



City of West Allis

Meeting Agenda

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, March 27, 2024

6:00 PM

City Hall, Common Council Chambers
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF MINUTES

1. [24-0162](#) February 28, 2024 (draft minutes)

Attachments: [February 28, 2024 \(draft minutes\)](#)

D. NEW AND PREVIOUS MATTERS

- 2A. [24-0164](#) Conditional Use Permit for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S.109 St.
- 2B. [24-0165](#) Site, Landscaping, and Architectural Design Review for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S.109 St. (Tax Key No. 445-0715-002)
Attachments: [\(CUP-SLA\) 1300 S 109 St - WAWM Rec](#)
- 3A. [24-0166](#) Conditional Use Permit for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, at 10928 W. Oklahoma Ave.
- 3B. [24-0167](#) Site, Landscaping, and Architectural Design Review for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, at 10928 W. Oklahoma Ave. (Tax Key No. 520-0151-001)
Attachments: [\(CUP-SLA\) Tsunami Car Wash - 10928 W Oklahoma Ave](#)
- 4A. [24-0169](#) Conditional Use Permit for The Salon Suites, a proposed Beauty, Wellness, and Massage Therapy use located at 11575 W. Theo Trecker Way.
- 4B. [24-0170](#) Site, Landscaping, and Architectural amendment for The Salon Suites, a proposed Beauty, Wellness, and Massage Therapy use located at 11575 W. Theo Trecker Way. (Tax Key No. 445-0756-001)
Attachments: [\(CUP-SLA\) Salon Suites - 11575 W Theo Trecker Way](#)

5. [24-0171](#) Sale of an approximate 670-sf portion of land on property located at 62** W. National Ave. (Tax key Parcel: 454-0073-001)
Attachments: [Antigua land sale](#)
6. [24-0172](#) Ordinance to amend zoning code to prohibit the retail sale of dogs, cats, and rabbits.
Attachments: [\(ORD\) Dog Cat Rabbits](#)
7. [24-0173](#) Certified Survey Map to consolidate two lots into one at 55** W. Lincoln Ave. (Tax Parcel 474-0490-000), and 5520 W Lincoln Ave. (Tax Parcel 474-0491-000)
Attachments: [\(CSM\) 5501 W Lincoln Ave](#)
8. [24-0174](#) Signage plan appeal for Reunion Restaurant located at 6610 W. Greenfield Ave. (Tax Key No. 439-0001-032)
Attachments: [\(SIGN\) Reunion - 6610 W Greenfield Ave.](#)
9. [24-0175](#) Site, Landscaping, and Architectural Design Review for proposed improvements within City Pedestrian Plaza Right-of-Way Downtown West Allis in the 1300 block of S. 72 St.
Attachments: [\(SLA\) Ped Plaza - 1300 block of S 72 St.](#)
10. [24-0176](#) Vacation and discontinuance of an improved alley between W. Lincoln Ave. and W. Grant St. and within the 2200 block of S. 108 St. and S. 109 St.
Attachments: [\(VAC\) Grant alley - 2200 block of S 108 St & S 109 St](#)
11. [24-0177](#) Project Tracking updates.

E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

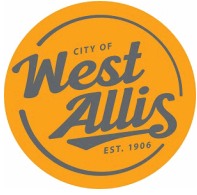
The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City of West Allis

Meeting Minutes

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, February 28, 2024

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING (draft minutes)

A. CALL TO ORDER

B. ROLL CALL

- Present** 6 - Wayne Clark, Brian Frank, Dan Devine, Brandon Reinke, Kathleen Dagenhardt, David Raschka
- Excused** 3 - Eric Torkelson, Jessica Katzenmeyer, Lisa Coons

Others Attending

Ald. Roadt, Ald. Turner, John Fuchs; Attorney, Mike Wolf,

Staff

Steve Schaer, AICP, Manager of Planning and Zoning
Jack Kovnesky, Planner

C. APPROVAL OF MINUTES

1. [24-0106](#) January 24, 2024 (draft minutes)

Attachments: [January 24, 2024 \(draft minutes\)](#)

Raschka moved to approve this matter, Clark seconded, motion carried.

D. NEW AND PREVIOUS MATTERS

2. [24-0107](#) Site, Landscaping, and Architectural Design Review for an accessory parking facility, at 9422-30 W. National Ave. submitted by Atty. John Fuchs on behalf of Milwaukee Entertainment, LLC (Tax Key No. 479-0674-003).

Attachments: [\(SLA\) 9422 W National Ave PC](#)

Steve Schaer presented.

Frank moved to approve this matter, Dagenhardt seconded, motion carried.

3. [24-0108](#) Sign appeal for Lucky 7 Daily Food Pantry, an existing Neighborhood Retail use, located at 9127 W. Lincoln Ave. (Tax Key No. 487-0091-000).

Attachments: [\(SIGN\) 9127 W Lincoln Ave - Lucky 7 Daily Food Pantry](#)

Jack Kovnesky presented.

Clark moved to approve this matter, Frank seconded, motion carried.

- 4. [24-0109](#) Certified Survey Map to combine properties located at 8443 W. Cleveland Ave. & 84** W. Cleveland Ave. (Tax Key Nos. 517-0346-000 & 517-0345-000), by Sam Speaker and Lee Gonzales/KLO Holdings, LLC, property owners.

Attachments: [\(CSM\) West Allis Food Truck Park](#)

Steve Schaer presented.

Clark moved to approve this matter, subject to technical corrections and Common Council approval, Frank seconded, motion carried.

- 5. [24-0110](#) Ordinance to Adopt the City of West Allis 2045 Comprehensive Plan.

Attachments: [\(ORD\) 2045 Comp Plan](#)

Steve Schaer presented.

Clark moved to approve this matter, Frank seconded, motion carried.

E. ADJOURNMENT

There being no other business, a motion was made by Dagenhardt, seconded by Clark to adjourn at 6:45 p.m.



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**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 2A. Conditional Use permit for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S. 109 St.
- 2B. Site, Landscaping, and Architectural Design Review for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S. 109 St. (Tax Key No. 445-0715-002).

Overview and Zoning

In September of 2023, Plan Commission recommended Common Council approval of a rezoning (RA-3 to C-3) for the subject property ([former Lane intermediate school](#)) owned by the WAWM School District. The Economic Development Committee, of the Common Council, was supportive of the rezoning option to amend the zoning map and advised the school district to take next steps toward developing plans and encouraged them to consider a taxable future redevelopment option for the future 1.18 north acre portion of the site. Common Council approved the rezoning In October.



Highway 100 Corridor study

The 2018 Highway 100 Corridor Plan established some basic goals of increasing the mix and diversity of uses along Hwy 100, increasing mobility, creating walkable destinations, help establish a brand identity for the corridor, promote desired development patterns. The Common Council rezoned the property in October of 2023 based on compatibility with the [Comprehensive plan](#) and [Hwy 100 Corridor study](#). The former low density residential zoning of the property didn't promote the full potential for the subject property (located on State Highway 100).

Conditional use proposal



As part of the proposed scope of work WAWM will demolish the older (south) portion of the existing Lane school buildings to make way for a two phase new building addition (pools & turf training), while renovating the newer (north) portion that includes the gymnasium. A portion of the existing property about (1.18 acres) would likely remain undeveloped and could be split via CSM for future development. Please refer to the attached summary received from the Rec Department. Our City Engineering Department indicated that there is an older storm sewer running under the north end of the existing school building. Future development on top of the storm sewer isn't recommended, and Engineering would like to discuss feasibility of extending W. Madison St. to connect to Hwy 100.

The 4.2-acre property is zoned C-3 Commercial, and the Future Land Use Classification is Civic. Refer to project description, demo plans and phase 1 expansion exhibits as submitted by WAWM Rec Dept (applicant).

The C-3 district allows “indoor recreation” as a conditional use. Indoor recreation is broadly [defined](#) in the zoning code as *the use of a lot for conducting live sports, activities, or games of skill for the entertainment of participants entirely within a building.*


GREENFIELD & HWY 100

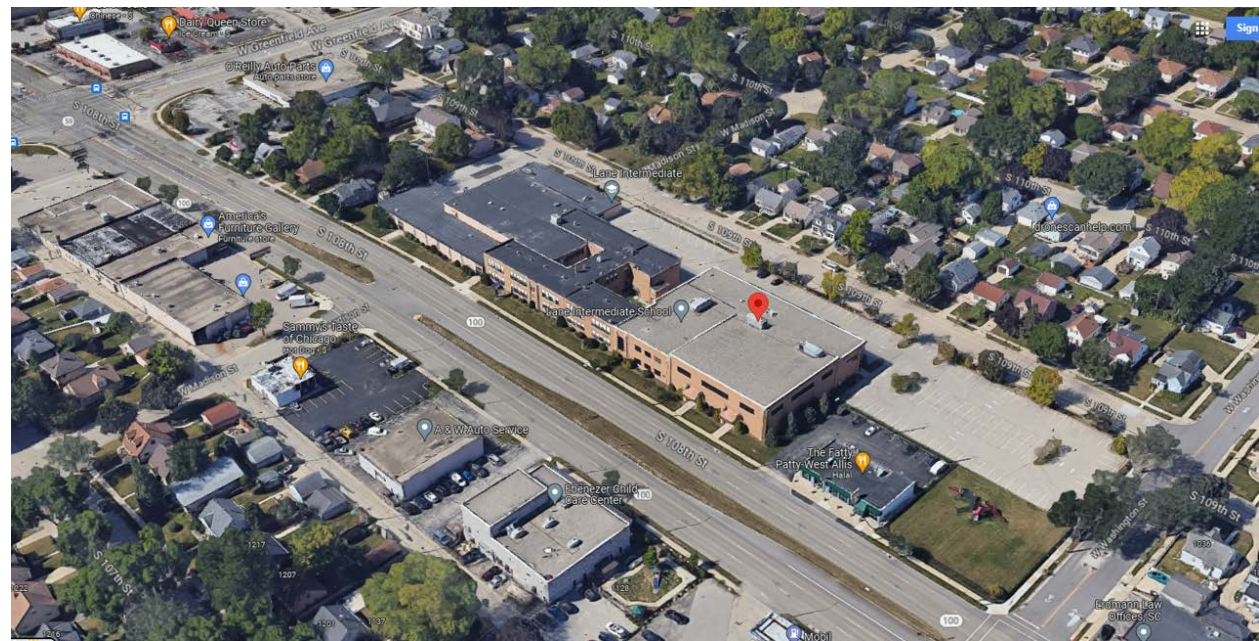
The Greenfield & Hwy 100 development is proposed for the southwest corner of the Greenfield Ave. and Hwy 100 intersection, inclusive of the vacant Pick 'n Save. Development initiatives at this intersection will activate the western border of the Corridor as well as continue the flow of commercial energy experienced north in Wauwatosa and demonstrated within the Study Area south of this site.

1. Diversify the mix of uses
2. Focus on increasing mobility, not traffic flow
3. Create walkable destinations
4. Give Highway 100 a distinct brand and identity
5. Promote desired development patterns

	A	A	A	A	A	A	
C	C	C	C	C	P	P	
C	C	C	C	C	C	C	
C	C	C	C	P	P	C	
C	C	C	C	C	C	C	
C-1	C-2	C-3	C-4	I-1	I-2	P	SF
C	C	C	C	C	C	P	
P	P	P	P	P	P		
C	C	C	C	C	C		
C	C	C	C	C	P	P	
					C	P	P





What is a conditional use? Conditional use is a type of use that is allowed upon meeting all conditions specified in the code and those imposed by the common council. Conditional uses are required to go before the City Plan Commission for consideration of proposed operations and a site, landscaping, and architectural design review. Plan Commission’s decision is referred to the Common Council for public hearing. The timing of the conditional use process is 45-60 days. For instance, this application was submitted in early March, staff conducted a technical review over a period of three weeks, shared feedback/recommendation with the applicant, and published a staff report w/ recommendation to the Plan Commission on March 27. A public hearing before the City Council to be conducted in April. A class 2 notice is required by State Statutes in advance of the public hearing. For more info refer to the [Planning and Zoning web](#).

Site, Landscaping, and Architectural Plans

Proposed building improvements include mass demolition of the south and central portions of the existing building along with brick exterior finish renovations to the remaining two-story north portion of existing building to remain totaling 17,029 square feet. This project is the first phase of the identified master plan for the site, future phases include single-story additions for additional recreation department activities. Exterior materials for the current project will align with existing clay masonry on the building to remain where new exterior surface is required. The current main entrances (gymnasium and visitor doors) will continue to be utilized by program participants and visitors. A new exterior door will be provided as part of renovation for code required exiting at the south-east existing stair. Replacement of existing rooftop mechanical units will be included in the current project. Mechanical screening is not planned to be provided as there is no current screening and existing unit sizes will be maintained. Interior renovation spaces include enlarged and enhanced multi-purpose rooms for a variety of programming – parent/child classes, fitness classes, community meetings, staff training & development, art classes, etc. West Allis-West Milwaukee School District board room space, conference rooms, and support spaces will also be created via renovation on the second floor. Finished renovations are also proposed within the existing building to remain including multipurpose rooms, corridors, toilet rooms, and support spaces.

About 1.80-acres of land area will be disturbed as part of the demo and redevelopment process reducing the amount of impervious area (until such time that the next phase of building addition construction begins). Existing pavement areas within the demolition area will be removed, graded, and grass added to stabilize the site. A city electrical transformer on the south end of the property will be protected during the demo process. Landscaping areas along the existing building foundation/front yard area will be maintained to the extent possible as part of demo. Future addition(s) will prompt a subsequent site, landscaping, and architectural review before Plan Commission.

Construction is scheduled to begin in May 2024 and to be completed in January 2025. The existing building will continue to be occupied and select summer 2024 programming will continue on-site with potential disruptions depending on the specific construction activities on any particular day. Estimated construction/project cost as of February 2024 is \$4,620,000.

Staff Comments

Engineering – Discuss future 1 acre of developable land area on north end of site and consider possible extension of W. Madison St. Right-of-Way (RoW) to Hwy 100. Existing Stormwater within easement area to be protected/maintained. May require improvements in advance of future development. Should not be built upon.

Code Enforcement – Demolition and soil erosion permits required.

Health – Vermin abatement requirement and documentation of contracted abatement.

Planning – Landscaping plan, schedule of expected next phase. What is the school districts plan for the remainder of the property post phase 2? Do expected Rec operations include any large tournaments? Describe typical day/occupancy and staffing.



Recommendation: Common Council approval of the Conditional Use Permit and Site, Landscaping, and Architectural Design Review for the WAWM Recreation Department, for a proposed indoor recreation facility, located at 1300 S. 109 St. (Tax Key No. 445-0715-002) subject to the following conditions:

1. A revised Site and Architectural Plan being submitted to the Department of Development to show the following: (a) Landscaping plan being submitted to show post-demolition landscaping details and removing asphalt paving within terrace areas along S. 109 St. to be replaced with grass confirm on plans; (b) refuse location and 4-sided screening being shown on site plan; (c) two stairwell window openings being shown on the south elevation of the remaining building; (d) construction schedule for phase two, utility easement (aligned with W. Madison St.) being maintained and coordination with City Engineer relative to discussion on future phase of construction and extension of W. Madison St. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. A [Street excavation permit](#) being applied for in OpenGov prior to work beginning. Any concrete work in the street right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367.
3. Vermin abatement documentation being submitted prior to demolition.
4. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City.

DESIGN REVIEW – PROJECT DESCRIPTION

March 8, 2024

WAWM School District – Lane Project Phase 01
1300 South 109th Street
West Allis, Wisconsin
GDG Project #23.019



Description of Building Improvements:

Proposed building improvements include mass demolition of the south and central portions of the existing building along with finish/interior renovations to the remaining two-story north portion of existing building to remain totaling 17,029 square feet. This project is the first phase of the identified master plan for the site, future phases include single-story additions for additional recreation department activities. Exterior materials for the current project will align with existing clay masonry on the building to remain where new exterior surface is required. The current main entrances (gymnasium and visitor doors) will continue to be utilized by program participants and visitors. A new exterior door will be provided as part of renovation for code required exiting at the south-east existing stair. Replacement of existing rooftop mechanical units will be included in the current project. Mechanical screening is not planned to be provided as there is no current screening and existing unit sizes will be maintained. Interior renovation spaces include enlarged and enhanced multi-purpose rooms for a variety of programming – parent/child classes, fitness classes, community meetings, staff training & development, art classes, etc. West Allis-West Milwaukee School District board room space, conference rooms, and support spaces will also be created via renovation on the second floor. Finish renovations are also proposed within the existing building to remain including multipurpose rooms, corridors, toilet rooms, and support spaces.

Timeline When Work Will be Completed:

Construction activities will be coordinated by Construction Manager/General Contractor, CG Schmidt. Construction is scheduled to begin in May 2024 and to be completed in January 2025. The existing building will continue to be occupied and select summer 2024 programming will continue on-site with potential disruptions depending on the specific construction activities on any particular day. Estimated construction/project cost as of February 2024 is \$4,620,000.

Description of Operations/Services:

The Recreation and Community Services Center offers programs and services that support and enhance physical, mental, emotional, and social health for community members. The department offers programs and services for all ages and abilities. The Lane facility is the newest location for the Rec Dept and will offer comparable and additional programming to that of the current Recreation Center. The Lane Recreation center will be open to all of West Allis and West Milwaukee but will serve as a more convenient location to those on the west side of West Allis. The flexibility of the spaces provided allow for the department to offer a variety of programs and partner with other community organizations and agencies to have a greater reach.

Days and Hours of Operations:

No change to current days or hours of operation (listed below for reference).

Monday – Friday = 7:00am-9:00pm

Saturday – Sunday = 8:00am-4:00pm (addition hours as needed for special events, rentals, etc)

600 W. Virginia Street | Suite 602 | Milwaukee, WI 53204
414.810.7613
www.gdg-architects.com

APPLETON | CEDARBURG | MILWAUKEE

pg. 1



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CEDARBURG, WISCONSIN 53012
PH. (262) 377-8001
FX. (262) 377-8003



788 N. Jefferson Street, Ste 900
Milwaukee, Wisconsin 53202
kapurinc.com

PROJECT

**WAWM
REC DEPT - LANE
MASTER PLAN**

**1300 S 109th St
WEST ALLIS, WI
53214**

ISSUE

NO. REV. DATE DESCRIPTION



Scale: 0 15 30 60
Scale: 1" = 30'



Dial 811 or (800)242-8511
www.DiggersHotline.com

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT INFO

Date: 2024.03.08
Project No.: 23.019

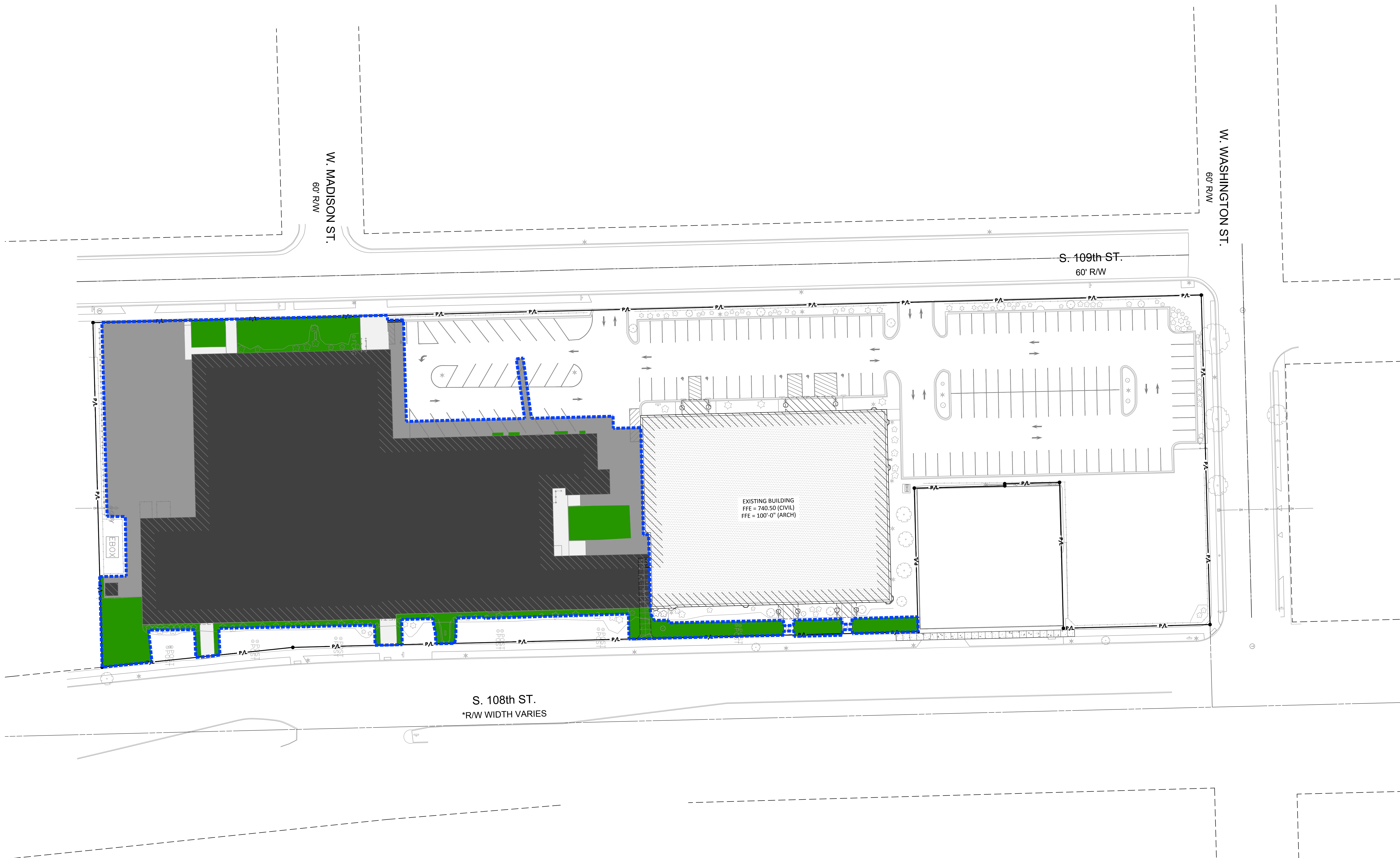
SHEET TITLE

PRE-DEVELOPED SITE CONDITIONS

SWMP-1

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PRELIMINARY CONCEPT



EXISTING PERVIOUS VS. IMPERVIOUS AREAS		
	SQUARE FEET	ACRES
AREA OF SUBJECT SITE (SWMP LIMITS)	78,293 SQUARE FEET	1.80 ACRES
IMPERVIOUS AREAS		
BUILDING / ALTERNATE BUILDING AREA	50,820 SQUARE FEET	1.17 ACRES
DRIVEWAY / ROADWAY AREA	15,268 SQUARE FEET	0.35 ACRES
SIDEWALK / PEDESTRIAN AREAS	2,276 SQUARE FEET	0.05 ACRES
TOTAL EXISTING IMPERVIOUS AREA	68,364 SQUARE FEET	1.57 ACRES
PERVIOUS AREAS		
TOTAL EXISTING PERVIOUS AREA	9,929 SQUARE FEET	0.23 ACRES

LEGEND

--- SWMP LIMITS



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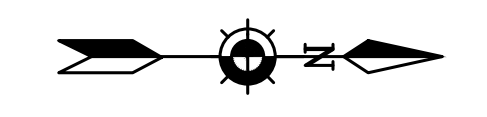
PROJECT

**WAWM
REC DEPT - LANE
MASTER PLAN**

**1300 S 109th St
WEST ALLIS, WI
53214**

ISSUE

NO. REV. DATE DESCRIPTION



Scale: 0 15 30 60
Scale: 1" = 30'



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PROJECT INFO

Date: 2024.03.08
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LEGEND	
	SWMP LIMITS

PROPOSED PERVIOUS VS. IMPERVIOUS AREAS		
	SQUARE FEET	ACRES
AREA OF SUBJECT SITE (SWMP LIMITS)	78,293 SQUARE FEET	1.80 ACRES
IMPERVIOUS AREAS		
BUILDING / ALTERNATE BUILDING AREA	23,249 SQUARE FEET	0.53 ACRES
DRIVEWAY / ROADWAY AREA	1,517 SQUARE FEET	0.04 ACRES
SIDEWALK / PEDESTRIAN AREAS	307 SQUARE FEET	0.01 ACRES
TOTAL PROPOSED IMPERVIOUS AREA	25,073 SQUARE FEET	0.58 ACRES
PERVIOUS AREAS		
TOTAL PROPOSED PERVIOUS AREA	53,220 SQUARE FEET	1.22 ACRES

SHEET TITLE

POST-DEVELOPED SITE CONDITIONS

SWMP-2

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PRELIMINARY CONCEPT

INDEX OF DRAWINGS

X INDICATES ISSUED FOR REVIEW/CONSTRUCTION
 O INDICATES ISSUED FOR REFERENCE ONLY

75% PROGRESS	CITY PLAN COMMISSION	CONSTRUCTION DOCUMENTS	TBD	TBD	TBD	TBD	TBD	TBD	No.	Sheet Name
X	X								G001	TITLE SHEET, SHEET INDEX, LOCATION MAP
X									G002	GENERAL INFORMATION
X									G101	CODE INFORMATION - LEVEL 1
X									G102	CODE INFORMATION - LEVEL 2
X	X								C001	LAND SURVEY
X	X								C101	SITE DEMOLITION PLAN
X									C102	SITE LAYOUT PLAN
X									C103	SITE GRADING & EROSION CONTROL PLAN
									C104	SITE UTILITY PLAN
									C105	SITE LANDSCAPE PLAN
									C201	SITE DETAILS
									C202	SITE DETAILS
X									A001	WALL TYPES
X									A002	GENERAL ARCH DETAILS
X	X								AD101	DEMOLITION PLAN - LEVEL 1
X	X								AD102	DEMOLITION PLAN - LEVEL 2
X									AD103	DEMOLITION REFLECTED CEILING PLAN - LEVEL 1
X									AD104	DEMOLITION REFLECTED CEILING PLAN - LEVEL 2
X	X								A101	FLOOR PLAN - LEVEL 1
X	X								A102	FLOOR PLAN - LEVEL 2
X	X								A103	ROOF PLAN
X									A111	REFLECTED CEILING PLAN - LEVEL 1
X									A112	REFLECTED CEILING PLAN - LEVEL 2
X									A120	FINISH SCHEDULE
X									A121	FINISH FLOOR PLAN - LEVEL 1
X									A122	FINISH FLOOR PLAN - LEVEL 2
X	X								A201	BUILDING ELEVATIONS
X									A311	WALL SECTIONS
									A411	ENLARGED PLANS, INTERIOR ELEVATIONS - LEVEL 1
									A450	ENLARGED TOILET PLANS, INTERIOR ELEVATIONS
									A550	GENERAL INTERIOR DETAILS
X									A600	DOOR SCHEDULE & TYPES
X									H001	SCHEDULES
X									HD101	LEVEL 0 & 1 - DEMOLITION PLANS
X									HD102	LEVEL 2 & ROOF - DEMOLITION PLANS
X									H101	LEVEL 1 - DUCTWORK PLAN
X									H102	LEVEL 2 - DUCTWORK PLAN
X									H103	ROOF PLAN
									H111	LEVEL 1 - PIPING PLAN
									H112	LEVEL 2 - PIPING PLAN
									H121	LEVEL 1 - PLENUM PLAN
									H122	LEVEL 2 - PLENUM PLAN
									H141	MECHANICAL / BOILER ROOM PLANS
									H201	DETAILS
									P101	PLUMBING PLAN - LEVEL 1
									P102	PLUMBING PLAN - LEVEL 2
									F101	FIRE PROTECTION PLAN - LEVEL 1
									F102	FIRE PROTECTION PLAN - LEVEL 2
X									E001	ELECTRICAL SYMBOLS AND ABBREVIATIONS
X									ED101	ELECTRICAL DEMOLITION PLAN
X									ED102	ELECTRICAL DEMOLITION PLAN
X									E101	LIGHTING FLOOR PLAN - LEVEL 1
X									E102	LIGHTING FLOOR PLAN - LEVEL 2
X									E111	POWER FLOOR PLAN - LEVEL 1
X									E112	POWER FLOOR PLAN - LEVEL 2
X									E121	FIRE ALARM & SECURITY FLOOR PLAN
X									E201	ONE-LINE DRAWING AND SCHEDULES
X									E301	ELECTRICAL SCHEDULES AND DETAILS



GROTH
 Design
 Group

PROJECT TEAM SEAL

ARCHITECT

GROTH Design Group
 N55 W6181 Columbia Road
 Cedarburg, WI 53012
 www.gdg-architects.com

PH (262) 377-8001
 FX (262) 377-8003

CIVIL:

KAPUR, INC.
 788 N JEFFERSON STREET
 SUITE 900
 MILWAUKEE, WISCONSIN 53202
 414.751.7200

STRUCTURAL:

CORE4 ENGINEERING
 12308 CORPORATE PARKWAY
 SUITE 450
 MEQUON, WI 53092
 262.239.9372

MECHANICAL:

MSA PROFESSIONAL SERVICES, INC.
 12308 CORPORATE PARKWAY
 SUITE 400
 MEQUON, WISCONSIN 53092
 262.246.9090

PLUMBING:

MSA PROFESSIONAL SERVICES, INC.
 220 E BUFFALO STREET
 SUITE 201
 MILWAUKEE, WISCONSIN 53202
 414.296.4333

ELECTRICAL:

MSA PROFESSIONAL SERVICES, INC.
 116 FREMONT STREET
 KIEL, WISCONSIN 53042
 920.894.7800

PROJECT

WEST ALLIS-WEST MILWAUKEE RECREATION DEPARTMENT - LANE PHASE 01

**1300 S 109th St
 West Allis, WI
 53214**

WEST ALLIS-WEST MILWAUKEE

RECREATION DEPARTMENT - LANE PHASE 01

**1300 S 109th St
 West Allis, WI 53214**

LOCATION MAP



PROJECT INFO

Date: 2024-03-08
 Project No.: 23.019

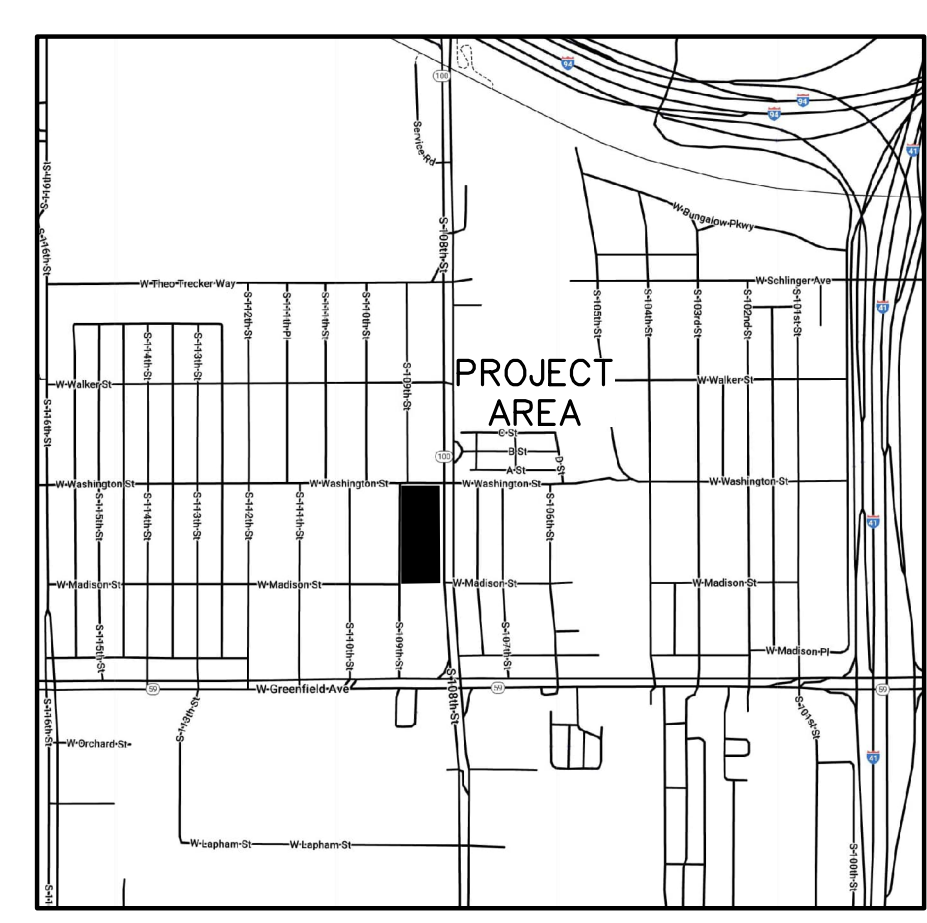
SHEET TITLE

TITLE SHEET, SHEET INDEX, LOCATION MAP

G001

PLAT OF SURVEY WITH TOPOGRAPHY

BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 7 NORTH, RANGE 21 EAST, IN THE CITY OF WEST ALLIS, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.



VICINITY MAP
NOT TO SCALE

BEARINGS ARE REFERENCED TO NAD27
 WISCONSIN STATE PLANE - SOUTH ZONE
 VERTICAL DATUM IS NGVD 29

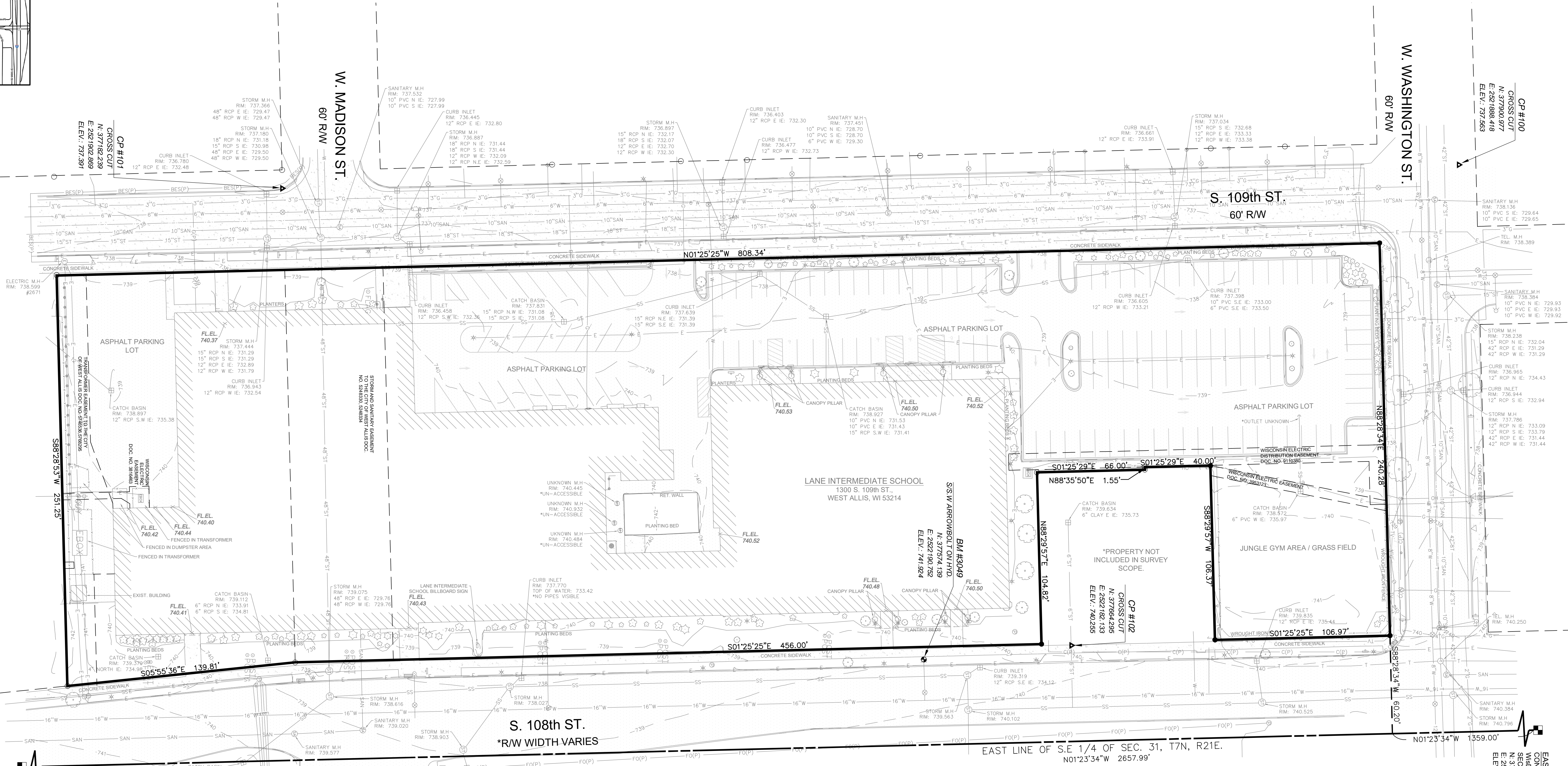


Toll Free (800)242-8511
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 Hearing Impaired TDD (800)542-2289
 www.DiggersHotline.com
 REGISTER'S HOTLINE TICKETS:
 20234802175, 20234802177, 20234802206, 20234802212,
 20234802690, 20234802693, 20234802706, 20234802708

ALTHOUGH DIGGERS' HOTLINE WAS NOTIFIED THIS SURVEY DOES NOT GUARANTEE THAT ALL UTILITIES HAVE BEEN LOCATED ON SITE. SOME OF THE UTILITIES MAY HAVE BEEN DRAWN IN PER PLAN BASED ON MAPS RECEIVED FROM MEMBERS NOTIFIED. LACKING EXCAVATION THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

LEGEND

- ▲ = BENCH MARK
- △ = CONTROL POINT
- = 1 1/4" IRON PIPE O.D. FOUND OR AS NOTED
- = 1-1/4" O.D. x 18" LONG IRON PIPE SET, WEIGHING 1.68 LBS./FT.
- = SECTION CORNER MON.
- (R.A.) = RECORDED AS
- = OUTSIDE DIAMETER
- ⊕ = WATER VALVE
- ⊙ = FIRE HYDRANT
- 970.90 = SPOT ELEVATION
- ⊕ = BUSH, SHRUB
- ⊙ = POLE/POST/BOLLARD
- ⊙ = BOULDER
- ⊙ = PULLBOX
- ⊙ = MANHOLE TYPE NOTED
- ⊙ = SANITARY SEWER MANHOLE
- ⊙ = STORM SEWER MANHOLE
- ⊙ = ELECTRIC MANHOLE
- ⊙ = TELEPHONE MANHOLE
- ⊙ = WATER MANHOLE
- ⊙ = UTILITY METER
- ⊙ = GUY WIRE POLE
- ⊙ = LIGHT POLE
- ⊙ = PEDESTAL
- ⊙ = POWER POLE
- ⊙ = INLET
- ⊙ = CURB INLET
- ⊙ = GAS VALVE
- ⊙ = LIGHT POLE WITH MAST
- ⊙ = TREE (CONIFEROUS) DRIP LINE SCALABLE
- ⊙ = TREE (DECIDUOUS) DRIP LINE SCALABLE
- ⊙ = CLEANOUT
- ⊙ = FLAG POLE
- ⊙ = UTILITY MARKER POST
- ⊙ = SIGN ON POST
- ⊙ = UTILITY CONTROL BOX
- ⊙ = UNKNOWN UTILITY VALVE
- FL. EL. = FIRST FLOOR ELEVATION
- = BUILDING OUTLINE
- - - 3 - - - = MINOR CONTOUR
- - - 5 - - - = MAJOR CONTOUR
- - - = FENCE
- - - = BEAM GUARD
- - - = CHAINLINK FENCE
- - - = WOODED AREA/SHRUB EDGE
- W = WATER MAIN
- ST = STORM SEWER
- SAN = SANITARY SEWER
- G = NATURAL GAS MAIN
- T = UNDERGROUND TELEPHONE
- E = UNDERGROUND ELECTRIC
- OH = OVERHEAD UTILITY LINES
- FO = UNDERGROUND FIBER OPTIC
- TV = UNDERGROUND CABLE TV
- C = COMMUNICATION CONDUIT
- (P) = UTILITIES PER PLAN
- ▨ = ASPHALT SURFACE
- ▨ = CONCRETE SURFACE



SOUTHEAST CORNER
 SEWER CONC. MONUMENT
 W/ BRASS CAP
 SEC. 31 MON. RATE
 N. 29°28'19.100"
 E. 262'287.850"
 ELEV.: 738.850

EAST QUARTER CORNER
 CONC. MONUMENT W/
 BRASS ALUMINUM CAP
 N. 9°26'19.100"
 E. 262'287.850"
 ELEV.: 744.800

LEGAL DESCRIPTION:

PROVIDED PER KNIGHT BARRY TITLE INC.,
 FILE #: 2247389, EFFECTIVE DATE NOVEMBER 29, 2023.

Lot 1, EXCEPT the South 40 feet of the East 166.5 feet, and the West 165 feet of Lot 2, and Lots 3, 4, 5, 6 and 7, in Block 2, and Lots 1, 2 and 3, in Block 3, TOGETHER with the vacated street lying between said Blocks 2 and 3 in Assessment Subdivision No. 64, being a part of the Southeast 1/4 of Section 31, Town 7 North, Range 21 East, in the City of West Allis, County of Milwaukee, State of Wisconsin, EXCEPTING THEREFROM the Westerly 30 feet of said Lot 1 through 7, Block 2, and the Westerly 30 feet of Lots 1 and 3, Block 3, and the Northerly 30 feet of Lot 1, Block 2 of said Subdivision, presently used for public street purposes, AND ALSO EXCEPTING THEREFROM that part conveyed to the City of West Allis for public street purposes by Quit Claim Deed recorded September 8, 1978 as Document No. 5248323.

For informational purposes only:
 Property Address: 1300 South 109th Street, West Allis, WI 53214
 Tax Key Number: 445-0715-002

PROJECT:
LANE INTERMEDIATE SCHOOL

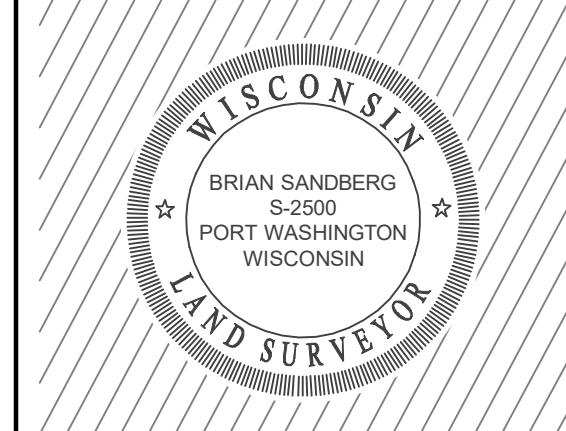
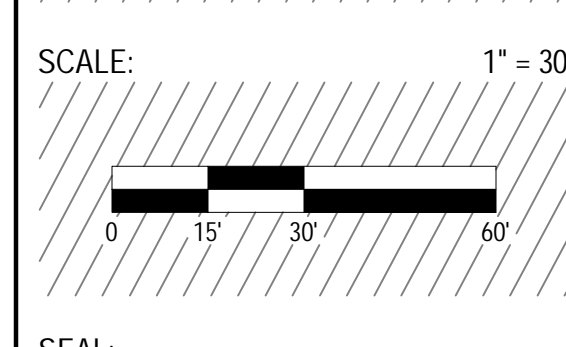
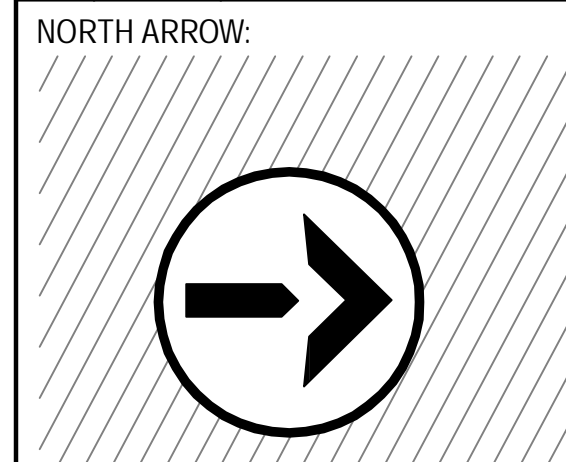
LOCATION:
1300 S. 109th ST., WEST ALLIS, WI 53214



RELEASE:
PRELIMINARY

REVISIONS:

#	DATE	DESCRIPTION



SHEET:
01
PLAT OF SURVEY WITH TOPOGRAPHY

PROJECT MANAGER: B.S.
 PROJECT NUMBER: 24.0111
 DATE: 12/12/2023

SHEET NUMBER:
1

SURVEYOR'S CERTIFICATE:

I, Brian Sandberg do hereby certify that that under My direction and control the above described property was surveyed on 11/27/2023 in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

Brian Sandberg
 Brian E. Sandberg S-2500
 December 12th, 2023.



GROTH
Design
Group

N58 W6181 COLUMBIA RD.
P.O. BOX 332
CEDARBURG, WISCONSIN 53012
PH: (262) 377-8001
FX: (262) 377-8003



788 N. Jefferson Street, Ste 900
Milwaukee, Wisconsin 53202
kapurinc.com

PROJECT

WAWM
REC DEPT - LANE
MASTER PLAN

1300 S 109th St
WEST ALLIS, WI
53214

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

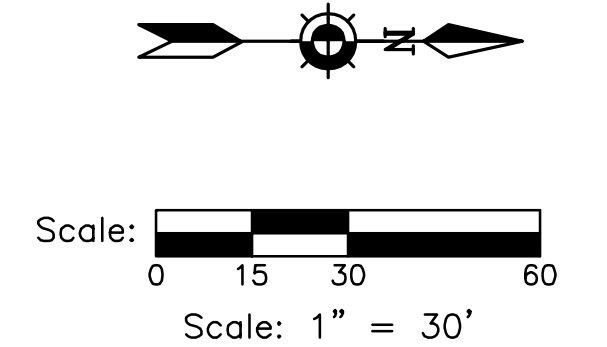
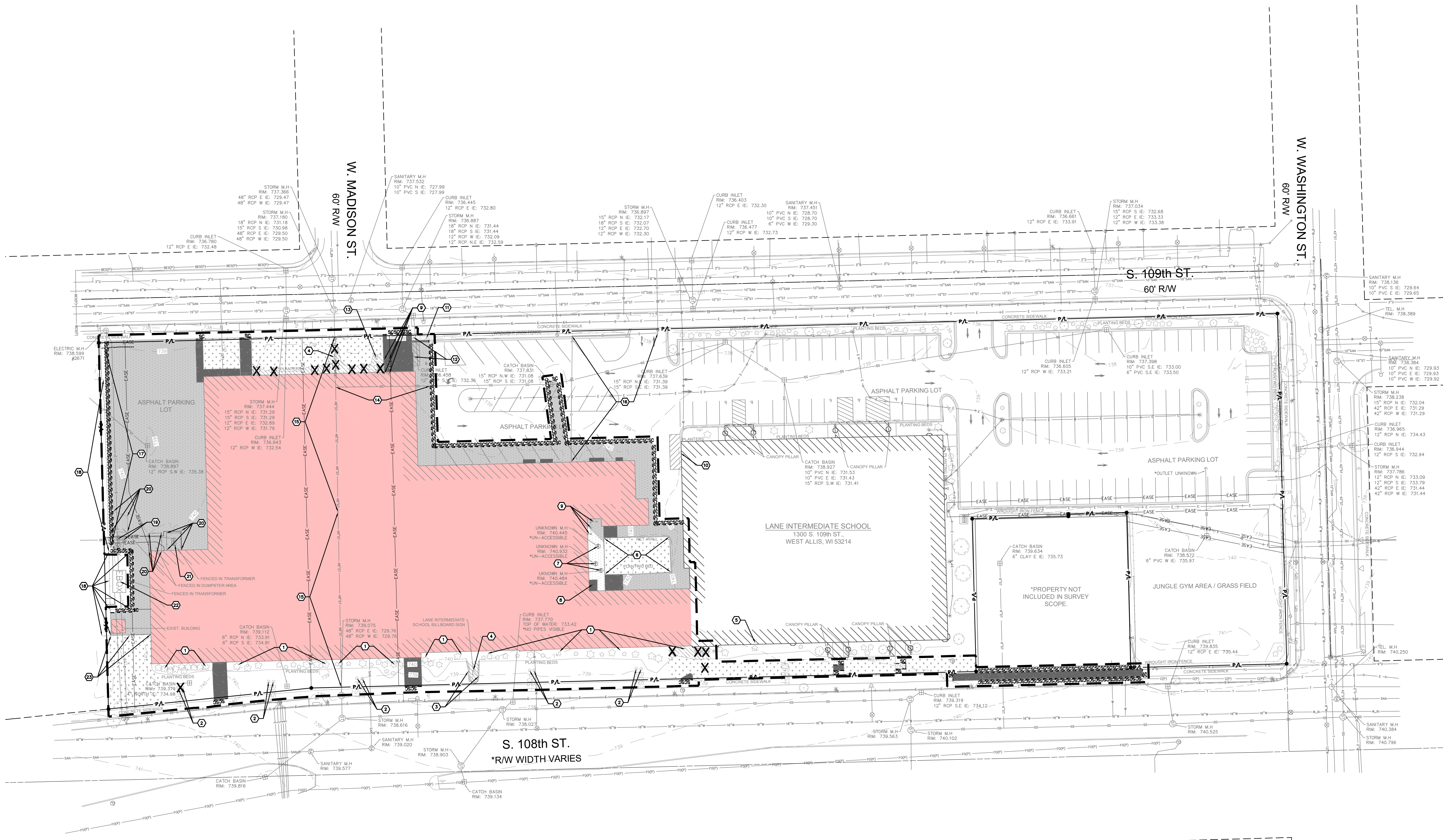
PROJECT INFO

Date: 2024.03.08
Project No: 23.019

SHEET TITLE
SITE DEMOLITION
PLAN

C101

PRELIMINARY CONCEPT



DIGGERS HOTLINE
Dial 811 or (800)242-8511
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KEY INDEX

- PROJECT LIMITS
- PROPERTY LINE
- EASEMENT LINE
- VEGETATION TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- EXISTING BUILDING & FOUNDATION TO BE RAZED. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- CLEAR & GRUB VEGETATION, REMOVE ROOTS & STUMPS. REMOVE & DISPOSE OFFSITE.
- KNOWN UTILITY AND POTENTIAL CONFLICT EXIST
- SAWTOOTH FULL DEPTH
- TREES & STUMPS TO BE REMOVED
- UTILITIES TO BE ABANDONED & REMOVED.
- UTILITIES TO BE ABANDONED IN PLACE.
- UTILITY STRUCTURE REMOVAL/ABANDONMENT
- EXISTING TREES AND LANDSCAPING TO REMAIN. REMOVAL OF EXISTING VEGETATION SHOULD ONLY OCCUR IF NECESSARY TO FACILITATE BUILDING DEMOLITION ACTIVITIES.
- REMOVE & DISPOSE OF EXISTING STEEL TREE SUPPORT POSTS
- REMOVE & DISPOSE OF EXISTING LANDSCAPE BLOCK RETAINING WALL
- REMOVE & DISPOSE OF EXISTING MONUMENT SIGN INCLUDING ANY FOOTINGS OR FOUNDATIONS. REFER TO SITE ELECTRICAL DEMOLITION PLANS FOR INFORMATION REGARDING DISCONNECTION OF ELECTRICAL SERVICE TO SIGN.
- EXISTING FIBER OPTIC SERVICE CONNECTION TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE & DISPOSE OF EXISTING LANDSCAPE TIMBER RETAINING WALL
- REMOVE & DISPOSE OF EXISTING ACCESS MANHOLES TO FORMER BELOW GRADE COAL ASH BIN. COAL ASH BIN AND ALL ASSOCIATED FOUNDATIONS TO BE RAZED. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE & DISPOSE OF EXISTING TRAP DOOR TO FORMER BELOW GRADE COAL ASH BIN. COAL ASH BIN AND ALL ASSOCIATED FOUNDATIONS TO BE RAZED. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE & DISPOSE OF EXISTING RAILING INCLUDING POSTS & FOOTINGS
- EXISTING FDS TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE & DISPOSE OF EXISTING SIGN INCLUDING POST & FOOTING
- REMOVE & DISPOSE OF EXISTING DECORATIVE METAL FENCE INCLUDING POSTS & FOOTINGS
- REMOVE & DISPOSE OF EXISTING FLAG POLE INCLUDING POST AND FOOTING
- EXISTING 15" RCP STORM SEWER TO REMAIN. CONTRACTOR TO PROTECT DURING BUILDING DEMOLITION AND GRADING OPERATIONS.
- EXISTING 48" RCP STORM SEWER TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING GAS SERVICE TO BE ABANDONED & REMOVED. CONTRACTOR TO COORDINATE ABANDONMENT & REMOVAL PROCESS WITH WE ENERGIES.
- EXISTING GUARDRAIL TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- EXISTING UTILITY POLES AND GUY WIRES TO REMAIN. CONTRACTOR TO PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE & DISPOSE OF EXISTING CHAIN-LINK FENCE INCLUDING POSTS & FOOTINGS
- EXISTING ELECTRICAL SERVICE AND TRANSFORMER TO BE ABANDONED & REMOVED. CONTRACTOR TO COORDINATE ABANDONMENT & REMOVAL PROCESS WITH WE ENERGIES. REFER TO SITE ELECTRICAL DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- EXISTING ELECTRICAL SERVICE, TRANSFORMER AND ANY ASSOCIATED EQUIPMENT TO REMAIN. CONTRACTOR SHALL PROTECT THROUGHOUT CONSTRUCTION.
- REMOVE & DISPOSE OF EXISTING WOODEN FENCE INCLUDING POSTS & FOOTINGS



GROTH
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788 N. Jefferson Street, Ste 900
Milwaukee, Wisconsin 53202
kapurinc.com

PROJECT

WAWM
REC DEPT - LANE
MASTER PLAN

1300 S 109th St
WEST ALLIS, WI
53214

ISSUE

NO. REV. DATE DESCRIPTION

PROGRESS
DOCUMENTS

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PROJECT INFO

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Project No: 23.019

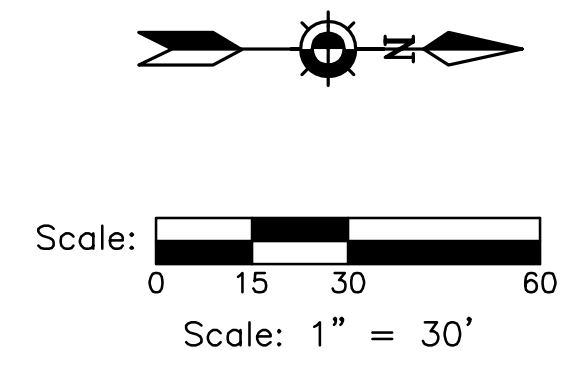
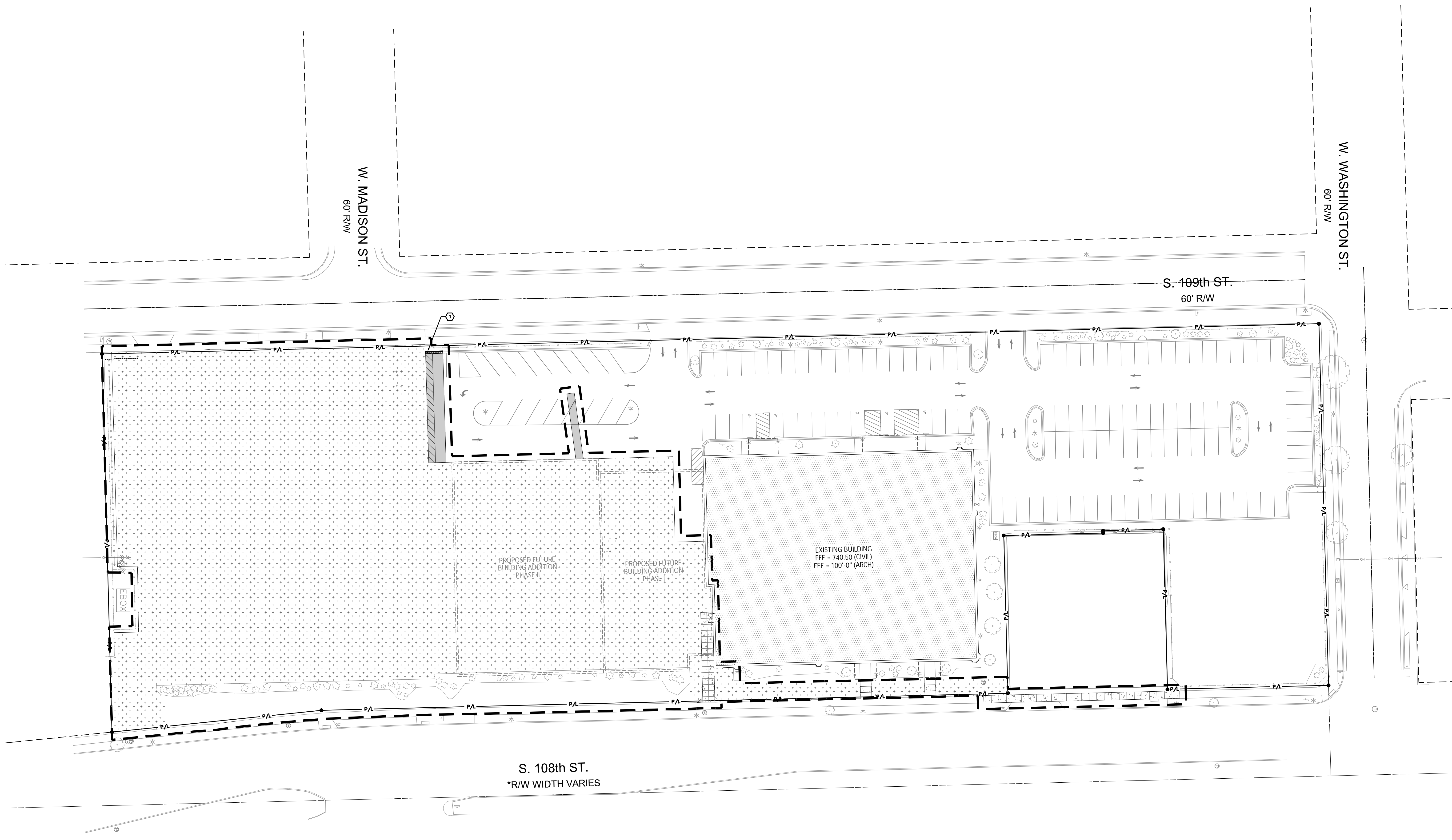
SHEET TITLE

SITE LAYOUT PLAN

C102

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PRELIMINARY CONCEPT



DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX

	PROJECT LIMITS	
	PROPERTY LINE	
	EASEMENT LINE	
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.	
	NEW ASPHALTIC CONCRETE (LIGHT DUTY)	1 C202
	NEW ASPHALTIC CONCRETE (HEAVY DUTY)	1 C202
	NEW CONCRETE SLAB (LIGHT DUTY)	2 3 C202 C202
	NEW CONCRETE SLAB (HEAVY DUTY)	2 3 C202 C202
	NEW 18" LOW-SIDE BARRIER CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED	4 C202
	NEW 18" HIGH-SIDE BARRIER CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED	4 C202
	NEW 18" LOW-SIDE DEPRESSED CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED	5 C202
	NEW 18" HIGH-SIDE DEPRESSED CONCRETE CURB & GUTTER UNLESS OTHERWISE NOTED	5 C202
	3" TRANSITION FROM 18" HIGH-SIDE BARRIER CURB & GUTTER TO 18" HIGH-SIDE DEPRESSED CURB & GUTTER	4 5 6 C202 C202 C202



GROTH
Design
Group

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kapurinc.com

PROJECT

WAWM
REC DEPT - LANE
MASTER PLAN

1300 S 109th St
WEST ALLIS, WI
53214

ISSUE

NO. REV. DATE DESCRIPTION

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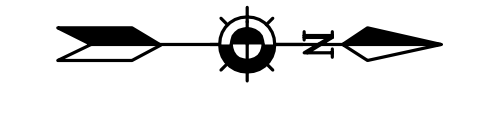
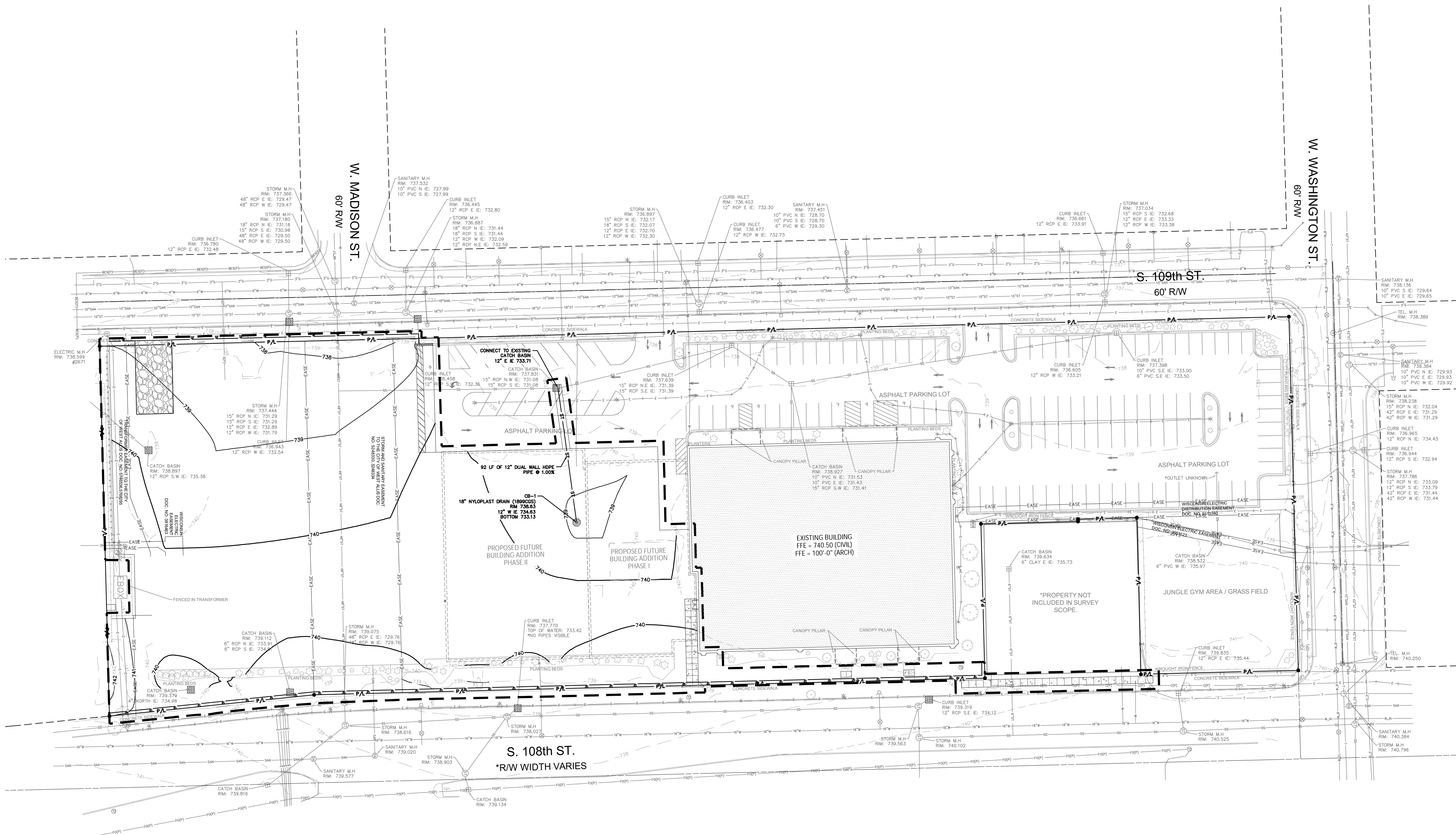
SHEET TITLE

SITE GRADING & EROSION CONTROL PLAN

C103

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PRELIMINARY CONCEPT



Scale: 1" = 30'

DIGGERS HOTLINE
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GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

- P/L — PROJECT LIMITS
- P/L — PROPERTY LINE
- EASE — EASEMENT LINE
- 999 — EXISTING CONTOUR MINOR
- 999 — EXISTING CONTOUR MAJOR
- 999 — PROPOSED CONTOUR MINOR
- 999 — PROPOSED CONTOUR MAJOR
- ± 970.00 — PROPOSED SPOT GRADE
- ± 970.01 — MATCH EXISTING GRADE

EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 6.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND NOTES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

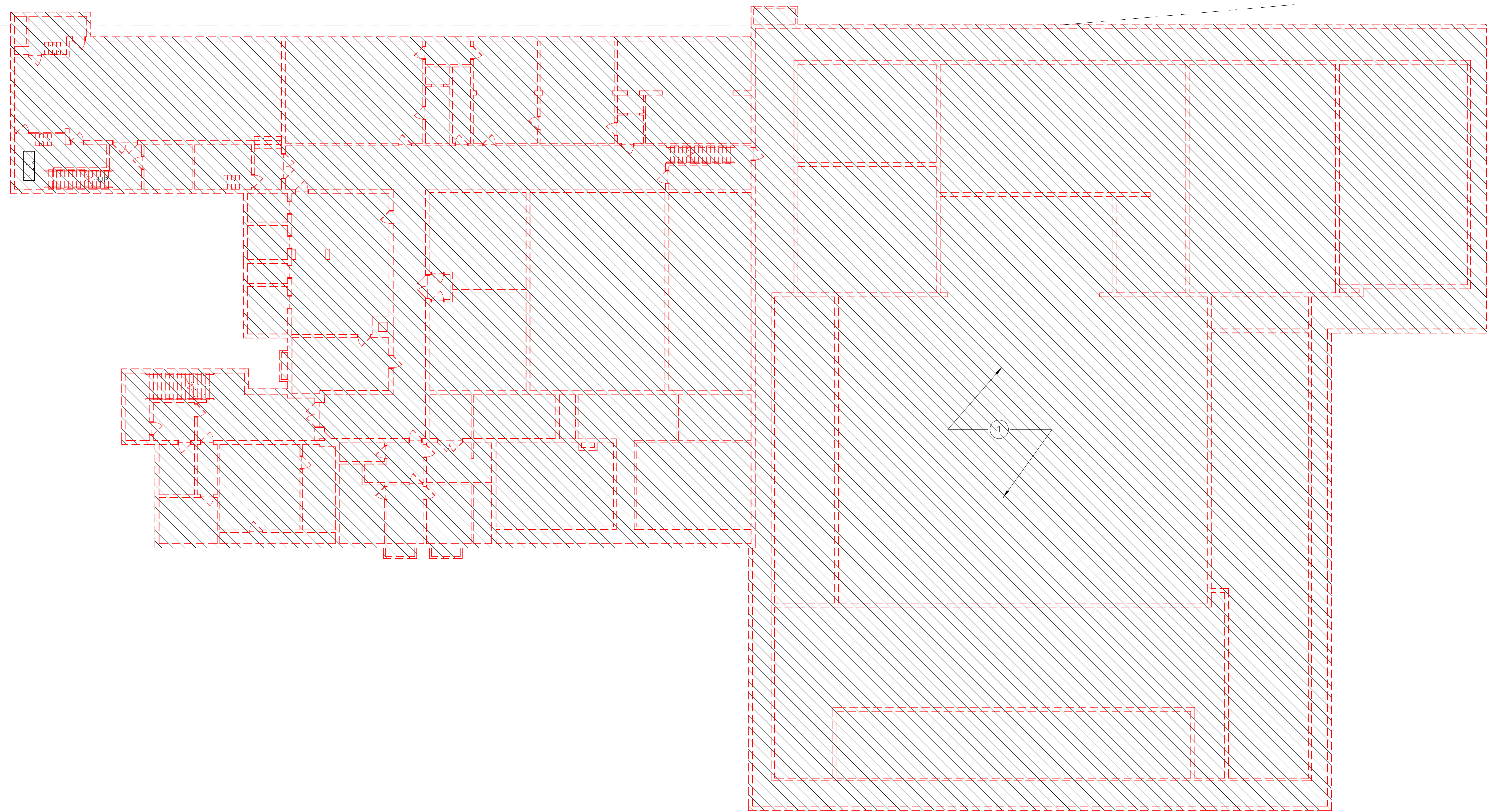
OWNER CONTACT:
STEVEN EICHMAN - FACILITIES MANAGER
WAWM SCHOOL DISTRICT
1205 SOUTH 70TH STREET, SUITE 513
WEST ALLIS, WI 53214
PHONE: (414) 751-4716

PROJECT ENGINEER:
MICHAEL FROELICH, P.E.
KAPUR & ASSOCIATES, INC.
7711 NORTH FORT WASHINGTON ROAD
MILWAUKEE, WI 53217
PHONE: (414) 751-7245

CONSTRUCTION MANAGER:
LUKE THEIS - PROJECT MANAGER
CS SCHMIDT
11777 WEST LAKE PARK DRIVE
MILWAUKEE, WI 53224
PHONE: (414) 577-1146

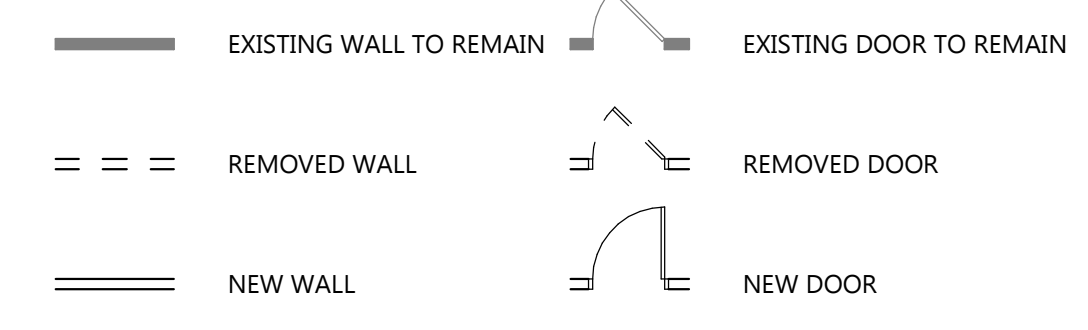
KEY INDEX

- SF — SILT FENCE
- STONE TRACKING PAD REQUIRED, LOCATION TO BE DETERMINED BY SELECTED CONTRACTOR'S APPROVED WORK PLAN.
- DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED.



1 BASEMENT - DEMOLITION PLAN
AD101 1/16" = 1'-0"

DEMOLITION PLAN - SYMBOL KEY

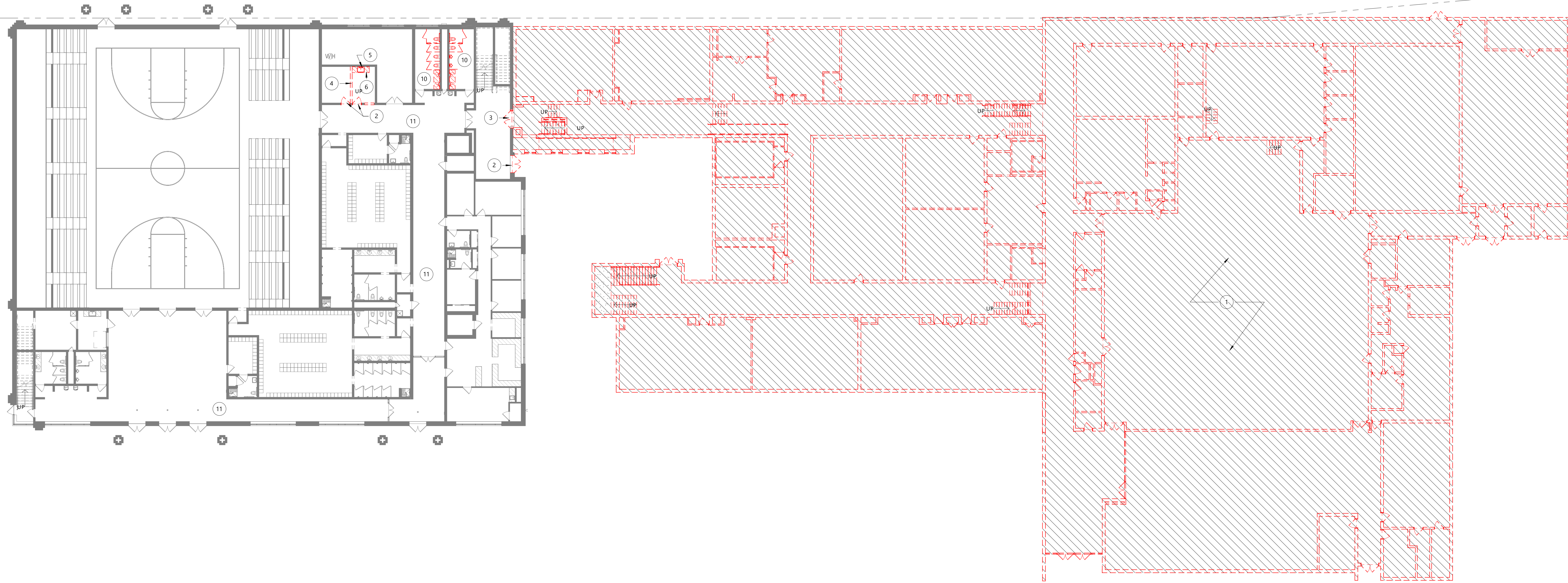
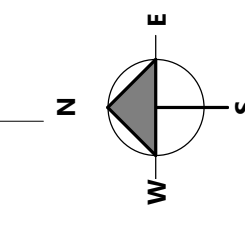


KEYED DEMOLITION PLAN NOTES

TAG #	DESCRIPTION
1	SALVAGE BY W/WM IN ALL DEMO AREAS
2	REMOVE EXISTING DOOR, FRAME, & SIDE LITE(S) IN ITS ENTIRETY. IF POCKET DOOR, REMOVE PARTITION AT POCKET AS NECESSARY TO REMOVE HARDWARE. PATCH PARTITION TO MATCH ADJACENT PARTITION CONSTRUCTION AND FINISH. PROVIDE SMOOTH PLUMB TRANSITIONS. DISCONNECT ALL ELECTRICAL HARDWARE AS NECESSARY AND PER CODE. SALVAGE DOORS AND HARDWARE IN GOOD CONDITION FOR REUSE. RETURN EXCESS HARDWARE TO OWNER.
3	DEMO EXISTING DOOR AND FRAME. TO BE REPLACED WITH NEW EXTERIOR DOOR AND FRAME.
4	DEMO SECTION OF EXISTING PARTITION. COORDINATE EXTENT WITH NEW CONSTRUCTION. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND CONDUIT. (NOTE: EXISTING STEEL COLUMNS AND BEAMS ARE TO REMAIN).
5	REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES. PREPARE FOR NEW FIXTURES OR REMOVE PIPING BACK TO NEAREST BRANCH PIPE. INSTALL VALVE AND CAP PLUMBING. COORDINATE W/ NEW CONSTRUCTION. PATCH PARTITION TO MATCH ADJACENT PARTITION SURFACE. PATCH AND REPAIR FLOOR TO RECEIVE NEW FLOOR COVERING.
6	REMOVE EXISTING CASEWORK/COUNTER IN ITS ENTIRETY. PATCH AND PREPARE PARTITION AND FLOOR SURFACE TO RECEIVE NEW FINISHES AS REQ'D.
7	REMOVE EQUIPMENT AND RETURN TO OWNER FOR REUSE. PATCH AND REPAIR ANY DAMAGED SURFACES.
8	REMOVE AND SALVAGE FUME HOOD FOR OWNER
9	DEMO LOCKERS
10	DEMO ALL FIXTURES, CASEWORK, FLOOR FINISHES, AND WALL FINISHES. ALL TO BE REPLACED IN SAME LOCATION
11	REMOVE EXISTING FLOORCOVERING AND BASE IN THIS AREA. PATCH AND PREPARE FLOOR TO RECEIVE NEW FLOORCOVERING AND BASE. COORDINATE WITH NEW WORK.

DEMOLITION PLAN GENERAL NOTES:

- A. CONTRACTOR TO REVIEW SCOPE OF NEW CONSTRUCTION IN CONJUNCTION WITH DEMOLITION PLANS TO COORDINATE SCOPE OF WORK. CONTRACTOR TO CONTACT OWNER & ARCHITECT WITH ANY QUESTIONS OR CONCERNS PRIOR TO MATERIAL REMOVAL
- B. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING BUILDING AMENITIES NOT SLATED FOR DEMOLITION OR REMODELING.
- C. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO START OF WORK. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED OR ALTERED. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH MEP REQUIREMENTS
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE W/ OWNER MINIMUM 72 HOURS IN ADVANCE FOR ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM THE WORK OR TO MODIFY EXISTING PIPING, DUCTWORK, OR ASSOCIATED EQUIPMENT
- F. SCOPE OF DEMOLITION SHOWN CONSTITUTES MINIMUM AMOUNT NEEDED TO MEET DESIGN INTENT. ADDITIONAL DEMOLITION, REMOVAL, PATCHING, REPAIRS, OR REPLACEMENT OF ITEMS MAY BE REQUIRED TO ACCOMMODATE CONTRACTOR PHASING, SEQUENCING, OR MEANS & METHODS. THE ARCHITECT SHALL BE NOTIFIED OF ADDITIONAL SCOPE REQUIRED TO COMPLETE THE WORK PRIOR TO REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY REMOVED ITEMS SHOWN IN THE DOCUMENTS AS EXISTING TO REMAIN.
- G. REMOVE ALL EXISTING INCIDENTAL CONDITIONS AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, INCLUDING BUT NOT LIMITED TO FASTENERS, CLIPS, MOULDINGS, OUTLETS, CONDUIT, WIRING, PIPING, FIXTURES, FITTINGS, AND OTHER SYSTEMS. REROUTE CIRCUITS, PLUMBING, AND DUCTWORK AS REQUIRED TO MAINTAIN SERVICEABILITY OF SYSTEMS TO REMAIN.
- H. ALL HAZARDOUS MATERIALS TO BE DISPOSED OF PER APPLICABLE STATE, LOCAL, OR FEDERAL CODES & REGULATIONS
- I. PATCH ANY OPENINGS OR GAPS IN EXISTING FLOORS, WALLS, ROOF, OR FIRE RESISTIVE ASSEMBLIES CAUSED BY THE WORK TO MAINTAIN THE INTEGRITY OF FIRE RATINGS, WEATHER RESISTANCE, VAPOR BARRIERS, ETC. ANY DEFICIENCIES FOUND IN THE EXISTING CONSTRUCTION SHOULD BE BROUGHT TO THE ARCHITECT AND OWNER'S ATTENTION IMMEDIATELY.
- J. CONTRACTOR TO VERIFY EXISTING WALL CONSTRUCTION. CONTRACTOR TO PATCH AND REPAIR EXISTING WALLS TO REMAIN WITH LIKE CONSTRUCTION UNLESS NOTED OTHERWISE AND PROVIDE A SUITABLE SURFACE TO RECEIVE NEW FINISHES.
- K. REMOVE EXISTING FLOOR FINISHES SLATED FOR DEMOLITION TO SUB FLOOR AND PREPARE FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE
- L. SALVAGE EXISTING DOORS AND HARDWARE FOR REUSE. REMOVE OR RETURN EXCESS DOORS AND HARDWARE TO OWNER.
- M. SALVAGE EXISTING CASEWORK FOR REUSE. REMOVE OR RETURN EXCESS CASEWORK TO OWNER AT OWNER DISCRETION.
- N. SALVAGE EXISTING PLUMBING FIXTURES FOR REUSE. REMOVE OR RETURN EXCESS FIXTURES TO OWNER AT OWNER DISCRETION. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- O. SALVAGE EXISTING LIFE SAFETY EQUIPMENT, FIRE EXTINGUISHERS, EXIT SIGNS, FIRE ALARMS, ETC. FOR REUSE. REMOVE OR RETURN EXCESS EQUIPMENT TO OWNER AT OWNER DISCRETION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- P. SALVAGE EXISTING HVAC GRILLES AND LOUVERS FOR REUSE. REMOVE OR RETURN EXCESS TO OWNER AT OWNER DISCRETION. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- Q. SALVAGE EXISTING OUTLETS AND SWITCHES AND LIGHT FIXTURES FOR REUSE. PULL ALL ABANDONED WIRE FROM CONDUIT. RETURN EXCESS MATERIAL TO OWNER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- R. SALVAGE EXISTING APPLIANCES, TOILET ACCESSORIES, SIGNAGE, AND EQUIPMENT FOR REUSE. REMOVE OR RETURN TO OWNER AT OWNER DISCRETION
- S. LIFE SAFETY FEATURES ARE TO REMAIN IN OPERATION THROUGH ALL PHASES OF CONSTRUCTION INCLUDING SMOKE DETECTION AND OTHER SYSTEMS TO MEET ALL APPLICABLE CODES & REGULATIONS. VERIFY WITH OWNER AND LIFE SAFETY PLAN(S) FOR THE PROJECT



2 LEVEL 1 - DEMOLITION PLAN
AD101 1/16" = 1'-0"



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PROJECT

WEST ALLIS-WEST MILWAUKEE RECREATION DEPARTMENT - LANE PHASE 01

1300 S 109th St West Allis, WI 53214

ISSUE

NO.	REV. DATE	DESCRIPTION

PROJECT INFO

Date: 2024-03-08
Project No: 23.019

SHEET TITLE

DEMOLITION PLAN - LEVEL 1

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PROJECT

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SHEET TITLE

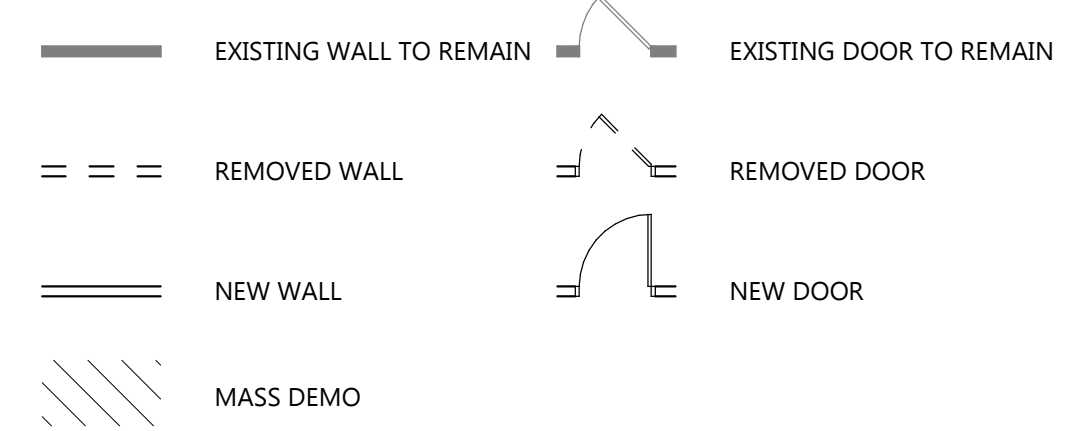
DEMOLITION PLAN - LEVEL 2

AD102

DEMOLITION PLAN GENERAL NOTES:

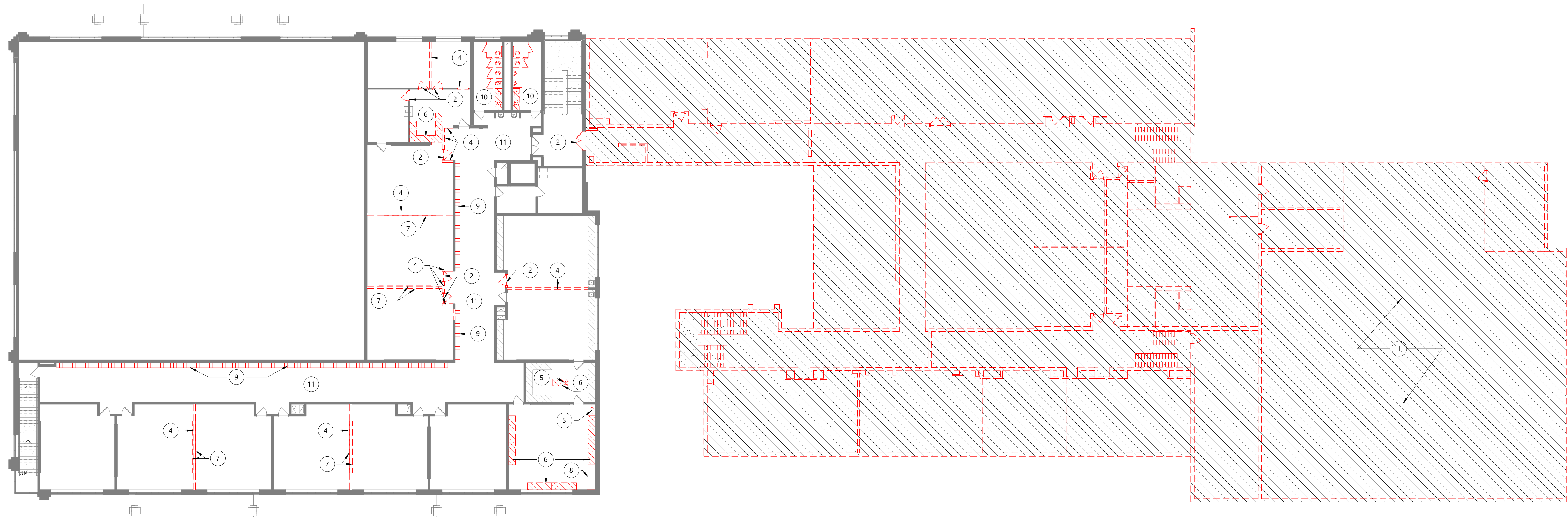
- A. CONTRACTOR TO REVIEW SCOPE OF NEW CONSTRUCTION IN CONJUNCTION WITH DEMOLITION PLANS TO COORDINATE SCOPE OF WORK. CONTRACTOR TO CONTACT OWNER & ARCHITECT WITH ANY QUESTIONS OR CONCERNS PRIOR TO MATERIAL REMOVAL
- B. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING BUILDING AMENITIES NOT SLATED FOR DEMOLITION OR REMODELING.
- C. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO START OF WORK. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED OR ALTERED. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. COORDINATE WORK WITH MEP REQUIREMENTS
- E. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE W/ OWNER MINIMUM 72 HOURS IN ADVANCE FOR ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM THE WORK OR TO MODIFY EXISTING PIPING, DUCTWORK, OR ASSOCIATED EQUIPMENT
- F. SCOPE OF DEMOLITION SHOWN CONSTITUTES MINIMUM AMOUNT NEEDED TO MEET DESIGN INTENT. ADDITIONAL DEMOLITION, REMOVAL, PATCHING, REPAIRS, OR REPLACEMENT OF ITEMS MAY BE REQUIRED TO ACCOMMODATE CONTRACTOR PHASING, SEQUENCING, OR MEANS & METHODS. THE ARCHITECT SHALL BE NOTIFIED OF ADDITIONAL SCOPE REQUIRED TO COMPLETE THE WORK PRIOR TO REMOVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY REMOVED ITEMS SHOWN IN THE DOCUMENTS AS EXISTING TO REMAIN.
- G. REMOVE ALL EXISTING INCIDENTAL CONDITIONS AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION WHETHER SHOWN ON PLANS OR NOT, INCLUDING BUT NOT LIMITED TO FASTENERS, CLIPS, MOULDINGS, OUTLETS, CONDUIT, WIRING, PIPING, FIXTURES, FITTINGS, AND OTHER SYSTEMS. REROUTE CIRCUITS, PLUMBING, AND DUCTWORK AS REQUIRED TO MAINTAIN SERVICEABILITY OF SYSTEMS TO REMAIN.
- H. ALL HAZARDOUS MATERIALS TO BE DISPOSED OF PER APPLICABLE STATE, LOCAL, OR FEDERAL CODES & REGULATIONS
- I. PATCH ANY OPENINGS OR GAPS IN EXISTING FLOORS, WALLS, ROOF, OR FIRE RESISTIVE ASSEMBLIES CAUSED BY THE WORK TO MAINTAIN THE INTEGRITY OF FIRE RATINGS, WEATHER RESISTANCE, VAPOR BARRIERS, ETC. ANY DEFICIENCIES FOUND IN THE EXISTING CONSTRUCTION SHOULD BE BROUGHT TO THE ARCHITECT AND OWNER'S ATTENTION IMMEDIATELY.
- J. CONTRACTOR TO VERIFY EXISTING WALL CONSTRUCTION. CONTRACTOR TO PATCH AND REPAIR EXISTING WALLS TO REMAIN WITH LIKE CONSTRUCTION UNLESS NOTED OTHERWISE AND PROVIDE A SUITABLE SURFACE TO RECEIVE NEW FINISHES.
- K. REMOVE EXISTING FLOOR FINISHES SLATED FOR DEMOLITION TO SUB FLOOR AND PREPARE FOR NEW FINISHES. SEE ROOM FINISH SCHEDULE
- L. SALVAGE EXISTING DOORS AND HARDWARE FOR REUSE, REMOVE OR RETURN EXCESS DOORS AND HARDWARE TO OWNER.
- M. SALVAGE EXISTING CASEWORK FOR REUSE, REMOVE OR RETURN EXCESS CASEWORK TO OWNER AT OWNER DISCRETION.
- N. SALVAGE EXISTING PLUMBING FIXTURES FOR REUSE, REMOVE OR RETURN EXCESS FIXTURES TO OWNER AT OWNER DISCRETION. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- O. SALVAGE EXISTING LIFE SAFETY EQUIPMENT, FIRE EXTINGUISHERS, EXIT SIGNS, FIRE ALARMS, ETC. FOR REUSE, REMOVE OR RETURN EXCESS EQUIPMENT TO OWNER AT OWNER DISCRETION. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- P. SALVAGE EXISTING HVAC GRILLES AND LOUVERS FOR REUSE, REMOVE OR RETURN EXCESS TO OWNER AT OWNER DISCRETION. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- Q. SALVAGE EXISTING OUTLETS AND SWITCHES AND LIGHT FIXTURES FOR REUSE. PULL ALL ABANDONED WIRE FROM CONDUIT. RETURN EXCESS MATERIAL TO OWNER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- R. SALVAGE EXISTING APPLIANCES, TOILET ACCESSORIES, SIGNAGE, AND EQUIPMENT FOR REUSE. REMOVE OR RETURN TO OWNER AT OWNER DISCRETION
- S. LIFE SAFETY FEATURES ARE TO REMAIN IN OPERATION THROUGH ALL PHASES OF CONSTRUCTION INCLUDING SMOKE DETECTION AND OTHER SYSTEMS TO MEET ALL APPLICABLE CODES & REGULATIONS. VERIFY WITH OWNER AND LIFE SAFETY PLAN(S) FOR THE PROJECT

DEMOLITION PLAN - SYMBOL KEY



KEYED DEMOLITION PLAN NOTES

TAG #	DESCRIPTION
1	SALVAGE BY WAWM IN ALL DEMO AREAS
2	REMOVE EXISTING DOOR, FRAME, & SIDE LITE(S) IN ITS ENTIRETY. IF POCKET DOOR, REMOVE PARTITION AT POCKET AS NECESSARY TO REMOVE HARDWARE. PATCH PARTITION TO MATCH ADJACENT PARTITION CONSTRUCTION AND FINISH. PROVIDE SMOOTH, PLUMB TRANSITIONS. DISCONNECT ALL ELECTRICAL HARDWARE AS NECESSARY AND PER CODE. SALVAGE DOORS AND HARDWARE IN GOOD CONDITION FOR REUSE. RETURN EXCESS HARDWARE TO OWNER
3	DEMO EXISTING DOOR AND FRAME. TO BE REPLACED WITH NEW EXTERIOR DOOR AND FRAME
4	DEMO SECTION OF EXISTING PARTITION. COORDINATE EXTENT WITH NEW CONSTRUCTION. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND CONDUIT. (NOTE: EXISTING STEEL COLUMNS AND BEAMS ARE TO REMAIN.)
5	REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES. PREPARE FOR NEW FIXTURES OR REMOVE PIPING BACK TO NEAREST BRANCH PIPE. INSTALL VALVE AND CAP PLUMBING. COORDINATE W/ NEW CONSTRUCTION. PATCH PARTITION TO MATCH ADJACENT PARTITION SURFACE. PATCH AND REPAIR FLOOR TO RECEIVE NEW FLOOR COVERING
6	REMOVE EXISTING CASEWORK/COUNTER IN ITS ENTIRETY. PATCH AND PREPARE PARTITION AND FLOOR SURFACE TO RECEIVE NEW FINISHES AS REQ'D.
7	REMOVE EQUIPMENT AND RETURN TO OWNER FOR REUSE. PATCH AND REPAIR ANY DAMAGED SURFACES
8	REMOVE AND SALVAGE FUME HOOD FOR OWNER
9	DEMO LOCKERS
10	DEMO ALL FIXTURES, CASEWORK, FLOOR FINISHES, AND WALL FINISHES. ALL TO BE REPLACED IN SAME LOCATION
11	REMOVE EXISTING FLOORCOVERING AND BASE IN THIS AREA. PATCH AND PREPARE FLOOR TO RECEIVE NEW FLOORCOVERING AND BASE. COORDINATE WITH NEW WORK.



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1
AD102
LEVEL 2 - DEMOLITION PLAN
1/16" = 1'-0"

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FLOOR PLAN GENERAL NOTES:

- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
- B. SEE 7 / A002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
- C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 9 / A002. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
- D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
- E. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O.
- F. ALL EXTERIOR DIMENSIONS ARE PER DETAIL 8 / A002, U.N.O.
- G. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
- H. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
- I. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
- J. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
- K. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
- L. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
- M. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP, UNLESS NOTED OTHERWISE.
- N. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
- O. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS NOTED OTHERWISE.

FLOOR PLAN - SYMBOL KEY

- EXISTING WALL TO REMAIN
- REMOVED WALL
- == NEW WALL
- ◇ WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- 101.1 DOOR TAG
- 101.2 WINDOW TAG
- FE-# FIRE EXTINGUISHERS
 - FE-1 - RECESSED CABINET
 - FE-2 - SEMI-RECESSED CABINET
 - FE-3 - SURFACE MOUNTED CABINET
 - FE-4 - SURFACE MOUNTED EXTINGUISHER ONLY
- PP PUSH PAD DOOR ACTUATOR
- TS TOUCHLESS SENSOR DOOR ACTUATOR
- CR CARD READER
- CJ CONTROL JOINT

KEYED FLOOR PLAN NOTES

TAG #	DESCRIPTION
1	FIRE DEPARTMENT CONNECTION
2	TRANSFORMER
3	FLOOR DRAIN
4	FIBER OPTIC CONNECTION
5	ROOF ACCESS LADDER
6	NEW CONCRETE STOOP
7	PLASTIC LAMINATE COUNTERTOP ON 3/4" PARTICLE BOARD (25" DEEP UNLESS NOTED OTHERWISE ON PLANS). FRONT WATERFALL EDGE PROVIDE COVER. WATERFALL BACKSPASHES AND SIDESPASHES WHERE SHOWN IN ELEVATIONS
8	STAINLESS STEEL DROP-IN SINK W/ GOOSENECK FAUCET & WRIST BLADES

PROJECT

WEST ALLIS-WEST MILWAUKEE RECREATION DEPARTMENT - LANE PHASE 01

1300 S 109th St
West Allis, WI
53214

ISSUE

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PROJECT INFO

Date: 2024-03-08
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SHEET TITLE

FLOOR PLAN - LEVEL 1

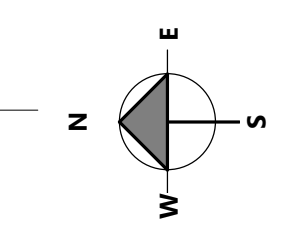
A101

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1 LEVEL 1 - FLOOR PLAN
A101 1/8" = 1'-0"





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- FLOOR PLAN GENERAL NOTES:**
- A. SEE WALL SCHEDULE FOR WALL ASSEMBLY INFORMATION. NOTE: SEE SECTIONS AND ELEVATIONS FOR CHANGES IN MATERIALS/WALL TYPES/ACCENT-ELEMENTS THAT MAY NOT BE INDICATED AT PLAN CUT.
 - B. SEE 7 / A002 FOR TYPICAL DIMENSIONS OF DOOR OPENING FROM ADJACENT WALL.
 - C. PROVIDE BLOCKING AT ALL MILLWORK AND WALL HUNG ELEMENTS IN WALLS. CONTRACTOR TO COORDINATE W/ OWNER REPRESENTATIVE FOR FINAL LOCATIONS OF OWNER-FURNISHED EQUIPMENT. SEE DETAIL 9 / A002. ALL WOOD BLOCKING TO BE FIRE-RETARDANT TREATED WOOD IN BUILDINGS OF NONCOMBUSTIBLE CONSTRUCTION (IBC TYPE I & II) AND IN RATED WALLS IN BUILDINGS OF COMBUSTIBLE CONSTRUCTION (IBC TYPE III, IV, & V).
 - D. PROVIDE CORNER GUARDS AS SHOWN GRAPHICALLY. SEE FINISH PLAN FOR COLORS & TYPES. ALL OUTSIDE CORNERS NOT SHOWN RECEIVING CORNER GUARDS ARE TO BE VERIFIED WITH ARCHITECT DURING BIDDING.
 - E. ALL INTERIOR PLAN DIMENSIONS ARE TO FACE OF INTERIOR FINISH OF WALL, U.N.O.
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 - G. ALL VERTICAL DIMENSIONS TO BE ABOVE FINISH FLOOR (A.F.F.) U.N.O.
 - H. ALL DOORS USED IN CONJUNCTION WITH EXITS SHALL BE ARRANGED TO READILY OPEN WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE SIDE OF EGRESS.
 - I. A THERMAL BREAK IN THE CONCRETE FLOOR SLAB IS REQUIRED AT ALL EXTERIOR DOOR LOCATIONS. SEE DOOR DETAILS FOR MORE INFORMATION.
 - J. ALL PARTITION PENETRATIONS SHALL BE FIELD VERIFIED, BRACED, AND SEALED TO MEET REQUIRED RATINGS. UTILIZE UL-APPROVED METHODS.
 - K. PROVIDE PROPER PREPARATION TO ALL SURFACES TO RECEIVE NEW FINISHES.
 - L. ALL ROOMS TO RECEIVE ROOM AND NUMBER SIGNAGE ADJACENT TO DOOR. COORDINATE BLOCKING REQUIREMENTS WITH SIGN VENDOR.
 - M. WHERE FLOOR DRAINS ARE REQUIRED (SEE PLUMBING) PITCH CONCRETE SLAB TO DRAINS 1/8" PER FOOT, TYP. UNLESS NOTED OTHERWISE.
 - N. ALL GYPSUM BOARD INTERIOR SURFACES TO RECEIVE A LEVEL 4 FINISH AND PRIME COAT FOR FUTURE PAINTING APPLICATION.
 - O. ALL PARTITIONS TO BE TYPE P1 AND EXTEND TO THE UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS NOTED OTHERWISE.

FLOOR PLAN - SYMBOL KEY

- EXISTING WALL TO REMAIN
- REMOVED WALL
- == NEW WALL
- Ⓛ WALL TYPE TAG. SEE WALL TYPES SHEET FOR ADDITIONAL INFORMATION
- Ⓜ DOOR TAG
- Ⓜ MILLWORK. SEE INTERIOR ELEVATIONS AND DETAILS
- FE-# FIRE EXTINGUISHERS
 - FE-1 - RECESSED CABINET
 - FE-2 - SEMI-RECESSED CABINET
 - FE-3 - SURFACE MOUNTED CABINET
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KEYED FLOOR PLAN NOTES	
TAG #	DESCRIPTION
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8	STAINLESS STEEL DROP-IN SINK W/ GOOSENECK FAUCET & WRIST BLADES

PROJECT

WEST ALLIS-WEST MILWAUKEE RECREATION DEPARTMENT - LANE PHASE 01

1300 S 109th St West Allis, WI 53214

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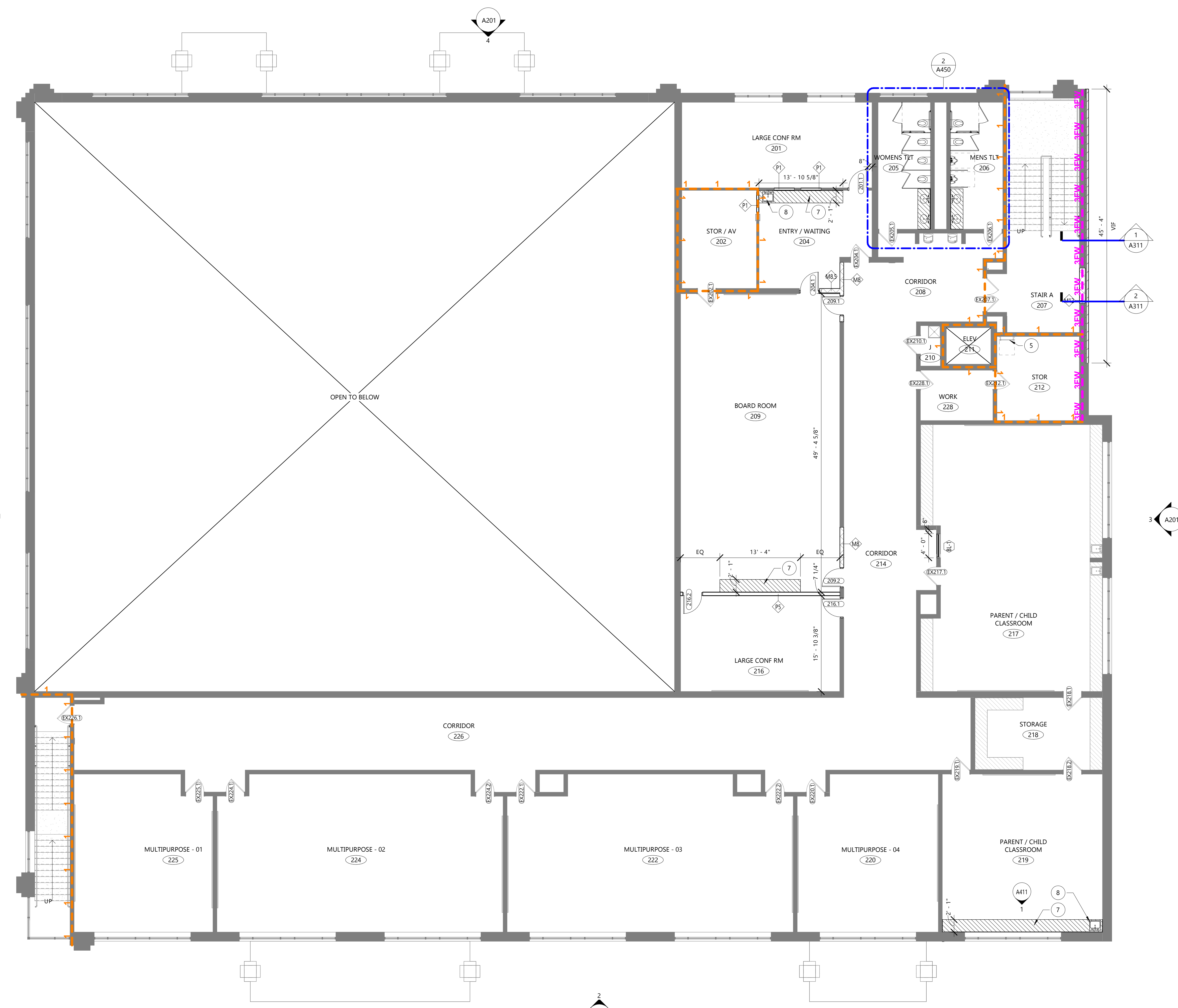
SHEET TITLE

FLOOR PLAN - LEVEL 2

A102

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1 LEVEL 2 - FLOOR PLAN
1/8" = 1'-0"

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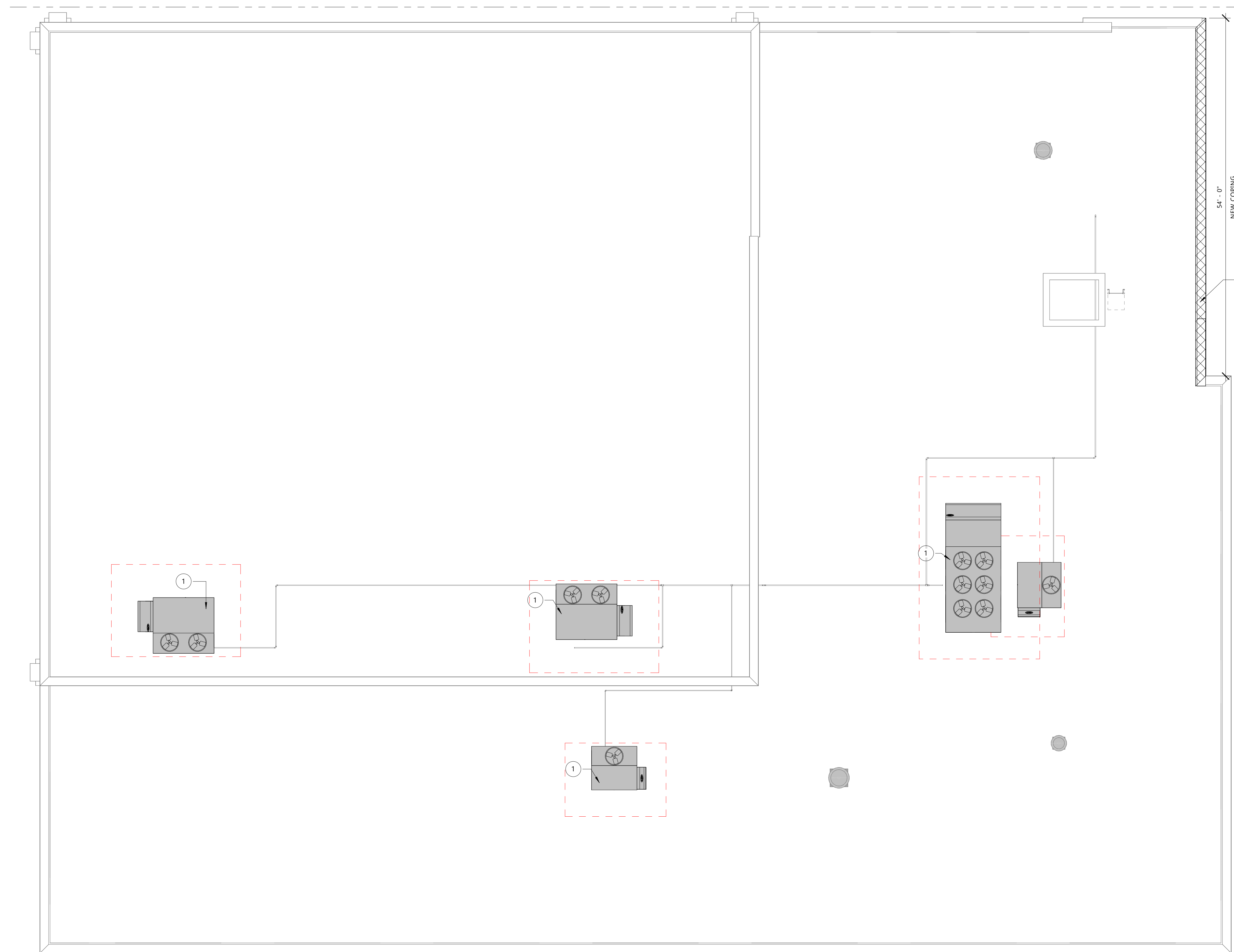
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ROOF PLAN GENERAL NOTES:

- A. CONTRACTOR SHALL COORDINATE ROOFING INSTALLATION WITH MECHANICAL & PLUMBING DRAWINGS. PROVIDE CURBING AND FLASHING AS REQUIRED AT ROOF PENETRATIONS TO MAINTAIN INTEGRITY OF ROOF MEMBRANE.
- B. ALL GRAVEL STOPS AND COPINGS TO HAVE CONTINUOUS HOLD-DOWN CLIPS.
- C. PROVIDE TAPERED EDGE STRIPS AS NECESSARY AT ROOF EDGES.
- D. ALL ROOF PENETRATIONS AND EQUIPMENT CURBS TO BE FLASHED PER MANUFACTURER'S REQUIREMENTS.
- E. PROVIDE APPROVED TRANSITIONS BETWEEN EXISTING ROOFING AND NEW ROOFING TO MAINTAIN EXISTING ROOF WARRANTY.

KEYED ROOF PLAN NOTES	
TAG #	DESCRIPTION
1	REPLACEMENT MECHANICAL EQUIPMENT. SEE MECHANICAL FOR ADDITIONAL INFORMATION.
2	REMOVE EXISTING COPING AND REPLACE WITH NEW PREFINISHED METAL COPING. COORDINATE W/ NEW CONSTRUCTION.



PROJECT

**WEST ALLIS-WEST
MILWAUKEE
RECREATION
DEPARTMENT -
LANE PHASE 01**

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West Allis, WI
53214**

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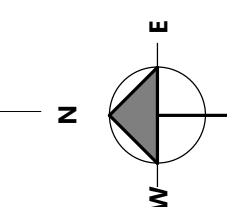
ROOF PLAN

A103

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1 ROOF PLAN
A103 1/8" = 1'-0"



KEYED EXTERIOR ELEVATIONS	
TAG #	DESCRIPTION
1	NEW EXTERIOR WALL MATCH EXISTING BRICK
2	PREFINISHED ALUMINUM COPING/GRAVEL STOP PAINTED TO MATCH EXISTING COPING. SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION
3	INSULATED HOLLOW METAL DOOR. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION
4	NEW EXTERIOR WALL INFILL MATCH EXISTING BRICK
5	PAINT EXISTING STANDING SEAM METAL ROOF CANOPIES AND FASCIA. COLOR: BLUE TO MATCH EXISTING FACILITY. CLEAN AND PREP CANOPIES AS NECESSARY TO RECEIVE NEW FINISH



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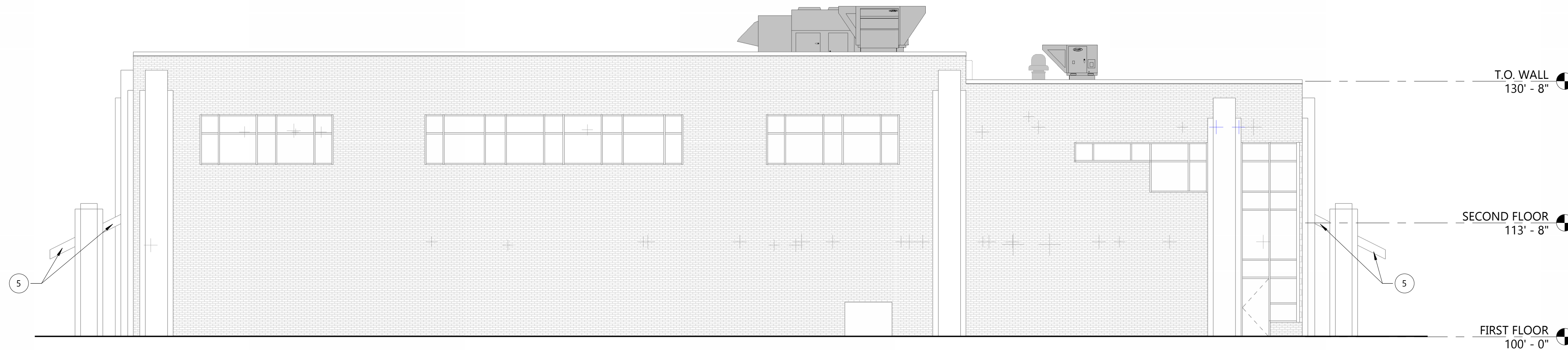
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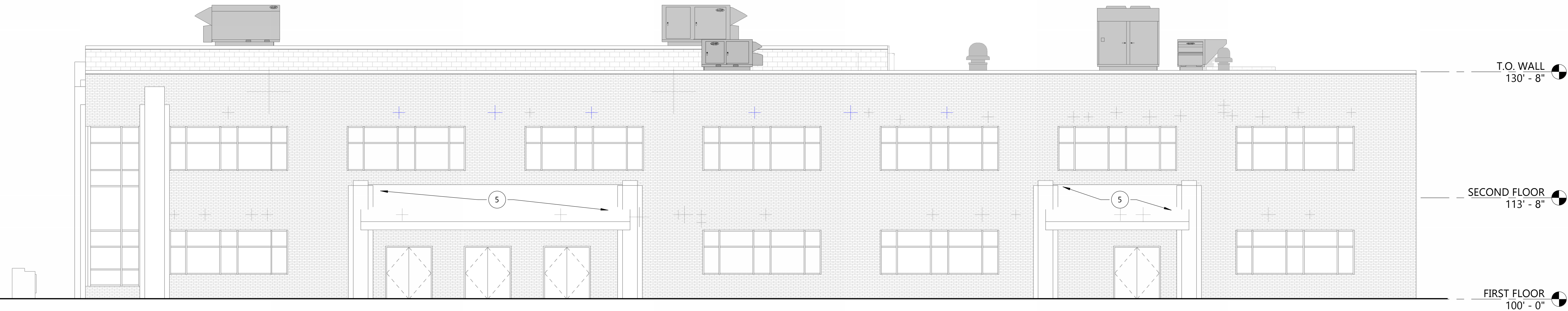
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BUILDING ELEVATIONS

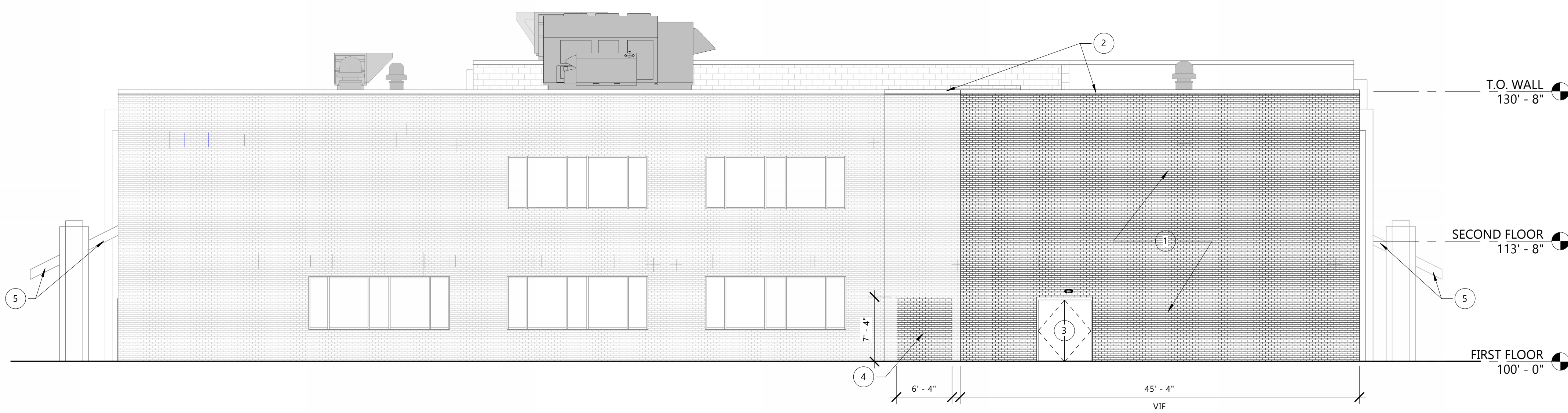
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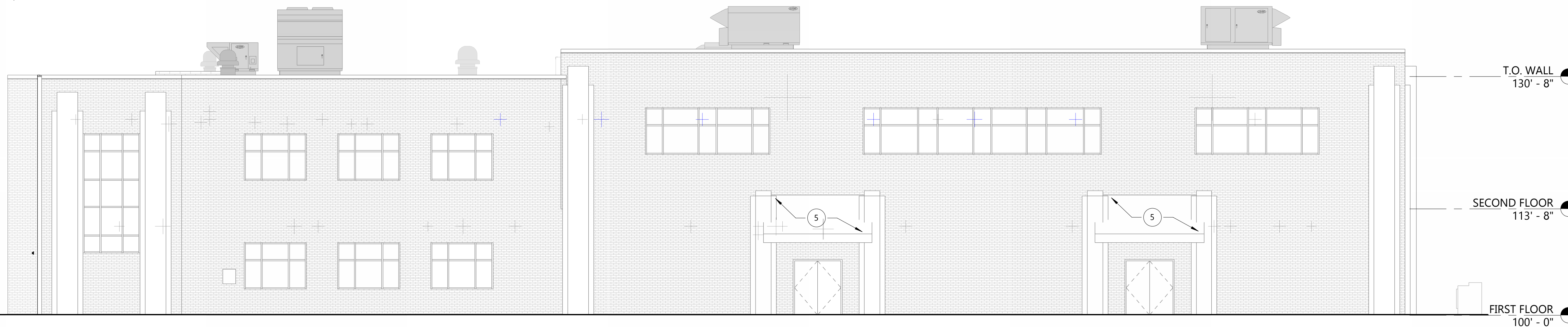
1 NORTH ELEV
1/8" = 1'-0"



2 WEST ELEV
1/8" = 1'-0"



3 SOUTH ELEV
1/8" = 1'-0"



4 EAST ELEV
1/8" = 1'-0"

Sanitary Sewer Requirements – Chapter 2 MMSD

- Will a private interceptor main sewer serving two or more buildings be installed?
 - If yes, MMSD Chapter 2 requires MMSD approval of new private interceptor main sewers. Details and plans for new private interceptor main sewers shall be submitted to the City of West Allis Department of Building Inspection and Neighborhood Services for initial assessment for compliance to local ordinances and MMSD requirements. Changes and/or corrections if needed to be addressed as needed. Plans then submitted to MMSD for final approval by the City of West Allis.
 - If a sewer line will be crossing property lines, additional easements and/or ownership investigation may be required.

- Is the land use/zoning changing or residential density changing?
 - If yes, flow allocations from MMSD will be required. Flow allocation worksheets are completed & submitted by the engineering department - additional information will be needed from the developer.

Water Services

- Will any new water services create a “looped” system and tie back into City of West Allis water mains?
 - If yes, check valves will be required per NR 811.68(3) if water main is to be privately owned.
 - If yes and no check valves are installed, water main will be considered public and will require additional approvals and fees. Easements will be required along with City of West Allis Engineering Department and State of Wisconsin DNR approvals and inspections.

- All tapping of City of West Allis water mains shall be done by City of West Allis Water Department. Fees are determined by size of main and new water service.

Plumbing Plan Reviews

- Does the new building(s) have a total of 10 or more interior and exterior plumbing fixtures** and/or over 1 acre of storm water drainage system?
 - In no, no plan reviewed required.
 - If yes, plumbing plan review by the City of West Allis as an agent municipality of the State of Wisconsin will be required to review the plumbing system for compliance to state and local plumbing codes.
 - Fees are determined by size and scope of plans.
 - Contact City of West Allis Building Inspection and Neighborhood Services Plumbing Division for more information on plumbing plan reviews. Plan review application available at the Department of Building Inspection and Neighborhood Services or at www.westalliswi.gov/BINS. Approximate time required for plumbing review is 10 business days.

**Fixtures include: Catch Basins/Inlets, Manholes
Floor Drains, Roof Drains, Hosebibbs
Sinks, Water Closets, Urinals, etc.
Plumbing Appliances (Dishwasher, etc.)
Grease Interceptors
Cross Connection Control Devices

Other Fees

- Right of way excavation permit & driveway permits.
 - Required if any excavating is done in City Right of Way (sidewalks, roads, alleys, etc.). County or State permits may also be required depending on roadway being excavated. Please see <https://www.westalliswi.gov/727/Engineering-Permits-Applications>

- Forestry Department.
 - Required if any City trees need to be removed.

- Electrical Department.
 - Required if any City light poles need to be moved.

Appendix A

MMSD Green Infrastructure Plan Requirements

- What is it:
 - o A simple sustainable way to capture, control and store rainwater and melting snow.
- How:
 - o Install green infrastructure including: rain barrels, rain gardens, trees, porous pavers, green roofs, cisterns, bio swales, etc.
- Requirements:
 - o If between 5,000 square feet and ½ acre (21,780 square feet) are added, the amount of rainfall that equals ½” of rain across the impervious area must be held on-site using green infrastructure.
Example: If 5,000 square feet of impervious area is added, 1,559 gallons of Green Infrastructure (G.I.) capacity will be required.
- Process:
 - o A G.I. plan describing runoff management shall be submitted to City of West Allis Department of Building Inspection and Neighborhood Services for initial assessment. City of West Allis will forward plans to MMSD for final approval. MMSD and the Fresh Coast Resource Center are available to further walk you through the process and help with any green infrastructure sizing and placement needs.
- GI plans:
 - o The elements of a complete sewer plan submittal:
 - A description of the project with dimensions for the net new impervious surfaces
 - A description of the proposed GI with dimensions
 - One or more drawings that show the location of the new impervious surfaces and the proposed GI
 - Calculations showing the volume of the proposed GI is equal to or greater than the required detention volume.
 - Maintenance plan
- Fees/Time:
 - o Fees will be determined by size and scope of G.I. plan. Approximate time for MMSD final approval is 3 – 4 weeks.
- Resources:
 - o MMSD’s Guide:
[HOW TO CREATE & SUBMIT A GREEN INFRASTRUCTURE PLAN](#)
or visit <https://www.mmsd.com/government-business/rules-regulations/rules> and look for this document under Chapter 13
 - o Fresh Coast Guardian Site:
www.freshcoastguardians.com

Appendix B

MMSD Storm Water Management Plan Requirements

- What is it:
 - o A detailed plan developed by an engineer describing how storm water will be controlled, managed and how sediment will be captured along with the maintenance of the system using a series of engineering formulas. Required information needed is included in Appendix C, MMSD's submittal checklist. Engineer shall also complete MMSD's Chapter 13 Cover Checklist (Excel file) available at <https://www.mmsd.com/government-business/rules-regulations/rules>, under Chapter 13, or download [Chapter 13 SWMP Worksheet](#).

- Process:
 - o The completed storm water management plan (SWMP) and construction plan set with all of MMSD's required information and engineering data shall be submitted to the City of West Allis Department of Building Inspection and Neighborhood Services for initial assessment of compliance to local ordinances and state plumbing codes. Upon initial assessment, plans will be forwarded to AECOM for final assessment of MMSD's requirements. If changes/corrections are needed, a revised SWMP will be submitted. Once SWMP has been approved by the City & AECOM, completed SWMP and construction plans will be forwarded to MMSD by AECOM on behalf of the City for final MMSD approval.

- Fees/Time:
 - o City of West Allis assessment fees will be determined by size and scope of plan. Approximate time from plan submittal to final MMSD approval is 3 – 4 weeks.

Appendix C

MMSD Chapter 13 Surface Water and Storm Water Reviews Storm Water Management Plan Submittal Checklist

Municipality: _____

Date submitted: _____

Name of contact person: _____

Telephone number: _____

Project name: _____

New submittal

Resubmittal #: _____

The following items must be provided in a Storm Water Management Plan (SMP) to be considered a complete submittal and initiate the District's Chapter 13 review process:

1. Municipality cover letter stating that the SWMP has been reviewed and approved
2. Chapter 13 cover sheet (Excel file) available at: <https://www.mmsd.com/government-business/rules-regulations/rules> (under Chapter 13) or download [Chapter 13 SWMP Worksheet](#).
3. Narrative that includes:
 - a. Project description
 - b. Project address
 - c. Procedure used to meet Chapter 13
 - d. Table listing pre- and post-development or redevelopment runoff volumes or runoff release rates
 - e. Local ordinance requirements or off-site drainage constraints that may be more restrictive than District's Rules
 - f. Storm water management facility description
 - g. Site maps that show:
 - i. Boundary of the drainage area tributary to the project site
 - ii. General roads, pedestrian ways, access to site, adjacent land uses, existing man-made structures, and public facilities
 - iii. Existing and proposed contours at a minimum of 2-foot intervals, extending a minimum of 200 feet beyond the limits of the proposed development and flow path for each subbasin
 - iv. Streams, lakes, ponds, existing drainage swales, floodplains, wetlands, natural storage, and other physical features within or adjacent to the project area
 - v. Locations of existing and proposed utilities, sewers, and water lines
 - vi. Areas to be cut or filled
 - vii. Proposed area of any construction or demolition activity that disturbs native soil or the soil under a base course or subbase course
 - viii. Locations of proposed buildings, roads, parking areas, and other permanent structures
4. Modeling that includes:
 - a. Hydrologic and hydraulic design calculations including all assumptions and criteria for the existing and post-development conditions for the design storms
 - b. Maximum depth and elevation, design, volume, peak outflow for the 50% and 1% probability (2- and 100-year) storm events, area, and time to drain (based on hydrograph routing computations)
 - c. For volumetric design procedure calculations, existing and post-development hydrographs, critical time period and existing and post-development out- flow volumes for the 50% and 1% probability (2- and 100-year) storm events during the critical time period
 - d. For multi-site facilities, analysis of ultimate development in the tributary watershed, consideration of multiple phases of construction, use of the volumetric procedure, identification of required drainage improvements between the developments or redevelopments of the multi-site facility, and effective conveyance to multiple storage facilities
5. Operation, maintenance, and inspection plan
6. Existing and proposed conveyance system including:
 - a. Design drawings and details for all conveyance facilities
 - b. System inlet details
 - c. Outlet and outfall designs and details
 - d. Hydraulic grade line calculations and plots developed in the design of the storm water facilities
 - e. Calculations of outlet conditions at site discharge point



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

3A. Conditional Use Permit for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, located at 10928 W. Oklahoma Ave.

3B. Site, Landscaping, and Architectural Design Review for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, located at 10928 W. Oklahoma Ave. (Tax Key No. 520-0151-001)



Overview and Zoning

A 5,000 square foot car wash is proposed to be constructed on the site currently operated by Incredi-Roll Skate & Family Fun Center at 10928 W. Oklahoma Ave. ([Plan set link](#)).

Tsunami Express Carwash hours of operation are from 7am to 8pm daily and employ about 8-10. The car wash will have 2-3 employees on site.

The property is zoned C-4. [Car Wash Service](#) uses require a conditional use permit. Additional conditional use criteria states that no conditional use permit may be issued unless no lot zoned for residential purposes is located adjacent to the lot. All adjacent lots are zoned commercial and do not conflict with the conditional use criteria (the nearest residential development/Windsong is about 300-ft away). Accessory drive-through service also requires a conditional use permit.



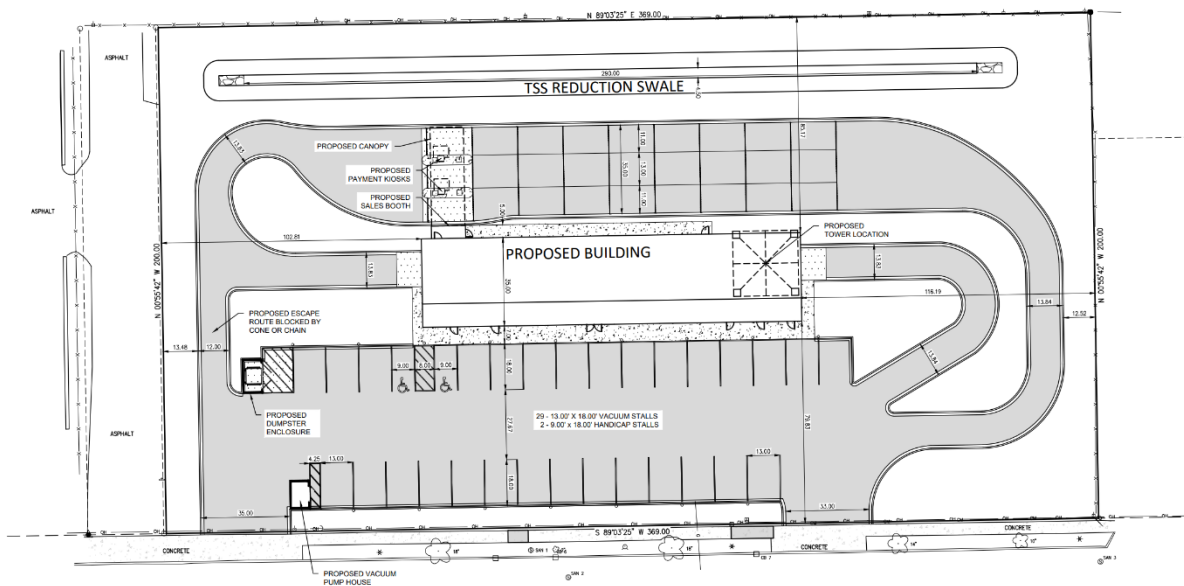
Site Plan

The property is currently owned/utilized by [Incredi-Roll](#) which is a recreational/entertainment use within the Hwy 100 corridor (a major north-south corridor through the city spanning 3.5 miles). The existing

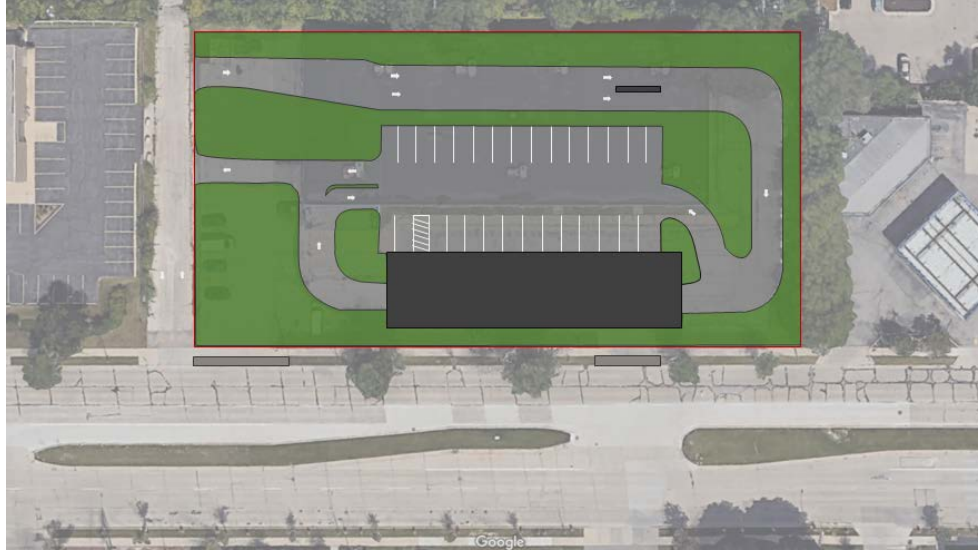
building is proposed for demolition and will be replaced by a single-story building for the proposed car wash. The site is proposed to have access from W. Oklahoma Ave. from two curb cuts on the southwest and southeast corners of the site. Both curb cuts lead directly into a parking lot for the car wash. Extending from the east edge of the parking lot are two lanes. The southern lane wraps around the site going directly north of the proposed building, leading to three separate lanes for a payment kiosk under a canopy. The three lanes merge into one again and then lead into the car wash or back to the parking lot. The drive aisle continues through the building and eventually exits into the eastern portion of the parking lot.

The parking lot shows a total of 31 parking stalls. For Conditional Uses the maximum number of parking stalls permitted is determined by the Conditional Use Permit. Staff recommends reduction of parking stalls to align with our [zoning code parking maximum](#) intentions (service uses). A refuse area with an enclosure is shown on the northwest corner of the parking lot. A vacuum pump house is also proposed in the parking lot on the southwest corner.

To conform with Design Review Guidelines staff is recommending site changes. Design Review Guidelines call for locating vehicle parking areas away from the public sidewalk while strategically buffering from the public realm. Staff recommends that the proposed car wash building is moved closer to the south property line and the parking lot & drive aisles are oriented towards the rear of the property. In this proposal the parking lot and drive-through lanes would be buffered from the public realm. Additionally, to increase traffic safety Engineering and Planning recommend removal of two curb cuts along W. Oklahoma Ave. Vehicles would instead utilize an existing access point directly west of the parcel. This would require coordination with the adjacent property owner for a cross access easement. Staff has provided this alternative to Milwaukee County and is awaiting feedback. Staff will continue to work with the applicants on any site changes.



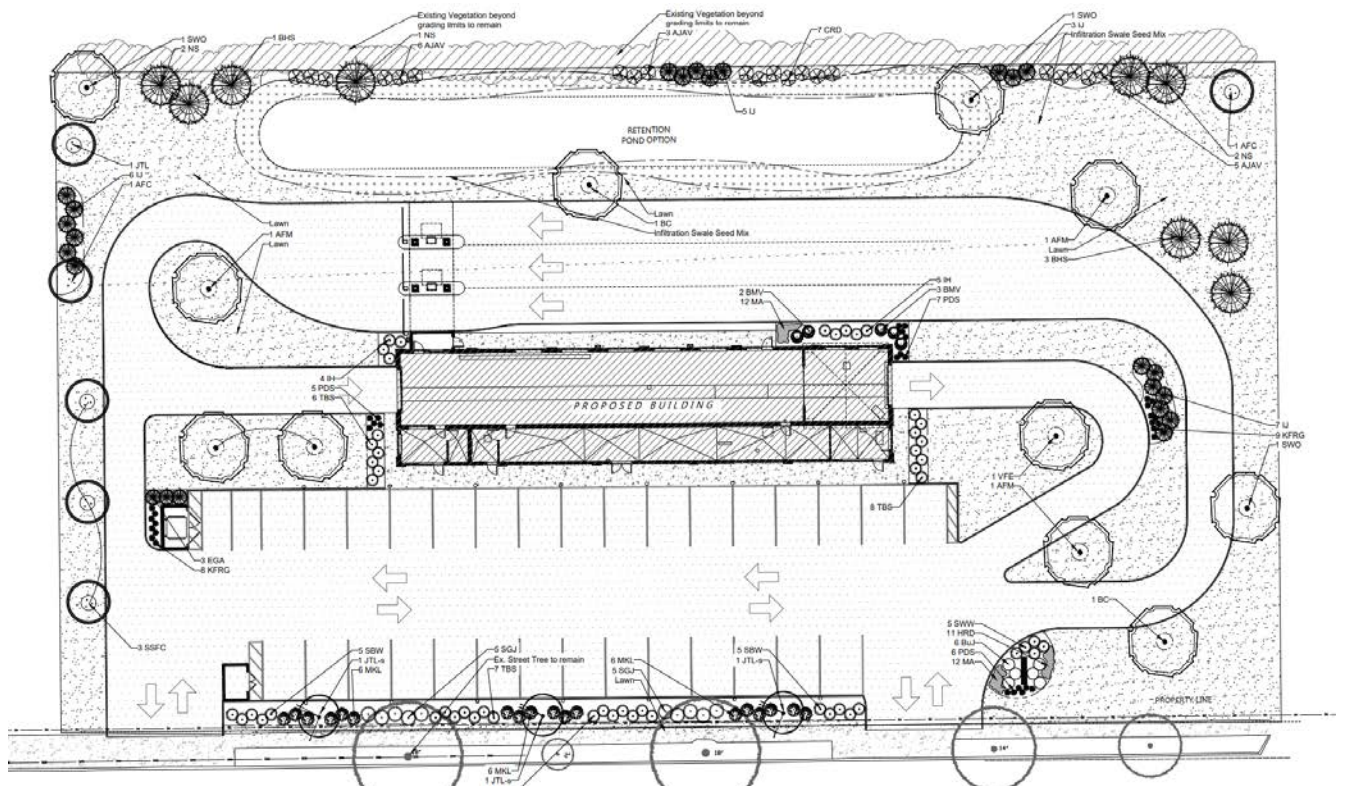
Submitted Site Plan



Recommended site changes example

Landscaping Plan

The property is bound by landscaping on all sides. Along the southern property line is a variety of deciduous shrubs and ornamental trees. The western edge of the property shows a mix of trees. This

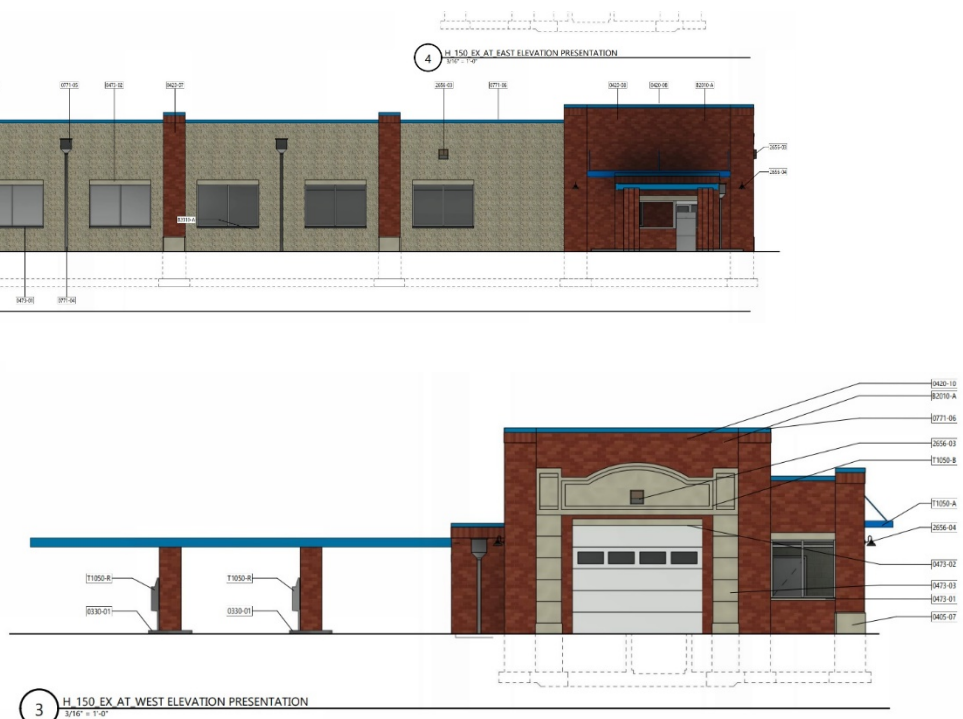
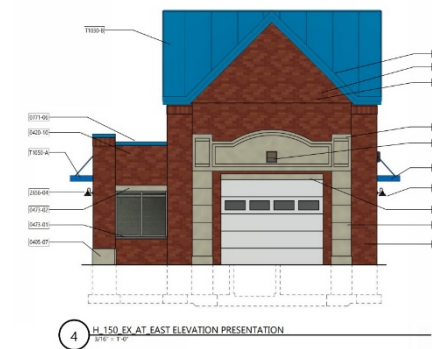


continues to the northern edge of the property with a mix of shrubs as well. An optional retention pond is also shown on the northern portion of the site. A mix of trees continues along the eastern edge of the property. In between the drive through lanes are a mix of trees and shrubs. Landscaping is shown along the building with a mix of perennials and shrubs. Additional landscaping is also shown around a proposed freestanding sign and the trash enclosure. The use of weigelia is not recommended by staff. Site plan

changes may alter the proposed landscape plan that was submitted by the applicant. Any changes to the site will require technical review and approval by staff.

Architectural Plan

The proposed building is comprised of brick veneer, cast stone, split face CMU, and EIFS for the exterior elevations. EIFS is not a permitted exterior material ([Design Guidelines](#)). Higher quality material will be needed to replace the EIFS on the building. The south, street facing façade is made up primarily of masonry and split face CMU. Multiple windows align the south façade along with 4 doors. Staff recommends increased glazing along windows and doors for enhanced visual appeal. The west façade shows a mix of masonry and precast stone. A garage door is shown along with two windows. The west elevation also shows the the canopy for the payment kiosks. This consists of masonry pillars covered with an aluminum canopy. The north façade is similar to the south façade with a mix of masonry and split face CMU. The east façade appears similar to the west façade with a garage door encased by precast stone. Masonry is also utilized and is used to form a gabled roof. The pump house is shown to be constructed with split face CMU. The roof is comprised of a mix of concrete planks, steel bar joists and steel trusses colored blue.



Recommendation: Hold action. With the writing of this report, staff still has some significant concerns and has not had adequate communications with some of the newer project leads from the Tsunami team, and is also awaiting feedback from Milwaukee Co.

Staff shared the following points for review that should at minimum be incorporated into future discussions and plan changes. As part of the Conditional Use Permit and Site, Landscaping, and Architectural Design Review for Tsunami Express Carwash, a proposed Car Wash with accessory drive-through service, at 10928 W. Oklahoma Ave. (Tax Key No. 520-0151-001):

1. A revised Site, Landscaping, and Architectural Plan being submitted to the Planning office to show the following: (a) Site plan showing recommended site access and building location changes per Engineering and Planning; (b) EIFS is not a permitted exterior material. Higher quality material will be needed to replace the EIFS on the building; (c) The south, street facing façade is made up primarily of masonry and split face CMU. Multiple windows align the south façade along with 4 doors. Staff recommends increased glazing along windows and doors for enhanced visual appeal; (d) Landscaping plan showing replacement of weigela and additional landscaping per City Forester recommendation; (e) incorporating vacuum pump house into main building envelope or closer in proximity to main building and away from drive entrances; (e) projected decibel level readings being shared with staff and in consideration with surrounding uses; (f) curb being installed along the west exterior perimeter of the property. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. A [Street excavation permit](#) being applied for in OpenGov prior to work beginning. Any concrete work in the right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367. W. Oklahoma Ave. (CTH NN) being a County Highway and subject to County permit (plans have been shared with Milw. Co.).
3. Documentation and approval showing compliance with the City of West Allis Storm water Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A storm water permit must be obtained from the City.
4. Signage plans being reviewed for compliance and subject to permitting.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

4A. Conditional Use Permit for The Salon Suites, a proposed Beauty, Wellness, and Massage Therapy use located at 11575 W. Theo Trecker Way.

4B. Site, Landscaping, and Architectural amendment for The Salon Suites, a proposed Beauty, Wellness, and Massage Therapy use located at 11575 W. Theo Trecker Way (Tax Key No. 445-0756-001).

Overview and Zoning

The property is zoned I-1, light industrial and “The Suites” is a real estate acquisition company specializing in providing salon suites to professionals in the beauty and wellness industry. While primary tenants consist of hair professionals, estheticians, and cosmetologists, they also frequently accommodate massage therapists within our premises, as it is a common practice for them to rent salon suites.



Conditional use proposal

Salon Suites will offer about 40 leasable (100-150-sf) work areas within the two-floor, 12,500-sf building. Approximately 10-15% of the tenant spaces may be leased to massage therapy businesses. The building will be remodeled to offer common area amenities for the public (lobby & corridors to access suites), and a breakroom for tenants. While most leasable space within the building will be permitted “neighborhood services” (like aesthetician, hair, beauty, nails), the city zoning code requires some additional review of “massage therapy” uses require a conditional use.



Rather than requiring a conditional use public hearing each time a new small business leases a suite, staff’s recommending one conditional use permit to function universally to cover future massage therapy business operations on site. The property owner and their tenants will be required to acknowledge and abide by the criteria to meet the terms of the conditional use permit. Conditional uses may be terminated or limited in term. Staff offers some common considerations that could be applied to the conditional use below to maintain integrity of the facility.

Property owner and Massage therapy businesses on site shall:

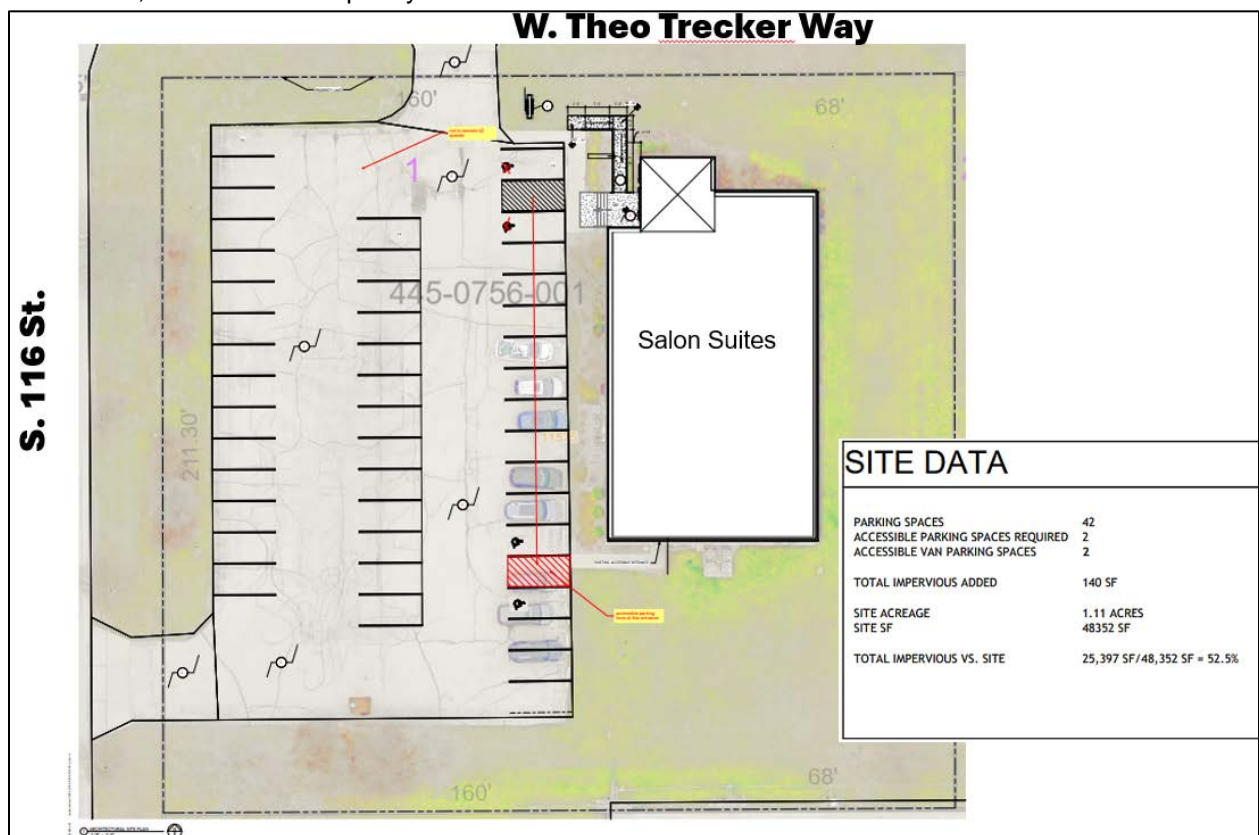
1. State of WI licensed operation.
2. Maintain customer appointment records.
3. All customers enter/exit through common/public areas.
4. 24/7 Video camera within common public access points.
5. Daytime Hours (not open before 7am or after 10pm).

What is conditional use? Conditional use is a type of use that is allowed upon meeting all conditions specified in the code and those imposed by the common council. Conditional uses are required to go before the City Plan Commission for consideration of proposed operations and a site, landscaping, and architectural design review. Plan Commission's decision is referred to the Common Council for public hearing. The timing of the conditional use process is 45-60 days. For instance, this application was submitted in early March, staff conducted a technical review over a period of three weeks, shared feedback/recommendation with the applicant, and published a staff report w/ recommendation to the Plan Commission on March 27. A public hearing before the City Council to be conducted in April. A class 2 notice is required by State Statutes in advance of the public hearing. For more info refer to the [Planning and Zoning web](#).

Site, Landscaping, and Architectural Plans

The majority of improvements to the existing building will be interior updates and floor plan changes (carpentry, plumbing, HVAC, and electrical) to deliver white-box readied spaces (stubbed in plumbing, electrical, HVAC) where tenants may then install their countertops and sinks. Tenant fixture installations would require a plumbing permit.

The Plan Commission's role is more concerned with any planned exterior site changes, or exterior building alterations. The only significant exterior improvement that may be installed is a new ADA ramp on the north side of the building. The rear entrance is already ADA accessible and the building features an elevator, so the north ramp may not be installed.



Recommendation: Common Council approval of the Conditional Use Permit and Site, Landscaping, and Architectural amendment for The Salon Suites, a proposed Beauty, Wellness, and Massage Therapy use located at 11575 W. Theo Trecker Way (Tax Key No. 445-0756-001), subject to the following conditions:

1. Common Council approval of the Conditional use permit with the following universal criteria for massage therapy:
 - a. State of WI licensed operation.
 - b. Maintain customer appointment records.
 - c. All customers enter/exit through common/public areas.
 - d. 24/7 Video camera within common public access points.
 - e. Daytime Hours (not open before 7am or after 10pm).
2. A revised Site and Architectural Plan being submitted to the Department of Development to show the following: (a) confirmation on plans of north ramp being installed or not; (b) refuse location and 4-sided screening details being shown on site plan. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
3. Signage and lighting plans subject to Planning design review and permitting.



THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

PROJECT TEAM

TREDO GROUP LLC

8425 N. PORT WASHINGTON DRIVE
FOX POINT, WI 53217
PHONE (414) 254-0498
www.tredogroup.com

PROJECT CONTACT:
DIRECT PHONE:
EMAIL ADDRESS:

Jeff Tredo, AIA
(414) 254-0498
jeff.tredo@tredogroup.com



03/12/2024

PROJECT NUMBER: **24008**

THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

03/12/2024

SHEET INDEX

ARCHITECTURAL
G101 LIFE SAFETY PLANS

ARCHITECTURAL
A010 PARTITION TYPES

ARCHITECTURAL SITE
AS100 ARCHITECTURAL SITE PLAN

ARCHITECTURAL
A200 ELEVATIONS

ARCHITECTURAL DEMOLITION
AD100 LL FLR DEMOLITION PLAN
AD101 1ST FLR DEMOLITION PLAN

ARCHITECTURAL
A100 LL FLR PLAN
A101 1ST FLR PLAN
A120 LL FLR RCP
A310 WALL SECTIONS
A520 INTERIOR & CASEWORK DETAILS

GENERAL BUILDING DATA

APPLICABLE CODES AND ZONING

2018 WISCONSIN COMMERCIAL BUILDING CODE (SPS 361-366)
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL BUILDING CODE
ASSEMBLY OCCUPANCY, GROUP A-3
BUSINESS OCCUPANCY, GROUP B

ZONING: CITY OF WEST ALLIS

CONSTRUCTION CLASSIFICATION

RENOVATION
TYPE OF CONSTRUCTION, III-B

BUILDING AREA

LEVEL 3 ALTERATION 10,626 SF / 12,326 GSF = 83% AREA OF WORK

CODE ANALYSIS

ALTERATION LEVEL 3 (AREA OF WORK EXCEEDS 50% OF EXISTING BUILDING);
CHAPTERS 7, 8, 9 IBC

CURRENT OCCUPANCY - B. OFFICE USE GROUP
PROPOSED OCCUPANCY - B. NEIGHBORHOOD SERVICES

1105.1.5 IBC - ONE ACCESSIBLE ENTRANCE PROVIDED FOR EACH TENANT.
1105.1 - 80% ALL ENTRANCES TO BE ACCESSIBLE

804.2.5 IBC **FIRE PROTECTION SYSTEMS**
- PROVIDE FIRE ALARM WITH WIRED EXISTING SYSTEM
- APPROVED LOCAL ALARM SERVICE
- PER NFPA 72 TIED TO OCCUPANT NOTIFICATION SYSTEM
- BACKUP POWER PER NFPA 72
- SMOKE DETECTION IN FURNACE ROOM
- CONNECT ALL EXISTING FIRE ALARMS TOGETHER
- FIRE ALARM PROVIDE SHOP DRAWINGS ENTIRE DESIGN APPROVAL FIRE INSPECTOR CITY OF WEST ALLIS.

904.2 IBC
- PROVIDE FIRE ALARM MANUAL PULL IN CONSPICUOUS AREA TO INITIATE FIRE ALARM.
- FIRE ALARM TIED TO FIRE DETECTION DEVICE-OR-WATER FLOW DETECTION DEVICE.
BUILDING.

907.2.11 - ALARM NOTIFICATION DEVICES TIED TO ONE ANOTHER
907.2.10.2 - AUTOMATIC SMOKE DETECTION DEVICES NOT REQUIRED IN CORRIDORS AND WAITING LOBBIES.
907.2.11.6 - IONIZATION SMOKE ALARM MIN. 10' AWAY FROM COOKING APPLIANCES.
907.2.12.1 - POWER SOURCE SMOKE ALARM WITH INTEGRAL STROBE TO HAVE BATTERY BACKUP.
907.2.12.1 - ALARM ACTIVATION SINGLE SMOKE DETECTION OR AUTOMATIC SPRINKLER WILL ACTIVATE AUDIBLE & VISIBLE ALARM @ BUILDING CONSTANTLY MONITORED STATION.
907.2.13.1.1 - PROVIDE AREA SMOKE DETECTION IN ALL MECHANICAL ROOMS.
907.3.1 - DUCT SMOKE DETECTORS @ DOWNSTREAM OF FIRST MAIN RETURN AND EXHAUST AIR PLENUM BOX, NO MANUAL FIRE ALARM BOX ON DUCT.
907.3.1 - PROVIDE OCCUPANT NOTIFICATION TIED TO SPRINKLER WATER FLOW.
907.4.1 - PROVIDE SMOKE DETECTOR AT FIRE ALARM CONTROL UNIT.
907.5 - OCCUPANT NOTIFICATION TIED FIRE DETECTORS, AUTO SPRINKLER WATER-FLOW, ALARM BOX, AUTO-FIRE-EXTINGUISHER SYSTEMS.

805.6 IBC **MEANS OF EGRESS**
- 50' DEAD END CORRIDOR ALLOWED SPRINKLERED EXISTING BUILDING PER 903.3.3 IBC
- MEANS OF EGRESS LIGHTING, EXIT SIGN, MIN. ARTIFICIAL LIGHT LEVEL PER IBC.

804.4 IBC **INTERIOR FINISHES**
- RESILIENT FLOORING CLASS II, NFPA 253 COMPLIANT
- DECORATION MATERIALS HUNG FROM CEILING NOT LIMITED TEST 1 OR 2 NFPA 701 COMPLIANT
806.4 - INTERIOR EXIT/PASSAGE - FLAME SPREAD RATING FSR-C
803.2 - CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIR - FSR-C
- ROOMS AND ENCLOSED SPACES FSR-A

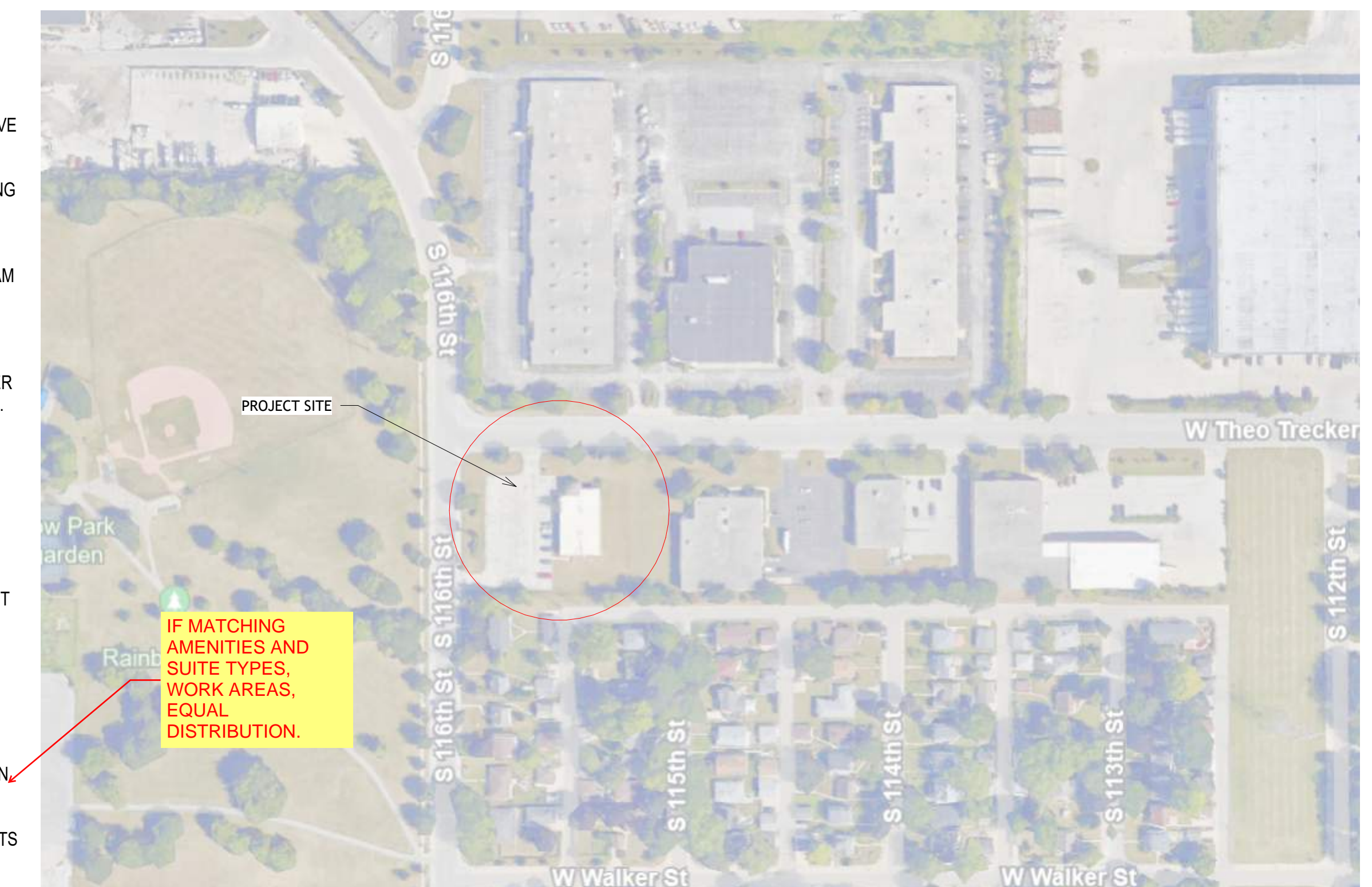
1103.2.2 **ACCESSIBLE ROUTE**
- ACCESSIBLE ROUTE TO WORK AREA REQUIRED
1104.3 - ONE ACCESSIBLE ROUTE IN MULTISTORY BUILDING, EXCEPTION 1.2 - HEALTH CARE PROVIDER GROUP B NOT REQUIRED TO BE ON ACCESSIBLE ROUTE.

808.3.1 IBC **ELECTRICAL**
- (2) DUPLEX OUTLETS EACH TENANT, KITCHEN (2) DUPLEX OUTLETS MIN.

809.2 **MECHANICAL & PLUMBING**
- 5 CFM/OCCUPANT OF OUTDOOR AIR & 15 CFM/OCCUPANT PER INDOOR AIR QUALITY PROCEDURE PER ASHRAE 62 OF VENTILATED AIR.
- PLUMBING FIXTURE INCREASE GREATER THAN 20%, RECALCULATE FIXTURE COUNT ENTIRE BUILDING.

907.4.1 **STRUCTURAL EVALUATION AND ANALYSIS**
- EVALUATION REQUIRED WITH ALTERATION LEVEL 3 TO EXISTING BUILDING.

SITE LOCATION MAP



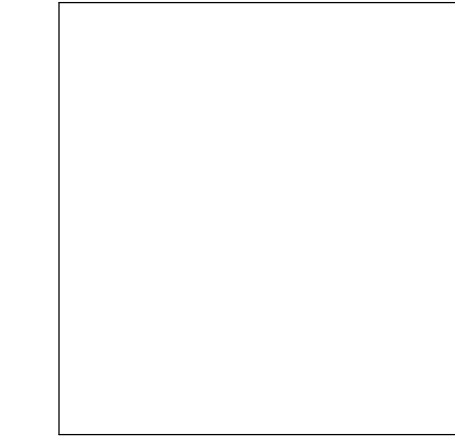
MIKE M. TO LOOK INTO DISS. CREDIT FOR RAMP

SEPARATE APPLICATION THROUGH SITE, LANDSCAPING, ARCHITECTURAL REVIEW.

CONDITIONAL USE PERMIT HEARING 5/27/24 FOR MASSAGE THERAPIST 10-15% OF TENANTS, CITY COMMON COUNCIL 4/16/24, CITY TO SET CRITERIA. LOG OF PEOPLE COMING AND GOING, CAMERAS BUTTERFLY MX. 45-60 DAYS.

NOT FORSEEN AS REQUIRED.

PROJECT TEAM



ARCHITECTURAL:
TREDO GROUP LLC

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Fox Point, WI 53217
PHONE (414) 254-0498
www.tredogroup.com

PROJECT CONTACT:
EMAIL ADDRESS:

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tredogroup
219 NORTH MILWAUKEE STREET
SUITE 630
MILWAUKEE WISCONSIN 53202
(414) 254-0498
TREGROUP.COM

PROJECT NAME
THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

APPROVED BY (SIGNATURE) (DATE)

DRAWING ISSUANCE
DATE DESCRIPTION

SET TYPE
PROGRESS SET

PROJECT NUMBER
24008

DATE
03/12/2024

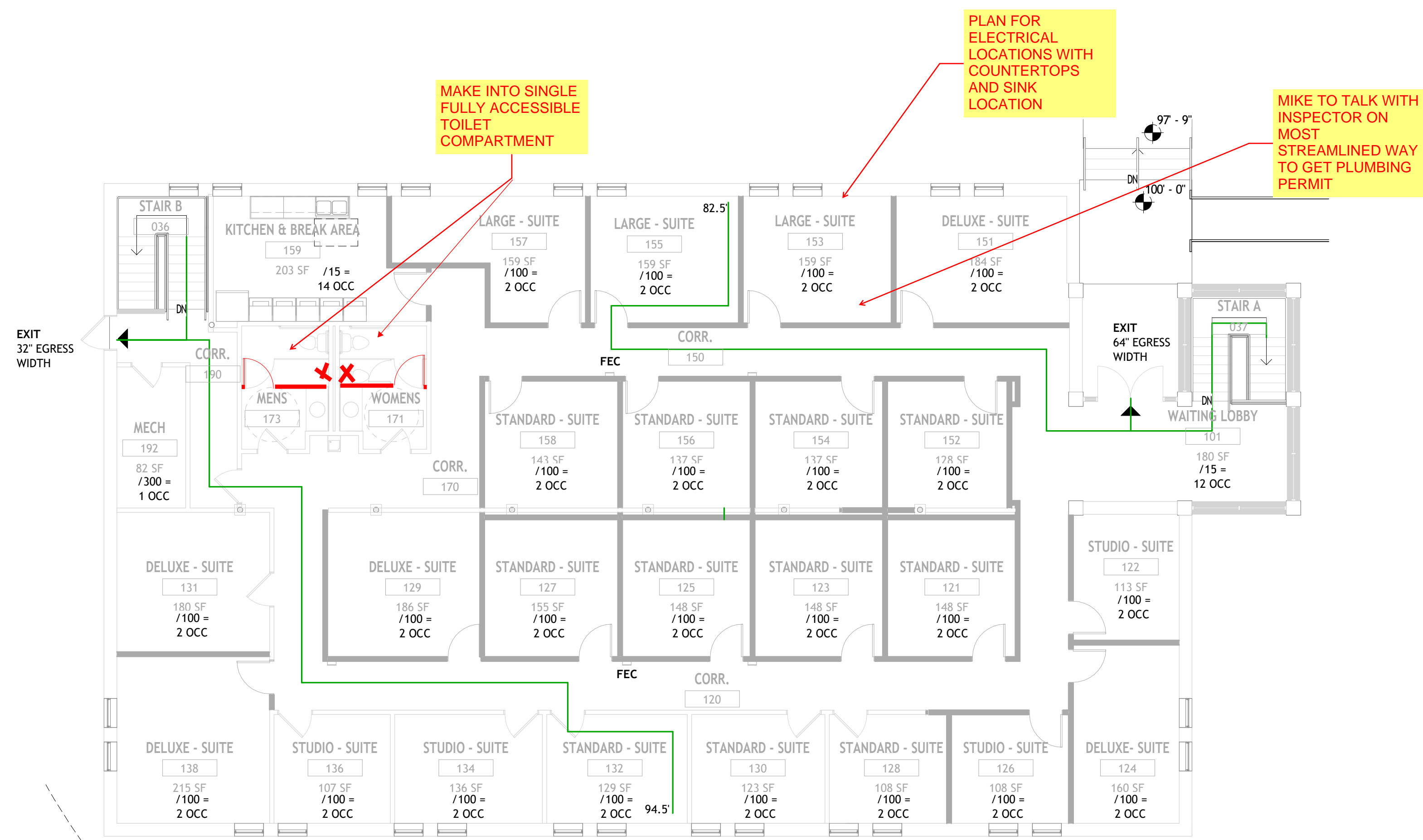
SHEET TITLE
INDEX

SHEET NUMBER

G000

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37



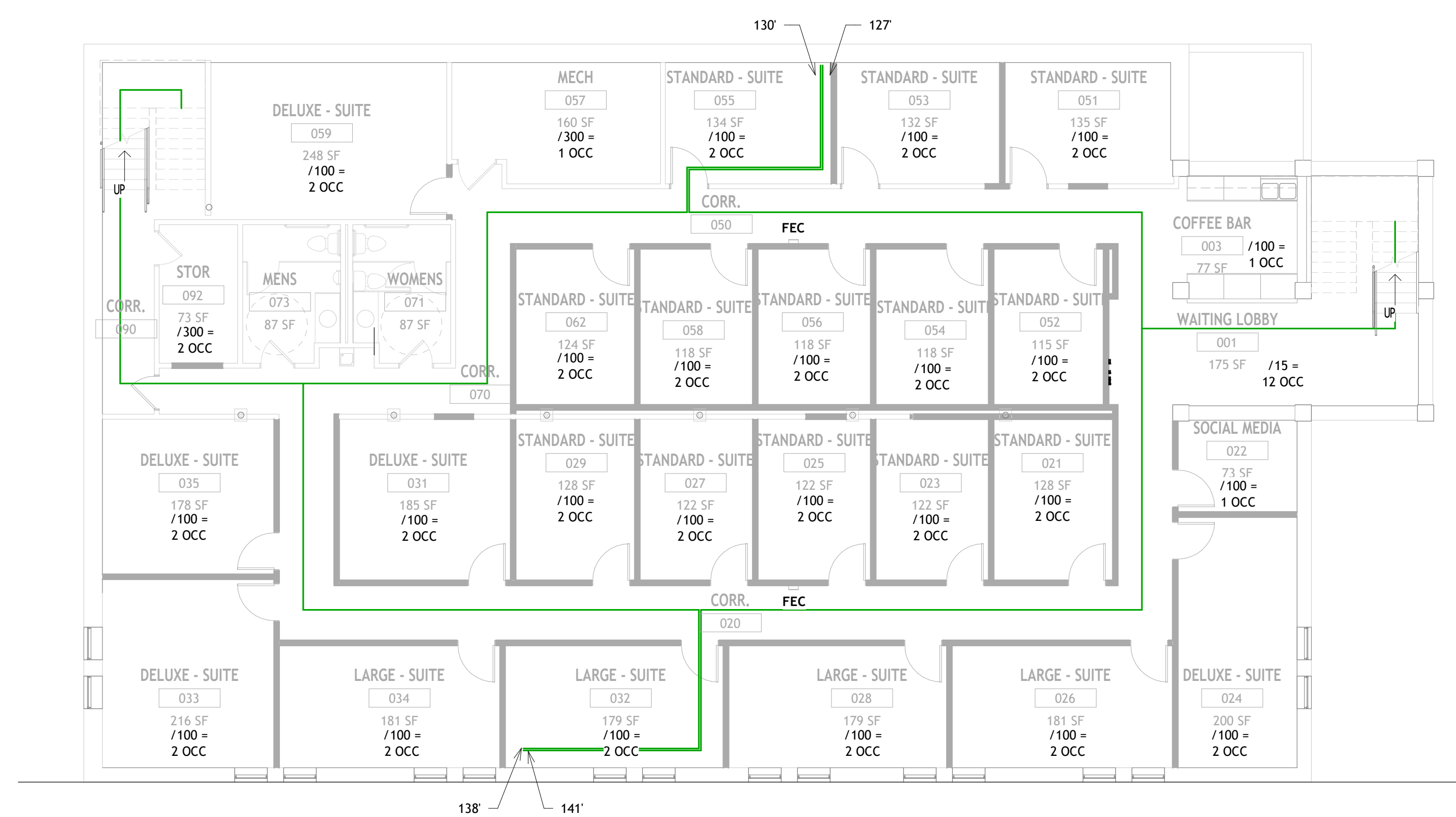
OCCUPANT LOAD DATA:

UPPER FLOOR OCCUPANT LOAD-	73 OCC
LOWER LEVEL OCCUPANT LOAD-	59 OCC
TOTAL OCCUPANTS-	132 OCC
MALE	66 OCC
FEMALE	66 OCC
PLUMBING FIXTURES CH. 29	
WATER CLOSET MALE: 1/25 FIRST 50, 1/50 REMAINDER	2 REQUIRED, 4 PROVIDED
WATER CLOSET FEMALE: 1/25 FIRST 50, 1/50 REMAINDER	2 REQUIRED, 4 PROVIDED
LAVATORY MALE 1/40 FOR FIRST 80, 1/80 REMAINDER	2 REQUIRED, 4 PROVIDED
LAVATORY FEMALE 1/40 FOR FIRST 80, 1/80 REMAINDER	2 REQUIRED, 4 PROVIDED
DRINKING FOUNTAINS: 1/100	2 REQUIRED, 2 PROVIDED
SERVICE SINK:	1 REQUIRED, 1 PROVIDED

SYMBOLS

- ▲ EXIT WITH (XX')
- FIRE EXTINGUISHER CABINET WITH (75' OF TRAVEL)

1 1ST FLOOR LIFE SAFETY PLAN
 1/8" = 1'-0"



2 LOWER LEVEL LIFE SAFETY PLAN
 1/8" = 1'-0"

PROJECT NAME
 THE SUITES IV

11575 W. THEO TREKKER WAY
 WEST ALLIS, WI

PROGRESS DOCUMENTS

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APPROVED BY (SIGNATURE) (DATE)

DRAWING ISSUANCE
 DATE DESCRIPTION

SET TYPE
 PROGRESS SET

PROJECT NUMBER
 24008

DATE
 03/12/2024

SHEET TITLE
 LIFE SAFETY PLANS

SHEET NUMBER



KEYNOTES - SITE PLAN	
1	ACCESSIBLE 4" THICK CONCRETE RAMP, SIDEWALL POWDER COAT RAILING AT 30" AFF. BRUSHED FINISH.
2	ASPHALT CONTRACTOR TO ASSESS PARKING SURFACE. PROVIDE REPLACEMENT MILLING AND STRIPING AS SHOWN.
3	FILL IN ANY GAPS GREATER THAN 1/2" DIAMETER SPHERE IN CONCRETE THRESHOLDS/CONNECTIONS TO ALLOW FOR ACCESSIBLE ROUTE FROM PARKING LOT.
4	PROVIDE SIGNAGE BY OWNER ON EXISTING SIGNAGE LOCATION

GENERAL NOTES AND REMARKS	
GENERAL NOTES	
A	
B	SAMPLE NOTE
REMARKS	
1	SAMPLE REMARK
2	SAMPLE REMARK

SITE DATA	
PARKING SPACES	42
ACCESSIBLE PARKING SPACES REQUIRED	2
ACCESSIBLE VAN PARKING SPACES	2
TOTAL IMPERVIOUS ADDED	140 SF
SITE ACREAGE	1.11 ACRES
SITE SF	48352 SF
TOTAL IMPERVIOUS VS. SITE	25,397 SF/48,352 SF = 52.5%

PROJECT NAME
 THE SUITES IV

11575 W. THEO TREKKER WAY
 WEST ALLIS, WI

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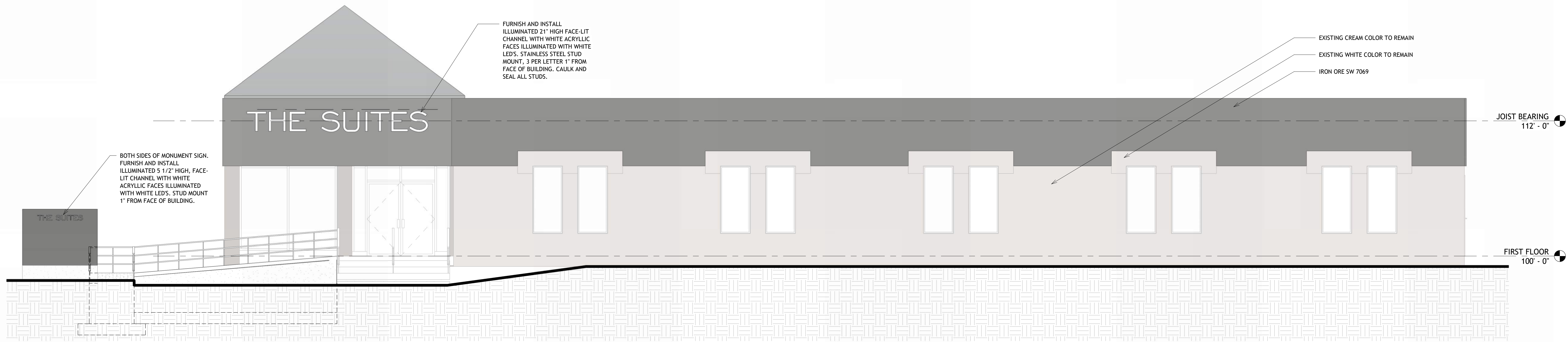
SET TYPE
 PROGRESS SET

PROJECT NUMBER
 24008

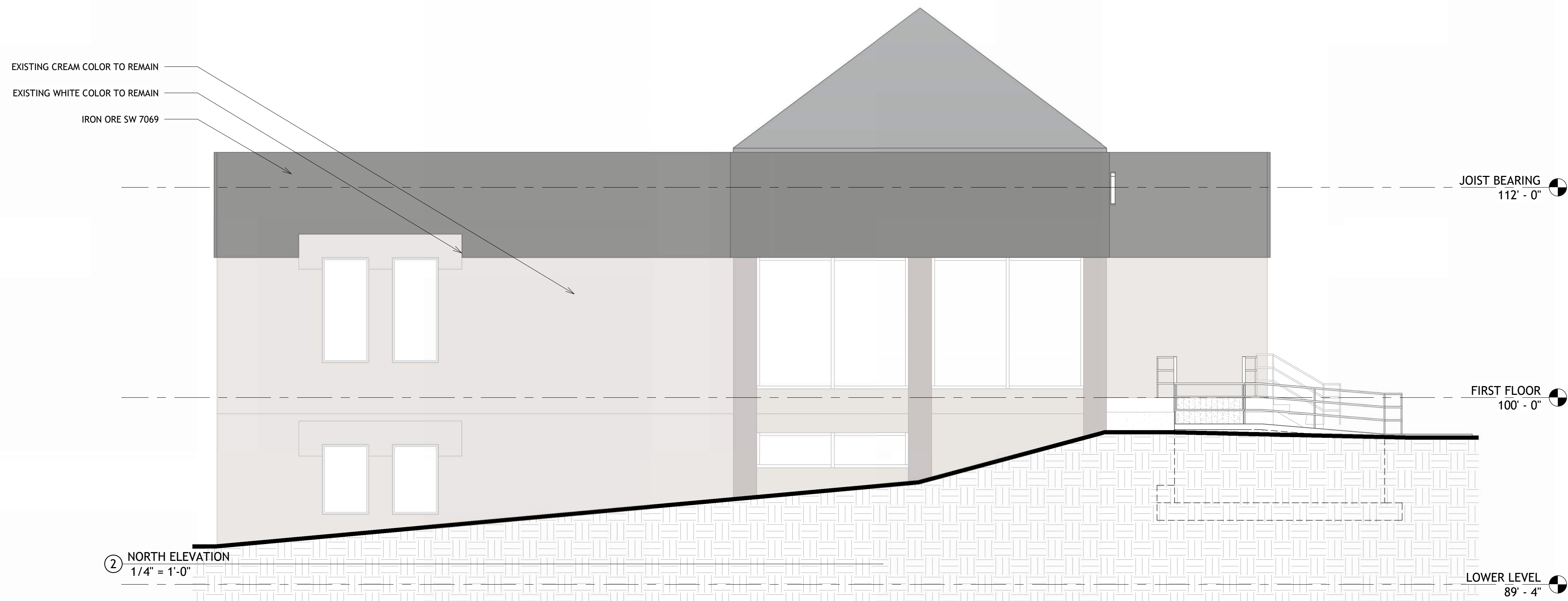
DATE
 03/12/2024

SHEET TITLE
 ARCHITECTURAL SITE PLAN

SHEET NUMBER



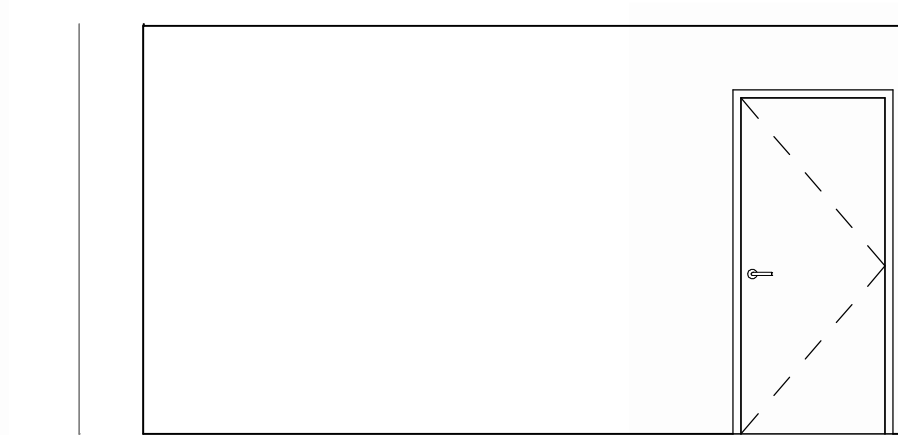
1 WEST ELEVATION
1/4" = 1'-0"



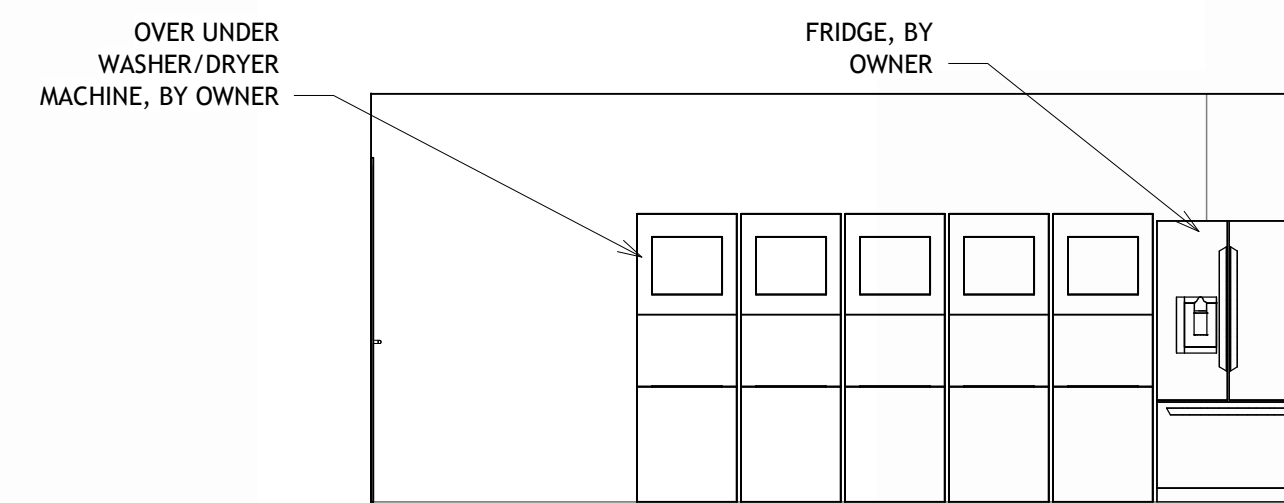
2 NORTH ELEVATION
1/4" = 1'-0"



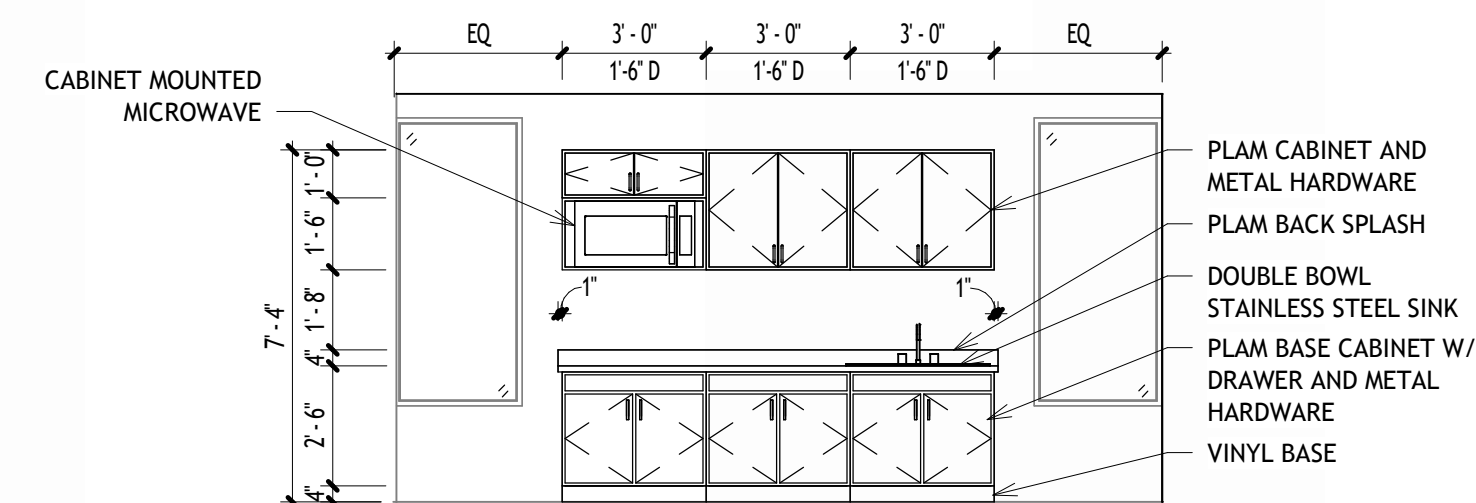
3 WEST ELEVATION ALCOVE UPPER LEVEL
1/4" = 1'-0"



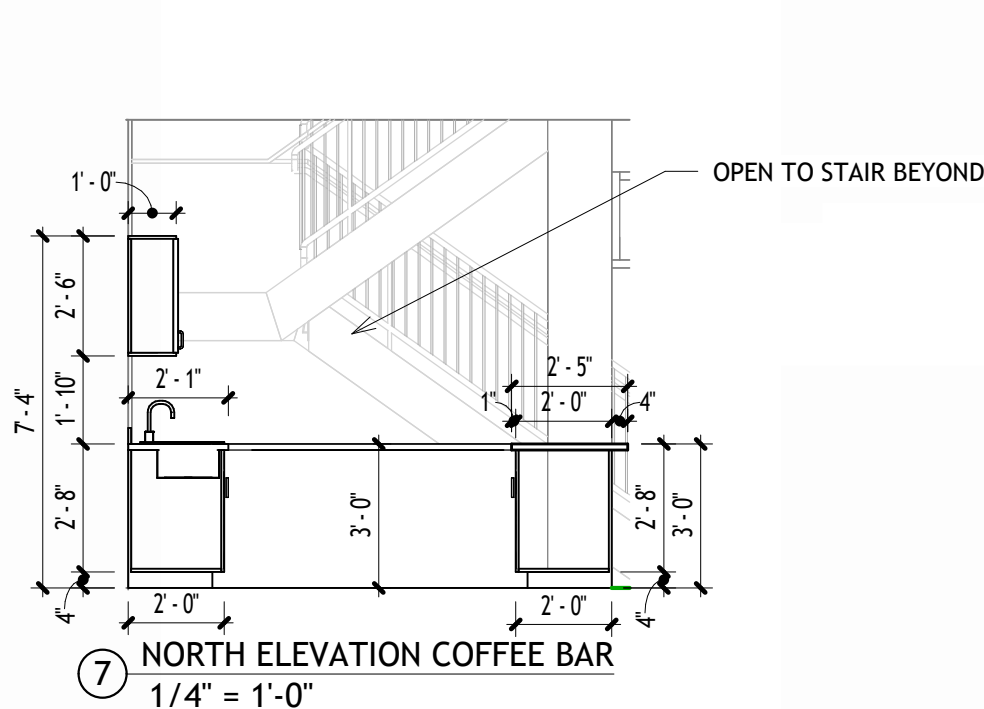
4 EAST ELEVATION - SPEC UNIT
1/4" = 1'-0"



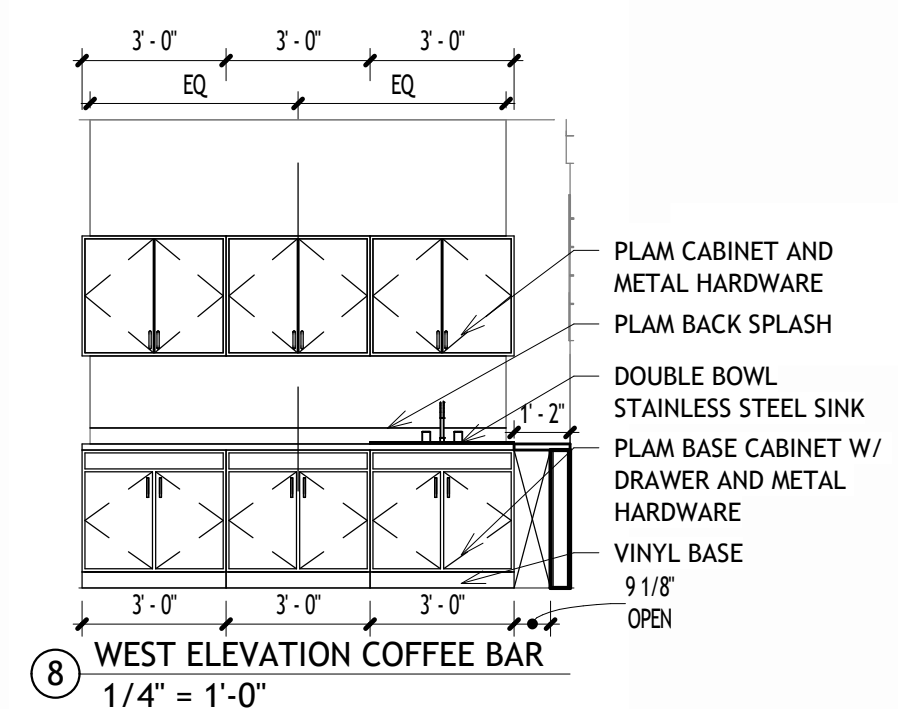
5 EAST ELEVATION KITCHEN/BREAK
1/4" = 1'-0"



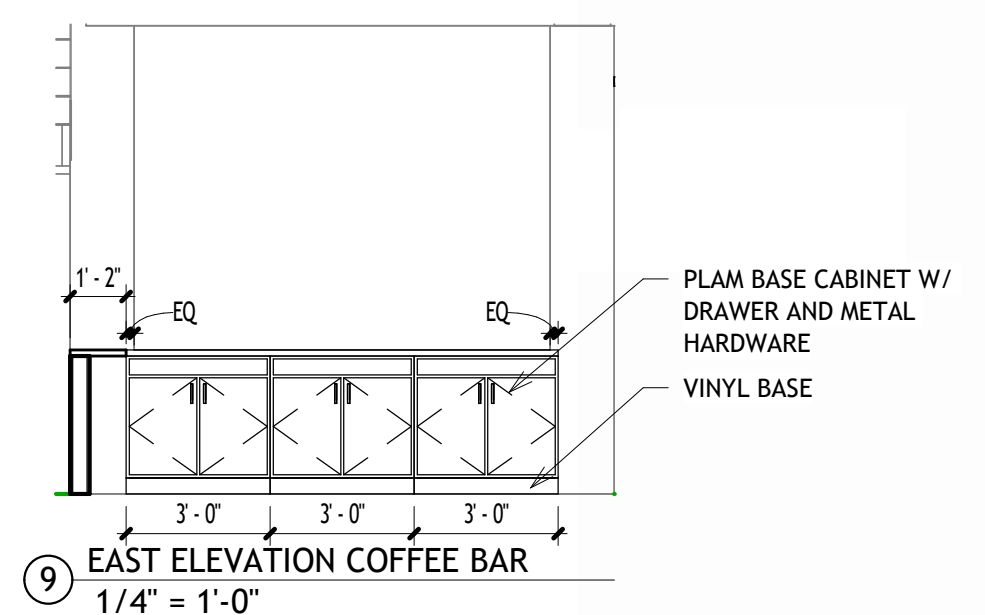
6 WEST ELEVATION KITCHEN/BREAK
1/4" = 1'-0"



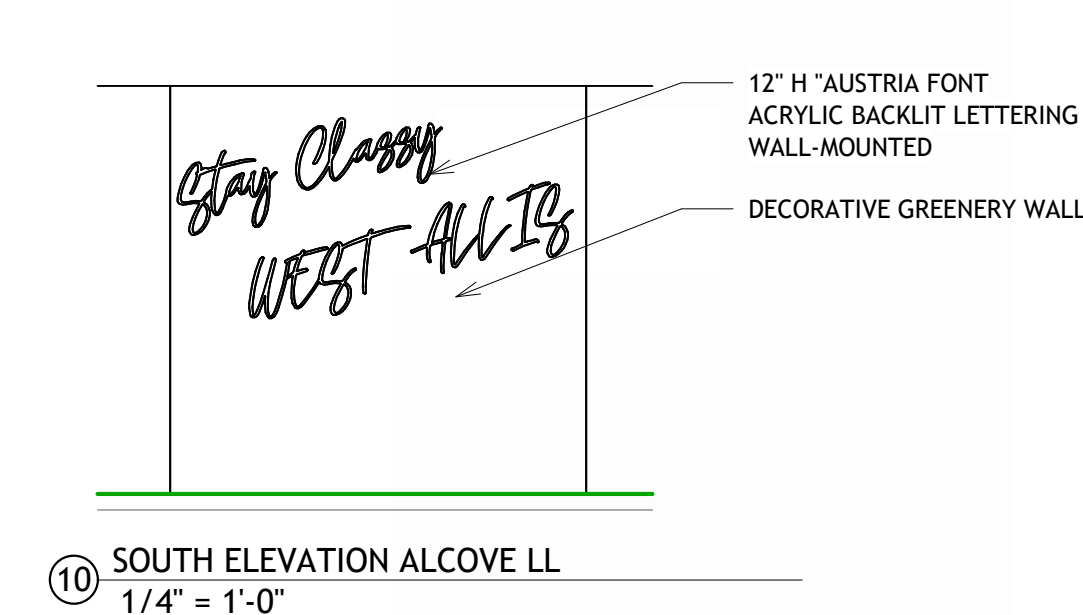
7 NORTH ELEVATION COFFEE BAR
1/4" = 1'-0"



8 WEST ELEVATION COFFEE BAR
1/4" = 1'-0"



9 EAST ELEVATION COFFEE BAR
1/4" = 1'-0"



10 SOUTH ELEVATION ALCOVE LL
1/4" = 1'-0"

PROJECT NAME
THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

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DATE
03/12/2024

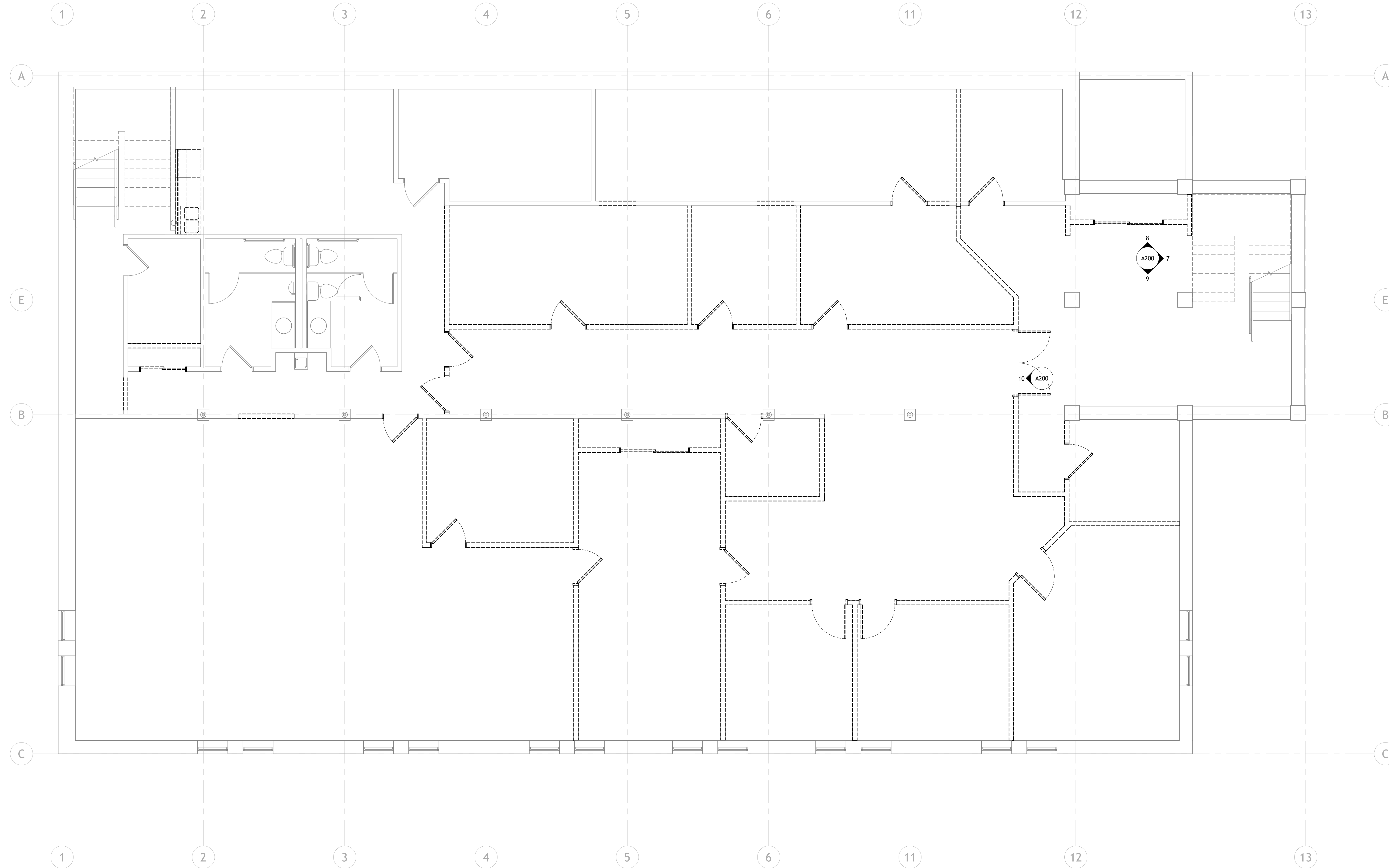
SHEET TITLE
ELEVATIONS

SHEET NUMBER

A200

SHEET NOTES - DEMOLITION

1. COORDINATE REMOVAL OF EXISTING CABINETS AND CASEWORK WITH <OWNER> SALVAGE OR REMOVE AS DIRECTED.
2. COORDINATE REMOVAL OF EXISTING DOORS, FRAMES, AND HARDWARE WITH <OWNER> SALVAGE OR REMOVE AS DIRECTED.
3. REFER TO ROOM FINISH SCHEDULE TO IDENTIFY ALL AREAS BEING ALTERED INCLUDING ROOMS WHERE ALTERATIONS ARE LIMITED TO NEW FINISHES. AT ALL ALTERED LOCATIONS, REMOVE ALL INTERIOR AND WALL MOUNTED ITEMS. REMOVE ALL FINISHES AND RESIDUAL GLUE. PREPARE SURFACES FOR NEW FINISH APPLICATION.
4. SEE MEP PLANS (IF AVAILABLE) FOR ADDITIONAL DEMOLITION ITEMS AND NOTES. DESIGN/BUILD CONTRACTOR SHALL COORDINATE AND PERFORM WORK.
5. PATCH AND REPAIR FLOOR IN PREPARATION FOR NEW FLOORING WHERE WALLS HAVE BEEN REMOVED.
6. PATCH AND REPAIR CEILING GRID SYSTEM WHERE WALLS AND PARTITIONS HAVE BEEN REMOVED.



① LOWER LEVEL DEMO PLAN
 1/4" = 1'-0"

PROJECT NAME
 THE SUITES IV

11575 W. THEO TREKKER
 WAY
 WEST ALLIS, WI

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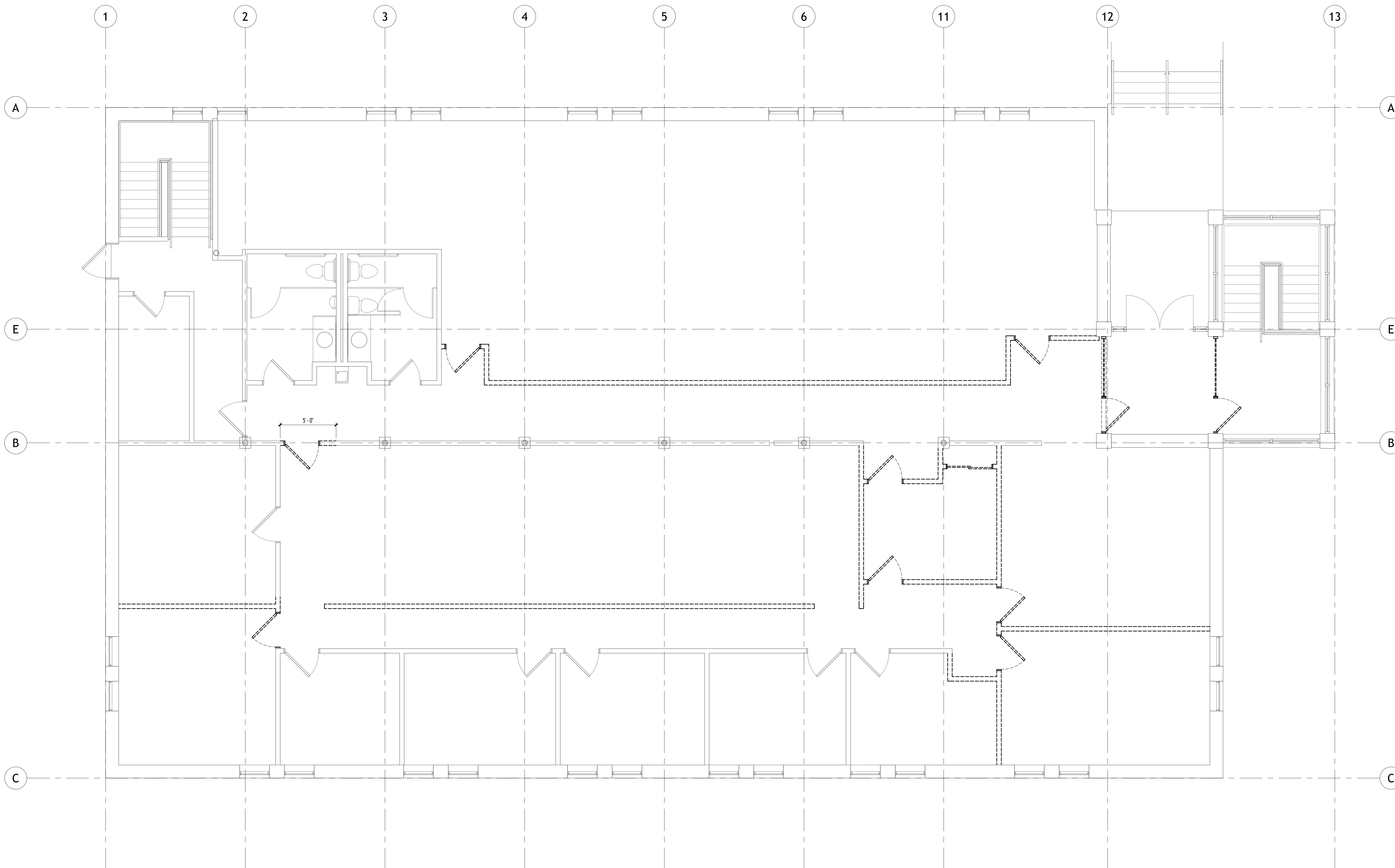
DATE
 03/12/2024

SHEET TITLE
 LL FLR DEMOLITION PLAN

SHEET NUMBER

SHEET NOTES - DEMOLITION

1. COORDINATE REMOVAL OF EXISTING CABINETS AND CASEWORK WITH <OWNER> SALVAGE OR REMOVE AS DIRECTED.
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PROJECT NAME
 THE SUITES IV

11575 W. THEO TREKKER
 WAY
 WEST ALLIS, WI

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SHEET TITLE
 1ST FLR DEMOLITION
 PLAN

SHEET NUMBER

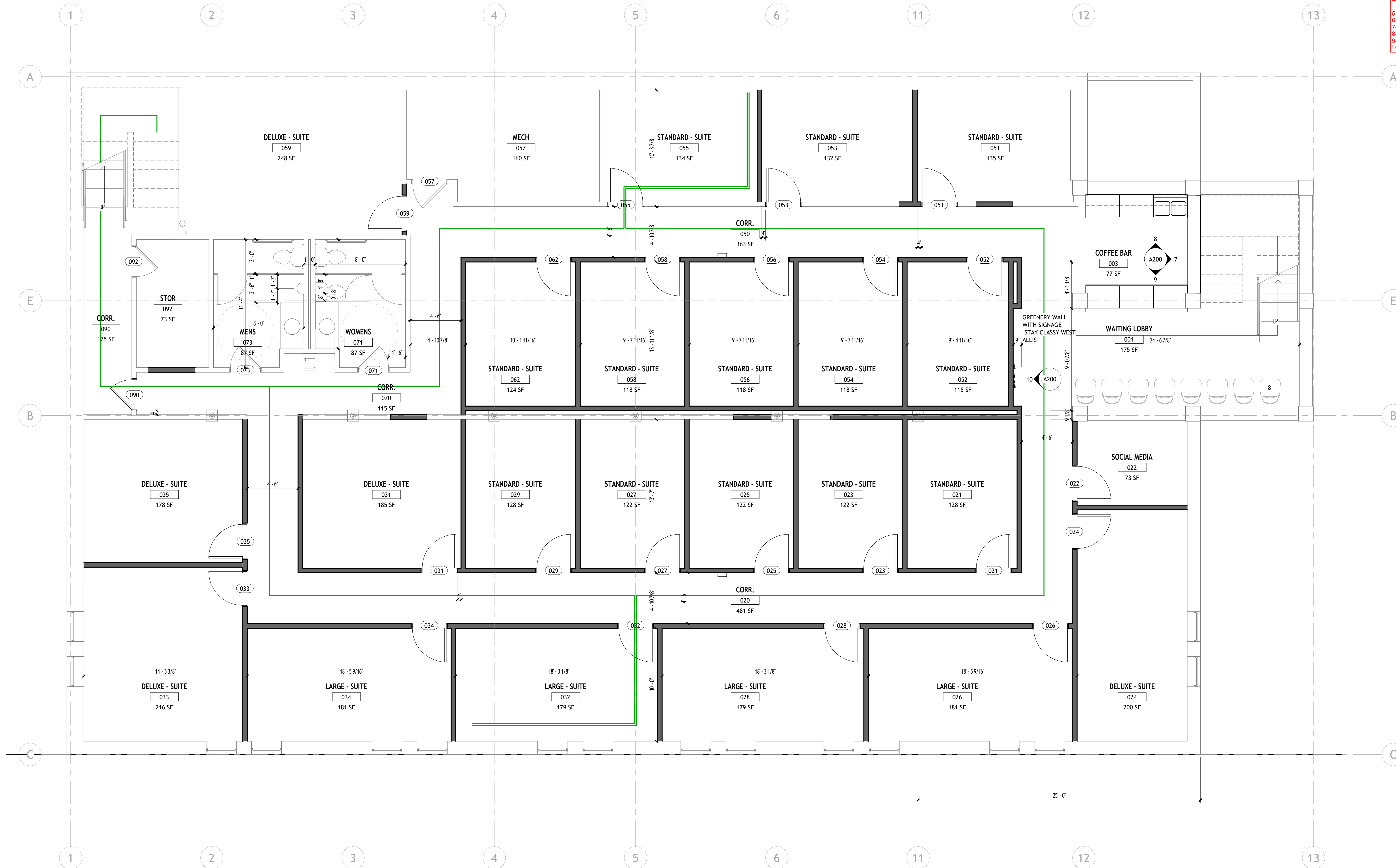
AD101
 © Tredo Group, Inc.

1ST FLOOR DEMO PLAN
 1/4" = 1'-0"

3/12/2024 8:42:51 AM A:\work\2024\THE SUITES IV\THE SUITES IV.dwg

- SHEET NOTES - FLOOR PLAN**
- BEFORE BEGINNING WORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
 - PROVIDE REQUIRED UTILITY SERVICES TO EQUIPMENT, FURNISHINGS AND APPLIANCES. COORDINATE REQUIREMENTS WITH <OWNER> <TENANT>.
 - DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
 - VERIFY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH <OWNER> <OWNER REPRESENTATIVE> <BUILDING FACILITY MANAGER>.
 - PROVIDE ALL FINISH SAMPLES TO <ARCHITECT> <OWNER> FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION INCLUDING BUT NOT LIMITED TO CARPET, WALL COVERINGS, PAINT DRAW-DOWNS, VINYL BASE, <OTHER>.
 - ALL WALLS SHALL BE WALL TYPE S3A-11 UNLESS NOTED OTHERWISE. SEE WALL TYPES <GOOD>.
 - PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
 - LOCATE ALL DOOR JAMBS 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
 - PROVIDE 1/2" FIRE RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT AT <ROOM NAME AND NUMBER>. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH <TENANT> <OWNER>.

- KEYNOTES PER SHEET**
- REMOVE WALLS AND ASSOCIATED DOOR, SALVAGE DOOR FOR RELOCATION
 - REMOVE FLOORING AND ASSOCIATED WALL BASE AS REQ'D
 - REMOVE TOILET PARTITIONS, PLUMBING FIXTURES, CASEWORK AND COUNTERTOPS. PREP FOR NEW
 - REMOVE WALL FINISHES & ANY ASSOCIATED WALL FIXTURES, PREP FOR NEW TILE FLOORS, BACKSPLASH, LIGHTING AND MIRRORS
 - REMOVE BASEBOARD HEATERS
 - REMOVE EXISTING PEWS PREP FOR NEW UPHOLSTERED PEWS
 - REMOVE DOORS, FRAMES TO REMAIN TO BE PAINTED
 - REMOVE EXISTING PEWS, TO BE REPLACED WITH MOVEABLE SEATING
 - REMOVE WALL AND FIXERS FOR ORGAN ROOM ENLARGMENT, TBD BY OWNER
 - ALTERNATE - LIMEWASH ALL INTERIOR BRICK



PROJECT NAME
THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

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SHEET TITLE
LL FLR PLAN

SHEET NUMBER

1 LOWER LEVEL WORKING
1/4" = 1'-0"

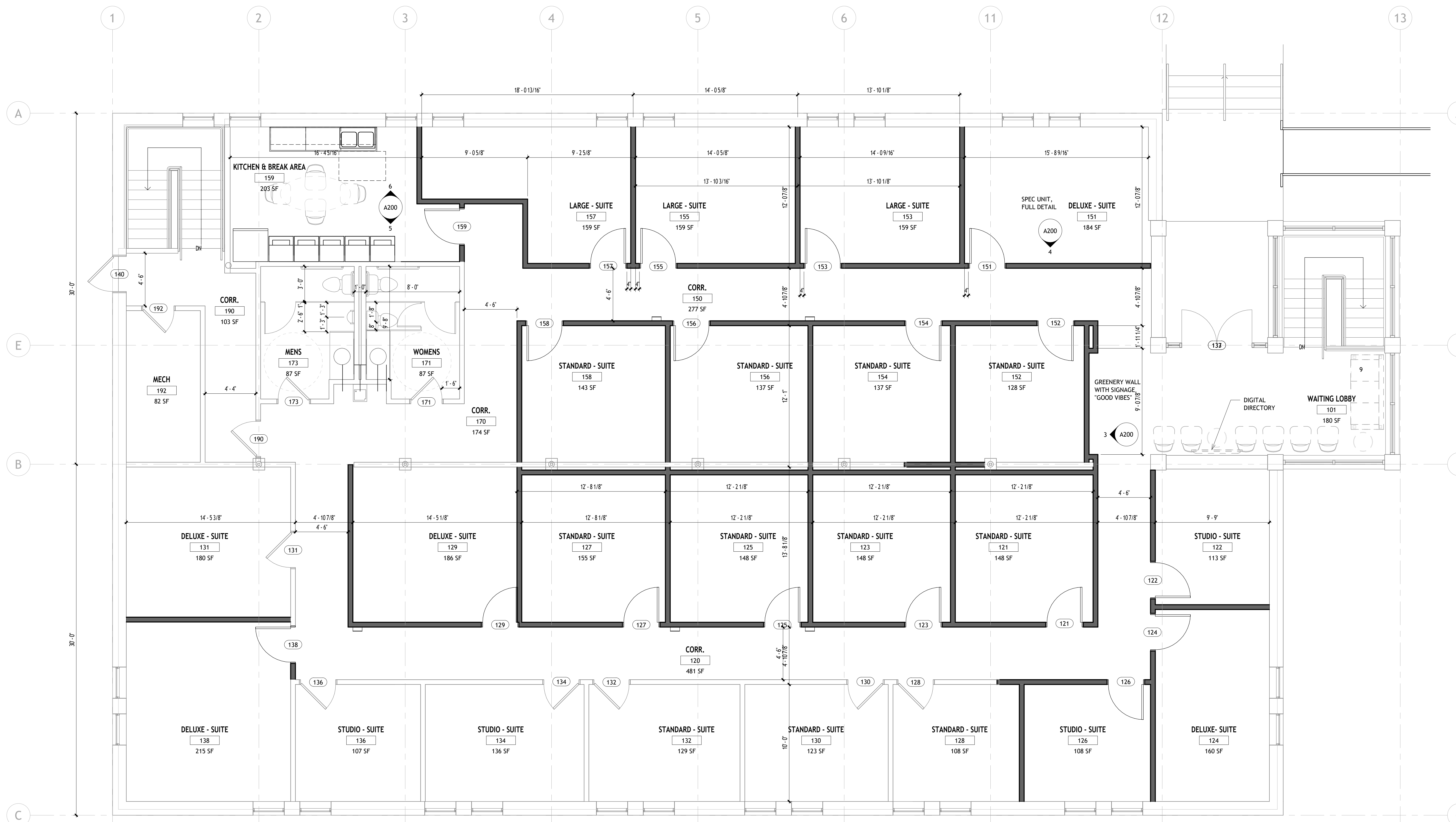
3/12/2024 8:40:03 AM A:\work\Draw\THE SUITES IV\THE SUITES IV.dwg

SHEET NOTES - FLOOR PLAN

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- REMOVE EXISTING PEWS PREP FOR NEW UPHOLSTERED PEWS
- REMOVE DOORS, FRAMES TO REMAIN TO BE PAINTED
- REMOVE EXISTING PEWS, TO BE REPLACED WITH MOVEABLE SEATING
- REMOVE WALL AND ROISERS FOR ORGAN ROOM ENLARGMENT, TBD BY OWNER
- ALTERNATE - LIMEWASH ALL INTERIOR BRICK



PROJECT NAME
THE SUITES IV

11575 W. THEO TREKKER WAY
WEST ALLIS, WI

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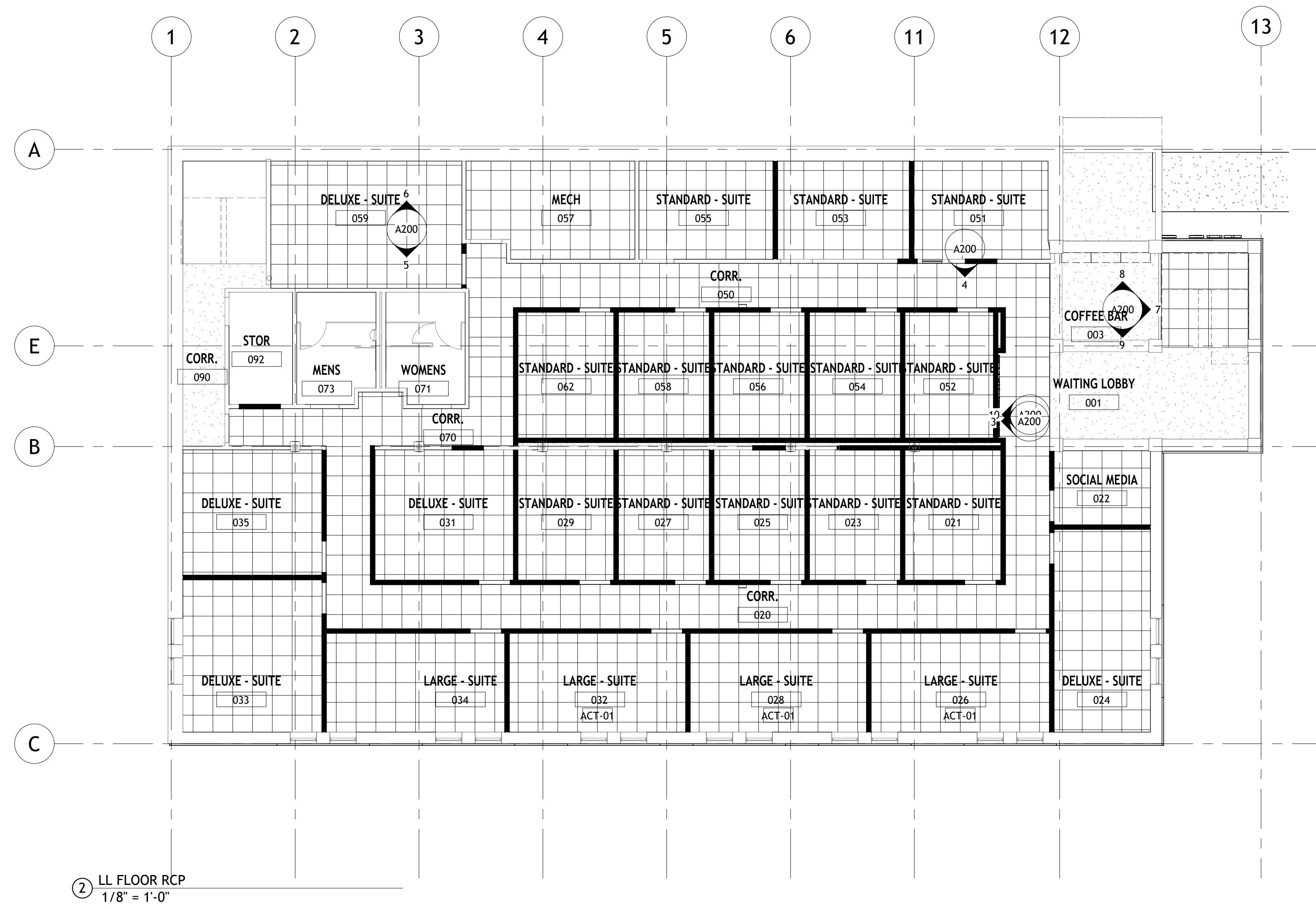
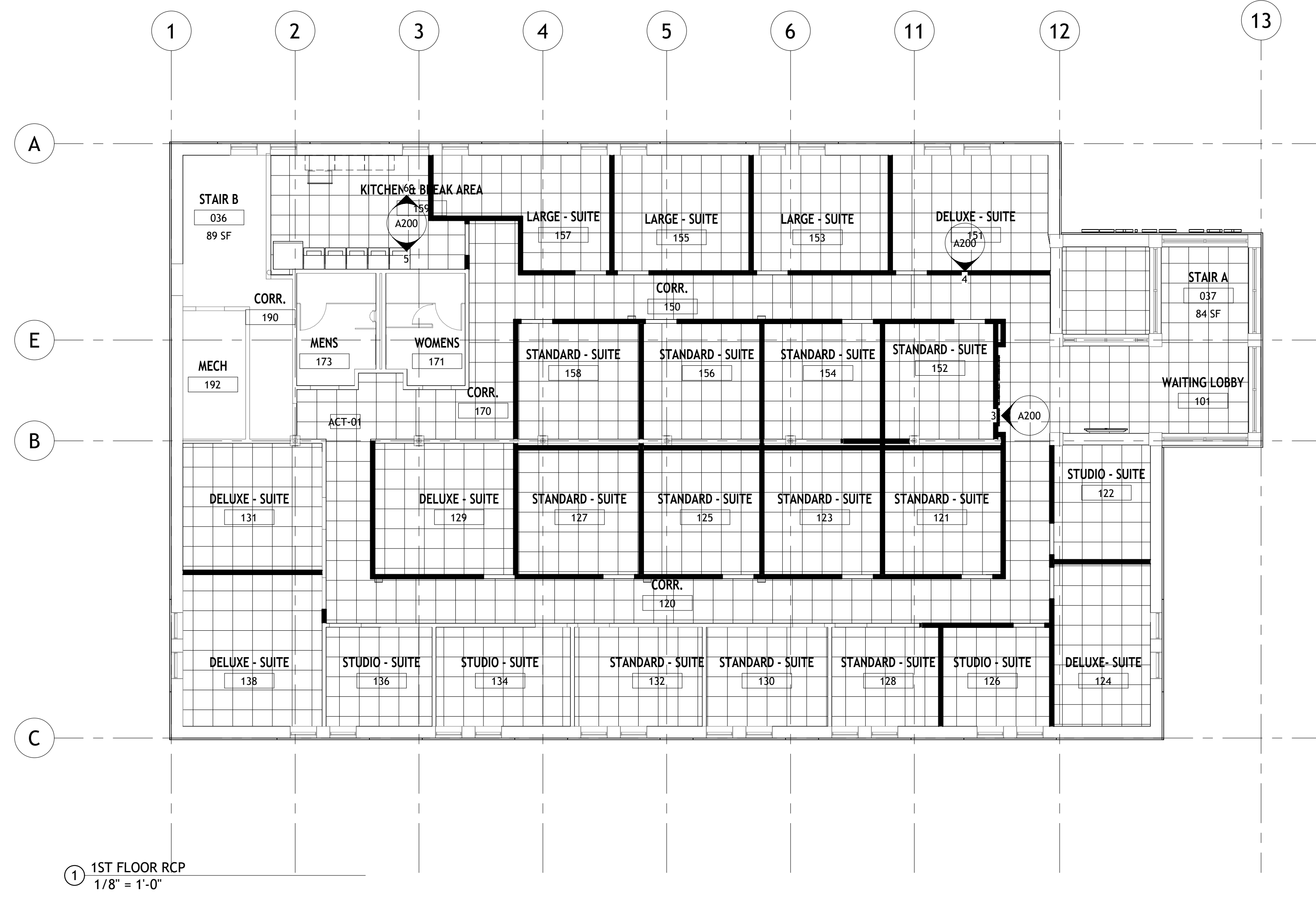
SHEET TITLE
1ST FLR PLAN

SHEET NUMBER

A101
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tredogroup
 219 NORTH MILWAUKEE STREET
 SUITE 630
 MILWAUKEE WISCONSIN 53202
 (414) 254-0498
 TREGROUP.COM



PROJECT NAME
 THE SUITES IV

11575 W. THEO TREKKER
 WAY
 WEST ALLIS, WI

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DATE
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SHEET TITLE
 LL FLR RCP

SHEET NUMBER

A120
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Door Schedule															
Mark	Door			Material	Finish	Under Cut	Frame						Fire Rating Label	Hardware Set No.	Comments
	Width	Height	Thickness				Material	Type	Finish	Head	Jamb	Sill			
158	3'-0"	7'-0"	0'-1 3/4"	WD											
156	3'-0"	7'-0"	0'-1 3/4"												
154	3'-0"	7'-0"	0'-1 3/4"												
152	3'-0"	7'-0"	0'-1 3/4"												
129	3'-0"	7'-0"	0'-1 3/4"												
126	3'-0"	7'-0"	0'-1 3/4"												
124	3'-0"	7'-0"	0'-1 3/4"												
122	3'-0"	7'-0"	0'-1 3/4"												
138	3'-0"	7'-0"	0'-1 3/4"												
159	3'-0"	7'-0"	0'-1 3/4"												
157	3'-0"	7'-0"	0'-1 3/4"												
155	3'-0"	7'-0"	0'-1 3/4"												
153	3'-0"	7'-0"	0'-1 3/4"												
151	3'-0"	7'-0"	0'-1 3/4"												
029	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
031	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
027	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
025	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
023	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
021	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
024	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
022	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
033	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
034	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
028	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
032	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
035	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
062	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
058	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
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054	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
052	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
051	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
053	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
055	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
127	3'-0"	7'-0"	0'-1 3/4"												
125	3'-0"	7'-0"	0'-1 3/4"												
123	3'-0"	7'-0"	0'-1 3/4"												
121	3'-0"	7'-0"	0'-1 3/4"												
026	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							
090	2'-8"	7'-0"	0'-1 3/4"												
059	3'-0"	7'-0"	0'-1 3/4"		STN-01		HM	HM							

Room Finish Schedule							
Room Number	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	Comments
157	LARGE - SUITE						
155	LARGE - SUITE						
151	DELUXE - SUITE						
152	STANDARD - SUITE						
154	STANDARD - SUITE						
159	KITCHEN & BREAK AREA						
106	SHARED AMENITY						
153	LARGE - SUITE						
156	STANDARD - SUITE						
158	STANDARD - SUITE						
110	SUITE						
111	SUITE						
129	DELUXE - SUITE						
127	STANDARD - SUITE						
114	SUITE						
125	STANDARD - SUITE						
123	STANDARD - SUITE						
121	STANDARD - SUITE						
134	STUDIO - SUITE						
132	STANDARD - SUITE						
128	STANDARD - SUITE						
121	SUITE						
122	SUITE						
138	DELUXE - SUITE						
131	DELUXE - SUITE						
126	STUDIO - SUITE						
122	STUDIO - SUITE						
124	DELUXE - SUITE						
028	LARGE - SUITE						
026	LARGE - SUITE						
130	SUITE						
131	SUITE						
032	LARGE - SUITE						
034	LARGE - SUITE						
033	DELUXE - SUITE						
024	DELUXE - SUITE						
022	SOCIAL MEDIA						
031	DELUXE - SUITE						
029	STANDARD - SUITE						
062	STANDARD - SUITE						
058	STANDARD - SUITE						
027	STANDARD - SUITE						
025	STANDARD - SUITE						
056	STANDARD - SUITE						
054	STANDARD - SUITE						
023	STANDARD - SUITE						
021	STANDARD - SUITE						
052	STANDARD - SUITE						
057	MECH						
055	STANDARD - SUITE						
053	STANDARD - SUITE						
051	STANDARD - SUITE						
152	SUITE						
035	DELUXE - SUITE						
059	DELUXE - SUITE						
092	STOR						
130	STANDARD - SUITE						
136	STUDIO - SUITE						
101	WAITING LOBBY						
100	VESTIBULE						
192	MECH						
173	MENS						
171	WOMENS						
003	COFFEE BAR						
073	MENS						
071	WOMENS						
170	CORR.						
120	CORR.						
150	CORR.						
001	WAITING LOBBY						
140	CORR.						
190	CORR.						
050	CORR.						
020	CORR.						
070	CORR.						
090	CORR.						
036	STAIR B						
037	STAIR A						



PROJECT NAME
THE SUITES IV

11575 W. THEO TREKKER
WAY
WEST ALLIS, WI

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DATE DESCRIPTION

SET TYPE
PROGRESS SET

PROJECT NUMBER
24008

DATE
03/12/2024

SHEET TITLE
DOOR & ROOM FINISH
SCHEDULE

SHEET NUMBER

A600
© Tredo Group, Inc.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

5. Sale of an approximate 670-sf portion of land on property located at 62 W. National Ave (Tax key Parcel: 454-0073-001).**

Overview and Zoning

Citlali and Nicolas of [Antigua Restaurant](#) at 6207 W. National Ave. have submitted an offer to purchase a small piece of city parking lot (a landscaping island) west of their restaurant. Refer to exhibit. Antigua would like to purchase the land from the city to add an outdoor patio for their customers. Their interest includes enhancing the curb appeal and dining experience... a welcome idea along W. National Ave.

Consideration of the sale of land requires the city to make the requested offer public. This means bringing the request/offer to purchase before Common Council for introduction to see if there is any interest in selling the land. If so, the Council refers the item to the Plan Commission for consideration of land use appropriateness. Plan Commissions role is to determine if the proposed sale of land, in this case to a commercial use for a commercial end use, if deemed compatible with the long-range Comprehensive Plan for the city (homework – refer to Ch 3 Land Use, recommendation 3, of the [2045 Comp Plan](#)). If you agree, recommend approval. Plan Commission’s recommendation is advisory and referred to the Common Council for a public hearing. The council will make the final decision on the disposition of land. The City is not required to sell the land.



Our City Assessor has valued the land at \$10/sf. If the Council accepts the idea of selling the land, Antigua will prepare a certified survey map, legal description of the area to be sold and combined with that of their restaurant property. Then the City would work to convey/sell the land area. Antigua would also prepare more detailed plans of the site changes needed to convert the landscaping island into a

restaurant patio (and subject to Plan Commission site/landscaping, architectural design approval at a future date).

Schedule we're following:

- 1) [March 5](#) - Council Board of Public Works (item 41) refer the matter to Plan Commission,
- 2) March 27 - Plan Commission consideration (of surplus land area),
- 3) April TBD - Council public hearing on the land sale.
- 4) Subsequent PC consideration of CSM, site & landscaping plan.

Of note on March 5th the Common Council unanimously recommended to forward Antigua's offer to purchase to the Planning Commission. Plan Commissions decision will be sent to Council for hearing in April.

Recommendation: Refer to Common Council. Recommend Common Council approval Sale of an approximate 670-sf portion of land on property located at 62** W. National Ave (Tax key Parcel: 454-0073-001), as the land sale would further redevelopment of underutilized land in accordance with the 2045 Comprehensive Plan.

If Council approves the land sale the following being submitted to Plan Commission for consideration:

1. A revised Site and Landscaping Plan being submitted to the Planning and Zoning Office. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. Certified Survey Map to consolidate properties and being recorded with the Milwaukee Co. Register of Deeds.
3. Licensed extension of premise being applied for with the City Clerks Office.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

6. Ordinance to amend zoning code to prohibit the retail sale of dogs, cats, and rabbits.

In February the Common Council approved a zoning ordinance amendment related to certain animal services. That ordinance, O-2023-0088, allowed animal boarding with certain criteria to limit noise into residential areas, defined animal training, animal shelters, animal breeding and set certain limits and/or restrictions to these uses. Since this time, Ald. Grisham and Ald. Kuehn have sponsored an update that is sought to address the milling issue with cats, dogs, and rabbits.

The Humane Society and other animal control facilities like [Milwaukee MADACC](#) advocate against animal mills (where mass breeding operations designed for compensation with little regard for animal/public health, animal control, and humane treatment). Such places commonly sell through internet sales, online classified ads, flea markets and pet stores.

Plan Commission’s role is to review the ordinance and refer their decision to the Common Council for consideration. A public hearing before the Common Council is required for passage of zoning ordinance amendments.



If passed, new businesses that sell dogs, cats, or rabbits would be prohibited. The zoning definition would exempt animal shelters.

<u>Animal Sales</u>	<u>The retail sale of a dog, cat, or rabbit, except any sale by a person who is also using the same lot as an animal shelter</u>
Animal Shelter	The use of a lot by a humane society, animal welfare society, animal rescue group, or other nonprofit group to shelter, feed, and care for animals in a manner that is not an animal boarding service

Retail	RA -1	RA -2	RA -3	RB	R C	C- 1	C- 2	C- 3	C- 4	I-1	I-2	P	SF
<u>Animal Sales</u>													

Existing businesses in operation would be considered legal-non-conforming and could continue.

Recommendation: Common Council approval of the Ordinance to amend zoning code to prohibit the retail sale of dogs, cats, and rabbits.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
6:00 PM

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7. **Certified Survey Map to combine the existing parcels at 55** W. Lincoln Ave. and 5520 W. Lincoln Ave. into 1 parcel. (Tax Key Nos. 474-0490-000 and 474-0491-000)**

Overview and Zoning

The property owner at [55** W. Lincoln Ave. and 5520 W. Lincoln Ave.](#) is proposing to consolidate the two parcels into one parcel. The property owner intends to combine this parcels to anticipate future development. The applicant has not provided details as to what type of development may occur.

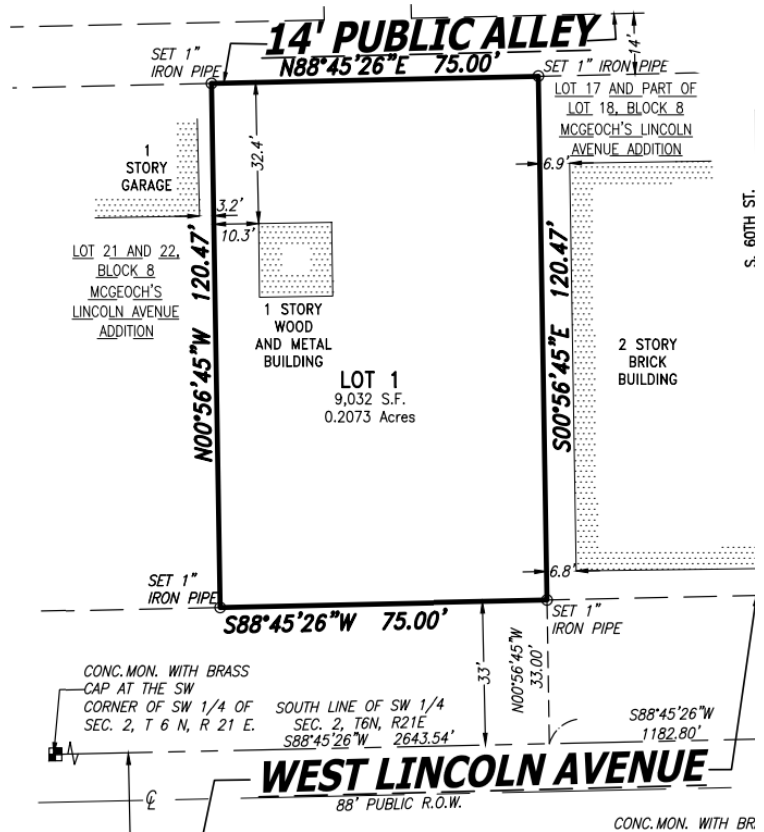
Both properties are zoned C-2 and may support a variety of commercial uses. Future development of the site may require Plan Commission approvals. Staff will work with the property owner on any future development of the property.



CSM

The proposed CSM would combine the 2 existing parcels into 1 lot. There are no maximum or minimum lot width requirements in the C-2 district. The proposed survey complies with zoning requirements. Future development would comply with the zoning district and is subject to [Design Review](#).

Recommendation: Approve the Certified Survey Map to combine the existing parcels at 55** W. Lincoln Ave. and 5520 W. Lincoln Ave. into 1 parcel. (Tax Key Nos Tax Key Nos. 474-0490-000 and 474-0491-000) subject to Common Council approval and a revised Certified Survey Map being submitted to the Planning office for minor technical corrections





**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
6:00 PM**

8. Sign Appeal for Reunion, an existing Restaurant retail use at 6610 W. Greenfield Ave. (Tax Key No. 439-0001-032)

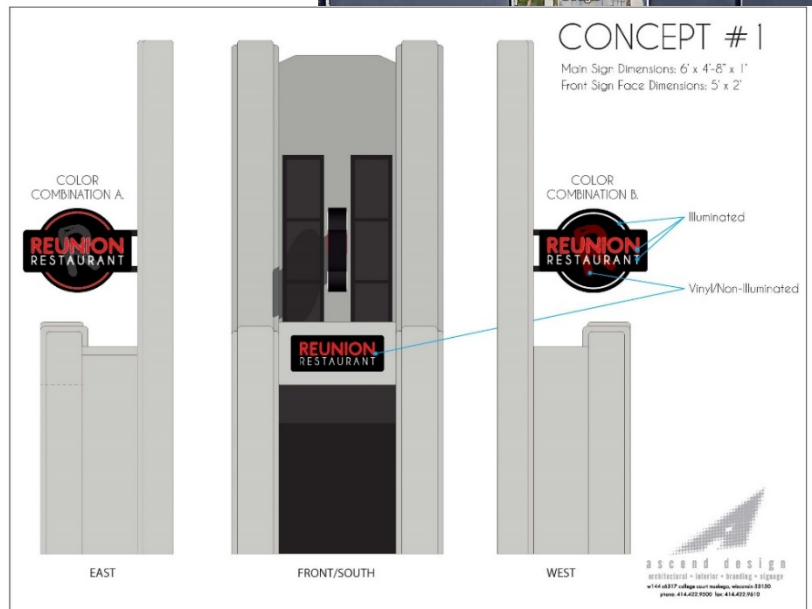
Overview

The Chris and Abby Paul, owners of [Reunion Restaurant](#) are seeking additional signage on the property. Situated at 6610 W. Greenfield Ave. Reunion is in the 6-Points Neighborhood on the cities fashionable east side. Historians will recognize it as the old Allis-Chalmers employment building. After an extensive renovation, the restaurant offers food and arcade lovers a full day or night of fun. The restaurant offers a spacious, yet cozy dining area on the first floor and a fully accessible arcade on the second floor. There's a nod to West Allis history on every wall – the family business honors the past while looking ahead to the city's future.

A sign plan has been provided by the applicant. Shown on the proposed sign plan is a wall sign and a projecting sign.

The projecting sign is 6' x 4'-8" (28 sq. ft). A maximum of 32 sq. ft. is permitted by the Sign Code. However, only a maximum projection of 4 ft is permitted. The sign projects greater than 4 ft to provide better clarity from a canopy addition on the first floor of the building. The wall sign is 5' x 2' (10 sq. ft.) and conforms with sign square footage permitted by the Sign Code. There is an existing wall sign that was approved by Plan Commission in 2021. The building is only permitted one wall sign which is the second reason for the appeal.

The request for additional signage comes due to the lack of a freestanding sign on the site along with the challenges presented by the canopy addition. Additional signage will offer greater visibility for the business in the same manner a freestanding sign would.



Recommendation: Recommend approval of the Signage Plan for Reunion, an existing Restaurant use, at 7332 W. Becher St., (Tax Key No. 439-0001-032).



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

9. Site, Landscaping, and Architectural Design Review for proposed improvements within City Pedestrian Plaza Right-of-Way Downtown West Allis in the 1300 block of S. 72 St.

Background

The WI State Statute Sec. 66.0905, grants municipalities the mechanism to limit vehicular traffic/designate by creating a pedestrian mall by ordinance after review by Plan Commission and a public hearing with Class 1 notice.



In 2022 the Common Council approved an ordinance to create a pedestrian mall on an approximate 60-ft x 120-ft portion of S. 72 St. (just north of W. Greenfield Ave.). The initial concept was also approved by Plan Commission in 2022 for discussion and approved by Plan Commission on December 7, 2022.

The objective of a pedestrian mall is to create a public space/amenity that is closed to motorists. The pedestrian mall concept is supportive of a thriving Main Street Community (that is Downtown West Allis).



2022 Rendering of a programmed pedestrian plaza – 1300 block S. 72 St. (north of W. Greenfield

Pedestrian Malls are not a street vacation/discontinuance. Unlike a street discontinuance/vacation process, a pedestrian mall closes a portion of the street, but the area remains public right-of-way (RoW) and does not become private property.

The Deco, an event space at 7140 W. GREENFIELD



Pedestrian plaza – 1300 block S. 72 St. (north of W. Greenfield Ave.)

Located at 7140 W. Greenfield Ave. is a newer event venue that was approved via conditional use permit in May of 2022. The property owner and proprietor is Walter Hotlz, who has invested over \$1MM in bringing the former department store building (Wedding Center and JC Penny) back to life as an event venue. The business opened its doors in 2023. The Deco property is located on the east side of S. 72 St. (abutting the subject pedestrian plaza).



2024-25, Update - The Deco is seeking a continuation of its privilege agreement within the Ped Plaza.

While some exclusive use is planned, the Deco will partner with the BID to share and help further activate the space. The public will not be excluded from the space during non-Deco events. The Deco would also be willing to host/partner community events. For instance, in 2023, the Deco hosted Wednesday Night Live events that attracted people to Downtown West Allis for live music events. The Deco has indicated they would pay for improvements and provide seating for the plaza.

- Walter Holtz, the owner of the property at 7140 W. Greenfield Ave., has submitted an updated vision and supporting documentation indicating he would like to use a portion of S. 72 St. abutting his property again (between W. Greenfield Ave. and the alley).
- The proposed concepts are more permanent in nature than the initial pilot year. The objective is to create a pleasant environment that incorporates movable structures, considering the various easements and utilities in the roadway. Mr. Holtz is aware that this carries some level of risk regarding the City's need to access the site, and a detailed privilege agreement, like last year's, but for a longer duration, would be necessary.
- The separate Privilege Agreement will be considered by the Common Council (by and between the city and the Deco/Walter Holtz) to specify and regulate terms on proposed improvements, special events, maintenance, insurance, termination clause.
- The terms under which Deco may serve alcohol (an extension of premise) will be handled by Council, but outside of the privilege agreement.
- Plan Commissions role is advisory, and should consider appropriateness within the goals of the 2045 Comprehensive Plan.

Public informational meeting

On November 10, 2022 the city hosted an informal gathering to share the pedestrian mall concept (closing a portion of S. 72 St. to motorists) in Downtown West Allis. About twenty (20) people attended the meeting (a few residents, some business owners, elected officials and staff in attendance). The informational meeting was shared with the Business Improvement District, and advertised via social media blasts and door hangers to neighbors along S. 72 St. north of W. Greenfield Ave.



Most of the feedback received was positive and supports a change to something less auto centric for Downtown West Allis.



2023- Wednesday Night Live event... A summer night in West Allis.

There have been some concerns with respect to closing the street to motorists. Specifically, concerns of reducing street parking (about 10 spaces), loss of S. 72 St. access for truck deliveries supportive of commercial business on the north side of W. Greenfield Ave. There have also been questions on programming space.

BID and Staff Comments

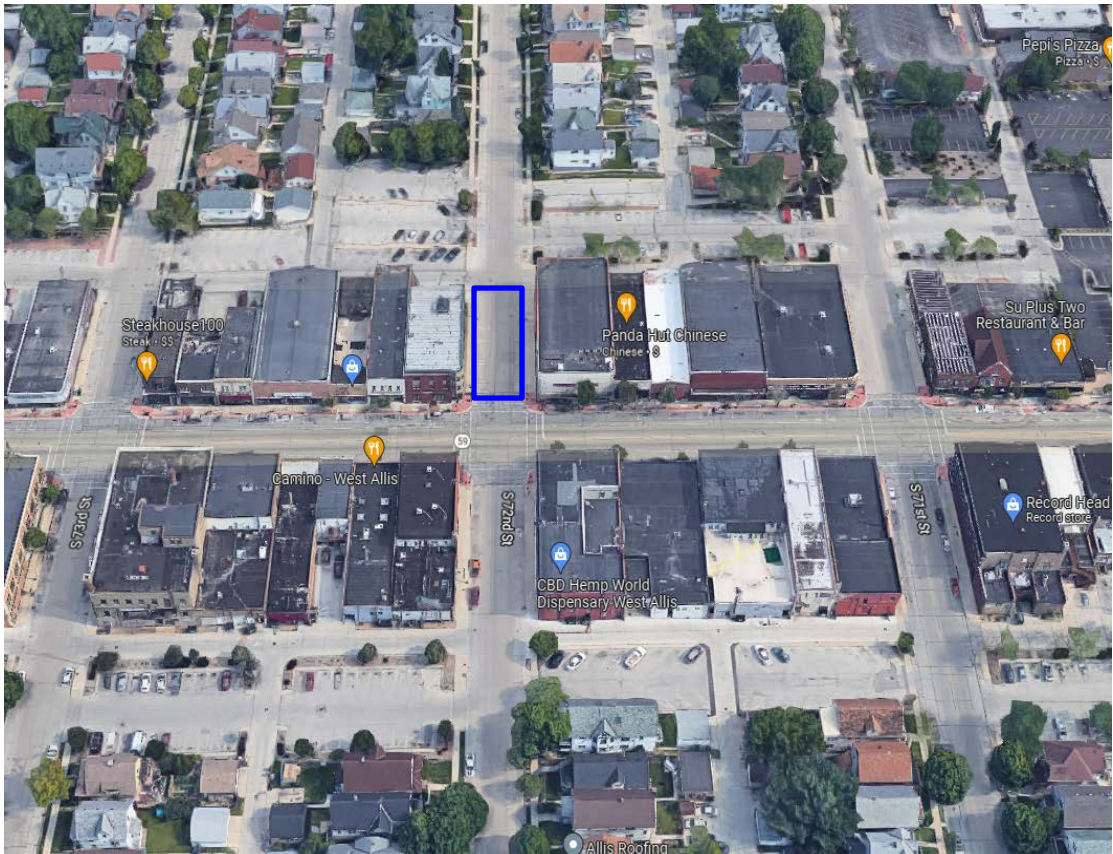
BID - The Business Improvement District has shared a communication with the Common Council and indicates that it would prefer the pedestrian plaza not be created in 2023, but instead wait until 2024. The BID's communication notes, *"This allows the BID, the city and Mr. Holtz to get informed feedback from our businesses and residents to determine the impact of having 72nd Street closed so we can better determine the feasibility of closing it on a permanent basis. If everything is positive or if things need to be adjusted, they can be taken into consideration before moving forward."*

Police and Fire Departments - The West Allis Police Department and Fire Department are supportive of the street closure with the understanding that barriers will be placed to prevent an errant motorist from turning into the area.

Engineering and Public Works - Engineering and PW have weighed in and are supportive of the project subject to Walter Holtz understanding that in case of water main break or gas leak or something along those lines that the City does not take liability to damaging any Holz/private the improvements that are in the right of way.

Furthermore, accessibility would be the key, to address any emergencies and general maintenance needs within that area. Existing infrastructure includes storm sewer on the north end, two water lines within the area on the east side, along with a hydrant and light pole that may require maintenance. West side is a traffic control cabinet. A procedure for scheduled maintenance issues within the plaza area would be developed.

Planning and Economic Development - The City's Planning and Economic Development teams support this effort. Adding public space in our downtown will encourage people to spend more time in the downtown, improves the pedestrian experience and traffic flow along Greenfield, provides opportunities for the BID and local businesses, and will help further West Allis as a destination. The Pedestrian Mall also is in alignment with the [2045 Comprehensive Plan](#), as a pedestrian plaza supports the goal to create vibrant spaces for community life. West Allis has few public spaces that center community life. To further solidify itself as a destination and foster a stronger sense of community, West Allis should create welcoming, unique, shared places for people.



- 385 municipal parking spaces
- 161 street parking spaces

Recommendation: Referral to Common Council Board of Public Works for consideration of a privilege agreement and Site, Landscaping, and Architectural plans for proposed improvements within City Pedestrian Plaza Right-of-Way Downtown West Allis in the 1300 block of S. 72 St.

Plan Commission acknowledges that a pedestrian plaza supports the goal of the 2045 Comprehensive Plan to create vibrant spaces for community life. West Allis has few public spaces that center community life. To further solidify itself as a destination and foster a stronger sense of community, West Allis should create welcoming, unique, shared places for people.

Big Ideas

Through public engagement, hundreds of community members shared their thoughts on the most important issues and opportunities in West Allis.

5 big ideas emerged:

Grow West Allis

West Allis should strive to attract new residents - particularly young families and professionals. West Allis still has the infrastructure to support a larger population; welcoming more people to call West Allis home means more support for local businesses, more connections for residents, and more life in our community.

Safer streets for all users, especially people walking and biking

West Allis' streets were historically designed to prioritize motor vehicles and speed above all else. People should be able to move safely and comfortably throughout the City's streets, no matter the method they use to get around. Streets should be redesigned as Complete Streets that design for safety, protect our most vulnerable road users, and encourage sustainable and healthy ways to get around.

New, quality housing that is affordable and offers a variety of choice

West Allis' housing stock is aging and if neglected/not modernized, is a barrier towards growth. Additionally, there is more demand for housing than existing supply. New housing should be built that gives people of all income levels a desirable place to live.

Invest in parks and green space

West Allis' parks are beloved but need repairs, updates, and ongoing maintenance to thrive. Additionally, the built-out city has scarce land for green space. Better integrating parks and nature into the city's fabric will improve quality of life and make West Allis a more desirable place to live.

Vibrant spaces for community life

West Allis has few public spaces that center community life. To further solidify itself as a destination and foster a stronger sense of community, West Allis should create welcoming, unique, shared places for people.



Recommendation 12: Transform streets into more desirable places by capitalizing on their existing strengths and making them places people want to be

A: Prioritize designing streets as places for people, rather than places solely used for transportation. Incorporate gathering spaces, sidewalks, wider sidewalks, flexible curbside zones, and amenities such as benches into the design of streets.

B: Identify excess segments of right-of-way, particularly at complex intersections, and convert into public plazas.

C: Implement parking meter program in select commercial corridors to improve efficiency of parking assets and use revenue generated to pay for streetscaping enhancements.

D: Incorporate nature into the design of the public right-of-way by including trees, planting beds, and green infrastructure in streetscapes.

E: Update parklet and pedlet program for local businesses and advocate for WisDOT to allow these amenities in curbside zones along state highways.

F: Support efforts to temporarily change configurations or close streets temporarily to test different uses of public right-of-way.

PROJECT:

DECO EXTERIOR PLAZA

7140 W. GREENFIELD WEST ALLIS, WI
ISSUED FOR PRICING/ PERMIT



UTTECH DESIGN, LLC
MADISON / MILWAUKEE, WISCONSIN
T: 414.255.4600

PROJECT
DECO EXTERIOR
PLAZA



GENERAL CONTRACTOR:
BY OWNER
MILWAUKEE, WISCONSIN

OWNER

Wally Holtz
7140 W. Greenfield
West Allis, Wisconsin

REVISIONS

INFORMATION

PROJECT DESIGNER: UTTECH DESIGN LLC
PROJECT MANAGER: MJU
PROJECT NUMBER: 23_1001
ISSUED FOR: PERMIT AND CONSTRUCTION
DATE: 01.12.24

SHEET
TITLE SHEET

A0.0

PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
WEST ALLIS, WISCONSIN

OWNER

WALLY HOLTZ

REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

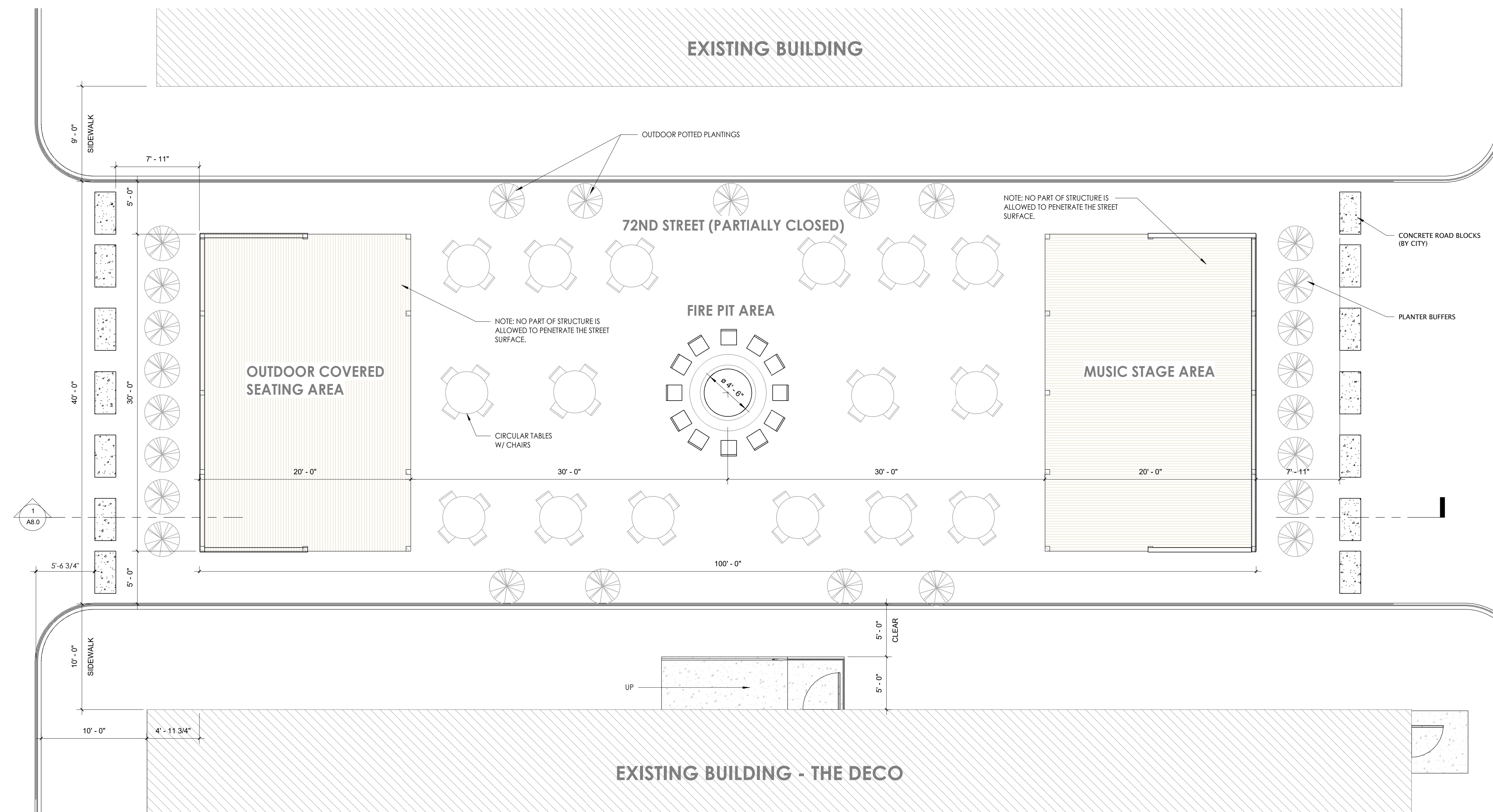
PROJECT DESIGNER: UTTECH DESIGN LLC
PROJECT MANAGER: MJU
PROJECT NUMBER: 23_1001
ISSUED FOR: PERMIT AND CONSTRUCTION
DATE: 01.12.24

SHEET

SITE PLAN - EXTERIOR SPACE

A3.0

W. GREENFIELD AVE



1 SITE PLAN AND ELEVATION
3/16" = 1'-0"



PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
WEST ALLIS, WISCONSIN

OWNER

WALLY HOLTZ

REVISIONS

NO.	DESCRIPTION	DATE

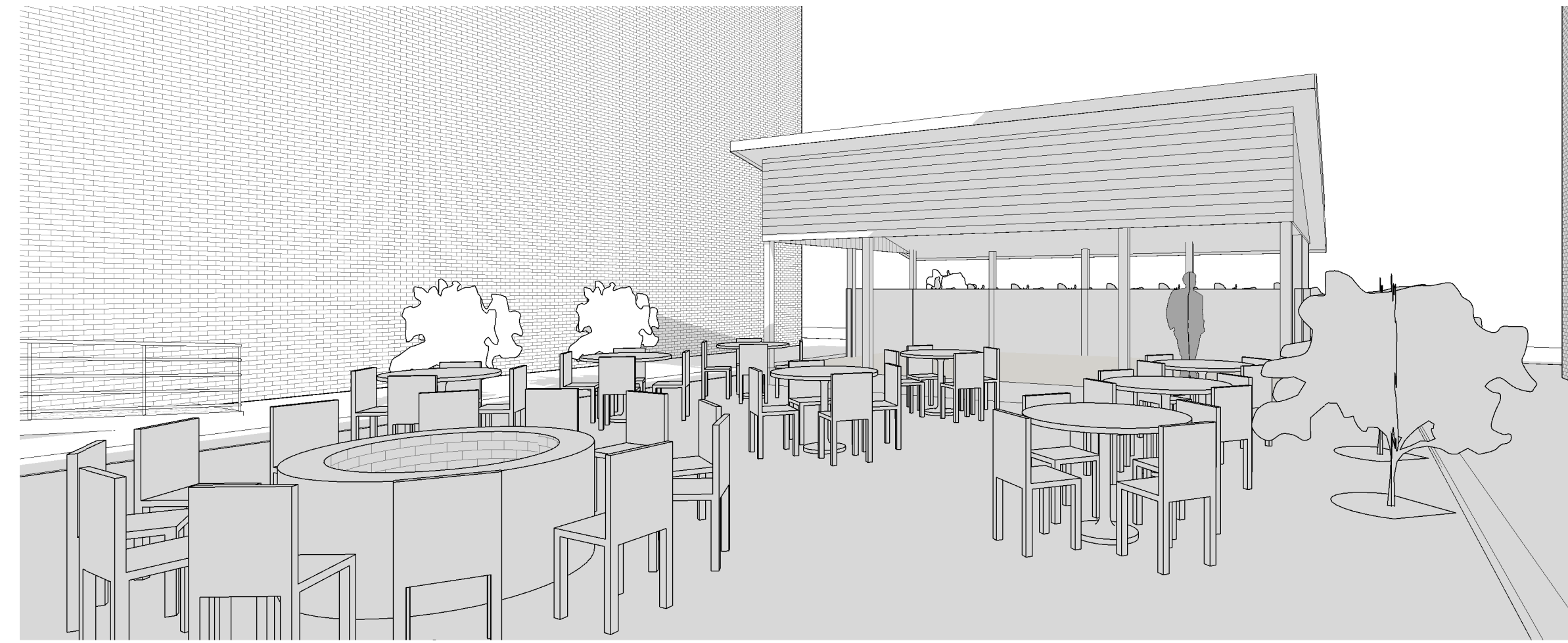
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PROJECT DESIGNER: UTTECH DESIGN LLC
PROJECT MANAGER: MJU
PROJECT NUMBER: 23_1001
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SHEET

BUILDING SECTIONS

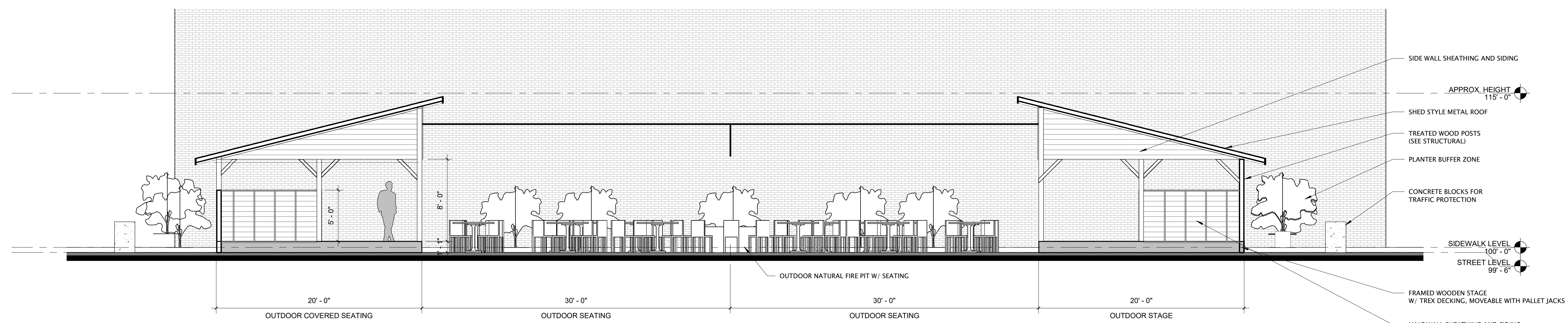
A8.0



3 OUTDOOR BAR 3D



2 E-W SECTION
1/4" = 1'-0"



1 N-S SECTION
3/16" = 1'-0"

GENERAL
1. ALL MATERIALS, CONSTRUCTION, PLANS AND DETAILS SHALL CONFORM WITH THE APPLICABLE CODES AND STANDARDS AS SHOWN IN THESE DRAWINGS AS WELL AS THE PROJECT SPECIFICATIONS, FIRE UNDERWRITER RULES AND REGULATIONS AND ASTM STANDARDS RELATED TO EACH ELEMENT.
2. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS (NOT LIMITED TO CIVIL, ARCHITECTURAL, PLUMBING, ELECTRICAL, STRUCTURAL, AND MECHANICAL, ETC.) IN ORDER TO PROVIDE ALL CONSTRUCTION AND MATERIALS FOR THE PROJECT.
3. THE CONTRACTOR SHALL REFER TO ALL DRAWINGS OF THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL SPECIFIED ITEMS SUCH AS MEMBERS, ELEVATIONS, BRICK EDGES, DIMENSIONS, SLEEVES, PENETRATIONS, DEPRESSIONS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS THAT MAY BE REQUIRED FOR COMPLETION OF THE PROJECT.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
5. DETAILS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE DUPLICATED IN SIMILAR PORTIONS OF THE BUILDING UNLESS NOTED OTHERWISE.
6. DRAWINGS REPRESENT THE FINISHED STRUCTURAL SYSTEM AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, LAGGING, SHORING, BRACING, FORM WORK, ETC. AS REQUIRED FOR THE PROTECTION AND SAFETY OF LIFE AND PROPERTY DURING CONSTRUCTION. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER WILL NOT INVOLVE REVIEW OF THESE ITEMS.
7. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, JURISDICTION OR THESE PLANS SHALL BE PROVIDED BY AN INDEPENDENT INSPECTION AGENCY OR THE BUILDING DEPARTMENT. SITE VISITS BY THE ARCHITECT OR STRUCTURAL ENGINEER DO NOT CONSTITUTE AN INSPECTION.
8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS CONCERNING THE HEALTH AND SAFETY OF WORKERS AND THE PUBLIC IN AND AROUND THE CONSTRUCTION SITE.
9. CONSTRUCTION MATERIALS SHALL BE UNIFORMLY LAID OUT SUCH THAT NOTED STRUCTURAL DESIGN LIVE LOAD PER SQUARE FOOT IS NOT EXCEEDED.
10. PLANS ARE NOT TO BE SCALED.
11. NOTES ON SPECIFIC PLANS AND DETAILS AS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
12. IN NO CASE SHALL STRUCTURAL ALTERATIONS, MODIFICATIONS OR WORK AFFECTING STRUCTURAL MEMBERS BE MADE WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATED TO ELEVATOR/ESCALATOR/EQUIPMENT PITS AND SHAFTS WITH SELECTED MANUFACTURER.
14. CONTRACTOR SHALL CONFIRM ELEVATOR/ESCALATOR/EQUIPMENT SUPPORT BEAM/GUIDE RAIL ELEVATIONS AND LOCATIONS WITH THE APPROVED ELEVATOR/ESCALATOR/EQUIPMENT SHOP DRAWINGS.
15. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATING REQUIREMENTS.
16. UNLESS NOTED OTHERWISE, CENTERLINE OF FRAMING ELEMENTS COINCIDE WITH COLUMN CENTERLINES. FRAMING BETWEEN MEMBERS SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.
17. IF ANY ERRORS OR OMISSIONS APPEAR IN THESE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN WRITING PRIOR TO PROCEEDING WITH WORK.
18. NO PROVISIONS HAVE BEEN MADE FOR FUTURE EXPANSION.

SHOP DRAWINGS
1. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY PROJECT SPECIFICATIONS.
2. THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT. ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE NOTED UPON CONTRACTOR'S REVIEW.
3. ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED ITEMS THAT ARE NOT CLOUDED OR NOTED BY SUBMITTING PARTIES, SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW UNLESS NOTED ACCORDINGLY.
4. THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP DRAWING REVIEW.
5. THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL OR ARCHITECT SHALL NOT BE CONSIDERED CHANGES TO THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS ARE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.
7. REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR THE CORRECTNESS SHALL REST WITH THE CONTRACTOR.

WOOD FRAMING
1. DESIGN, FABRICATION AND CONSTRUCTION SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" BY THE AMERICAN WOOD COUNCIL.
2. ALL LUMBER SHALL BE PROPERLY IDENTIFIED WITH A GRADE MARK OF A LUMBER INSPECTION AGENCY COMPLYING WITH DCC PS20 "AMERICAN SOFTWOOD LUMBER STANDARD."
3. ALL SHEATHING SHALL CONFORM TO VOLUNTARY PRODUCT STANDARD PS 1 INITIATED BY APA - THE ENGINEERED WOOD ASSOCIATION AND DEVELOPED UNDER THE "PROCEDURES FOR THE DEVELOPMENT OF VOLUNTARY PRODUCT STANDARDS" OF THE US DEPARTMENT OF COMMERCE. SHEATHING SHALL BE APA RATED AND BEAR THE APA MARK OF QUALITY AS WELL AS GLUE TYPE.
4. ARCHITECT AND CONTRACTOR SHALL DETAIL AND CONSTRUCT BUILDING FINISHES TO ACCOMMODATE AN EXPECTED BUILDING SHRINKAGE OF UP TO 3/8" PER FLOOR OF WOOD FRAMED CONSTRUCTION. PROPER CARE SHALL BE TAKE TO PROTECT STORED AND CONSTRUCTED LUMBER FROM THE ELEMENTS. IN NO CASE SHALL LUMBER BE ALLOWED TO REST IN STANDING WATER.
5. ROOF AND FLOOR SHEATHING SHALL BE LAID WITH THE LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS. ALL JOINTS SHALL BE STAGGERED 4'-0" UNLESS NOTED OTHERWISE. SHEATHING (WALL, ROOF AND FLOOR) SHALL BE ATTACHED TO FRAMING MEMBERS WITH 10d NAILS SPACED AT 6" o/c AT PANEL EDGES AND 12" o/c IN THE FIELD.
6. WOOD SHEATHED SHEAR WALLS REQUIRE PANEL EDGES TO BE BLOCKED FOR ATTACHMENT OF EDGE NAILING.
7. SHEATHING PANEL EDGES SHALL BEAR ON FRAMING MEMBERS. FASTENERS SHALL BE PLACED NO CLOSER THAN 3/8" TO THE PANEL EDGE.
8. SHEATHING SUBJECTED TO EXTERIOR ELEMENTS OR OTHERWISE EXPOSED TO PERMANENT MOISTURE CONDITIONS SHALL BE PRESERVATIVE-TREATED.
9. WOOD MEMBERS DIRECTLY EXPOSED TO MOISTURE OR BEARING ON CONCRETE OR MASONRY THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE PRESERVATIVE-TREATED.
10. LUMBER, TIMBER, PLYWOOD, PILES AND POLES SUPPORTING PERMANENT STRUCTURES REQUIRED TO BE PRESERVATIVE-TREATED SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE AMERICAN WOOD-PRESERVERS ASSOCIATION (AWPA) STANDARD U1 AND M4, FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE.
11. MAXIMUM MOISTURE CONTENT IN WOOD SHALL BE 19%.
12. ATTACHMENTS NOT SPECIFICALLY DETAILED SHALL CONFORM TO THE FASTENING SCHEDULE LISTED IN IBC CHAPTER 23.
13. UNLESS NOTED OTHERWISE, WOOD MEMBERS SHALL NOT BE EMBEDDED IN CONCRETE.
14. WOOD 2x FRAMING MEMBERS SHALL HAVE 1x3 X-BRIDGING OR 2x BLOCKING MEMBERS AT 8'-0" o/c MAXIMUM.
15. BOLTS AND LAGS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. HARDENED STEEL WASHERS SHALL BE USED BETWEEN THE BOLT OR LAG HEAD AND THE WOOD.
16. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
17. CONNECTIONS IN CONTACT WITH PRESERVATIVE-TREATED AND FIRE-RETARDANT WOOD ARE REQUIRED TO BE HOT-DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE.
18. TEMPORARY BRACING SHALL BE PROVIDED AND REMAIN IN PLACE UNTIL THE STRUCTURE IS COMPLETELY STABILIZED WITH SHEATHING ON AT LEAST ONE SIDE OF THE WALL. TO RESIST BUCKLING OF LOAD BEARING STUDS, CONTRACTOR SHALL AT A MINIMUM USE A CONTINUOUS 2x MEMBER ATTACHED TO THE STUD WALLS AT MID HEIGHT. TEMPORARY X-BRACING TO RESIST LATERAL AND SEISMIC LOADS SHALL BE USED. TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.

DESIGN INFORMATION		
BUILDING CODE		
CODE		
INTERNATIONAL BUILDING CODE 2015		
GRAVITY SYSTEM		
ELEMENT	DEAD LOAD	LIVE LOAD
ROOF	15 PSF	REFER TO SNOW LOAD
FLOOR	12 PSF	100 PSF

SNOW CRITERIA	
CODE INFORMATION	DESIGN INFORMATION
DESIGN SNOW LOAD	25 PSF PLUS DRIFT WHERE INDICATED
FLAT ROOF SNOW LOAD	25.2 PSF
SNOW EXPOSURE FACTOR	Ce = 1.0
SNOW IMPORTANCE FACTOR	I _s = 1.0
THERMAL FACTOR	C _t = 1.2
GROUNDING SNOW	P _g = 30 PSF
RAIN ON SNOW SURCHARGE	0 PSF
SLOPED ROOF FACTOR	C _s = 1.0

WIND CRITERIA	
CODE INFORMATION	DESIGN INFORMATION
BASIC WIND SPEED (3 SECOND GUST)	115 MPH (ULTIMATE)
WIND DIRECTIONALITY FACTOR	K _d = 0.85
MEAN ROOF HEIGHT	11 FT
WIND IMPORTANCE FACTOR	I _w = 1.0
WIND OCCUPANCY CATEGORY	II
WIND EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFFICIENT	GCPI = +0.00
TOPOGRAPHIC FACTOR	K _{zt} = 1.0
DESIGN PROCEDURE	SIMPLE DIAPHRAGM

ROOF SURFACE WIND PRESSURES ULTIMATE			
AREA	10 SF	50 SF	100 SF
NEGATIVE ZONE 1 & 2E	-40.3 PSF	-23.1 PSF	-16.0 PSF
NEGATIVE ZONE 2N, 2R, & 3E	-60.5 PSF	-40.3 PSF	-31.6 PSF
NEGATIVE ZONE 3R	-72.8 PSF	-47.2 PSF	-38.3 PSF
POSTIVE ALL ZONES	16.0 PSF	16.0 PSF	16.0 PSF
OVERHANG ZONE 1 & 2E	-50.4 PSF	-38.9 PSF	-30.2 PSF
OVERHANG ZONE 2N & 2R	-70.6 PSF	-55.4 PSF	-48.9 PSF
OVERHANG ZONE 3E	-82.7 PSF	-66.5 PSF	-55.2 PSF
OVERHANG ZONE 3R	-94.8 PSF	-80.9 PSF	-66.4 PSF

WALL SURFACE WIND PRESSURES ULTIMATE			
AREA	10 SF	100 SF	500 SF
NEGATIVE ZONE 4	-18.1 PSF	-16.1 PSF	-16.0 PSF
NEGATIVE ZONE 5	-38.3 PSF	-29.2 PSF	-29.2 PSF
POSTIVE ZONE 4 AND 5	18.1 PSF	16.0 PSF	16.0 PSF

SEISMIC CRITERIA	
CODE INFORMATION	DESIGN INFORMATION
SEISMIC IMPORTANCE FACTOR	I = 1.0
OCCUPANCY CATEGORY	II
MAPPED SPECTRAL RESPONSE ACCELERATION (SHORT)	S _s = 8.80%g
MAPPED SPECTRAL RESPONSE ACCELERATION (LONG)	S ₁ = 4.70%g
SITE CLASS	D
SPECTRAL RESPONSE COEFFICIENT (SHORT)	S _{DS} = 0.094
SPECTRAL RESPONSE COEFFICIENT (LONG)	S _{D1} = 0.075
SEISMIC DESIGN CATEGORY	B
BASIC SEISMIC FORCE RESISTING SYSTEM	TIMBER FRAMES
DESIGN BASE SHEAR	0.031W
SEISMIC RESPONSE COEFFICIENT	C _s = 0.031
RESPONSE MODIFICATION FACTOR	3
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE ANALYSIS

WOOD DESIGN STRENGTHS	
ASDF	STRENGTH
WOOD:	
DIMENSIONAL LUMBER:	
JOISTS/BEAMS/HEADERS	SPRUCE PINE FIR NO. 2 OR BETTER
EXTERIOR LUMBER/MUDSILL	TREATED SOUTHERN PINE NO. 2 OR BETTER
WALL STUDS/PLATES	SPRUCE PINE FIR NO. 2 OR BETTER
LAMINATED VENEER LUMBER (LVL):	
FRAMING	2.0 E
	2,600 psi Fb
LAMINATED STRAND LUMBER (LSL):	
STUD	1.55 E
	2,170 psi Fc PARALLEL
PLATE	1.3 E
	670 psi Fc PERPENDICULAR
PARALLEL STRAND LUMBER (PSL):	
POST	1.8 E
	2,500 psi Fc PARALLEL
LUMBER POSTS:	
EXTERIOR	TREATED SOUTHERN PINE NO. 1/NO.2 OR BETTER
INTERIOR	SPRUCE PINE FIR NO.1/NO.2 OR BETTER

WOOD POST SCHEDULE			
MARK	SIZE	MATERIAL	COMMENTS
WP8	8"x8"	TREATED SOUTHERN PINE NO.1/NO.2 OR BETTER	REST ON BEAM BELOW. NO POST BASE



MADISON / MILWAUKEE
Tel: 414.255.4600



PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
WEST ALLIS, WISCONSIN

OWNER

WALLY HOLTZ

REVISIONS

NO.	DESCRIPTION	DATE
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INFORMATION

PROJECT DESIGNER: UTTECH DESIGN LLC

PROJECT MANAGER: MJU

PROJECT NUMBER: 23_1001

ISSUED FOR: SCHEMATIC DESIGN

DATE: 01.12.24

SHEET

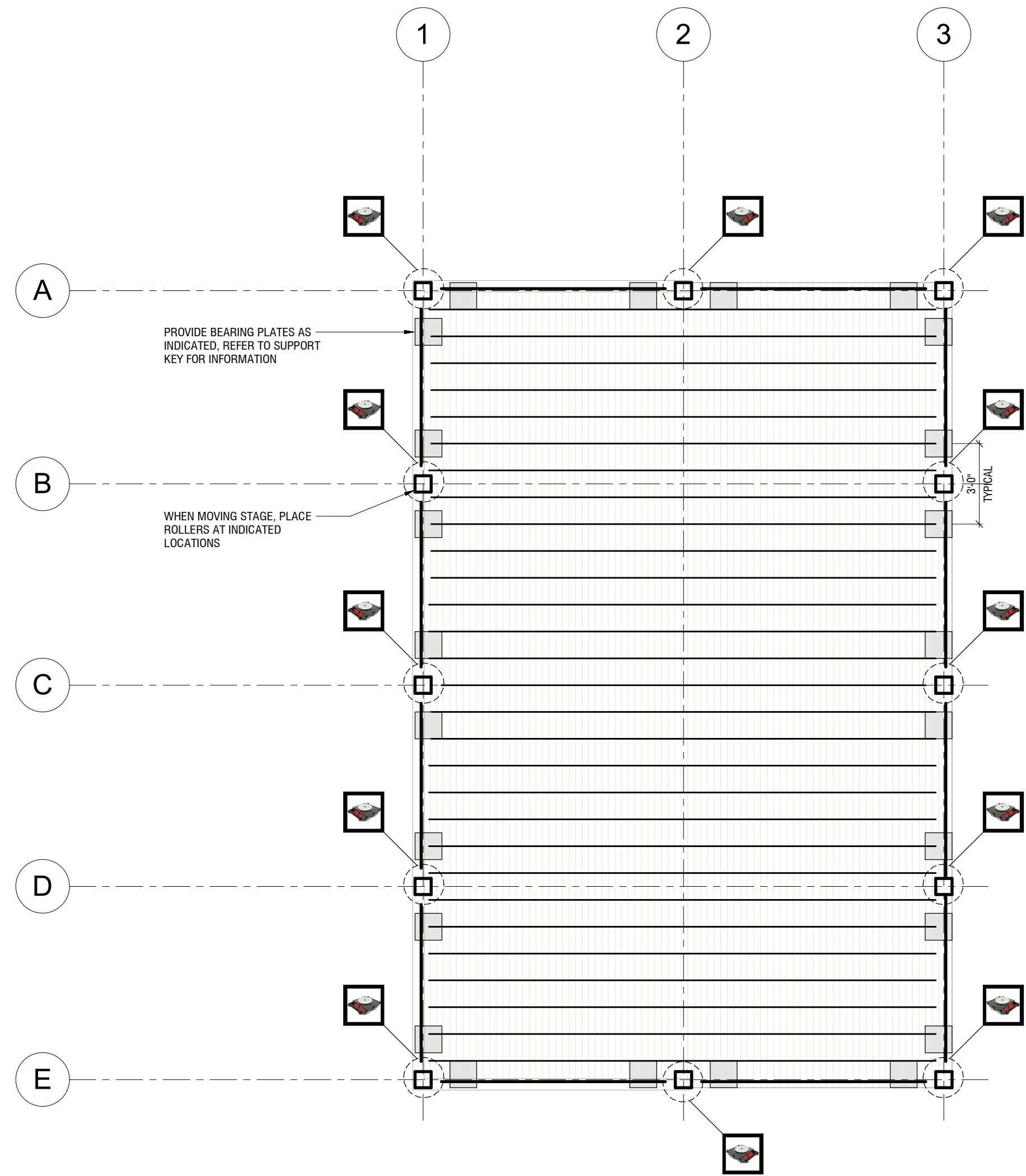
GENERAL STRUCTURAL NOTES

S001

SHEET INDEX	
S001	GENERAL STRUCTURAL NOTES
S100	FLOOR FRAMING PLAN
S101	ROOF FRAMING PLAN
S400	STRUCTURAL DETAILS



3 SUPPORT KEY
S100 / 1/4" = 1'-0"



2 TEMPORARY SUPPORT AND MOVING PLAN
S100 / 1/4" = 1'-0"

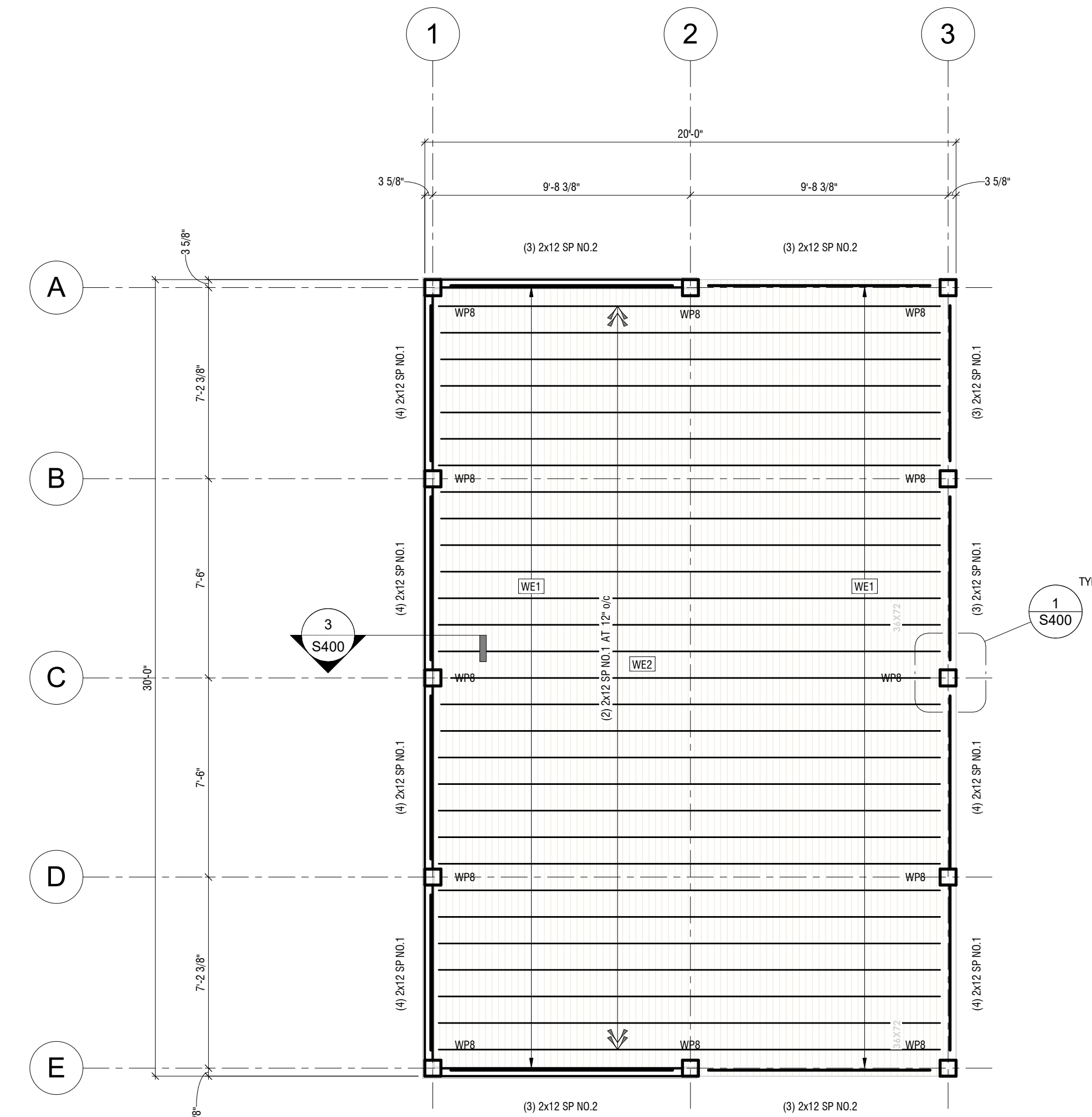
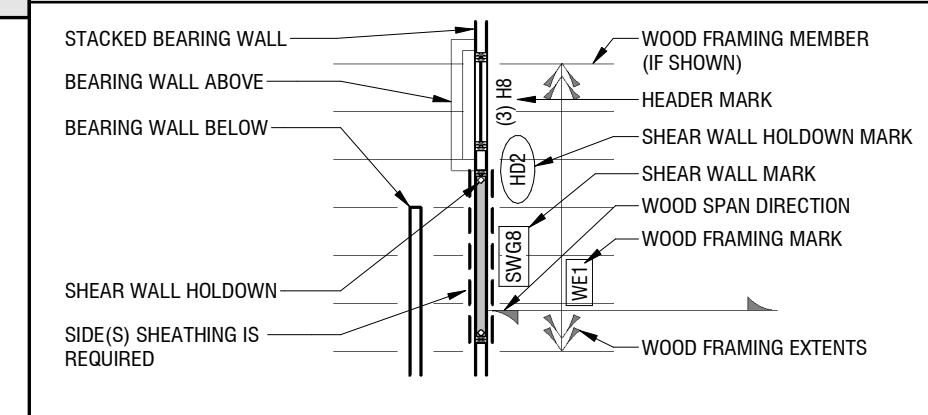
WOOD FLOOR FRAMING PLAN KEYED NOTES

KEYNOTE	DESCRIPTION
WE1	PROVIDE SIMPSON U210-2 (ZMAX) HANGER AT EACH JOIST. INSTALL WITH SIMPSON S50-9x1-1/2" SCREWS.
WE2	PROVIDE 2x12 BLOCKING AT QUARTER POINTS OF SPANS

WOOD FLOOR FRAMING PLAN NOTES

- REFER TO ARCHITECTURAL PLANS FOR STAIR FRAMING, DIMENSIONS AND CONFIGURATION.
- FLOOR CONSTRUCTION SHALL CONSIST OF 3/4" APA RATED SHEATHING TOPPED WITH GYPSUM TOPPING (MAX 115 PCF). SHEATHING SHALL BE TONGUE AND GROOVED AND ATTACHED TO FLOOR STRUCTURE WITH 10dx3" COMMON NAILS AT 6" o/c AT EDGES AND 12" o/c IN THE FIELD. LOCATE WALLS 3/8" FROM ALL PANEL EDGES. SHEATHING SHALL BE LAID PERPENDICULAR TO AND GLUED TO FRAMING MEMBERS.
- EXTERIOR WALLS ARE SHEATHED WITH 15/32" APA RATED SHEATHING ON THE EXTERIOR FACE. ATTACH TO WALL FRAMING WITH 10dx2-1/2" COMMON OR GALVANIZED BOX NAILS AT 6" o/c AT EDGES AND 12" o/c IN THE FIELD. WHERE WALLS ARE DESIGNATED AS SHEAR WALLS, REFER TO SHEAR WALL SCHEDULE FOR ATTACHMENTS.
- SHEAR WALLS ARE DESIGNATED AS "SW", REFER TO SHEAR WALL SCHEDULE FOR ATTACHMENTS.
- HEADERS ARE DESIGNATED "H", REFER TO HEADER SCHEDULE. NUMBER OF PLIES ARE DESIGNATED IN PARENTHESIS. HEADERS OCCUR IN WALL FRAMING UNLESS NOTED OTHERWISE.
- WOOD POSTS, COLUMNS OR MULTIPLE PLY STUDS ARE DESIGNATED AS "WP". REFER TO HEADER SCHEDULE INFORMATION. ALL WOOD POSTS MUST LINE UP FROM FLOOR TO FLOOR TO LOWEST BEARING POINT. BETWEEN FLOORS, ADD VERTICAL BLOCKING OF SIZE TO ALLOW FOR FULL BEARING OF VERTICAL ELEMENT.
- STRONGBACK BRACING FOR TRUSSES SHALL BE PROVIDED FOR THE FULL-LENGTH OF BUILDING. REFER TO TRUSS ERECTION DRAWINGS.

WOOD FLOOR FRAMING LEGEND



1 02-FLOOR FRAMING PLAN
S100 / 1/4" = 1'-0"



MADISON / MILWAUKEE
Tel: 414.255.4600



PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
WEST ALLIS, WISCONSIN

OWNER

WALLY HOLTZ

REVISIONS

NO.	DESCRIPTION	DATE
1	S400	TYP

INFORMATION

PROJECT DESIGNER: UTTECH DESIGN LLC
PROJECT MANAGER: Author
PROJECT NUMBER: 23_1001
ISSUED FOR: SCHEMATIC DESIGN
DATE: 01.12.24

SHEET

FLOOR FRAMING PLAN

S100

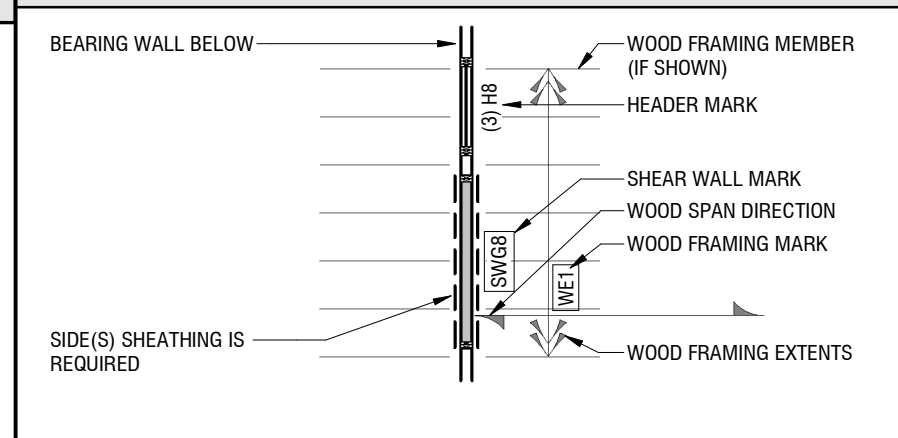
WOOD ROOF FRAMING PLAN KEYED NOTES

KEYNOTE	DESCRIPTION
WR3	PROVIDE SIMPSON CCOS-8SDS POST CAP USING (16) 1/4"x2-1/2" SDS SCREWS INTO BEAM AND (14) 1/4"x2-1/2" SDS SCREWS INTO THE POST. TYP.

WOOD ROOF FRAMING PLAN NOTES

- REFER TO ARCHITECTURAL PLANS FOR ROOF TRUSS BEARING LOCATION.
- PROVIDE 3/4" APA RATED ROOF SHEATHING ATTACHED TO EACH FRAMING MEMBER WITH 10d^x2" COMMON NAILS AT 6" o/c AT EDGES AND 12" o/c IN THE FIELD. LOCATE NAILS 3/8" FROM ALL PANEL EDGES. SHEETS ARE TO BE LAID PERPENDICULAR TO ALL FRAMING MEMBERS. PROVIDE SIMPSON PCSA SHEATHING CLIPS AT UNSUPPORTED PANEL EDGES. SHEATHING SHALL BE STAGGERED 4'-0".
- EXTERIOR WALLS ARE SHEATHED WITH 15/32" APA RATED SHEATHING ON THE EXTERIOR FACE. ATTACH TO WALL FRAMING WITH 10d^x2-1/2" COMMON OR GALVANIZED BOX NAILS AT 6" o/c AT EDGES AND 12" o/c IN THE FIELD. WHERE WALLS ARE DESIGNATED AS SHEAR WALLS, REFER TO SHEAR WALL SCHEDULE FOR ATTACHMENTS.
- REFER TO GENERAL NOTES AND SNOW DRIFT PLANS FOR ROOF LOADS.
- REFER TO TYPICAL DETAILS FOR GABLE END WALL BRACING.
- A MINIMUM 2x8 CONTINUOUS FASCIA SHALL BE ATTACHED TO THE ENDS OF ALL ROOF TRUSSES THAT OVERHANG WALLS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING SIZE OF OPENINGS WITH TRUSS FABRICATOR IF THEY DO NOT FIT BETWEEN TRUSSES.
- ALL ROOF TOP EQUIPMENT (SIZE, LOCATION, ETC) SHALL BE VERIFIED WITH MECHANICAL AND ARCHITECT PRIOR TO PREPARATION OF SHOP DRAWINGS AND FABRICATION OF MATERIALS. CONTRACTOR SHALL COORDINATE CHANGES WITH SUPPLIER AND STRUCTURAL ENGINEER. MECHANICAL EQUIPMENT SHALL BEAR ON AT LEAST (2) FRAMING MEMBERS.
- SHEAR WALLS ARE DESIGNATED AS "SW ___" REFER TO SHEAR WALL SCHEDULE FOR ATTACHMENTS.
- HEADERS ARE DESIGNATED "H ___" REFER TO HEADER SCHEDULE. NUMBER OF PLYS ARE DESIGNATED IN PARENTHESIS. HEADERS OCCUR IN WALL FRAMING UNLESS NOTED OTHERWISE.
- WOOD POSTS, COLUMNS OR MULTIPLE PLY STUDS ARE DESIGNATED AS "WP ___" REFER TO HEADER SCHEDULE. ALL WOOD POSTS MUST LINE UP FROM FLOOR TO FLOOR TO LOWEST BEARING POINT. BETWEEN FLOORS, ADD VERTICAL BLOCKING OF SIZE TO ALLOW FOR FULL BEARING OF VERTICAL ELEMENT.
- STRONGBACK BRACING FOR TRUSSES SHALL BE PROVIDED FOR THE FULL-LENGTH OF BUILDING. REFER TO TRUSS ERECTION DRAWINGS.

WOOD ROOF FRAMING LEGEND



MADISON / MILWAUKEE
Tel: 414.255.4600



PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
WEST ALLIS, WISCONSIN

OWNER

WALLY HOLTZ

REVISIONS

NO.	DESCRIPTION	DATE
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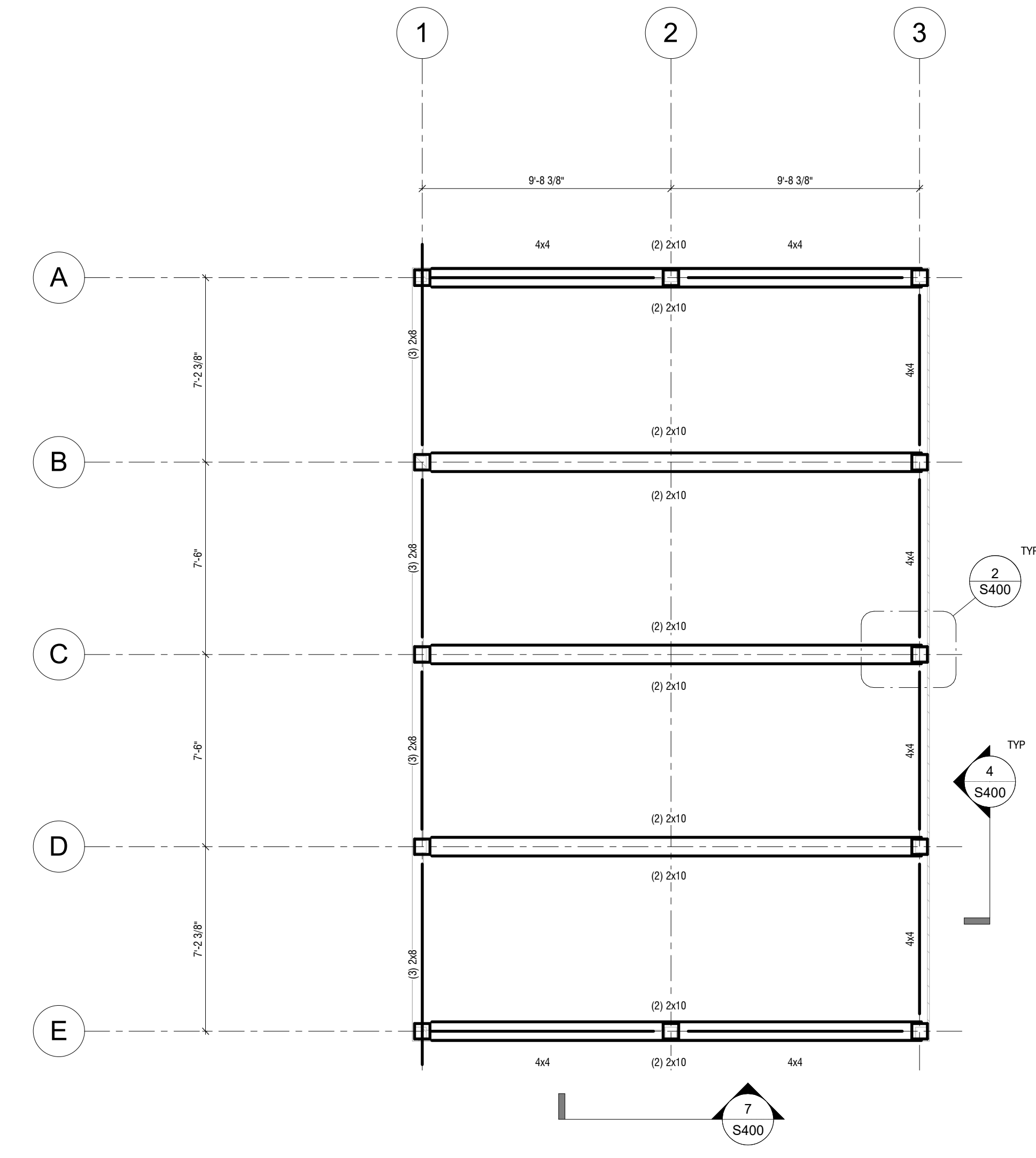
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PROJECT MANAGER: Author
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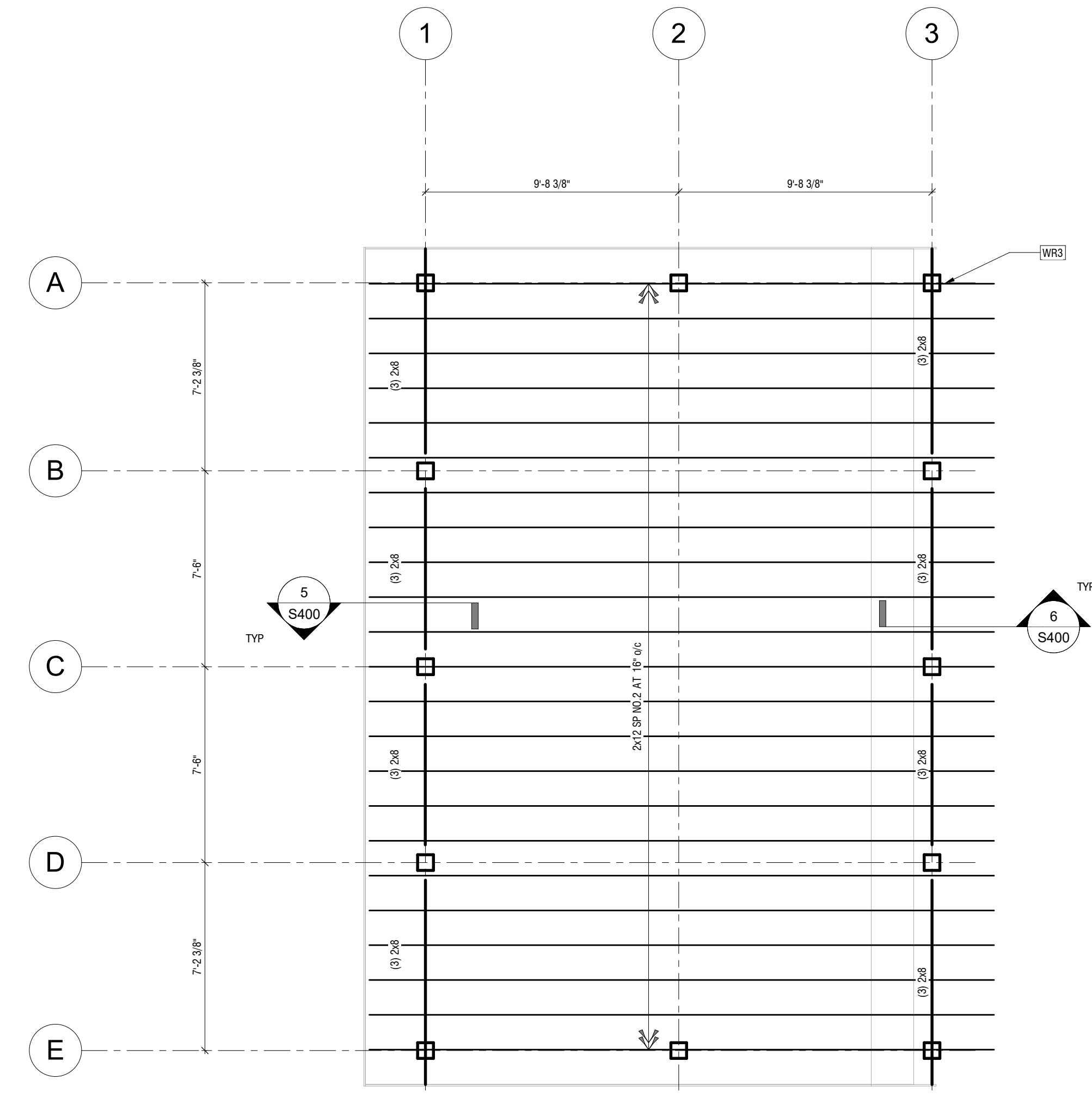
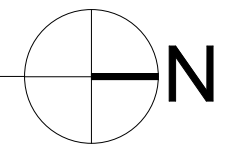
SHEET

ROOF FRAMING PLAN

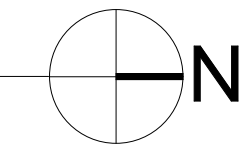
S101



1 03-LOW ROOF BEARING PLAN
S101 1/4" = 1'-0"



2 04-HIGH ROOF FRAMING PLAN
S101 1/4" = 1'-0"



PROJECT

THE DECO EXTERIOR SPACE

7140 W. GREENFIELD
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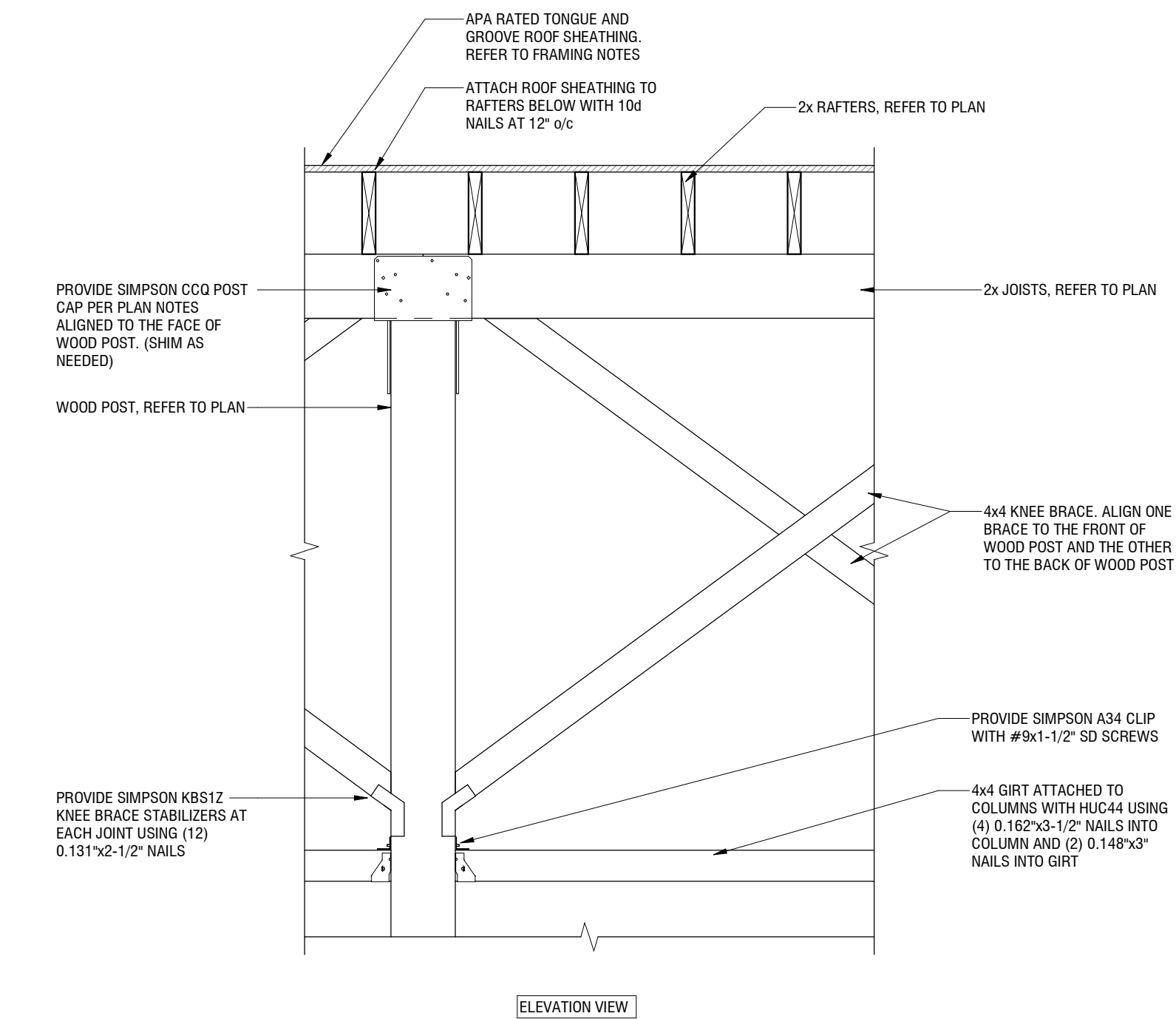
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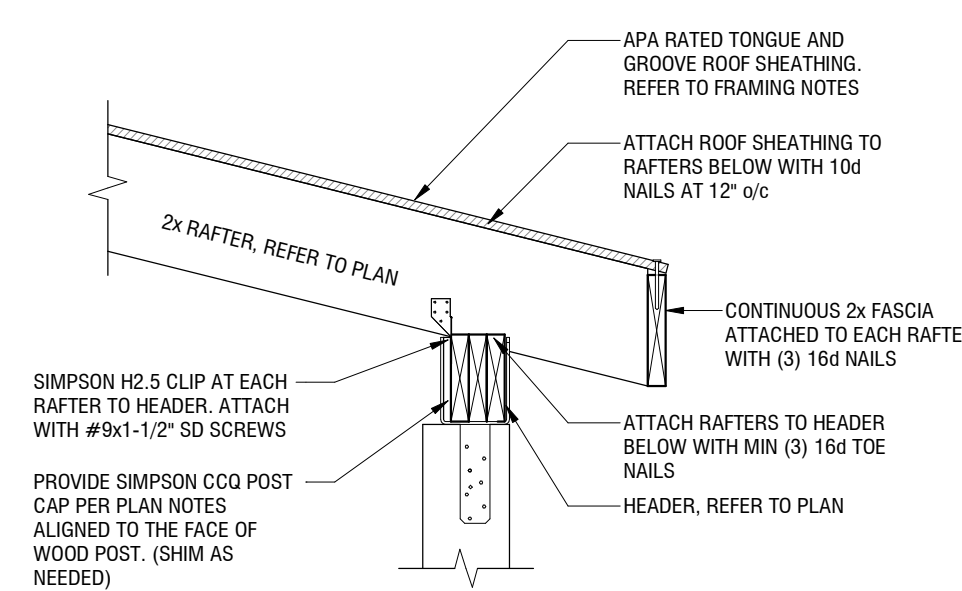
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STRUCTURAL DETAILS

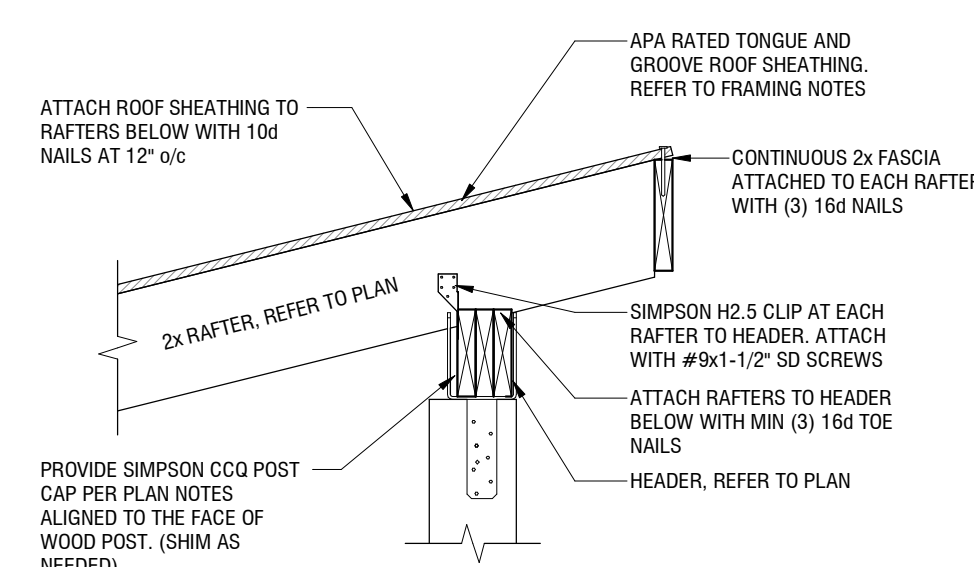
S400



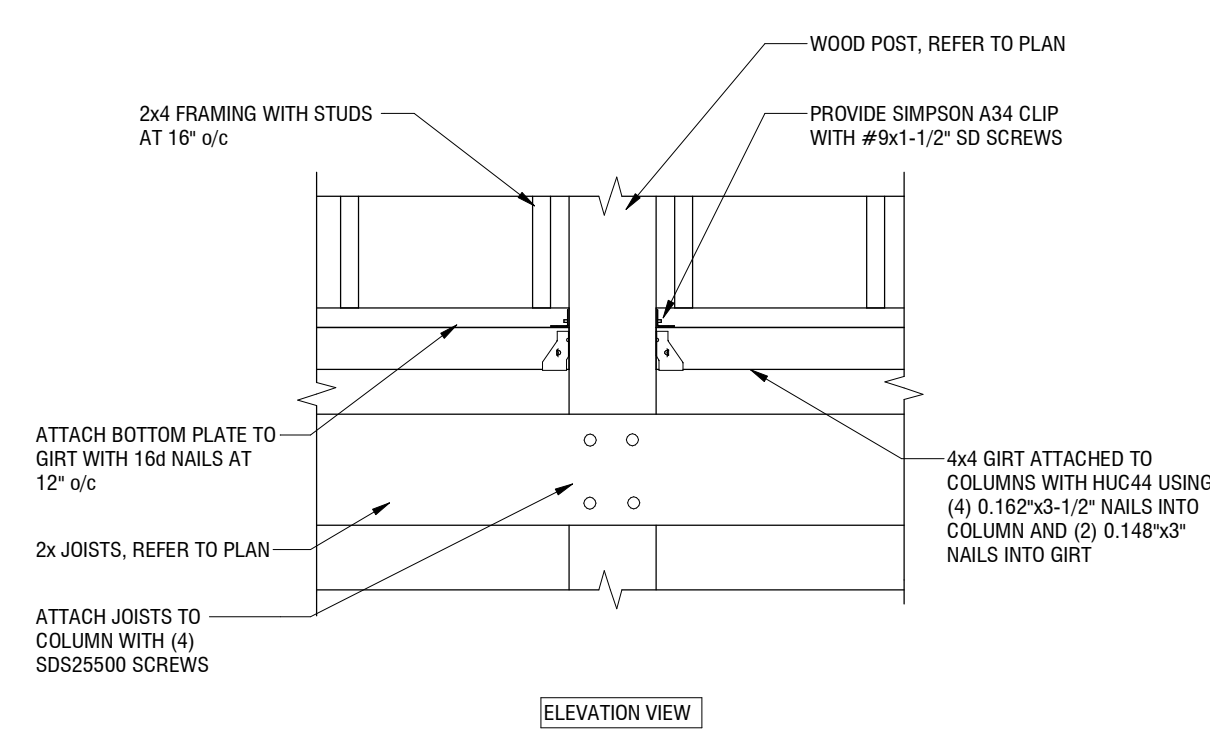
4 KNEE BRACE DETAIL
S400 3/4" = 1'-0"



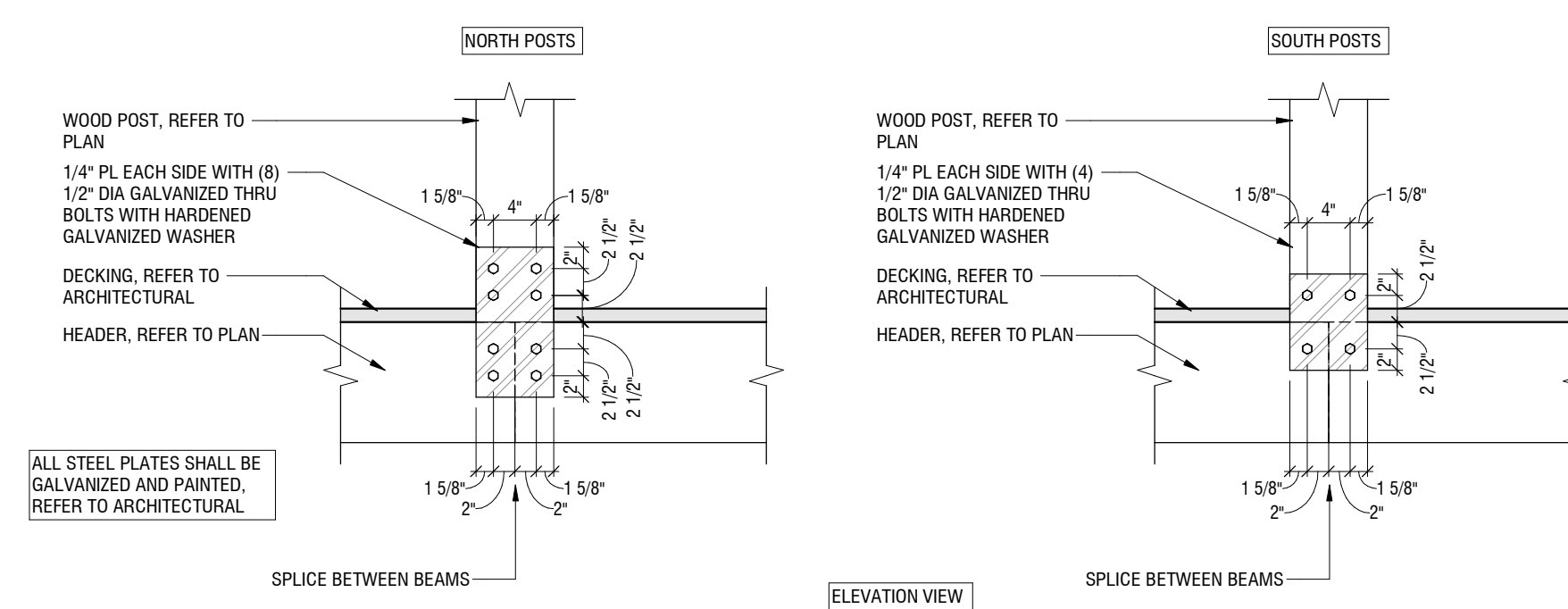
5 SECTION AT ROOF RAFTER FRAMING
S400 3/4" = 1'-0"



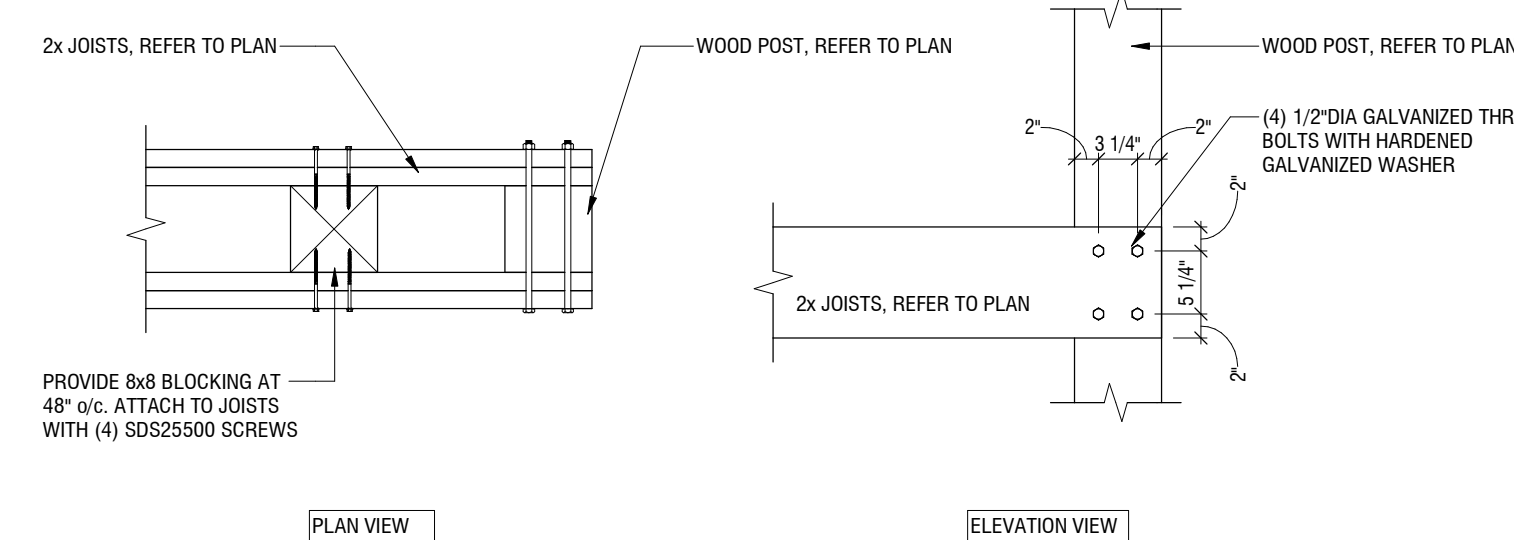
6 SECTION AT ROOF RAFTER FRAMING HIGH
S400 3/4" = 1'-0"



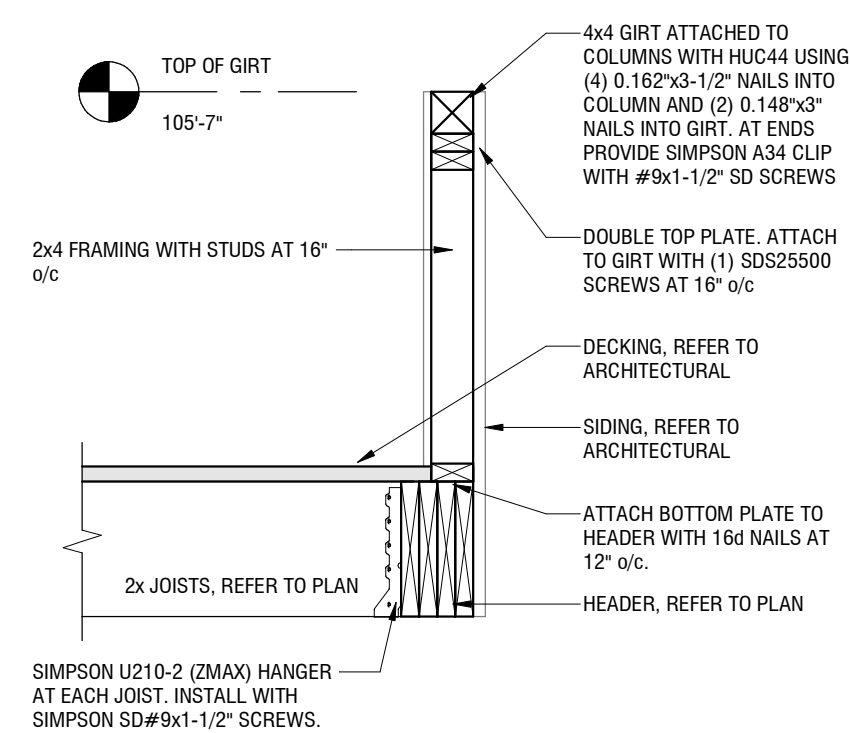
7 WIND GIRTS TO COLUMN
S400 3/4" = 1'-0"



1 WOOD POST TO BEAM MOMENT CONNECTION
S400 3/4" = 1'-0"



2 BEAM TO WOOD POST MOMENT FRAME CONNECTION
S400 3/4" = 1'-0"



3 SECTION AT HALF WALL
S400 3/4" = 1'-0"



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, March 27, 2024
Common Council Chambers
6:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

10. Vacation and discontinuance of an improved alley between W. Lincoln Ave. and W. Grant St. and within the 2200 block of S. 108 St. and S. 109 St.

City Engineering has prepared a diagram requesting Common Council consideration to vacate a portion public alley Right of Way (RoW) between W. Lincoln Ave. and W. Grant St. and within the 2200 block of S. 108 St. and S. 109 St. The area is shown and legally described and identified as a map exhibit of the City of West Allis Engineering Department file no. Y-1205.

A resolution will introduce said request to the Common Council of the City of West Allis on April 16, 2024.

State Statutes require publishing a class 3 notice and personal service on abutting landowners at least 30 days before a public hearing or, if they can't be personally served, the notice needs to be mailed to them at least 30 days ahead of time. PUBLISH dates: April 19, 26, and May 3, 2024

Any abutting owner can object to discontinuance by filing a written objection; it would then take a 2/3 vote by the council to override that objection. Should the Council decide to vacate this portion of public right-of-way, the abutting property owners would receive an abutting portion of land, and that land would be taxable.

Purpose: The alley was recently improved with a Green Solutions grant via MMSD, and staff has sought sponsorship to vacate the alley way as it's in the public interest. A dead end alley that the city currently maintains, services (sanitation), and only one property owner directly uses for access to their garage. Other abutting properties include a gas station at 2208 S. 108 St. and residential property that has access off of W. Grant St. The introductory resolution is just Council authorizing us to conduct a public hearing, publish notice, and sharing the project for further consideration (the 3-page attachment shares the exhibit, proposed schedule, and area map).

Half of the alley width (10-ft) would be dedicated to abutters. The abutter benefiting the most would be the property located at 2208 S. 109 St. For years, this alley has served as the only means of accessing the detached garage behind their home. Once vacated, their half of the now improved alley would continue to serve their access needs. Abutters benefit with more land area, continued access on an improved surface, and the city benefits by vacating and thereby reducing its maintenance expense and gains some taxable value.

Engineering has reached out to abutters last year in advance of the alley improvement. All abutters will be notified of the vacation process and may object if they choose. One property owner has been non-responsive (2208 S 109 St.).

If the Common Council decides to vacate the right of way the city will record the document with the Milwaukee County register of deeds as part of the process. The lands if vacated will become taxable property.

Recommendation: Common Council approval of the vacation and discontinuance of an improved alley between W. Lincoln Ave. and W. Grant St. and within the 2200 block of S. 108 St. and S. 109 St.