



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

3A. Conditional Use Permit for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, located at 10928 W. Oklahoma Ave.

3B. Site, Landscaping, and Architectural Design Review for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, located at 10928 W. Oklahoma Ave. (Tax Key No. 520-0151-001)



Overview and Zoning

A 5,000 square foot car wash is proposed to be constructed on the site currently operated by Incredi-Roll Skate & Family Fun Center at 10928 W. Oklahoma Ave. ([Plan set link](#)).

Tsunami Express Carwash hours of operation are from 7am to 8pm daily and employ about 8-10. The car wash will have 2-3 employees on site.

The property is zoned C-4. [Car Wash Service](#) uses require a conditional use permit. Additional conditional use criteria states that no conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot. All adjacent lots are zoned commercial and do not conflict with the conditional use criteria (the nearest residential development/Windsong is about 300-ft away). Accessory drive-through service also requires a conditional use permit.



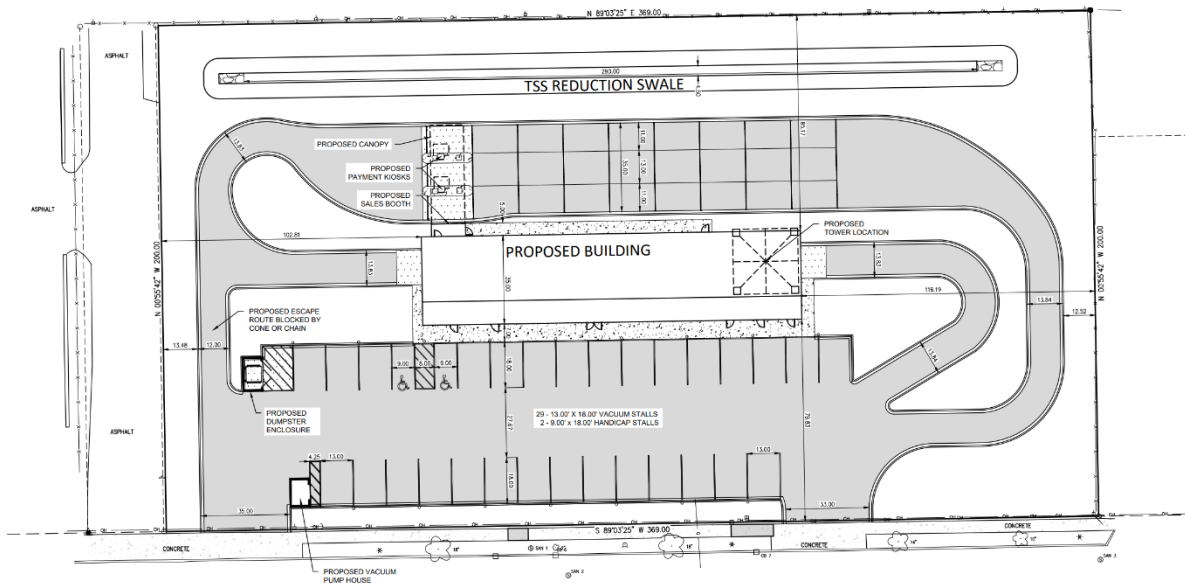
Site Plan

The property is currently owned/utilized by [Incredi-Roll](#) which is a recreational/entertainment use within the Hwy 100 corridor (a major north-south corridor through the city spanning 3.5 miles). The existing

building is proposed for demolition and will be replaced by a single-story building for the proposed car wash. The site is proposed to have access from W. Oklahoma Ave. from two curb cuts on the southwest and southeast corners of the site. Both curb cuts lead directly into a parking lot for the car wash. Extending from the east edge of the parking lot are two lanes. The southern lane wraps around the site going directly north of the proposed building, leading to three separate lanes for a payment kiosk under a canopy. The three lanes merge into one again and then lead into the car wash or back to the parking lot. The drive aisle continues through the building and eventually exits into the eastern portion of the parking lot.

The parking lot shows a total of 31 parking stalls. For Conditional Uses the maximum number of parking stalls permitted is determined by the Conditional Use Permit. Staff recommends reduction of parking stalls to align with our [zoning code parking maximum](#) intentions (service uses). A refuse area with an enclosure is shown on the northwest corner of the parking lot. A vacuum pump house is also proposed in the parking lot on the southwest corner.

To conform with Design Review Guidelines staff is recommending site changes. Design Review Guidelines call for locating vehicle parking areas away from the public sidewalk while strategically buffering from the public realm. Staff recommends that the proposed car wash building is moved closer to the south property line and the parking lot & drive aisles are oriented towards the rear of the property. In this proposal the parking lot and drive-through lanes would be buffered from the public realm. Additionally, to increase traffic safety Engineering and Planning recommend removal of two curb cuts along W. Oklahoma Ave. Vehicles would instead utilize an existing access point directly west of the parcel. This would require coordination with the adjacent property owner for a cross access easement. Staff has provided this alternative to Milwaukee County and is awaiting feedback. Staff will continue to work with the applicants on any site changes.

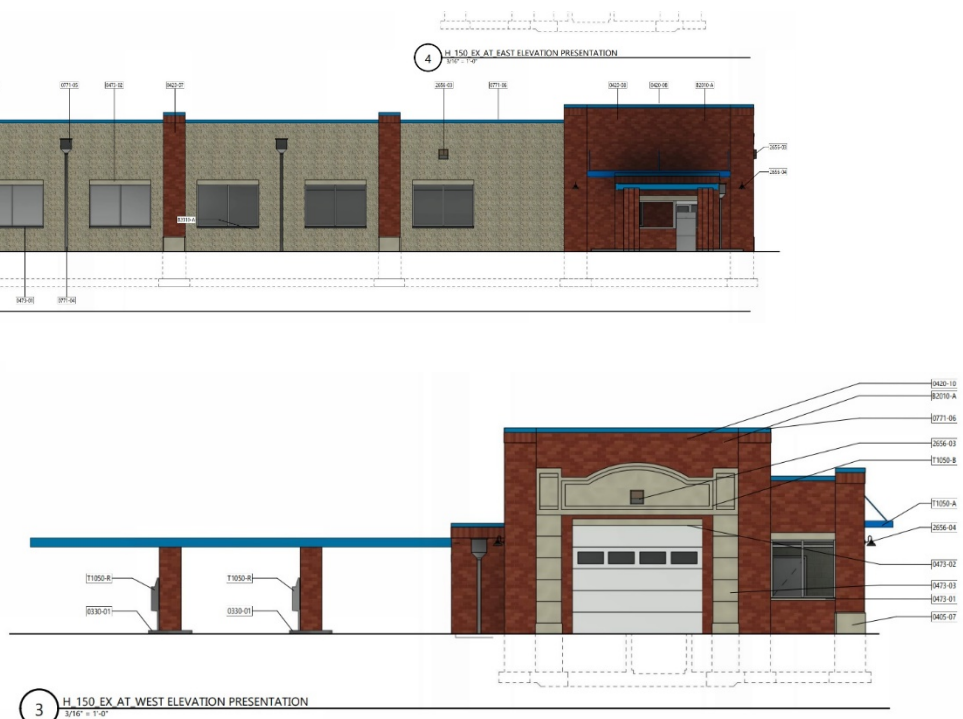
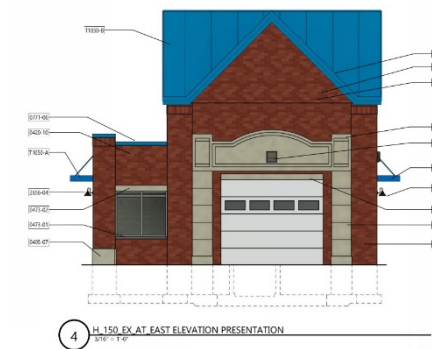


Submitted Site Plan

changes may alter the proposed landscape plan that was submitted by the applicant. Any changes to the site will require technical review and approval by staff.

Architectural Plan

The proposed building is comprised of brick veneer, cast stone, split face CMU, and EIFS for the exterior elevations. EIFS is not a permitted exterior material ([Design Guidelines](#)). Higher quality material will be needed to replace the EIFS on the building. The south, street facing façade is made up primarily of masonry and split face CMU. Multiple windows align the south façade along with 4 doors. Staff recommends increased glazing along windows and doors for enhanced visual appeal. The west façade shows a mix of masonry and precast stone. A garage door is shown along with two windows. The west elevation also shows the the canopy for the payment kiosks. This consists of masonry pillars covered with an aluminum canopy. The north façade is similar to the south façade with a mix of masonry and split face CMU. The east façade appears similar to the west façade with a garage door encased by precast stone. Masonry is also utilized and is used to form a gabled roof. The pump house is shown to be constructed with split face CMU. The roof is comprised of a mix of concrete planks, steel bar joists and steel trusses colored blue.



Recommendation: Hold action. With the writing of this report, staff still has some significant concerns and has not had adequate communications with some of the newer project leads from the Tsunami team, and is also awaiting feedback from Milwaukee Co.

Staff shared the following points for review that should at minimum be incorporated into future discussions and plan changes. As part of the Conditional Use Permit and Site, Landscaping, and Architectural Design Review for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, at 10928 W. Oklahoma Ave. (Tax Key No. 520-0151-001):

1. A revised Site, Landscaping, and Architectural Plan being submitted to the Planning office to show the following: (a) Site plan showing recommended site access and building location changes per Engineering and Planning; (b) EIFS is not a permitted exterior material. Higher quality material will be needed to replace the EIFS on the building; (c) The south, street facing façade is made up primarily of masonry and split face CMU. Multiple windows align the south façade along with 4 doors. Staff recommends increased glazing along windows and doors for enhanced visual appeal; (d) Landscaping plan showing replacement of weigela and additional landscaping per City Forester recommendation; (e) incorporating vacuum pump house into main building envelope or closer in proximity to main building and away from drive entrances; (e) projected decibel level readings being shared with staff and in consideration with surrounding uses; (f) curb being installed along the west exterior perimeter of the property. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. A [Street excavation permit](#) being applied for in OpenGov prior to work beginning. Any concrete work in the right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367. W. Oklahoma Ave. (CTH NN) being a County Highway and subject to County permit (plans have been shared with Milw. Co.).
3. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City.
4. Signage plans being reviewed for compliance and subject to permitting.