



City of West Allis

Meeting Agenda

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, July 23, 2025

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF MINUTES

1. [25-0264](#) June 25, 2025

Attachments: [June 25, 2025 \(draft minutes\)](#)

D. NEW AND PREVIOUS MATTERS

2. [25-0265](#) Site, Landscaping, and Architectural Design Review for F Street 92, LLC, a proposed 5+ Unit Dwelling use, at 1405 S. 92nd St. (Tax Key No. 450-0502-000)

Attachments: [2-3 \(SLA-CSM\) St Al's Redevelopment at 1405 S 92 St](#)

3. [25-0266](#) Certified Survey Map to split the existing parcel at 1405 S. 92nd St. into two parcels. (Tax Key No. 450-0502-000)

- 4A. [25-0267](#) Conditional Use Permit for The Butcher's Word, a proposed Food Production Use, at 1320 S. 108th St.

- 4B. [25-0268](#) Site, Landscaping, and Architectural Design Review for The Butcher's Word, a proposed Food Production Use, at 1320 S. 108th St. (Tax Key No. 444-0485-001)

Attachments: [4 \(CUP-SLA\) The Butchers Word 1320 S 108th St](#)

5. [25-0269](#) Site, Landscaping, & Architectural Design Review for a proposed ramp at Beloit Road Baptist Church, an existing Religious Institution use, at 8337 W. Beloit Rd. (Tax Key No. 516-0271-000)

Attachments: [5 \(SLA\) Beloit Baptist Church Ramp](#)

6. [25-0270](#) Site, Landscaping, and Architectural Design Review for Tri-City Bank, an existing General Service use, at 10909 W. Greenfield Ave. (Tax Key No. 448-9996-002)

Attachments: [6 \(SLA\) Tri City Bank](#)

7. [25-0271](#) Sign Plan Appeal for All Goods, a proposed Neighborhood Retail use, at 8436 W. Greenfield Ave. (Tax Key No. 442-0632-000)
Attachments: [7 \(SIGN\) All Goods](#)
8. [25-0272](#) Sign Plan Appeal for Fairview Partners, LLC, at 12221 W. Fairview Ave. (Tax Key No. 413-9996-009)
Attachments: [8 \(SIGN\) Blau Plumbing 12221 W Fairview Ave](#)
9. [25-0273](#) Sign Plan Appeal for The Armory Hockey, at 11111 W. Greenfield Ave. (Tax Key No. 448-9993-006)
Attachments: [9 \(SIGN\) The Armory 11111 W Greenfield Ave](#)
10. [25-0274](#) Project Tracking

E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City of West Allis

Meeting Minutes

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, June 25, 2025

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING (draft minutes)

A. CALL TO ORDER

B. ROLL CALL

Present 6 - Wayne Clark, Brian Frank, Eric Torkelson, Brandon Reinke, David Raschka, Kathleen Dagenhardt

Excused 2 - Jessica Katzenmeyer, Lisa Coons

Staff

Steve Schaer, AICP, Director of Planning and Zoning
Jack Kovnesky, Planner

C. APPROVAL OF MINUTES

1. [25-0232](#) May 28, 2025

Attachments: [May 28, 2025 \(draft minutes\)](#)

Clark moved to approve this matter, Dagenhardt seconded, motion carried.

D. NEW AND PREVIOUS MATTERS

2. [25-0234](#) Site, Landscaping, and Architectural Design Review for Caribbean Jaac's, a proposed Restaurant (Limited) Use, at 5901 W. Burnham St. (Tax Key: 455-0094-000).

Attachments: [\(SLA\) Caribbean Jaacs](#)

Brandon Reinke questioned whether the dumpster would be shared, and received confirmation that, yes, the shared area will be screened to hide view of the patio and a few tables and the 900 sq. ft. restaurant.(small) with hours of 8 a.m. to 8 p.m.

Frank moved to approve this matter, Clark seconded, motion carried.

3. [25-0235](#) Request for vacation and discontinuance of a 60x580-ft portion of City Right-of-Way by Central Transport, an existing Light Industrial Use, at 11218 W. Mitchell St. (Tax Key No. 448-9986-005).

Attachments: [\(VAC\) 11218 W. Mitchell St.](#)

This matter was Held at the request of the applicant.

4. [25-0236](#) Project Tracking.

This matter was Discussed.

E. ADJOURNMENT

There being no other business, a motion was made by Clark, seconded by Dagenhardt to adjourn at 6:09 p.m.



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STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23rd, 2025
6:00 PM

2. Site, Landscaping, and Architectural Design Review for F Street 92, LLC, a proposed 5+ Unit Dwelling use, at 1405 S. 92nd St. (Tax Key No. 450-0502-000)

3. Certified Survey Map to split the existing parcel at 1405 S. 92nd St. into two parcels. (Tax Key No. 450-0502-000)

Items 2 and 3 may be considered together.

Overview and Zoning

With the previously approved demolition of the former St. Aloysius Church's buildings underway, Nick Jung, Director of Development for F Street is now seeking approval to redevelop the site located at 1405-35041 S. 92nd St. and 1414 S. 93rd St. The demolition of these buildings is a crucial first step to redeveloping this site to accommodate two phases of proposed residential development, totaling 142 housing units.

Aligning with the West Allis 2045 Comprehensive plan goal to "Promote population growth by encouraging density and diversity of housing", this development proposal arrives at a time in which housing need in the City is extremely high. Compounding factors such as the reduction in household size, demographic and economic changes, existing housing's low vacancy rates, and the rise of remote work have shaped the housing need of West Allis and the greater region. The proposed development of 143 total housing units would aid in advancing the goals of the City's 2045 Comprehensive Plan.

F Street anticipates beginning construction upon the conclusion of their demolition efforts, set to end in September 2025. The townhome project estimated completion date is quarter-three 2026 with the midrise apartment project completion estimated by quarter-two 2027.

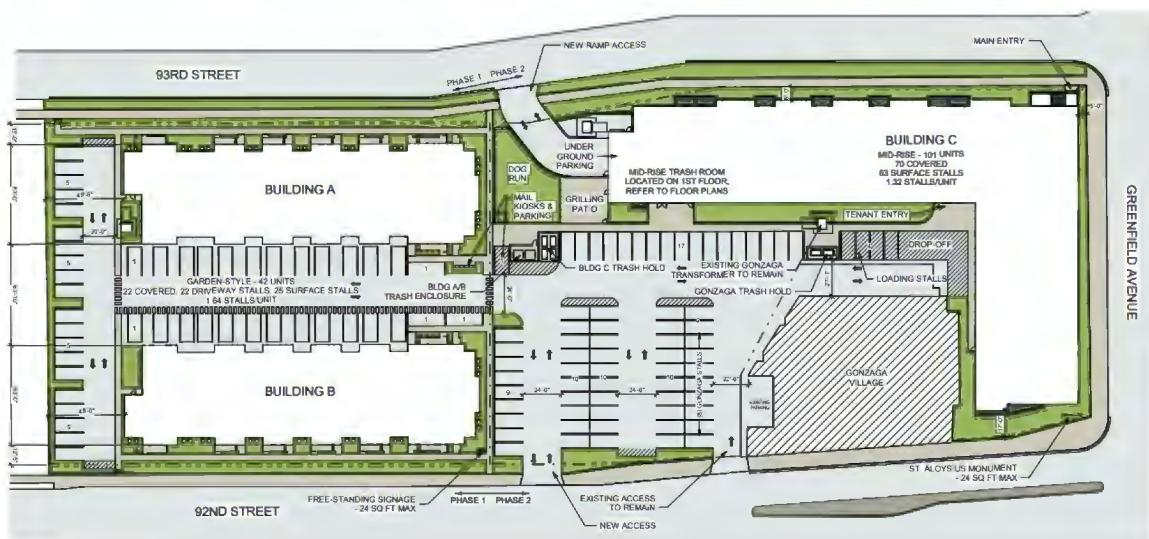
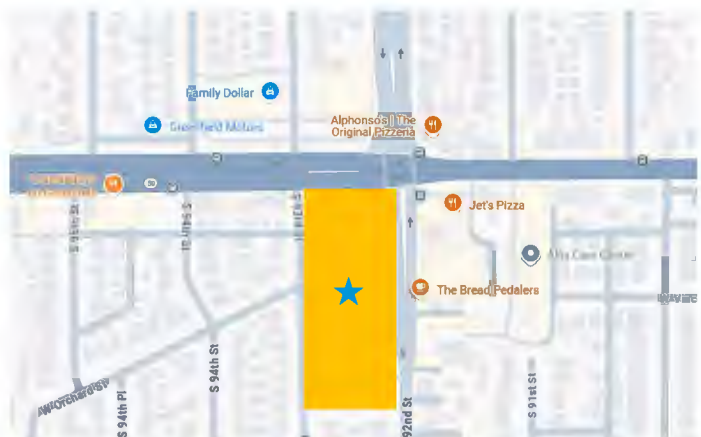
1405 S. 92nd St. is zoned RC, "Intended for dense, multi-unit housing development in areas throughout the city". A 5+ Unit Dwellings use is permitted within the RC zoning district. The proposed Certified Survey map aims to split the lot into two. The first lot created will encompass the northern half of the site with 64,158 sq.ft. in area, or approximately 1.47 acres. Lot two will be located to the south, totaling 66,519 sq.ft. or approximately 1.52 acres in area.





Site Plan

Three separate buildings are shown on the site plan: Buildings A, B, and C. Building A fronts S. 93rd St. and is comprised of 22 garden-style townhome units with 11 covered parking stalls. Building B mirrors Building A, with an additional 22 garden-style apartment units and 11 covered parking stalls. Between these buildings, 22 driveway and 25 surface parking stalls are indicated. Building C is indicated to be the midrise apartments at the northern end of the site, totaling 101 units, and will contain an additional 70 covered parking spaces accessible via an entrance off of 93rd St. The bulk of the site's interior will contain parking, with additional parking provided in a lot along the southern end of the site. Gonzaga senior living will remain adjacent to the site, with 8 parking stalls being allocated to that use (in addition to the existing covered parking provided on the Gonzaga site). Sidewalks will be constructed throughout the interior of the side for pedestrian circulation within the site, allowing residents safe access to amenities. Outdoor



amenities for this project include a dog run, grilling patio, and mail kiosks for townhome residents. The dog run and grilling patio areas will be fenced with a 4' high aluminum picket-style fence.

Landscaping Plan

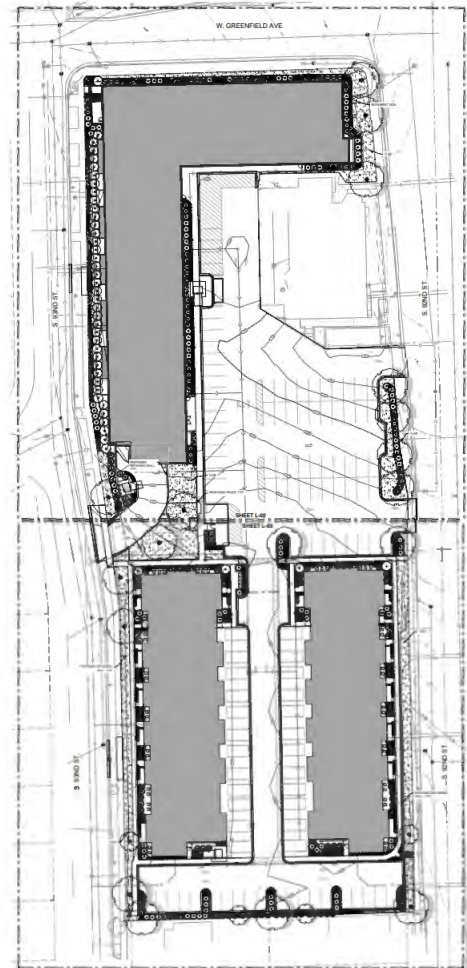
While the grading plan for this site notes slope variation on site that may pose some challenge, a landscaping plan has been submitted with thoughtful attention turned to enhancing tree cover, shrubbery, ornamental grasses, and perennials on this property.

The site will be landscaped along the different building types adjacent to the public right of way as well as along the southern parking lot. To create a visual buffer, enhance the pedestrian experience along 92nd and 93rd Streets, and provide screening between the southern lot and nearby residences, several plant species have been proposed. Deciduous trees on site may include maples, honey locust, and silver lindens. Ornamental trees suggested include crabapples trees and hawthorn. Shrubberies on site may include juniper, arborvitae, yew, magnolia, hydrangea, and lilac, with unnamed perennials interspersed throughout the site. Turf hydroseed will be planted as the primary grass, with ornamental grasses dotting the perimeter.

Specific attention must be turned to maintaining this turf, as the slopes presented on site may pose a challenge to grass seeding. Staff also note that the ash trees lining S. 92nd St. are in poor condition and will likely require removal by the developer.

Toward the southern end of the site, there is an existing chain link fence that will be replaced by a 5' cedar fence to provide heightened privacy and screening for the residential neighbors to the south. Staff note that increased landscaping should also be leveraged to enhance screening and privacy in this location.

Some refuse enclosure details are still needed for this project, though refuse locations are indicated on the site plan in two locations in the site's interior. RINKA has detailed that a steel framed, aluminum panel 6'6" tall trash enclosure with gate system will be used for outdoor refuse enclosures. Fencing and retaining wall types, materials, and height details should be submitted by the applicant, as these features are proposed in the plan. An exterior lighting plan is required, and staff note that this plan must be submitted for review. Particular attention should be paid to accent lighting, pedestrian walkway lighting, and lighting at entry points and covered parking areas. Full cut features are recommended to ensure that light does not splay from vehicles onto neighboring residences.



Architectural Plan



Building A: Building A is comprised of 21 garden-style townhome units, two stories in height abutting S. 93rd St. Architectural components on this building include an asphalt single roof, wood nickel gap siding in light and dark gray, wood-look lap siding, and wood structured balconies with aluminum railings. This building will be 138 ft. tall. Along this building's eastern elevation, garage entrances are provided for 11 of these units, with 7 shared unit entrances. Along this building's western elevation (facing S. 93rd St.), 12 entryways to the units are indicated with two large balconies shown.



Building B: Building B largely mirrors the architectural style of Building A, with a few noted differences. Along the western elevation, fewer balconies are indicated in consideration of proximity to Gonzaga Senior Living, with just one balcony shown. 10 entrances are indicated with 11 covered parking garages facing the site's interior. Facing S. 92nd St., 12 doorway entrances are marked, along with two large balconies. Building materials here are the same as Building A.





Building C:

West: Primary façade materials used here will include fiber cement walls of four colors – tan, white, and dark brown with blue accents. The building responds to this key design element by using full-height windows, plentiful balconies, and a shared walk-up entrance off of Greenfield Ave.

South: The southern elevations of this building extend the brown and white fiber cement walls and incorporate wood-look wall system articulations throughout between the elevation’s plentiful windows. Recessed balconies are indicated along these proposed elevation plans. South Elevation 1 indicates architectural details to accommodate this building’s covered parking entrance with textured gray concrete paneling.

East/North: This elevation continues to include the dark brown, white and tan fiber cement wall paneling with blue paneling accents throughout. Additional

articulations include textured gray concrete and tan wood-look wall paneling along this facade. This building’s “C East Elevation” plans show three balconies adjacent to Greenfield Ave. The

northern elevations show two additional balconies as well as one additional wall sign and two projecting signs in accent paneling.



Staff note that the architectural plans for the mid-rise apartments require further submission details and review. Along the northeast side of the building, the appearance of the apartments looks compressed as the first-floor units are built into grade in this region. While staff awaits reasoning for this decision from the project’s design team, staff recommend that the first-floor level be increased in height. Additionally, the northeast and southeast corners of this building could be amended to include more windows to enhance the architectural features along the busy corridor. Staff also recommend that greater articulations be worked into the plans for the southeast section of the building along 92nd St. as the current design appears to be rather static in comparison to other architectural façade plans for the building.

View from Greenfield and 92nd St.



View from Greenfield and 93rd – Shared entry



Floor Plans

Buildings A and B offer a mix of units from junior 1-bedroom to 3-bedroom units. The first floor of this floor plan indicates that the junior units will be located toward the northern portion of these buildings, with 1- bedroom units in the interior and 3-bedroom units to the south. The second floor shows 2-bedroom units toward the northern portion of the building, with 1-bedrooms units in the interior, and a mix of 2- and 3- bedroom units toward the south.

Unit Mix The 143 units include:

Buildings A and B:

- JR 1 Bed: 8 units
- 1 Bed: 24 units
- 2 Bed: 6 units
- 3 Bed: 4 units
- **Total: 42 units**

LEGEND	
LEVEL 01	
JR 1 BED (A SERIES)	
1 BED (B SERIES)	
2 BED (C SERIES)	
3 BED (D SERIES)	
LEVEL 02	
1 BED (B SERIES)	
2 BED (C SERIES)	
3 BED (D SERIES)	
UNIT MIX	
- (8) JR 1 BEDROOMS	
- (24) 1 BEDROOMS	
- (6) 2 BEDROOMS	
- (4) 3 BEDROOMS	
42 TOTAL UNITS	
PARKING	
- (22) GARAGE STALLS	
- (22) DRIVEWAY STALLS	
- (25) SURFACE STALLS	
99 TOTAL PARKING STALLS	
1.84 PARKING RATIO	



The northern first floor plans for Building C show primarily junior 1-bedroom and 2-bedroom units, a lounge, and an outdoor terrace amenity. The western portion of this building indicates a mix of primarily 1- and 2- bedroom units, one junior 1-bedroom unit, a clubroom, a fitness center, pet spa, leasing office, mail room, and refuse room. The northern portion of this building's second floor shows a mix of primarily junior 1-bedroom and 2-bedroom units, one 3-bedroom unit, and a small storage room. The western end of the second floor indicates largely 1-bedroom and 2-bedroom units.

Building C: Mid Rise

- Jr 1 Bed: 18 units
- 1 Bed: 43 units
- 2 Bed: 38 units
- 3 Bed: 2 units
- **Total: 101 units**

Parking

F Street will include 201 total parking stalls, with a parking ratio of 1.48 stalls per unit. This is below the maximum requirement of 286 stalls (2 per unit).

Phase 1 Parking: This parking will primarily accommodate the residents of the garden-style townhome buildings and offers a variety of styles. Parking options here include 22 covered in-unit parking garages, 22 driveway stalls, and 25 surface stalls. No accessible stalls have been indicated in this phasing.

Phase 2 Parking: The parking of this phase will primarily accommodate the residents of the midrise apartments with two styles of parking. Plans indicate that 63 surface parking stalls will be on site, with an additional 70 covered parking stalls located beneath the dwelling units of the apartment building. The covered parking will be accessible off 93rd St. A total of three accessible parking spaces are shown on the underground parking plan, as well as locations for bicycle parking. [Sec. 19.44](#) of the West Allis Municipal code for indoor bicycle parking stating, "All dwellings of 5 or more units shall have at least 1 indoor bicycle parking space for every 5 units". According to this ratio, the developer will have to show that their bicycle parking plans will provide 28 indoor bicycle parking spaces. Outdoor bicycle parking is planned by the developer, but staff awaits plans detailing the location of this amenity. Lastly, while no Electric Vehicle (EV) charging stations have been specified on this plan, staff recommend that at least one EV charging station should be incorporated into the parking plan.

Design Guidelines

Compliance with the design guidelines is mandatory for new development. The proposed project satisfies all applicable guideline requirements.

LEGEND	
■	JR 1 BED (A SERIES)
■	1 BED (B SERIES)
■	2 BED (C SERIES)
■	3 BED (D SERIES)
■	AMENITY SPACE
■	ANCILLARY SPACE
UNIT MIX	
- (28) JR 1 BEDROOMS	
- (43) 1 BEDROOMS	
- (34) 2 BEDROOMS	
- (2) 3 BEDROOMS	
105 TOTAL UNITS	
PARKING	
- (69) COVERED STALLS	
- (62) SURFACE STALLS	
131 TOTAL PARKING STALLS	
1.25 PARKING RATIO	



PLAN COMMISSION CHECKLIST

1.

Goal:
Context

Objective	Criteria		Notes
a. Neighbor	i. Street wall	<input checked="" type="checkbox"/>	ii. Appropriate mix of density for site in major area ii. Scaled down in density by existing res.
	ii. Scale	<input checked="" type="checkbox"/>	
	iii. Historic neighbors	<input checked="" type="checkbox"/>	
	iv. Connectivity	<input checked="" type="checkbox"/>	
b. Site	i. Orientation	<input checked="" type="checkbox"/>	i. Building orientation is reminiscent of former St. Al's building iii. Reference to some historic elements
	ii. Unique features	<input checked="" type="checkbox"/>	
	iii. Historic elements	<input checked="" type="checkbox"/>	
	iv. Additions	<input checked="" type="checkbox"/>	

2.

Goal:
Public Realm

Objective	Criteria		Notes
a. Active Ground Floor	i. Tall and clear ground floor	<input checked="" type="checkbox"/>	ii. Strategically uses street edge to activate the space, parking located in interior
	ii. Street edge	<input checked="" type="checkbox"/>	
	iii. Active uses	<input checked="" type="checkbox"/>	
	iv. No blank walls	<input checked="" type="checkbox"/>	
b. Build for People	i. Engaging spaces	<input checked="" type="checkbox"/>	i. Outdoor dog run and grilling patio are engaging spaces iv. Great focus on internal pedestrian walks
	ii. Accessible spaces	<input checked="" type="checkbox"/>	
	iii. Built-out site	<input checked="" type="checkbox"/>	
	iv. Pedestrian connections	<input checked="" type="checkbox"/>	
c. Mitigate Impacts	i. Vehicle parking	<input checked="" type="checkbox"/>	i. Covered parking offers thoughtful screening
	ii. Utilities and services	<input checked="" type="checkbox"/>	
	iii. Lighting	<input checked="" type="checkbox"/>	
	iv. Fencing	<input checked="" type="checkbox"/>	

3.

Goal:
Quality

Objective	Criteria		Notes
a. Building	i. Quality materials	<input checked="" type="checkbox"/>	i. Good mix of high-quality materials iv. Quality design along Greenfield Ave
	ii. Ground floor	<input checked="" type="checkbox"/>	
	iii. Exterior features	<input checked="" type="checkbox"/>	
	iv. Quality design	<input checked="" type="checkbox"/>	
b. Environment	i. Natural features	<input checked="" type="checkbox"/>	i. Strong focus on dense landscaping features; potential to scale back parking to reduce impervious surfaces
	ii. Manage stormwater	<input checked="" type="checkbox"/>	
	iii. Reduce impervious surface	<input checked="" type="checkbox"/>	
	iv. Embody sustainability	<input checked="" type="checkbox"/>	

West Allis Design Review Guidelines 19

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for F Street 92, LLC, a proposed 5+ Unit Dwelling use, at 1405 S. 92nd St. (Tax Key No. 450-0502-000) and Certified Survey Map to split the existing parcel at 1405 S. 92nd St. into two parcels. (Tax Key No. 450-0502-000) subject to the following conditions:

1. Common Council approval of the Certified Survey Map subject to technical corrections.
2. Revised Site, Landscaping, and Architectural plans submitted to show the following: a) at least 28 indoor bicycle parking spaces and show location of outdoor bicycle parking to comply with Sec. 19.44 Vehicle Parking; (b) The provision of one EV charging station in the parking plan; (c) Updated elevations to reflect the enhanced façade rendering details for the garden apartments and mid-rise buildings; (d) increase landscaping screening for the southern parking lot and overall plan subject to City Forester review approval; (e) coordination with City Forestry on adding and/or replacement of street trees around the site; (f) fence details for the overall site, and replacement of chain link fencing with a more decorative variety of fencing; (g) submission of refuse enclosure plan details; (h)

submission of retaining wall type, height, and grading details; (i) grading plan with respect to the slope of the driveway entrance to the underbuilding parking.

3. Documentation and approval showing compliance with the City of West Allis Stormwater Management Ordinance, to be submitted to the Building Inspections and Neighborhood Services Department by a registered Civil Engineer. A stormwater permit must be obtained from the City Building Inspector. Contact Mike Romens, Building Inspector, at 414-302-8413.
4. Planned work or modifications within City right-of-way shall be coordinated with City Engineering:
 - a) traffic impact memo being prepared for City Engineering to indicate vehicle trips given change in use.
 - b) driveway permits being applied for and obtained through City Engineering for proposed modifications, and;
 - c) The northern entrance on S. 92 St. should be a right in/right out situation and the island extended to prevent left turns from the driveway nearest the intersection with W. Greenfield Ave.
5. Signage and site lighting plan being submitted for design review.

Project Description

Project will be submitted and completed in two phases; garden-style and multi-family, a total of 143 units combined.

- (2) two-story residential garden-style buildings, located within the southern half of the property. Buildings are mirror images of each other. (42) units combined, a mix of studios, one-bedroom, two-bedroom, and three-bedroom units.
 - Project completion estimated by quarter-three 2026.
- (1) four-story residential multi-family building, located within the northern half of the property. One level of parking below. (101) total units, a mix of junior-one bedroom, one-bedroom, two-bedroom, three-bedroom units. Building also houses various amenity spaces shared with both southern garden-style residences.
 - Project completion estimated by quarter-two 2027.
- Tenants will have shared amenities (controlled access and secured) for tenants that could include an indoor Clubroom, Fitness Center, Dog Wash Station, Outdoor Seating (at grade, porch and/or terraces), Gas Grills (at grade), a Gas Fire Pit (at grade) and an outdoor fenced Dog Run area. A Leasing / Property Management Team will have offices located on the first floor of the proposed four (4) story Multi-Family Bldg.
- The Shared Amenities will have set hours that yet to be determined / confirmed with any outdoor areas adhering to all/any federal / state / municipal laws, ordinances and/or neighborhood requirements for use, noise and curfew. The Property Management team members that will be located onsite work hours are yet to be determined / confirmed but will likely be Monday – Friday 8/9am to 5/6pm, with the Leasing Agent scheduling meetings and walk-throughs with potential tenants as needed up to seven (7) days a week.

MEMORANDUM

DATE: 7/17/2025
 TO: City of West Allis
 CC: Ryan Neidinger – RINKA
 PROJECT: 92nd and Greenfield Multifamily
 PROJECT NO.: 24101
 RE: Responses to City Staff Plan Commission Comments

92 & Greenfield Ave.St Al' s Redevelopment Planning comments 7-8-25 PLAN-25-44 - OpenGov

CSM

1. The CSM will need to be applied for separate from the Design review. Use the following link to apply:
 Planning Application - City of West Allis, WI
RINKA Response: Noted. The CSM was submitted on July 8th, Planning Application #PLAN-25-44. The design and engineering team have updated the owner information.
2. City Certificate Page
 - a. Common Council approval part: Eliminate Rebecca Grill and Replace with Erin M. Hirn, MPA, City Administrator
 - b. Eliminate Plan Commission approval part
RINKA Response: City admin task, no action for design team.

Garden Apartments Site Plan

3. Garden Apartments - Density of the overall development has been reduced by 8 units. 69 parking stalls are provided off-street. This includes 20 new parking spaces that have been added on the south end of the site. While the parking ratio doesn't exceed the parking maximum of the zoning code, our preference would be for more units vs more parking. Please provide more info on striking the density vs parking balance in the decision to reduce the number of units.
RINKA Response: Correct. Between the initial site plan and the plan commission submittal, the overall unit count was reduced by 8 garden style (GS) units. This change was in response to feedback from the leasing team, who indicated that larger GS units with attached garages are far more favorable to prospective renters. By reducing the units, and incorporating more attached garages, we were able to increase the ratio of attached garages, better-meeting market needs. Note that since the submission, the overall unit count has increased by 4 mid-rise (MR) units, totaling total 147. This helps with density across the site, while also considering parking ratio between building types. Refer to attached revised plan excerpts.
4. Will take a closer look at landscaping considerations on site. On the south end staff would recommend species to buffer parking from residences to the south.
RINKA Response: Refer to response #5.

5. South end of site - Existing currently is a chain link fence, perhaps a more decorative opaque fencing option could be utilized to provide more privacy. Ensure proposed landscaping will screen parking lot and lines of sight.

RINKA Response: A combination of screening landscape and/or 5' cedar fence is being considered along the southern property line.

6. Grades: what are the grades between public sidewalk and private garden apartment walks (at sidewalk intersections). How does accessibility factor in with steps/grade difference?



RINKA Response: The above image is for graphic representation only. Refer to civil drawings for grading information. The proposed private sidewalks are accessible, and offer multiple connections to the existing sidewalks (to remain).

7. Is the accessible walkway striping shown in between buildings intended or just shown for reference. Maintenance over time, method of install (milled in pavement or just painted).

RINKA Response: The striping denotes accessible access across the site, and will be painted and maintained by owner.

8. Refuse enclosure details

RINKA Response: Steel framed, aluminum panel, 6'-6" tall trash enclosure and gate system, to allow water drainage throughout site.

9. Fencing type and height detail

RINKA Response: Refer to response #5.

10. Retaining wall type and detail

Pinnacle Response: Landscape block, color to compliment the building.

Garden Apartment Architectural Plan

11. Garden Apartments – on the south elevation of building A and B what are the large panels labeled as wood nickel gap siding?

RINKA Response: This was an annotation error. The arrow was intended to point to the wall cladding. Panels in question represent gas/electric meter locations. Further coordination with We Energies is required.

12. Are more detailed floor plans of each unit available for reference/review?

RINKA Response: Refer to attached typical GS unit plans.

13. How are the undersides of the balconies being finished (ex. Aluminum soffit or exposed structure)?

RINKA Response: Exposed wood structure, painted or stained to achieve design intent.

14. Bicycle Parking: The plans should indicate not only the location of bicycle parking, but also how many parking spots they're providing. According to our regulations for indoor bicycle parking, they need to hit the "1 parking spot for every 5 residential units" requirement. They would need 28 bike parking spaces at their current unit count of 143.

RINKA Response: Could the City confirm where this regulation lives, so design team can reference it in the future? Information was not present at initial time of submission.

Bicycle parking is being considered separately at each of the building types.

- 22 GS units have private garages for bike housing, with room for private bicycle storage. Surface parked GS tenants will utilize exterior bicycle racks, to be provided on-site.
- The MR building will provide space for 21+ bicycle parking in the underground garage (105 MR units / 5 units/bicycle). The remaining MR unit tenants will utilize exterior bicycle racks, provided on-site.

15. Provide location of details of AC units.

RINKA Response: AC units to be of standard residential size, located on Level 01, within building recesses, screened with plantings. Refer to plans.

Mid-Rise Site Plan

16. On S. 93 St. side there is an existing asphalt terrace in front of the school. Recommended this area be replaced with grass. Coordinate with City Forestry on street trees.

RINKA Response: This area will be replaced with grass, as requested.



17. Refuse enclosure details

RINKA Response: Steel framed, aluminum panel, 6'-6" tall trash enclosure and gate system, to allow water drainage throughout site.

18. Fencing type and height detail

RINKA Response: Dog run/grilling patio to have 4'-0" aluminum picket style fence and gate system.

19. Retaining wall type and detail

RINKA Response: Retaining walls will be cast in place cantilevered retaining walls on each side of the parking ramp, height to account for grade change from street level to underground parking.

20. Submit a rooftop unit plan (RTU) to show location and determine if screening is necessary.

RINKA Response: Rinka to provide rooftop plan. MR building will have some units with internal mini-split systems. All other units will have rooftop AC units, of a standard residential size, located along central spine of building away from parapets and sight lines.

Mid-Rise Architectural

21. NE Corner first floor units built into grade. The appearance looks compressed. Design solution to offer more vertical or elevated appearance above adjacent sidewalk grade. First floor level be increased in height?
RINKA Response: The first-floor elevation has been thoroughly studied/coordinated with the steep grading and balances the needs throughout the site. The floor height incorporates the underground parking ramp function, minimizes excessive exposed foundation wall along 93rd street, and provides an accessible path of egress to the rear/main resident entrance and adjacent Gonzaga parking (to remain). The design team is proposing to relocate the main entrance to the NE corner, which will result in a more active / glassy street presence. The previous lobby location at the NW corner will be a private terrace, facing the slower-paced 93rd Street.
22. NE Corner and SE corner more windows or looking for a bit more presence primarily NE corner with that intersection.
RINKA Response: Refer to response #21. Also, NE corner will house a permanent historic memorial to St. Aloysius church and school.
23. Page labelled PC-12: South elevation – plain façade. The elevations covered on this page are so plain and flat compared to others, which contain articulations, balconies, color accents, etc. Please reconsider integrating some articulation or accents (ex. Color accents, wood panels. Understood that balconies aren't proposed on this side due to Gonzaga Village, but this side of the building (especially SE near S. 92 St.) is particularly very plain in terms of façade design.
RINKA Response: Noted. RINKA to incorporate additional articulation, similar to massing along 93rd St.
24. Are more detailed floor plans of each unit available for reference/review?
RINKA Response: Refer to attached typical MR unit plans. Atypical corner units are yet to be fully developed.

Stormwater

25. Complete stormwater checklist
Pinnacle Response: We will submit this with the final stormwater design.

Site & building Lighting

26. Will a separate exterior lighting plan be submitted for review?
RINKA Response: Refer to progress photometric plan, which was included in the Plan Commission submission. A revised layout will be provided, after site plan modifications are finalized.
27. Exterior building architectural accent lighting and pedestrian walkway/path lighting, entry points, garage areas...
RINKA Response: Refer to response #26.
28. Full cut of fixtures recommended. Ensure light does not splay from vehicles onto neighboring residences, and especially within the new parking lot on south side of the property.
RINKA Response: Design team will work with lighting distributor to ensure no light spillage occurs on site.

DPW/Engineering Coordination

29. We'll be seeking coordination with City Forestry and Engineering to evaluate improvements within right-of-way. Example - evaluate sidewalk conditions/improvements, street trees (some look pretty sad along S. 92 St.), driveway closures...

Pinnacle Response: We are happy to work with staff on necessary streetscape improvements. Please provide a markup with initial thoughts for discussion.

30. Please clarify driveway entrance directionals. Need confirmation of whether each driveway will be a right-in right-out or multi-directional.

RINKA Response: Refer to architectural site plan for intended directionals.

31. Extend the median island along 92nd to make the entrance immediately adjacent to median a right-in right-out only, leaving the second entrance multi-directional.

Pinnacle Response: This can be accommodated assuming the raised median is extended within the painted median only and no roadway widening is required.

32. Confirm grading details on site: Specific concerns regarding the grading of the entrance to covered parking – how likely is it that cars may scrape upon entering/exiting?

Pinnacle Response: PEG will create a design out that incorporates a transition at the driveway to avoid too severe of a grade change. This will be shown on the final paving plans.

33. Please submit a stormwater management plan for review.

Pinnacle Response: This will be completed with the final plans. The stormwater focuses on water quality only and will consist of Upflo filters only, which fit in a standard manhole, therefore no space allocation is needed on the site plan to meet stormwater needs.

Site & building Lighting

34. Confirm roofing construction materials used.

RINKA Response: Asphalt shingles at GS, EPDM at MR.

35. Add standpipes along roof or internally for additional fire house connections.

RINKA Response: Standpipe is anticipated.

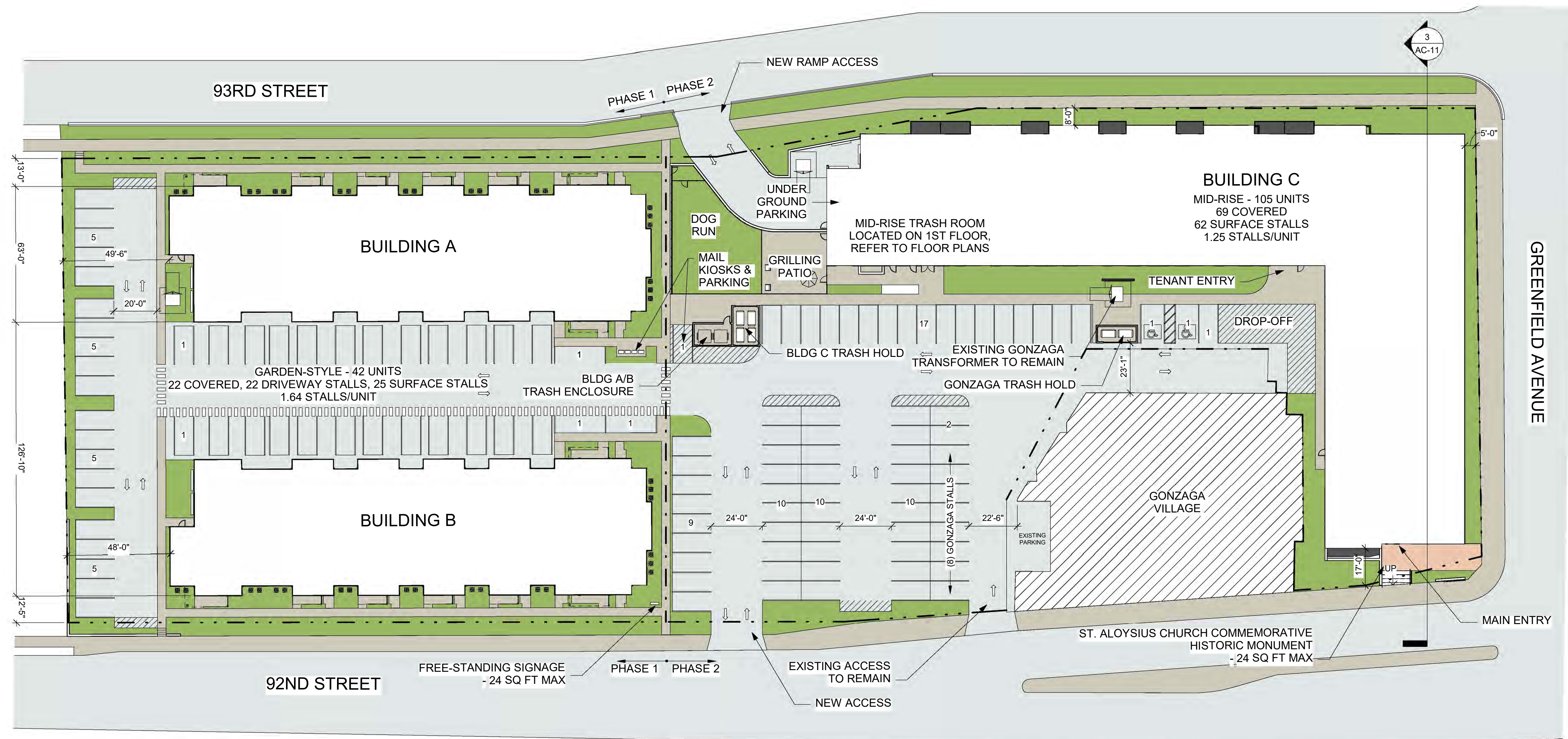
BY: Ryan Neidinger – Project Delivery Manager
RINKA



92ND & GREENFIELD MULTI-FAMILY



RINKA+



ARCH - CIVIL FFE

BUILDING A: ARCH: 100'-0" | CIVIL: 186.10
BUILDING B: ARCH: 100'-0" | CIVIL: 186.70
BUILDING C: ARCH: 100'-0" | CIVIL: 190.00

1 ARCHITECTURAL SITE PLAN
1" = 30'-0"

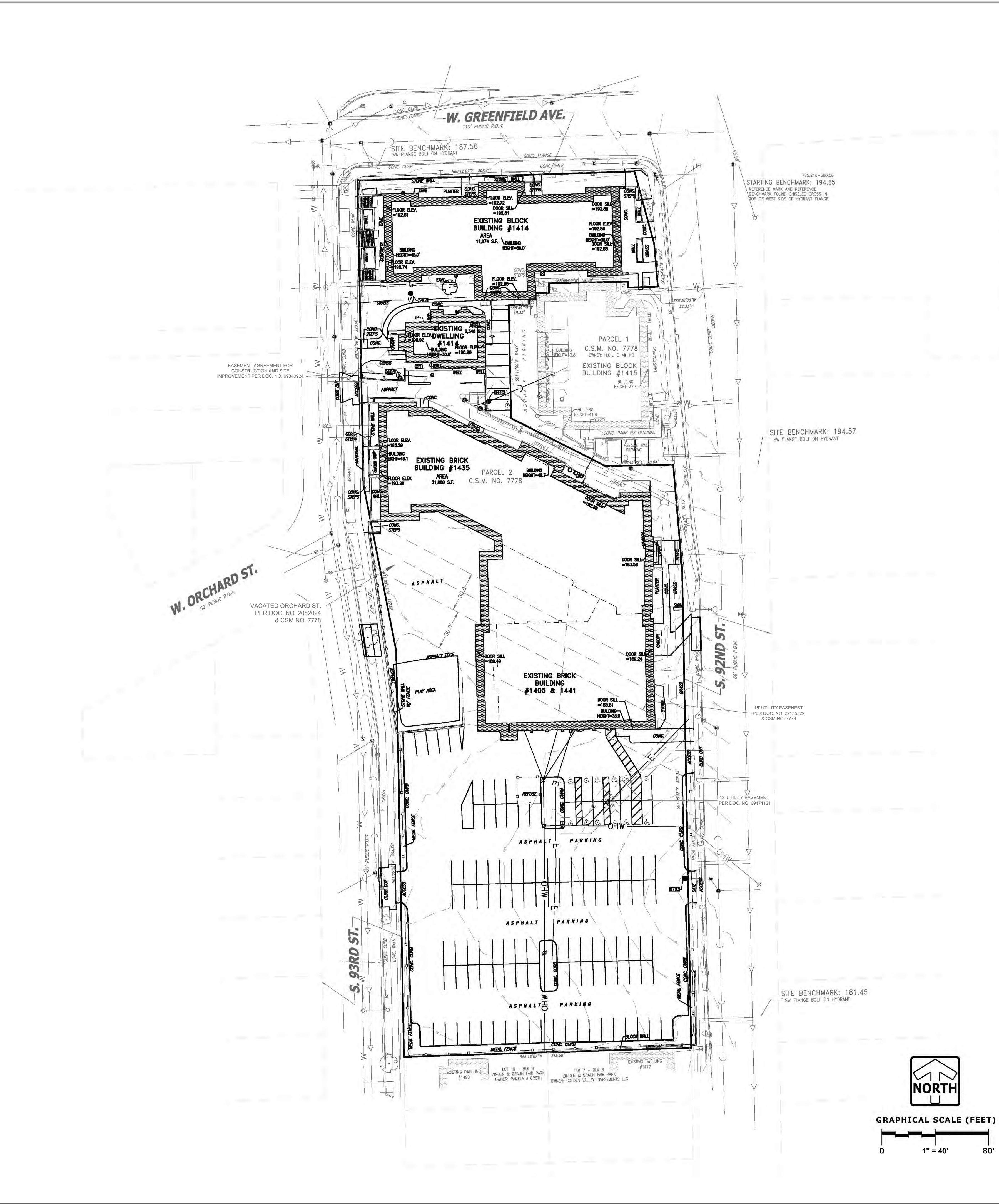




BUILDING C RENDERING PC-14



BUILDING C RENDERING PC-15



LEGEND			
SANITARY MANHOLE	Ⓢ	STORM SEWER	—>
STORM MANHOLE	Ⓢ†	WATER MAIN	—W—
INLET	Ⓢ†	LIGHTING	⚡
CATCH BASIN	Ⓢ†	ELECTRICAL CABLE	—E—
WATER VALVE	Ⓢ†	UTILITY POLE	⚡
FIRE HYDRANT	Ⓢ†	GAS VALVE	⚡
SANITARY SEWER	—>	STREET SIGN	—S—
OVERHEAD WIRE	—OHW—	CONTOUR	—7.59—
GAS MAIN	—G—	EASEMENT LINE	—E—

CONTRACTOR RESPONSIBILITY:

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

COORDINATE UTILITY REMOVAL WITH APPROPRIATE UTILITY COMPANIES

GENERAL SITEWORK DEMOLITION:
CONTRACTOR TO REMOVE ALL SITE FEATURES THAT INTERFERE WITH NEW DEVELOPMENT INCLUDING BUILDINGS, ASPHALT, CONCRETE, CURB, FENCES, LIGHT POLES, UTILITIES, TREES, LANDSCAPING, FOUNDATIONS. FOUNDATIONS SHALL BE REMOVED TO 1 FOOT BELOW EXISTING GRADE. CONTRACTOR SHALL COORDINATE REMOVAL OF UTILITIES WITH CITY AND UTILITY COMPANIES. SOME UTILITIES MAY BE ABANDONED IN PLACE. ALL LATERALS TO BE ABANDONED SHALL BE ABANDONED PER CITY REQUIREMENTS. TURN WATER SERVICE VALVES OFF. SEWER AND WATER LATERALS MAY BE REUSED. CAP AND MARK IF ENCOUNTERED ON SITE. PROTECT SITE FEATURES AND UTILITIES WHICH ARE TO REMAIN FROM DAMAGE. CONTRACTOR MAY ELECT TO PULVERIZE EXISTING ASPHALT AND REUSE ON SITE. IF DONE, ASPHALT SHALL BE PULVERIZED AND MIXED INTO THE EXISTING STONE BASE. ANY DISTURBED GRASS AREAS SHALL BE RESTORED WITH NEW SEEDING.

△ Revisions

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92ND & GREENFIELD
MULTIFAMILY

92ND & GREENFIELD
Date Issued: 07/03/2025
RINKA project #: 24101
Sheet Title

EXISTING CONDITIONS
& DEMOLITION PLAN

Sheet # C-01

2024

RINKA+

756 North Milwaukee Street, Suite 250
Milwaukee, Wisconsin 53202
p 414.431.8101

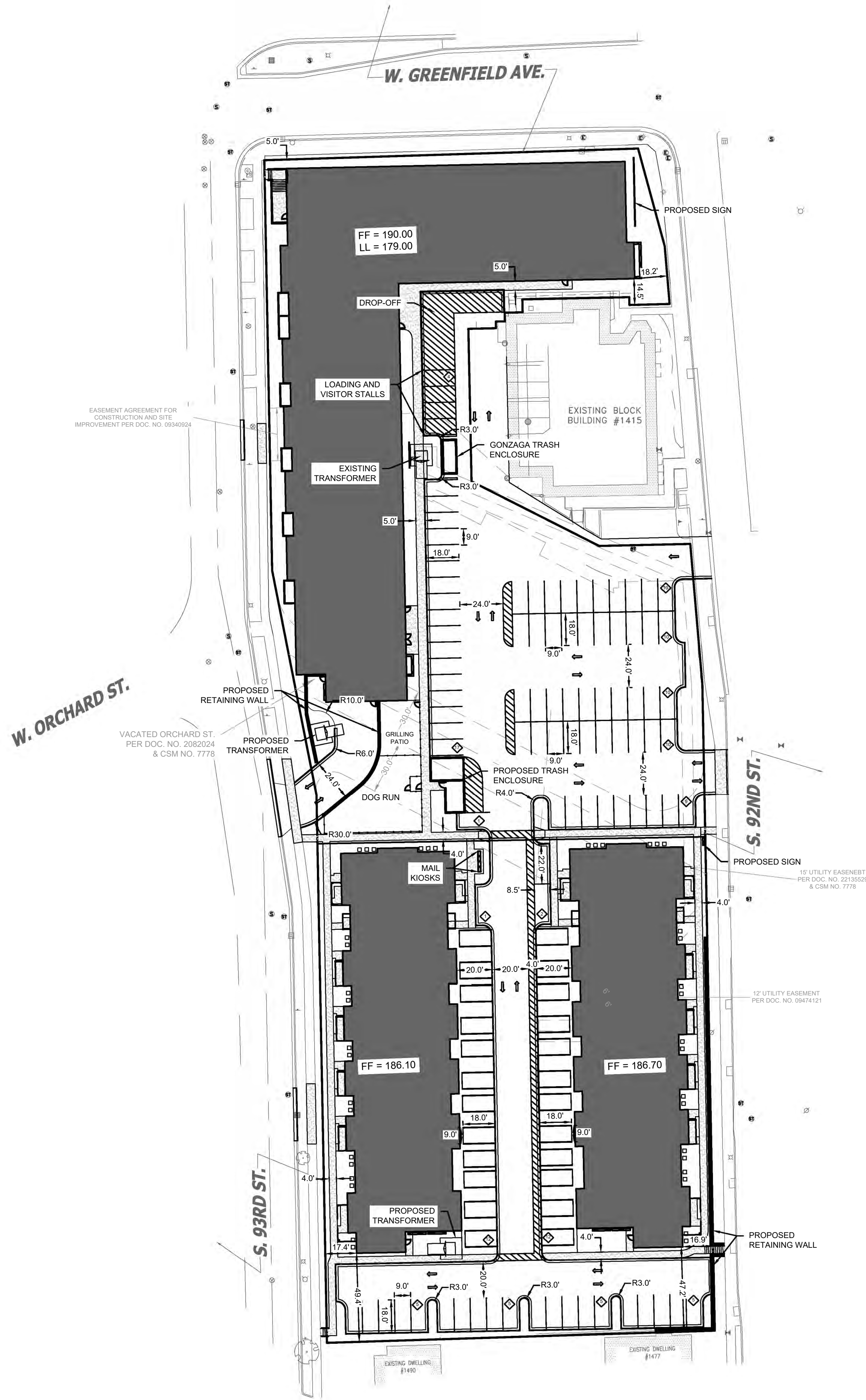
PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING
PLAN | DESIGN | DELIVER

WISCONSIN OFFICE:

20725 WATERTOWN RD
BROOKFIELD, WI 53186
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE
PEG JOB #: 6454.00



LEGEND	
	REGULAR DUTY PAVEMENT (SEE DETAILS)
	CONCRETE SIDEWALK (SEE DETAILS)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA TABLE	
TOTAL AREA: 130,677 SF (3.00 AC)	
EXISTING PERVIOUS AREA: 13,590 SF (0.31 AC)	
EXISTING IMPERVIOUS AREA: 117,087 SF (2.69 AC)	
PROPOSED PERVIOUS AREA: 18,590 SF (0.43 AC)	
PROPOSED IMPERVIOUS AREA: 112,087 (2.57 AC)	
PROPOSED PARKING STALL COUNT:	
- GARAGE/UNDERGROUND PARKING:	92 STALLS
- APRON OF GARAGE PARKING:	24 STALLS
- SURFACE PARKING:	94 STALLS
- TOTAL PARKING:	210 STALLS

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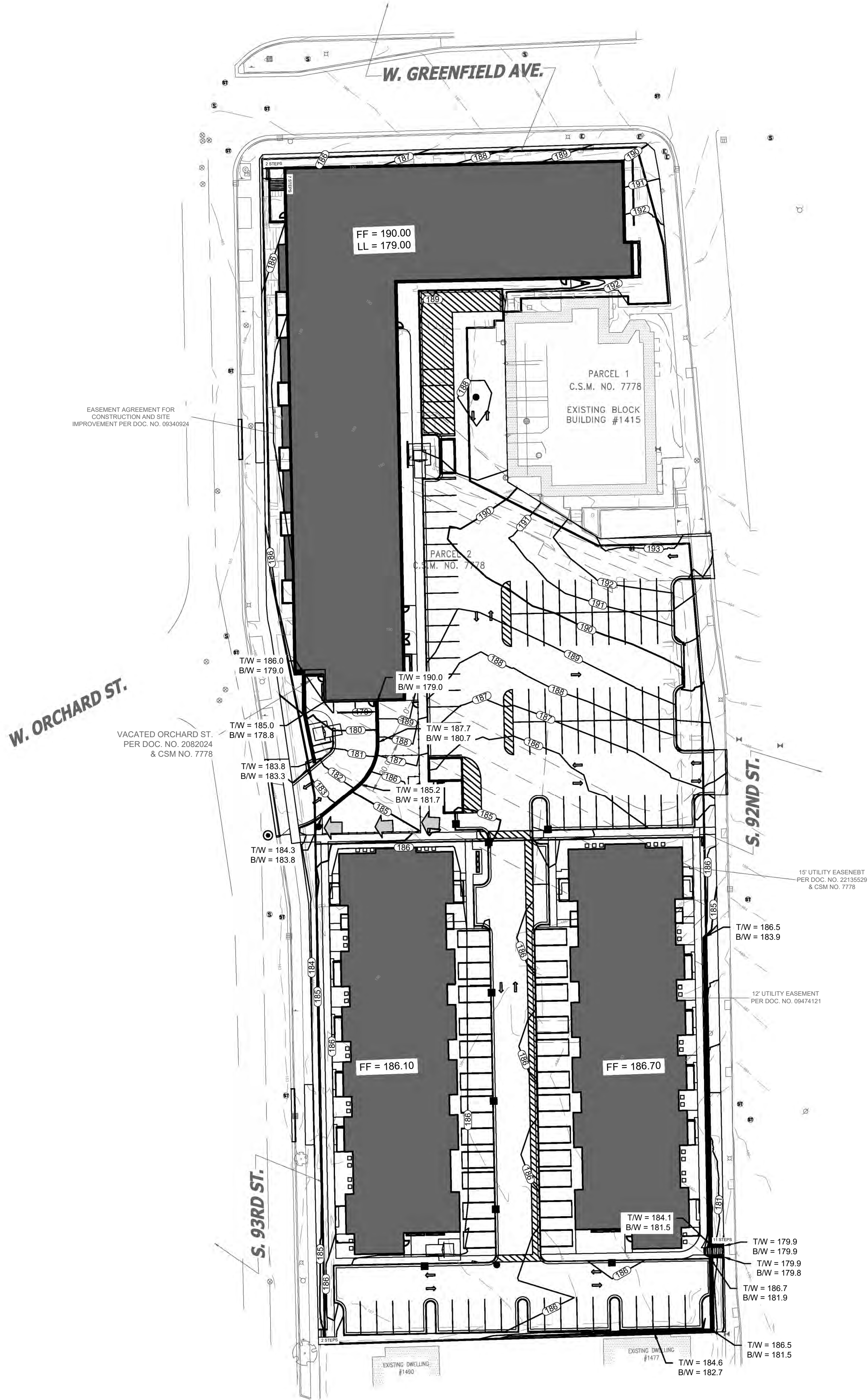
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RINKA project #: 24101
Sheet Title

SITE PLAN

Sheet #

C-02



LEGEND

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ◀ PROPOSED CONCRETE FLARED END SECTION
- ◀ PROPOSED CONTOUR
- ◀ EXISTING CONTOUR
- ➡ OVERFLOW RELIEF ROUTING

CONSTRUCTION SEQUENCE

- ALL WORK SHALL BE IN CONFORMANCE WITH THE DNR WPDES PERMIT AND CITY OF WEST ALLIS EROSION CONTROL PERMIT. SITE SEQUENCING IS ANTICIPATED BASED ON THE BEST INFORMATION AVAILABLE PRIOR TO CONSTRUCTION, DEVIATIONS FROM THE SEQUENCE MAY OCCUR WHEN THERE IS GOOD REASON TO DO SO. ALL CHANGES SHALL BE DOCUMENTED IN WRITING AND REVIEWED/APPROVED BY THE OWNER AND/OR ENGINEER IF NECESSARY.
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 2. REMOVAL OF ALL SITE FEATURES THAT INTERFERE WITH NEW DEVELOPMENT INCLUDING ASPHALT, CONCRETE, CURB & GUTTER, FENCES, LIGHT POLES, UTILITIES, TREES, LANDSCAPING & ANY FOUNDATIONS.
 3. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE. STABILIZE STOCKPILE BY MULCHING, VEGETATIVE COVER, TARP, OR OTHER MEANS IF REMAINING MORE THAN 20 DAYS.
 4. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS OR TEMPORARY SEDIMENT BASIN/TRAP AS NEEDED.
 5. BEGIN BUILDING CONSTRUCTION.
 6. INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
 7. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSE, PLACEMENT OF CURBS, PAVEMENT, WALKS, ETC
 8. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

△ Revisions

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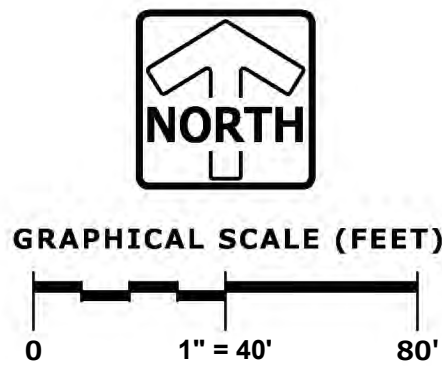
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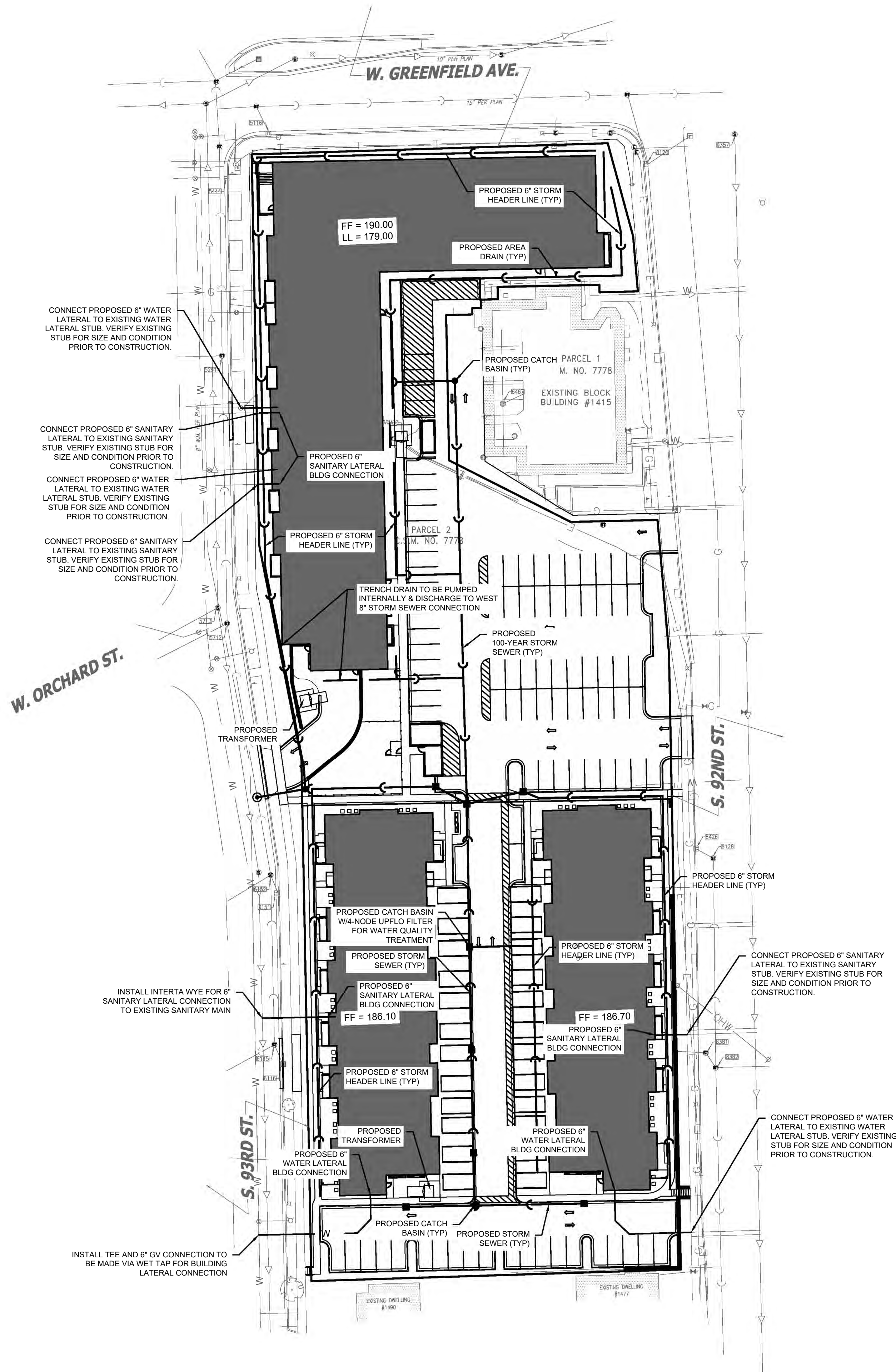
92ND & GREENFIELD
Date Issued: 07/03/2025
RINKA project #: 24101
Sheet Title

GRADING PLAN

Sheet #

C-03





LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN (ROUND CASTING)
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
	PRECAST CONCRETE FLARED END SECTION
	VALVE BOX
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	STREET SIGN

REFER TO CONSTRUCTION DETAILS
SHEET FOR ALL UTILITY RELATED
CONSTRUCTION DETAILS

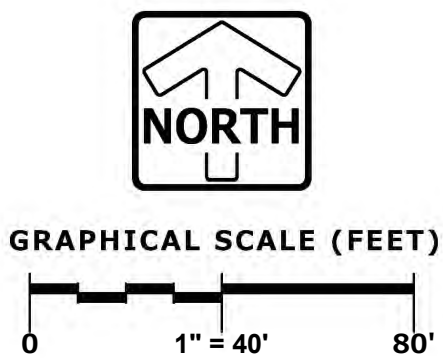
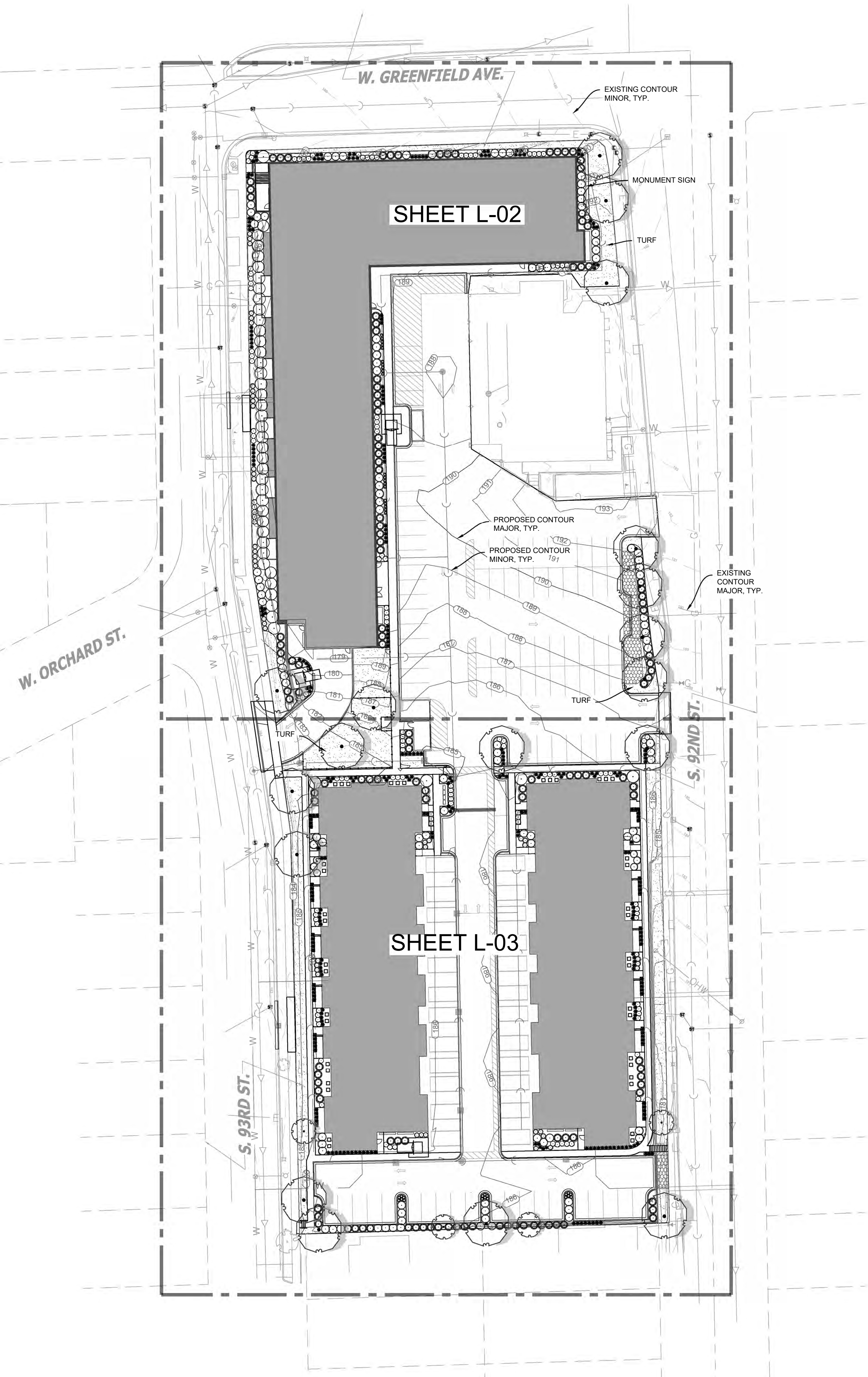
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RINKA project #: 24101
Sheet Title

UTILITY PLAN
Sheet #
C-04



CONCEPT PLANT SCHEDULE					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
	18	DECIDUOUS TREE	POSSIBLE SPECIES:		
		Acer x freemanii 'Autumn Fantasy'	Autumn Fantasy Maple	1.5' Cal.	50' T x 40' W
		Gleditsia triacanthos v. 'Skyline'	Skyline Hoeylocust	1.5' Cal.	45' T x 35' W
		Gymnocladus dioicus	Kentucky Coffee Tree	1.5' Cal.	50' T x 50' W
		Tilia tomentosa 'Sterling'	Sterling Silver Linden	1.5' Cal.	45' T x 35' W
	4	ORNAMENTAL TREE	POSSIBLE SPECIES:		
		Cercis canadensis	Eastern Redbud Multi-stem	7' Ht.	25' T x 25' W
		Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1" Cal.	25' T x 30' W
		Malus x 'Prairie Maid'	Prairie Maid Crabapple	1" Cal.	20' T x 25' W
		Malus x 'Sugar Tyme'	Sugar Tyme Crabapple	1" Cal.	25' T x 25' W
SHRUBS					
	19	LARGE EVERGREEN SHRUB	POSSIBLE SPECIES:		
		Juniperus chinensis 'J.N. Select Blue'	Star Power Juniper	4' Ht.	16' T x 8' W
		Juniperus scopulorum 'Moonglow'	Moonglow Juniper	4' Ht.	15' T x 8' W
		Thuja occidentalis 'BaliJohn'	Technito Arborvitae	4' Ht.	12' T x 5' W
	25	LARGE DECIDUOUS SHRUB	POSSIBLE SPECIES:		
		Aronia arbutifolia "Brilliantissima"	Brilliant Red Chokeberry	5 gal.	7' T x 6' W
		Cephalanthus occidentalis 'Ping Pong'	Ping Pong Buttonbush	5 gal.	8' T x 8' W
		Cotinus coggygria 'Nordine'	Nordine Smokebush	5 gal.	10' T x 10' W
		Magnolia liliiflora x stellata 'Ann'	Ann Magnolia	5 gal.	10' T x 10' W
		Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark	5 gal.	8' T x 8' W
	133	MEDIUM EVERGREEN SHRUB	POSSIBLE SPECIES:		
		Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.	5' T x 5' W
		Juniperus chinensis 'Sea of Gold'	Sea of Gold Juniper	3 gal.	3' T x 5' W
		Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	3 gal.	3' T x 5' W
		Taxus x media 'Tauntontii'	Tauton Yew	3 gal.	4' T x 5' W
	109	MEDIUM DECIDUOUS SHRUB	POSSIBLE SPECIES:		
		Hydrangea p. 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	3 gal.	6' T x 5' W
		Hydrangea quercifolia 'PIHQ-I'	Jetstream Oakleaf Hydrangea	3 gal.	5' T x 5' W
		Rosa rugosa 'Purple Pavement'	Purple Pavement Rugosa Rose	3 gal.	5' T x 5' W
		Syringa meyeri 'Palibin'	Dwarf Korean Lilac	3 gal.	5' T x 5' W
	44	SMALL EVERGREEN SHRUB	POSSIBLE SPECIES:		
		Juniperus sabina 'Buffalo'	Buffalo Juniper	2 gal.	1' T x 7' W
		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	2 gal.	3' T x 3' W
		Taxus x media 'Everlow'	Everlow Yew	2 gal.	3' T x 5' W
		Thuja occidentalis 'Congabe'	Fire Chief Arborvitae	2 gal.	2' T x 3' W
	123	SMALL DECIDUOUS SHRUB	POSSIBLE SPECIES:		
		Cotinus coggygria 'Lilla'	Lilla Dwarf Smoke Tree	2 gal.	4' T x 4' W
		Rosa x 'Coral Cove'	Coral Cove Rose	2 gal.	3' T x 3' W
		Syringa x 'SMNJRP'	Bloomingang Dwarf Pink Lilac	2 gal.	4' T x 3' W
		Weigela florida 'Dark Horse'	Dark Horse Weigela	2 gal.	3' T x 3' W
	302	TALL ORNAMENTAL GRASS	POSSIBLE SPECIES:		
		Andropogon gerardii 'Dancing Wind'	Dancing Wind Big Blue Stem	1 gal.	36" T x 30" W
		Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.	36" T x 24" W
		Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.	48" T x 24" W
		Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.	48" T x 36" W
		Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.	42" T x 28" W
	41	SHORT ORNAMENTAL GRASS	POSSIBLE SPECIES:		
		Deschampsia cespitosa 'Northern Lights'	Northern Lights Tufted Hair Grass	1 gal.	12" T x 12" W
		Eragrostis spectabilis	Purple Love Grass	1 gal.	24" T x 18" W
		Pennisetum alopec. 'B. B.'	Burgundy Bunny Dwarf Fountain Grass	1 gal.	12" T x 18" W
		Schizachyrium scoparium 'B. H.'	Blue Heaven Little Bluestem	1 gal.	30" T x 30" W
		Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.	15" T x 20" W
SHRUB AREAS					
	311	PERENNIALS	VARIOUS SPECIES	4.5' cont.	
TURF					
	9,584 sf	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix	seed	

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	SNOW STORAGE AREAS	857 sf

Revisions

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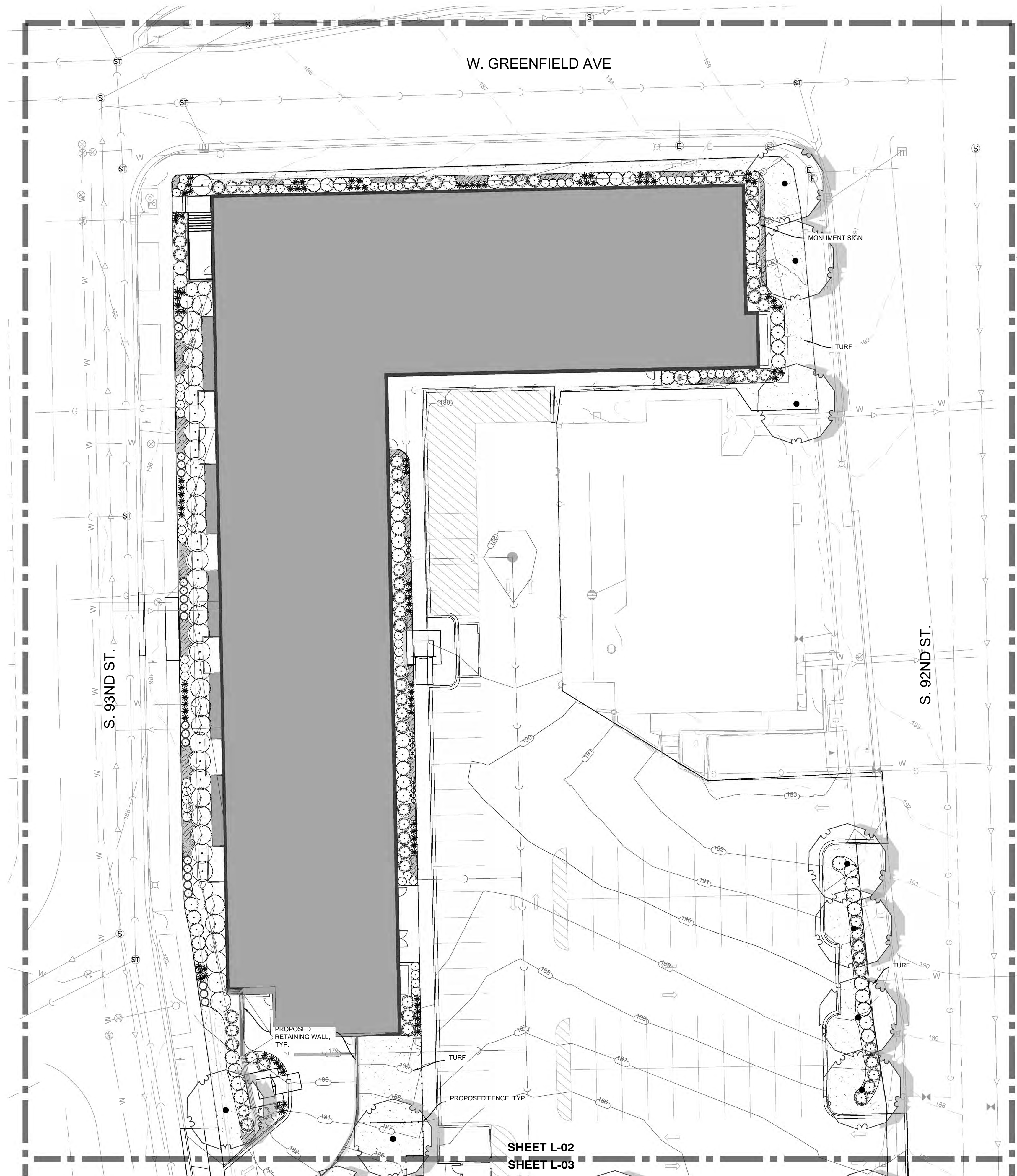
92ND & GREENFIELD
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Sheet Title

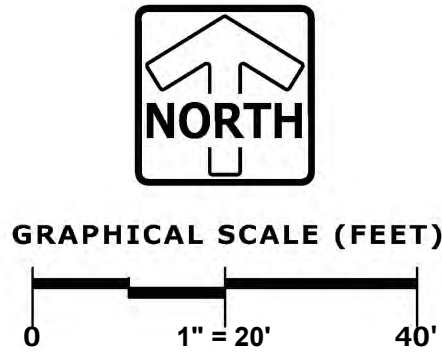
LANDSCAPE
OVERVIEW

Sheet #

L-01



CONCEPT PLANT KEY		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	DECIDUOUS TREE	FOR POSSIBLE SPECIES SEE L-1
	ORNAMENTAL TREE	FOR POSSIBLE SPECIES SEE L-1
SHRUBS		
	LARGE EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	LARGE DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	TALL ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
	SHORT ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
SHRUB AREAS		
	PERENNIALS	VARIOUS SPECIES
TURF		
	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix



△ Revisions

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GREENFIELD
MULTIFAMILY

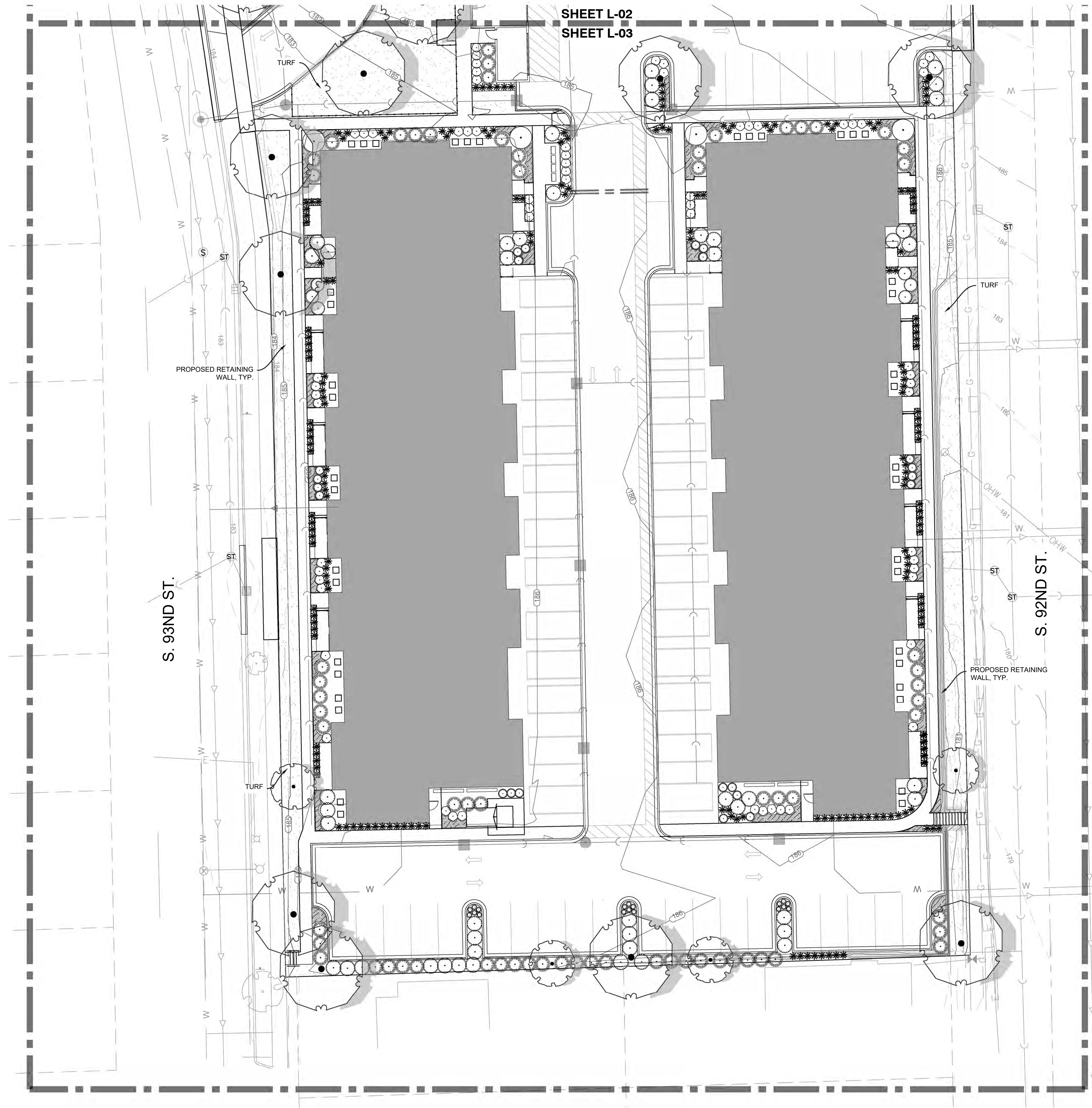
92ND & GREENFIELD
Date Issued: 05/02/25

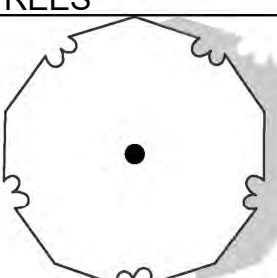
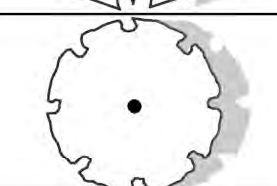
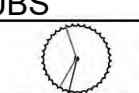
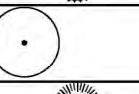
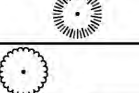
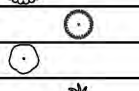

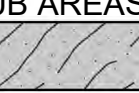
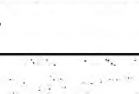
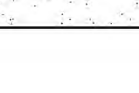


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Sheet Title

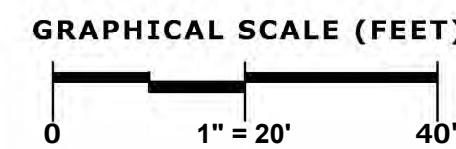
LANDSCAPE
ENLARGEMENT

Sheet #

L-02



CONCEPT PLANT KEY		
SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	DECIDUOUS TREE	FOR POSSIBLE SPECIES SEE L-1
	ORNAMENTAL TREE	FOR POSSIBLE SPECIES SEE L-1
SHRUBS		
	LARGE EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	LARGE DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	MEDIUM DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL EVERGREEN SHRUB	FOR POSSIBLE SPECIES SEE L-1
	SMALL DECIDUOUS SHRUB	FOR POSSIBLE SPECIES SEE L-1
	TALL ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
	SHORT ORNAMENTAL GRASS	FOR POSSIBLE SPECIES SEE L-1
SHRUB AREAS		
	PERENNIALS	VARIOUS SPECIES
TURF		
	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix



△ Revisions

FOR REVIEW ONLY

92ND &
GREENFIELD
MULTIFAMILY

92ND & GREENFIELD
Date Issued: 05/02/25

RINKA project #: 24101
Sheet Title

LANDSCAPE
ENLARGEMENT

Sheet #

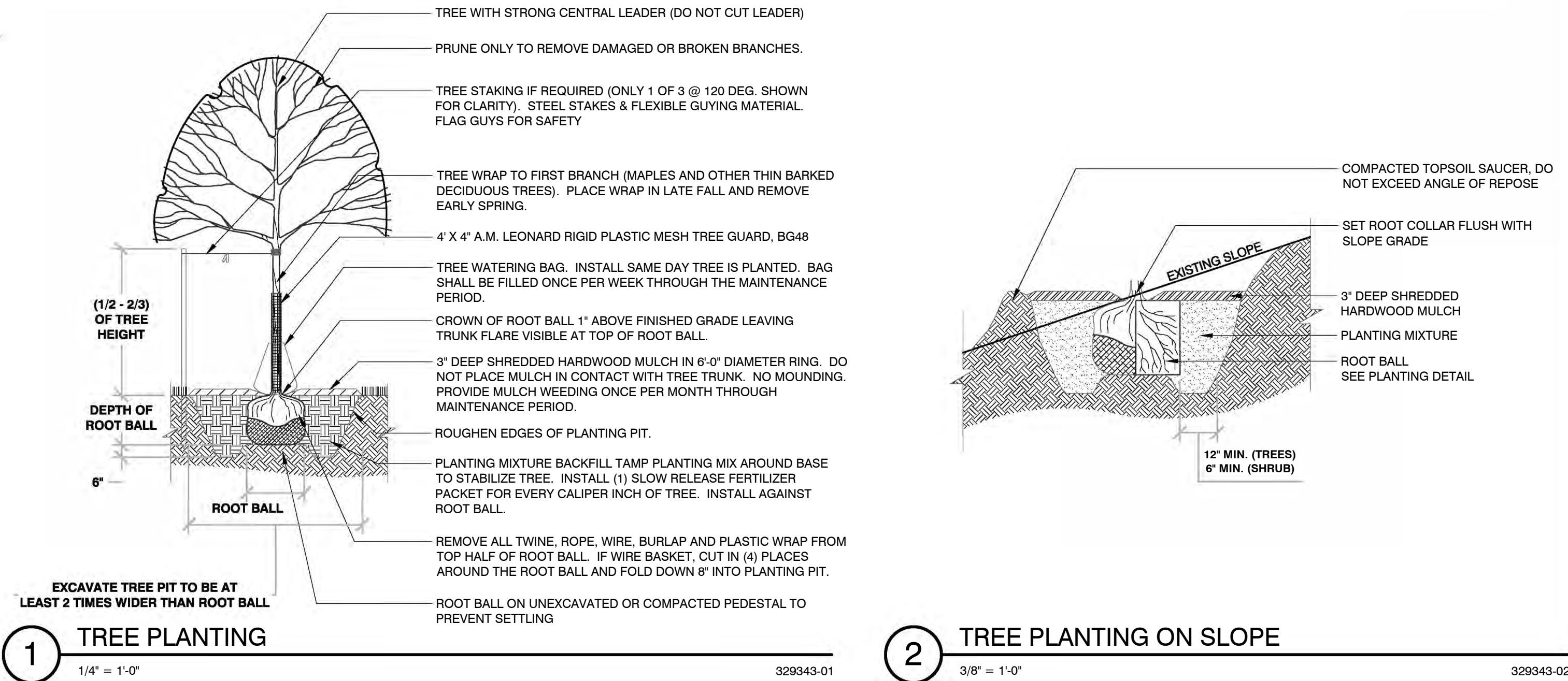
L-03

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDNESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDNESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MUTLI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{2}{3}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

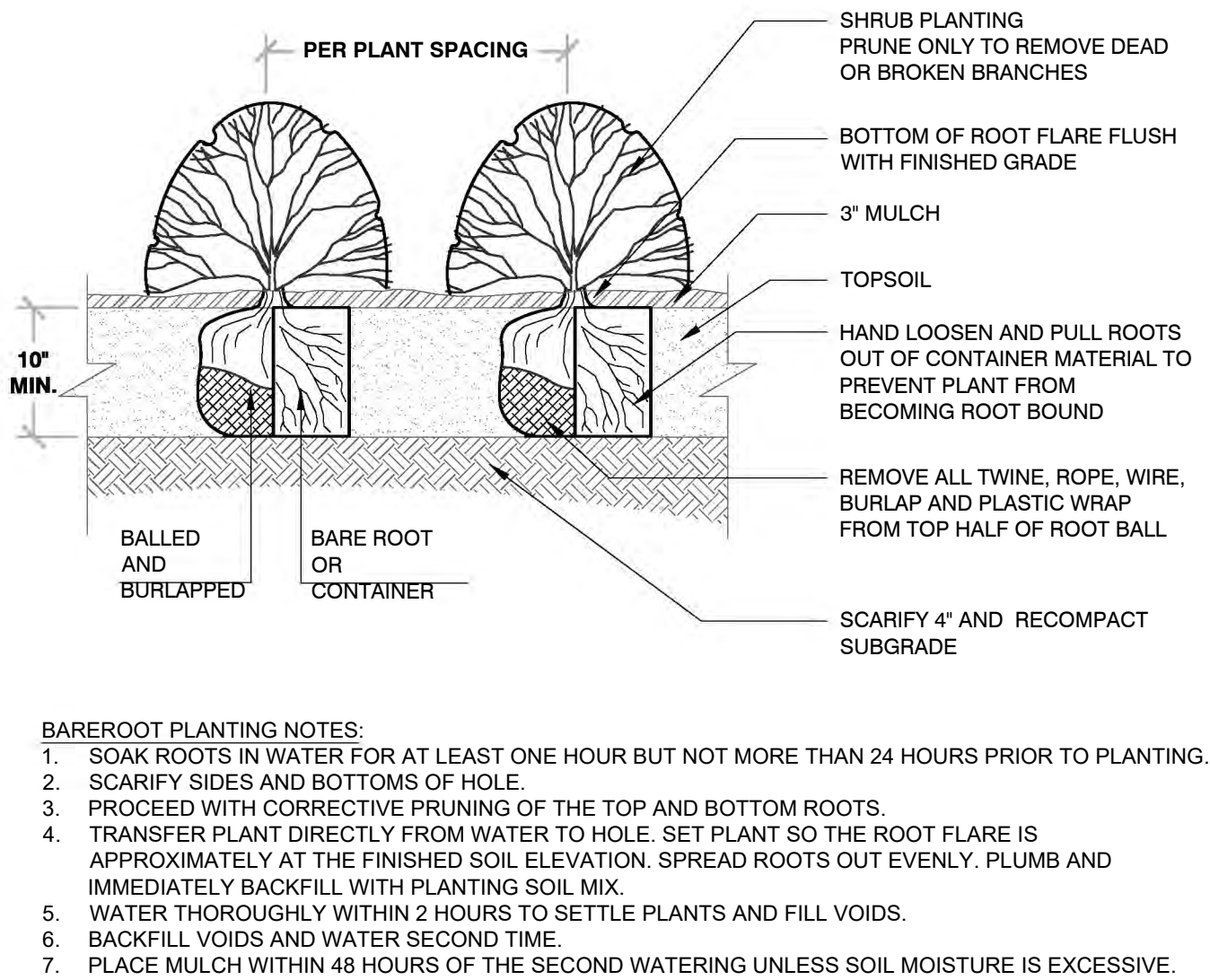
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1 TREE PLANTING

1/4" = 1'-0"

329343-01



2 TREE PLANTING ON SLOPE

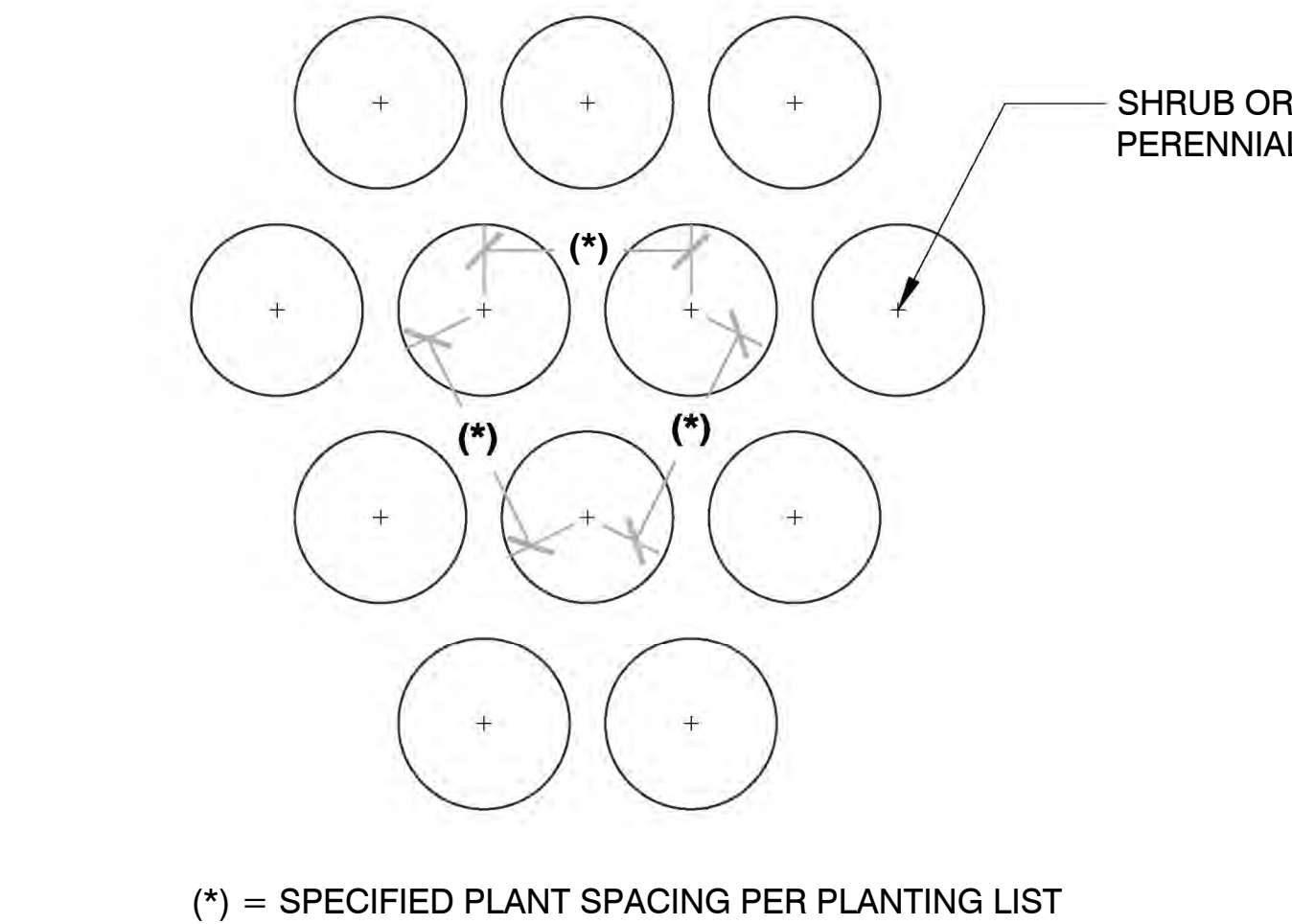
3/8" = 1'-0"

329343-02

3 SHRUB PLANTING

1/2" = 1'-0"

329333-02



5 PLANT SPACING

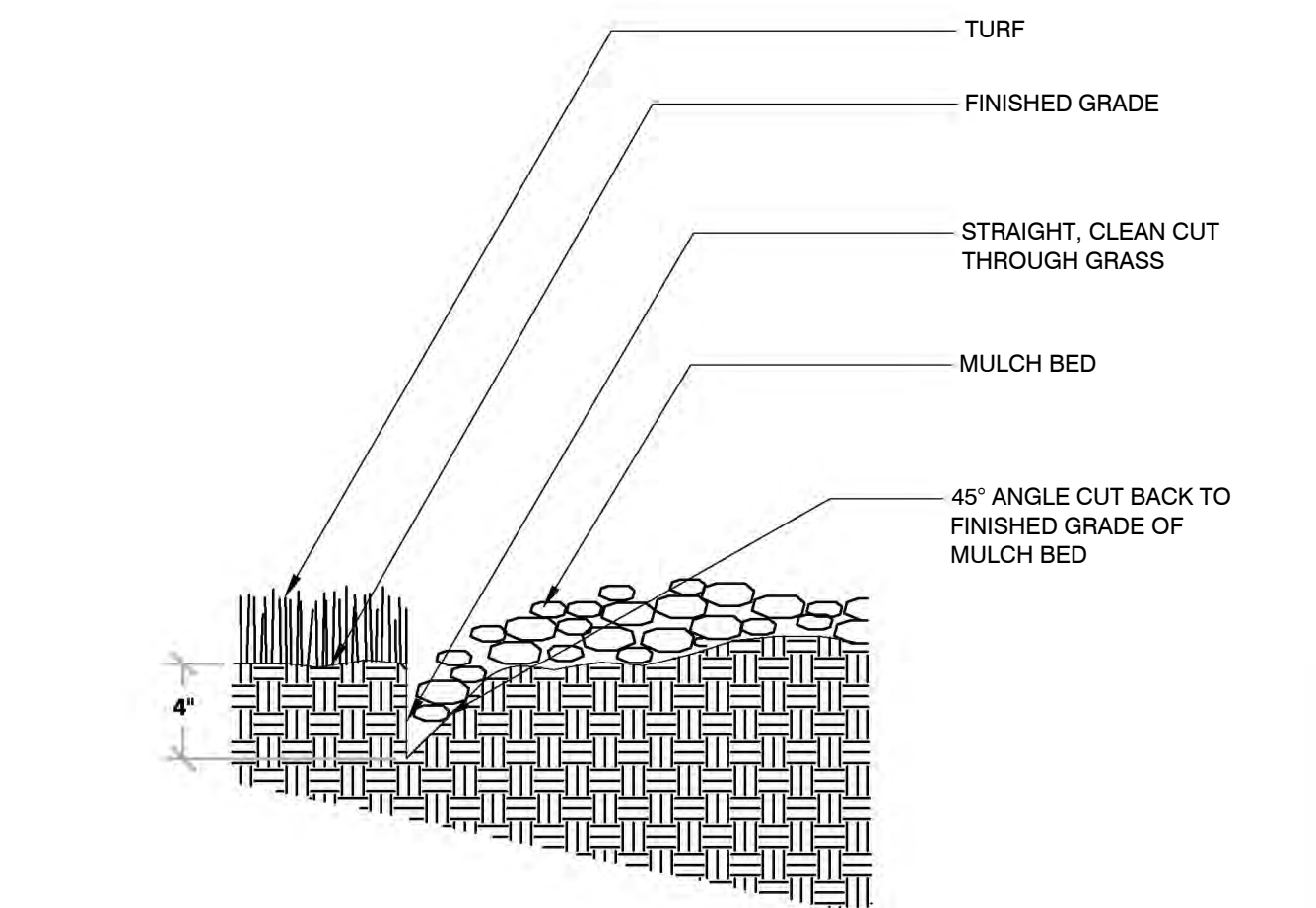
3/4" = 1'-0"

3293-02

4 PERENNIAL PLANTING

1" = 1'-0"

3293-01



6 TRENCHED BED EDGE

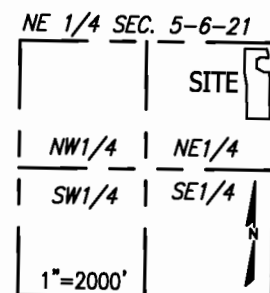
3/4" = 1'-0"

3293-03

A redivision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

Tax Key : 450-0502-000
Zoning: RC Residential District

- Denotes Found 1" Iron Pipe
- Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
- Denotes Found Cross
- Denotes Found Mag Nail



All bearings are referenced to the Wisconsin State Plane Coordinate System, South-zone in which the East line of the NE 1/4, Sec. 5 bears S01°05'56"E.



Survey No. 6454.00-lpm
Sheet 1 of 7 Sheets

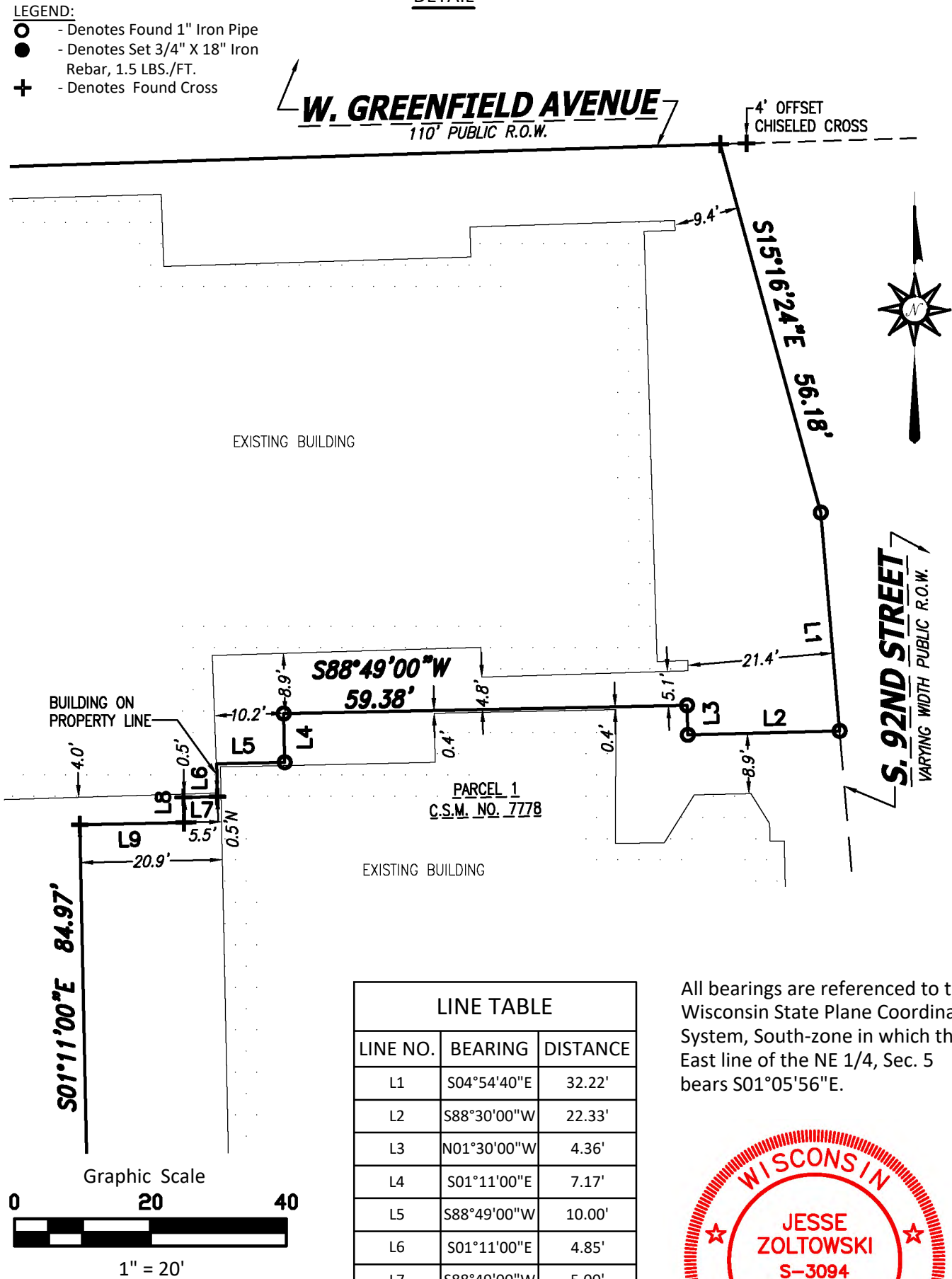
414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Jesse Zoltowski
Professional Land Surveyor S-3094

CERTIFIED SURVEY MAP NO.

A redivision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin.

DETAIL



CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

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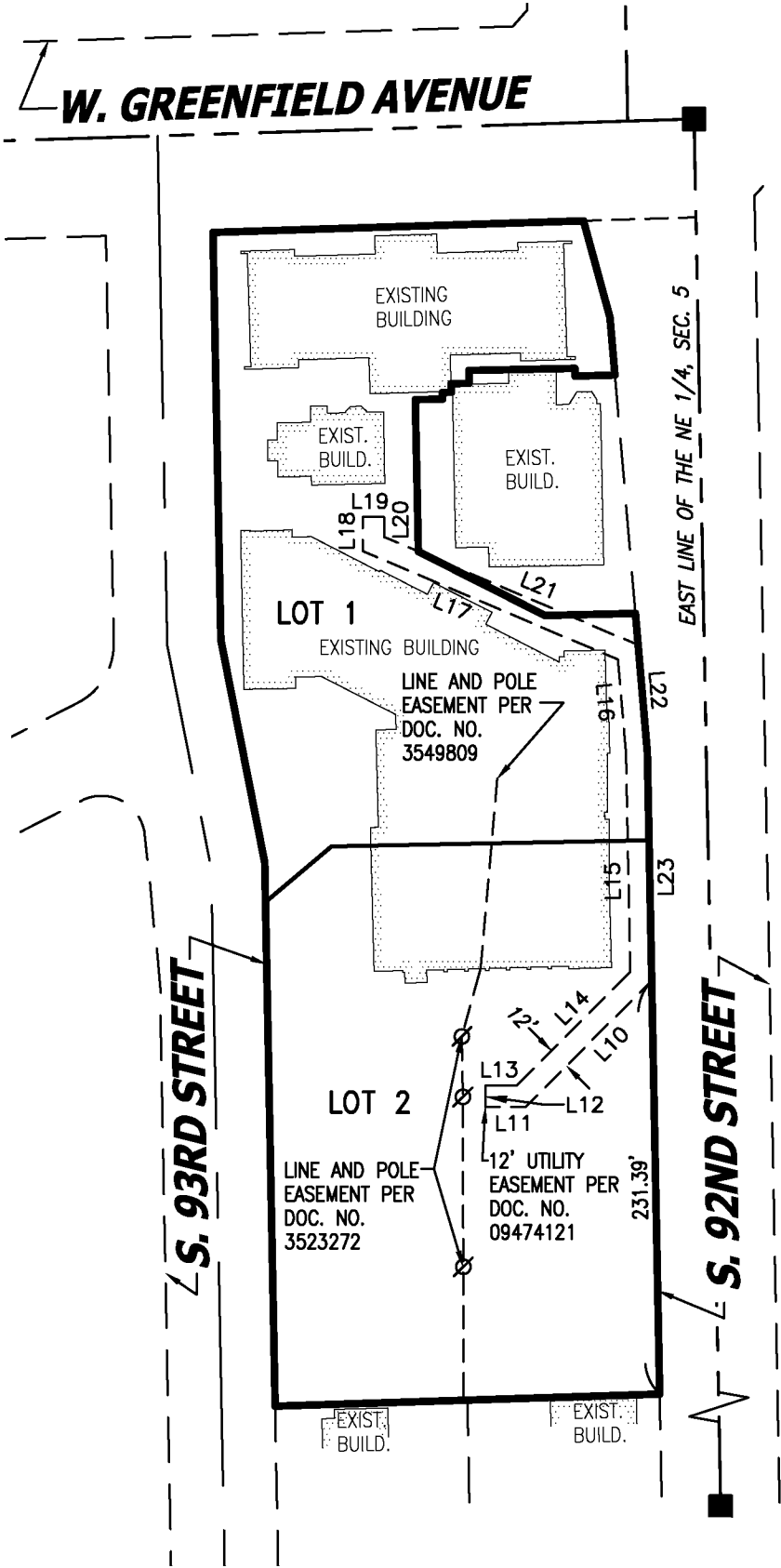


Date: June 30, 2025
Survey No. 6454.00-lpm
Sheet 2 of 7 Sheets

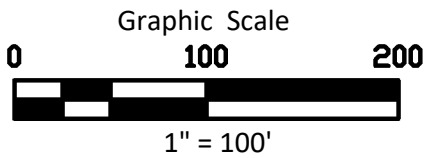
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EASEMENTS OF RECORD SHOWN FOR REFERENCE ONLY



LINE TABLE		
LINE NO.	BEARING	DISTANCE
L10	S45°00'00"W	100.04'
L11	N90°00'00"W	22.49'
L12	N00°00'00"E	12.00'
L13	N90°00'00"E	17.51'
L14	N45°00'00"E	89.96'
L15	N01°05'56"W	122.25'
L16	N04°54'40"W	52.90'
L17	N67°00'00"W	155.36'
L18	N00°00'00"E	18.97'
L19	N90°00'00"E	12.00'
L20	S00°00'00"E	11.03'
L21	S67°00'00"E	154.64'
L22	S04°54'40"E	60.52'
L23	S01°05'56"E	127.75'



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Date: June 30, 2025
Survey No. 6454.00-lpm
Sheet 3 of 7 Sheets

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SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
:SS
WAUKESHA COUNTY}

I, JESSE ZOLTOWSKI, a professional land surveyor, do hereby certify:

THAT I have survey, divided and mapped a redivision of Parcel 2 of Certified Survey Map No. 7778, recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on July 3, 2006, as Document No. 09262783 all in the Northeast 1/4 of the Northeast 1/4 of Section 5, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin, bounded and described as follows:
Commencing at the Northeast corner of the Northeast 1/4 of said Section 5; thence South 01°05'56" East along the East line of the said 1/4 Section 55.00 feet to a point; thence South 88°12'07" West 63.00 feet to a point on the West line of South 92nd Street and the point of beginning of the lands hereinafter described; thence South 15°16'24" East along said West line 56.18 feet to a point; thence South 04°54'40" East along said West line 32.22 feet to a point on the North line of Lot 1 Certified Survey Map No. 7778; thence South 88°30'00" West along said North line 22.33 feet to a point; thence North 01°30'00" West along said North line 4.36 feet to a point; thence South 88°49'00" West along said North line 59.38 feet to a point; thence South 01°11'00" East along said North line 7.17 feet to a point; thence South 88°49'00" West along said North line 10.00 feet to a point; thence South 01°11'00" East along said North line 4.85 feet to a point; thence South 88°49'00" West along said North line 5.00 feet to a point; thence South 01°11'00" East along said North line 3.70 feet to a point; thence South 88°49'00" West along said North line 15.33 feet to a point on the West line of said Lot 1; thence South 01°11'00" East along said West line 84.97 feet to a point on the Southwesterly line of said Lot 1; thence South 63°11'20" East along said Southwesterly line 79.43 feet to a point on the South line of said Lot 1; thence North 88°43'00" East along said South line 50.64 feet to a point on the West line of South 92nd Street; thence South 04°54'40" East along said West line 78.13 feet to a point; thence South 01°05'56" East along said West line 359.15 feet to a point on the North line of Lot 7, Block 8 in Zingen & Braun Fair Park Subdivision; thence South 88°12'07" West along said North line and its extension 215.50 feet to a point on the East line of South 93rd Street; thence North 01°05'56" West along said East line 304.34 feet to a point; thence North 11°09'51" West along said East line 127.08 feet to a point; thence North 01°05'56" West along said East line 228.00 feet to a point on the South line of West Greenfield Avenue; thence North 88°12'07" East along said South line 207.71 feet to the point of beginning.

Containing 130,677 square feet or 2.9999 acres of land.

THAT I have made this survey, land division and map by the direction of the F Street 92, LLC, owner of said land.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, the Land Division Ordinance of the City of West Allis in surveying, dividing and mapping the same.

DATE: June 30, 2025



Jesse Zoltowski
JESSE ZOLTOWSKI
PROFESSIONAL LAND SURVEYOR S-3094

CHAPUT
LAND SURVEYS

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Milwaukee, WI 53204

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Sheet 4 of 7 Sheets

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OWNER'S CERTIFICATE

F Street 92, LLC, a limited liability company, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said entity caused the land described on this certified survey map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 12 of the West Allis Code of Ordinances.

This agreement is binding on the undersigned and successors and assigns.

Date: _____

Entity Name: F Street 92, LLC

Signature: _____

Type or Print Name: _____

Title: _____

STATE OF _____ }
 } : SS
_____ COUNTY }

Personally came before me this _____ day of _____, 2025, _____ (name), the _____ (title) of the above named entity, to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: _____

Print Notary Name: _____

Notary Public, State of _____

My commission expires: _____

(Notary Seal)



CHAPUT
LAND SURVEYS

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Milwaukee, WI 53204

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Date: June 30, 2025
Survey No. 6454.00-lpm
Sheet 5 of 7 Sheets

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CONSENT OF ENTITY MORTGAGEE

_____, _____, duly organized and existing under and by virtue of the laws of the State of _____, as mortgagee of the above described land, consents to the surveying, dividing and mapping of the land described on this map and in the surveyor's certificate, and to the certificate of the owner of said land.

Date: _____

Entity Name: _____

Signature: _____

Type or Print Name: _____

Title: _____

STATE OF _____ }
_____ } :SS
_____ COUNTY }

Personally came before me this _____ day of _____, 2025, _____ of the above named entity, to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: _____

Print Notary Name: _____

Notary Public, State of _____. My commission expires: _____

(Notary Seal)



CHAPUT
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Sheet 6 of 7 Sheets

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COMMON COUNCIL APPROVAL

Be it resolved by the Common Council of the City of West Allis, Wisconsin, that the Certified Survey Map of a parcel of land in the Northwest 1/4 of the Southwest 1/4 of Section 8, Township 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin be and the same is hereby adopted.

Approved: _____ Adopted: _____

Dan Devine, Mayor

Rebecca Grill, City Clerk

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of West Allis on this _____ day of _____, 2025.

Date

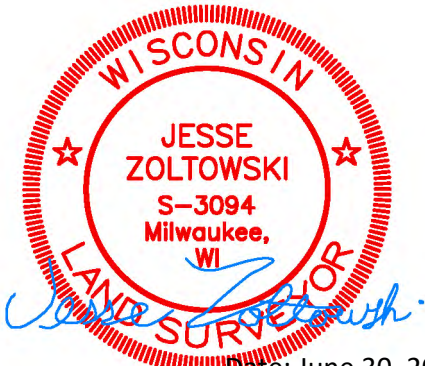
Dan Devine, Chairperson

Date

Wayne Clark, Vice Chairperson

CHAPUT
LAND SURVEYS

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Sheet 7 of 7 Sheets

LEGEND

LEVEL 01

JR 1 BED (A SERIES)

1 BED (B SERIES)

2 BED (C SERIES)

3 BED (D SERIES)

LEVEL 02

1 BED (B SERIES)

2 BED (C SERIES)

3 BED (D SERIES)

UNIT MIX

- (8) JR 1 BEDROOMS
- (24) 1 BEDROOMS
- (6) 2 BEDROOMS
- (4) 3 BEDROOMS

42 TOTAL UNITS

PARKING

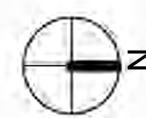
- (22) GARAGE STALLS
- (22) DRIVEWAY STALLS
- (25) SURFACE STALLS

69 TOTAL PARKING STALLS

1.64 PARKING RATIO



1 BUILDINGS A/B LEVEL 01
1/16" = 1'-0"



LEGEND

LEVEL 02

- 1 BED (B SERIES)
- 2 BED (C SERIES)
- 3 BED (D SERIES)

UNIT MIX

- (8) JR 1 BEDROOMS
- (24) 1 BEDROOMS
- (6) 2 BEDROOMS
- (4) 3 BEDROOMS

42 TOTAL UNITS

PARKING

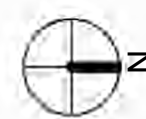
- (22) GARAGE STALLS
- (22) DRIVEWAY STALLS
- (25) SURFACE STALLS

69 TOTAL PARKING STALLS

1.64 PARKING RATIO



1 BUILDINGS A/B LEVEL 02
1/16" = 1'-0"



LEGEND

- JR 1 BED (A SERIES)
- 1 BED (B SERIES)
- 2 BED (C SERIES)
- 3 BED (D SERIES)
- AMENITY SPACE
- ANCILLARY SPACE

UNIT MIX

- (26) JR 1 BEDROOMS
- (43) 1 BEDROOMS
- (34) 2 BEDROOMS
- (2) 3 BEDROOMS

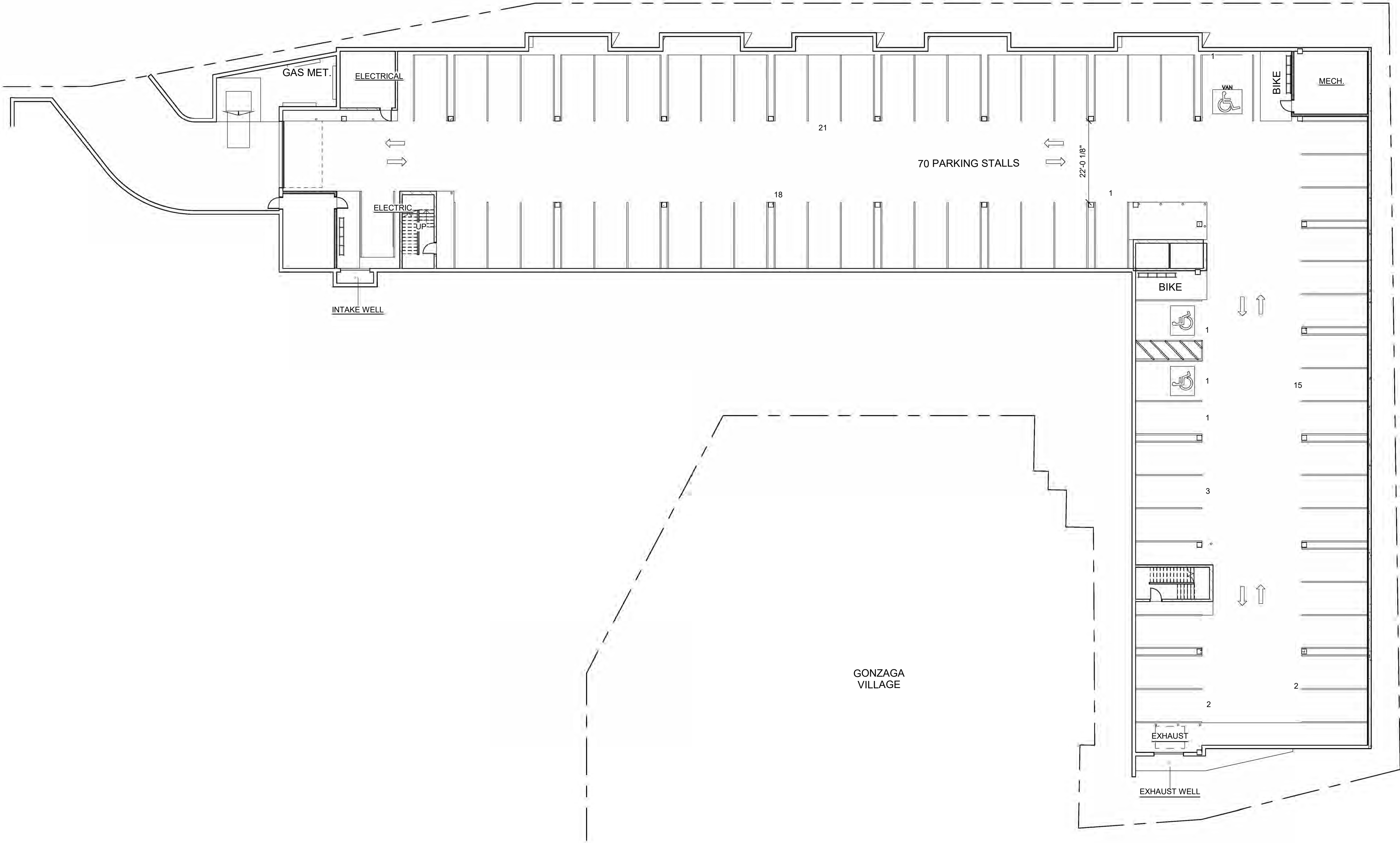
105 TOTAL UNITS

PARKING

- (69) COVERED STALLS
- (62) SURFACE STALLS

131 TOTAL PARKING STALLS

1.25 PARKING RATIO



1 BUILDING C FLOOR PLAN - LEVEL B1
1/16" = 1'-0"



LEGEND

- JR 1 BED (A SERIES)
- 1 BED (B SERIES)
- 2 BED (C SERIES)
- 3 BED (D SERIES)
- AMENITY SPACE
- ANCILLARY SPACE

UNIT MIX

- (26) JR 1 BEDROOMS
- (43) 1 BEDROOMS
- (34) 2 BEDROOMS
- (2) 3 BEDROOMS

105 TOTAL UNITS

PARKING

- (69) COVERED STALLS
- (62) SURFACE STALLS

131 TOTAL PARKING STALLS

1.25 PARKING RATIO



1 BUILDING C FLOOR PLAN - LEVEL 01
1/16" = 1'-0"



LEGEND

- JR 1 BED (A SERIES)
- 1 BED (B SERIES)
- 2 BED (C SERIES)
- 3 BED (D SERIES)
- AMENITY SPACE
- ANCILLARY SPACE

UNIT MIX

- (26) JR 1 BEDROOMS
- (43) 1 BEDROOMS
- (34) 2 BEDROOMS
- (2) 3 BEDROOMS

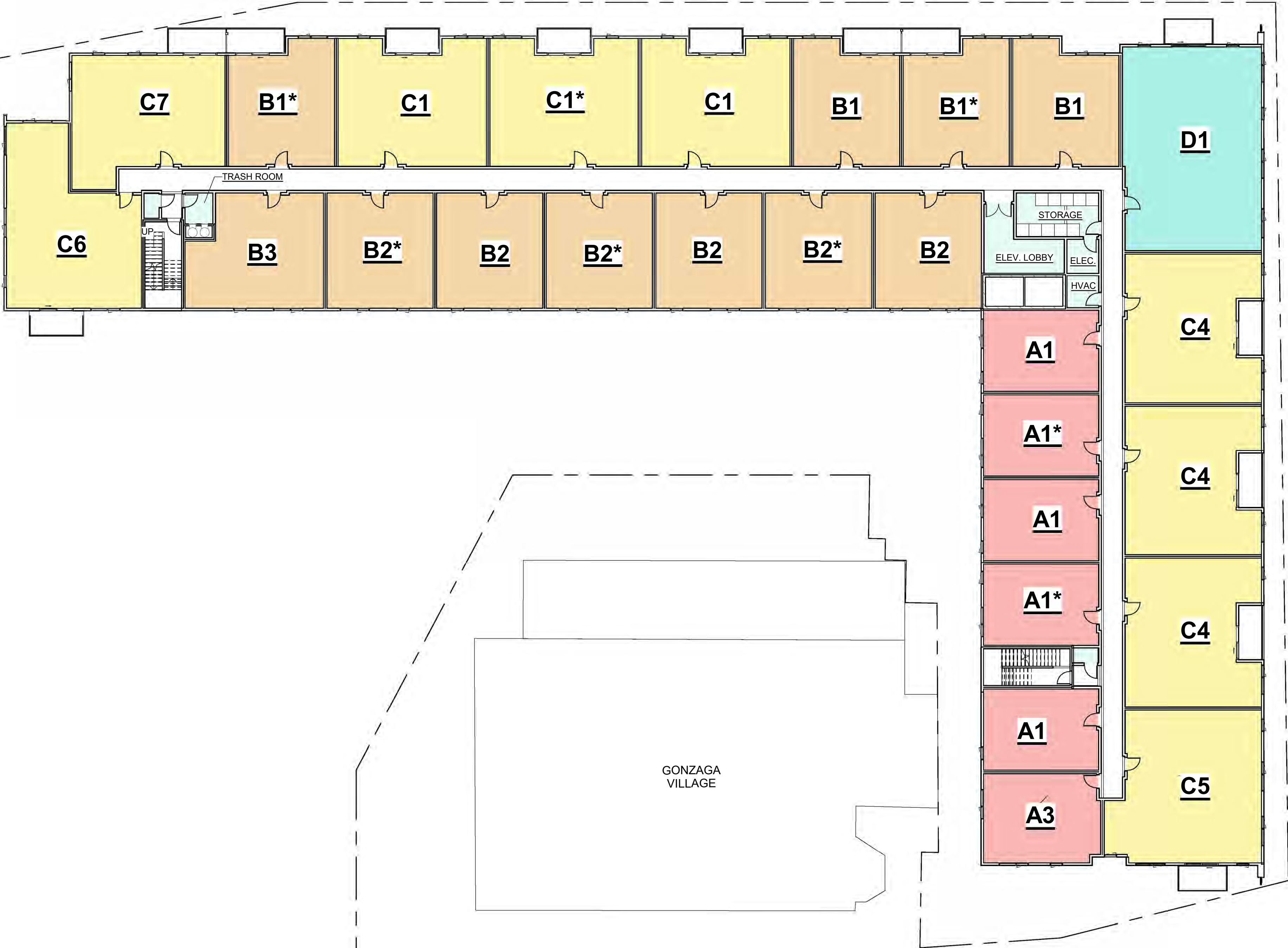
105 TOTAL UNITS

PARKING

- (69) COVERED STALLS
- (62) SURFACE STALLS

131 TOTAL PARKING STALLS

1.25 PARKING RATIO



1 BUILDING C FLOOR PLAN - LEVELS 02-03
1/16" = 1'-0"



LEGEND

- JR 1 BED (A SERIES)
- 1 BED (B SERIES)
- 2 BED (C SERIES)
- 3 BED (D SERIES)
- AMENITY SPACE
- ANCILLARY SPACE

UNIT MIX

- (26) JR 1 BEDROOMS
- (43) 1 BEDROOMS
- (34) 2 BEDROOMS
- (2) 3 BEDROOMS

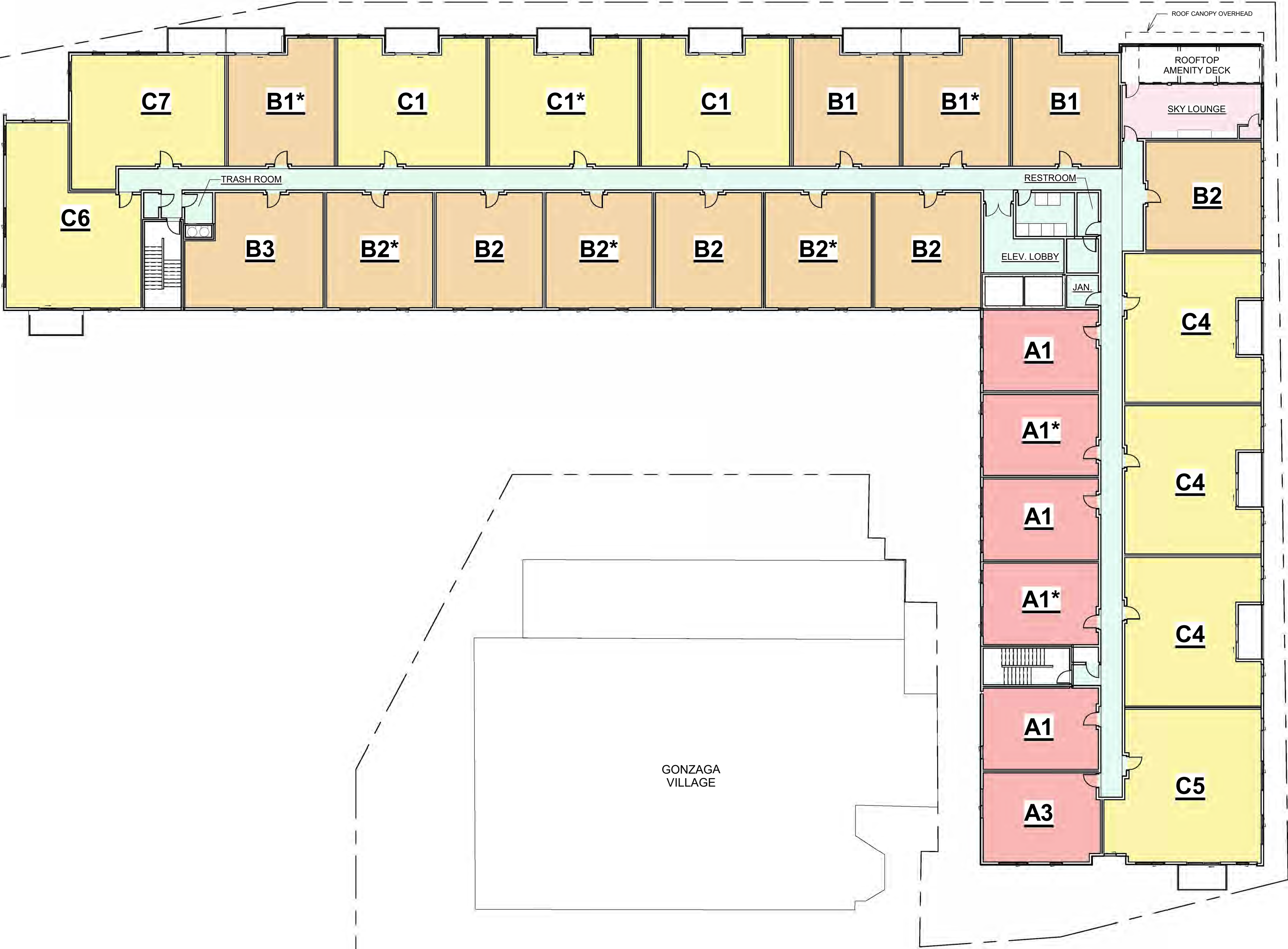
105 TOTAL UNITS

PARKING

- (69) COVERED STALLS
- (62) SURFACE STALLS

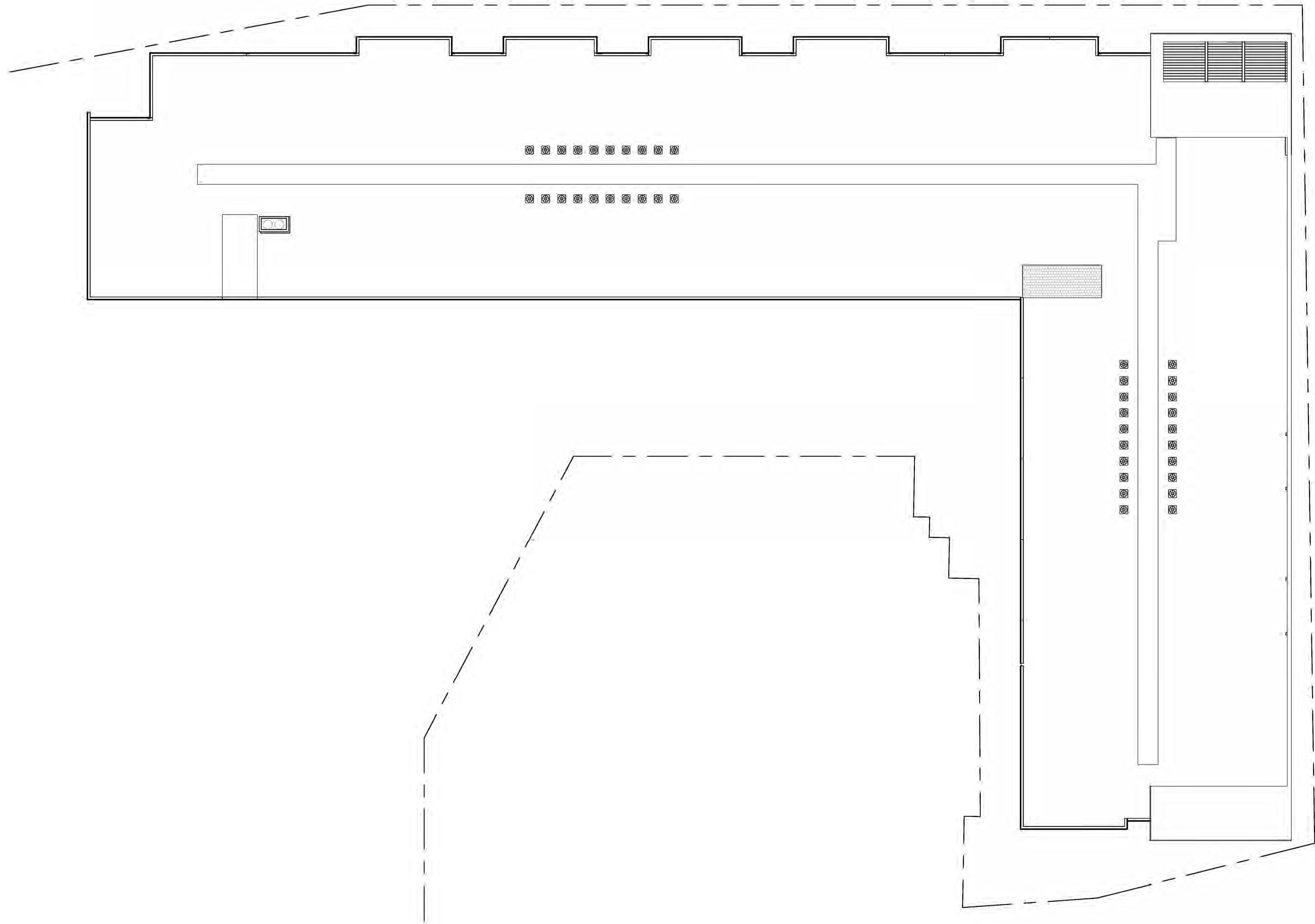
131 TOTAL PARKING STALLS

1.25 PARKING RATIO



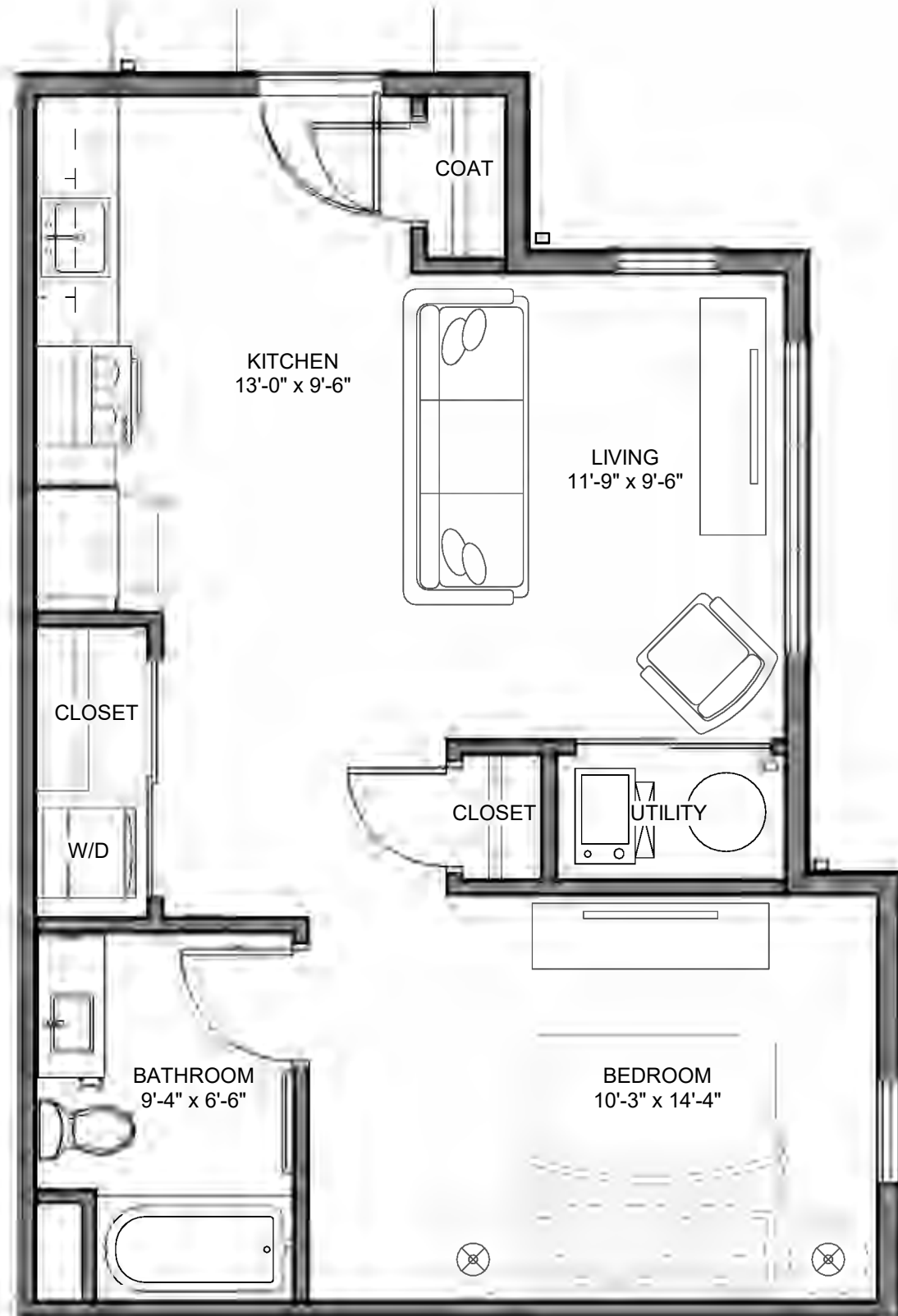
1 BUILDING C FLOOR PLAN - LEVEL 04
1/16" = 1'-0"



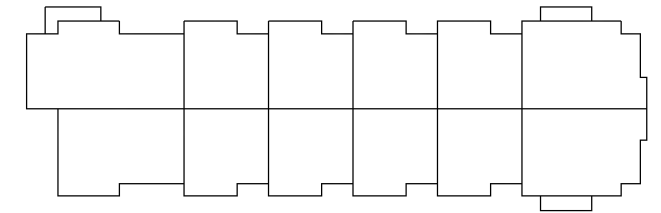


1 BUILDING C ROOF_PC
1/16" = 1'-0"



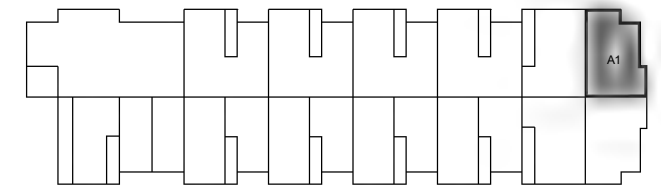


1 UNIT A1 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



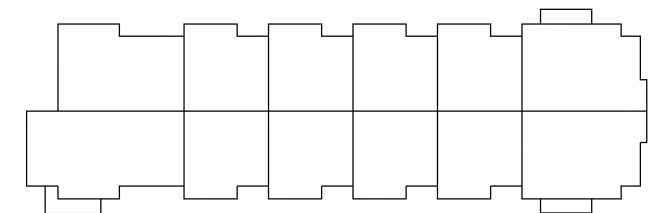
KEY PLAN - BLDG A- LEVEL 2

NTS



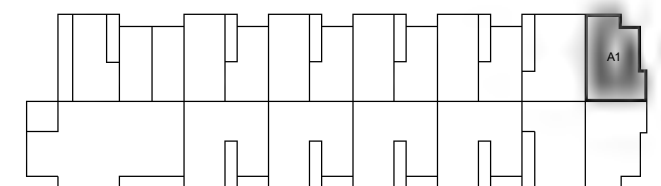
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS

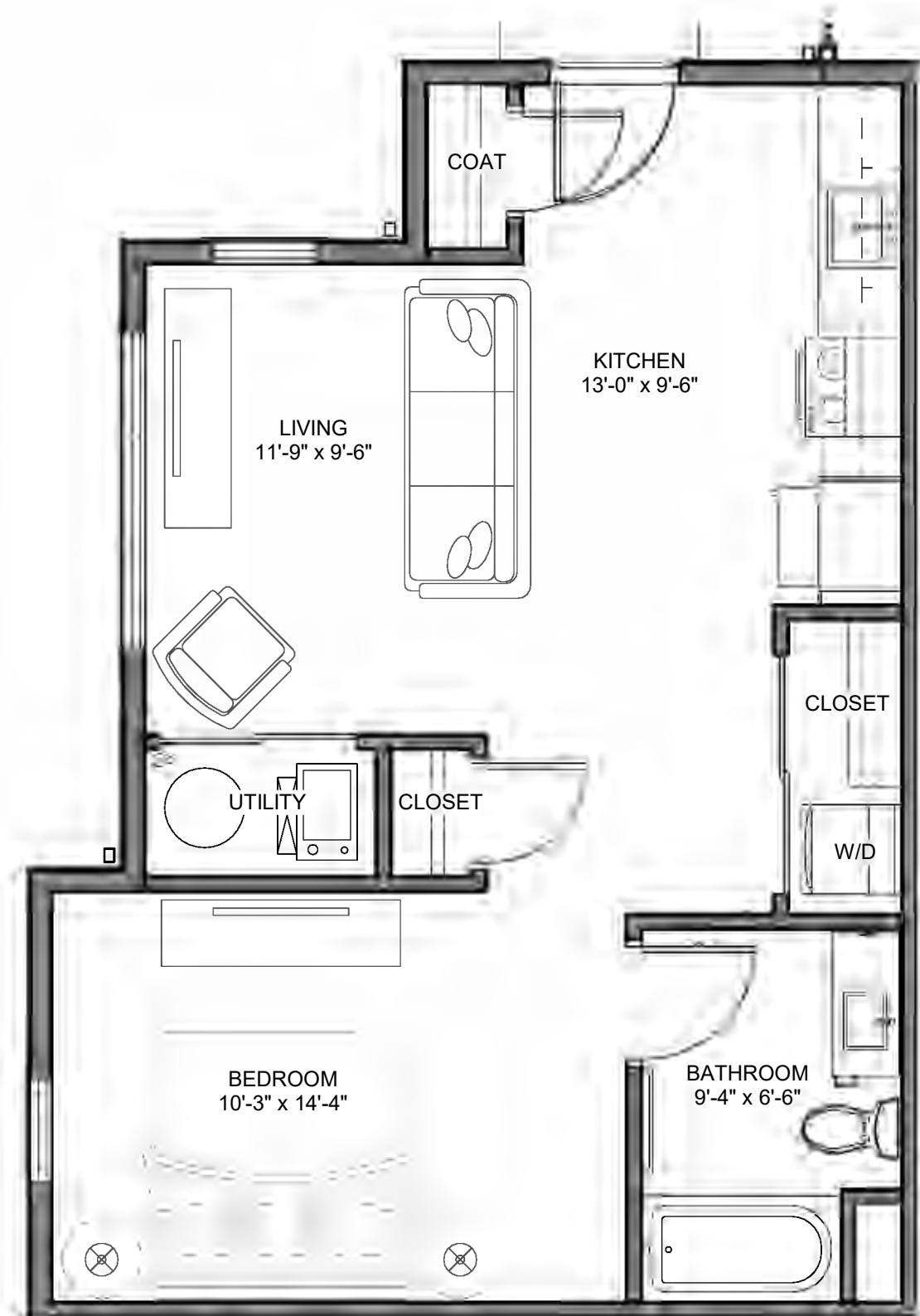


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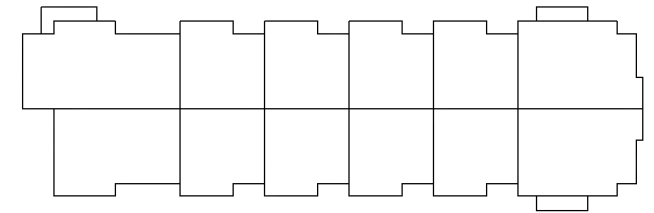
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ENLARGED UNIT A1 PLAN

SCALE: 1/4" = 1'-0"

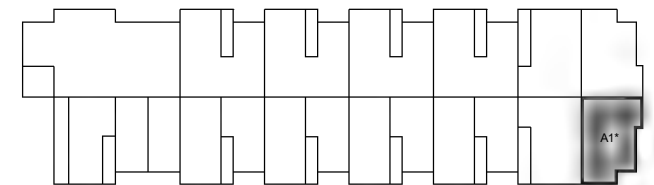


1 UNIT A1* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



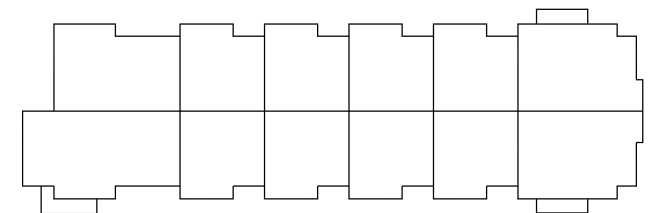
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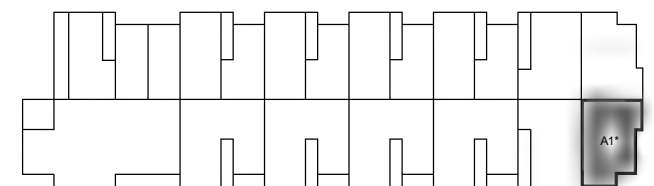
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KEY PLAN - BLDG B- LEVEL 2

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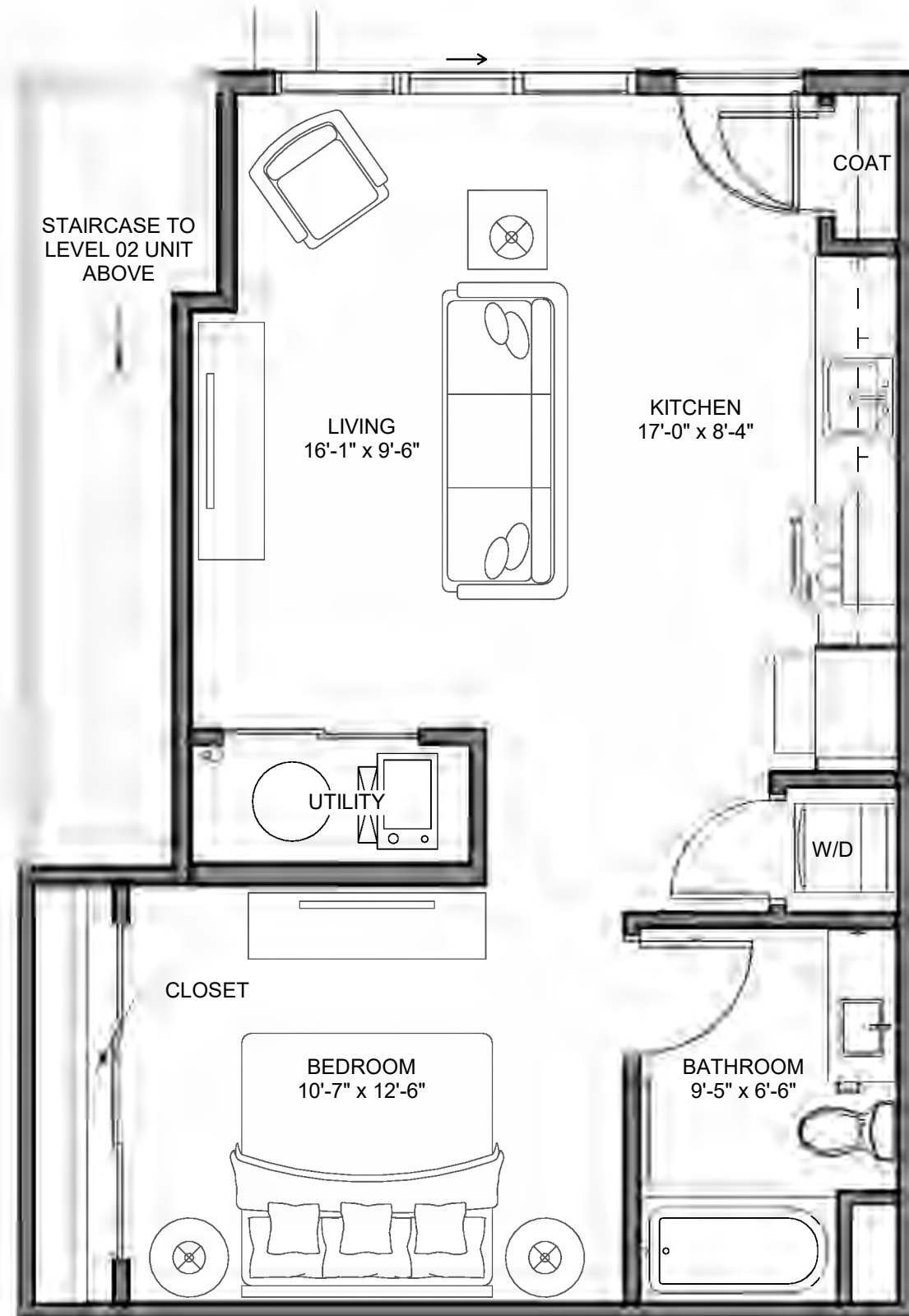


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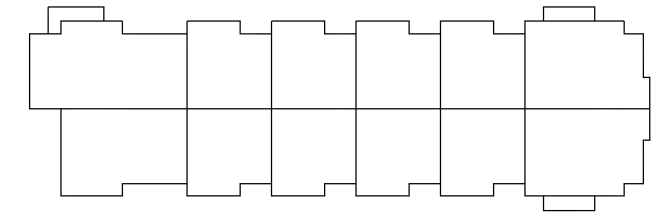
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ENLARGED UNIT A1* PLAN

SCALE: 1/4" = 1'-0"

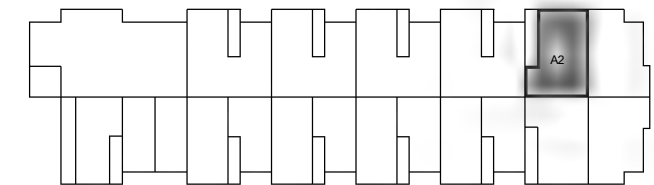


1 UNIT A2 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



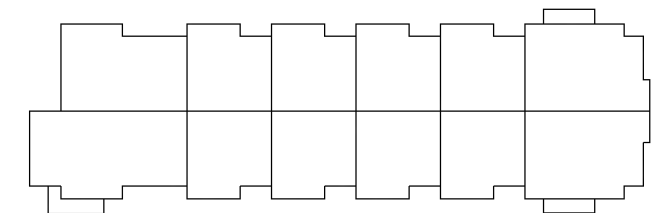
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NTS



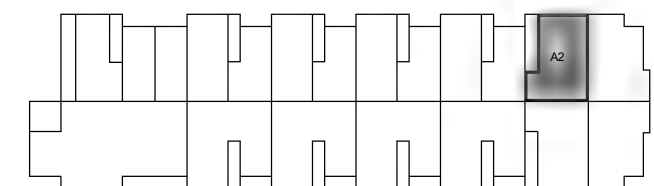
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS

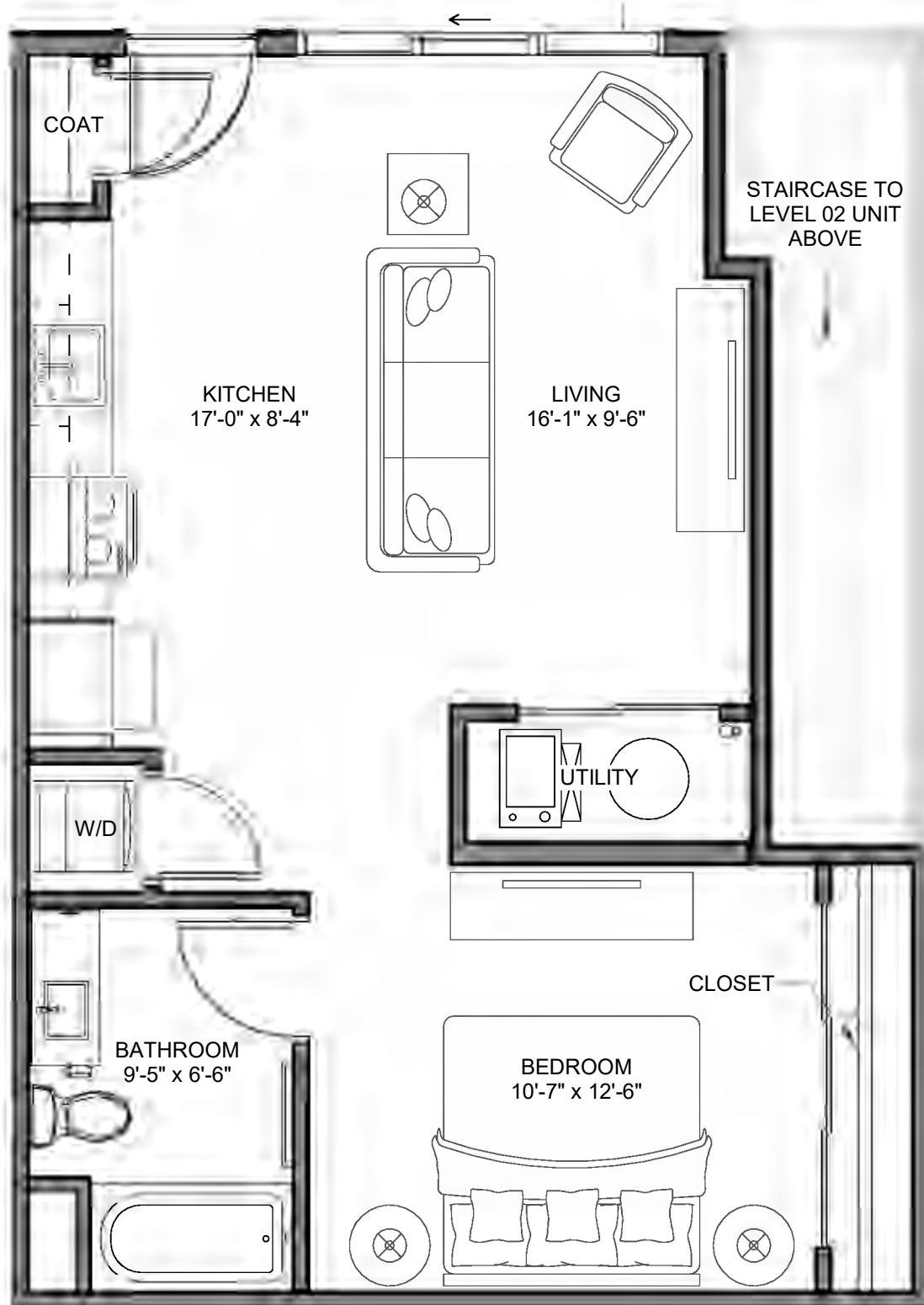


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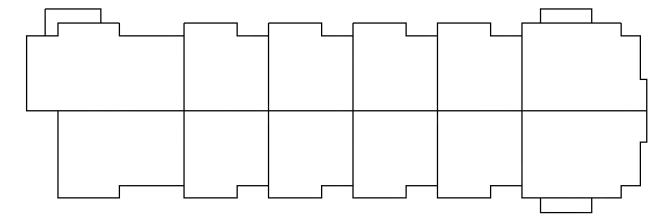
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ENLARGED UNIT A2 PLAN

SCALE: 1/4" = 1'-0"

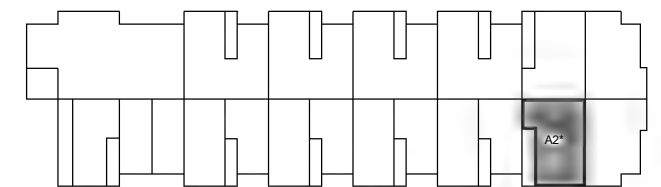


1 UNIT A2* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



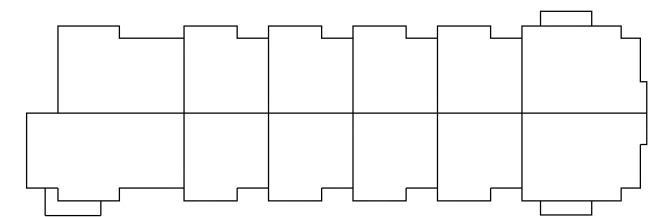
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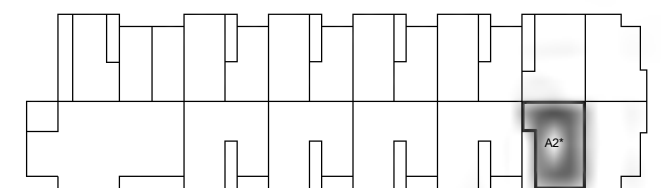
KEY PLAN - BLDG A- LEVEL 1

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KEY PLAN - BLDG B- LEVEL 2

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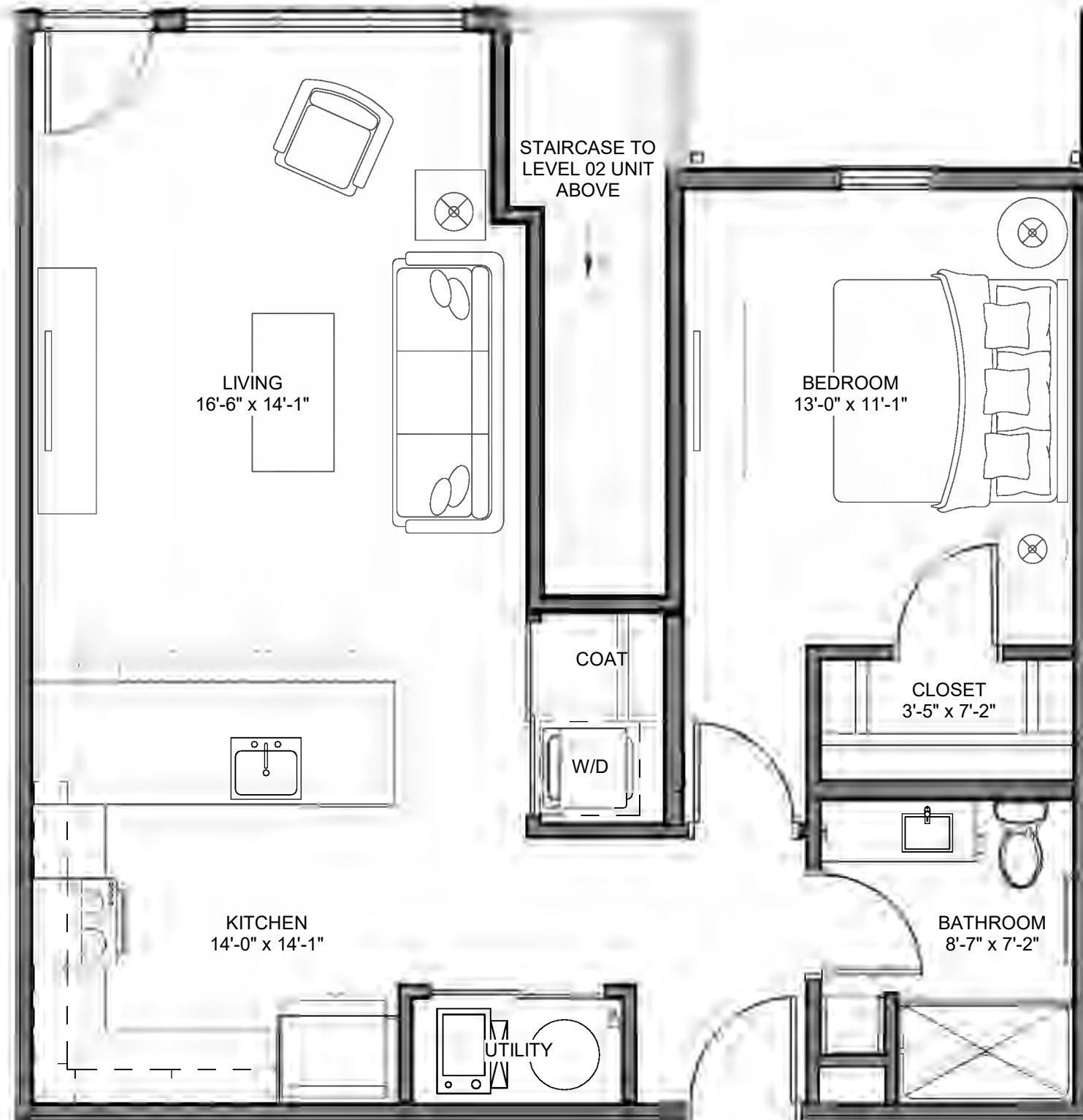


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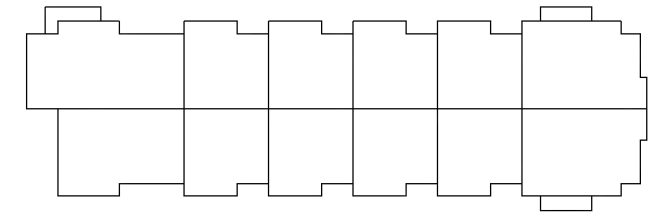
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ENLARGED UNIT A2* PLAN

SCALE: 1/4" = 1'-0"

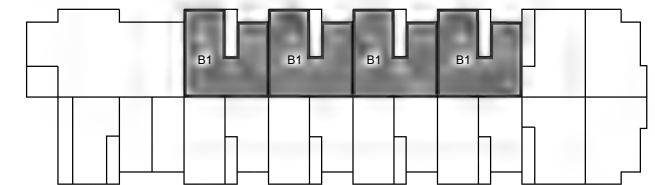


1 UNIT B1 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



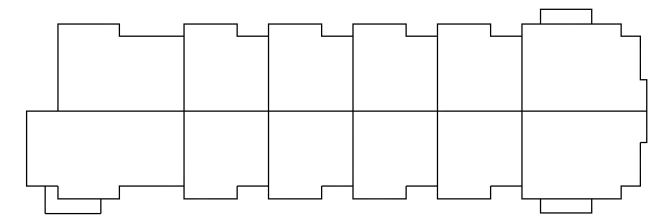
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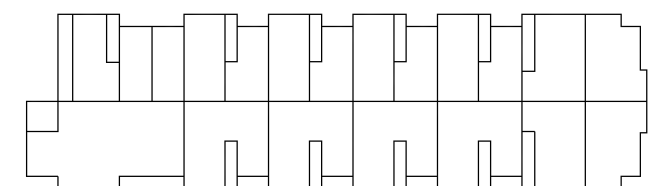
KEY PLAN - BLDG A- LEVEL 1

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KEY PLAN - BLDG B- LEVEL 2

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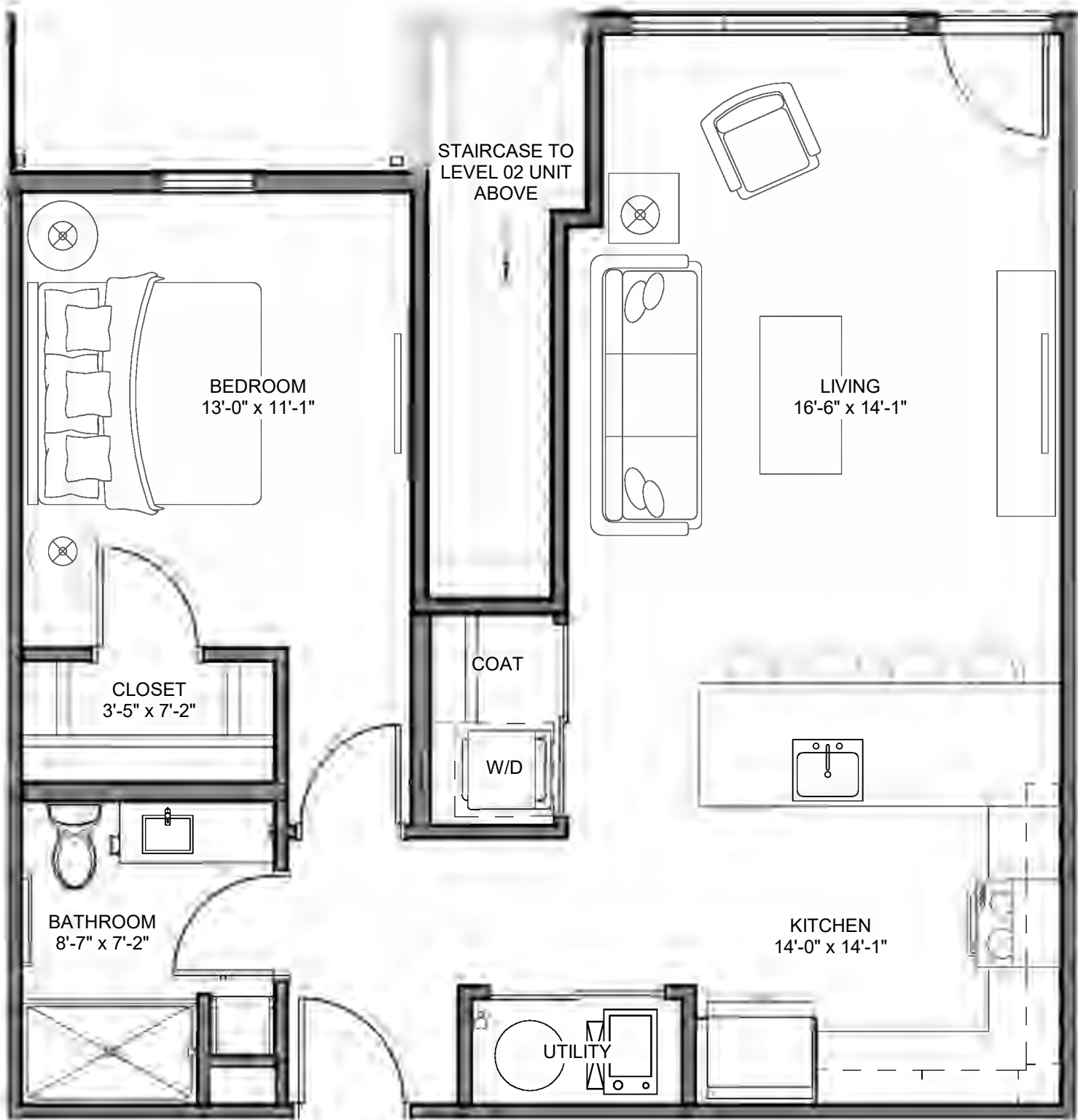


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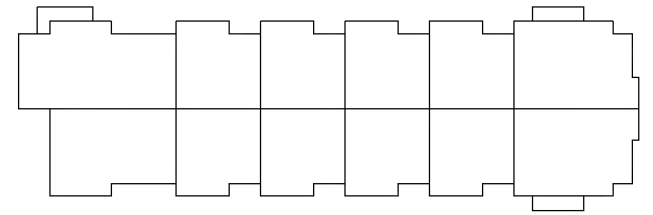
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ENLARGED UNIT B1 PLAN

SCALE: 1/4" = 1'-0"

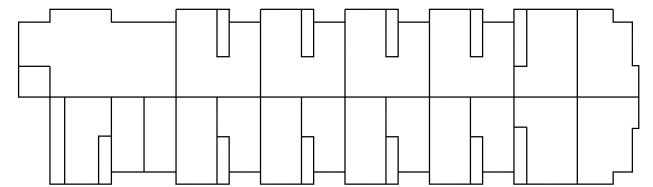


1 UNIT B1* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



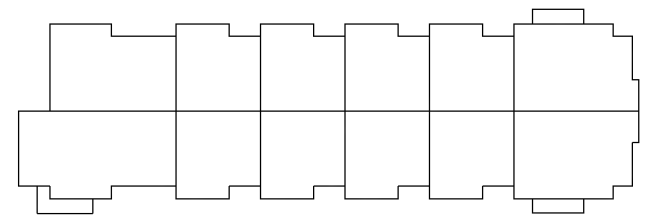
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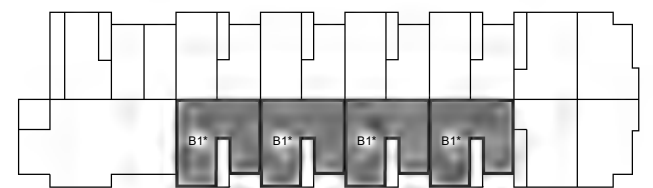
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KEY PLAN - BLDG B- LEVEL 2

NTS

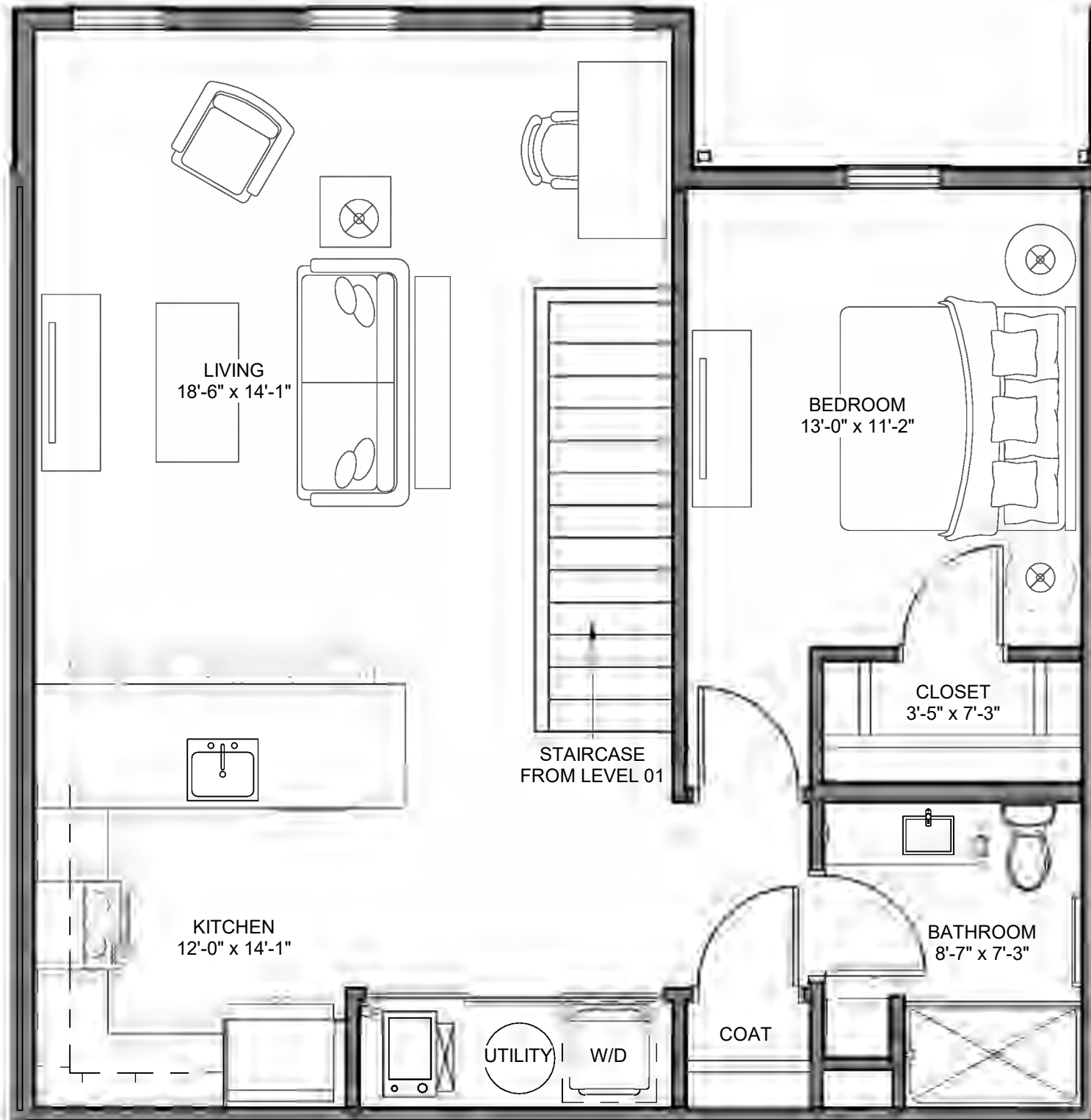


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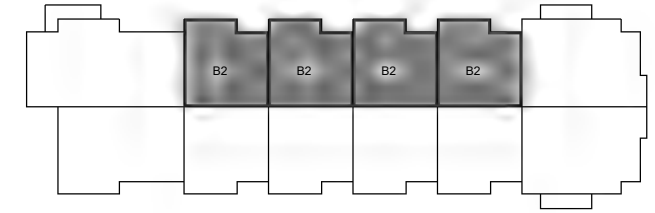
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ENLARGED UNIT B1* PLAN

SCALE: 1/4" = 1'-0"

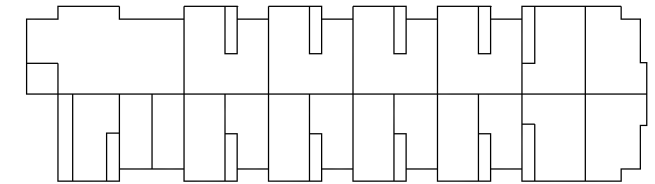


1 UNIT B2 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



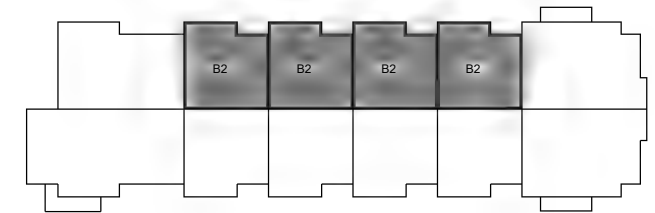
KEY PLAN - BLDG A- LEVEL 2

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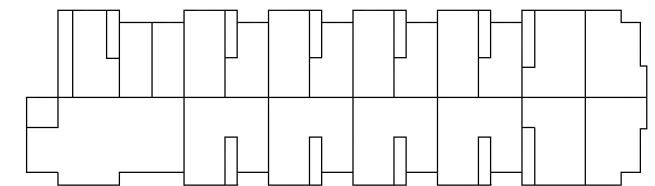
KEY PLAN - BLDG A- LEVEL 1

NTS



KEY PLAN - BLDG B- LEVEL 2

NTS

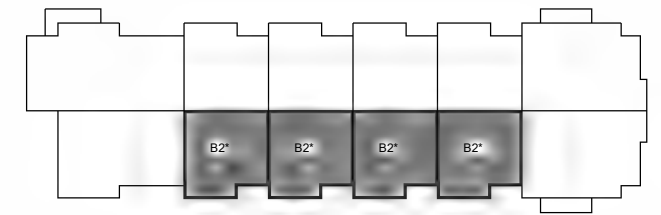


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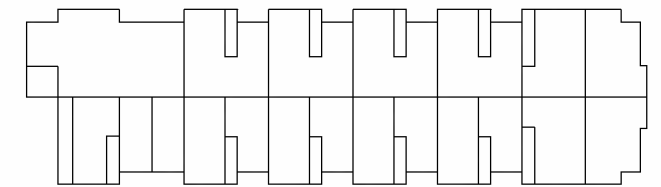
ENLARGED UNIT B2 PLAN

SCALE: 1/4" = 1'-0"



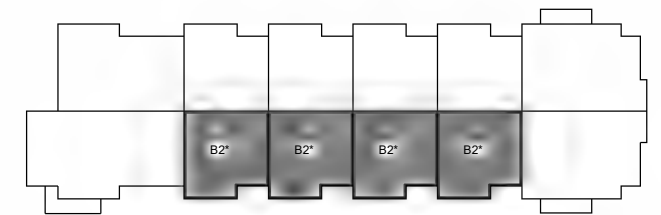
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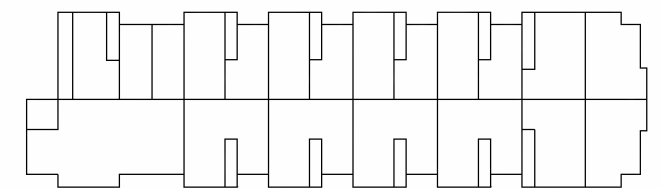
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KEY PLAN - BLDG B- LEVEL 2

NTS

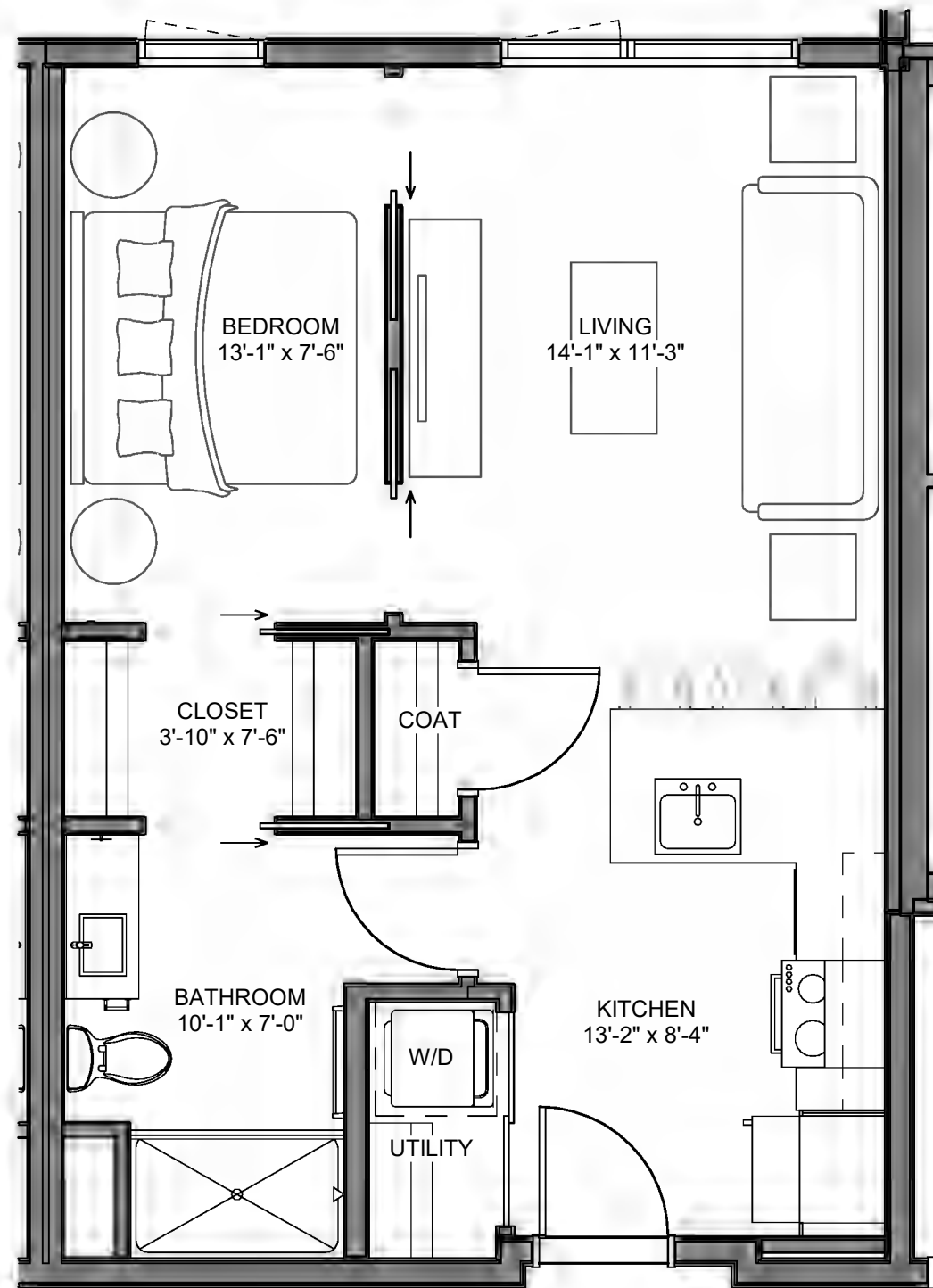


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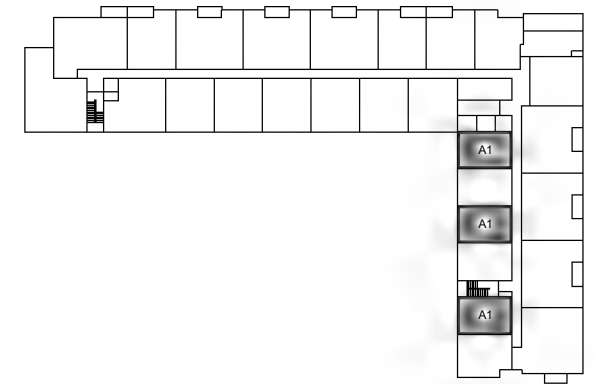
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ENLARGED UNIT B2* PLAN

SCALE: 1/4" = 1'-0"

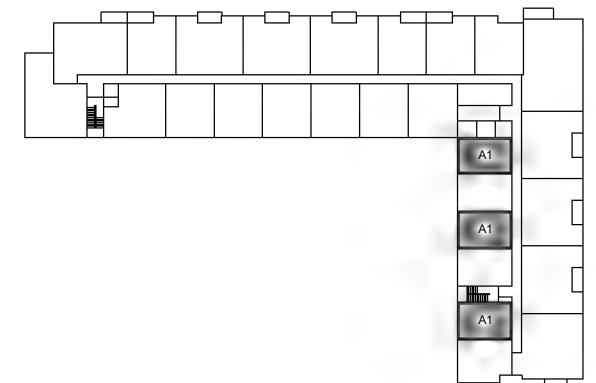


1 UNIT A1 - ENLARGED FLOOR PLAN
 1/4" = 1'-0"



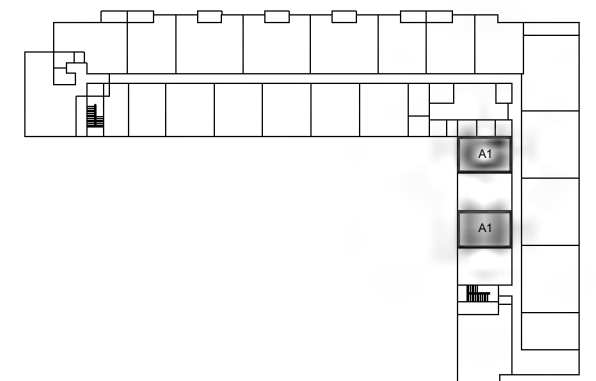
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

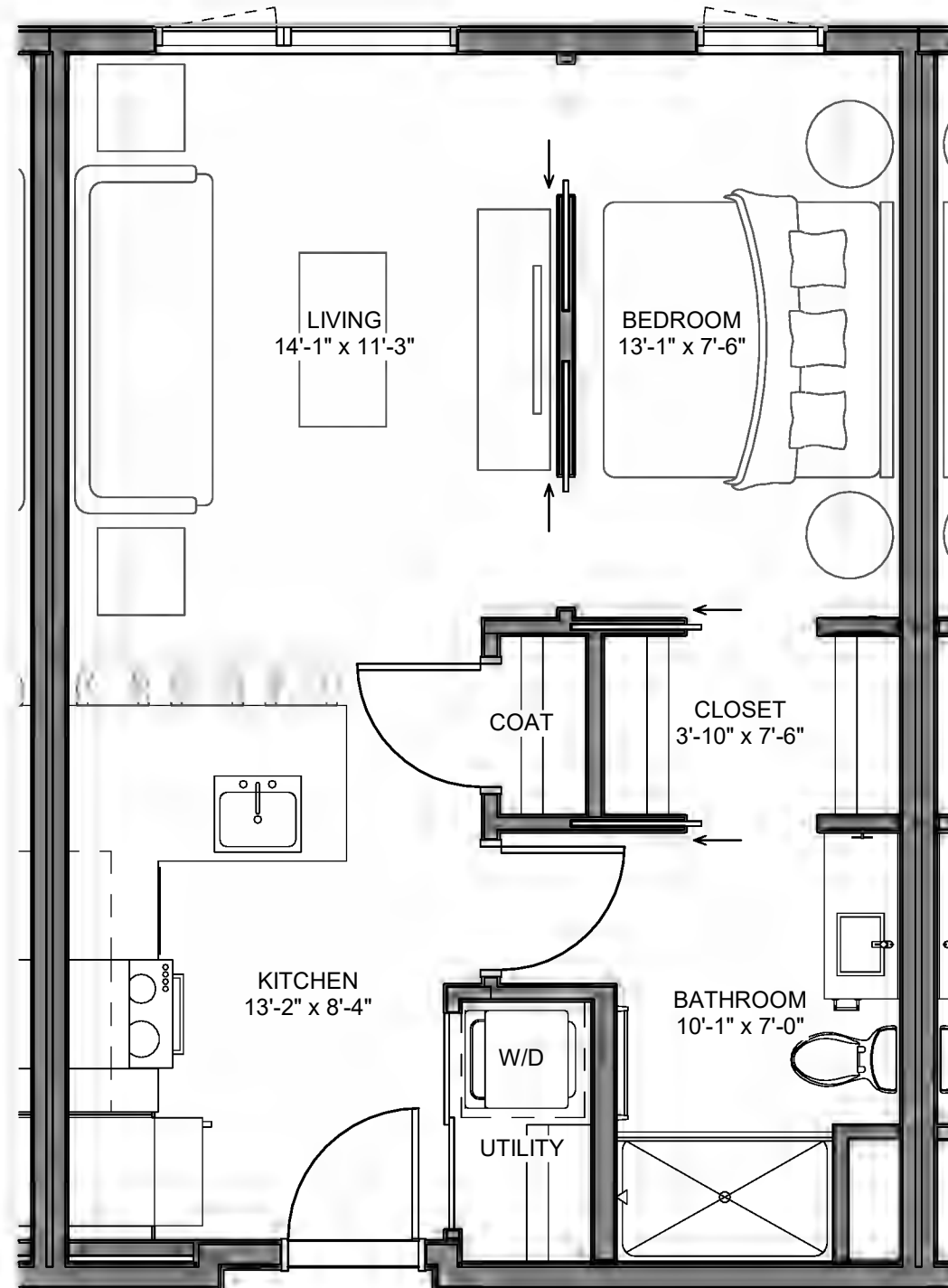


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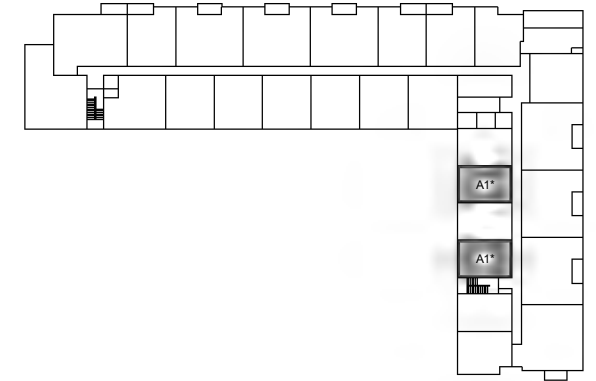
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ENLARGED UNIT A1 PLAN

SCALE: 1/4" = 1'-0"

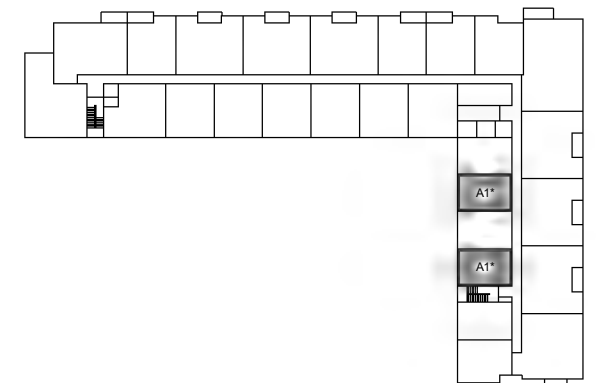


1 UNIT A1* - ENLARGED FLOOR PLAN
 1/4" = 1'-0"



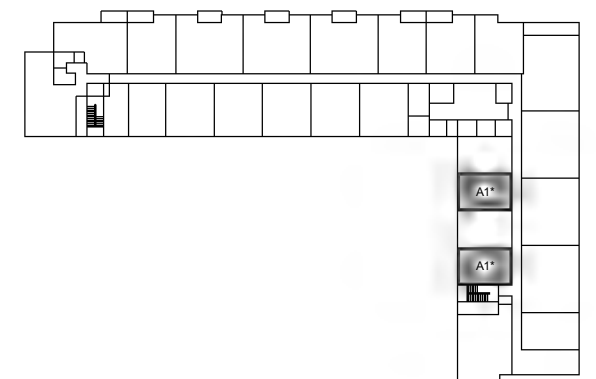
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

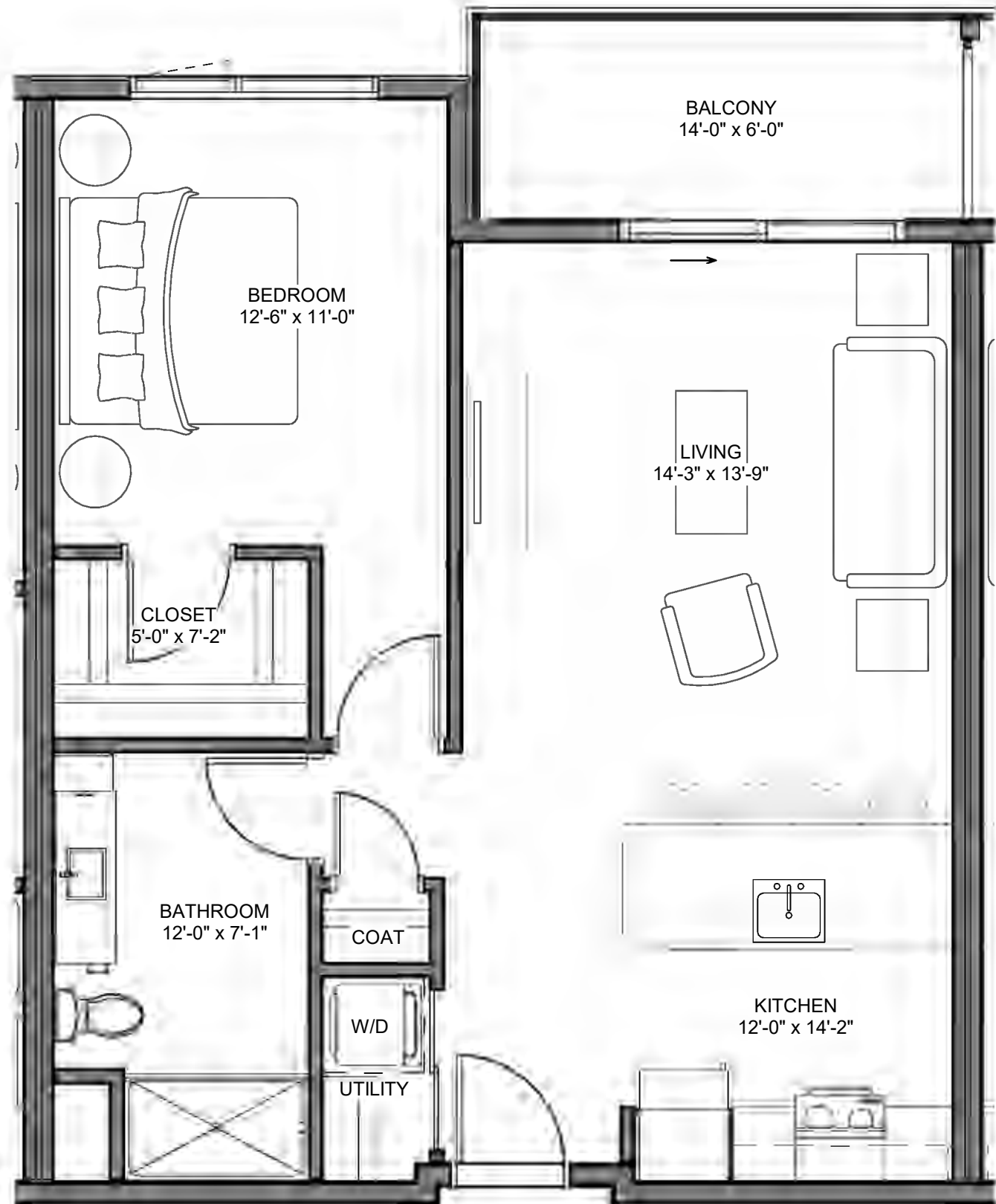


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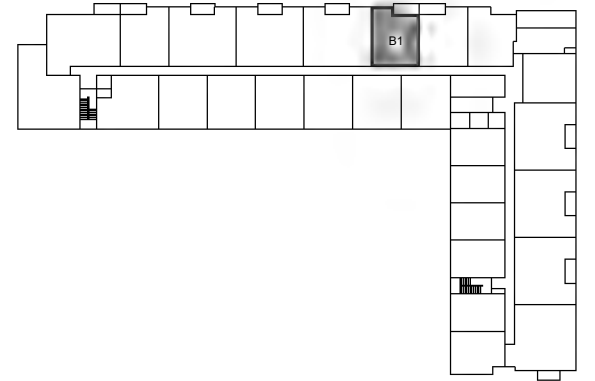
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ENLARGED UNIT A1* PLAN

SCALE: 1/4" = 1'-0"

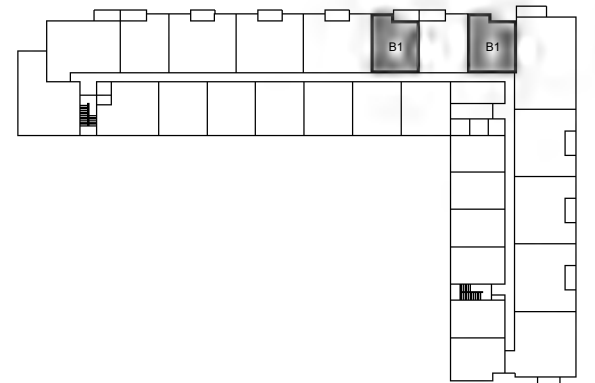


1 UNIT B1 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



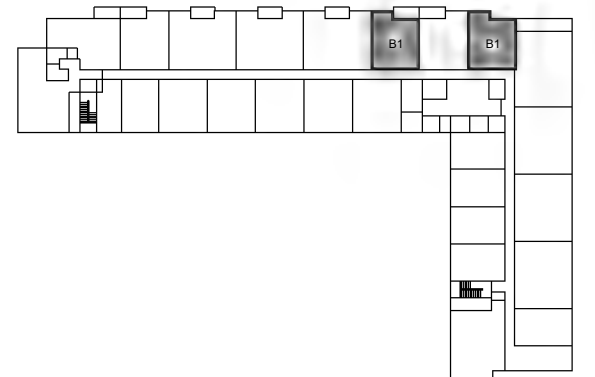
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KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

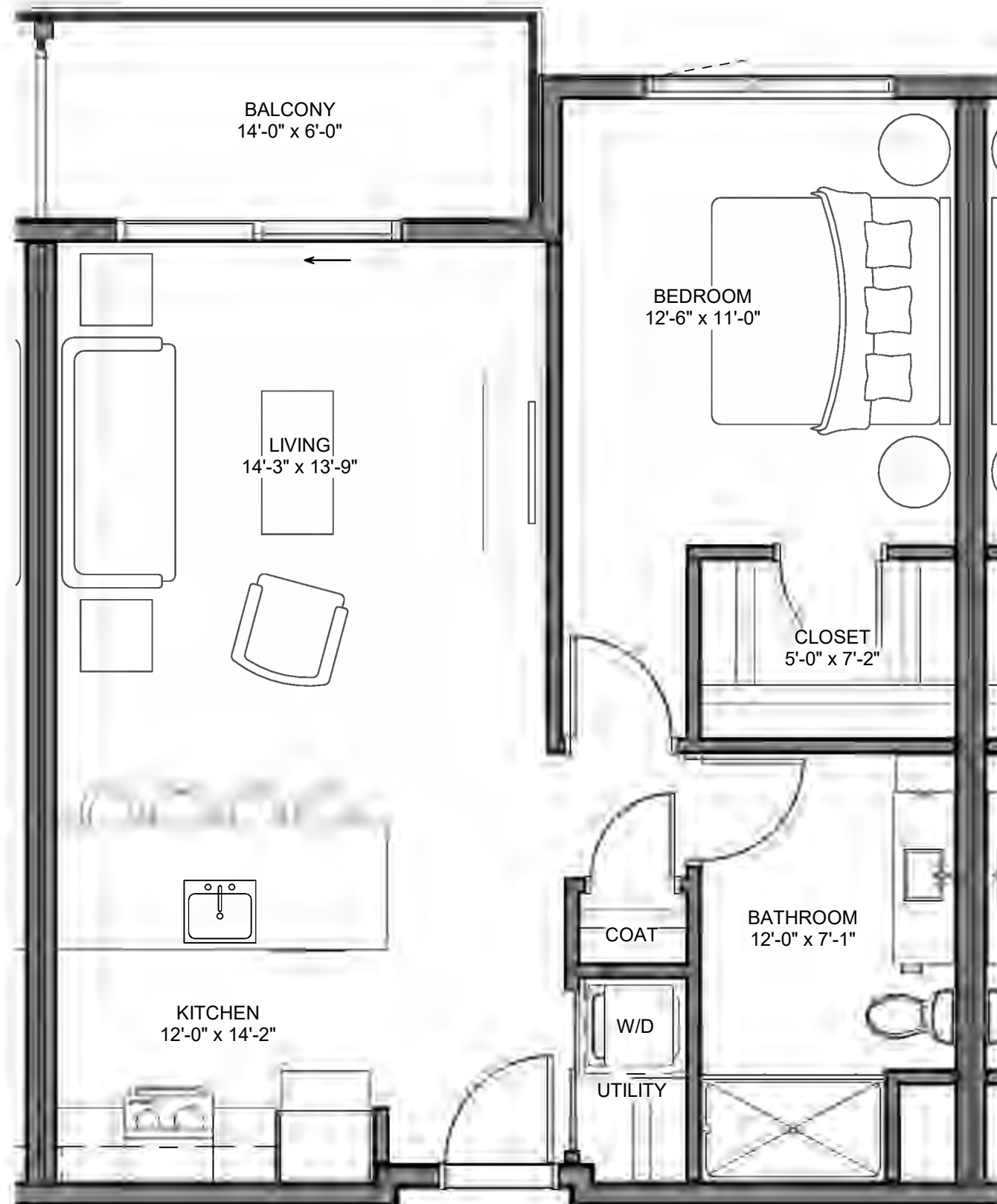


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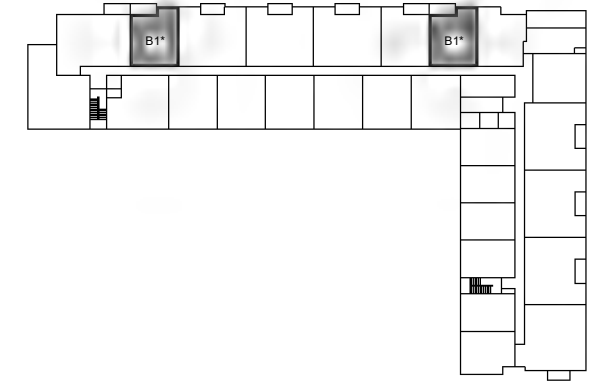
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ENLARGED UNIT B1 PLAN

SCALE: 1/4" = 1'-0"

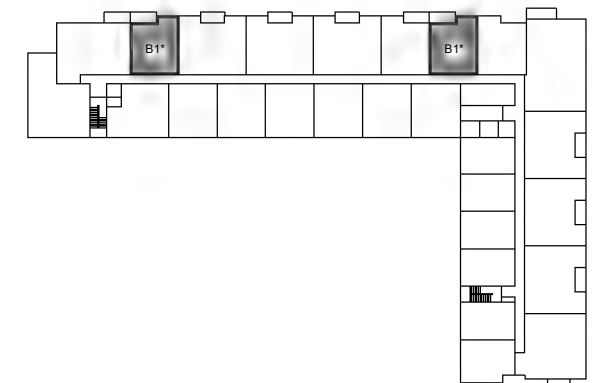


1 UNIT B1* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



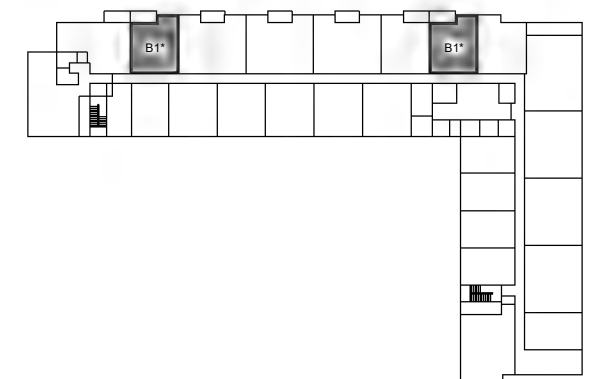
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

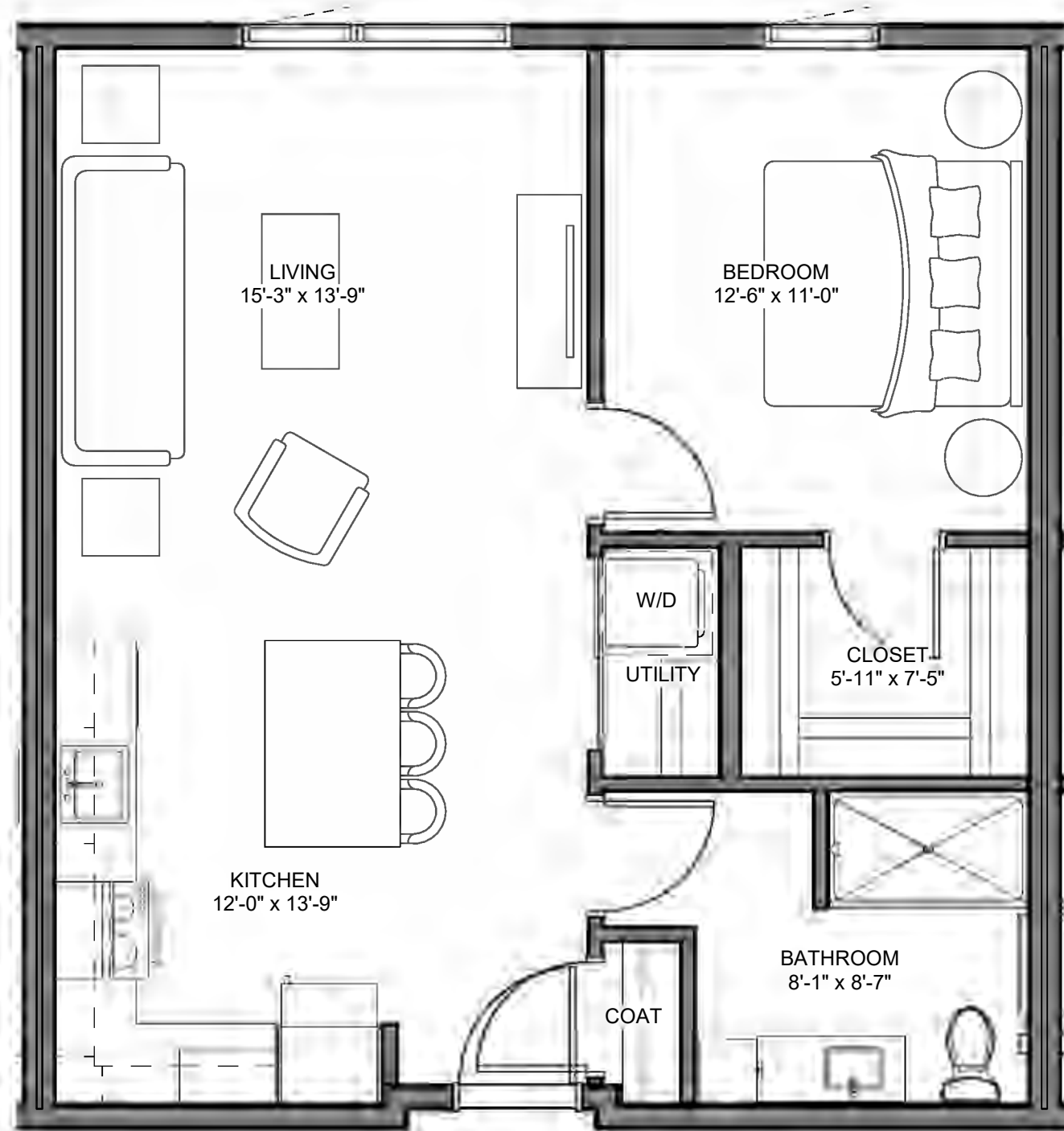


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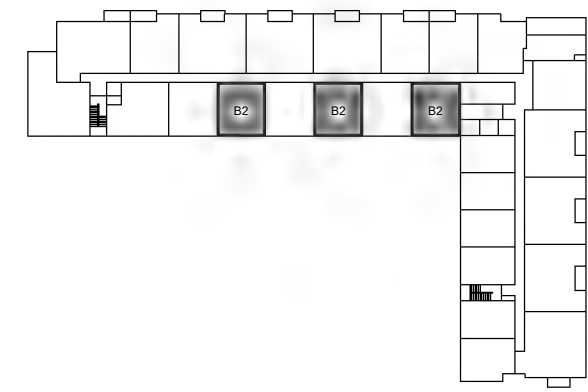
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ENLARGED UNIT B1* PLAN

SCALE: 1/4" = 1'-0"

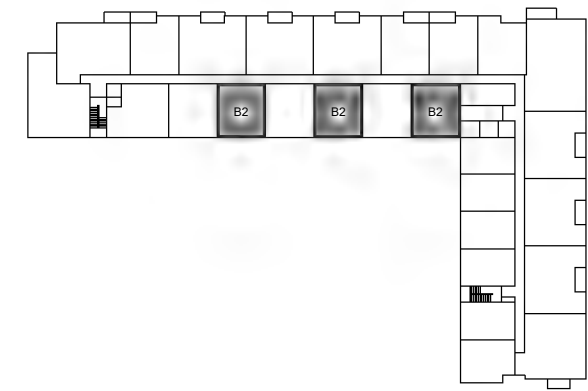


1 UNIT B2 - ENLARGED FLOOR PLAN
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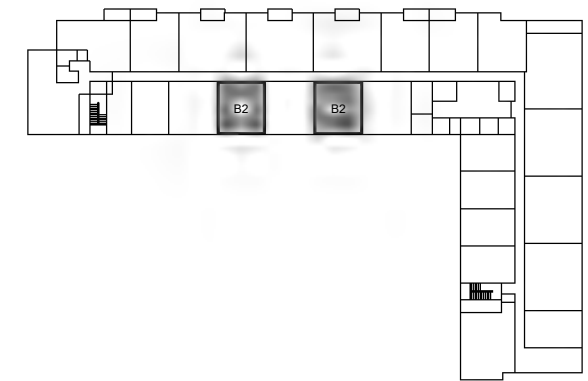
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

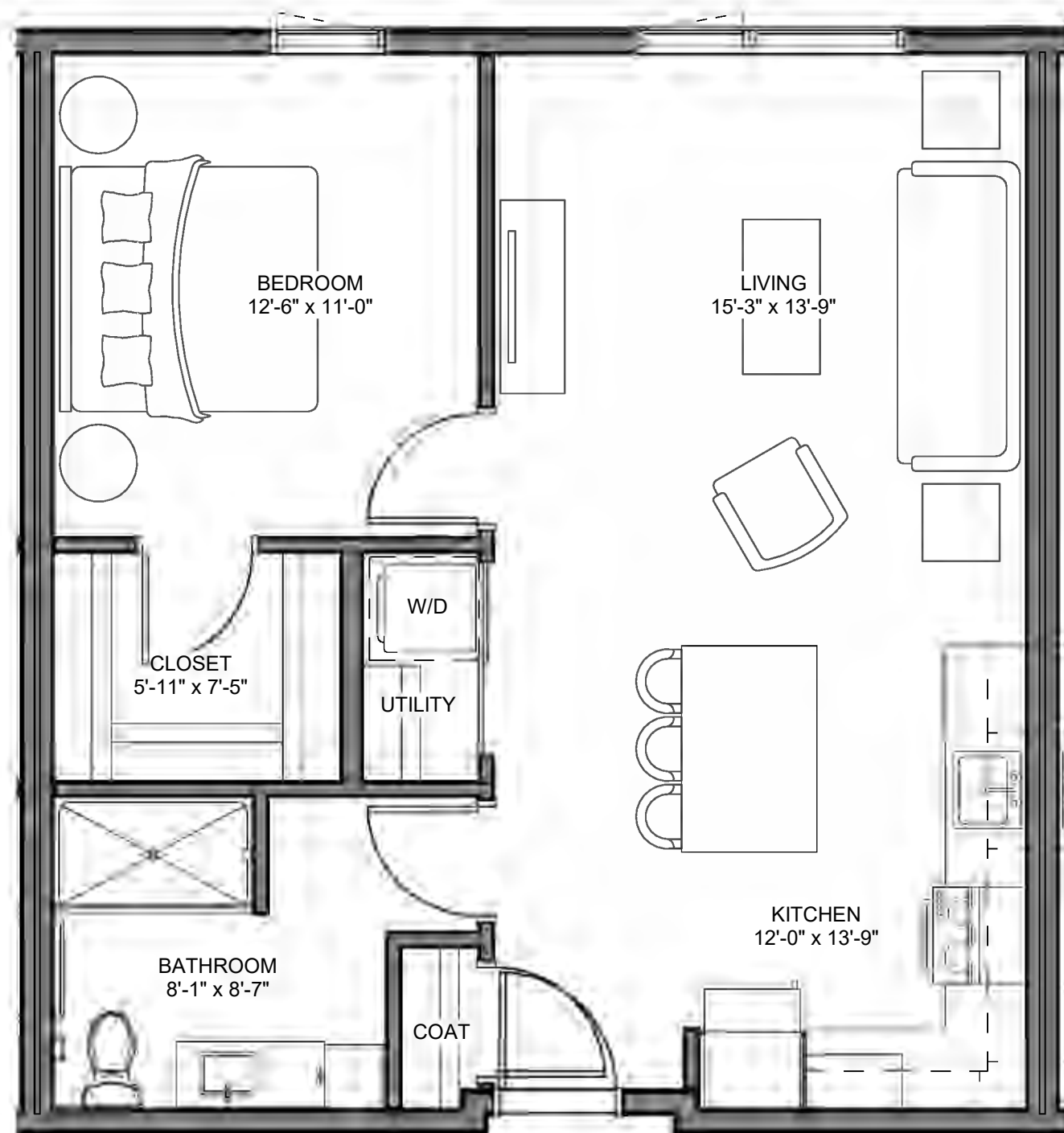


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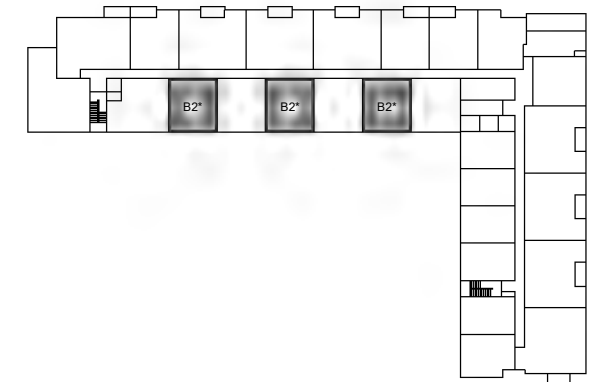
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ENLARGED UNIT B2 PLAN

SCALE: 1/4" = 1'-0"

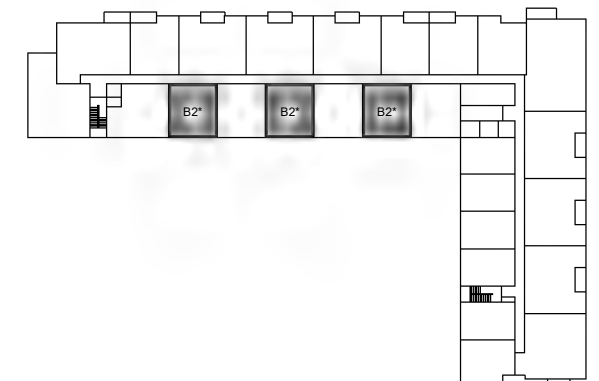


1 UNIT B2* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



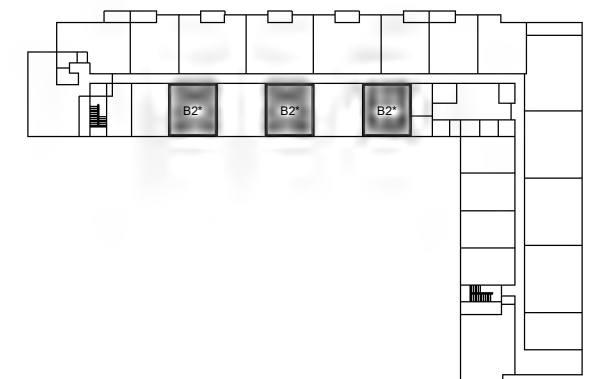
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

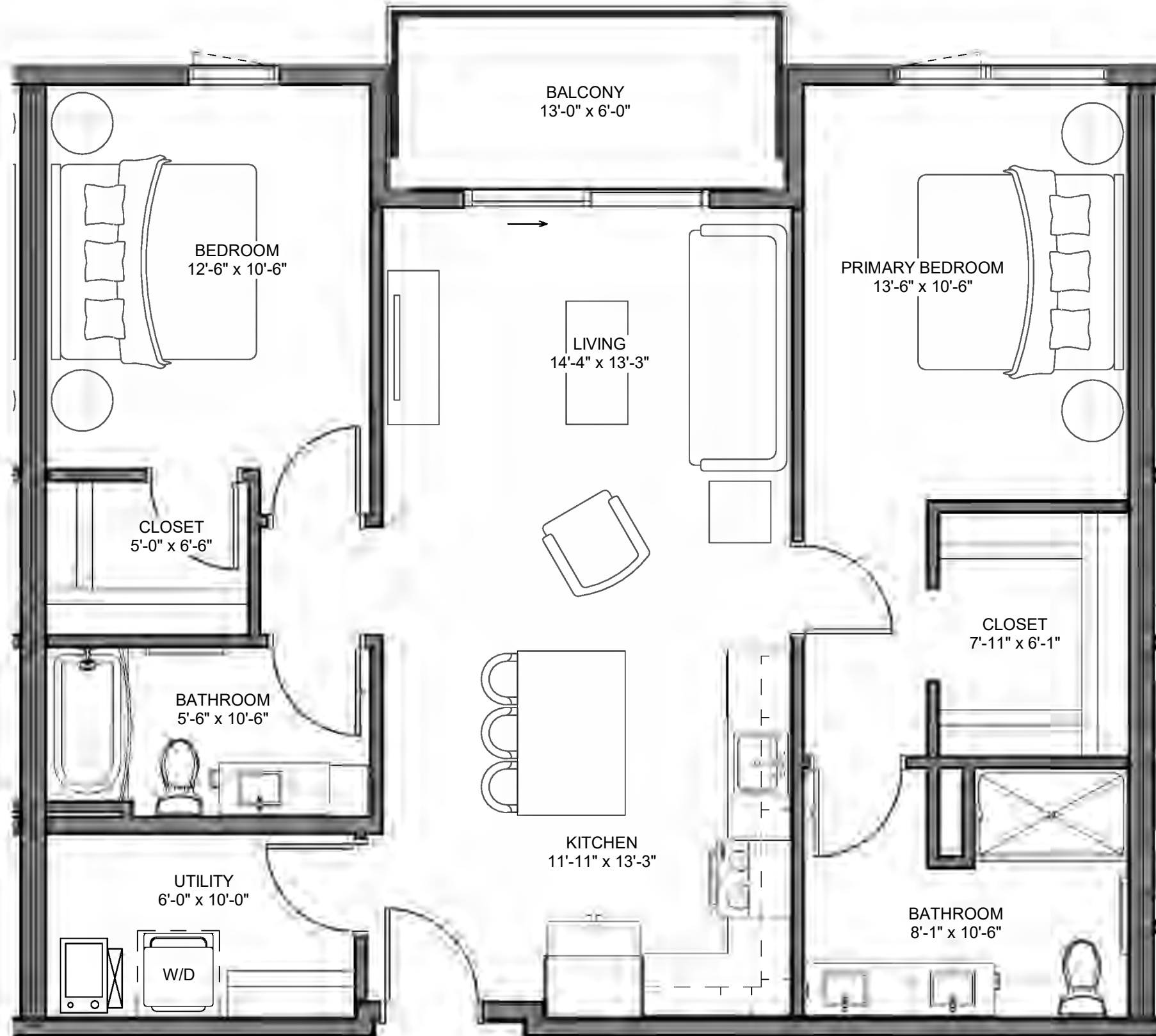


KEY PLAN - BLDG C- LEVEL 1

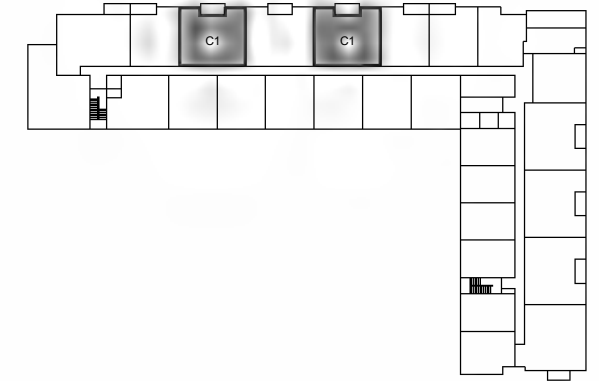
NTS

ENLARGED UNIT B2* PLAN

SCALE: 1/4" = 1'-0"

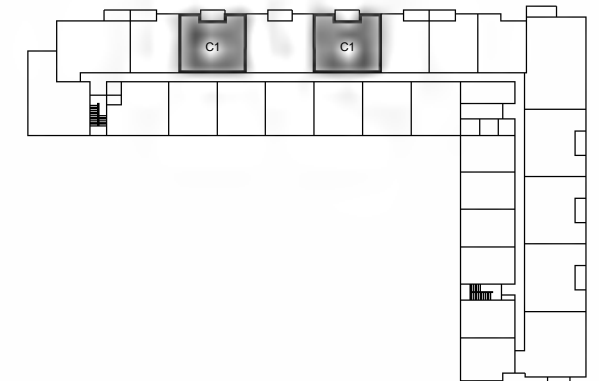


1 UNIT C1 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



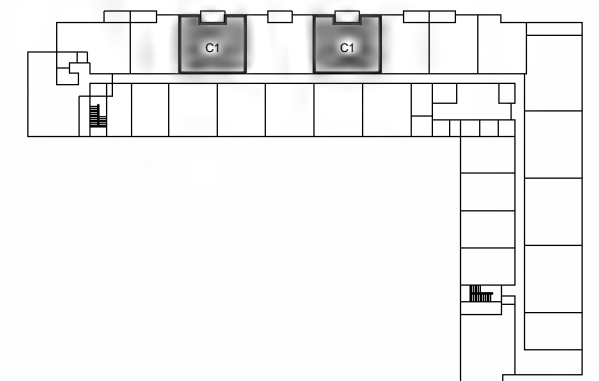
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

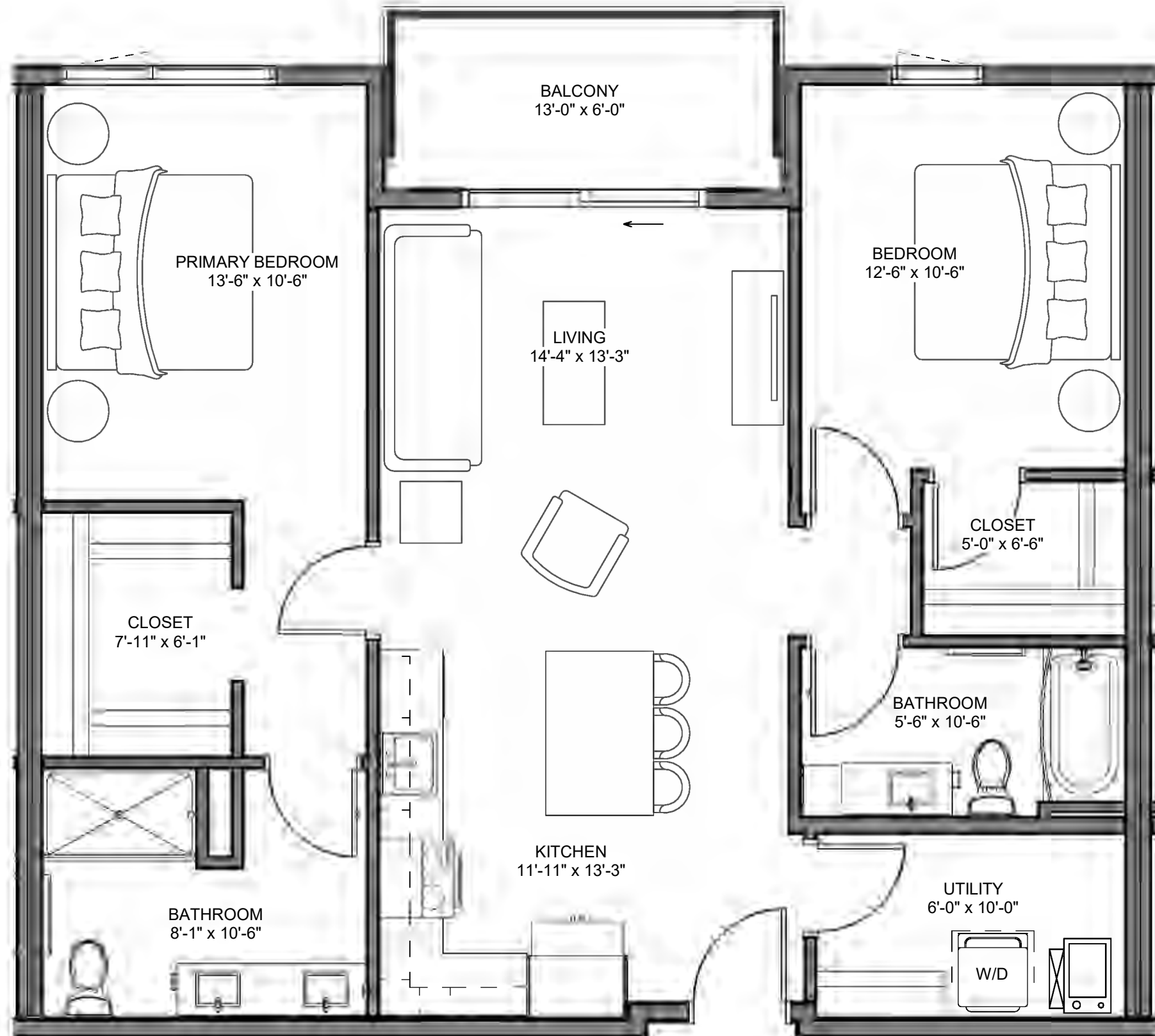


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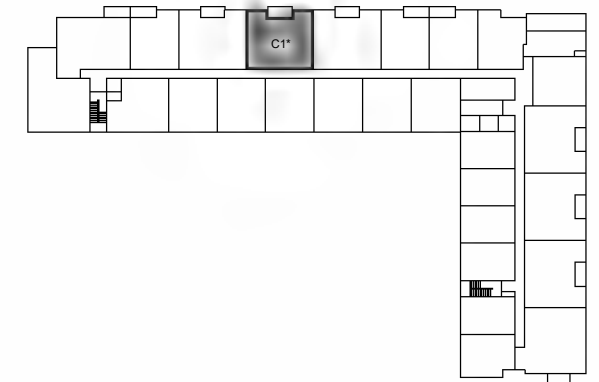
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ENLARGED UNIT C1 PLAN

SCALE: 1/4" = 1'-0"

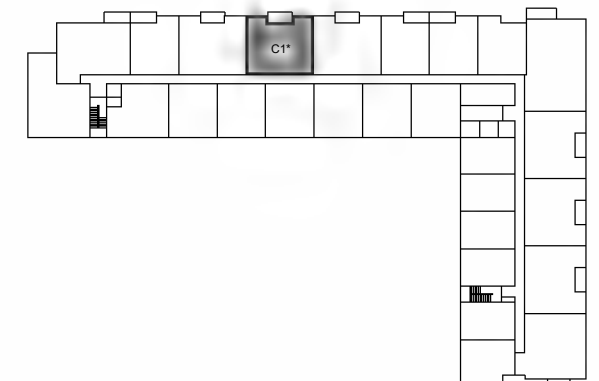


1 UNIT C1* - ENLARGED FLOOR PLAN
1/4" = 1'-0"



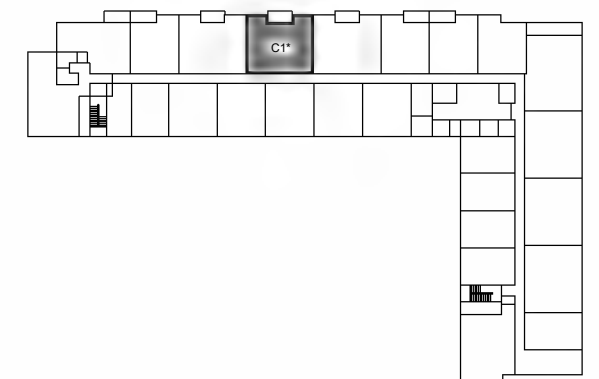
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

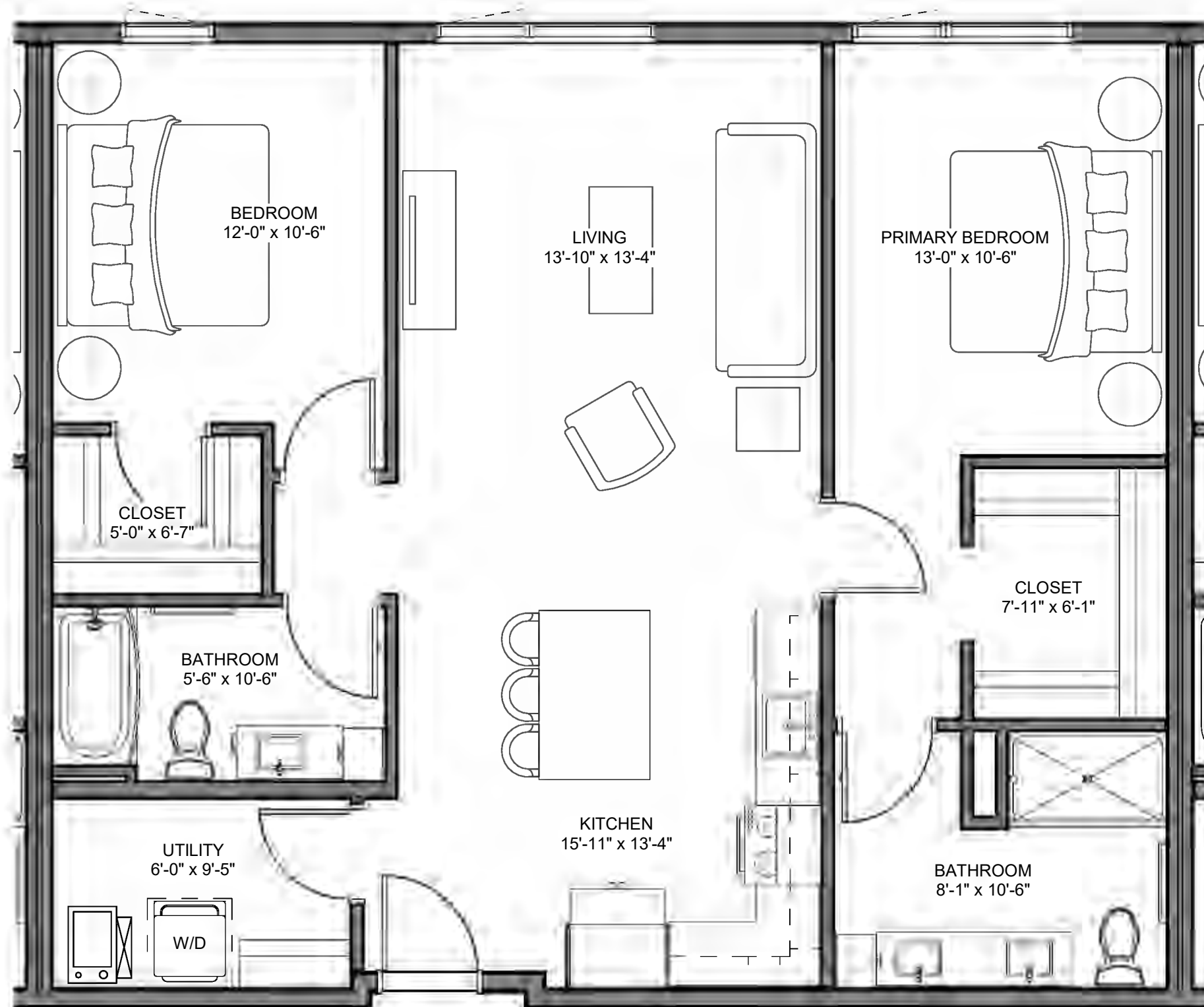


KEY PLAN - BLDG C- LEVEL 1

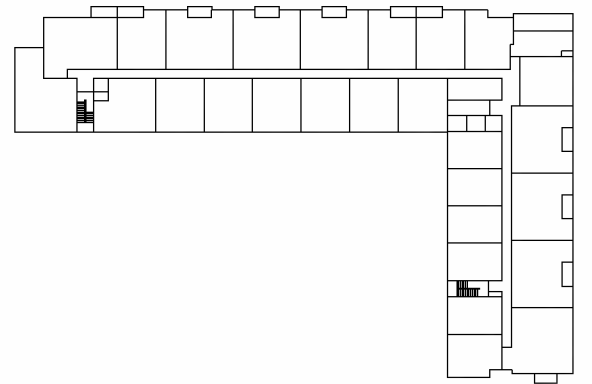
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ENLARGED UNIT C1* PLAN

SCALE: 1/4" = 1'-0"

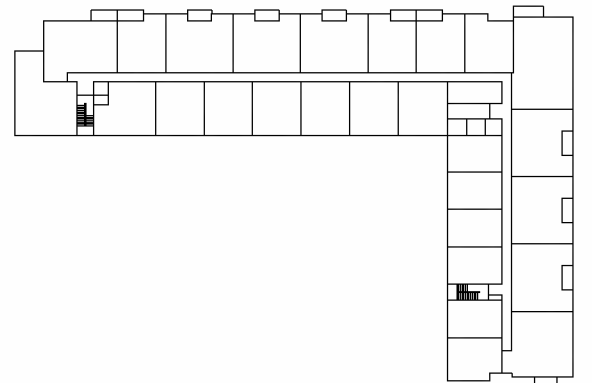


1 UNIT C2 - ENLARGED FLOOR PLAN
1/4" = 1'-0"



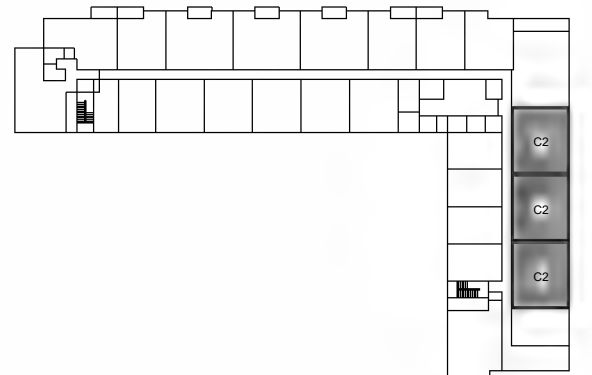
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS

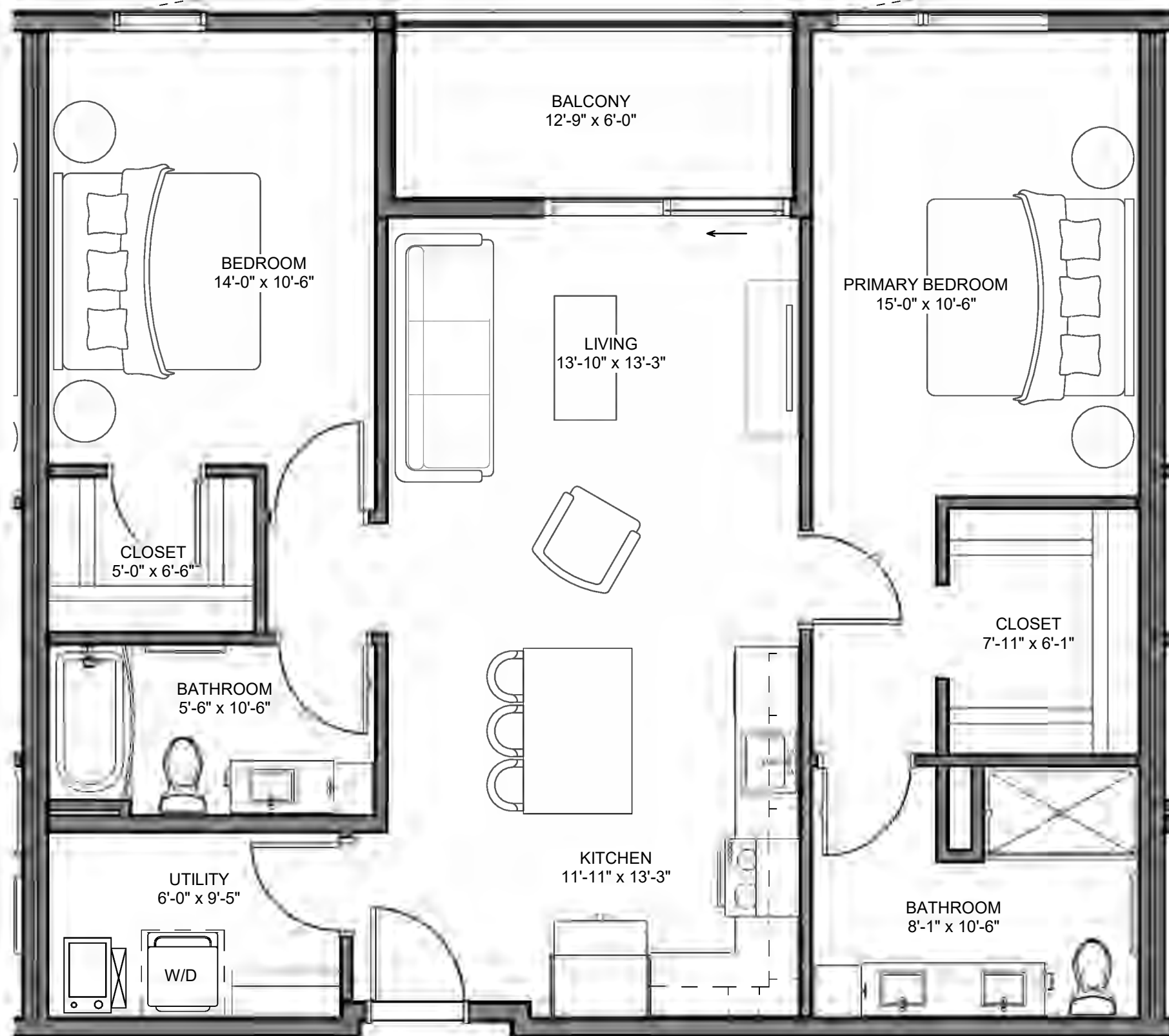


KEY PLAN - BLDG C- LEVEL 1

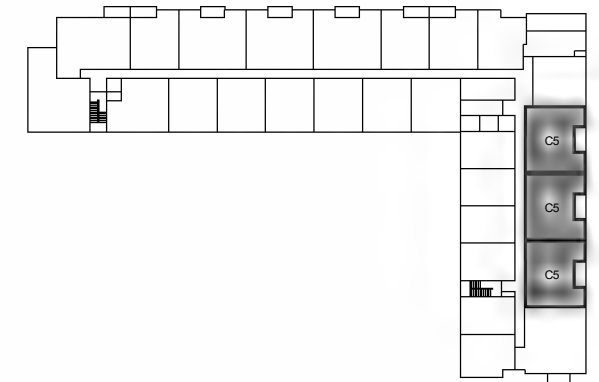
NTS

ENLARGED UNIT C2 PLAN

SCALE: 1/4" = 1'-0"

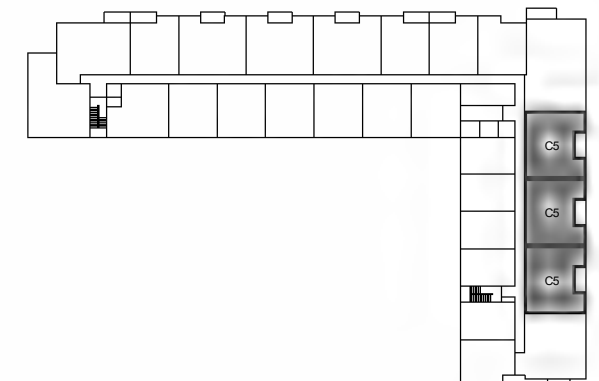


1 UNIT C5 - ENLARGED FLOOR PLAN
 1/4" = 1'-0"



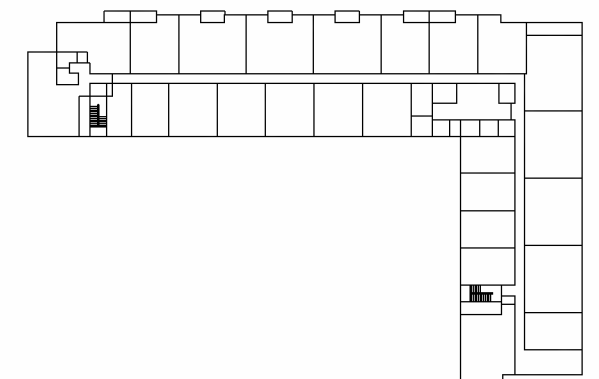
KEY PLAN - BLDG C- LEVEL 4

NTS



KEY PLAN - BLDG C- LEVELS 2 & 3 SIM.

NTS



KEY PLAN - BLDG C- LEVEL 1

NTS

ENLARGED UNIT C5 PLAN

SCALE: 1/4" = 1'-0"



To: City of West Allis

From: Aaron Koch

Date: July 3, 2025

Subject: 92nd & Greenfield Multifamily Stormwater Memo

The following is a preliminary summary explaining the stormwater runoff for the proposed 92nd & Greenfield Multifamily Residential development located at the southwest corner of W. Greenfield Avenue & S. 92nd Street. The total size of the proposed development is 3.00 acres.

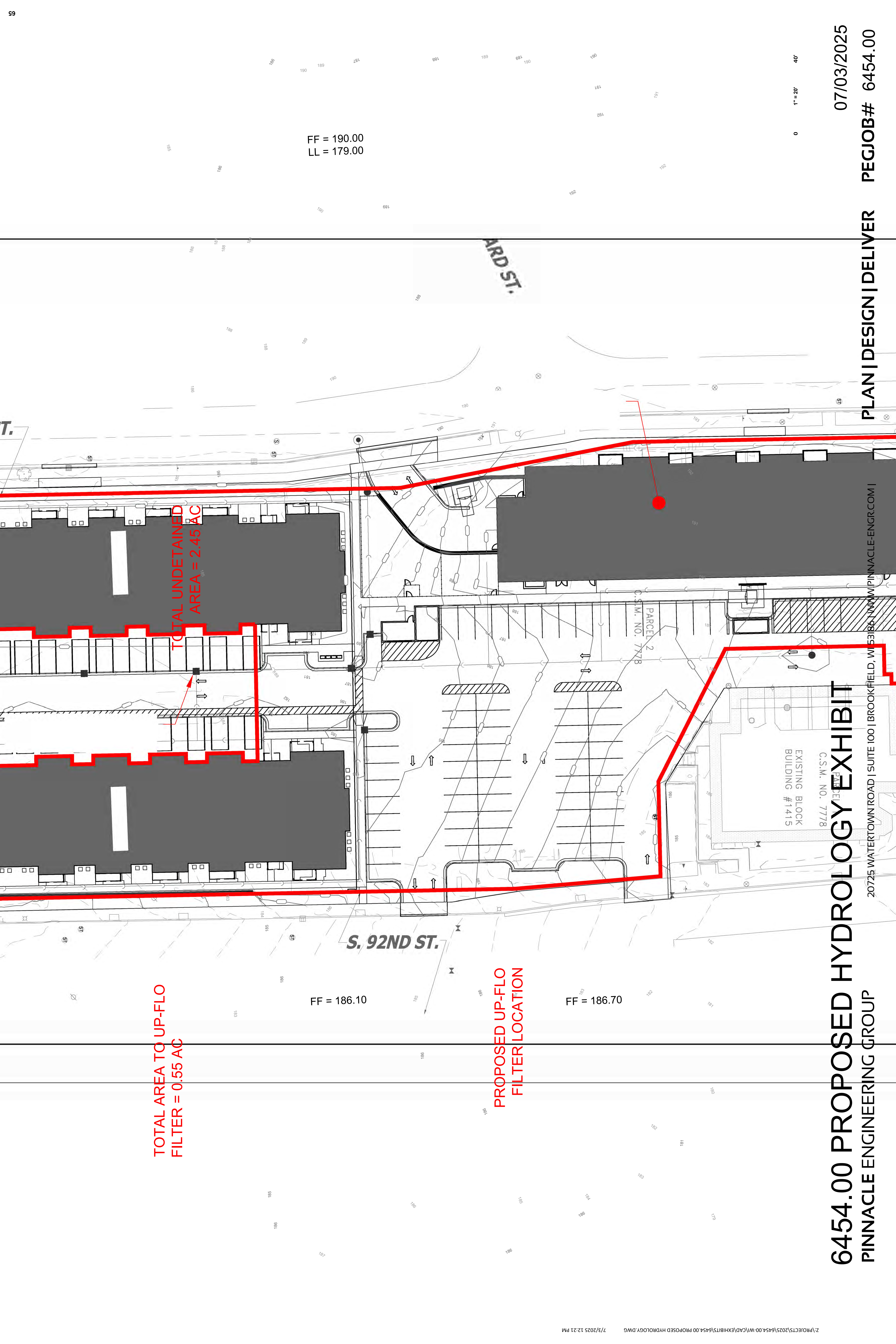
The existing site consists of three buildings and associated parking. Existing conditions include 2.69 acres of impervious area and 0.31 acres of pervious area. The proposed improvements include the addition of three multifamily residential buildings along with parking. The proposed conditions include 2.57 acres of impervious area and 0.43 acres of pervious area. Since the total impervious area will be reduced in proposed conditions, existing to proposed discharge rates will be reduced.

The water quality device being proposed is a 4-node Up-Flo Filter located in an on-site catch basin. Proposed drainage has been designed to reflect existing drainage conditions with a majority of the site discharge occurring towards 93rd Street to the west.

Area	Pounds of TSS Generated (No Controls)	Pounds of TSS Remaining (w/ Controls)	Percent Removal
Residential	1069	578.3	45.90

TSS REMOVAL	
Requested TSS Removal	40%
TSS Removal Provided	45.90%

As shown in the tables above, proposed stormwater quality BMPs will reduce TSS onsite more than the required 40%. WinSLAMM modeling data and the Preliminary Hydrology Exhibit have been attached to this memo. A final plan detailing the stormwater proposal will be prepared and submitted in the future.



TOTAL AREA TO UP-FLO
FILTER = 0.55 AC

TOTAL UNDETAINED
AREA = 2.45 AC

FF = 186.10

FF = 190.00
LL = 179.00

PROPOSED UP-FLO
FILTER LOCATION

FF = 186.70

6454.00 PROPOSED HYDROLOGY EXHIBIT

PINNACLE ENGINEERING GROUP

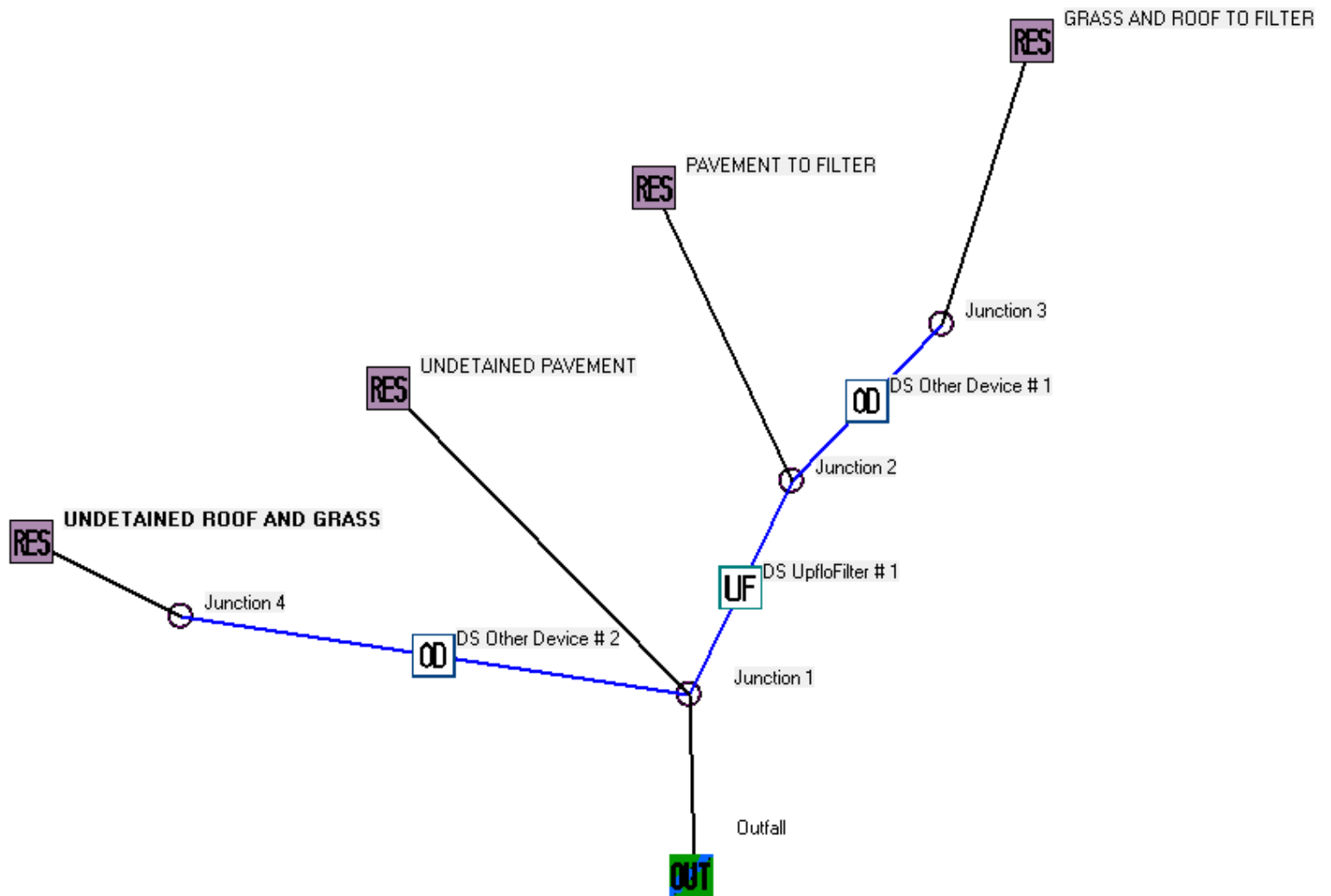
20725 WATERTOWN ROAD | SUITE 100 | BROOKFIELD, WI 53005 | WWW.PINNACLE-ENGR.COM |

PLAN | DESIGN | DELIVER

PEGJOB# 6454.00

07/03/2025

SLAMM ROUTING DIAGRAM



Data file name: Z:\Projects\2025\6454.00-WI\DESIGN\SWMP\SLAMM\6454.00 92nd & GREENFIELD [ALTERNATIVE].mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/01/81

Study period ending date: 12/31/81

Start of Winter Season: 12/02

End of Winter Season: 03/12

Date: 06-30-2025

Time: 14:17:02

Site information:

LU# 1 - Residential: UNDETAINED ROOF AND GRASS Total area (ac): 1.620

1 - Roofs 1: 0.610 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.300 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

3 - Roofs 3: 0.290 ac. Flat Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

45 - Large Landscaped Areas 1: 0.330 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

46 - Large Landscaped Areas 2: 0.090 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Residential: UNDETAINED PAVEMENT Total area (ac): 0.830

13 - Paved Parking 1: 0.830 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 3 - Residential: PAVEMENT TO FILTER Total area (ac): 0.450

13 - Paved Parking 1: 0.450 ac. Connected PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 4 - Residential: GRASS AND ROOF TO FILTER Total area (ac): 0.100

45 - Large Landscaped Areas 1: 0.100 ac. Normal Clayey PSD File: C:\WinSLAMM Files\NURP.cpz Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

Control Practice 1: Other Device CP# 1 (DS) - DS Other Device # 1

Fraction of drainage area served by device (ac) = 1.00

Particulate Concentration reduction fraction = 1.00

Filterable Concentration reduction fraction = 1.00

Runoff volume reduction fraction = 0

Control Practice 3: Other Device CP# 2 (DS) - DS Other Device # 2

Fraction of drainage area served by device (ac) = 1.00

Particulate Concentration reduction fraction = 1.00

Filterable Concentration reduction fraction = 1.00

Runoff volume reduction fraction = 0

Data file name: Z:\Projects\2025\6454.00-WI\DESIGN\SWMP\SLAMM\6454.00 92nd & GREENFIELD [ALTERNATIVE].mdb
WinSLAMM Version 10.5.0
Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Madison WI 1981.RAN
Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdx
Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Com Inst Indust Dec06.std
Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
Freeway Street Delivery file name: C:\WinSLAMM Files\Freeway Dec06.std
Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
Cost Data file name:
Seed for random number generator: -42
Study period starting date: 01/01/81 Study period ending date: 12/31/81
Start of Winter Season: 12/02 End of Winter Season: 03/12
Model Run Start Date: 01/01/81 Model Run End Date: 12/31/81
Date of run: 06-30-2025 Time of run: 14:14:40
Total Area Modeled (acres): 3.000
Years in Model Run: 1.00

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	197507	-	86.68	1069	-
Outfall Total with Controls:	197600	-0.05%	46.88	578.3	45.90%
Annualized Total After Outfall Controls:	198143			579.9	

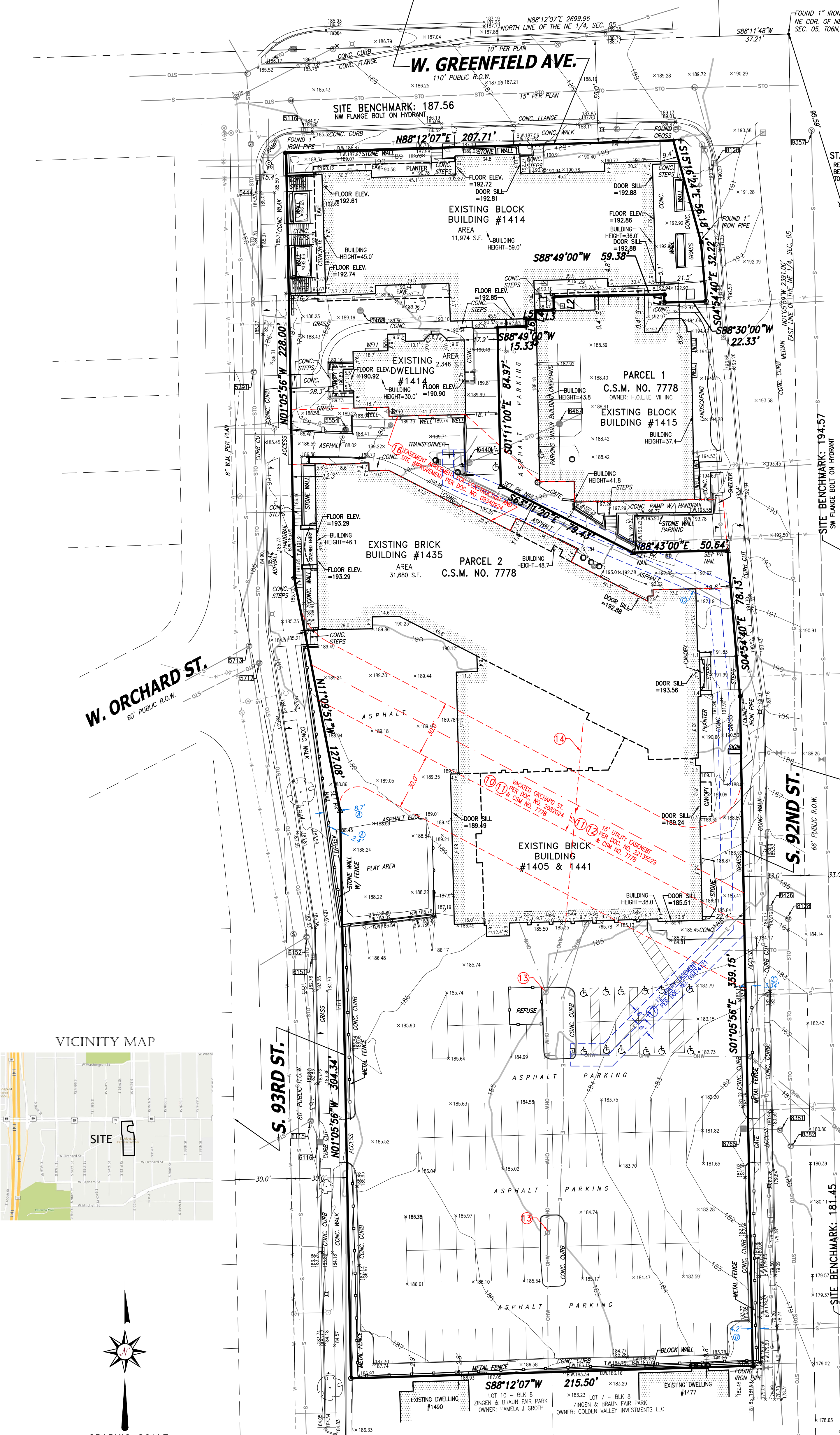
TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1049931-MKE, effective date of February 01, 2021 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5 & 9 visible evidence shown, if any.
- 4, 6, 7, 8, 18, 19, 20, 21 & 22 not survey related.
10. Rights for entrance to, maintenance, construction, or repair of any utility structures, improvements or services which may be under the surface of the portion of the insured premises laying within vacated West Orchard Street (Formerly Park Avenue), pursuant to Section 66.1005(2) (a) Wisconsin Statutes. Resolution and plat vacating portion of West Orchard Street, recorded May 05, 1936 as Document No. 2082024. **Affects property by location, shown.**
11. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 7778, recorded July 03, 2006, as Document No. 09262783 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **Affects property by location, shown.**
12. Utility Easement to Town of Greenfield, Milwaukee County, State of Wisconsin, a municipal corporation, dated June 16, 1937, recorded/filed June 17, 1937, in Volume 1482, page 491, as Document No. 2135529. **Affects property by location, shown.**
13. Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors and assigns, dated August 24, 1956, recorded/filed September 12, 1956 in Volume 3619 of Deeds, page 256 as Document No. 3523272. **Affects property by location, shown.**
14. Utility Easement to Wisconsin Electric Power Company, its successors and assigns, dated December 17, 1956, recorded/filed January 03, 1957 in Volume 3658 of Deeds, page 73 as Document No. 3549808. **Affects property by location, shown. (No Evidence of Power Pole & OHW).**
15. Planned Development Agreement upon the terms, conditions and provisions contained therein:
Dated: June 09, 2006
Parties: City of West Allis, a Municipal corporation (City), H O L I E, Inc., (H O L I E.), St. Aloysius Gonzaga Parish (St. Aloysius) and St. Aloysius (Developer)
Recorded: September 26, 2006
Instrument No.: 09307690. **Affects property by location, general in nature, blanket type.**
16. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Reciprocal Easement Agreement recorded on November 17, 2006, as Document No. 09340924. **Affects property by location, shown.**
17. Utility Easement to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, dated July 26, 2007, recorded/filed August 03, 2007 as Document No. 09474121. **Affects property by location, shown.**

VERTICAL DATUM

Vertical datum is based on City of West Allis Vertical Datum which is NGVD 1929 - 580.56.



ENCROACHMENT TABLE		
A	STONE WALL ENCROACHES OVER PROPERTY LINE	
B	BLOCK WALL ENCROACHES OVER PROPERTY LINE	
C	BUILDING ENCROACHES OVER EASEMENT LINE	
D	ASPHALT ENCROACHES OVER PROPERTY LINE	
E	FENCE ENCROACHES OVER PROPERTY LINE	

LINE	BEARING	DISTANCE
L1	N01°30'00\"W	4.36
L2	S01°11'00\"E	7.17
L3	S88°49'00\"W	10.00
L4	S01°11'00\"E	4.85
L5	S88°49'00\"W	5.00
L6	S01°11'00\"E	3.70

ALTA/NSPS LAND TITLE SURVEY

CLIENT

Cardinal Capital Management

SITE ADDRESS

1405, 1435, 1441 S. 92nd St., and 1414 S. 93rd St., City of West Allis, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

PARCEL TWO (2) OF CERTIFIED SURVEY MAP NO. 7778, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN ON JULY 03, 2006, AS DOCUMENT NO. 09262783, BEING A REDIVISION OF PART OF BLOCK 1 AND LOTS 1 THROUGH 6 AND LOTS 11 THROUGH 17, IN BLOCK 8 AND THE VACATED WEST ORCHARD STREET (FORMERLY PARK AVE.) IN ZINGEN AND BRAUN'S FAIR PARK, A PART OF THE NORTHEAST QUARTER (N.E. 1/4) OF THE NORTHEAST QUARTER (N.E. 1/4) OF SECTION 5, TOWNSHIP 6 NORTH, RANGE 21 EAST, IN THE CITY OF WEST ALLIS, MILWAUKEE COUNTY, WISCONSIN.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the North line of the NE 1/4 bears N88°12'07\"E.

PARKING SPACES

There are 112 regular parking spaces and 14 handicap space marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 55079C0069, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

TABLE "A" ITEMS

- 6(b). A zoning report has not been provided.
- 11(a). Evidence of underground utilities existing on or serving the surveyed property as determined by plans and/or reports provided by client. No plans were provided.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
18. There are no offsite plottable easements that benefits the property.
- 20(a). Location of utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20211507347. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- 20(c). Engineering design topography and utility survey: Vertical datum, elevations with 1 foot contour intervals and spot elevations on paved surfaces. Sewer lines will be depicted by location and depths where accessible without confined entry safety procedures and where traffic lanes do not pose a safety hazard accessing sewer data. Pipe sizes will be shown from plans, if available. Watermain and water services will be depicted from surface evidence and available plans. The limits of topography will extend to the centerline of the adjacent streets and 25' onto adjacent properties unless otherwise agreed upon.

STARTING BENCHMARK: 194.65

REFERENCE MARK AND REFERENCE BENCHMARK FOUND CHISELED CROSS IN TOP OF WEST SIDE OF HYDRANT FLANGE

LAND AREA

The Land Area of the subject property is 130,677 square feet or 2.9999 acres.

Project #3766 - STORM INVERTS						
POINT NO.	TYPE	RIM	DEPTH	DEPTH	DEPTH	DEPTH
6115	INVERT	MH 183.06	3.7	3.65	3.6	
SIZE			15"	12"	12"	
DIRECTION			N	SW	SE	
TYPE			RCP	RCP	RCP	
6116	INLET	182.57	4.45	3.2		
BOTTOM			178.12	179.37		
WATER			178.12	179.37		
SIZE			12"	12"		
DIRECTION			NW	E		
TYPE			RCP	PVC		
6152	MH	182.99	4.1	3.8	4.05	3.85
INVERT			178.89	179.19	178.94	179.14
SIZE			15"	12"	15"	12"
DIRECTION			N	SW	S	SE
TYPE			RCP	RCP	RCP	RCP
6151	INLET	182.63	2.8	2.7		
INVERT			179.83	179.93		
SIZE			12"	12"		
DIRECTION			NW	E		
TYPE			RCP	PVC		
5172	MH	184.7	6.4	6.2	6.2	
INVERT			178.3	178.5	178.5	
SIZE			42"	36"	35"	
DIRECTION			N	SW	SE	
TYPE			RCP	RCP	RCP	
5291	MH	185.78	7.6	7.5	4.8	
INVERT			178.18	178.28	180.98	
SIZE			42"	42"	8"	
DIRECTION			N	S	W	
TYPE			RCP	RCP	RCP	
544	INLET	184.38	4.65			
INVERT			179.73			
SIZE			12"			
DIRECTION			W			
TYPE			RCP			
5116	INLET	184.79	184.79	180.89		
BOTTOM			4.55			
WATER				3.9		
8120	INLET	190.19	4.65	4.6		
INVERT			185.54	185.59		
SIZE			12"	12"		
DIRECTION			N	NE		
TYPE			RCP	RCP		
8128	MH	184.26	5.6	5.25		
INVERT			178.66	179.01		
SIZE			12"	12"		
DIRECTION			SE	NW		
TYPE			RCP	RCP		
9406	INLET	184.16	3.9	4.1		
INVERT			180.26	180.06		
SIZE			10"	12"		
DIRECTION			N	SE		
TYPE			RCP	RCP		
8382	MH	180.45	5.4	5.6	5.7	S
INVERT			175.05	174.85	174.75	175.45
SIZE			12"	15"	18"	12"
DIRECTION			N	E	S	NW
TYPE			RCP	RCP	RCP	RCP
8381	MH	180.51	4.8	3.9		
INVERT			175.71	176.61		
SIZE			12"	12"		
DIRECTION			SE	W		
TYPE			RCP	RCP		
8763	INLET	180.86	3.85	3.75		
INVERT			177.01	177.11		
SIZE			12"	12"		
DIRECTION			E	W		
TYPE			RCP	RCP		
6440	INLET ROUND	189.39	3.1	3.1		
INVERT			186.29	186.29		
SIZE			12"			
DIRECTION			SW			
TYPE			PVC			
6467	INLET ROUND	187.42	2.6	3.8		
INVERT			184.82	183.62		
SIZE			8"	12"		
DIRECTION			NE	SW		
TYPE			PVC	PVC		
5654	INLET	187.84				
568	INLET	189.19	2.8	6.5		
PIPE TOP			VERTICAL PIPE 186.39			
BOTTOM				182.69		

LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ✦ INDICATES FOUND CHISELED CROSS
- ⬢ SANITARY MANHOLE
- ⬢ SANITARY CLEANOUT OR VENT
- ⬢ SEPTIC TANK ACCESS COVER
- ⬢ M.I.S. MANHOLE
- ⬢ UNKNOWN MANHOLE
- ⬢ STORM MANHOLE
- ⬢ INLET (ROUND)
- ⬢ INLET (SQUARE)
- ⬢ CURB INLET
- ⬢ STORM SEWER END SECTION
- ⬢ GAS VALVE
- ⬢ GAS METER
- ⬢ WATER VALVE
- ⬢ HYDRANT
- ⬢ WATER MANHOLE
- ⬢ WATER SERVICE CURB STOP
- ⬢ WELL HEAD
- ⬢ STAND PIPE
- ⬢ WALL INDICATOR VALVE
- ⬢ POST INDICATOR VALVE
- ⬢ LIGHT POLE
- ⬢ SPOT/YARD LIGHT
- ⬢ UTILITY POLE
- ⬢ GUY POLE
- ⬢ GUY WIRE
- ⬢ ELECTRIC MANHOLE
- ⬢ ELECTRIC PEDESTAL
- ⬢ ELECTRIC METER
- ⬢ TELEPHONE MANHOLE
- ⬢ TELEPHONE PEDESTAL
- ⬢ CABLE PEDESTAL
- ⬢ CONTROL BOX
- ⬢ FIBER OPTIC PEDESTAL/SIGN
- ⬢ COMMUNICATION MANHOLE
- ⬢ BOLLARD
- ⬢ SOIL BORING/MONITORING WELL
- ⬢ WATER SURFACE
- ⬢ WETLANDS FLAG
- ⬢ MARSH
- ⬢ FLAGPOLE
- ⬢ PARKING METER
- ⬢ SIGN
- ⬢ MAILBOX
- ⬢ RAILROAD CROSSING SIGNAL
- ⬢ HANDICAP SPACE
- ⬢ CONIFEROUS TREE
- ⬢ DECIDUOUS TREE

TO: Cardinal Capital Management, Inc., a Wisconsin corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a)(b), 13, 14, 16, 18, 19, 20(a) and 20(c) of Table A thereof. The field work was completed on April 29, 2021.

Date of Map: May 4, 2021

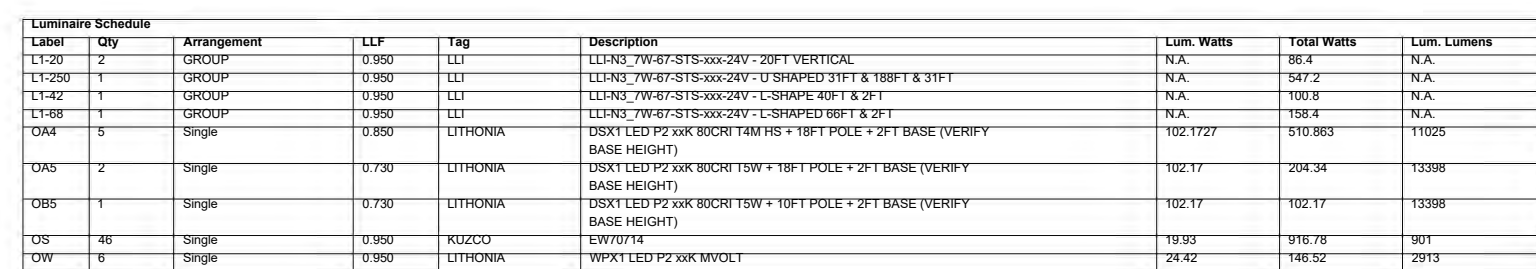
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

CHAPUT
LAND & SURVEYS

234 W. Florida Street
Milwaukee, WI 53204 414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor's client privilege. The information shown herein is intended solely for the use of the client and client directed third parties.
Drawing No. 3766-far

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE	Humaneuse	Fc	0.53	12.44	0.00	N/A
DOG RUN	Humaneuse	Fc	1.58	3.49	0.44	3.59
EAST PARKING LOT	Humaneuse	Fc	1.27	3.52	0.31	4.10
WEST PARKING LOT	Humaneuse	Fc	1.51	2.77	0.47	3.21

[illegible]

DRAWN BY : LB
DATE : JULY 02, 2025
SCALE : 1/32" = 1'-0"

92ND & GREENFIELD MULTIFAMILY
GREENFIELD, WISCONSIN
SITE LIGHTING



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM

- 4A. Conditional Use Permit for The Butcher's Word, a proposed Food Production Use, at 1320 S. 108th St. (Tax Key No. 444-0485-001)**
- 4B. Site, Landscaping, and Architectural Design Review for The Butcher's Word, a proposed Food Production Use, at 1320 S. 108th St. (Tax Key No. 444-0485-001)**

Overview and Zoning

William Byers is taking his many years of experience in the restaurant and meat processing industries and putting it into a new butcher store in West Allis. The Butcher's Word is a proposed butcher shop with retail displays of fresh meat cases, coolers, freezers, etc. The space also seeks to be a community gathering space with cooking classes, tasting events and presentations from regional farmers.

The proposed business takes over the space of the former America's Furniture Gallery. The property is zoned C-3. Butcher shops are considered a Food Production use which is a Conditional Use in the C-3 district.



The business plans to open in Fall of 2025. A total of 8-10 staff members are expected to be employed by the business. The proposed hours of operation for the business are as follows:

Monday – Saturday: 9 a.m. – 7 p.m.
Sunday: 9 a.m. – 5 p.m.

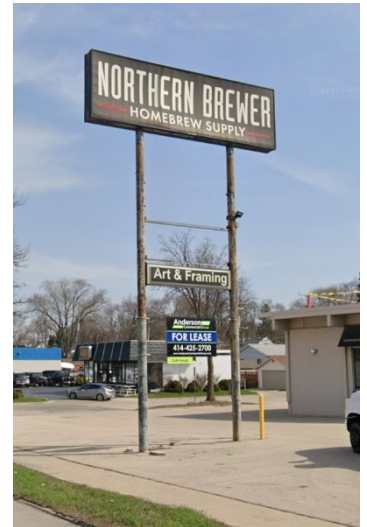
Site Plan

A site plan was submitted by the applicant, however, most work is to be completed in the interior of the building. No major site changes are proposed. Existing landscaping is located near the proposed main entrance, however the distressed condition and survivability has been noted by staff and the applicant. Where possible, staff recommends landscaping elements such as planter boxes, trellis', a small patio/seating option, or other features on the site to contribute some natural features to the already built-out site.



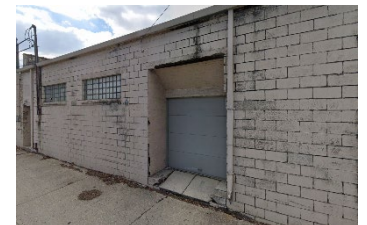
Not indicated on the site plan is a location for refuse. Design guidelines require refuse areas to be enclosed by a four-sided structure, and not obstruct the alleyway.

The existing pole signage on the site is considered non-conforming. While the existing condition may continue without alteration (excepting repainting existing sign faces), the existing signage is encouraged by staff to be replaced by a conforming freestanding sign that can incorporate the proposed business and other tenants in the multitenant commercial building.



Architectural Plan

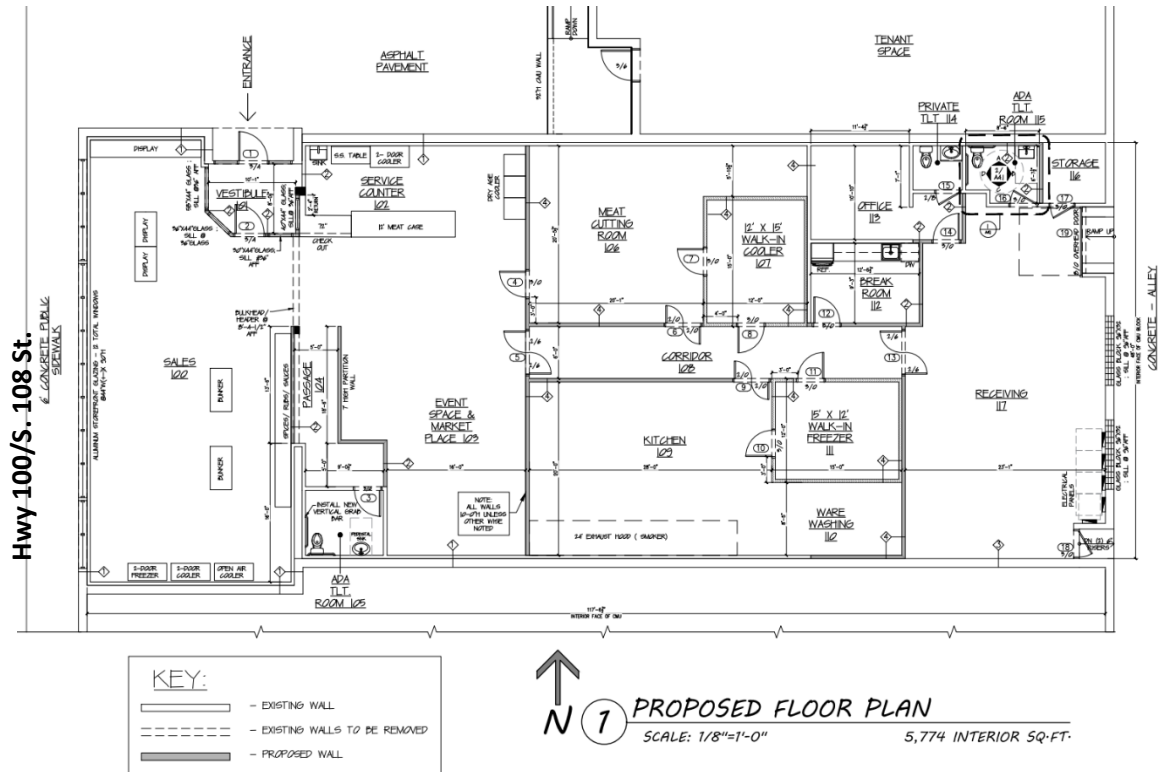
No major changes to the exterior of the building are proposed as part of this project. However, upon inspection staff noticed that the rear/east facing wall of the building needs maintenance (faded/chipping paint & dirt). Staff recommends restoration of the rear façade to resolve any exterior maintenance issues.



Floor Plan

A floor plan has been submitted by the applicant showing the overhaul to the existing property. The main entrance of the business is to be located along the northwestern wall off of the existing parking lot. The main entrance first leads to a vestibule which opens to a larger retail area with coolers, shelving, and other display areas. An event & market space area is coupled with the butcher service counter. Bathrooms are also provided in this area. Beyond the retail and event area of the business, a corridor leads to the kitchen, meat cutting room, walk-in freezers

and coolers, an office, and a receiving area. The receiving area is fed by a ramp to the rear alley. To ensure this rear alley and receiving area does not cause conflict with the adjacent neighborhood, staff is requesting more information on the frequency of deliveries and other needed details.



Design Guidelines

This project is considered a minor redevelopment. Design guidelines are not required for this project.

Recommendation: Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for The Butcher's Word, a proposed Food Production Use, at 1320 S. 108th St. (Tax Key No. 444-0485-001) subject to the following conditions:

(Item 1-4 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for August 12th, 2025)

2. A revised site and landscaping plan being submitted to show the following:
(a) front entry site improvements (landscaping elements such as planter boxes, trellis', a small patio/seating option, or other features on the site to contribute some natural features to the already built-out site); (b) refuse location and screening plan; (c) confirmation of exterior maintenance improvements specifically on the rear of the building; (d) location of an outdoor bicycle rack.
3. Building permits being applied for with the Code Enforcement Department for review.
4. Scope of work being indicated on signage and lighting. Will the property be keeping pole sign and repaneling existing sign faces or removing the pole sign? Removal and replacement will require a signage permit and design review application with the Planning & Zoning Department.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM

5. Site, Landscaping, & Architectural Design Review for a proposed ramp at Beloit Road Baptist Church, an existing Religious Institution use, at 8337 W. Beloit Rd. (Tax Key No. 516-0271-000)

Overview and Zoning

Beloit Road Baptist Church is an existing religious institution at [8337 W. Beloit Rd.](#) The church is proposing an amendment to the existing site with the addition of a ramp leading to the north, main entrance of the building. The entrance is currently only serviced by a flight of concrete stairs, making it difficult for people of all abilities to enter the church at this entrance.

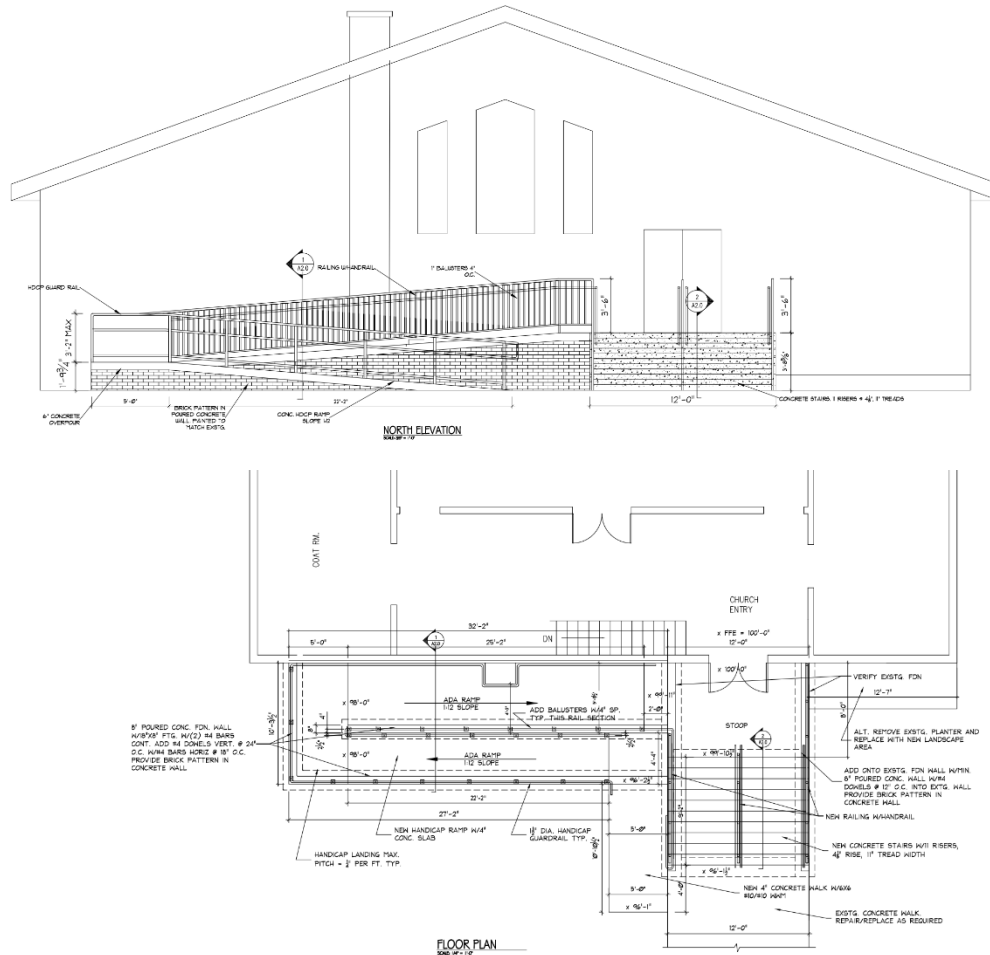
The property is zoned RA-2. [Religious Institutions](#) are a conditional use in the RA-2 zoning district. There are no other changes to the site, architecture, or operation of the institution.

Site & Architectural Plan

The site plan provided by the applicant shows the ramp on the northern portion of the existing building. The ramp begins directly at the bottom of the steps then slopes towards the east, stops, and continues to slope toward the west, meeting the top of the stairs. The visible base of the ramp consists of brick pattern concrete to match the existing building. A railing with handrail is provided as well.

A freestanding sign exists where the ramp is proposed to be located. The applicant indicated removal of this sign. At this time there have not been any proposals for new signage.





Recommendation: Approve the Site, Landscaping, & Architectural Design Review for a proposed ramp at Beloit Road Baptist Church, an existing Religious Institution use, at 8337 W. Beloit Rd. (Tax Key No. 516-0271-000)

1. Site plan being updated to show a replacement landscaping area along the north side of the new ramp.
2. A building permit being submitted with the Code Enforcement Department.
3. If a replacement sign is planned, a signage permit application and plans being submitted for design review and permit with the Planning & Zoning Department.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM

6. Site, Landscaping, and Architectural Design Review for Tri-City Bank, an existing General Service use, at 10909 W. Greenfield Ave. (Tax Key No. 448-9996-002)

Overview and Zoning

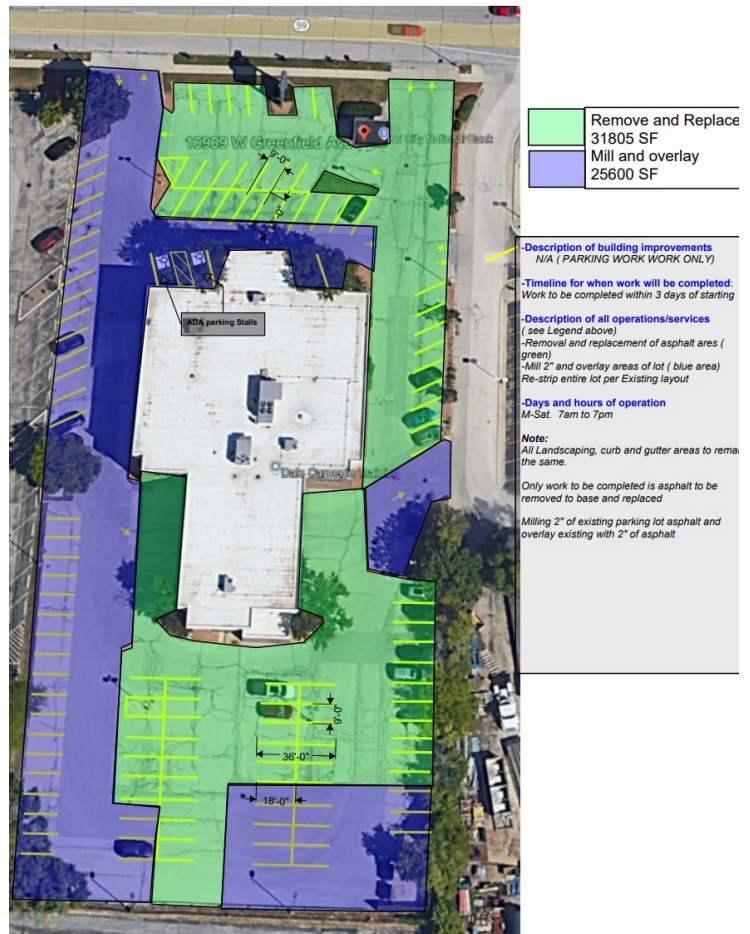
Tri-City Bank at 10909 W. Greenfield Ave. has submitted a proposal for the repaving of their existing parking lot area. This improvement triggers plan commission review due to the site changes. The overall scope of work is to remove & replace 31,805 sq. ft. of existing parking lot and mill & overlay the remaining 25,600 sq. ft. of parking lot area. The applicant has indicated that work will be completed within 3 days of starting.

The property is zoned C-3 and is considered a General Service use; a permitted use in the C-3 Zoning district. There are no changes to the operation of the existing business.

Site Plan

The site plan provided by the applicant shows improvements to the 57,405 sq. ft. parking lot. The existing parking lot shows a total of 112 parking spaces. The zoning code limits the number of parking stalls on the site to 101 parking stalls. Staff recommends removal of 11 parking stalls and pavement with landscaping area.

Existing access to the site is provided via multiple points. Access to the parking lot is shown on W. Greenfield Ave in the northeast and northwest corners. Immediately next to the northeast corner access point is a shared driveway. This shared driveway extends south to provide two access points on the east side of the property. Citing traffic safety concerns, the City Engineer is requesting the northeast corner access point be modified. The proximity to the access point directly east contributes to dangerous traffic conflicts. Staff recommends a driveway permit to modify the existing northeast access to a right out only configuration, along with concrete removal to provide additional landscaping area alongside to the east. This retains access to the ATM, while eliminating vehicles from entering the site on the NE corner in conflict with the exiting ATM traffic. A draft concept is shown below.







In a broader effort to increase walkability within West Allis, nearby developments including Festival Foods and Checker's have been required to place internal pedestrian pathways. Currently, Tri-City Bank is not accessible via a pedestrian pathway. Staff recommends the placement of a pedestrian pathway that connects to the existing sidewalk on the north side of the property.

With the additional landscaping on-site, staff will require the submittal of a landscaping plan indicating species and location. No other changes are being proposed as part of this scope of work.

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Tri-City Bank, an existing General Service use, at 10909 W. Greenfield Ave. (Tax Key No. 448-9996-002) subject to the following conditions:

1. A revised site & landscaping plan being submitted to the Planning & Zoning office to show a) a total of 11 parking stalls removed to conform with [Sec. 19.44](#) of the Zoning Code b) additional landscaping areas created through the removal of existing pavement with species and locations indicated c) modification of the northeast access driveway to a right out configuration along W. Greenfield Ave. d) an outdoor bicycle rack added e) internal pedestrian accommodations.
2. Street Excavation and Driveway Approach Permits being applied for with the Engineering Department for review.



**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM**

7. Sign Plan Appeal for All Goods, a proposed Neighborhood Retail use, at 8436 W. Greenfield Ave. (Tax Key No. 442-0632-000)

Overview

The owner of All Goods, an existing Neighborhood Retail Use, is moving to its new location at 8436 W Greenfield Ave has applied for a Sign Plan Appeal to allow for a painted wall sign on the south façade of the existing building. The proposal includes a 3-ft x 8-ft (24-sf) painted sign. The west wall previously included a black wooden board panel sign. No other signage is proposed at this time. There was a large rooftop sign affixed to the building for a number of years, however, the applicant has since removed the rooftop sign.

An image of the proposed signage has been provided by the applicant. Shown on the proposed sign plan is the business name in a white to grey finish, contrasting the black façade.

The area of signage is below the maximum square footage allowed per Code. The maximum square footage for signage for the building is 72 sq. ft. based on the Sign Code.

Painted wall signs cannot be approved administratively under the Sign Code. The applicant is requesting an appeal to also allow the painted wall sign under the Sign Code's Creative Sign subsection. The creative sign section grants businesses the opportunity to present their proposal before the Plan Commission. The applicant did not provide information on the artist of the proposed sign.

Creative Sign Requirements

Creative Sign section 13.21(24)(c)(i) requires that signs shall conform with the following:

- i. Design quality. The sign shall:
 - 1. Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area.



2. Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
 3. Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.
- ii. Contextual criteria. The sign shall contain at least one of the following elements:
1. Classic historic design style;
 2. Creative image reflecting current or historic character of the City;
 3. Public art, symbols or imagery relating to the entertainment or design industry; or
 4. Inventive representation of the use, name or logo of the structure or business.
- iii. Architectural criteria. The sign shall:
1. Utilize and/or enhance the architectural elements of the building.
 2. Be placed in a logical location in relation to the overall composition of the building's facade and not cover any key architectural features/details of the facade.

Based on the proposed design in relation to the above criteria, staff agrees with the applicant that these requirements have been met and believes a Creative Sign Plan should be approved. The sign features a creative way of advertising the business, provides a positive visual impact to the surrounding area and is located on a side wall to not cover architectural features of the building.

Recommendation: Recommend approval of the Sign Plan Appeal for All Goods, a proposed Neighborhood Retail use, at 8436 W. Greenfield Ave. (Tax Key No. 442-0632-000), based on the sign's satisfaction of the requirements of the City's Sign Code Creative Sign Subsection

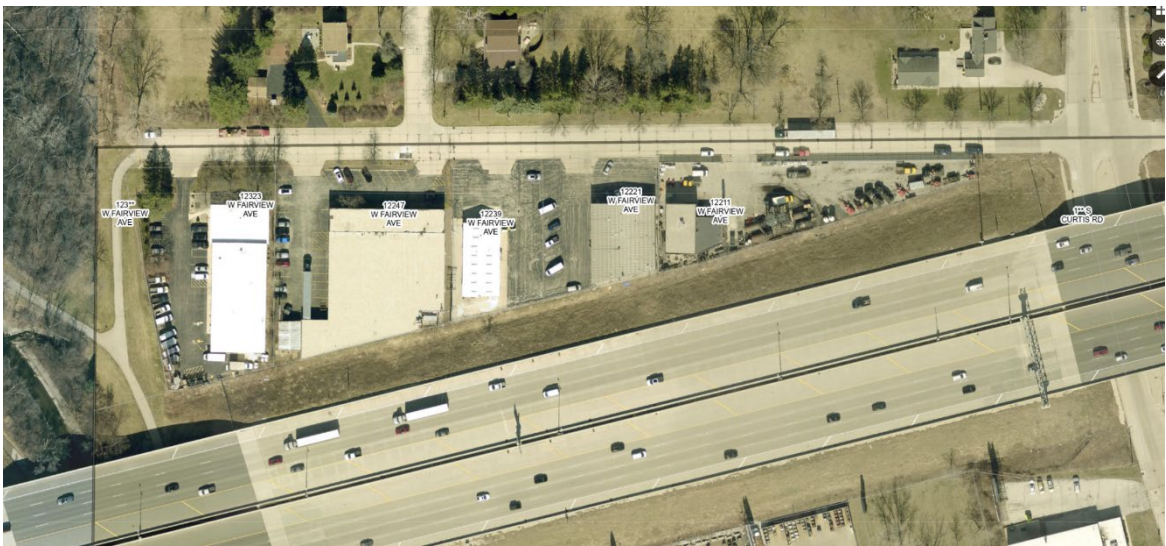


STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM

8. Sign Plan Appeal for Fairview Partners, LLC, at 12221 W. Fairview Ave. (Tax Key No. 413-9996-009)

Overview

Blau Plumbing owns properties at 12221 W. Fairview Ave. 413-9996-009 (0.4-acre site with an approximate 10,000-sf building) and 12239 W. Fairview Ave. 413-9996-008 (0.3-acre site with an approximate 2,000-sf building). The subject is located on the north side of interstate I-94, and west of S. Curtis Rd. The properties within this area are zoned I-1, light industrial. The City of Wauwatosa is located to the north and developed for residential use. Blau has applied for a variance to the master sign program sec. 13.21(13) of the signage ordinance.



Proposed Sign

Blau has submitted an application, rendered plan views, lighting plan, and scope of work (included with this report) describing their intent to build a freestanding sign along the west property line of the 12221 W. Fairview site. Here's a summary:

- The new sign will measure 14-ft x 48-ft long and feature two full digital faces (double sided V-shape @ 14-ft x 48-ft = 672-sf each).
- The height above the ground Level is proposed to be about 60 feet above the parking lot surface to the top of the sign. The sign is proposed to be setback about 20-30ft from the south property line along the frontage with I-94 right-of-way. The interstate is approximately 20-ft above the adjacent grade of the Blau parking lot. Therefore, the top of the sign is 40-ft above interstate I-94 and about 60-ft above the Blau parking lot.

[Master sign program 13.21\(13\)](#) - The signage review is being considered under the master signage program.

- The purpose of the Master Sign Program is to advertise a center and its individual tenants and to allow qualified buildings and/or centers greater flexibility and increased signage area.

- The Plan Commission, in its discretion, will consider the type and location of the building site, the proposed tenant mix, the size of the development and such other factors as it deems appropriate in evaluating a Master Sign Program.
- The following entities may make application for the Master Sign Program:
 - Multi-tenant commercial buildings (MTCBs) or centers of three (3) or more individual tenants or buildings of at least twenty-five thousand (25,000) square feet of building area.
 - Commercial or industrial uses which abut I-94 and I-894 right-of-way.

Planning cannot administratively approve this signage permit proposal, as the property and sign proposal qualify for the master sign program, and the freestanding sign area exceeds the sign ordinance allowance. The sign appeal to the requirements within sec 13.21(13) will come before our City Plan Commission.

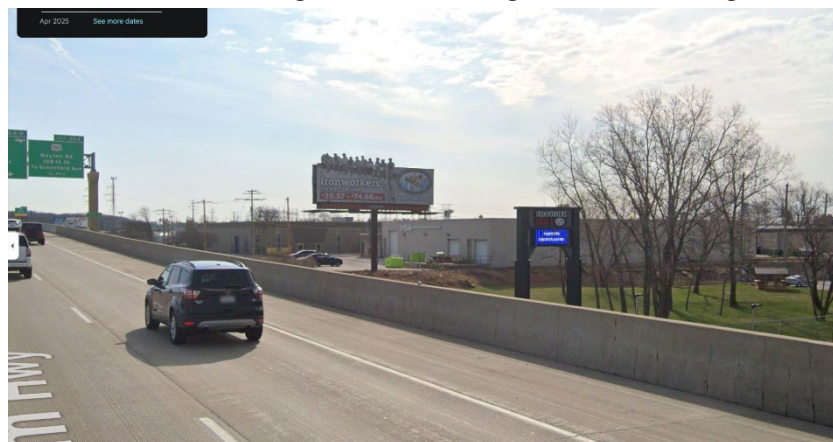
The sign ordinance allows a property owner to display a message or advertising as long as the sign structure meets the area and design requirements of the sign ordinance. In this case, what's proposed is a large digital sign (14-ft tall x 48-ft wide and 60-ft tall) at the [Blau Plumbing property](#). Our signage ordinance allows both commercial and non-commercial speech, on-or off-premises signage messages, as long as a sign meets the ordinance requirements (size/ area, height, digital display limits, design, and landscaping requirements).

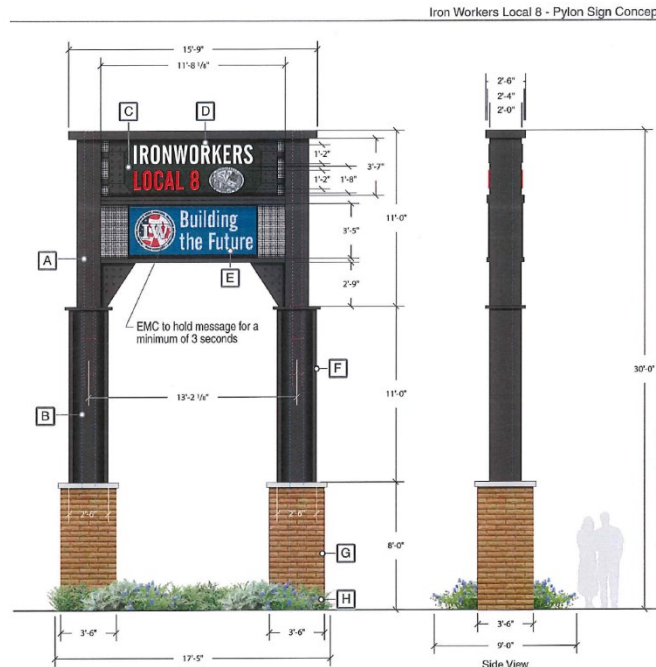
The sign ordinance 13.21(13)(g) will allow the following for this property along I-94:

- One (1) freestanding sign per property of no more than seventy-five (75) square feet in area, ten (10) feet in height, and subject to Plan Commission approval. Section 13.21(13)(g)
- The area of the changeable copy sign must be included in the total computation of allowable signage. The changeable copy portion of the sign must occupy a secondary position to the name of tenant. The area of changeable copy and electronic message centers shall not exceed thirty-five percent (35%) of the sign face. See 13.21(19).
- The sign would need to be located on the Blau property and not encroach into WisDOT right-of-way.

Of note, in 2018 the Plan Commission approved a sign appeal for the Iron Workers property located at 12032-34 W. Adler Lane. This location is directly south of the Blau property on the opposite side of the interstate [south of I-94](#). While the Ironworkers sign exceeds the height limit due to the grade

difference between their site and the interstate, their sign meets all the other aspects of the sign ordinance (75-sf area/size requirement, limits EMC area to 35% of sign area, features good design elements/articulation). Ironworkers applied for a signage appeal to the Plan Commission and their design was approved.





Recommendation: Recommend denial of the Sign Plan Appeal for Fairview Partners, LLC, at 12221 W. Fairview Ave. (Tax Key No. 413-9996-009). The basis for rejecting the proposal as follows:

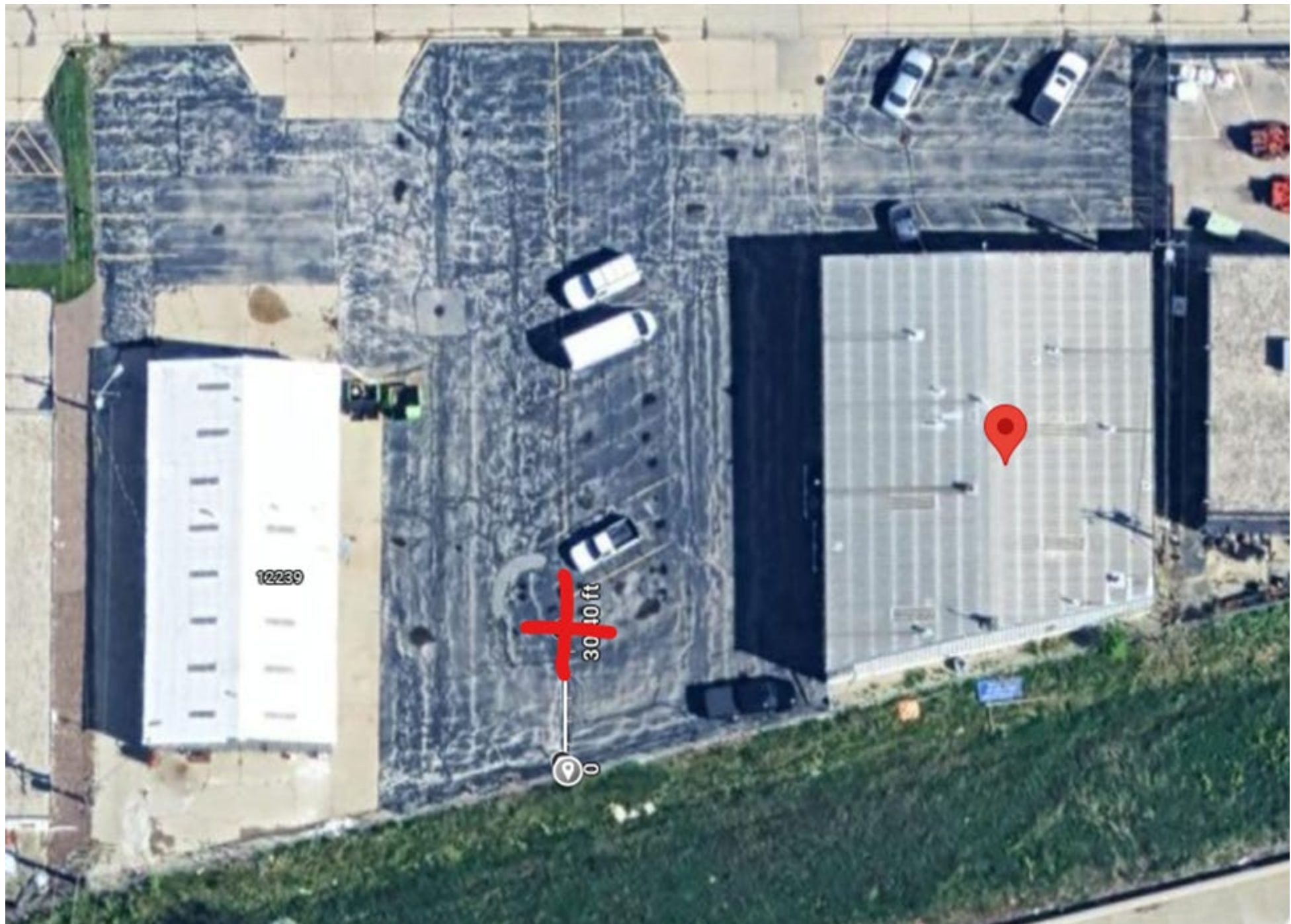
1. The proposed sign significantly exceeds the area, height, digital display allowances and doesn't meet the design or landscaping requirements within sec 13.21(13)(g)(i)(v)(vii)(ix)(xii) more specifically referenced below.
2. The proposed features fully digital sign faces (100% of each sign face) and sign exceeds the 35% limit described in sec. 13.21(19): *The changeable copy portion of the sign must occupy a secondary position to the name of tenant. The area of changeable copy and electronic message centers shall not exceed thirty-five percent (35%) of the sign face.*
3. Approval of the proposal would set an exceptional precedent to allow other properties along the interstate corridors of the city to construct similar signs.
4. Adhering to the existing sign ordinance is reasonable and has the purpose as listed in sec. 13.21(1)(c)(d)(i) regulation of signs within the City is necessary and in the public interest: (c) to promote a healthy and properly designed business environment, (d) to provide for the expression of both commercial and noncommercial speech, and (i) does not regulation sign content.

Freestanding signage 13.21(13)(g) Master Sign Program.

- i. **Multi-tenant commercial buildings, or buildings/centers greater than twenty-five thousand (25,000) and less than fifty thousand (50,000) square feet of building area may be permitted one (1) freestanding sign of no more than seventy-five (75) square feet in area, ten (10) feet in height, and subject to Plan Commission approval.**
- ii. Buildings/centers greater than fifty thousand (50,000) and less than one hundred thousand (100,000) square feet of building area may be permitted one (1) sign per building/center of one hundred fifty (150) square feet in area, not to exceed twelve (12) feet in height, subject to Plan Commission approval.
- iii. Buildings/centers greater than one hundred thousand (100,000) and less than three hundred thousand (300,000) square feet of building area may be permitted one (1) freestanding sign per arterial street of one hundred fifty (150) square feet in area each, or one (1) sign per building/center of two hundred twenty-five (225) square feet in area, neither to exceed fifteen (15) feet in height, subject to Plan Commission approval.

- iv. Determination of signage area for buildings or centers greater than three hundred thousand (300,000) square feet of building area shall be determined by the Plan Commission.
- v. **Where changeable copy or electronic message center signage is permitted pursuant to Section 13.21(19), the area of the changeable copy sign must be included in the total computation of allowable signage and subject to Plan Commission review.**
- vi. The Planning and Zoning Program Staff and the Plan Commission shall not approve any Master Sign Plan greater than fifteen (15) feet in height, except for centers over three hundred thousand (300,000) square feet in building area, which height shall be subject to Plan Commission discretion.
- vii. **Freestanding signs must be architecturally integrated with the principal building on the property. The base, sides, and top of the sign shall be constructed of masonry or other approved durable materials. The tone and texture of the base, sides, and top shall reflect the principal building construction as close as possible or shall enhance the exterior architecture of the principal building.** The base of the sign shall be a minimum of two (2) feet in height.
- viii. The color scheme of the sign shall complement the color scheme of the principal building.
- ix. **Architectural features (such as sills, piers, reveals, capstones, medallions, etc.) which are part of the architectural makeup of the principal building shall be incorporated into the sign.**
- x. The sign face shall be constructed of aluminum, masonry, or similar product or polycarbonate with an opaque background or other approved durable materials. If internally illuminated, the sign face must be constructed of an opaque background.
- xi. The sign structure or post of a freestanding sign must be wrapped in or constructed of a material compatible with the materials utilized in the construction of the building to which the sign refers. The width of the base of the sign must be equal to or greater than the width of the sign face.
- xii. **Landscaping requirements. Landscaping shall be provided at the base of the supporting structure equal to twice the area of one face of the sign.** For example, twenty (20) square feet of sign area equals forty (40) square feet of landscaped area. The Plan Commission may reduce or waive this requirement if it is determined the additional landscaping would not contribute significantly to the overall aesthetic character of the project.





Robert Blau owns both properties at 12221 and 12239 W. Fairview Ave. The new freestanding sign would be erected on a single pylon pole at the west lot line of 12221 W. Fairview.

Mr. Blau’s plan is to convert the property from commercial single occupancy to commercial office multiple occupancy. This will provide leasable office space for tenants with minimal remodeling.

The existing parking lot can accommodate 30 plus vehicles. I have a working name FAIRVIEW COMMONS for the new business.

The location along I 94 will provide my tenants a great opportunity to advertise their businesses to a large audience. Having a large 14 x 48 digital sign will provide readable ad space for fast moving cars on I 94. Digital signs provide the best image quality vs. static signs.

In addition to my tenants advertising on the sign, I would like to offer the City of West Allis an in-kind donation of permanent free advertising on the sign.

The location is near the city limits and provides a unique opportunity for the City. I think "Gateway" type advertising would be appropriate for this location such as "Welcome to the City of West Allis", or "Thank you for visiting the City of West Allis". The messages could be changeable and alternating for events like 4th of July Fireworks, Holiday Parade, etc.

The larger sign would be necessary in order to provide readable City of West Allis messages to the fast-moving traffic. The sign would be a high quality 16mm display, and a light study is being prepared.

Robert Blau
Owner
Fairview Partners, LLC
and
President
Blau Plumbing, Inc.
p 414.881.8501



CLIENT:

FAIRVIEW PARTNERS LLC.
17145J W BLUEMOUND RD. STE. 234
BROOKFIELD, WI 53005

PROJECT SCOPE:

DIGITAL BILLBOARD STRUCTURE
W/ 14 X 48 LED DISPLAYS
(672 SQ. FT. PER FACE OR 1,344 TOTAL SQ. FT)

LOCATION:

WEST ALLIS, WI
12221 W. FAIRVIEW AVE.
COLUMN LOCATED AT
PARKING LOT WEST OF BUILDING

STRUCTURE SPECS:

14 X 48, FULL FLAG
20' V
60' OAH

DIGITAL SPECS:

PIXEL PITCH:
TRUE 19MM
LEDS PER PIXEL:
THREE
PIXEL/LED DENSITY:
256/768 PER SQUARE FOOT
BRIGHTNESS:
7,500 NITS; 5,000 NITS AT YEAR 10

ABOVE ALL OUTDOOR ADVERTISING, INC.
N66W28196 FOREST RIDGE CIRCLE
SUSSEX, WI 53089
262-528-2087

ABOVEALLOUTDOOR.COM

CONCEPTUAL DRAWING ONLY. ALL SIZES AND DIMENSIONS ARE ILLUSTRATED FOR CLIENT CONCEPTION OF THE PROJECT AND ARE NOT TO BE UNDERS
RENDERINGS, INCLUDING LIGHTING EFFECTS, OPACITIES, AND COLORATION, ARE AN APPROXIMATION.

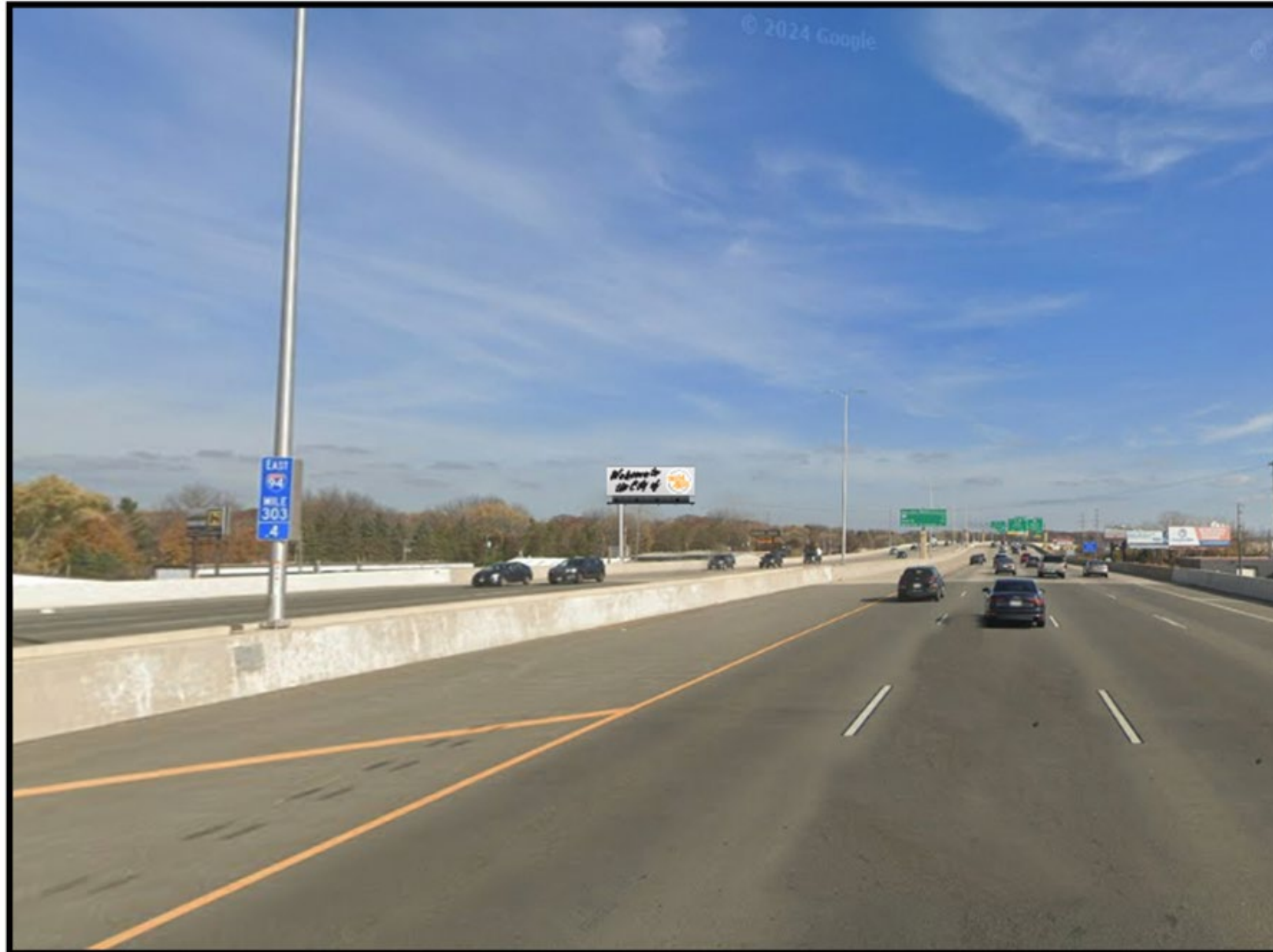
SITE PLAN

EASTBOUND CLOSEUP



Sign height above ground level is about 60 feet (parking lot surface to the top of the sign).
I-94 is approximately 20 feet above adjacent Blau parking lot - the top of the sign is about 40-feet above I-94.

TOOD AS BEING EXACT SIZE OR EXACT SCALE.



CLIENT:

FAIRVIEW PARTNERS LLC.
17145J W BLUEMOUND RD. STE. 234
BROOKFIELD, WI 53005

PROJECT SCOPE:

DIGITAL BILLBOARD STRUCTURE
W/ 14 X 48 LED DISPLAYS
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LOCATION:

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12221 W. FAIRVIEW AVE.
COLUMN LOCATED AT
PARKING LOT WEST OF BUILDING

STRUCTURE SPECS:

14 X 48, FULL FLAG
20' V
60' OAH

DIGITAL SPECS:

PIXEL PITCH:
TRUE 19MM
LEDS PER PIXEL:
THREE
PIXEL/LED DENSITY:
256/768 PER SQUARE FOOT
BRIGHTNESS:
7,500 NITS; 5,000 NITS AT YEAR 10

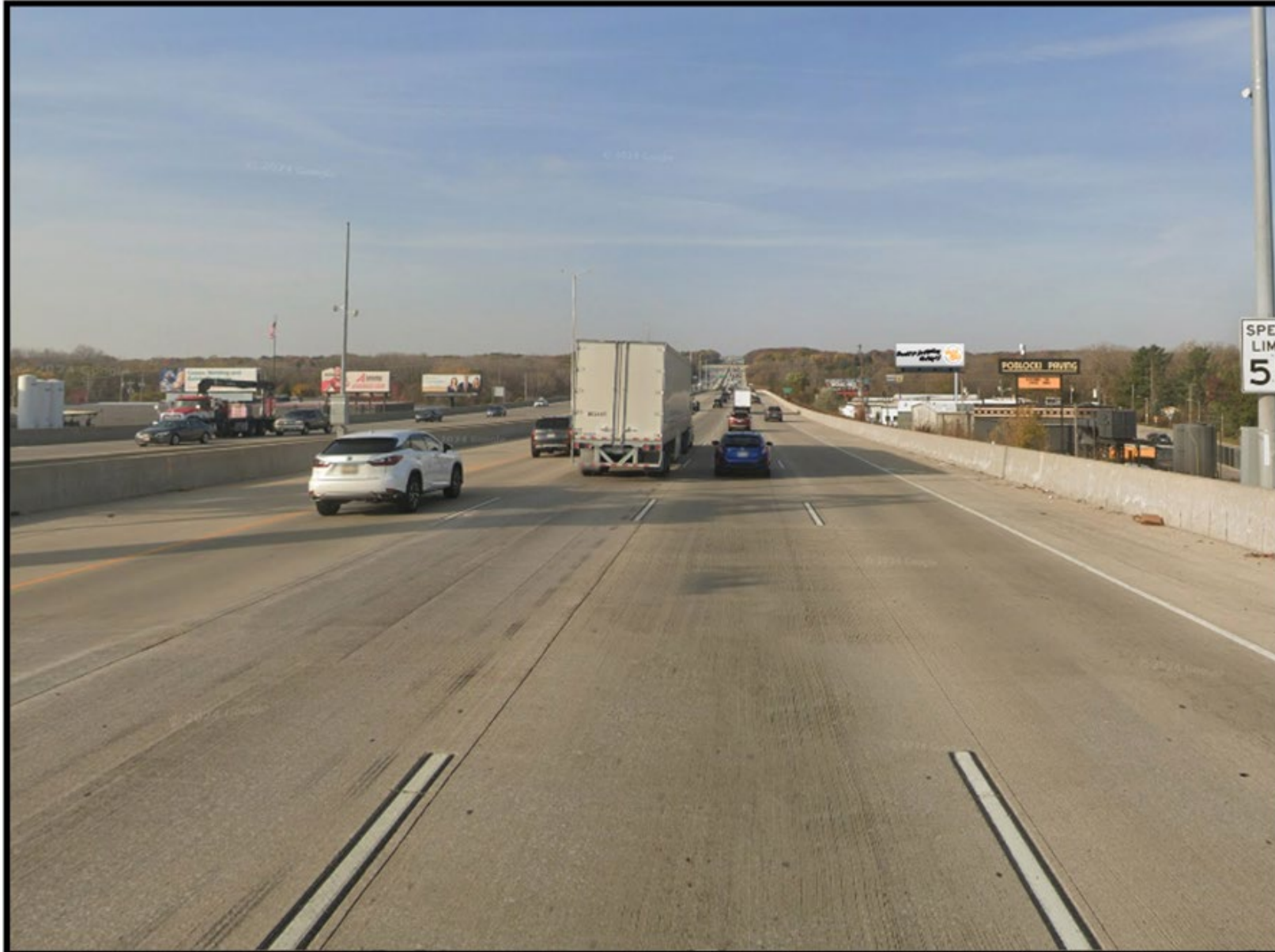
ABOVE ALL OUTDOOR ADVERTISING, INC.
N66W28196 FOREST RIDGE CIRCLE
SUSSEX, WI 53089
262-528-2087

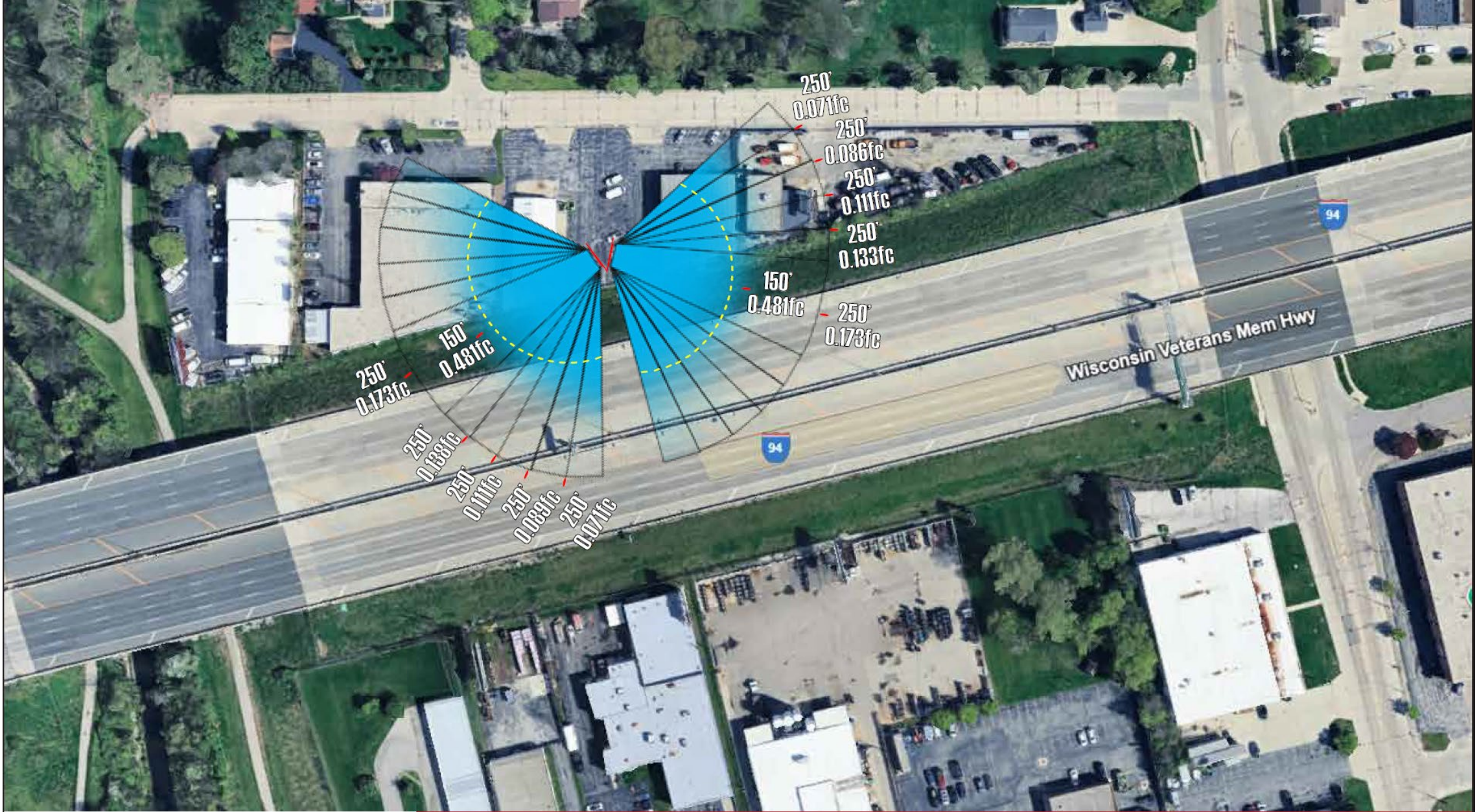
ABOVEALLOUTDOOR.COM

SITE PLAN

WESTBOUND CLOSEUP







Blau Plumbing Inc
 12221 W fairview Ave Milwaukee, WI 53226

fc =Foot Candles | Calculations based on 200 nit, 100% white at night

Foot Candle - the illumination produced by a source of one candle at a distance of one foot and equal to one lumen incident per square foot

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EXPLANATION OF OAAA RECOMMENDED BRIGHTNESS GUIDELINES

There are at least two ways to evaluate the brightness of a LED digital display. A preferred method uses a footcandle meter to determine the amount of light that reaches various points in front of the digital display. A second method uses a luminance meter (frequently called a nit gun) to determine the amount of light emitted by a light source.

Explanation of Footcandles vs. Nits

A brightness standard measured in nits (candelas/square meter) typically contains a maximum value for daytime and nighttime. The footcandle standard has only one value but is measured from different distances based on display size.

An LED sign generates luminance at the source (measured in nits), but this raw source is not what the human eye sees from a distance. The human eye sees illuminance (measured in foot candles) from a point at a certain distance from the LED sign. Illuminance is greatly affected by ambient light and surrounding conditions. As such, it is usually preferred by regulators.

Q: What is the definition of Luminance¹?

lu·mi·nance/'lumənəns/ [loo-muh-nuhns]—noun

1. The state or quality of being luminous.
2. Also called luminosity, the quality or condition of radiating or reflecting light: the blinding luminance of the sun.
3. Optics - The quantitative measure of brightness of a light source or an illuminated surface, equal to luminous flux per unit solid angle emitted per unit projected area of the source or surface.

Q: What is the definition of Illuminance?

/i'lumənəns/ Compare irradiance E v, Sometimes called: illumination the luminous flux incident on unit area of a surface. It is measured in lux²

Q: What is a foot candle?

n. (Abbr. fc or ft-c)

[foot-kan-dl]

noun Optics.

A unit of illuminance or illumination, equivalent to the illumination produced by a source of one candle at a distance of one foot and equal to one lumen incident per square foot. Abbreviation: FC³

Also:

A unit of illuminance on a surface that is everywhere one foot from a point source of one candle⁴

¹ Dictionary.com <http://dictionary.reference.com/browse/luminance?s=t>

² Dictionary.com <http://dictionary.reference.com/browse/illuminance?s=ts>

³ Dictionary.com <http://dictionary.reference.com/browse/foot+candle?s=t>

⁴ TheFreeDictionary.com <http://www.thefreedictionary.com/Footcandle>

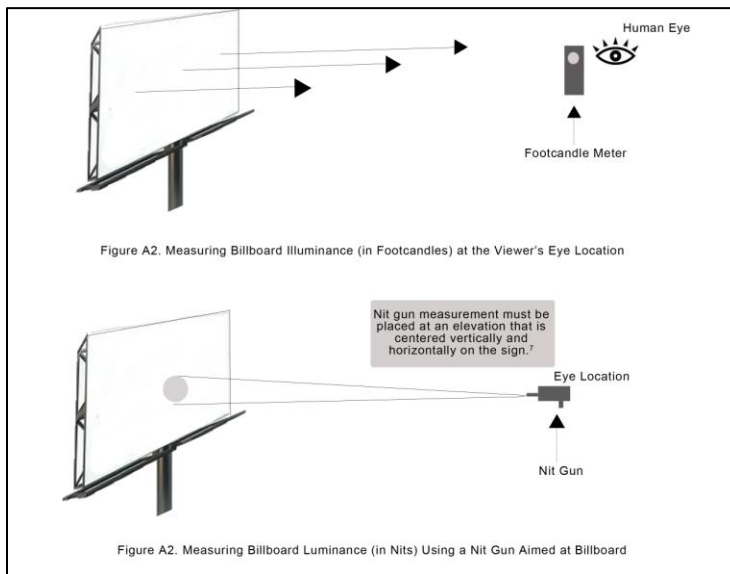
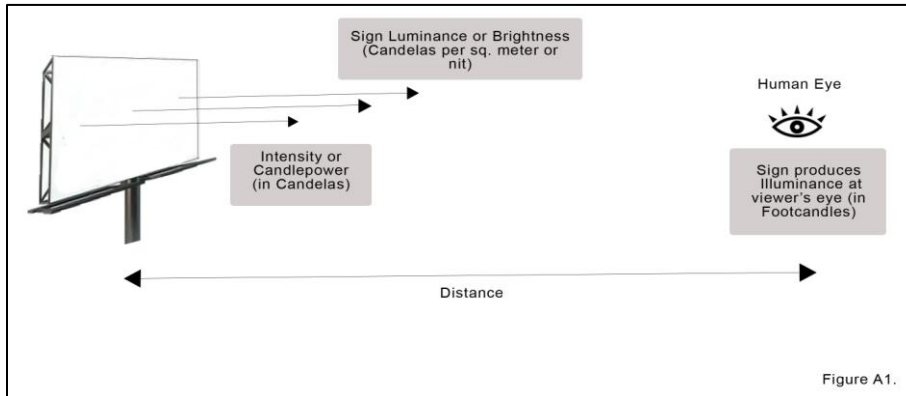
Q: What is a nit?

A:

noun Physics.

a unit of luminous intensity equal to one candela per square meter. Abbreviation: nt^5

-A unit of illuminative brightness equal to one candle per square meter, measured perpendicular to the rays of the source.⁶



-Source: Dr. Ian Lewin, Ph.D. Lighting Sciences, Inc. Digital Billboard Recommendations and Comparisons to Conventional Billboards.

⁵ Dictionary.com <http://dictionary.reference.com/browse/nits?s=t>

⁶ TheFreeDictionary.com <http://www.thefreedictionary.com/nit>

⁷ Nit gun readings are most accurate when the readings are taken directly perpendicular from the light source. As a result, the best place to take Nit gun readings is from a elevated height perpendicular to the digital display. If this is not possible, moving back from the digital display 350' to 500' on the center line will minimize the loss of accuracy. However, the distance away from the digital display cannot cause the nit gun measurement circle to fall outside the lighted digital billboard face.

Why use Foot candles over Nits as a unit of measurement?

- Foot candles measure the variance from ambient light. This assures a government that the sign will not be too bright for conditions. At different parts of a day the ambient lighting can be significantly different with clouds or fog. Conversely, the same can be true about nighttime conditions when an adjacent commercial lot turns on or off their parking lot lighting. Regulation using Nits merely sets a maximum and minimum level for day and night time conditions. Using the foot candle standard will not allow the sign to be too bright under a variety of conditions. (See Figure A2)
- Nits measure the brightness of the light at its source, without regard to ambient light. Establishing a lighting standard that ignores the brightness of the area (ambient light) allows the digital billboard to be too bright in dark environments and too dim in highly illuminated areas. In other words, fixed nit standards can allow the digital to operate at significantly higher luminance than is needed over the course of a 24 hour period.
- Nits: To measure nits you need to be directly perpendicular to the sign to measure, and get an accurate measurement. This is factored horizontally and vertically. There is a little bit of leeway on angle. Nits are directional in nature and billboard signs are usually aimed directly at the middle of the roadway. This in many cases puts the person performing the measurement in the travel lanes. In addition, due to the height of the average digital billboard a truck with a man-lift may be required. There is no specified distance you must be away from the sign to measure. (See Figure A2)
- Footcandles: With the footcandle standard you should be as perpendicular to the face as you can, but you do not have to be, to get a valid, accurate measurement. Footcandles can be measured multi directionally. You can take measurements at an angle to the sign face and receive valid measurements. The distance from which to measure is set at 250 ft away from the sign face for 14 x 48 size. This gives a regulator more options on places to stand.
- This makes the footcandle standard superior in ease of implementation. But even if we assumed they are both different, but similar in this regard, other more important factors tip the scales.
 - The footcandle standard is more restrictive in terms of lighting allowed, in a variety of conditions. As such, is usually preferred by regulators once they are educated on the differences.
 - The industry footcandle standard is tied to a required light sensor and dimming software.
 - Footcandles measure what the driver sees through their windshield in terms of light, where his car is.
 - Nits measure the light emanating from the sign face, typically a few hundred feet away. Not necessarily what the driver is seeing.
- It also can benefit a government to use foot-candles instead of Nits as Nit guns are very expensive (estimated cost \$3,000.00). Light meters can cost as little as \$250.00.

There are 3 necessary components to insure a digital billboard will never be too bright for conditions.

1. Maximum brightness limits incorporating a footcandle standard
2. An ambient light sensor installed on the sign structure
3. Dimming software

The ambient light level of a digital billboard will not vary significantly from that of a traditional billboard display and, in many cases it will be less. The light output levels will be set to be appropriate for the surroundings.

OAAA recognized/member companies utilize a photocell on digital billboards so that the display will easily be seen by motorists under changing light conditions. Sophisticated dimming software

constantly changes the brightness of the display in response to changing ambient lighting conditions. This insures a digital billboard will never be too bright for conditions.

The range of brightness varies greatly between daytime and nighttime conditions. In bright daylight, the unit must have higher intensity in order to be seen. During darkness conditions, the brightness can be set low and still be easily seen by motorists.

Why was 0.3 Footcandles chosen as the limit?

The 0.3 footcandle maximum illuminance level was carefully derived from a report completed by a former president of the IESNA.⁸ The recommended technique is based on accepted IESNA practice for “light trespass.”

The Outdoor Advertising Association of America (OAAA) commissioned Dr. Ian Lewin, in 2008 a principal at Lighting Sciences, Inc., Scottsdale, AZ, to recommend criteria for brightness levels on digital billboards⁹. The standards are designed to minimize the risk of glare or unreasonable driver distraction.

Footcandle measurements are commonly used throughout the United States. Footcandle measures are widely used in the lighting industry, photography, film, television, conservation lighting, and construction related engineering and building code regulations¹⁰. In addition, footcandles are frequently cited in OSHA regulations. The OAAA believes that these lighting standards reflect the best practices of the Out of Home Industry.

⁸ IESNA – Illuminating Engineering Society of North America

⁹ Digital Billboard Recommendations and Comparisons to Conventional Billboards, by Dr. Ian Lewin Ph.D., FIES, L.C. Lighting Sciences, Inc., 7826 East Evans Road, Scottsdale, Arizona 85260

¹⁰ wikipedia.org/wiki/Footcandles

Appendix

OAAA Recommended Brightness Guidelines

Criteria #1 - Lighting Standards – Measurements:

The industry recommended criteria follows the lighting standards established by the Illuminating Engineering Society of North America (IESNA). The OAAA and member companies voluntarily adhere to the following guidance.

Recommended regulatory criteria:

Lighting levels should not exceed 0.3 foot candles (over ambient levels) as measured using a foot candle meter at a pre-set distance.

Pre-set distances to measure the foot candles impact vary with the expected viewing distances of each size sign. Measurements should be taken as close to perpendicular to the face as practical.

Measurement distance criteria:

Nominal Face Size	Distance to Measure From
12' x 24'	150'
10'6 x 36'	200'
14' x 48'	250'
20' x 60'	350'

Each display must have a light sensing device that will adjust the brightness as ambient light conditions change.

Criteria #2 - Alternate Regulatory Criteria

The brightness of light emitted from a changeable message sign should not exceed 0.3 foot candles over ambient light levels measured at a distance of one hundred fifty feet (150') feet for those sign faces less than or equal to three hundred square feet (300 sq. ft.), measured at a distance of two hundred feet (200 ft.), for those sign faces greater than three hundred square feet (300 sq. ft.) but less than or equal to three hundred eighty-five square feet (385 sq. ft.), measured at a distance of two hundred fifty feet (250 ft.), for those sign faces greater than three hundred eighty-five square feet (385 sq. ft.) and less than or equal to six hundred eighty square feet (680 sq. ft.), measured at a distance of three hundred fifty feet (350 ft.) for those sign faces greater than six hundred eighty square feet (680 sq. ft.)

Or use Alternate Table:

Sign Face Size	Distance of Measurement
681-1200 square feet	350 feet
385-680 square feet	250 feet
300-385 square feet	200 feet
200-300 square feet	150 feet

Each display must have a light sensing device that will adjust the brightness as ambient light conditions change.

Criteria #3 - Optional Regulatory Addendum - (If standardized distances cannot be achieved in compliance with MUTCD roadside work, or if the site conditions will not allow measurements from the previous distances.)

In the event it is found not to be practical to measure a digital billboard at the set distances prescribed above, a measurer may opt to measure the sign at any of the alternative measuring distances described in the applicable table set forth below. In the event the sign measurer chooses to measure the sign using an alternative measuring distance, the prescribed footcandle level above ambient light shall not exceed the prescribed level, to be determined based on the alternative measuring distances set forth in the following tables (A), (B), (C), and (D), as applicable:

(A) For changeable message signs less than or equal to 300 square feet:

Alternative Measuring Distance	Prescribed Foot Candle Level
100	0.68
125	0.43
150	0.3
200	0.17
250	0.11
275	0.09
300	0.08
325	0.06
350	0.06
400	0.04

(B) For changeable message signs greater than 300 square feet but less than or equal to 385 square feet:

Alternative Measuring Distance	Prescribed Foot Candle Level
100	1.2
125	0.77
150	0.53
200	0.3
250	0.19
275	0.16
300	0.13
325	0.11
350	0.1
400	0.08

(C) For changeable message signs greater than 385 square feet but less than or equal to 680 square feet:

Alternative Measuring Distance	Prescribed Foot Candle Level
100	1.88
125	1.2
150	0.83
200	0.47
250	0.3
275	0.25
300	0.21
325	0.18
350	0.15
400	0.12

(D) For changeable Message Sign greater than 680 square feet: Alternative Measuring Distance:
Prescribed Foot Candle Level:

Alternative Measuring Distance	Prescribed Foot Candle Level
100	3.675
125	2.35
150	1.63
200	0.92
250	0.59
275	0.49
300	0.41
325	0.35
350	0.3
400	0.23
425	0.2
450	0.18
500	0.15



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, July 23, 2025
6:00 PM

9. Sign Plan Appeal for The Armory Hockey, at 11111 W. Greenfield Ave. (Tax Key No. 448-9993-006).

Overview

The Armory Hockey Development Center is in the process of filling in a vacant tenant space (about 12,500-sf) next to the existing Festival Foods store. Total building area about 84,600-sf. The Armory indoor recreational use was previously approved by Plan Commission and Common Council earlier in 2025.

The signage review is being considered under the master signage program where building area is greater than 50,000 sq. ft. and less than 300,000 are required to obtain Plan Commission approval for their signage plans - section [13.21\(13\) Sign Code](#). The existing building is about 84,600 sq. ft. in total.



Wall Signage – The signage ordinance indicates the following (*italicized*): *Number.*

Buildings greater than twenty-five thousand (25,000) and less than one hundred thousand (100,000) square feet of building area may be permitted two (2) wall signs on an exterior wall of the business in which the sign identifies.

Area. Buildings greater than fifty thousand (50,000) square feet and less than three hundred thousand (300,000) square feet of building area shall be permitted four hundred (400) square feet in wall sign area, plus additional signage area computed by the following formula: five-tenths (0.5) square foot times the setback length of the building from the street frontage.



