



City of West Allis

Meeting Agenda

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, June 28, 2023

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF MINUTES

1. [23-0406](#) May 24, 2023

Attachments: [May 24, 2023 \(draft minutes\)](#)

D. NEW AND PREVIOUS MATTERS

2. [23-0419](#) Certified Survey Map to split the existing parcel at 10200 W. National Ave. into 2 parcels. (Tax Key No. 485-9990-013)

Attachments: [\(CSM\) 10200 W National Ave](#)

3. [23-0420](#) Site, Landscaping, and Architectural Design Review for Eye Care Specialists Clinic, a proposed Medical Clinic, at 10200 W. National Ave. (Tax Key No. 485-9990-013)

Attachments: [\(SLA\) Eye Care Specialists - 10200 W National Ave.](#)

- 4A. [23-0421](#) Conditional Use Permit for Caribou Coffee, a proposed Restaurant with accessory drive-through service, at 10200 W. National Ave.

- 4B. [23-0422](#) Site, Landscaping, and Architectural Design Review for Caribou Coffee, a proposed Restaurant with accessory drive-through service, at 10200 W. National Ave. (Tax Key No. 485-9990-013)

Attachments: [\(CUP-SLA\) Caribou Coffee - 10200 W National Ave.](#)

- 5A. [23-0423](#) Conditional Use Permit for Automotive Vision Designs, a proposed Light Motor Vehicle Service use, at 11133 W. Rogers St.

- 5B. [23-0424](#) Site, Landscaping, and Architectural Design Review for Automotive Vision Designs, a proposed Light Motor Vehicle Service use, at 11133 W. Rogers St. (Tax Key No. 481-9997-008)

Attachments: [\(CUP-SLA\) Automotive Vision Designs - 11133 W Rogers St.](#)

6. [23-0425](#) Creative Sign Plan for Allis Tool & Machine Corp, an existing Industrial use, at 647 S. 94 Pl. (Tax Key No. 416-2002-000)
Attachments: [\(SIGN\) Allis Tool - 647 S 94 Pl.](#)
7. [23-0426](#) Creative Sign Plan for Pick N' Save, an existing General Service use, located at 6760 W. National Ave. (Tax Key No. 453-9018-000)
Attachments: [\(SIGN\) Pick N' Save - 6760 W National Ave.](#)
8. [23-0427](#) Site, Landscaping, and Architectural design review for GeoTest, and existing business located at 2135 S. 116 St. (Tax Key No. 482-9999-005), submitted by Erik Madisen, Madisen Maher Architects, Inc.
Attachments: [\(SLA\) GeoTest - 2135 S 116 St.](#)
9. [23-0428](#) Tax Incremental District No. 19, the proposed boundaries of the District, summary of the Project Plan for the District, and conformance with the 2040 Comprehensive Plan.
Attachments: [\(FLU\) TID 19](#)
10. [23-0430](#) Comprehensive Plan update.
11. [23-0429](#) Project Tracking update.

E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City of West Allis

Meeting Minutes

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, May 24, 2023

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING (draft minutes)

A. CALL TO ORDER

B. ROLL CALL

Present 8 - Wayne Clark, Brian Frank, Eric Torkelson, Jessica Katzenmeyer, Dan Devine, Brandon Reinke, Kathleen Dagenhardt, David Raschka

Others Attending

Tina Lewis, Andrew Holstromm, Nathan Schieve, Paul and Christina Budiak, Shelly Strasser, Ryan Laughin; PLM Paving, Paul Wolfgramm and Jennifer Vidrio (via zoon)

Staff

Zac Roder, AICP, Lead Planner
Jack Kovnesky, Planner

C. APPROVAL OF MINUTES

1. [23-0325](#) April 26, 2023

Attachments: [April 26, 2023 \(draft minutes\)](#)

Clark moved to approve this matter, Katzenmeyer seconded, motion carried.

D. NEW AND PREVIOUS MATTERS

2. [23-0367](#) Site, Landscaping, and Architectural Design Review for a building addition to the WAWM Recreation Department, an existing Civic Institution, at 2450 S. 68th St. (Tax Key 484-0088-001).

Attachments: [\(SLA\) WAWM Rec addition - 2450 S 68 St](#)

Recommendation: Recommend Site, landscaping, and architectural Design Review for a building addition to the WAWM Recreation Department, an existing use at 2450 S. 68 St. submitted by Nathan Schieve of Groth Design Group (Tax Key 484-0088-001), subject to the following conditions:

1. (a) Revised Site and Landscaping Plan being submitted to the Planning and Zoning Office to show two ornamental tree plantings on the south side of the new addition and species being reviewed/approved by the City Forester (b) detail of roof top screening units if visible from surrounding street frontages; (c) a photometric plan for new lighting locations. Contact Steven Schaer, Manager of Planning and Zoning (414) 302-8466 with any questions.
2. Stormwater checklist being submitted for review by Code Enforcement Department to ensure compliance with the City of West Allis Storm water Management Ordinance.

Clark moved to approve this matter, Katzenmeyer seconded, motion carried.

3. [23-0368](#) Site, Landscaping, and Architectural Amendment for exterior changes to Living Hope Lutheran School, an existing school, at 2217 S. 99th St. (Tax Key No. 479-0910-000)

Attachments: [\(SLA\) Living Hope - 2217 S 99 St.](#)

Recommendation: Recommend approval of the Site, Landscaping, and Architectural Amendment for exterior changes to Living Hope Lutheran School, an existing school, at 2217 S. 99th St. (Tax Key No. 479-0910-000).

Clark moved to approve this matter, Dagenhardt seconded, motion carried.

4. [23-0369](#) Site, Landscaping, and Architectural Amendment for a patio addition for 84th Classic Cafe, an existing Restaurant, at 1646 S. 84th St. (Tax Key No. 452-9001-000)

Attachments: [\(SLA\) 84th Classic Cafe - 1646 S 84 St](#)

Recommendation: Approve the Site, Landscaping, and Architectural Amendment for a patio addition for 84th Classic Cafe, an existing Restaurant, at 1650 S. 84th St. (Tax Key No. 452-9001-000) subject to the following conditions:

1. Revisions to Site, Landscaping, and Architectural plans showing: a) parking lot dimensions including stall and lane widths, b) existing outdoor dining patio, c) upgraded landscaping along S. 84th St. such as new perennial grasses, d) revised outdoor dining patio including landscaping, buffer to vehicle parking spaces.
2. Property maintenance including removing pile of concrete wheel stops on the SW corner of the site, removing shovel attachment stored in parking lot, replacing dead or missing plantings.

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

5. [23-0370](#) Site, Landscaping, and Architectural Amendment for exterior changes to Paulie's Pub & Eatery, an existing Tavern, at 8031 W. Greenfield Ave. (Tax Key No. 452-0254-001)

Attachments: [\(SLA\) Paulies rooftop over patio - 8031 W Greenfield Ave](#)

Recommendation: Recommend Site, Landscaping, and Architectural Amendment for exterior changes to Paulie's Pub & Eatery, an existing Tavern, at 8031 W. Greenfield Ave. (Tax Key No. 452-0254-001), subject to the following conditions:

1. Revised Architectural Plans or reference to the following being submitted to and approved by the Planning and Zoning Office: (a) wood treatment (stain or paint) considerations; (b) lighting considerations. Contact Steve Schaer at 414-302-8466 with further questions.

Dagenhardt moved to approve this matter, Katzenmeyer seconded, motion carried.

6. [23-0379](#) Site, Landscaping, and Architectural Amendment for site changes to Market Square, an existing multi-tenant commercial use, at 6731-65 W. Greenfield Ave. (Tax Key No. 453-9018-000)

Attachments: [\(SLA\) PLM Paving - 6731-65 W Greenfield Ave](#)

Recommendation: Recommend Site, Landscaping, and Architectural Amendment for exterior changes to Paulie's Pub & Eatery, an existing Tavern, at 8031 W. Greenfield Ave. (Tax Key No. 452-0254-001), subject to the following conditions:

1. (a) Revised site/landscaping plans to show the location and construction details of new landscaping islands; (b) landscaping species subject to City Forestry review. Contact Steve Schaer at 414-302-8466 with further questions.

Frank moved to approve this matter, Raschka seconded, motion carried.

7. [23-0371](#) Sign Plan Appeal for Chase Bank, a proposed Neighborhood Service use, at 2678 S. 108th St. (Tax Key No. 485-9990-009)

Attachments: [\(SIGN\) Chase Bank - 2678 S 108 St.](#)

Recommendation: Recommend approval of the Signage Plan for Chase Bank, a proposed Neighborhood Service use, at 2678 S. 108th St. (Tax Key No. 485-9990-009).

Clark moved to approve this matter, Dagenhardt seconded, motion carried.

8. [23-0372](#) Sign Plan Appeal for 2 Brothers-in-Law Vintage, an existing Neighborhood Retail use, at 7332 W. Becher St. (Tax Key No. 476-0337-001)

Attachments: [\(SIGN\) 2 Brothers-in-Law Vintage - 7332 W Becher St.](#)

Recommendation: Recommend approval of the Signage Plan for 2 Brothers-in-Law Vintage, an existing Neighborhood Retail use, at 7332 W. Becher St., (Tax Key No. 476-0337-001), based on the sign's satisfaction of the requirements of the City's Sign Code Creative Sign Subsection with the following condition:

1. A revised Sign Plan being submitted to the Planning and Zoning Office to indicate details for the artist of the project.

Dagenhardt moved to approve this matter, Frank seconded, motion carried.

9. [23-0374](#) Comprehensive Plan update

This matter was Discussed.

10. [23-0373](#) Project Tracking updates

This matter was Discussed.

E. ADJOURNMENT

There being no other business, a motion was made by Clark, seconded by Reinke to adjourn at 6:36 p.m.



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STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

2. Certified Survey Map to split the existing parcel at 10200 W. National Ave. into 2 parcels. (Tax Key No. 485-9990-013)

Overview and Zoning

The Luther Group owns 10200 W. National Ave., former site of Baker's Square. The company is proposing to split the property into 2 parcels to facilitate its redevelopment.

Luther Group will redevelop the northern portion of the site into a medical clinic and will sell the southern portion of the site to another group for redevelopment as a restaurant with drive-through.

10200 W. National Ave. is zoned C-3. Medical Clinic uses are a permitted use and Restaurants with accessory drive-through service are a conditional use in the C-3 district.

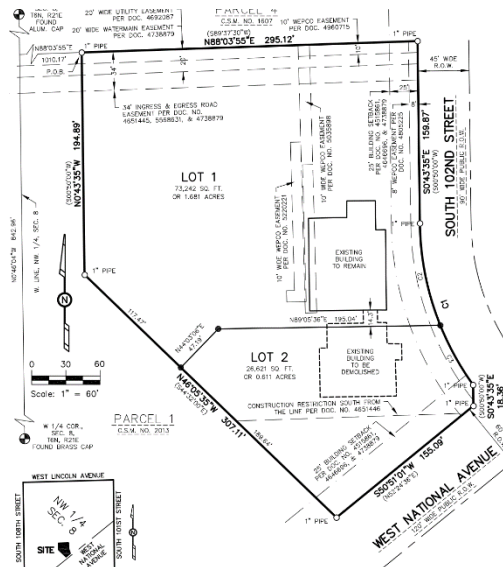
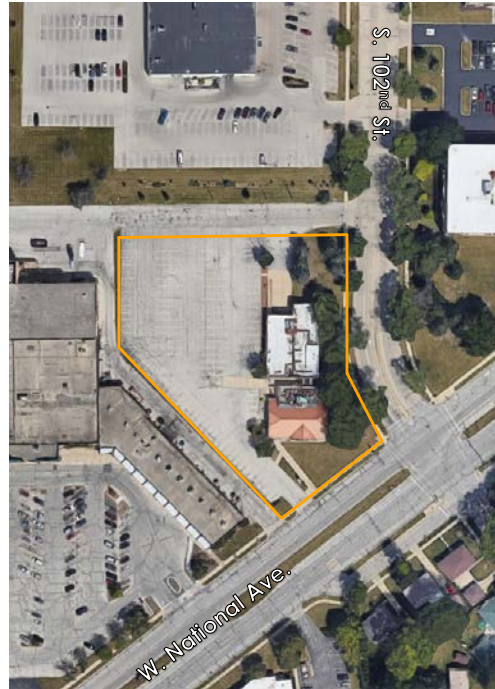
CSM

The proposed CSM would split the parcel into 2 lots: a southern lot facing W. National Ave., and a northern lot facing S. 102nd St.

Previous CSM's for the site include a minimum 25' setback restriction from the south and east property line. After further research, attorneys from the City and Luther Group identified this was a self-imposed restriction originally implemented to align with a previous version of the zoning code from 1970. With no other beneficiaries, the property owners can remove the restriction through this CSM. Staff recommends removing the restriction to facilitate redevelopment and allow development in conformance with the current zoning code.

Recommendation: Approve the Certified Survey Map to split the existing parcel at 10200 W. National Ave. into 2 parcels. (Tax Key No. 485-9990-013) subject to the following conditions:

1. Removal of the minimum 25' setback restriction from 1970 and the defunct no-build line.
2. Common Council approval subject to minor technical corrections.





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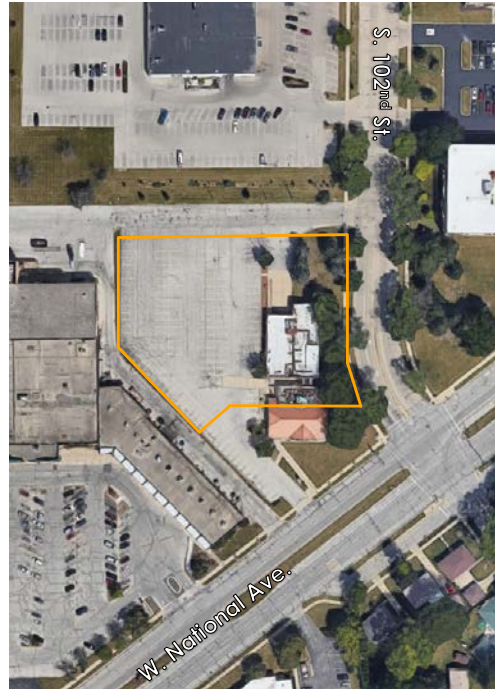
3. Site, Landscaping, and Architectural Design Review for Eye Care Specialists Clinic, a proposed Medical Clinic, at 10200 W. National Ave. (Tax Key No. 485-9990-013)

Overview and Zoning

The Luther Group is proposing to develop a new outpatient ophthalmology clinic – Eye Care Specialists (ECS) – on the northern portion of the proposed 10200 W. National Ave. site.

ECS provides comprehensive care for eye conditions to more than 200,000 people throughout SE Wisconsin. ECS will be moving from their current aging and inefficient clinic located in the nearby Lincoln Center III building. ECS also operates 2 other clinics located in Wauwatosa and Milwaukee. ECS will have 5 physicians, 19 full-time staff, and 3 part-time staff in the proposed location.

The total area of the proposed clinic will be approximately 13,300 sq. ft. A portion of the existing building on site will be saved with a new addition to the north. Construction is anticipated to begin Q3 of 2023 and be completed by Q3 of 2024.



Hours of Operation:

Monday – Friday: 7:00am – 7:00pm

Saturday: 7:00am – 5:00pm

Patients may be seen outside of normal business hours in cases of an urgent medical matter. Staff typically work in the building 1-2 hours before and after clinic hours, or occasionally later.

10200 W. National Ave. is zoned C-3, and medical clinics are a permitted uses.

Site Plan

The applicant is proposing to construct a new single story building addition to the north of the existing building. The southern portion of the existing building will be demolished.

The site will be laid out with the building and landscaping buffer on the eastern front of the lot near S. 102nd St. and parking to the western rear.

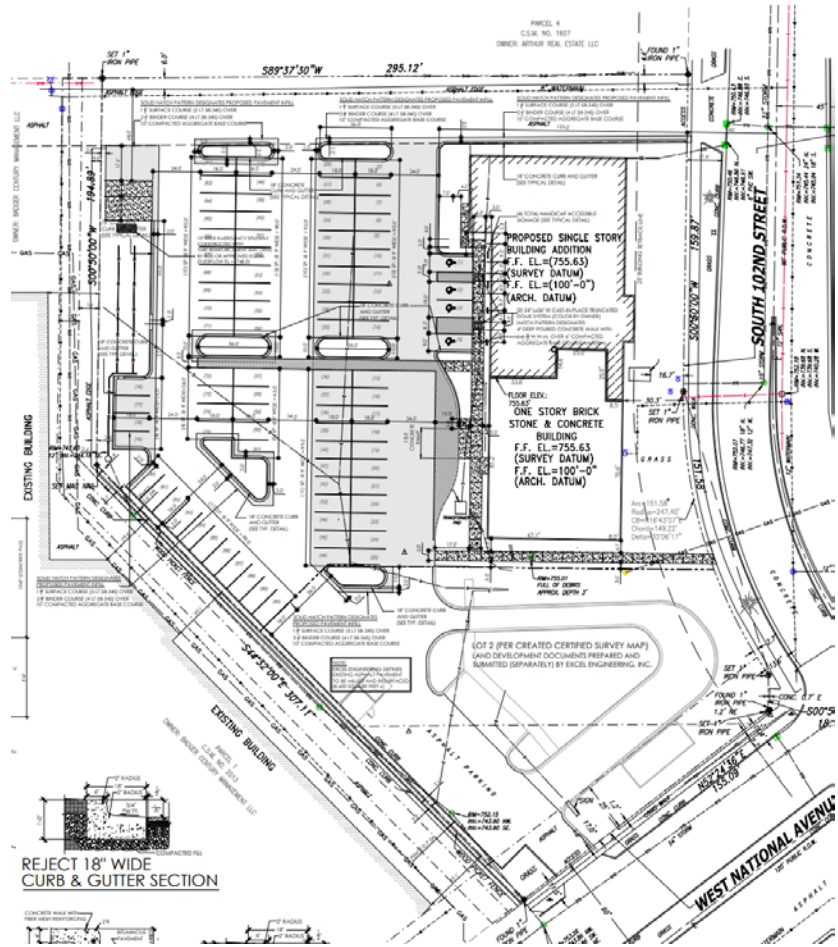
West Allis has a maximum front setback of 20' in the C-3 zoning district. The portion of the existing building that will remain is set back 30' from the East lot line and is legal nonconforming as it was built prior to the implementation of this rule. The proposed addition will be built in line with the existing building to facilitate a logical interior layout, but will include a feature that extends to 25' from the front lot line to

more closely align with the code. The applicant will seek a variance from the Board of Appeals for the front setback; staff will recommend the Board of Appeals approve this request.

The parking lot includes significant changes from the site's original layout. This portion of the existing site currently has 113 parking spaces. A maximum of 67 spaces are allowed for a 13,300 sq. ft. medical clinic. The number of vehicle parking spaces on this portion of the site will be reduced from 113 to 90; a reduction in nonconformity that can be approved by Plan Commission. This figure was agreed upon between staff and the applicant; it satisfies the Ophthalmic Construction Consulting Firm's recommendation for 1 space per 150 sq. ft. of clinic space.

The parking lot also includes the addition of landscaping islands. 2 will be placed on the north edge of the property to better buffer the lot from the alley shared with Target, Piggly Wiggly, and others. Staff recommends the central landscaping islands be modified so that the pedestrian walkway be centered between 2 portions of landscaping, rather than alongside and potentially blocked by misparked vehicles. Landscaping and a refuse enclosure will be added along the west lot line.

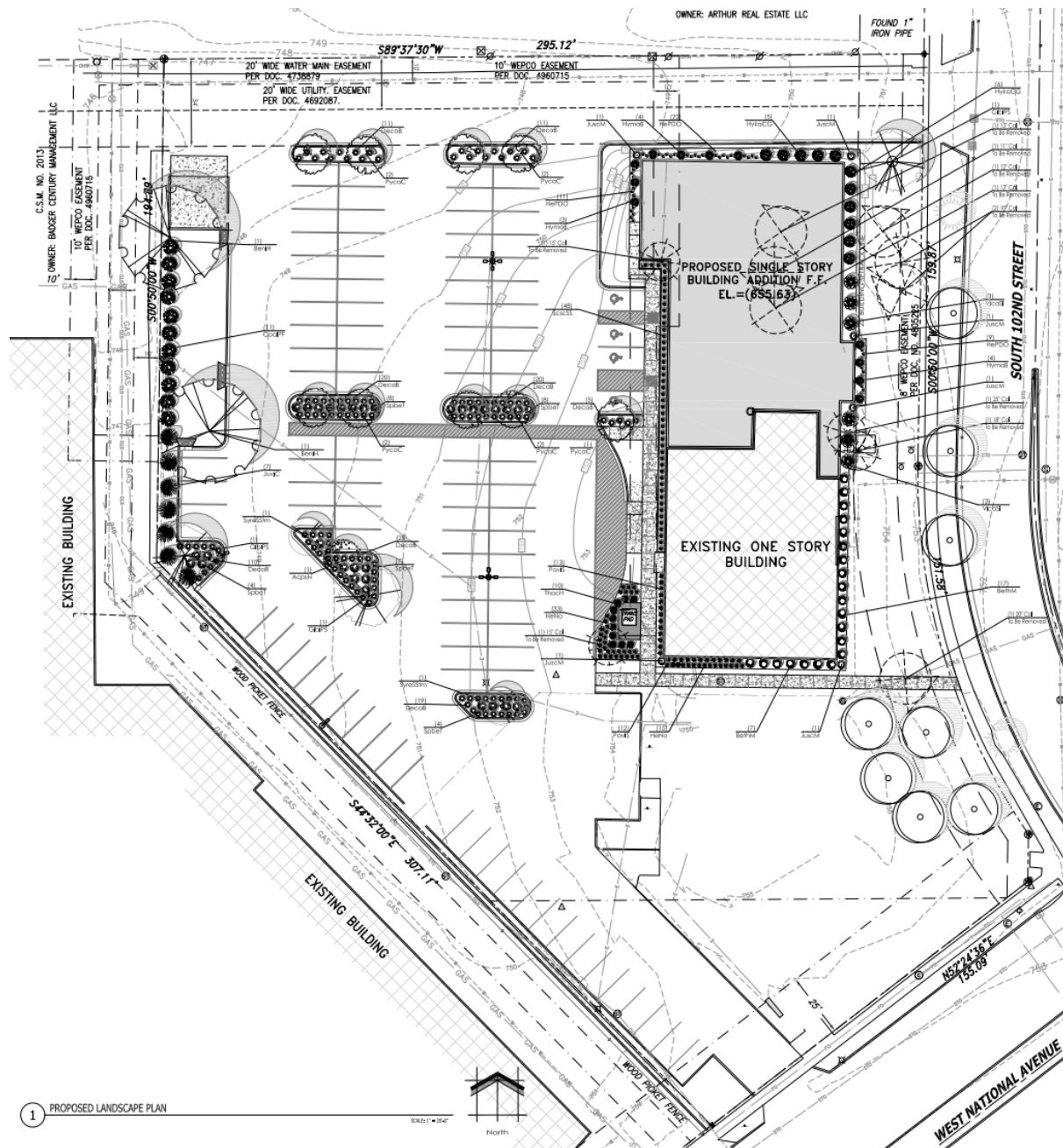
Other features include pedestrian connections with a sidewalk along the west edge of the building that connects to sidewalk from the proposed development to the south and S. 102nd St. along the south edge of the building. Additionally, the site includes a drive-up pick-up/drop-off near the entrance; an important feature as some patients may be unable to drive themselves to or from the clinic. The site requires 1 outdoor bicycle parking space; none are proposed. Staff recommends adding 1 outdoor bicycle rack.



Landscaping Plan

Ten (10) trees will be removed which were in or close to the proposed addition or sidewalks. A significant number of new plants will be added surrounding the building and in new landscaping areas created in the parking lot.

Plantings around the building will primarily include perennial deciduous shrubs, daylilies, and native grasses with several coniferous shrubs at certain locations. Parking lot landscaping will include trees such as maples, pear and birch trees paired with native grasses and broadleaf shrubs. Larger shrubs and coniferous trees will also function as a shield on the west lot line.



Architectural Plan

The proposed exterior façade will evoke a modern look with plenty of windows and a bright yet simple mix of materials. Most of the building will be white stacked bond masonry, with wood-look metal panel accents and dark bronze metal coping acting as a cap. The middle section of the west and east façade will include white vertical metal panels to add visual interest.

Clear, aluminum, storefront windows will be featured regularly and will rise to the height of the building to accent the western rear entrance. This entrance will also be accented and protected from the elements by a wood-look metal panel canopy with under-canopy lighting. The portion of the building that protrudes to

the east to add visual interest and more closely align with setback code will also be differentiated by larger windows and prominent wood look-metal panel.

The southeast portion corner of the building, which will be prominently visible from the corner at 102nd and National and houses the lobby, will be uniquely designed with large, tall windows capped by the wood-look metal panels.



Floor Plan

The building's entrance is located on the southwest side of the building.

The lobby will be located on the south end of the building with seating at the southeast corner.

Patient rooms and offices will be located on the northern 2/3 of the building.



Design Guidelines

The proposed project is considered a major redevelopment. Compliance with the design guidelines is mandatory. The proposal satisfies all applicable criteria except for the following:

- 2bi. Engaging spaces: Does not have space for resting or other forms of human engagement outside the building. Consider adding bench for patients awaiting pickup by the entrance.

See attached Plan Commission checklist.


Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Eye Care Specialists Clinic, a proposed Medical Clinic, at 10200 W. National Ave. (Tax Key No. 485-9990-013) subject to the following conditions:

1. Common Council approval of a Certified Survey Map to split parcel into 2 lots.
2. Application being made to the Board of Appeals for consideration and approval of a (5-ft) variance within the front yard setback area.
3. Revisions to Site, Landscaping, and Architectural plans showing a) addition of one (1) bicycle parking rack; b) addition of a bench near the front entrance; c) align sidewalk to meet Caribou Coffee's along the south property line; d) realign mid-parking lot landscaping islands and pedestrian walkway so the sidewalk runs through the landscaping island.
4. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Code Enforcement Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
5. Approval of Traffic Impact Analysis and, if necessary, other minor modifications by the City Engineer.
6. Planned work or modifications within City right-of-way shall be coordinated with City Engineering. Driveway permits being applied for and obtained through City Engineering for any modifications. Contact Greg Bartelme (414) 302-8367.

PLAN COMMISSION CHECKLIST


1.

Goal:
Context

Objective	Criteria		Notes
a. Neighbor	i. Street wall	<input type="radio"/>	
	ii. Scale	<input type="radio"/>	
	iii. Historic neighbors	<input type="radio"/>	
	iv. Connectivity	<input type="radio"/>	
b. Site	i. Orientation	<input type="radio"/>	
	ii. Unique features	<input type="radio"/>	
	iii. Historic elements	<input type="radio"/>	
	iv. Additions	<input type="radio"/>	


2.

Goal:
Public Realm

Objective	Criteria		Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="radio"/>	
	ii. Street edge	<input type="radio"/>	
	iii. Active uses	<input type="radio"/>	
	iv. No blank walls	<input type="radio"/>	
b. Build for People	i. Engaging spaces	<input type="radio"/>	
	ii. Accessible spaces	<input type="radio"/>	
	iii. Built-out site	<input type="radio"/>	
	iv. Pedestrian connections	<input type="radio"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="radio"/>	
	ii. Utilities and services	<input type="radio"/>	
	iii. Lighting	<input type="radio"/>	
	iv. Fencing	<input type="radio"/>	

3.

Goal:
Quality

Objective	Criteria		Notes
a. Building	i. Quality materials	<input type="radio"/>	
	ii. Ground floor	<input type="radio"/>	
	iii. Exterior features	<input type="radio"/>	
	iv. Quality design	<input type="radio"/>	
b. Environment	i. Natural features	<input type="radio"/>	
	ii. Manage stormwater	<input type="radio"/>	
	iii. Reduce impervious surface	<input type="radio"/>	
	iv. Embody sustainability	<input type="radio"/>	



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- 4A. Conditional Use Permit for Caribou Coffee, a proposed Restaurant with accessory drive-through service, at 10200 W. National Ave.
- 4B. Site, Landscaping, and Architectural Design Review for Caribou Coffee, a proposed Restaurant with accessory drive-through service, at 10200 W. National Ave. (Tax Key No. 485-9990-013)

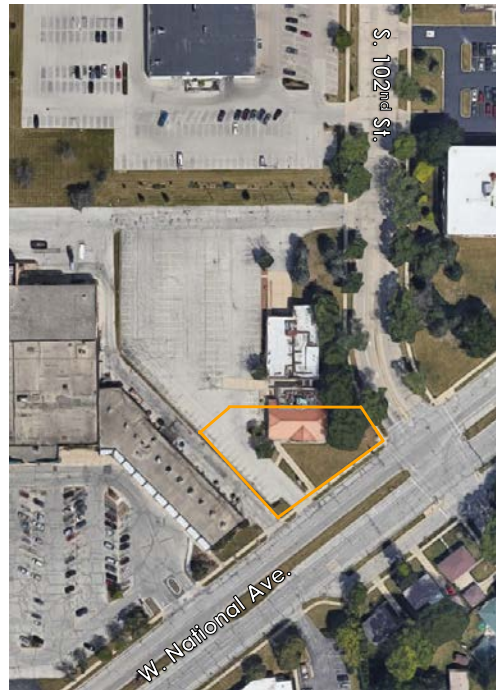
Overview and Zoning

Guggenheim Development Services is proposing to develop a new Caribou Coffee restaurant and drive-through on the southern portion of the proposed 10200 W. National Ave. site.

The proposed 0.61-acre lot will include a new, single-story, 605 sq. ft. building. The existing southern portion of the former Baker’s Square building will be demolished. Construction is expected to begin by mid-August 2023 with final tenant improvements by the end of 2023.

Hours of Operation:
5:30am – 8:00pm daily

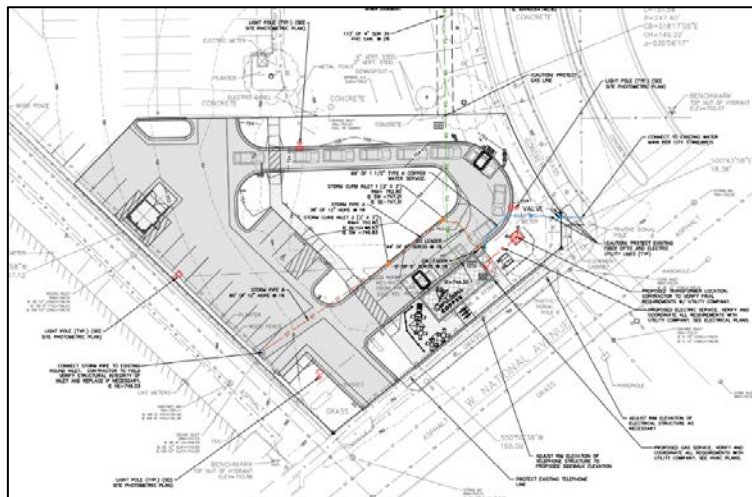
10200 W. National Ave. is zoned C-3. Restaurants with accessory drive-through service are a Conditional Use in the C-3 zoning district.



Site Plan

The proposed site includes a new building at the front of the site facing W. National Ave., parking to the west, and drive-through facilities and landscaping to the northeast, behind the building.

The proposed building is situated 10.2’ from the front lot line, within the maximum setback per Sec. 19.42. The building includes a drive-through window on the rear, north side of the building and a walk-up window on the front, south side of the building. An outdoor dining patio is located adjacent to the building and includes connections to the public sidewalk.



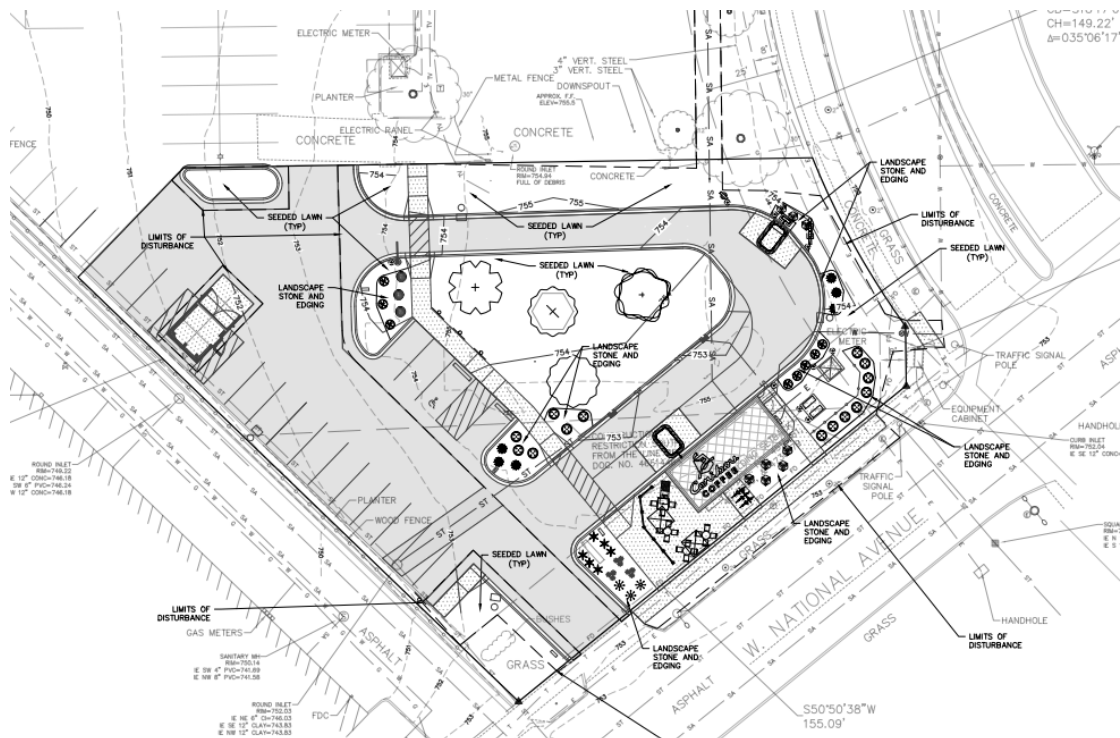
The proposed site layout includes 18 vehicle parking stalls (including 1 ADA stall) and 1 bicycle rack. The existing portion of the site includes 23 parking stalls and is legally nonconforming. Per code upon time of the application, restaurants were allowed the equivalent to 1 space per 40% of the building's occupancy. In this case, the maximum number of vehicle parking spaces would be 2. Per current code of 1 per 150 sq. ft., the maximum would be 4. Caribou is eligible for the less restrictive standard. The Plan Commission may approve the parking as is because it is a reduction in nonconformity or may condition a further reduction in parking. If Plan Commission desires a further reduction, staff would recommend removing the 3 parking spaces between the refuse enclosure and the northern lot in favor of landscaping.

The proposed drive-through is oriented around a central landscaping island. From the crosswalk leading to the north, the drive-through includes stacking for 10 vehicles; 6 to the order kiosk situated at the beginning of the curve and 4 to the pick-up window. A bail-out lane is included adjacent to the order kiosk. The City's Design Guidelines require that drive-throughs be located at the side or rear of the building, which this proposal adheres to. It also requires driveways for drive-throughs be located as far as possible from street intersections and be located on secondary streets for corner lots. This lot's driveway is pre-existing on the main street but is located far from the intersection. Staff recommends maintaining this site layout as proposed.

Landscaping Plan


The proposed site layout includes a significant increase in the amount of landscaping. A new landscaping island is proposed at the north edge of the site and another is extended at the southwest corner of the site. A large, triangular landscaping bed is proposed at the center of the site.

Plantings include deciduous shrubs and perennial flowers near the building, arborvitae to screen the drive-through and service door from W. National Ave., and trees and other shrubs in the central landscaped island. City Forestry recommends additional landscaping along the North edge of the property and updated scaled drawings to better determine spacing and quantity of plantings.



Architectural Plan

The proposed architectural plan is based off Caribou Coffee's corporate branding. The primary material is hardie plank siding painted 'cloudburst' blue. The building has a stone base and metal roofing. The palette uses dark bronze accents for doors, windows, and roofing.

BUILDING MATERIALS LEGEND	
	STONE - CULTURED/MANUFACTURED STONE, ENVIRONMENTAL STONEWORKS STYLE, TUSCAN LEDGESTONE, COLOR: LANTANA. SILL CAP, ENVIRONMENTAL STONEWORKS DRIP LEDGE. COLOR: KODIAK.
	HARDIE PLANK SIDING - PAINTED 'CLOUDBURST' HARDIE TRIM BOARD AT HORIZONTAL TRANSITION TO SIDING AND SURROUNDING WINDOWS AND DOORS - PAINTED BITTERSWEET CHOCOLATE
	STANDING SEAM METAL ROOFING - COLOR: DARK BRONZE.
	DARK BRONZE STOREFRONT DOORS, WINDOWS, AND SERVICE DOORS.
	LIGHT FIXTURES - PROGRESS P5164-86 BURNISHED CHESTNUT WALL LAMPS



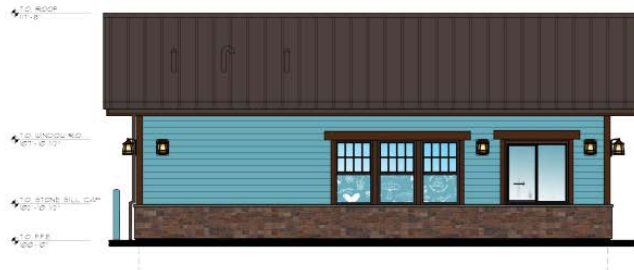
1 SIDE ELEVATION (SOUTH)
1/4" = 1'-0"



2 FRONT ELEVATION (WEST)
1/4" = 1'-0"

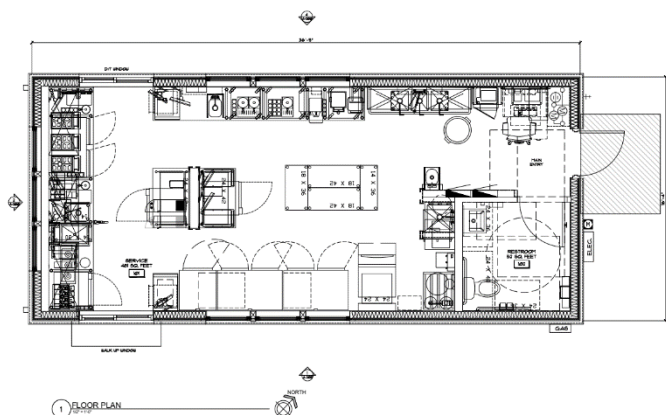


3 REAR ELEVATION (EAST)
1/4" = 1'-0"



4 SIDE ELEVATION (NORTH)
1/4" = 1'-0"

The inside of the building will be open to employees only and is laid out to maximize efficiency of service. It includes 1 restroom, kitchen, window service areas, a desk, and integrated storage.



1 FLOOR PLAN
1/4" = 1'-0"

Design Guidelines

The proposed project is considered new development. Compliance with the design guidelines is mandatory. The proposal satisfies all design guidelines. The proposal is particularly strong as it relates to building for people by designing for connectivity to the public realm and its neighboring site and for its well-designed outdoor dining space. Guidelines related to these features include:

- 1aiv. Connectivity
- 2aiii. Active uses
- 2bi. Engaging spaces
- 2bii. Accessible spaces
- 2biv. Pedestrian connections

See attached Plan Commission checklist.


Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Caribou Coffee, a proposed Restaurant with accessory drive-through service, at 10200 W. National Ave. (Tax Key No. 485-9990-013) subject to the following conditions:

1. Common Council approval of the Conditional Use Permit.
2. Common Council approval of a Certified Survey Map to split parcel into 2 lots.
3. Revisions to Site, Landscaping, and Architectural plans showing a) additional landscape plantings along the north side of the property; b) scale drawings of landscape beds; c) landscaping species plan approved by City Forestry; d) sidewalk alignment for connection with property to the north.
4. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Code Enforcement Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
5. Approval of Traffic Impact Analysis and, if necessary, other minor modifications by the City Engineer included alternate location for proposed water lateral.
6. Planned work or modifications within City right-of-way shall be coordinated with City Engineering. Driveway permits being applied for and obtained through City Engineering for any modifications. Contact Greg Bartelme (414) 302-8367.

PLAN COMMISSION CHECKLIST


1.

Goal:
Context

Objective	Criteria		Notes
a. Neighbor	i. Street wall	<input type="radio"/>	
	ii. Scale	<input type="radio"/>	
	iii. Historic neighbors	<input type="radio"/>	
	iv. Connectivity	<input type="radio"/>	
b. Site	i. Orientation	<input type="radio"/>	
	ii. Unique features	<input type="radio"/>	
	iii. Historic elements	<input type="radio"/>	
	iv. Additions	<input type="radio"/>	


2.

Goal:
Public Realm

Objective	Criteria		Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input type="radio"/>	
	ii. Street edge	<input type="radio"/>	
	iii. Active uses	<input type="radio"/>	
	iv. No blank walls	<input type="radio"/>	
b. Build for People	i. Engaging spaces	<input type="radio"/>	
	ii. Accessible spaces	<input type="radio"/>	
	iii. Built-out site	<input type="radio"/>	
	iv. Pedestrian connections	<input type="radio"/>	
c. Mitigate Impacts	i. Vehicle parking	<input type="radio"/>	
	ii. Utilities and services	<input type="radio"/>	
	iii. Lighting	<input type="radio"/>	
	iv. Fencing	<input type="radio"/>	

3.

Goal:
Quality

Objective	Criteria		Notes
a. Building	i. Quality materials	<input type="radio"/>	
	ii. Ground floor	<input type="radio"/>	
	iii. Exterior features	<input type="radio"/>	
	iv. Quality design	<input type="radio"/>	
b. Environment	i. Natural features	<input type="radio"/>	
	ii. Manage stormwater	<input type="radio"/>	
	iii. Reduce impervious surface	<input type="radio"/>	
	iv. Embody sustainability	<input type="radio"/>	



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 5A. **Conditional Use Permit for Automotive Vision Designs, a proposed Light Motor Vehicle Service use, at 11133 W. Rogers St.**
- 5B. **Site, Landscaping, and Architectural Design Review for Automotive Vision Designs, a proposed Light Motor Vehicle Service use, at 11133 W. Rogers St. (Tax Key No. 481-9997-008)**

Overview and Zoning

Automotive Vision Designs is a proposed automotive business to be located at 11133 W. Rogers St. The business will service vehicles for tinting, detailing, and wrapping.

No interior or exterior changes are proposed. The servicing would be conducted in the interior of the existing building. Eight (8) off-street parking spaces are available on site for the business. The business will employ three (3) to five (5) people.

Hours of Operation:

- Monday – Friday: 9am - 5pm
- Saturday: 11am – 2pm
- Sunday: Closed

11133 W. Rogers St. is zoned I-1. Light Motor Vehicle Service is a Conditional Use in the I-1 zoning district.

Site & Landscaping Plan

Automotive Vision Designs is not proposing any site or landscaping changes as part of this proposal.

The existing site includes a building on the South portion of the lot and a paved parking lot to the North.

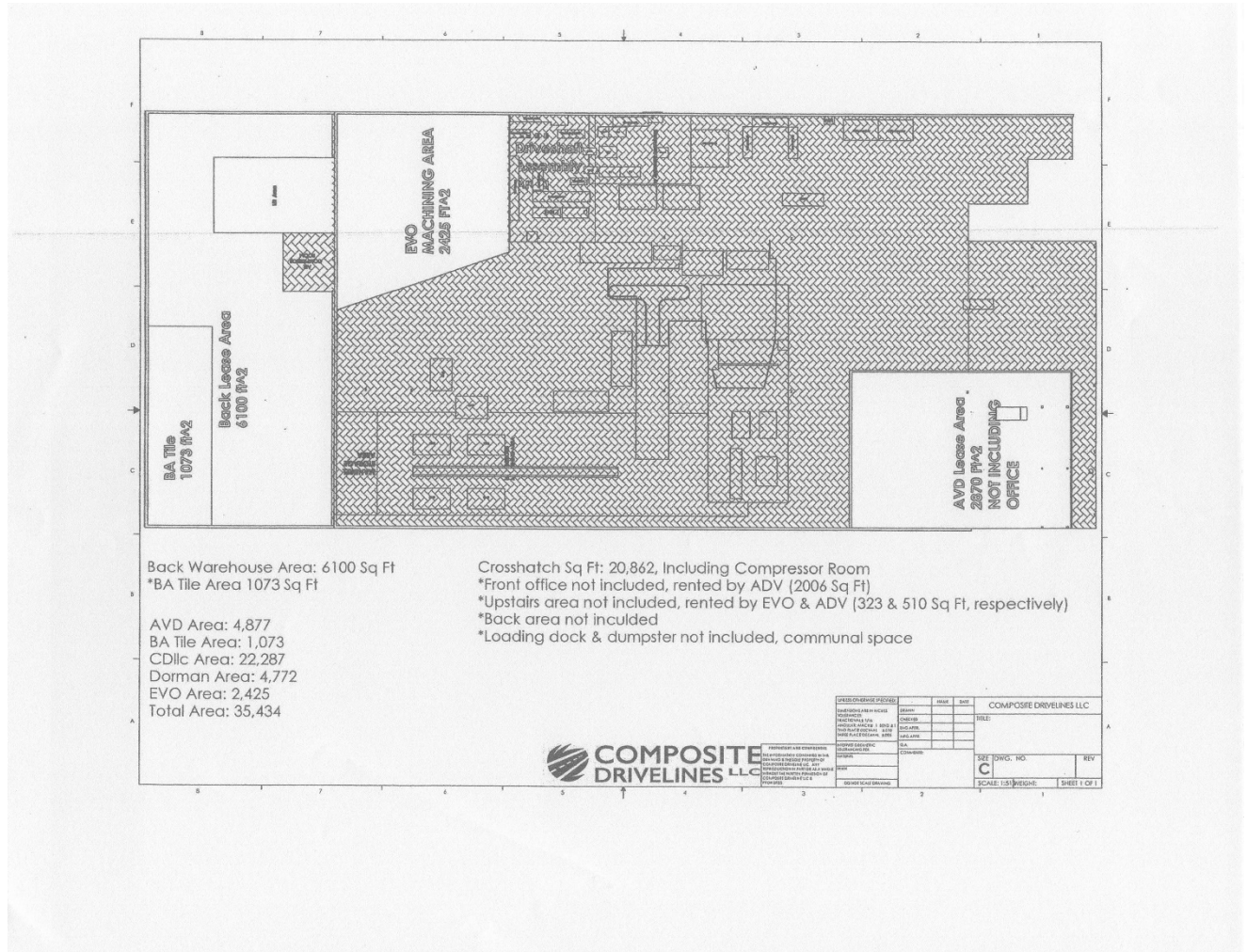
Architectural Plan

Automotive Vision Designs is not proposing any architectural changes.



Floor Plan

The applicant is leasing space on the eastern side of the existing building. A floor plan was provided by the applicant showing a work between 4,000-5,000 square feet of workspace.



Design Guidelines

Project is not considered a new development or significant redevelopment due to minimal proposed site changes. Design guidelines are not mandatory but serve as a framework for review. See attached Plan Commission checklist.

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Automotive Vision Designs, a proposed Light Motor Vehicle Service use, at 11133 W. Rogers St. (Tax Key No. 481-9997-008) subject to the following:

1. Resolution of all code violations found during December 2022 occupancy inspection. Reference inspection notes/reports in record OCC-169.
2. A basic site plan showing location of any outdoor storage and vehicle staging for the subject business.
3. Common Council approval of the Conditional Use Permit.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM**

6. Creative Signage Plan for Allis Tool & Machine Corp, an existing Industrial use, at 647 S. 94 Pl. (Tax Key No. 416-2002-000)

Overview

Peter Rathmann, the President & CEO of Allis Tool & Machine Corp., an existing industrial use, is applying for a Sign Plan Appeal to allow a mural display on the north façade of the existing building. Proposed for the north façade is a 24 ft x 70 ft mural display. The wall is currently comprised of grey concrete. The mural will be considered for an Artscape grant before the West Allis Artscape Leadership Group prior to the Plan Commission meeting. The estimated cost of the mural is \$20,000 and up to a \$7,500 grant may be awarded. As part of the Artscape contract, the property owner agrees not to alter the mural for 5 years after date of completion.



The artists are [Erin LaBonte and Don Krumpos of Algoma, WI](#). They will commence work August 1 and be complete by August 18 according to the proposed Artscape contract.

Plan Commission's role is to consider the location of the mural on the building, and to ensure it satisfies the Creative Sign Program of the sign ordinance.

The proposed location of the mural on the north façade of the building faces the Hank Aaron State Trail. Visibility of this mural along the trail will provide trail users an opportunity to view



legacy of manufacturing in West Allis in an artistic manner. Vegetation along the trail frontage will be maintained by the applicant to provide visibility of the mural.

A concept image of the proposed mural has been provided by the applicant. Shown on the mural plan is a depiction of the manufacturing legacy of West Allis with various items such as an Allis Chalmers tractor shown. The center of the mural displays a seal with the text "Made in the USA"

and “Allis Manufacturing Corp.” An additional banner displays the text “70 Years of Manufacturing.”

Painted wall signs cannot be approved administratively under the Sign Code. The applicant is requesting an appeal to also allow the painted wall sign under the Sign Code’s Creative Sign subsection. The creative sign section grants businesses the opportunity to present their proposal before the Plan Commission.



Creative Sign Requirements

Creative Sign section 13.21(24)(c)(i) requires that signs shall conform with the following:

- i. Design quality. The sign shall:
 1. Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area.
 2. Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
 3. Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.
- ii. Contextual criteria. The sign shall contain at least one of the following elements:
 1. Classic historic design style;
 2. Creative image reflecting current or historic character of the City;
 3. Public art, symbols or imagery relating to the entertainment or design industry; or
 4. Inventive representation of the use, name or logo of the structure or business.
- iii. Architectural criteria. The sign shall:
 1. Utilize and/or enhance the architectural elements of the building.
 2. Be placed in a logical location in relation to the overall composition of the building's facade and not cover any key architectural features/details of the facade.

Based on the proposed design in relation to the above criteria, staff agrees with the applicant that these requirements have been met and believes a Creative Sign Plan should be approved. The sign features a creative way of advertising the business, provides a positive visual impact to the surrounding area, and is located on a wall that does not cover architectural features of the building.

Recommendation: Recommend approval of the Creative Signage Plan for Allis Tool & Machine Corp, an existing Industrial use, at 647 S. 94 Pl. (Tax Key No. 416-2002-000), based on the sign’s positive visual impact, unique design and imagination, strong graphic character, inventive representation of the business and logical placement, which comprehensively satisfy the requirements of the City’s Sign Code Creative Sign Subsection.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM**

7. Creative Signage Plan for Pick N' Save, an existing General Service use at 6760 W. National Ave. (Tax Key No. 453-9018-000)

Overview

Pick N' Save, an existing general service use, is applying for a Sign Plan Appeal to allow for a mural display on the south façade of the existing building. The south façade is currently composed of tan colored concrete along with a set of windows extending outward. The building does not have any signage on the south façade. The location of the proposed mural currently faces a parking lot but will be highly visible along W. National Ave. and from new developments including SoNa Lofts and Ope! Brewing Co.

The concept image depicts the overall design of the mural. Various fruits are displayed along with the text "Serving Wisconsin Communities" and "Since 1872." The concept image does not display the final color scheme of the mural. The applicant did not give the dimensions of the proposed signage.





Painted wall signs cannot be approved administratively under the Sign Code. The applicant is requesting an appeal to also allow the painted wall sign under the Sign Code's Creative Sign subsection. The creative sign section grants businesses the opportunity to present their proposal before the Plan Commission.

Creative Sign Requirements

Creative Sign section 13.21(24)(c)(i) requires that signs shall conform with the following:

- i. Design quality. The sign shall:
 1. Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area.
 2. Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
 3. Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.
- ii. Contextual criteria. The sign shall contain at least one of the following elements:
 1. Classic historic design style;
 2. Creative image reflecting current or historic character of the City;
 3. Public art, symbols or imagery relating to the entertainment or design industry; or
 4. Inventive representation of the use, name or logo of the structure or business.
- iii. Architectural criteria. The sign shall:
 1. Utilize and/or enhance the architectural elements of the building.
 2. Be placed in a logical location in relation to the overall composition of the building's facade and not cover any key architectural features/details of the facade.

Based on the proposed design in relation to the above criteria, staff is in agreement with the applicant that these requirements have been met and believes a Creative Sign Plan should be approved. The sign features a creative way of advertising the business, provides a positive visual impact to the surrounding area, and is located on a side wall not covering architectural features of the building.

Recommendation: Recommend approval of the Creative Signage Plan for Pick N' Save, an existing General Service use, at 6760 W. National Ave., (Tax Key No. 453-9018-000), based on the sign's positive visual impact, unique design and imagination, strong graphic character, inventive representation of the business and logical placement, which comprehensively satisfy the requirements of the City's Sign Code Creative Sign Subsection subject to the following conditions:

1. A Sign Plan being submitted to the Planning and Zoning Office



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM**

Room 128 – City Hall – 7525 W. Greenfield Ave.

- 8. Site, Landscaping, and Architectural design review for GeoTest, and existing business located at 2135 S. 116 St. (Tax Key No. 482-9999-005), submitted by Erik Madisen, Madisen Maher Architects, Inc.**

Overview and Zoning

[GeoTest](#) is an existing light industrial and office use. They are an engineering firm providing geotechnical engineering, construction materials engineering and testing as well as geological and industrial minerals laboratory testing services. Laboratory capabilities include testing soil, rock, concrete, aggregates, hot-mix asphalt, stone, masonry, mortar, and grout.



The project includes renovating the existing one story, 5,700-sf building (constructed in 1964) and building a small 1,500-sf addition. The addition will serve as additional workspace for storage and staging area.

The zoning of this 0.68-acre property is I-1, light industrial district which permits this business (light industrial use with office).

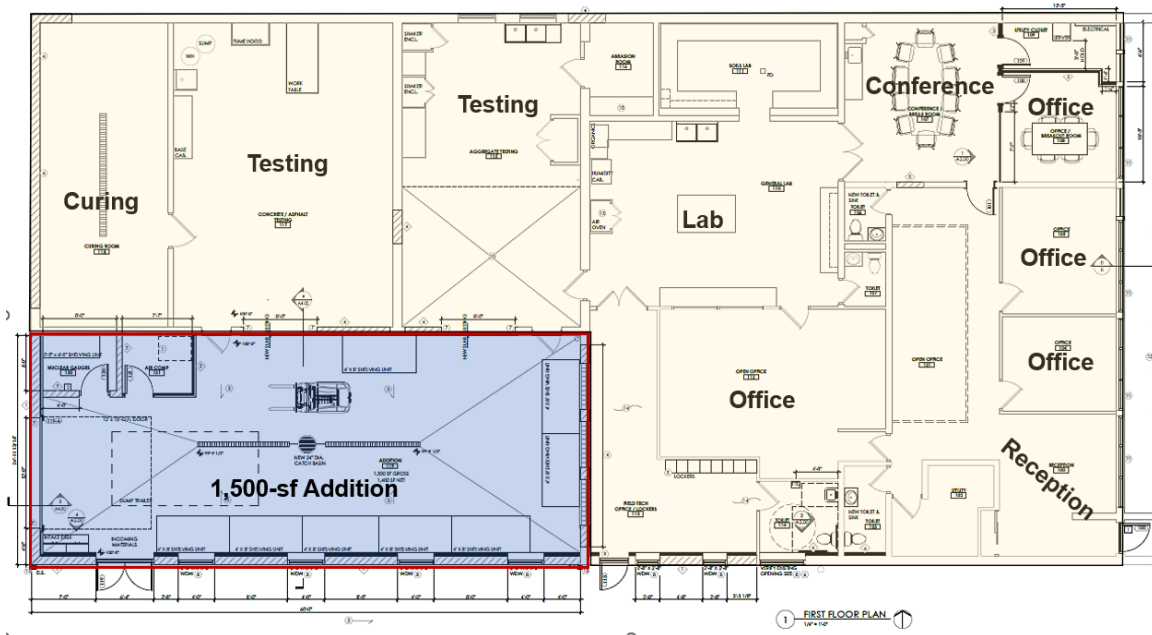
Plan Commission's role will include Site, Landscaping and Architectural design review consideration of the proposed plans given site changes and exterior building alterations.

The property abuts Greenfield Park to the west and is part of a light industrial area to the north, south and east. There are not any residential properties nearby.



Site, Landscaping, and Architectural Plans

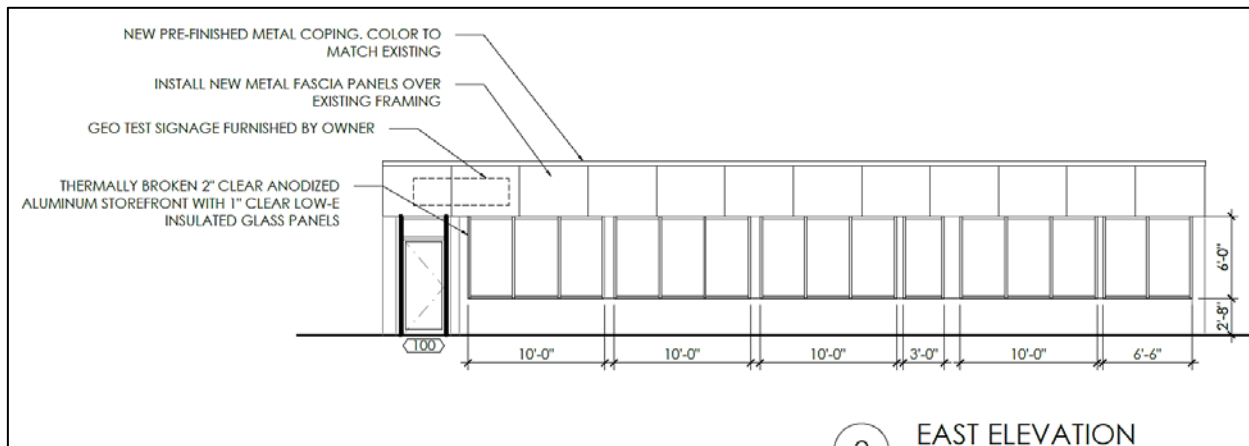
The plans and scope of exterior work is mainly cosmetic (some wall demo to make way for a small 1,500-sf building addition, new windows, infill of existing overhead door & other openings, exterior paint, and new landscaping). The location of the proposed addition is shown below.



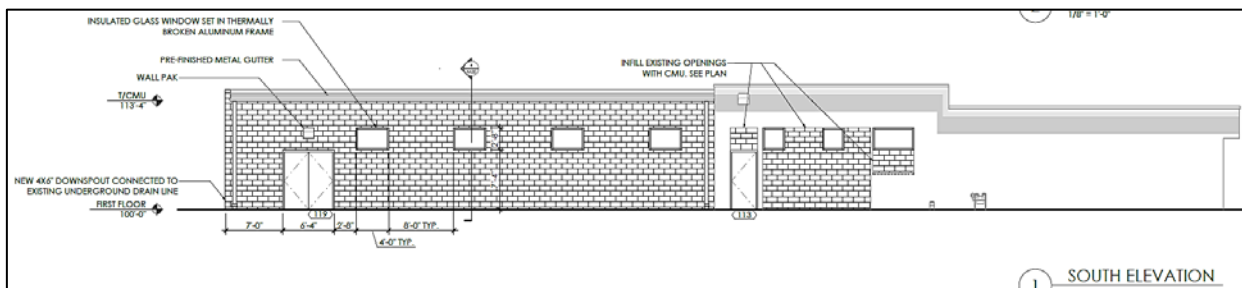
Existing building exterior

The existing building exterior features storefront windows and metal siding. Gray painted concrete block is the exterior material on the remained of the building.

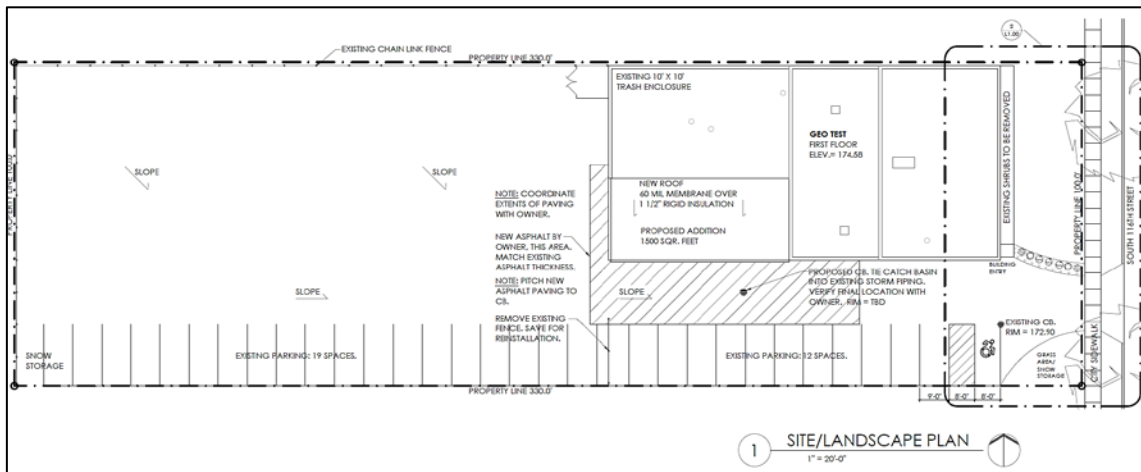
The overall exterior design of the new addition will be improved with new clear-story windows on the south elevation and exterior color consistency with that of the rest of the building.



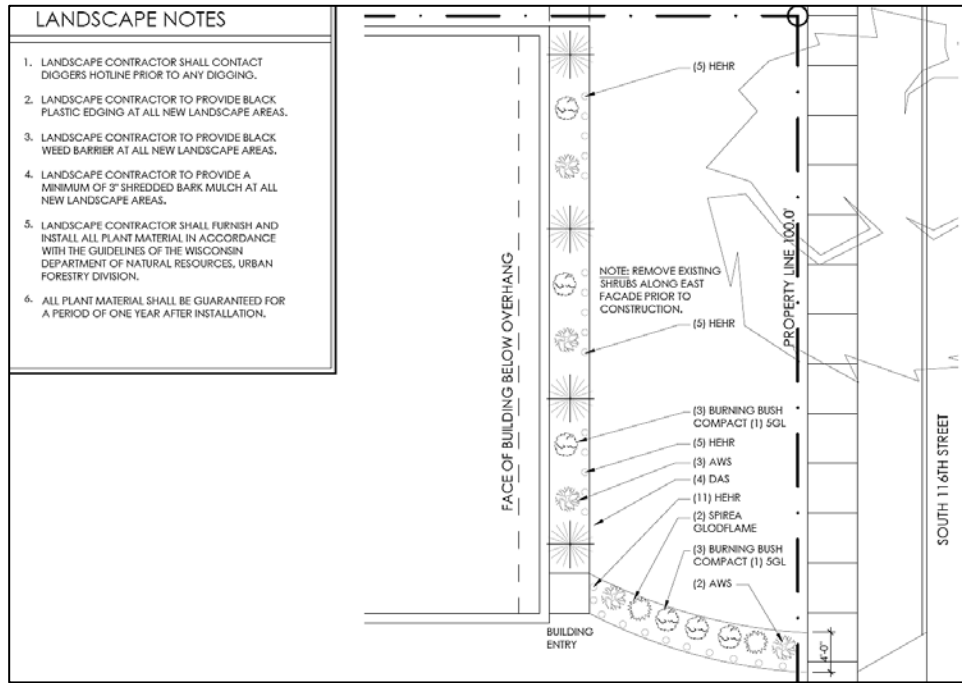
The existing building's front façade (facing S. 116 St.) will also be updated with a new pre-finished metal fascia panel, 2" clear anodized aluminum storefront system with low-e-glass (new windows).



Site/Landscaping. The building is setback about 20-ft from the front property line along S. 116 St. and features a landscaped front yard (lawn and several evergreen bushes along the east building wall). One driveway provides access from S. 116 St. to ten (12) off-street parking spaces (south of the building), and a rear yard outdoor storage/staging area for trucks and equipment (west of the building). A 6-ft slatted chain-link fence (w/gate) surround the outdoor storage area. New asphalt paving and a stormwater catch basin is proposed on the south side of the building addition. The new storm catch basin will tie into existing storm sewer.



Landscaping site improvements are proposed to freshen up the front yard area given proximity of façade updates. The plan shows the replacement of existing evergreen bushes for new landscaping (spirea, burning bush, dwarf spruce and daylilies).



Design Guidelines

The proposed project is considered a minor redevelopment. Compliance with the design guidelines is not mandatory, but the guidelines serve as a framework for review.

See attached Plan Commission checklist.

Recommendation: Approval of the Site, Landscaping, and Architectural design review for GeoTest, and existing business located at 2135 S. 116 St. (Tax Key No. 482-9999-005), submitted by Erik Madisen, Madisen Maher Architects, Inc., subject to the following conditions:

(Items 1 through 4 are required to be satisfied prior to any work being done that is associated with the proposal reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Revised Site, Landscaping, and Architectural Plans being submitted to the Department of Development to show the following: (a) exterior color details; (b) landscaping plan being reviewed by City Forester for approval of landscaping species; (c) removal of any barb wire fencing; (d) accurate display of number of striped parking stalls on site plan, and applicable ADA parking being provided.
2. If applicable, given storm sewer connection – If any concrete work is to take place in the street right of way will need to be completed by a licensed and pre-qualified contractor within the City of West Allis. A [Street excavation permit](#) being applied for in OpenGov prior to work beginning on connections to storm sewer.
3. Plumbing Plan review will be required. Contact Mike Romens, Plumbing Inspector at 414-302-8413.

4. Stormwater checklist being completed. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City. Contact Mike Romens, Plumbing Inspector at 414-302-8413.

(Remaining conditions of approval to be satisfied by the property owner within one year of Plan Commission approval)

5. Compliance with Section 2814 of the City's Policy and Procedures Manual relative to that policy as it relates to the replacement and repair to City walkways of damaged or defective (if any) abutting sidewalk.

PLAN COMMISSION CHECKLIST

1.

Goal:
Context

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Neighbor	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	
b. Site	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	

2.

Goal:
Public Realm

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Active Ground Floor	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	
b. Build for People	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	
c. Mitigate Impacts	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	

3.

Goal:
Quality

Objective	Criteria	<input checked="" type="checkbox"/>	Notes
a. Building	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	
b. Environment	i.	<input type="checkbox"/>	
	ii.	<input type="checkbox"/>	
	iii.	<input type="checkbox"/>	
	iv.	<input type="checkbox"/>	

June 19, 2023

Steve Schaer, AICP
Manager of Planning & Zoning
Development Department - Planning & Zoning Division | City of West Allis
7525 W. Greenfield Ave.
West Allis, WI 53214

Re: Project Description for:
Geo Test addition
2135 S. 116th Street
West Allis, WI 53227

Dear Steve:

Below is the project description for the proposed Geo Test Addition located at 2135 S. 116th Street:

Description of building improvements

- Selective interior and exterior demolition
- New construction: a one-story slab-on-grade 60' x 25', 1500 square foot CMU addition to the southwest corner of the existing facility.
- A catch basin will be added south of the proposed addition.
- New asphalt paving will be installed around the addition and pitch to the catch basin.
- Existing aluminum framed windows, aluminum fascia, and aluminum soffit at the east (street)elevation will be removed and replaced with similar materials.
- Existing landscaping along the east (street façade) will be removed and replaced with new landscaping.

Project timeline

- Estimated construction start: July 15th, 2023
- Estimated completion date: November 15th, 2023

Description of all operations/services

- Geo Test conducts construction materials testing

Days and hours of operation

- 7:00am to 5:00pm on weekdays
- Monday through Friday, occasional Saturday work as workload demands.

Please let me know if you have any questions.

Respectfully Submitted,



Erik L. Madisen, Principal
Madisen | Maher Architects

ADDITION TO:
GEO TEST INC.
 2135 S. 116TH STREET
 WEST ALLIS, WI 53227



ARCHITECTS
 133 W. PITTSBURGH AVE. SUITE 102
 MILWAUKEE, WI 53204
 414.277.8000
 MADISENMAHER.COM

ADDITION FOR:

GEO TEST INC

2135 S. 116TH STREET
 WEST ALLIS, WI 53227

CLIENT:
WES ALLEN CONSTRUCTION
 13545 WATERTOWN PLANK RD.
 ELM GROVE, WI 53122

Drawings and Specifications as instruments of service are the property of Madsen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madsen Maher Architects.

DATE	ISSUED SET
22-11-07	PROJECT START
23-06-14	REVIEW DRAWINGS
23-06-21	OWNER REVIEW COMMENTS

PROJECT NUMBER	20-014
START DATE	11-07-22
DRAWN BY	JLS
CHECKED BY	ELM

REVIEW DOCUMENTS

TITLE SHEET
A0.00

JUNE 21, 2023

OWNER

GEO TEST, INC.
 2135 S. 116TH ST.
 WEST ALLIS, WI 53227
 P: 414.321.8378
 888GEOTEST.COM

GENERAL CONTRACTOR

WES ALLEN CONSTRUCTION CO.
 13545 W. WATERTOWN PLANK RD.
 ELM GROVE, WI 53122
 P: 262.359.9000
 WESALLENCONSTRUCTION.COM

ARCHITECT

MADISEN MAHER ARCHITECTS
 133 W. PITTSBURGH AVE, SUITE 102
 MILWAUKEE, WI 53204
 P: 414.277.8000
 MADISENMAHER.COM

STRUCTURAL ENGINEER

SPIRE ENGINEERING
 305 N. PLANKINGTON AVE., SUITE 101
 MILWAUKEE, WI 53203
 P: 414.278.9200
 SPIREENGINEER.COM

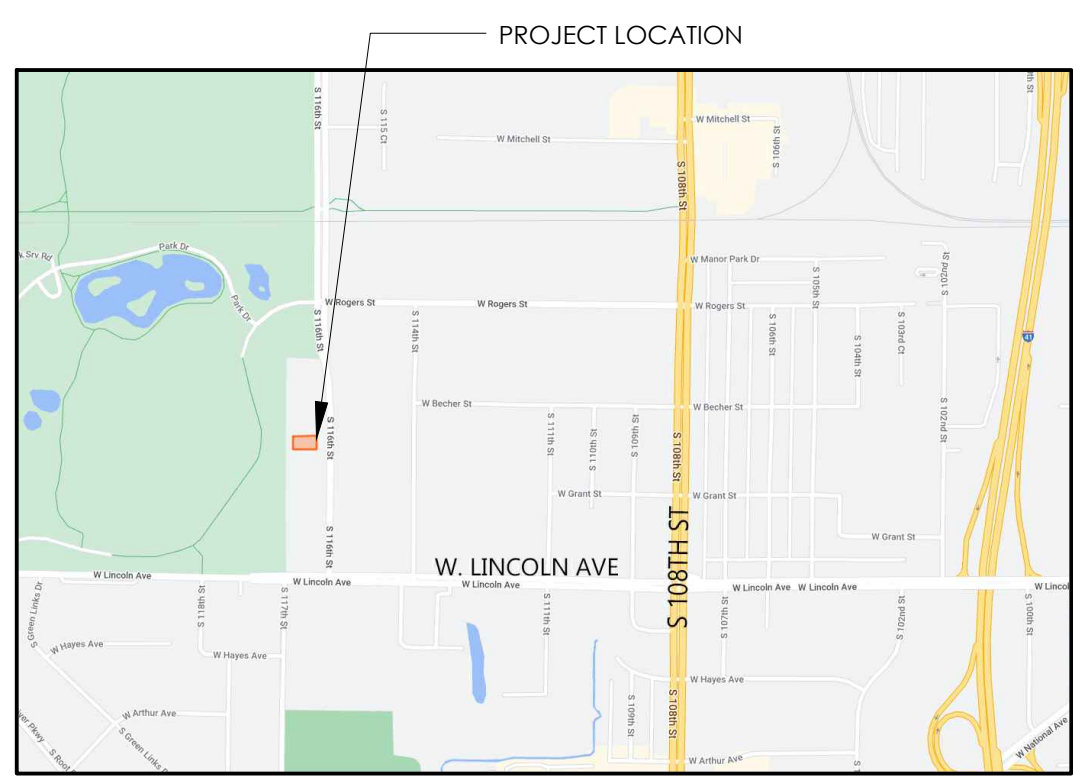
BUILDING CODE ANALYSIS IBC 2015

APPLICABLE CODES: IBC 2015, IEBC 2015

PROPERTY ADDRESS: 2135 S. 116TH STREET WEST ALLIS, WISCONSIN 53227	EGRESS WIDTH: (IBC 1005) OTHER EGRESS COMP. REQ'D (2' / PERSON): 14.2' EXITS PROVIDED: 3 DOORWAYS, MINIMUM PROVIDED: 34" CLEAR
ZONING CLASSIFICATION: II, MANUFACTURING	COMMON PATH OF EGRESS TRAVEL: (IBC 1006.2.1) 75'-0"
OCCUPANCY CLASSIFICATION: (IBC 303) B, BUSINESS	EXIT TRAVEL DISTANCE: (IBC 1017.2) 200'-0"
CLASS OF CONSTRUCTION: (IBC 602.2) IIB	PLUMBING FIXTURES: (IBC 2902.1) WATER CLOSETS: WOMEN 2 REQ'D (2 PROVIDED) MEN 2 REQ'D (2 PROVIDED) TOTAL 4 REQ'D (4 PROVIDED)
ALTERATION LEVEL (IEBC 801) 2	LAVATORIES: WOMEN 1 REQ'D (2 PROVIDED) MEN 1 REQ'D (2 PROVIDED) TOTAL 2 REQ'D (4 PROVIDED)
FIRE PROTECTION: (NFPA 13) NOT SPRINKLERED	1 SERVICE SINK PROVIDED
PROJECT BUILDING AREAS: NUMBER OF STORIES: 1 EXISTING BUILDING, GROSS: 5,685 SF PROPOSED ADDITION, GROSS: 1,500 SF TOTAL BUILDING AREA, GROSS: 7,185 SF	THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.
OCCUPANT LOAD: (IBC 1004.1.2) 71 PERSONS	
FIRE RESISTANCE RATINGS REQ'D, IIB: (IBC TABLE 601) STRUCTURAL FRAME: 0 HOURS EXTERIOR BRG. WALLS: 0 HOURS INTERIOR BRG. WALLS: 0 HOURS INTERIOR NON-BEARING WALLS: 0 HOURS FLOOR CONSTRUCTION: 0 HOURS ROOF CONSTRUCTION: 0 HOURS	

SHEET INDEX

A0.00	TITLE SHEET
L1.00	SITE PLAN/ LANDSCAPE PLAN
A0.51	DEMO FIRST FLOOR PLAN
A1.11	FIRST FLOOR PLAN
A1.12	ROOF PLAN
A1.21	FIRST FLOOR REFLECTED CEILING PLAN
A2.00	INTERIOR ELEVATIONS & SCHEDULES
A4.00	EXTERIOR ELEVATIONS & BUILDING SECTIONS
8 SHEETS	



2 PROJECT LOCATION
 NOT TO SCALE

ALTERNATE BID ITEMS PER WORK SCOPE LETTER DATED 3-30-23.

- FURNISH AND INSTALL 20' TRENCH DRAIN AT ADDITION 119.
- FURNISH AND INSTALL LED TUBES IN EXISTING LIGHT FIXTURES THROUGHOUT THE OFFICE.
- FURNISH AND INSTALL A NEW FURNACE AND 4 TON A/C UNIT FOR EACH AREA.
- FURNISH AND INSTALL A POWER ROOF VENTILATOR FOR THE EXISTING VENTING SYSTEM.
- ENCLOSURE AT NUCLEAR GAUGES TO BE 8'-0" AFF CHAIN LINK WITH 3'-0" GATE.

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
- GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
- THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
- BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW THE AMOUNTS WERE DETERMINED.
- GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE TENANT/FRANCHISEE TAKES OCCUPANCY.
- GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.
- GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
- GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
- OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
- UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT/FRANCHISEE. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
- GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
- NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
- SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.
- MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
- ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
- ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
- ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
- ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
- ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
- GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
- UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
- ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
- GIVE ALL SURPLUS PAINT MATERIALS TO OWNER. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN
- ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK UNLESS OTHERWISE SPECIFIED AND SHALL BE SCREWED TO SUBSTRATE AS INDICATED. ALL GWSB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWSB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
- APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
- INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
- GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO OWNER WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
- PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
- PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
- PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
- ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER UNLESS NOTED.
- PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.

ADDITION FOR:
GEO TEST INC

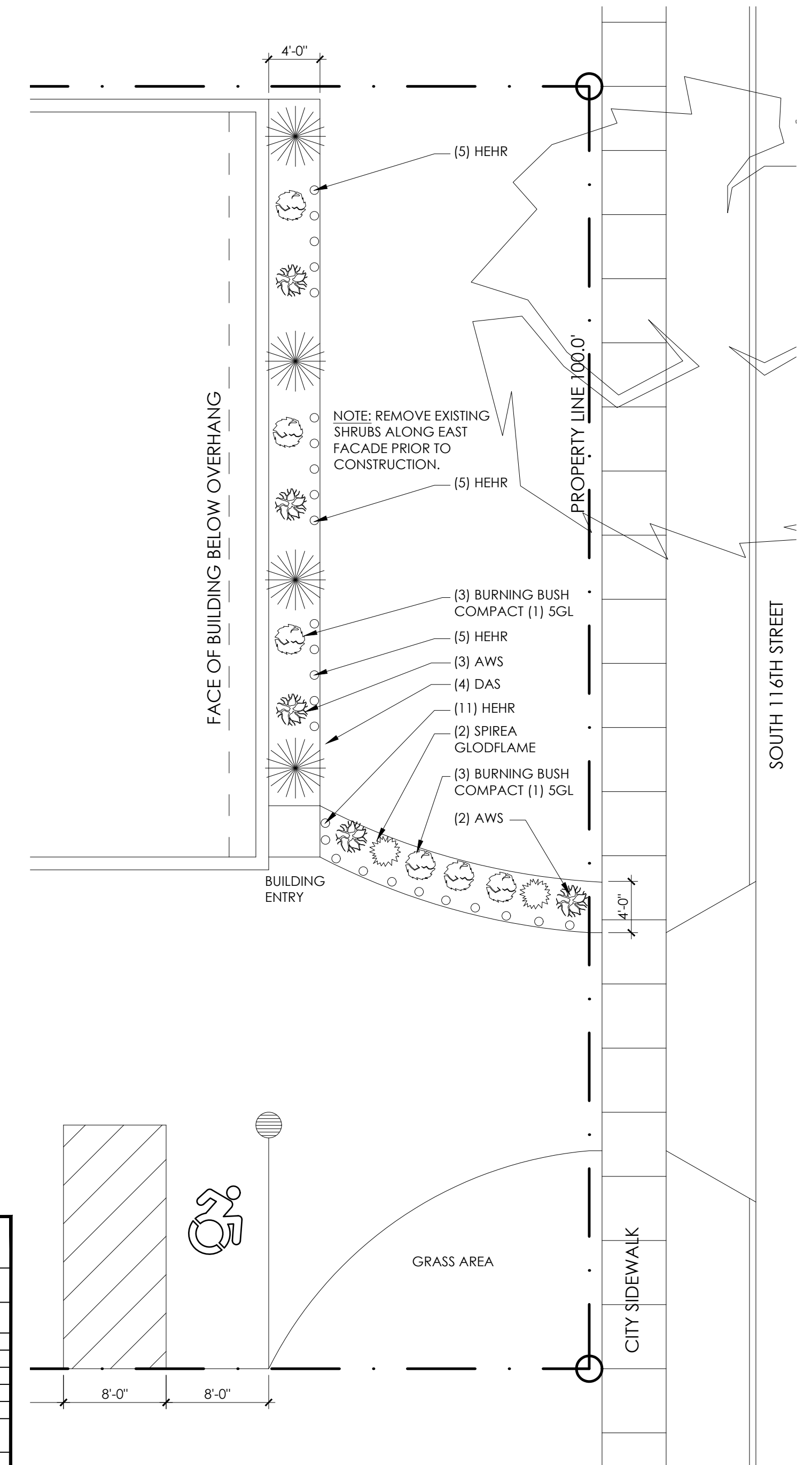
2135 S. 116TH STREET
 WEST ALLIS, WI 53227

CLIENT:
WES ALLEN CONSTRUCTION
 13545 WATERTOWN PLANK RD.
 ELM GROVE, WI 53122

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23-06-21	OWNER REVIEW COMMENTS

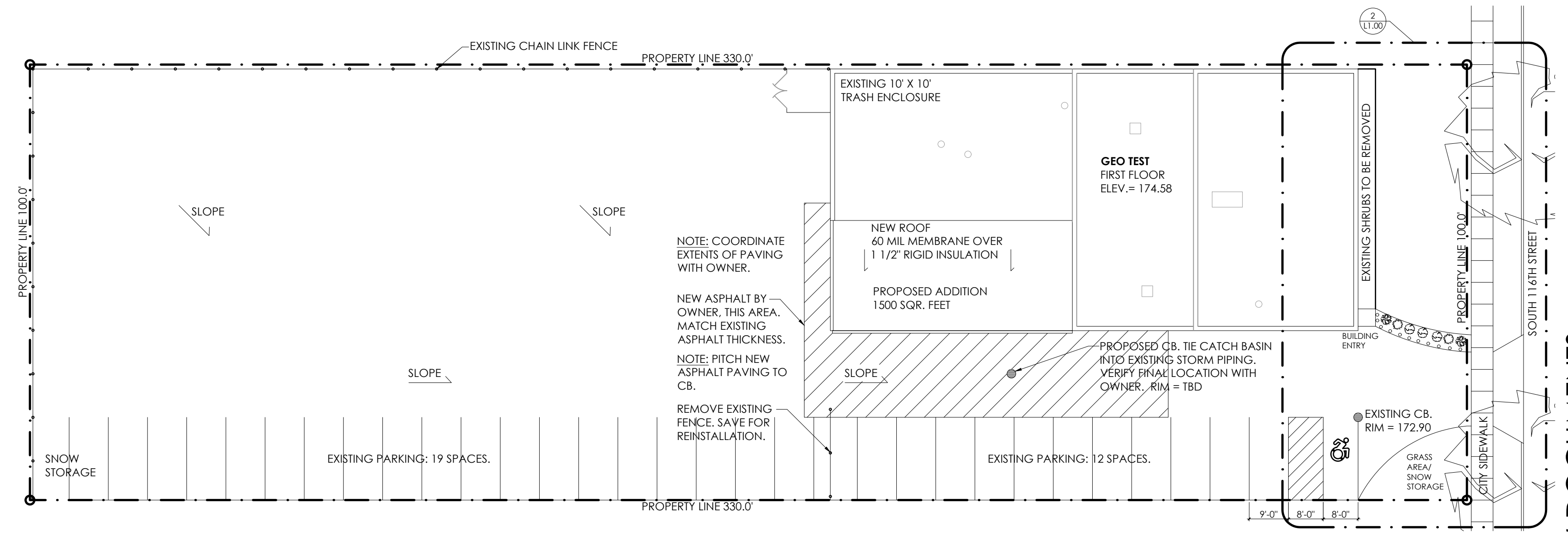
- ### LANDSCAPE NOTES
1. LANDSCAPE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE PRIOR TO ANY DIGGING.
 2. LANDSCAPE CONTRACTOR TO PROVIDE BLACK PLASTIC EDGING AT ALL NEW LANDSCAPE AREAS.
 3. LANDSCAPE CONTRACTOR TO PROVIDE BLACK WEED BARRIER AT ALL NEW LANDSCAPE AREAS.
 4. LANDSCAPE CONTRACTOR TO PROVIDE A MINIMUM OF 3" SHREDDED BARK MULCH AT ALL NEW LANDSCAPE AREAS.
 5. LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE GUIDELINES OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, URBAN FORESTRY DIVISION.
 6. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER INSTALLATION.



2 ENLARGED SITE PLAN
 1/8" = 1'-0"

PROPOSED PLANT SCHEDULE

code	qty.	botanical name	common name	size	root condition	spacing	remarks
SHRUBS							
SG	2	<i>Spiraea x bumalda</i> "Goldflame"	Goldflame Spiraea	15"-18" ht	CONT.	4'-5" O.C.	
AWS	5	<i>Spiraea x bumalda</i> A.W.	Anthony Waterer Spiraea	18" ht	CONT.	3'-4" O.C.	
BB	6	Burning Bush	Burning Bush	48" ht	CONT.	4'-6" O.C.	
DAS	4	<i>PICEA GLAUCA</i> 'CONICA'	DWARF ALBERTA SPRUCE	6'-8" ht	#2 CONT.	6'-8" O.C.	
PERENNIALS							
HEHR	26	HEMEROCALLIS "HAPPY RETURNS"	Happy Returns Daylily	4 - 5 pot	CONT.		



1 SITE/LANDSCAPE PLAN
 1" = 20'-0"

REVIEW DOCUMENTS

PROJECT NUMBER 20-014
 START DATE 11-07-22
 DRAWN BY JLS
 CHECKED BY ELM

**SITE PLAN/
 LANDSCAPE
 PLAN**

L1.00

ALT. BID KEYED NOTES

- 1 REMOVE EXISTING ENTRY DOOR AND FRAME. REPLACE WITH NEW CLEAR ANOD. ALUM. DOOR AND FRAME.

DEMO. GENERAL NOTES

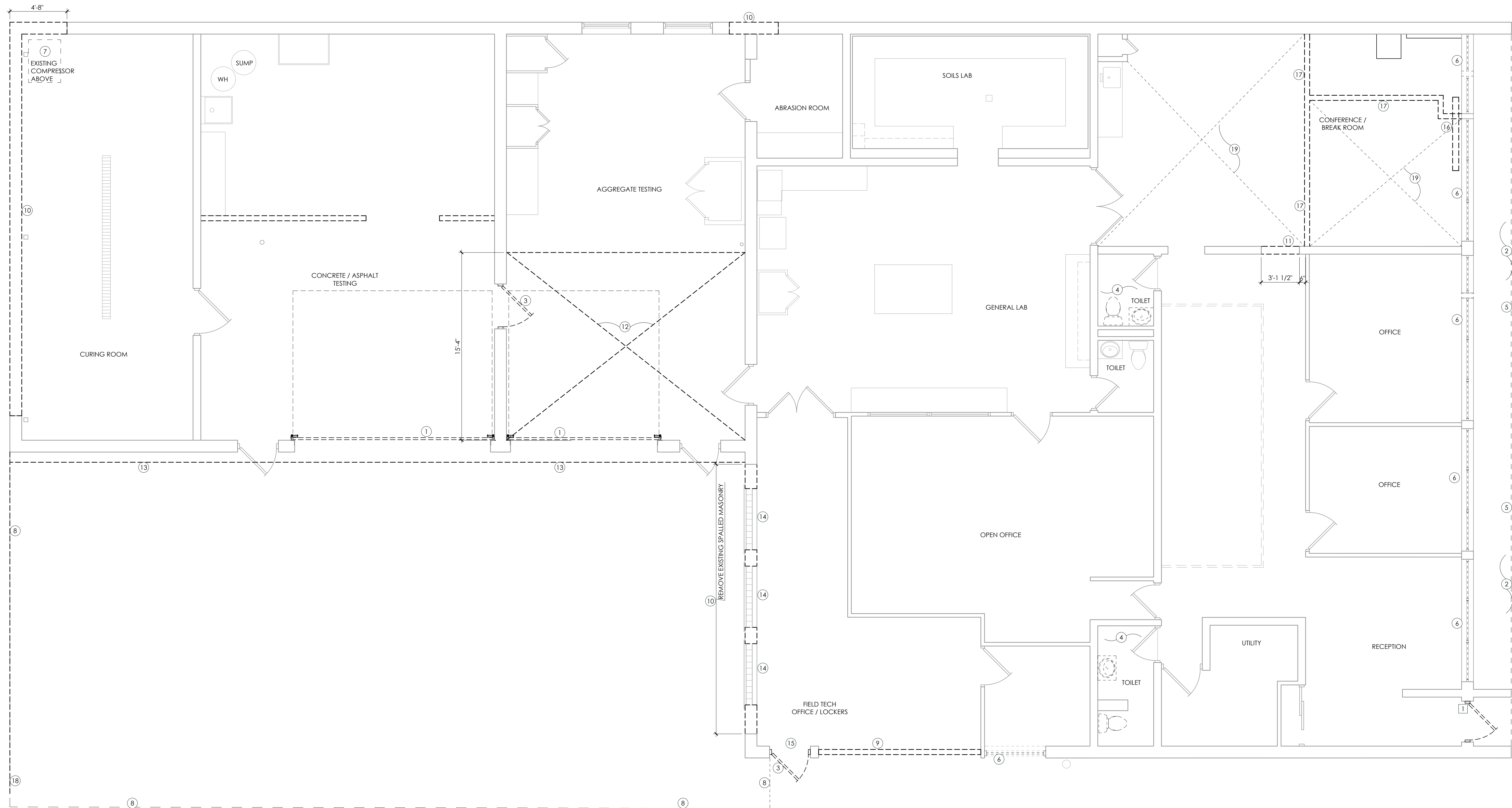
- CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- THESE DRAWINGS WERE PREPARED UTILIZING VISUAL AND FIELD MEASURED VERIFICATION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DETAILS OR DESCRIPTION OF EXISTING CONDITIONS.
- GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AS REQUIRED TO PREVENT THE INFILTRATION OF DUST TO OTHER PARTS OF THE BUILDING.
- NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO ANY PLANNED UTILITY OUTAGES.
- THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL ITEMS REMOVED DURING DEMOLITION.
- HVAC CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS REMOVED DURING DEMOLITION.
- PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL PLUMBING FIXTURES AND RELATED PIPING REMOVED DURING DEMOLITION.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING REMOVED DURING DEMOLITION.

DEMOLITION KEYED NOTES

- REMOVE EXISTING OVERHEAD DOOR AND RELATED HARDWARE.
- REMOVE EXISTING SHRUBS.
- REMOVE EXISTING DOOR, FRAME & TRANSOM.
- REMOVE EXISTING FIXTURES AND FINISHES THIS ROOM.
- REMOVE EXISTING METAL SOFFIT AND FASCIA ABOVE.
- REMOVE EXISTING WINDOWS AND FRAME.
- REMOVE EXISTING MEZZANINE MOUNTED AIR COMPRESSOR AND RELATED PIPING. SAVE FOR REINSTALLATION.
- REMOVE EXISTING ASPHALT PAVEMENT AS REQUIRED FOR NEW ADDITION AND RE-GRADING. SEE SITE PLAN.
- REMOVE WOOD INFILL WALL.
- REMOVE EXISTING SPALLED MASONRY WALL TO EXTENTS REQUIRED TO REPLACE. SEE PLAN, A1.11.
- REMOVE PORTION OF EXISTING MASONRY WALL. SEE STRUCTURAL FOR LINTEL SIZING.
- REMOVE PORTION OF CONCRETE SLAB AS SHOWN.
- REMOVE EXISTING FLUTED FASCIA MATERIAL.
- REMOVE EXISTING GLASS BLOCK WINDOWS AND LINTELS.
- REMOVE EXISTING EXIT LIGHT. SAVE FOR REINSTALLATION.
- REMOVE EXISTING PROJECTION SCREEN. SAVE FOR REINSTALLATION.
- REMOVE EXISTING CEILING PANELS AND GRID AS REQUIRED TO ALLOW FOR NEW WALL CONSTRUCTION.
- REMOVE EXISTING FENCE AS REQUIRED FOR CONSTRUCTION. SAVE FOR REINSTALLATION.
- REMOVE EXISTING FLOORING.

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL/DOOR/FINISH TO BE REMOVED.
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- DEMOLITION KEYED NOTE
- KEYED NOTE
- REVISIONS
- ALT BID KEYED NOTES



1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



ARCHITECTS
133 W. PITTSBURGH AVE. SUITE 102
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

ADDITION FOR:

GEO TEST INC

2135 S. 116TH STREET
WEST ALLIS, WI 53227

CLIENT:

WES ALLEN CONSTRUCTION
13545 WATERTOWN PLANK RD.
ELM GROVE, WI 53122

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CHECKED BY	ELM

REVIEW DOCUMENTS

FIRST FLOOR
DEMO PLAN

A0.51

- ### ALT. BID KEYED NOTES
- REMOVE EXISTING ENTRY DOOR AND FRAME, REPLACE WITH NEW.
 - ENCLOSURE AT NUCLEAR GAUGES TO BE 8'-0" AFF CHAIN LINK WITH 3'-0" GATE. VERIFY HEIGHT WITH OWNER

- ### KEYED NOTES
- RELOCATE EXISTING COMPRESSOR - TO BE FLOOR MOUNTED.
 - FURNISH & INSTALL NEW ASPHALT PAVING (BY OWNER). REGRADE AS REQUIRED TO DRAIN TO EXISTING CATCH BASIN.
 - PITCH CONCRETE FLOOR TO TRENCH DRAIN AT 1/4" PER FOOT.
 - REMOVE AND REPLACE SPALLED CMU THIS WALL.
 - FURNISH & INSTALL 15" X 18" X 6'-0" PRE-FINISHED METAL LOCKERS ON A TREATED 2X4 WOOD BASE.
 - INFILL EXISTING OPENING WITH 12" CMU TO 8'-0" AFF FOR NEW WINDOW SILL HEIGHT.
 - FURNISH & INSTALL 4" X 4" X 1/4", 4'-0" H STEEL ANGLE CORNER GUARDS AT EXPOSED CMU CORNERS.
 - INSULATED GLASS WINDOW SET IN A THERMALLY BROKEN ANODIZED ALUMINUM FRAME. SET SILL AT 7'-4" AFF.
 - EXISTING FAUCET TO REMAIN.
 - REPLACE EXISTING CONCRETE FLOOR THIS AREA: 5" SLAB OVER COMPACTED FILL. SEE STRUCT. FOR REINFORCING.

- ### KEYED NOTES
- FURNISH & INSTALL INSULATED GLASS WINDOWS SET IN A THERMALLY BROKEN ANODIZED ALUMINUM FRAME. SIZE TO MATCH EXISTING.
 - FURNISH & INSTALL NEW PRE-FINISHED METAL SOFFIT AND FASCIA PANELS ATTACHED TO EXISTING FRAMING
 - CONNECT NEW DOWNSPOUT TO EXISTING DRAIN LINE BELOW GRADE.
 - HVAC CONTRACTOR TO ASSESS AND EXTEND EXISTING HVAC SYSTEM TO THIS AREA. COORDINATE WITH OWNER.
 - HVAC CONTRACTOR TO UPGRADE EXHAUST SYSTEM THIS AREA. COORDINATE WITH OWNER.
 - SHELVING UNITS BY OWNER.
 - FURNISH AND INSTALL A CAP AT ROOM 120: 3/4" PLYWOOD OVER 6" MTL. STUDS AT 16" O.C. PAINT EXPOSED EDGES.
 - RE-MOUNT AIR HOSE REEL AT 40" A.F.F.

- ### WALL TYPES
- EXTERIOR WALL: 5/8" GWB OVER 4 MIL VAPOR BARRIER ATTACHED TO 2" METAL Z CHANNELS AT 16" O.C. ATTACHED TO 12" CMU. FILL VOIDS WITH 2" R-10 RIGID INSULATION.
 - INTERIOR PARTITION: 5/8" CEMENT BOARD EACH SIDE OF 3-5/8" METAL STUDS AT 16" O.C. FILL VOIDS WITH 3 1/2" SOUND INSULATION. EXTEND PARTITION TO 8'-0" AFF.
 - 5/8" GWB EACH SIDE OF 3 5/8" METAL STUDS AT 16" O.C. FILL VOIDS WITH SOUND BATT INSULATION. EXTEND PARTITION TO UNDERSIDE OF METAL DECK.
 - 12" CMU INFILL
 - GWB FINISH - WALL INFILL TO MATCH EXISTING.
 - INTERIOR FURRING: 5/8" GWB ONE SIDE OF 2" METAL Z CHANNELS AT 16" O.C. ATTACHED TO EXISTING WALL. FILL VOIDS WITH 2" R-10 RIGID INSULATION. EXTEND TO UNDERSIDE OF METAL DECK.
 - 8" CMU. EXTEND PARTITION TO 8'-0" AFF

LEGEND

- EXISTING WALL TO REMAIN
- NEW WOOD STUD PARTITION
- NEW CMU WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- KEYED NOTE
- WALL TYPE
- DOOR TAG
- ALT. BID KEYED NOTE
- REVISION



ARCHITECTS
 133 W. PITTSBURGH AVE. SUITE 102
 MILWAUKEE, WI 53204
 414.277.8000
 MADISENMAHER.COM

ADDITION FOR:
GEO TEST INC

2135 S. 116TH STREET
 WEST ALLIS, WI 53227

CLIENT:
WES ALLEN CONSTRUCTION
 13545 WATERTOWN PLANK RD.
 ELM GROVE, WI 53122

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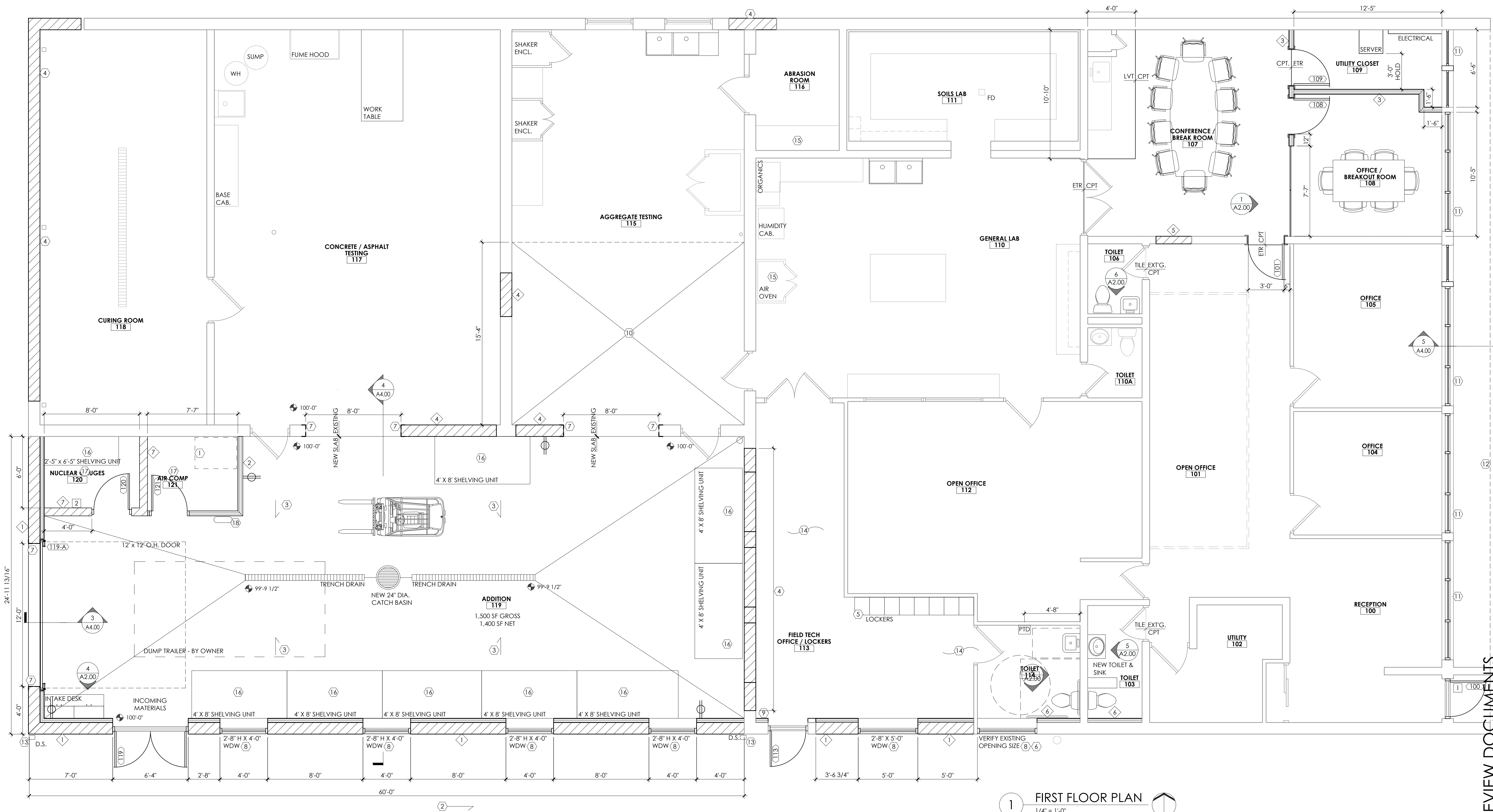
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PROJECT NUMBER 20-014
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 DRAWN BY JLS
 CHECKED BY ELM

FIRST FLOOR PLAN

A1.11



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

REVIEW DOCUMENTS

ADDITION FOR:

GEO TEST INC

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 WEST ALLIS, WI 53227

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DRAWN BY	JLS
CHECKED BY	ELM

**FIRST FLOOR
 REFLECTED
 CEILING PLAN**

A1.21

DEMO NOTES

① REMOVE EXISTING CEILING AND GRID.

KEYED NOTES

① CEILING: GWB ATTACHED TO 6" METAL STUDS AT 16" O.C.
 ② FURNISH AND INSTALL 1 X 8 HORIZONTAL TRIM BOARD TO RECEIVE CEILING GRID. PRIME AND PAINT.
 ③ PATCH GRID AND CEILING PANELS WHERE NEW WALL PENETRATES.
 ④ GWB BULKHEAD AT 7'-0" A.F.F.
 ⑤ EXISTING BEAM OUTSIDE PLANE OF CMU WALL
 ⑥ RELOCATE EXISTING PROJECTION SCREEN.

LEGEND

ACOUSTIC CEILING TILES

SURFACE MOUNTED FIXTURE

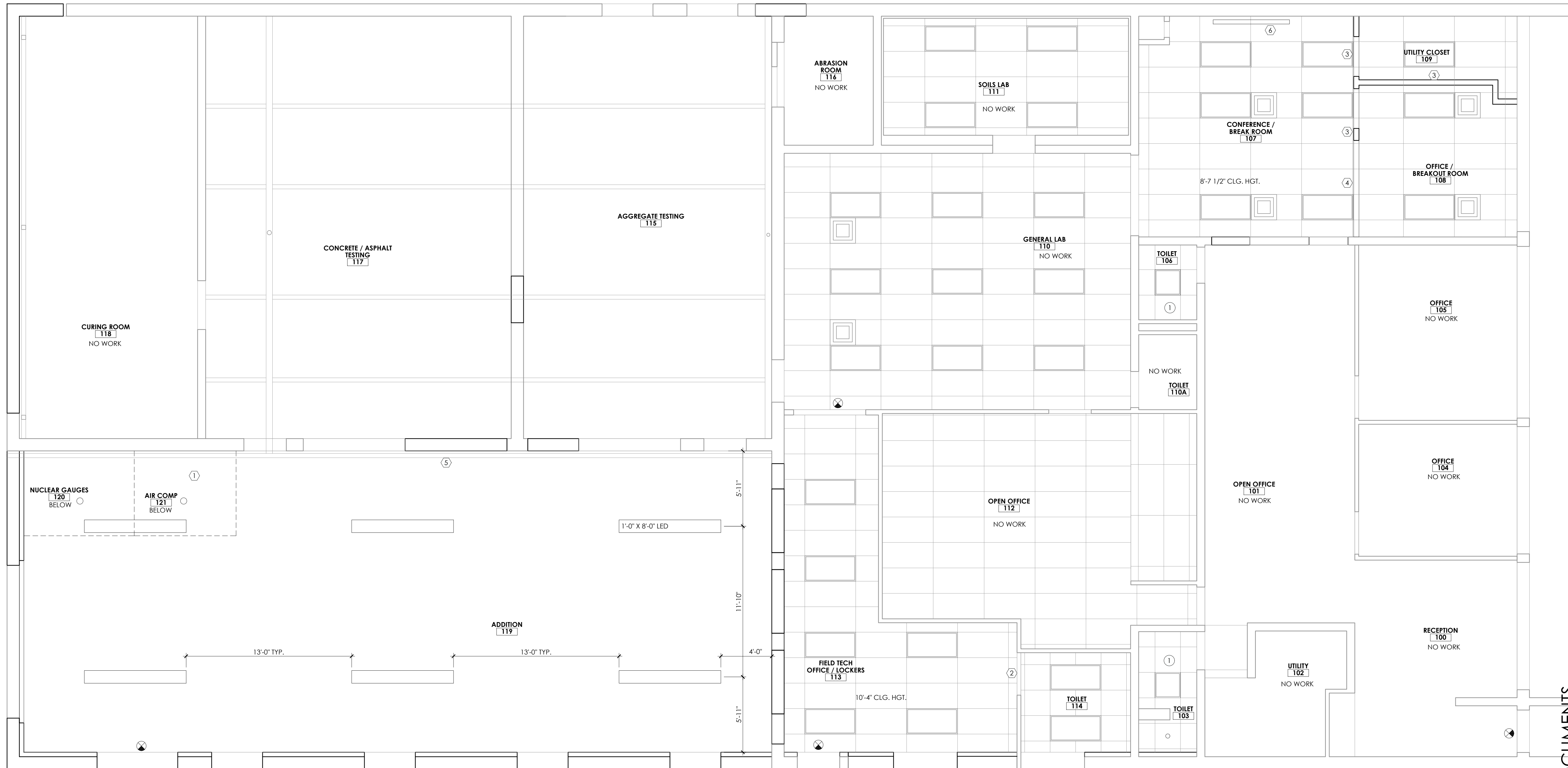
RECESSED CAN LIGHT

EMERGENCY EGRESS LIGHTING

EXIT SIGN

KEYED NOTE

REVISIONS



① **FIRST FLOOR PLAN**
 1/4" = 1'-0"

REVIEW DOCUMENTS



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, June 28, 2023
6:00 PM

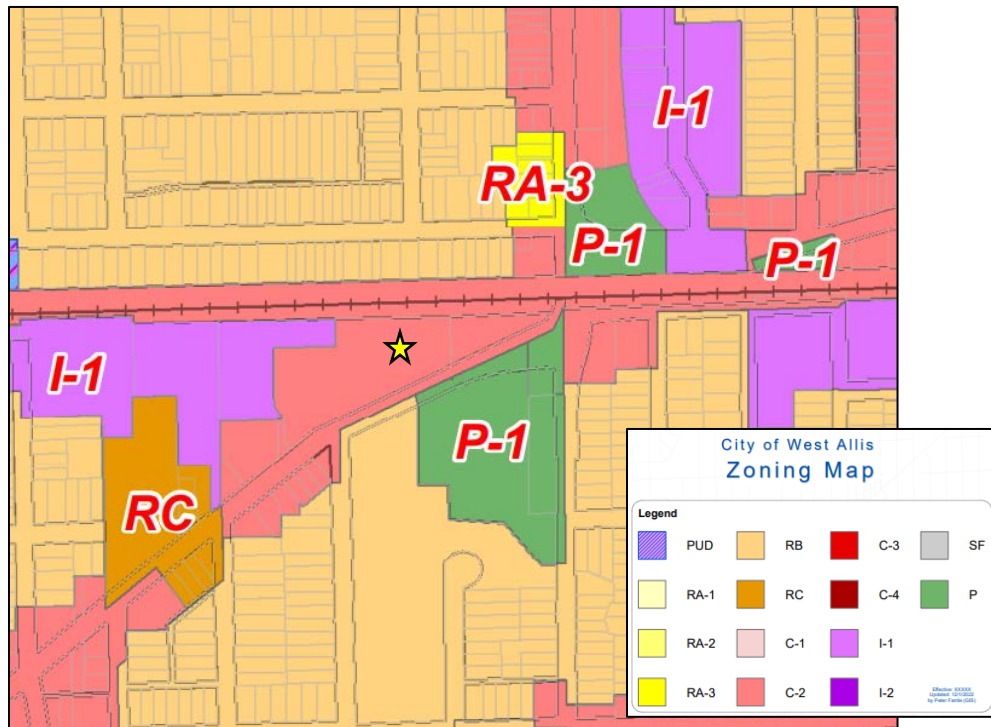
Watch: <https://www.youtube.com/user/westalliscitychannel>

6. Tax Incremental District No. 19, the proposed boundaries of the District, summary of the Project Plan for the District, and conformance with the 2040 Comprehensive Plan.

Zoning and Land Use Conformance

Plan Commission's role with this item is to determine if the project is in conformity with the general plan (Comprehensive Plan) of the City.

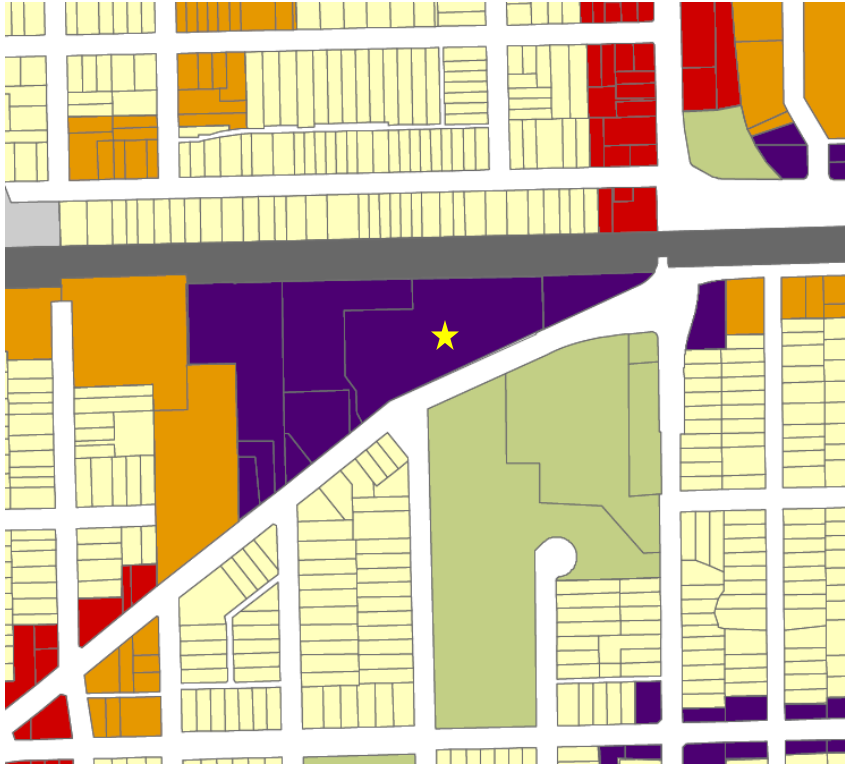
- **Zoning Ordinances** - The proposed Plan is in general conformance with the City's current zoning ordinances. The property is zoned [C-2, Commercial](#) which permits multi-dwelling unit residential as a conditional use.



No changes to zoning ordinances will be required to implement the Plan.

- **Master (Comprehensive) Plan and Map** - The proposed Plan is in general conformance with the City's Comprehensive Plan identifying the area as appropriate for Mixed Use development. This land use category is considered a valuable existing land use in the community. Thus, the mixed-use category is included in the 2040 land use plan. Mixed-use is defined as a combination of residential, commercial office, and / or commercial retail either combined within a building (e.g., retail on the first floor with housing on the upper levels) or existing together on a development site.

Multi-unit dwelling (high density residential) is an allowed land use within the mixed-use classification and is consistent with the C-2, Commercial Zoning District.



- **Building Codes and Ordinances** - Development within the District will be required to conform to State Building Codes and will be subject to the City's permitting and inspection procedures.

The proposed Plan conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

Plan Commission approved a Conditional use and site, landscaping and architectural plans on October 26, 2022. In December of 2022, Common Council adopted the conditional use and site development plans as recommended by Plan Commission under R-2022-0801.

TID 19 Overview

While Plan Commission's role on this item is purely to determine if the TID project plan conforms with the Zoning Ordinance and Comprehensive Land Use Plan, an executive summary of the TID 19 Project Plan follows. The summary also helps explain how the creation Tax Incremental Districts promotes the orderly development of the City.

In 2016, the City adopted the National Avenue Corridor Strategic Plan. This plan calls for more housing, public improvements, and coordinated investment within this key corridor that runs through the heart of West Allis. The National Avenue corridor has seen significant redevelopment since the strategic plan was adopted. Projects like streetscaping improvements and reconstruction between S. 70 St. and S. 82 St., The West Living, SoNa Lofts, Maker's Row, Opel Brewing, and Flour Girl & Flame have transformed the Eastern portion of the corridor. However, the transformation has yet to catch on to the West of S. 84 St.

Creation of the District and the implementation of the projects in its Plan will promote the

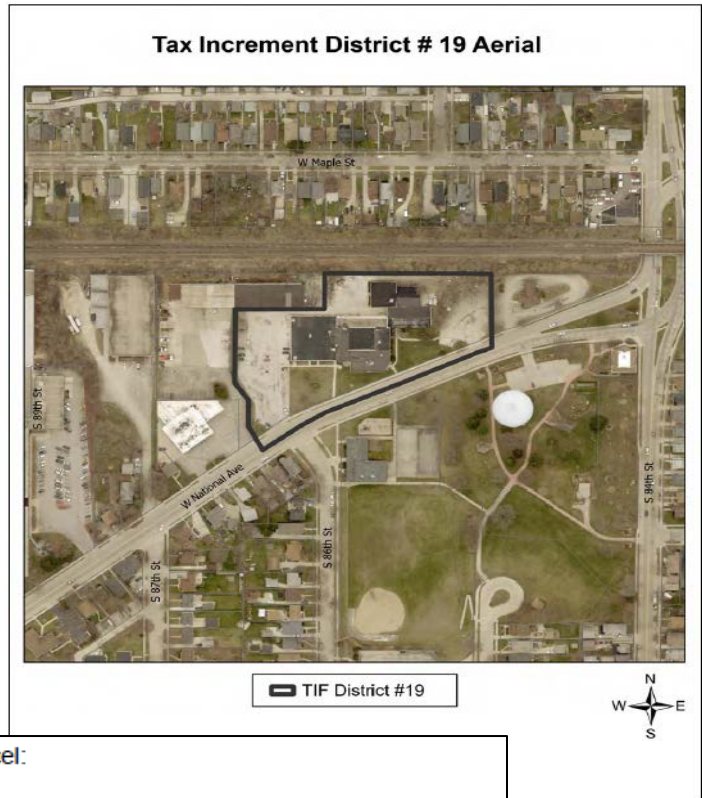
orderly development of the City by eliminating a blighted area and providing appropriate financial incentives for a private development project. Through use of tax increment financing, the City can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Project will be compatible with adjacent land uses. Development of new uses in the District will add to the tax base and will generate positive secondary impacts in the community such as redevelopment of a blighted area, creation of market rate multi-family housing to meet market demand (as emphasized in the [National Avenue Corridor Study](#) and [2040 Comprehensive Plan](#)), and provision of employment and commercial opportunities related to the construction and operation of the Project. The proposed development falls squarely within the “Honey Creek Crossing” target investment area identified by the National Ave. Corridor Plan and Concept Area 21 of the Comprehensive plan. The plan specifically identified the north side of National Avenue as a key redevelopment opportunity and called for higher-intensity residential development.

Description of district

Tax Incremental District (“TID”) No. 19 (“District”) is a proposed single parcel blighted area district that will include property located at 8530-8556 W. National Avenue, the site of the former Clark Oil headquarters. The property will be redeveloped by Three Leaf Partners (“Developer”) as the site for a six-story 247-unit market rate apartment building with structured and surface parking, and various tenant amenities (“Project”).

Authority

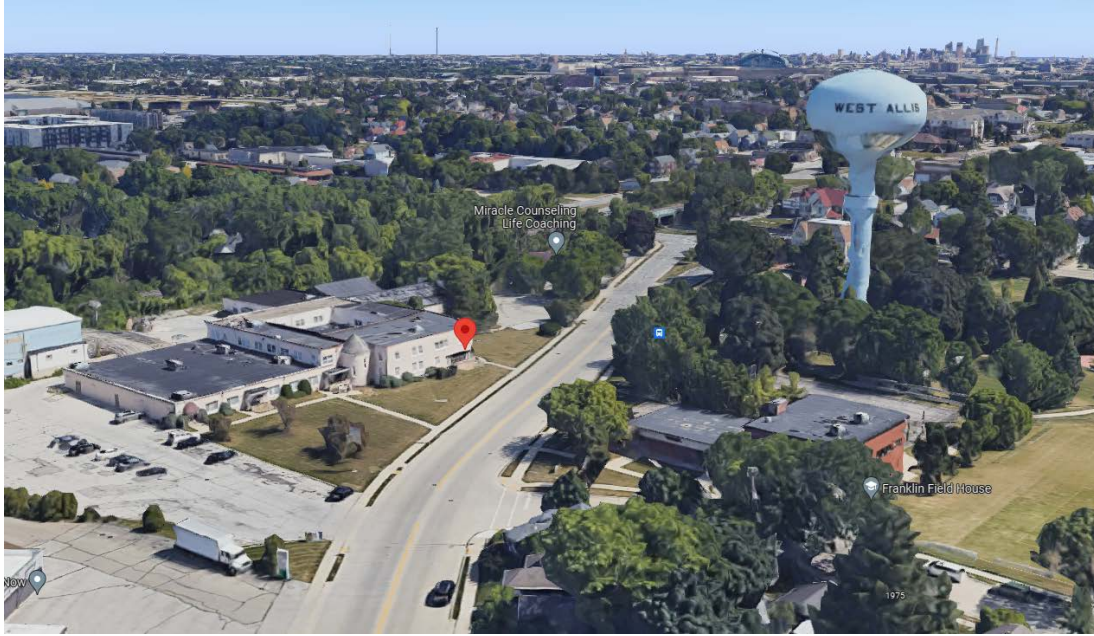
The City is creating the District under the provisions of Wis. Stat. § 66.1105.



The District will consist of a single tax parcel:

Parcel Number: 478-9998-003
 Address: 8530-8556 W. National Ave.
 Owner: 3LP West Allis, LLC
 Acres: 3.57 acres (3.19 parcel and .38 acres of adjoining street right-of-way)

Current Value:	Assessed	Equalized
Land	\$686,200	\$955,800
Improvements	\$314,000	\$437,400
Total	\$1,000,200	\$1,393,200



Existing bird's eye view of area – [link to street view](#)

Est. total project cost and expenditures.

The City anticipates making total expenditures of approximately \$29.5 million (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs include an estimated \$28.8 million in development incentive payments and \$745,000 for administrative, legal, and professional services costs associated with creation and administration of the District over its 27-year life. The requested \$28.8 million in incentive payments over time have a present value of \$13.1 million assuming a 6% discount rate. The agreement by the City to provide these payments will permit the Developer to secure an \$11.8 million loan from a private lender to fund a portion of the Project construction.





Incremental valuation

The City projects that new land and improvements value of approximately \$46.8 million will result from the Project. Creation of this additional value will be made possible by the Project Costs made within the District.

Projects Outside the Tax increment District

The City may undertake projects within territory located within one-half mile of the boundary of the District provided that: 1) the project area is located within the City's corporate boundaries; and 2) the projects are approved

by the Joint Review Board. The cost of projects completed outside the District are eligible project costs and may include any project cost that would otherwise be eligible if undertaken within the District. The City may need to make the following project cost expenditures outside the District:

- Infrastructure Improvements at Honey Creek Park
- Street Improvements (Bump outs, crosswalks, paint)
- Housing & Other Econ. Dev. Incentives or Other Project Costs

Expected termination of district

The City anticipates that the District will require 27 years to pay all Project Costs.

Recommendation: Approval as determination that the proposed Tax Incremental District No. 19 is in conformity with the Zoning and Comprehensive Land Use Plan of the City.