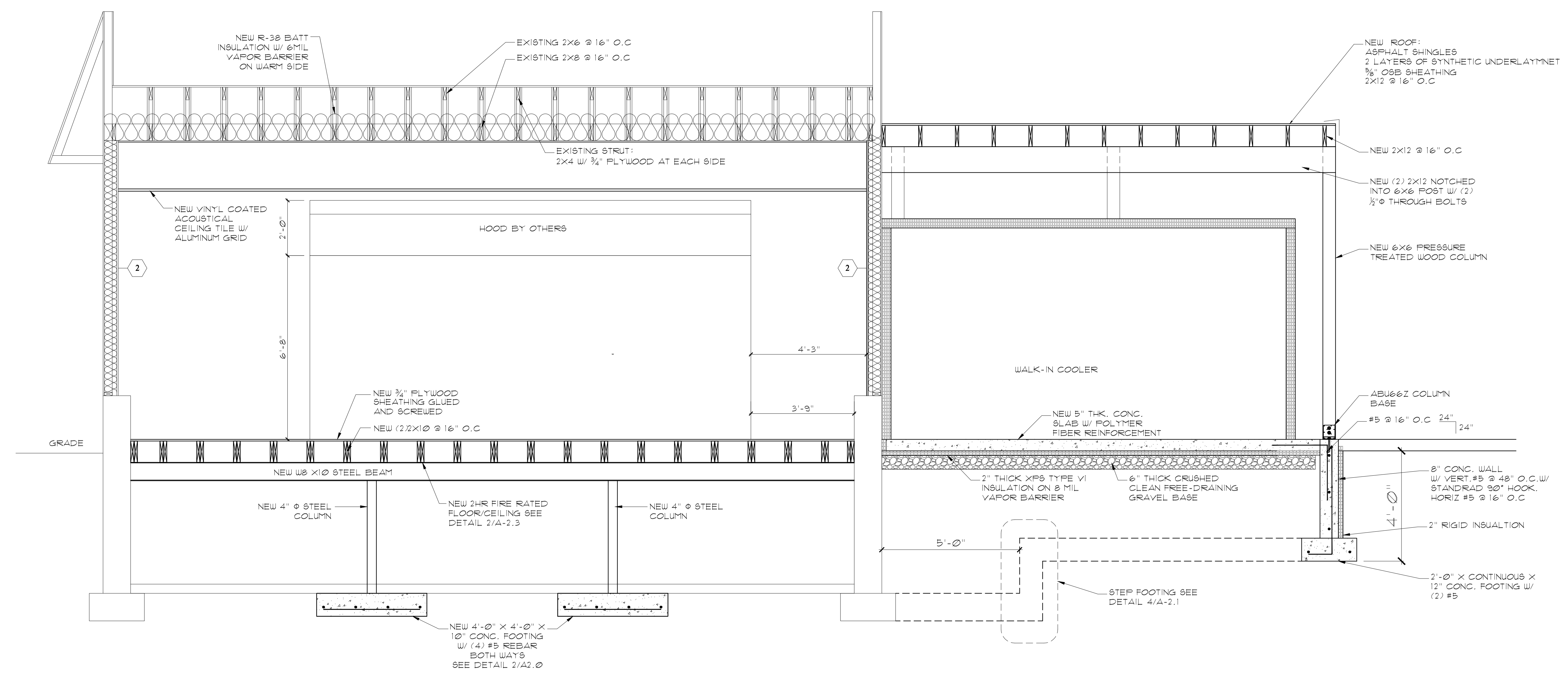
2 Floor Tile Detail  
A-2.1 Scale: n.t.s.



3 Sub-Floor Detail  
A-2.1 Scale: n.t.s.



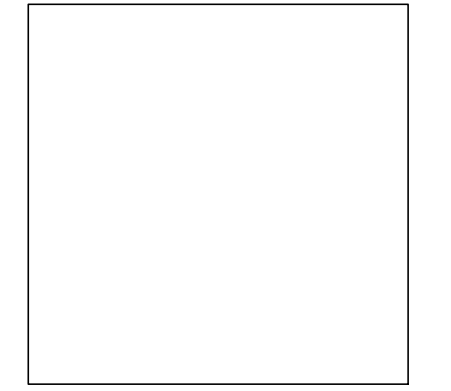
4 Step Footing Detail  
A-2.1 Scale: n.t.s.



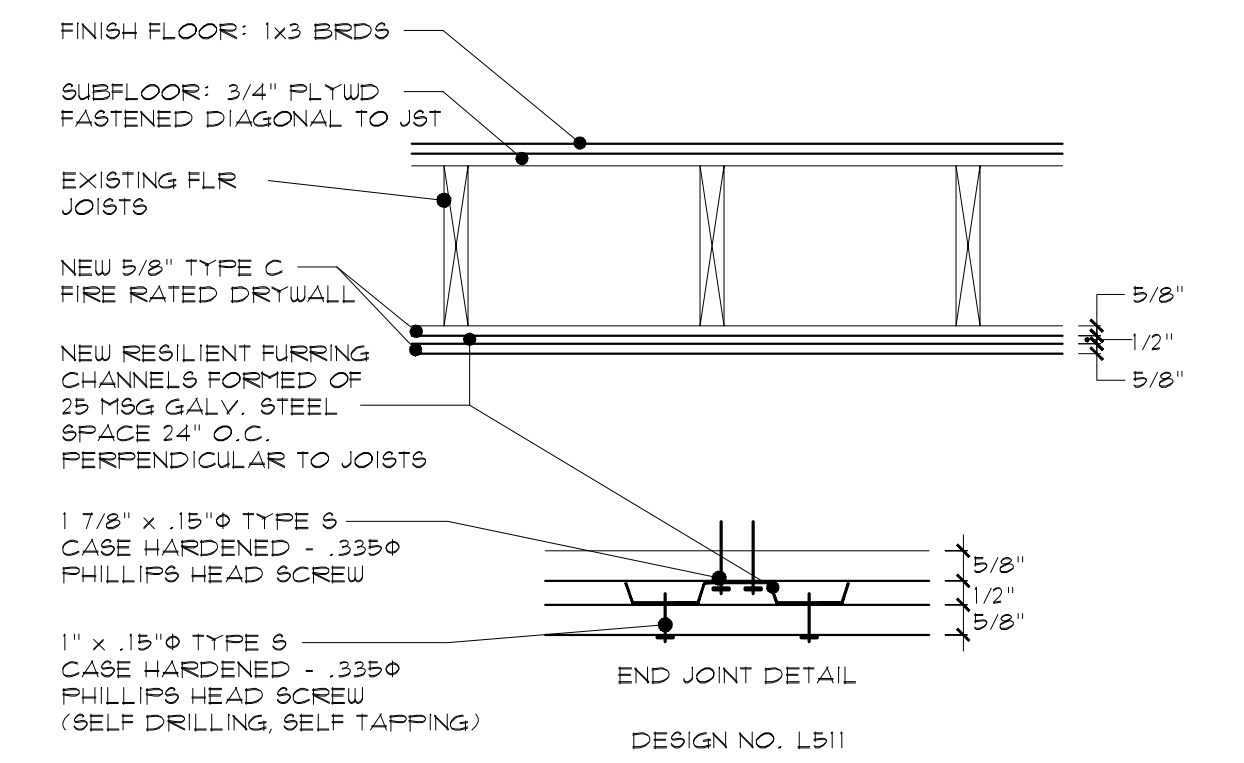
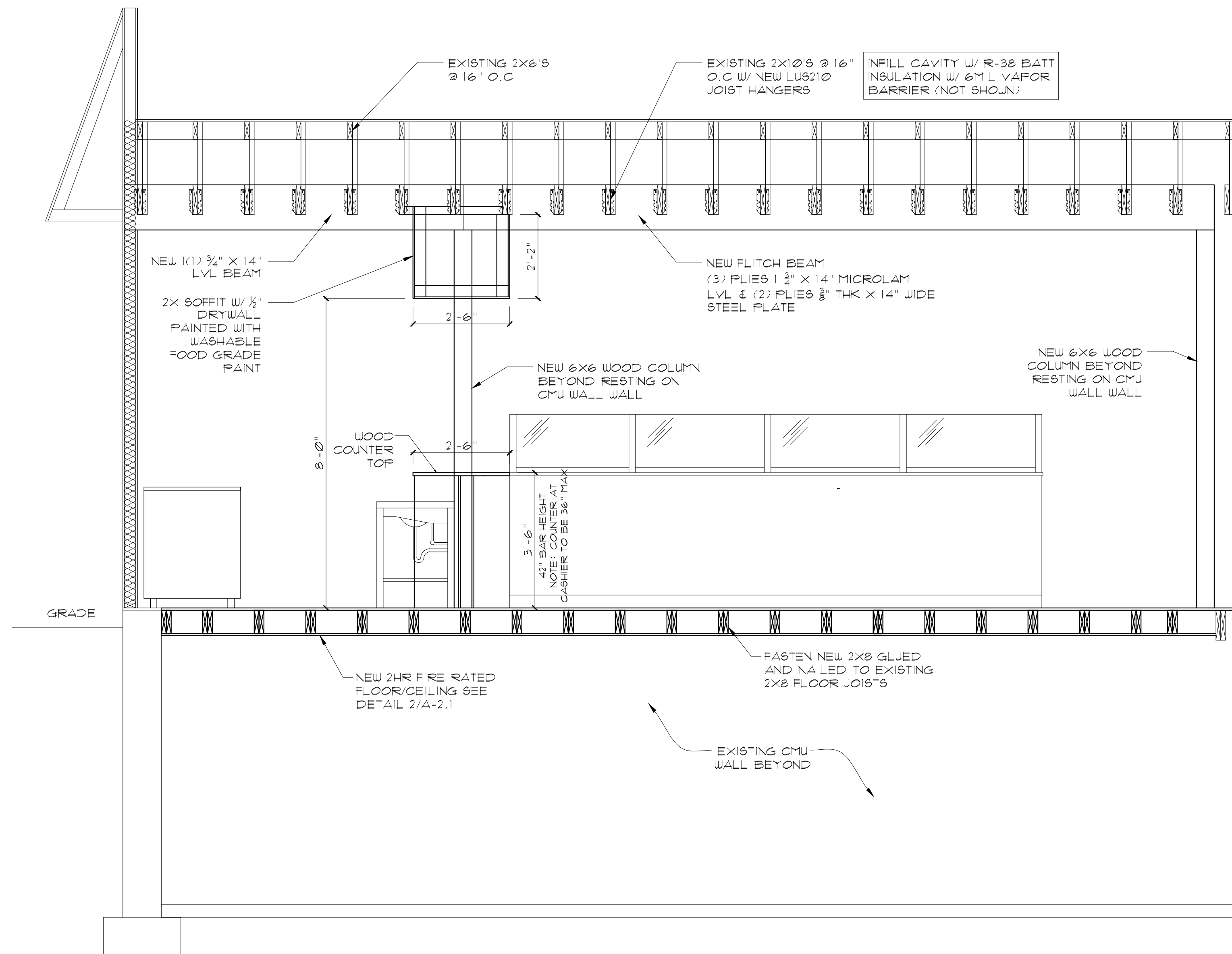
1 New Building Section  
A-2.1 Scale: 1/2" = 1'-0"

Revisions		
NO	DATE	DESCRIPTION





PROPOSED NEW RESTAURANT  
5632 W BURNHAM ST.  
WEST ALLIS, WI



2 2HR Fire Rated Floor/Ceiling  
A-2.3 Scale: 1" = 1'-0"

1 New Building Section  
A-2.3 Scale: 1/2" = 1'-0"

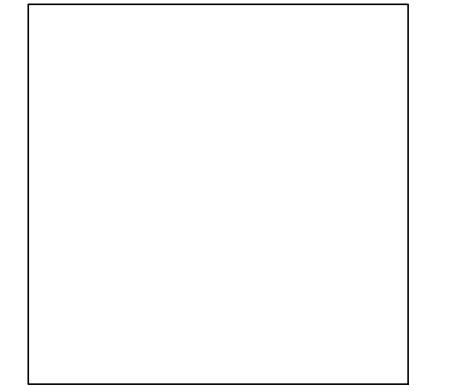
JOB NO: AU 2025-19

Revisions		
NO	DATE	DESCRIPTION

DATE: 03/02/2026

DRAWN BY: R.A.

SCALE: AS SHOWN



PROPOSED NEW RESTAURANT  
5632 W BURNHAM ST.  
WEST ALLIS, WI

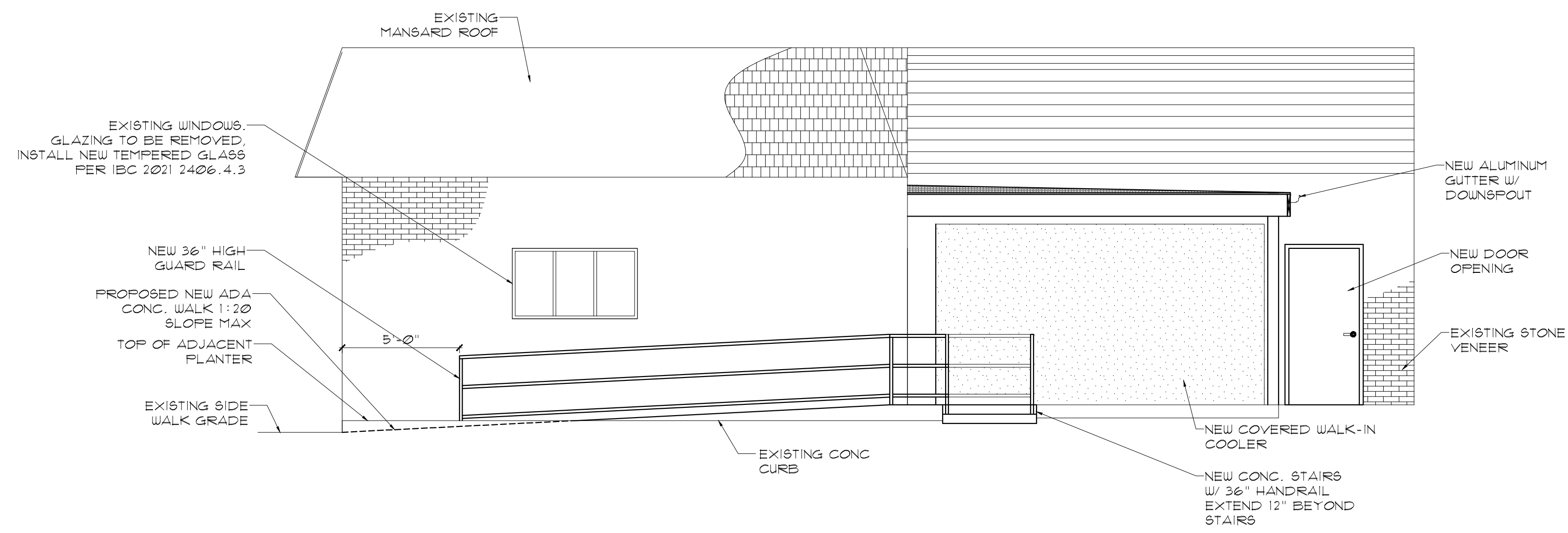
JOB NO: AU 2025-19

Revisions		
NO	DATE	DESCRIPTION

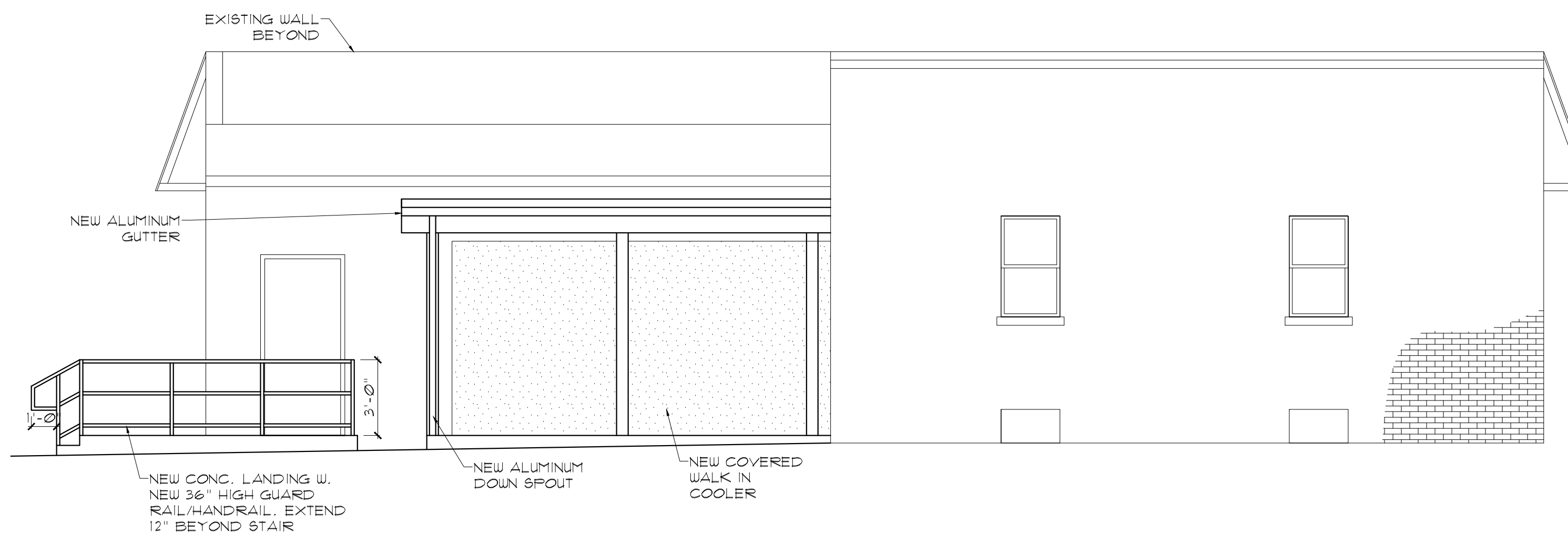
DATE: 03/19/2026

DRAWN BY: R.A.

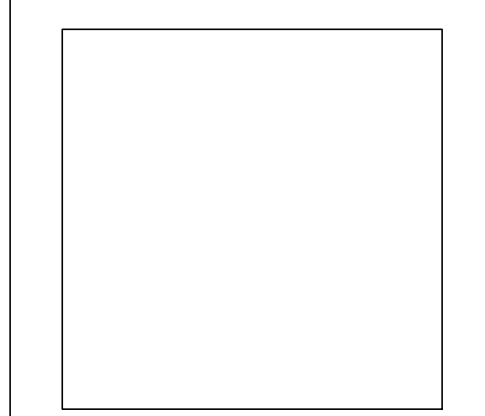
SCALE: AS SHOWN



1 **New East Elevation**  
A-2.4 Scale: 1/2" = 1'-0"



2 **New North Elevation**  
A-2.4 Scale: 1/4" = 1'-0"

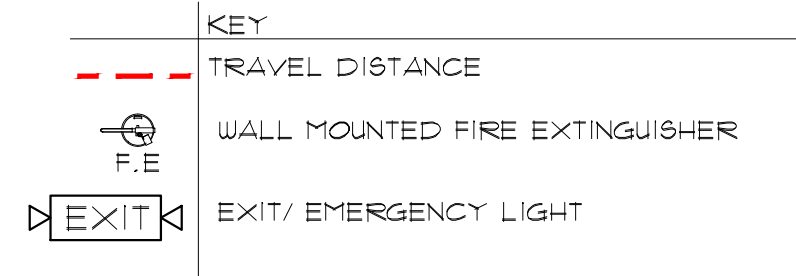


Revisions		
NO	DATE	DESCRIPTION

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:

CLASS A: FLAME SPREAD INDEX 0-25;  
SMOKE-DEVELOPED INDEX 0-450  
CLASS B: FLAME SPREAD INDEX 26-75;  
SMOKE-DEVELOPED INDEX 0-450  
CLASS C: FLAME SPREAD INDEX 76-200;  
SMOKE-DEVELOPED INDEX 0-450

NON-SPRINKLED			
GROUP	INTERIOR EXIT STAIR WAYS, RAMP AND EXIT ACCESS STAIRWAYS AND RAMP	CORRIDOR AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP	ROOM AND ENCLOSED SPACES
GROUP A-2:	CLASS A	CLASS A	CLASS B



PROVIDE LED, SELF-LUMINOUS, OR BATTERY-BACKED EXIT SIGNS MEETING IBC 2021 REQUIREMENTS, WITH RED OR GREEN LETTERS, AND CONTINUOUS ILLUMINATION DURING POWER OUTAGES.

PROVIDE EMERGENCY EGRESS LIGHTING THAT ILLUMINATES THE MEANS OF EGRESS PER IBC 2021 AND NFPA 101, WITH A MINIMUM ILLUMINATION OF 1 FOOT-CANDLE, POWERED BY AN EMERGENCY POWER SOURCE, AND OPERATING FOR AT LEAST 90 MINUTES DURING POWER OUTAGES.

FIRE EXTINGUISHER NOTE:  
KITCHEN AREA: CLASS K  
DINING AREA: MINIMUM 2-A: BC RATING

**BUILDING CODE SUMMARY**

**APPLICABLE CODES & STANDARDS:**  
2021 INTERNATIONAL BUILDING CODE (IBC) AS MODIFIED BY WI ADMIN CODE SPS362

**CONSTRUCTION TYPE:** V-B

**OCCUPANCY CLASSIFICATION:**

DESCRIPTION OF USE	OCCUPANCY CLASSIFICATION
RESTAURANT	GROUP-A-2

**ALLOWABLE BUILDING HEIGHT PER IBC 2021 TABLE 504.3 :**  
FOR GROUP A-2 CONSTRUCTION TYPE V-B, NOT SPRINKLED = 40 MAX. HEIGHT  
EXISTING BUILDING HEIGHT : 17'

**ALLOWABLE NUMBER OF STORIES PER IBC 2021 TABLE 504.4 :**  
FOR GROUP A-2, CONSTRUCTION TYPE V-B, NOT SPRINKLED = 1 STORY  
EXISTING BUILDING IS = 1 STORY

**ALLOWABLE AREA PER IBC 2021 TABLE 506.2 :**  
FOR GROUP A-2, CONSTRUCTION TYPE V-B, NOT SPRINKLED = 6,000 SQ.FT.  
EXISTING BUILDING GROSS AREA = 1,874 SQ.FT.

**OCCUPANCY BASED ON FLOOR AREA SQ.FT. (IBC 2021 1004.5)**

KITCHEN =	200 GROSS	512 SQFT (200 = 2.56 (3)
SEATING =	15 NET	600 SQFT (15 = 40)
BAR AREA =	7 NET	204 SQFT (7 = 29)

TOTAL OCCUPANTS: 72

**EXIT REQUIREMENTS PER IBC 2021 SECTION 10005**

FIRST FLOOR  
NORTH EAST- EXIT #1 - 34" CLEAR WIDTH  
EAST- EXIT #2 - 34" CLEAR WIDTH  
SOUTH WEST- EXIT #3 - 34" CLEAR WIDTH

1005.3.2:  
72 OCCUPANTS X 0.2 = 14.4" (32" CLEAR WIDTH MINIMUM REQUIRED)  
(102' / 2 = 510 OCCUPANTS  
DOORS CAN HANDLE A CAPACITY OF 510 OCCUPANTS)

PER TABLE 1006.3 (FIRST FLOOR):  
OCCUPANT LOAD PER STORY 1:500; MINIMUM 2 EXITS REQUIRED.

PER TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE:  
OCCUPANCY B: 200 FEET WITH OUT SPRINKLER SYSTEM

PROVIDED:  
FIRST FLOOR: 3 EXIT DOORS PROVIDED  
EACH DOOR MEET REQUIRED WIDTH (32" MIN.)  
TRAVEL DISTANCE DOES NOT EXCEED 200 FEET

**PLUMBING FIXTURES REQUIRED PER IBC 2021 TABLE 2902.1**

OCCUPANT LOAD 72

GROUP A-2 REQUIRED PLUMBING FIXTURES:

WC:	1 PER 75
Lavatories:	1 PER 200
Service Sink:	1

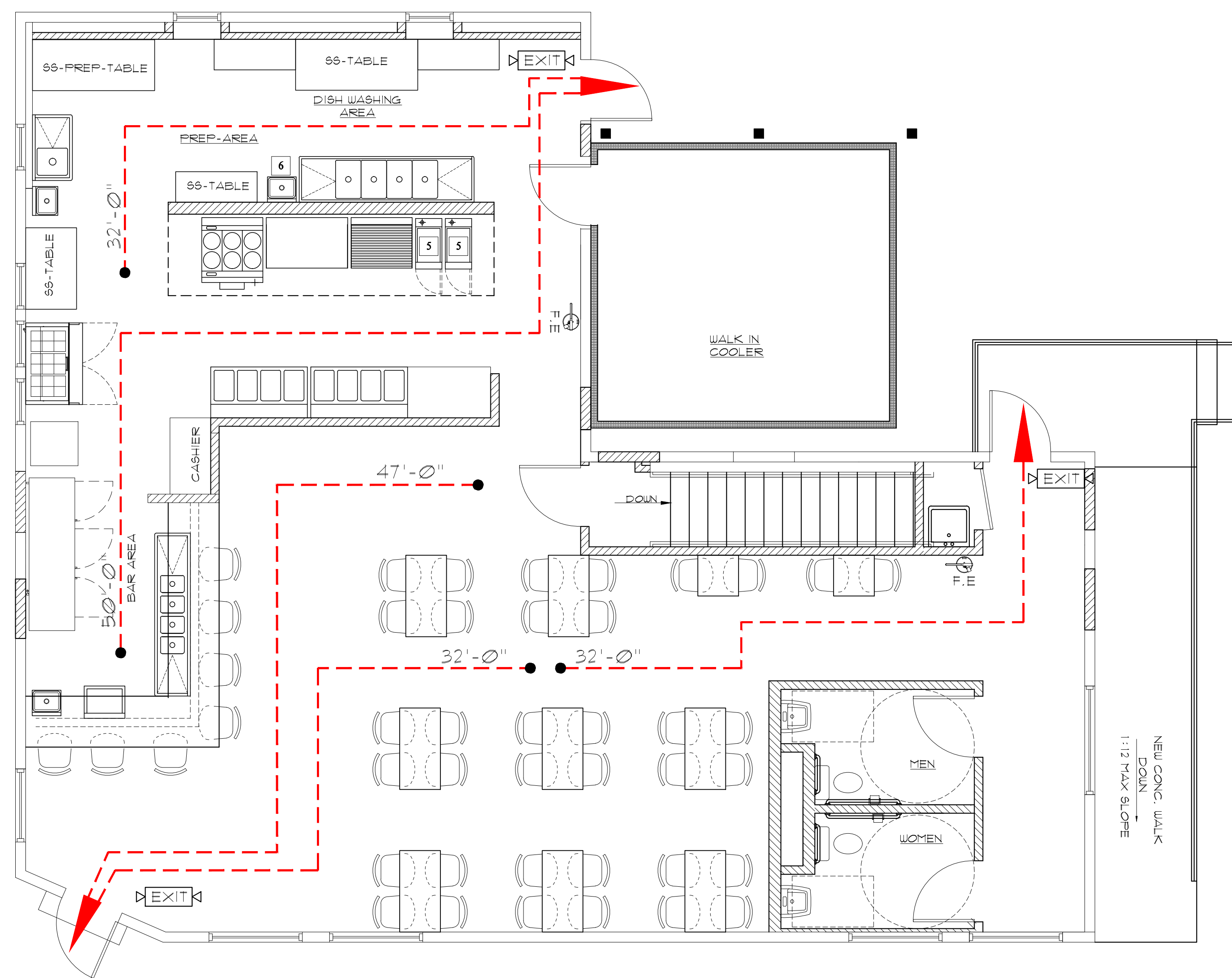
Calculate Fixtures for Group A-2 (72 occupants)

Fixture	Calculation	Required Fixtures
WC	3675 ÷ 481	1 (MALE) 1(FEMALE)
Lavatories	72 / 200 = 36	1

IBC 2902.2 SEPARATE FACILITIES:  
SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

**PLUMBING FIXTURES PROVIDED**

- 2 ADA WATER CLOSETS
- 2 ADA LAVATORIES
- GLASS OF WATER WILL BE PROVIDED TO CUSTOMERS UPON REQUEST
- 1 SERVICE SINK IS PROVIDED



1 Life Safety Plan  
A-3.0 Scale: 1/4" = 1'-0"



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
 Wednesday, April 22, 2026  
 6:00 PM, Room 128

- 5A. **Conditional Use Permit for The Tennyson, a proposed Event Space (5,000 or more sq. ft.) use, at 6601 W. National Ave.**
  
- 5B. **Site, Landscaping, and Architectural Design Review for The Tennyson, a proposed Event Space (5,000 or more sq. ft.) use, at 6601 W. National Ave. (Tax Key No. 454-9005-000)**

**Overview and Zoning**

The subject property is part of the Makers Row development located at 6600 W. National Avenue. The development was constructed in 2023 following approval of a comprehensive site and landscaping plan in 2022, which established the overall layout, circulation, and exterior design standards for the site.

The applicant is proposing to occupy a portion of Building C with “The Tennyson,” a private event venue. The Tennyson is operated by [Antigua](#), a restaurant located at 6207 W. National Ave. As proposed, the use would occupy a large interior space exceeding 5,000 square feet, which classifies it as a Conditional Use within the C-3 zoning district.

The proposal includes modifications to the previously approved site plan, specifically related to outdoor patio space and associated landscaping.

Hours of Operation are broken down into different event types.

Day	Event Type	Event Hours
Monday – Thursday	Corporate/Professional Events.	7:00 a.m. – 10:00 p.m.
Friday	Corporate or Private Events	8:00 a.m. – 12:00 a.m.
Saturday	Private Social Events	10:00 a.m. – 12:00 a.m.
Sunday	Private Social Events	10:00 a.m. – 10:00 p.m.



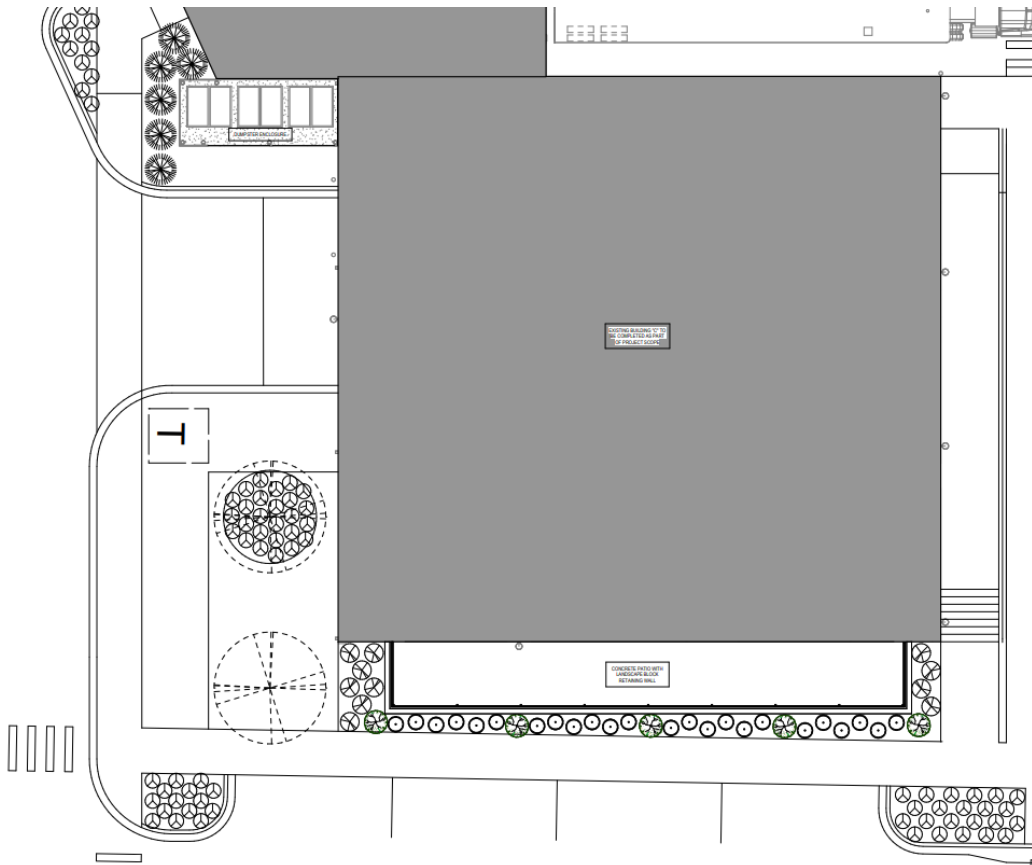
## Site & Landscaping Plan

The overall Makers Row site was previously approved, however, the proposal includes modifications to Building C's site, including:

- Construction of a new outdoor patio on the south side of the building
- Installation of retaining walls, guardrails, and landscaping enhancements
- Minor façade improvements including canopy and storefront adjustments

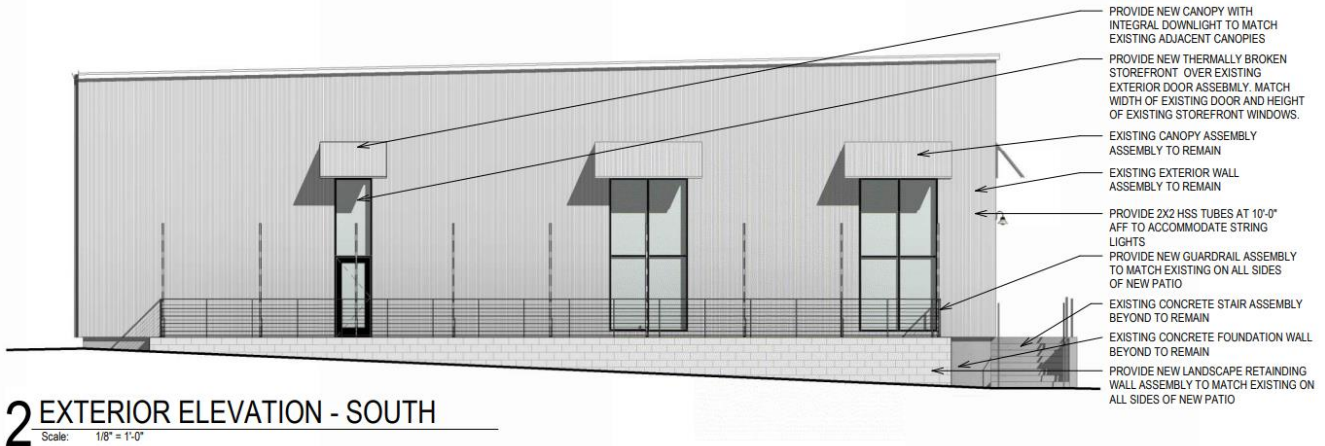
The patio is intended as an accessory space for event guests and will not include outdoor live music. Landscaping has been updated to reflect the inclusion of the new patio. Lining the new patio is a mix of Palm Sedge, Switch Grass, and St. John's Wort. Buffering the rear of the building is Crimson Spire Oak, Spartan Juniper, and Prairie Dropseed.

Parking is existing off-street and on-street to support the business. The business intends to have clients received advance parking guidelines to direct guest flow and reduce congestion as needed.



## Architectural Plan

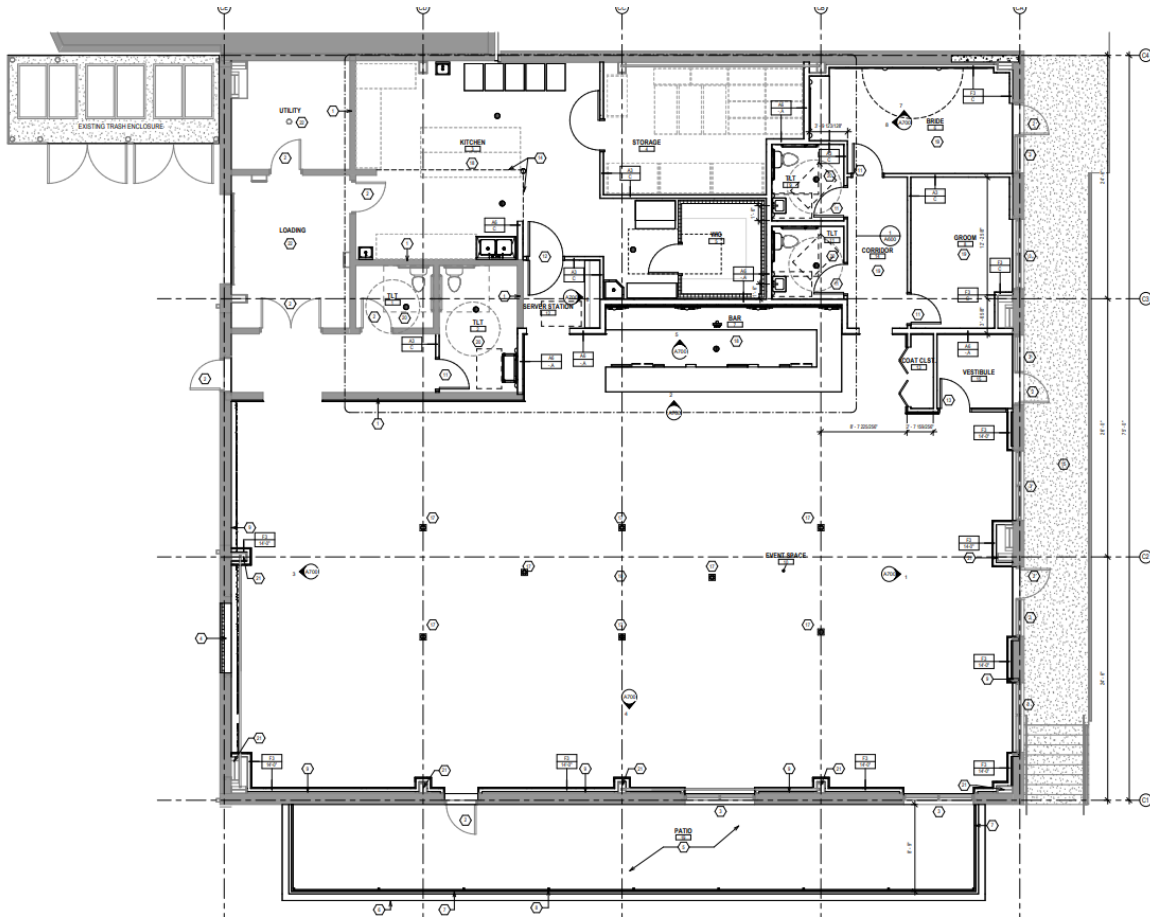
The applicant is proposing minor modifications to the existing building. Changes are proposed on the south façade with installation of a new canopy with integrated downlighting, designed to match the style and proportions of existing canopies on the building façade. There is also addition of a thermally broken storefront system at the existing exterior door location, aligning with the height of the existing storefront windows. Details are shown for the new patio as well. The patio will utilize metal guardrail consistent with existing railing details and landscape block retaining walls to match existing materials. Also for the patio is installation of vertical steel posts for overhead string/café lighting for the patio area.



## Floor Plan

The submitted floor plan shows the built-out interior of the building. The main entrance is located off of 66<sup>th</sup> St. Multiple doors lead into the large, open event space. Within the event space is a counter bar and corridors leading to rooms that support the events. A corridor on the east side of the building leads to a dressing rooms for the bride & groom, along with restrooms. Behind the bar is a servers station that leads directly into a kitchen area complete with storage and a walk in

cooler. The kitchen leads into more supportive rooms such as loading and utility. Two additional restrooms are located near the loading room.



### Design Guidelines

This building was approved previously as part of the Makers Row development. The tenant improvements/changes proposed may be considered as a minor change and therefore the Design guidelines checklist is not included.

**Recommendation:** Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for The Tennyson, a proposed Event Space (5,000 or more sq. ft.) use, at 6601 W. National Ave. (Tax Key No. 454-9005-000)

(Items 1-4 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for May 19, 2026)
2. A revised site plan being submitted to show two outdoor bicycle racks in accordance with [WAMC 19.44](#)
3. Scope of work being indicated on signage and lighting. A signage permit will be required with the Planning & Zoning Department.
4. Any concrete work done in the City Right of Way will require a [Permit](#) from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.
5. Building permits being applied for with the Code Enforcement Department for review.



**Record No:  
PLAN-26-25**

Planning Application

Status: Active

Submitted On: 4/7/2026

**Primary Location**

6601 W NATIONAL AVE  
West Allis, WI 53214

**Owner**

Makers Row QOZB, LLC  
330 E Kilbourn Ave Suite  
600 S Milwaukee, WI,  
53202

**Applicant**

daniel beyer  
 414-403-1025  
 dan@danbeyerarchitects.com  
 507 S 2nd Street  
Suite 125  
Milwaukee, Wisconsin 53204

---

## PLANNING & ZONING APPLICATION

**Contact the Planning & Zoning Department with any questions. Thank you.**

**[planning@westalliswi.gov](mailto:planning@westalliswi.gov)**

---

## PLAN COMMISSION APPLICATION REQUIREMENTS

In order to be placed on the Plan Commission agenda, Planning & Zoning **MUST** receive the following by the last Friday of the month, prior to the month of the Plan Commission meeting:

- Completed OpenGov application
  - Application Fees
  - Project Description
  - Set of plans attached to this application
- 

## TYPE OF APPLICANT

Type of Applicant\*

I represent the property owner

---

# APPLICATION TYPES

Choose which process you are applying for. \*

Conditional Use

**Conditional Uses require a public hearing. Other requirements include site, landscaping and architectural plan review.**

**Choose from the dropdown the total value of your project.**

Conditional Use - Site, Landscaping, Architectural Design Review \*

Site, Landscaping, Architectural Design Review\* 

Level 2: Project Cost \$5,000+ (Fee \$525)

Level 2: Project Cost \$5,000+ (Fee \$525)

Business/Project Name\*

Will you be selling alcohol?\*

The Tennyson

Yes

Will you be selling or serving food?\*

Yes

***Selling alcohol in the City of West Allis requires a license. Apply for an Alcohol Beverage Retail License through the City's online application:***

Alcohol Beverage Retail License application

***Breweries are licensed by the Wisconsin Department of Revenue and do not require a local license. Please click on the link below to go to their website for more information.***

WI DOR Breweries Fact Sheet

***Selling food in the City of West Allis requires a license. Apply for a Food License through the City's online application:***

Food License application

**Will the existing use of the building change?\***

No

**Are new buildings/and or structures being constructed as part of this project?\***

No

---

**Notice Regarding Building Permits and Plan Reviews**

**Have you reached out to the Code Enforcement Department?\***

No, I have not contacted them yet.

# MAKER'S ROW - THE TENNYSON BUILD OUT EXTERIOR IMPROVEMENTS

## PLAN COMMISSION

04/08/2026

DBA PROJECT # 2508-002

TENANT:  
ANTIGUA  
6207 WEST NATIONAL AVE  
WEST ALLIS, WI 53214

OWNER:  
MANDEL GROUP

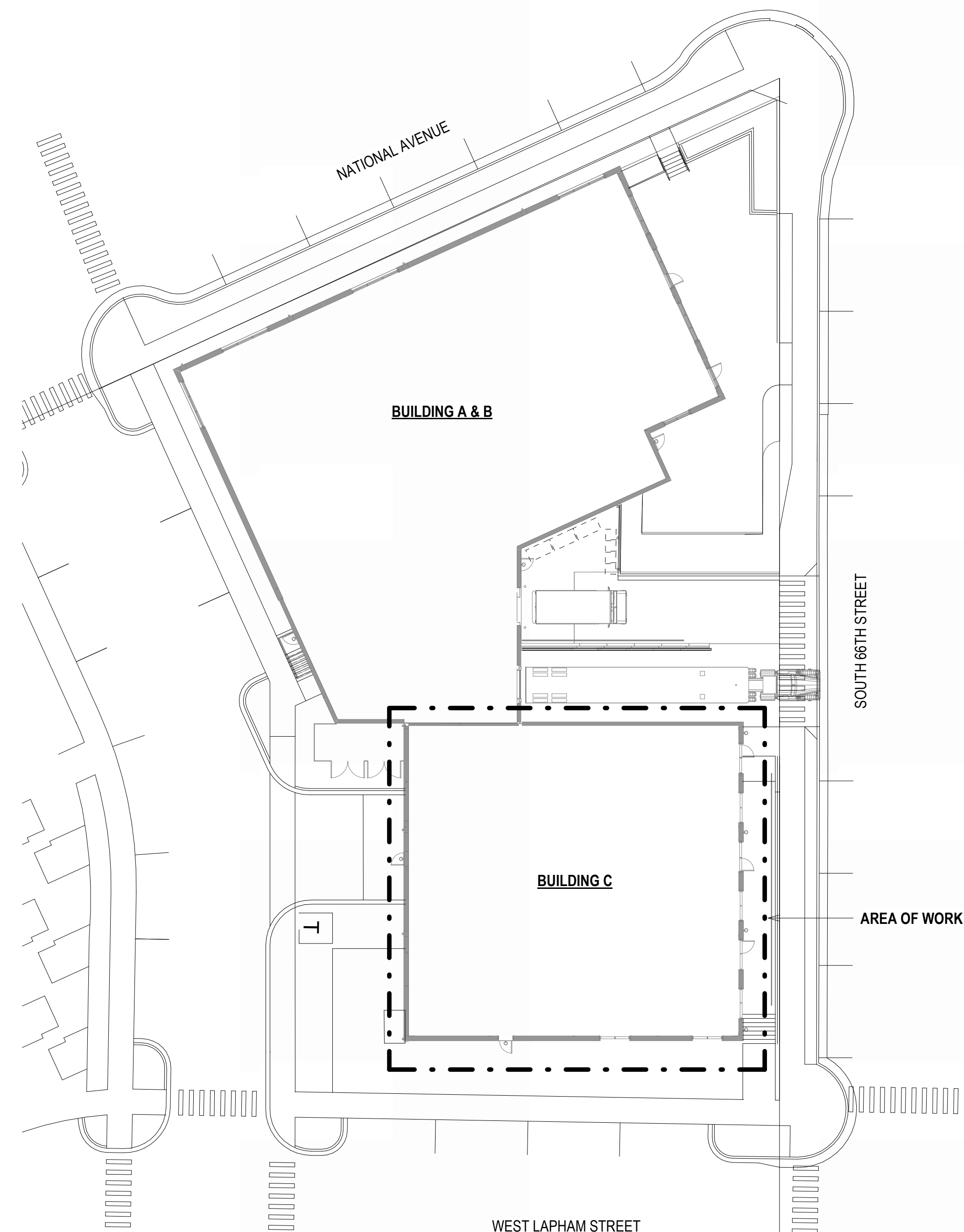
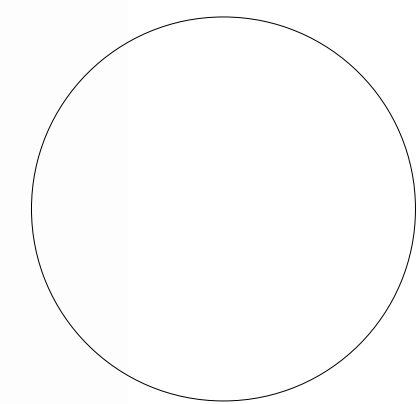
CONTACT: ROBERT MONNAT  
330 E KILBOURN AVE  
MILWAUKEE, WI 53204

ARCHITECT:  
DAN BEYER ARCHITECTS

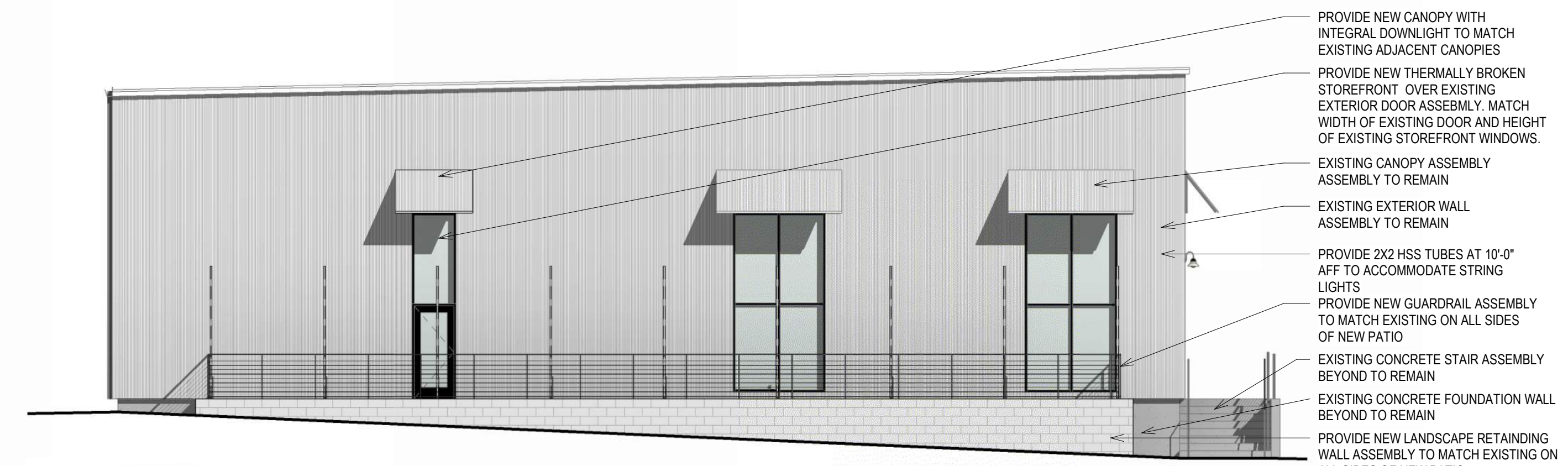
CONTACT: DANIEL BEYER  
507 S. 2ND STREET, SUITE 125  
MILWAUKEE, WI 53204  
TEL. (414) 239-8267

**SHEET INDEX**

T000	TITLE SHEET
CIVIL	SITE PLAN
ARCHITECTURAL	ARCHITECTURAL SITE PLAN
A200	NEW WORK PLAN



**1 EXISTING SITE**  
Scale: 3/64" = 1'-0"



**2 EXTERIOR ELEVATION - SOUTH**  
Scale: 1/8" = 1'-0"



**VIEW 01**

RENDERING IS ONLY TO GIVE GENERAL DESIGN INTENT ONLY AND MAY NOT REPRESENT FINAL DESIGN



**VIEW 02**

RENDERING IS ONLY TO GIVE GENERAL DESIGN INTENT ONLY AND MAY NOT REPRESENT FINAL DESIGN

DAN BEYER ARCHITECTS  
507 S. 2ND STREET, STE 125  
MILWAUKEE WI, 53204  
414-239-8267

CONSULTANTS:

**NOT FOR CONSTRUCTION**  
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

MAKER'S ROW - THE TENNYSON BUILD OUT  
EXTERIOR IMPROVEMENTS  
6800 WEST NATIONAL AVENUE  
WEST ALLIS, WISCONSIN

SHEET TITLE  
TITLE SHEET

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE	VARIABLES
PROJECT NUMBER	2508-002
SET TYPE	PLAN COMMISSION
DATE ISSUED	04/08/2026
SHEET NUMBER	<b>T000</b>







## MEMORANDUM

PROJECT: Makers' Row, Tennyson Buildout  
SUBJECT: Plan Commission Application Information  
PROJECT NO.: 2603-005  
DATE: February 7, 2026

We request that the above-mentioned project be placed on the agenda for the Agenda of the April 22<sup>nd</sup> Plan Commission Meeting and be reviewed for a Conditional Use as well as for modifications and additional improvements to the exterior design of Building C at Makers' Row.

### CONDITIONAL USE

Please see attached Plan of Operation from the owners of The Tennyson

### EXTERIOR IMPROVEMENTS

The improvements to the exterior include the following:

- The addition of a new exterior patio on the south side of the building. This patio will be used by The Tennyson's guests during events and will allow their guests to get some fresh air on nice days and nights and will also allow The Tennyson to flip the room if dining service is provided. There is no plan for outdoor live music on the patio.
- The patio will be lit by string lights / café lights at night.
- As part of the inclusion of the patio, we are modifying the south door on the exterior façade by enlarging the transom light above the door so that the opening height matches the height of the other window openings on this façade.
- Finally, the landscaping area where the patio is being placed will be modified as indicated in the drawings.

Upon approval of the project from Plan Commission, the team will begin working on creating the Permit Drawings for the project. We would expect drawings to be submitted sometime in late summer 2026, early fall 2026.

END OF MEMORANDUM



## **Proposed Operating Hours & Operational Commitments**

The Tennyson by Antigua | West Allis, WI

The Tennyson by Antigua will operate as a private, reservation-only event venue. It will not be open to the public, and it will not operate as a bar or nightclub.

All events will be pre-scheduled, time-limited, and supervised on-site.

### **Event Focus by Day**

*Weekday Operations | Monday - Thursday*

Weekday use will focus primarily on corporate and professional events:

- Business meetings and training
- Corporate luncheons and dinners
- Corporate galas and fundraisers
- Educational seminars and conferences

Weekday events end earlier in the evening.

*Weekend Operations | Friday - Sunday*

On the weekends, the venue will focus on hosting social events:

- Wedding Receptions
- Quinceaneras
- Anniversaries and milestone celebrations
- School celebrations – graduations, prom, etc.

All weekend events will remain pre-scheduled, staffed, and supervised, with clearly defined start and end times.



**Proposed Operating Hours**

Events will operate with approved hours, with all activities concluding no later than midnight, and most events ending earlier.

Day	Event Type	Event Hours (Latest End Time)
Monday – Thursday	Corporate / Professional Events	7:00 AM – 10:00 PM
Friday	Corporate or Private Events	8:00 AM – 12:00 AM (Midnight)
Saturday	Private Social Events	10:00 AM – 12:00 AM (Midnight)
Sunday	Private Social Events	10:00 AM – 10:00 PM

Setup and breakdown will be managed with scheduled event windows to minimize impact on surrounding properties.

**Community Responsibility & Operational Controls**

The Tennyson is committed to operating as a responsible and well-managed venue. We will prioritize safety, order, and neighborhood compatibility. The following operational controls will be in place:

*Crowd Control*

All events will be private, and we will require our customers to provide us with a guest list prior to their event. Our staff will control the flow as guests arrive and depart for the evening. We will not allow any unsupervised access to the premises.

*Parking Management*

Clients will receive advance parking guidelines to direct guest flow and reduce congestion. Staff will monitor arrival and departure periods to maintain traffic flow and safety.

*Noise Management*

Management will monitor sound levels throughout each event to ensure compliance with local noise ordinances.



Sound levels will be measured using a decibel meter and will not exceed typical municipal guidelines of 50 to 60 dBA at the property line during evening hours.

Operational controls include:

- Set internal volume limits of 85 to 90 dBA for DJs and entertainment
- Reduce bass levels after 10:00 PM
- Exterior doors will be kept closed during events
- Speaker placement directed away from windows and entrances
- Use interior materials, including curtains to help reduce sound transmission

#### *Responsible Alcohol Service*

Alcohol service will follow all state and local regulations, and it will be served by trained, licensed professionals. No self-service or unsupervised alcohol consumption will be permitted. Our staff will actively monitor guest behavior and consumption.

All music and entertainment will end at the designated closing time, with guests departure managed promptly thereafter.