



**STAFF REPORT**  
**WEST ALLIS PLAN COMMISSION**  
**Wednesday, April 24, 2024**  
**City Hall, Room 128**  
**6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

**3A. Conditional Use Permit for Panera Bread, a proposed restaurant, at 3020 S. 108 St.**

**3B. Site, Landscaping, and Architectural Design Review for Panera Bread, a proposed restaurant at 3020 S. 108 St. Tax Key No. 519-0339-007.**

**Overview and Zoning**

The Southtown Shopping Center is a 7.5-acre area consisting of 3 lots. A roughly 1-acre Krispy Kreme lot on the north, a 6-acre multi-tenant shopping center in the middle, and another ½-acre lot on the south. Two of the three lots are owned by Southtown Assoc LLC and the subject property on the south end, at 3008-3020 S. 108 St., is owned by Southtown Outlot Assoc, LLC. The lot on the should end of the shopping center development is currently a retail/office building (previously a mattress store), and Panera Bread has expressed interest in leasing a 2,500-sf space within part of the overall building. The operational description is provided later in this report as submitted.

The property is zoned C-4, commercial, and restaurants when over 2,000-sf are conditional uses. All adjacent lots are zoned commercial. A drive-thru service is not offered for this location.

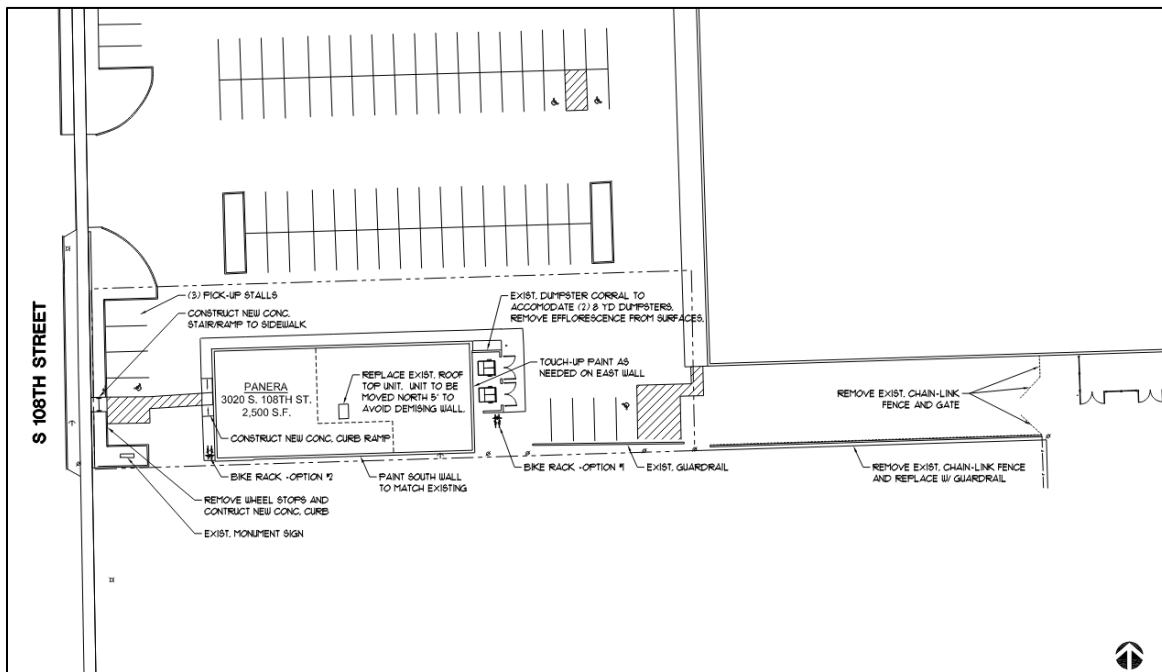
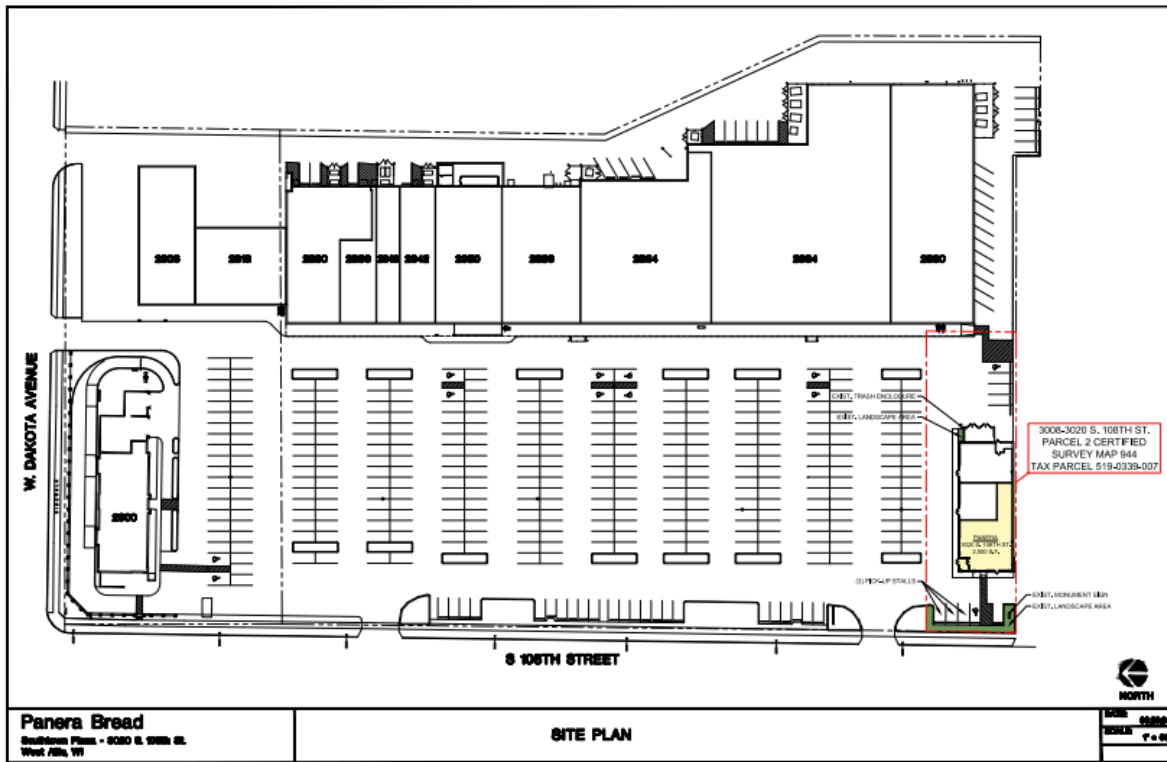


**Site and Landscaping Plan**

The overall property is under an approved site and landscaping plan, with cross access between properties. The parking lot shows a total of 9 parking stalls. A refuse area enclosure is shown on the east side of the building.

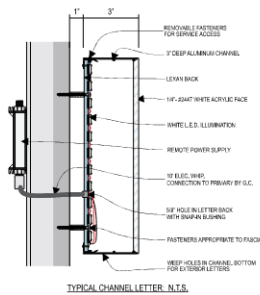
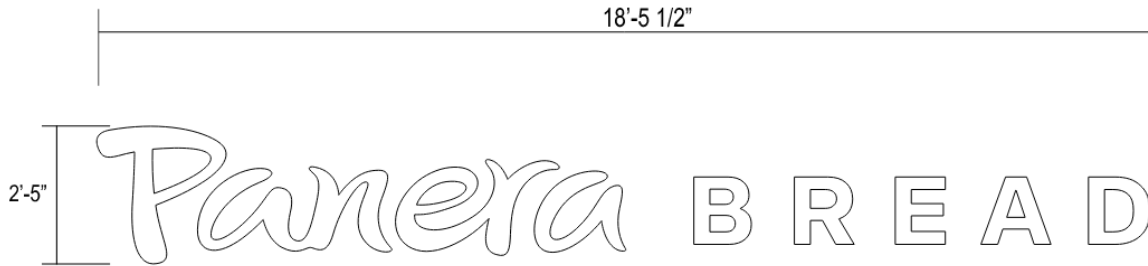
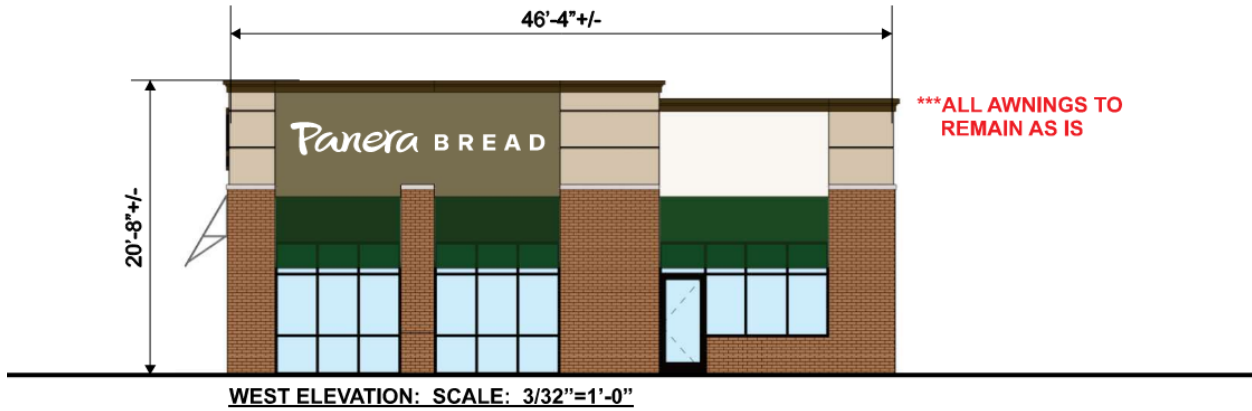
Since the original submittal the applicant has worked with staff to address previous site concerns. The largest changes to the site include adding a connection to the public sidewalk, maintenance updates to the building including painting the south elevation, clean up of brick on the existing refuse area behind the

building, and adding a poured curb along S. 108 St. Behind the building and on part of the shopping center property, a damaged chain-link fence will be removed, and a new guard rail installed.



**Architectural Plan**

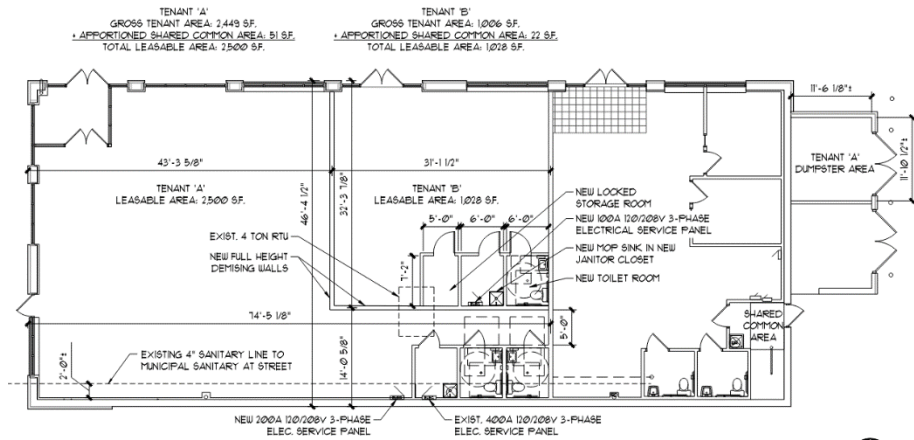
No changes are planned to the exterior of the building other than some exterior color changes on the upper façade and new signage. The overall site is part of a master sign plan.



INTERNALLY ILLUMINATED FRONT LITHALO LIT CHANNEL LETTERS AND LOGO SCALE: 3/8" = 1'-0" 44.8 8/32 FT

"PANERA" "BREAD" LETTERS  
 - 2447 WHITE FACES WITH 3" DEEP CHANNELS PAINTED PMS 7540C SLATE  
 - CLEAR LEXAN BACKS  
 - 8200K SLOW PRISM WHITE LED LIGHTING (PANERA BREAD)  
 - TRIMLESS DESIGN

The floor plan shows 20 indoor seats for patrons, and carry-out service. Staff has encouraged Panera to add some outdoor dining which would likely require removal of some parking or parking lot area from the site. There is a surplus of parking on site. The Hwy 100 corridor plan and city's comprehensive plan encourage active public spaces. Outdoor dining is an amenity that aligns with Planning efforts. Staff encourages Panera and the property owner to provide outdoor dining as an amenity.



PLAN NORTH

**SOUTHTOWN PLAZA**  
3020 S. 108TH ST.

**LEASE EXHIBIT**

DRAWING TITLE:	DATE:	SHEET:
LEASE EXHIBIT	01/11/24	
THIS	SCALE:	N.T.S.
DRAWN:	DATE:	LE-1



**OPS - FLOOR PLAN**

**Design Review Guidelines:**

This is an existing property and the majority of proposed changes are internal within the building. The property owner has been responsive to all of staffs comments, but has not expressed interest in providing outdoor dining. With some separation from parking, a patio area could be created to enhance the businesses curb appeal along Hwy 100.

**Recommendation:** Common Council approval of the Conditional Use Permit for Panera Bread, a proposed restaurant, at 3020 S. 108 St. and approval of the Site, Landscaping, and Architectural Design Review for Panera Bread, a proposed restaurant at 3020 S. 108 St. Tax Key No. 519-0339-007, subject to the following conditions:

1. Common Council approval of the Conditional Use Permit.
2. A public bicycle rack being located in front of the building.
3. Signage and lighting plans being reviewed for compliance and subject to permitting.
4. Consideration of an outdoor dining patio on site.