



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, April 22, 2026
6:00 PM, Room 128

- 4A. **Conditional Use Permit for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St.**

- 4B. **Site, Landscaping, and Architectural Design Review for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St. (Tax Key No. 455-0031-001)**

Overview and Zoning

[Taqueria El Toro](#) currently operates numerous locations in the Milwaukee area. Notably, they have an existing location at 8322 W. Lincoln Ave. in West Allis. They also operate the recently approved Toros Sports Complex at 6014 W. Madison St. This proposal at 5632 W. Burnham St. is for a traditional sit-down restaurant that also includes a bar.

The proposed restaurant is to be located in the vacant Fifty Seven Bar. As it exists, an apartment is located on the northern portion of the building. The entirety of the building is proposed to be a restaurant. A total of 5 employees are expected to be on-site. Additionally, site modifications are proposed to support the business. Construction is proposed to take 4-6 months to complete, beginning in May 2026 and completing in November 2026. The property is zoned C-2. A conditional use is required for restaurant uses in the C-2 zoning district.

Hours of Operation are as follows

- Monday – Friday: 10:00 a.m. – 12:00 a.m.
- Saturday: 10:00 a.m. – 1:00 a.m.
- Sunday: 10:00 a.m. – 12:00 a.m.

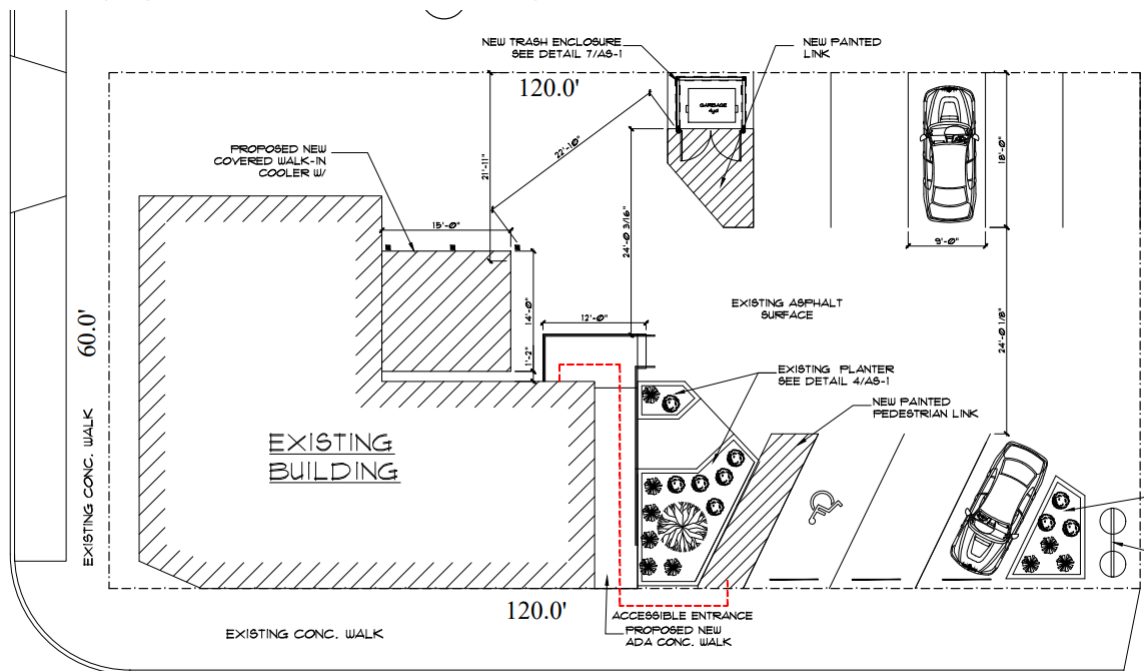


Site & Landscaping Plan

The site plan submitted by the applicant shows various modifications including an ADA compliant concrete walk and stairs on the east side of the building, a new exterior walk in cooler addition, and a trash enclosure. Site access is located off of a public alley leading to Burnham St. Additionally, there is an entrance off of S. 57th St. A total of 8 parking stalls are proposed on-site. The maximum number of stalls for a building of this size is 12 stalls. One ADA stall is shown. No bicycle parking is shown on the site plan. At least 1 bicycle parking space will be required. If any areas are to be used for the parking of food trucks, a revised site plan will need to be submitted to show the location of any food trucks. Additionally, food trucks will need to receive proper licensing if included on-site.

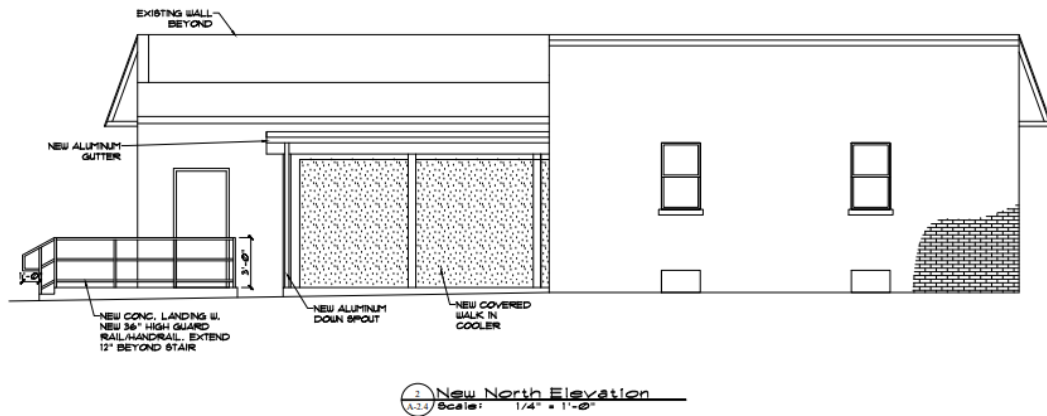
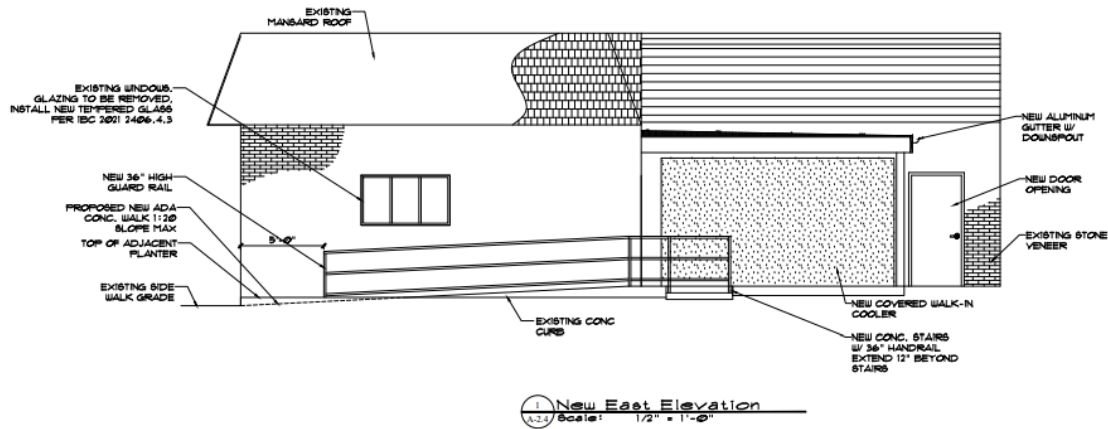
Shown on site is a new ADA concrete walk connecting to the public sidewalk along Burnham St. Landscaping is existing on-site. Upon inspection, the quality of the landscaping appeared mostly satisfactory. However, a few touch ups to the landscaping such as trimming should occur.

The existing building remains largely the same. However, towards the rear of the building a new exterior walk in cooler is proposed. Staff have concerns with the walk in cooler's proximity to vehicles. Protection measures such as bollards are recommended by staff to ensure the walk in cooler is protected. A cedar wood trash refuse area is also proposed on site. There is a residential property adjacent to the business. In efforts to reduce any potential nuisance, staff is recommending fencing along the northern lot line to buffer the residence from the restaurant use. An opaque material like cedar wood is preferred.



Architectural Plan

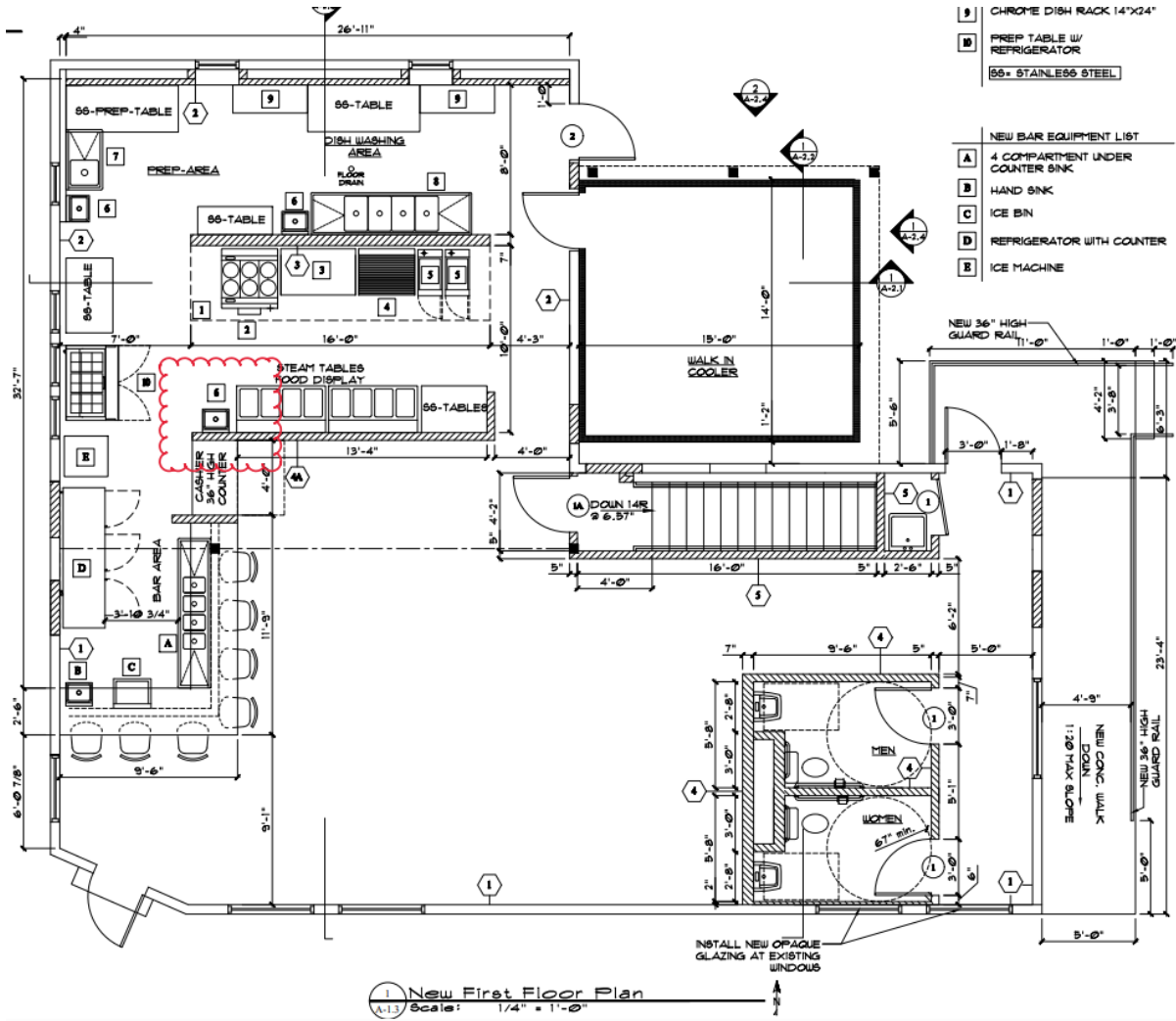
The existing building materials are not proposed to change. Staff will seek confirmation if any exterior lighting or exterior painting is planned as that should be indicated on plan for approval. The addition of the exterior walk-in cooler will present new exterior addition/materials. On the elevations submitted by the applicant, details were not given on the exterior materials of the walk-in cooler. Staff is requiring high quality material that complements the existing building.



Floor Plan

Access to the interior for patrons is provided off of the southwest corner of the building and towards the rear of the building's east side. Within the customer area is a large open area for seating. Additionally, a counter bar is shown. Two bathrooms are shown in this area as well. Proposed for the building is the removal of the existing apartment on the northern portion of the building. This area is to be

the kitchen area which includes a prep area, dishwashing area, and a connection to a new exterior walk-in cooler.



Design Guidelines

This project is considered a minor redevelopment. Design guidelines are not required for this project.

Recommendation: Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for El Toro Restaurant, a proposed Restaurant Use, at 5632 W. Burnham St. (Tax Key No. 455-0031-001) subject to the following conditions:

(Items 1-4 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Scheduled for May 5, 2026)
2. A revised site, landscaping, & architectural plan being submitted to show (a) an outdoor bicycle rack in accordance with [WAMC 19.44](#) (b) details being shown on plan to include bollards or other protection measures for the exterior walk-in cooler (c) location of food trucks being shown on-site (if planned) (d) new decorative (wood or composite) double sided fencing being installed on the northern lot line to allow for buffer from the adjacent residence (e) details on the maintenance of landscaping on-site (new/replacement landscaping species list) (f) details being given on the exterior materials for the exterior walk-in cooler (g) confirmation if any exterior lighting or exterior painting is planned as that should be indicated on plan for approval.
3. Scope of work being indicated on signage and lighting. A signage permit will be required with the Planning & Zoning Department.
4. Any concrete work done in the City Right of Way will require a [Permit](#) from Engineering. Additionally, any contractors will need to be licensed and bonded in the City.



**Record No:
PLAN-26-20**

Planning Application

Status: Active

Submitted On: 3/20/2026

Primary Location

5632 W BURNHAM ST
West Allis, WI 53219

Owner

El Toro Properties, LLC
1640 S 56th St West Allis,
WI, 53214

Applicant

Raul Arteaga
 347-833-9762
 raul@aurumarchitectura.com
 1219 W National Ave
milwaukee, WI 53221

PLANNING & ZONING APPLICATION

Contact the Planning & Zoning Department with any questions. Thank you.

planning@westalliswi.gov

PLAN COMMISSION APPLICATION REQUIREMENTS

In order to be placed on the Plan Commission agenda, Planning & Zoning **MUST** receive the following by the last Friday of the month, prior to the month of the Plan Commission meeting:

- Completed OpenGov application
 - Application Fees
 - Project Description
 - Set of plans attached to this application
-

TYPE OF APPLICANT

Type of Applicant*

I represent the property owner

APPLICATION TYPES

Choose which process you are applying for. *

Conditional Use

Conditional Uses require a public hearing. Other requirements include site, landscaping and architectural plan review.

Choose from the dropdown the total value of your project.

Conditional Use - Site, Landscaping, Architectural Design Review *

Site, Landscaping, Architectural Design Review* 

Level 2: Project Cost \$5,000+ (Fee \$525)

Level 2: Project Cost \$5,000+ (Fee \$525)

Business/Project Name*

Will you be selling alcohol?*

El Toro Restaurant

Yes

Will you be selling or serving food?*

Yes

Selling alcohol in the City of West Allis requires a license. Apply for an Alcohol Beverage Retail License through the City's online application:

Alcohol Beverage Retail License application

Breweries are licensed by the Wisconsin Department of Revenue and do not require a local license. Please click on the link below to go to their website for more information.

WI DOR Breweries Fact Sheet

Selling food in the City of West Allis requires a license. Apply for a Food License through the City's online application:

Food License application

Will the existing use of the building change?*

Yes

Describe the change of use of the building:*

Existing Use: The building was previously a tavern on the south side and a residential apartment on the north side.

Proposed Use: The entire first floor will be converted into a dine-in restaurant.

1. The north side will house the new kitchen.
2. The south side will be the dining area.

Are new buildings/and or structures being constructed as part of this project?*

Yes

Notice Regarding Building Permits and Plan Reviews

Have you reached out to the Code Enforcement Department?*

Yes, I have already reached out to the Code Enforcement Department.

Project Description/Plan of Operation

Date: March 20, 2026

Project: El Toro Restaurant

Location: 5632 W Burnham St. West Allis WI 53219

Owner: Toribio Perez Martinez

Description of Building Improvements

Existing Use: The building was previously a tavern on the south side and a residential apartment on the north side.

Proposed Use: The entire first floor will be converted into a dine-in restaurant.

- The north side will house the new kitchen.
- The south side will be the dining area.

Exterior Alteration

- ADA Compliant Concrete Walk and Stairs on the east side of the building.
- Covered Walk-in Cooler Addition.
- New Shrubs in the existing parking lot planters.
- New Trash Enclosure.

Interior Alterations

- New Kitchen, Prep Area, and Dishwashing Area.
- New Bar Area. Two New ADA Bathrooms.
- New Interior Finishes throughout the building.
- New Electrical, HVAC, and Plumbing Systems.

Plan Of operation

Hours of Operation:

- Monday to Friday: 10:00 a.m. to Midnight
- Saturday: 10:00 a.m. to 1:00 a.m.
- Sunday: 10:00 a.m. to Midnight

Loading/Unloading:

All deliveries will take place via the rear parking lot, using the north driveway.

Staffing:

The restaurant expects to have 5 employees on site.

Parking Availability:

The property has 8 off-street parking spaces available in the parking lot.

Construction Timeline:

We anticipate that construction will take approximately 4 to 6 months, beginning in May 2026 and concluding by November 2026. This includes demolition, structural and exterior work, interior build-out, and final inspections.

Conditional Use Permit Considerations

The applicant is committed to being a responsible business within the community. To mitigate potential concerns regarding late-night operations, we are implementing the following measures:

- **Employee Management:** Employees will be trained to ensure noise levels are kept to a minimum, will monitor customer behavior, and ensure the restaurant operates smoothly with no disruptions to neighboring properties. Staff will be specifically trained on managing the restaurant during late hours, including maintaining a calm atmosphere, preventing customers from loitering outside, and facilitating smooth closing procedures.
- **Security:** The restaurant will have security cameras installed on the premises, and staff will be present during operating hours to oversee activities and address any concerns. Security measures will help maintain a safe environment for both customers and the surrounding neighborhood
- **Waste Management:** Trash collection will occur during daylight hours to avoid disturbing the neighborhood during nighttime hours. A new trash enclosure will be installed on the property to properly manage waste and maintain cleanliness.
- **Neighbor Relations:** The restaurant will provide a contact number to neighboring residents for any concerns or issues that may arise. We are committed to being responsive to the community and resolving matters promptly to maintain good relations with surrounding residents.

Proposed New Restaurant Taqueria El Toro



MILWAUKEE, WI
Email: contact@aurumarchitectura.com

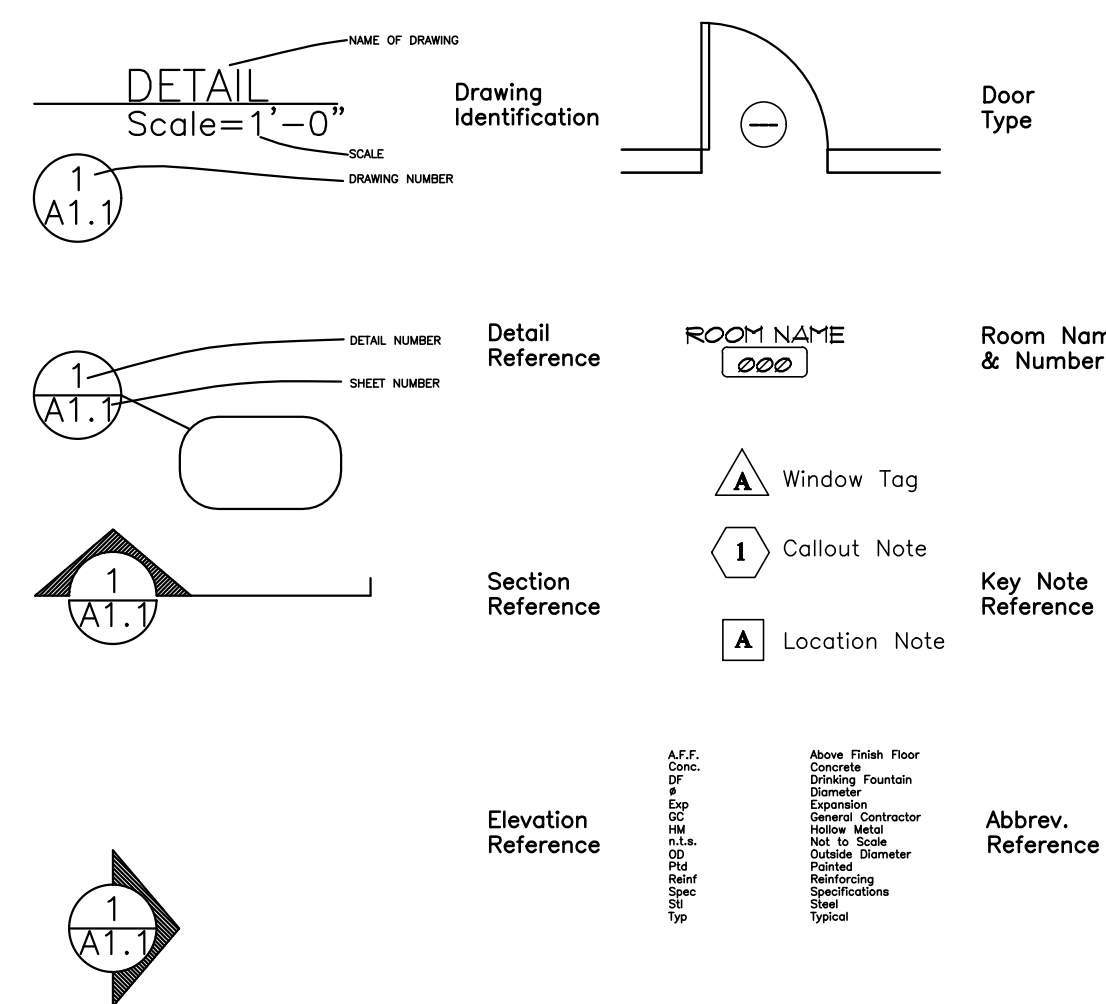
5632 W BURNHAM ST.
WEST ALLIS, WI 53219

Revised Date: March 31, 2026

Date: March 2, 2026

PROJECT NO.: 2025-19

SYMBOLS



General Notes

Mechanical, Electrical & Plumbing design are not the responsibility of the Designer. The M.E.P. will be handled on a design-build basis through the Developer and Construction Manager. The design-build contractor is responsible for code compliance with their work.

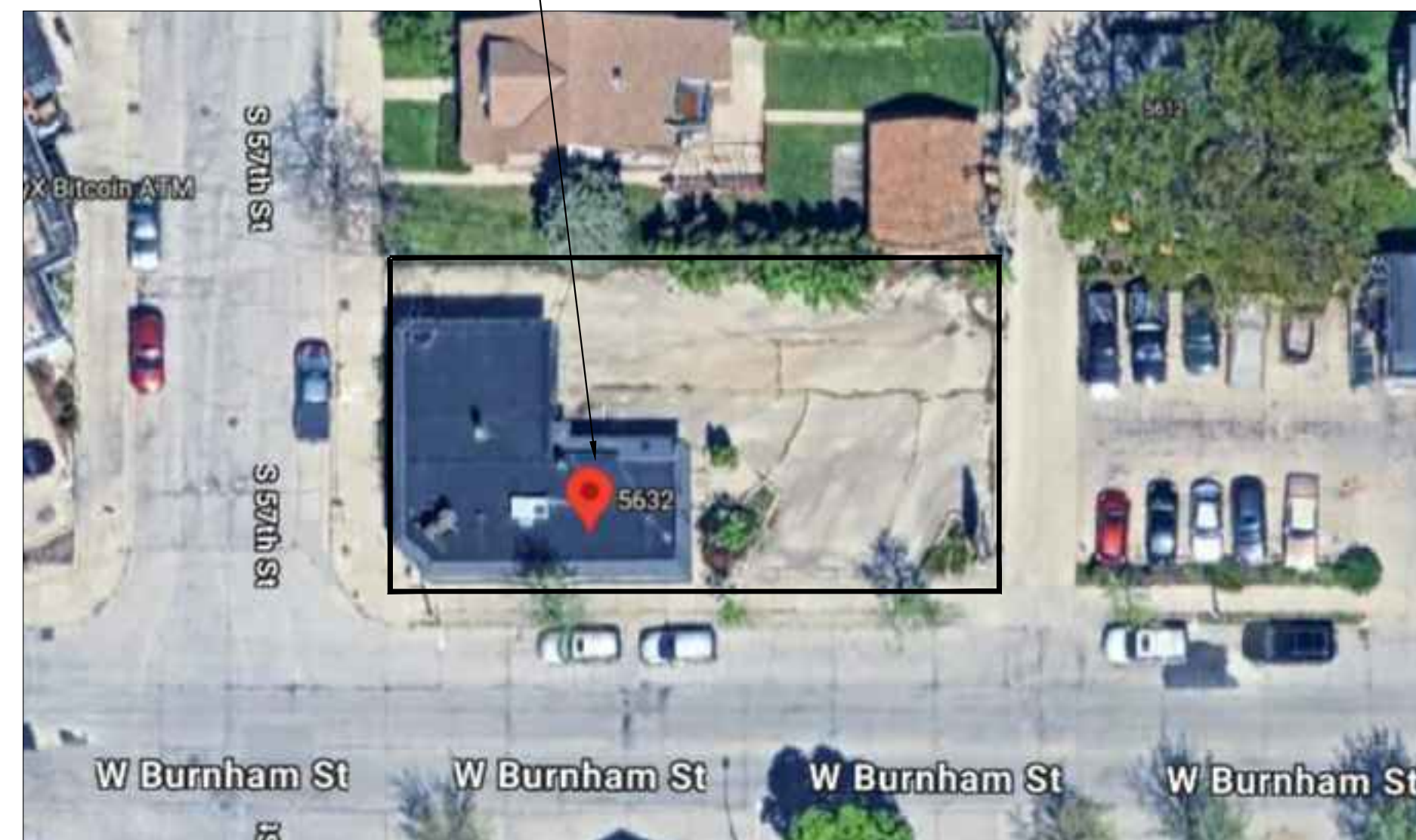
All work shall be done in accordance with all State and Local coded and ordinances.

Field verify all existing conditions and dimensions.

Do NOT scale drawings

The locations of the existing utility installations as shown on the plans are approximate. There may be other

SITE LOCATION



Building Information

EXISTING BUILDING USE AND OCCUPANCY:
GROUP B (TAVERN), GROUP R-2 (APARTMENT)

PROPOSED BUILDING USE AND OCCUPANCY:
GROUP-A-2 RESTAURANT

BUILDING TYPE: V-B
LOT AREA: 7,200 SQ.FT.
ZONING: C2
EXISTING BUILDING GROSS AREA: 1,874 SQ.FT.
PARKING: 8 PARKING SPACES

CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS AND PROPOSED CONSTRUCTION DIMENSIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ALTERATIONS.

SHEET INDEX

- ARCHITECTURAL**
- AS-1.0 SITE PLAN
 - A-1.0 EXISTING BASEMENT & EXISTING FIRST FLOOR PLAN, EXISTING SECTION
 - A-1.1 NEW BASEMENT FLOOR PLAN, NEW FIRST FLOOR FRAMING PLAN
 - A-1.2 NEW ROOF FRAMING PLAN
 - A-1.3 NEW FIRST FLOOR PLAN, WALL TYPES, DOOR TYPES, RM FINISH SCHEDULE
ADA TOILET DETAIL, ADA SINK DETAIL
 - A-1.4 NEW REFLECTED CEILING PLAN
 - A-2.0 NEW BUILDING SECTION
 - A-2.1 NEW BUILDING SECTION
 - A-2.2 NEW BUILDING SECTION
 - A-2.3 NEW BUILDING SECTION
 - A-2.4 NEW EXTERIOR ELEVATIONS
 - A-3.0 NEW LIFE SAFETY PLAN

SCOPE OF WORK

- NORTH PORTION OF BUILDING FLOOR LEVEL TO BE LOWERED TO MATCH EXISTING BAR AREA
- NEW BASEMENT STAIRS
- NEW ADA CONC. WALK ON EAST SIDE OF BUILDING
- NEW KITCHEN AREA
- NEW ADA BATHROOMS
- NEW COVERED WALK-IN COOLER

PROJECT INFORMATION

PROJECT OWNER: Toribio Martinez

PROJECT ADDRESS: 5632 W Burnham St
West Allis, WI 53219

ARCHITECT: Raul Arteaga

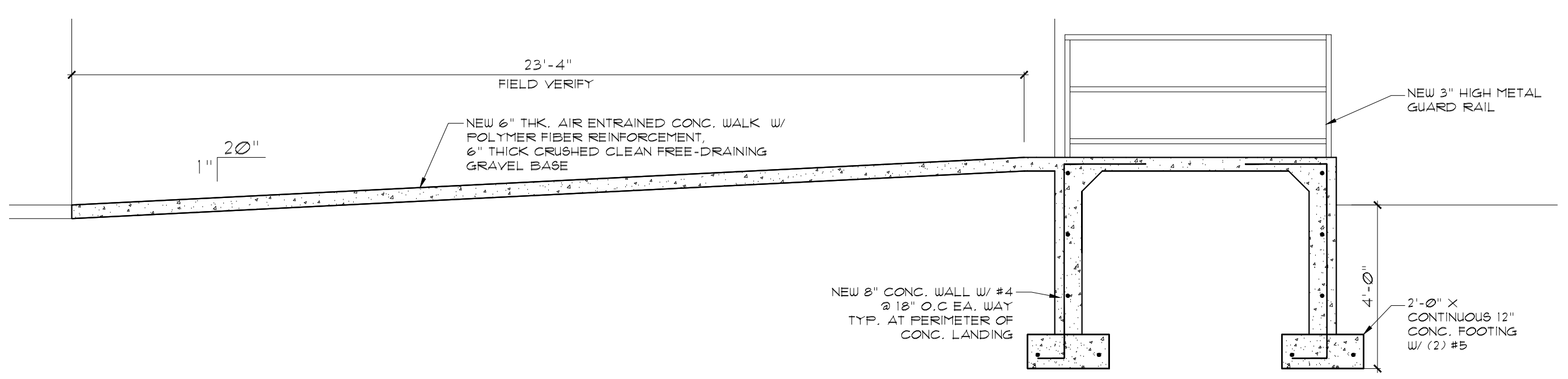
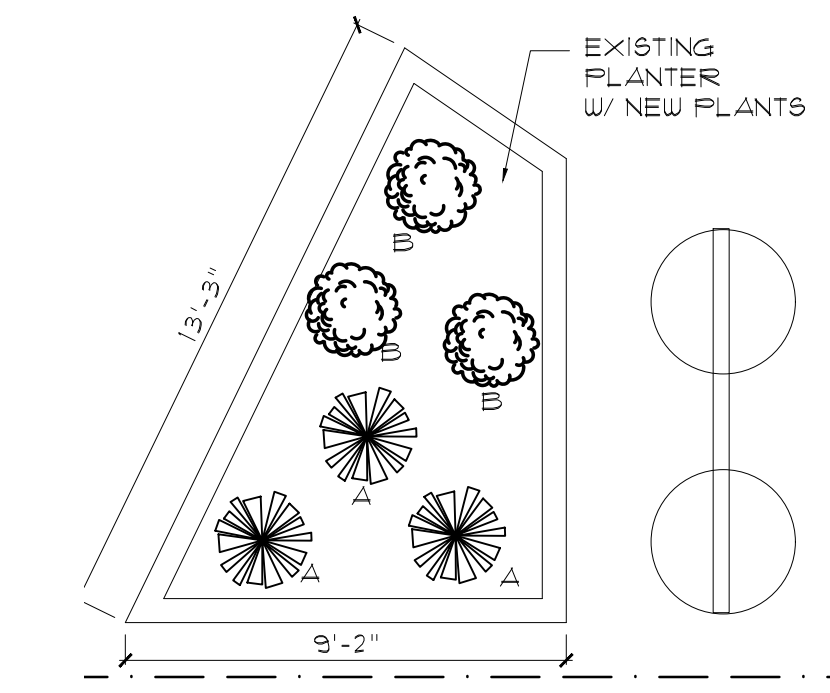
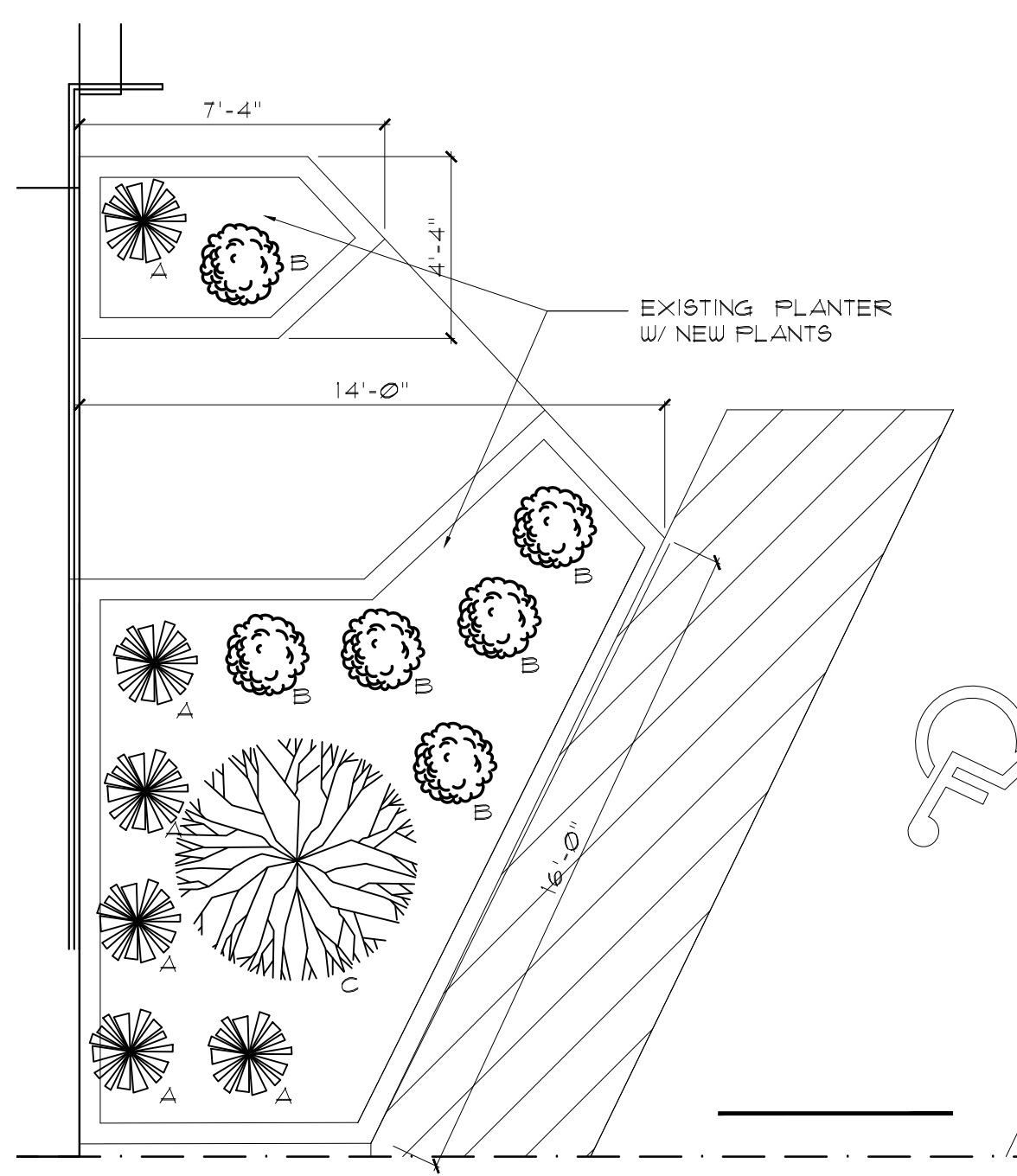
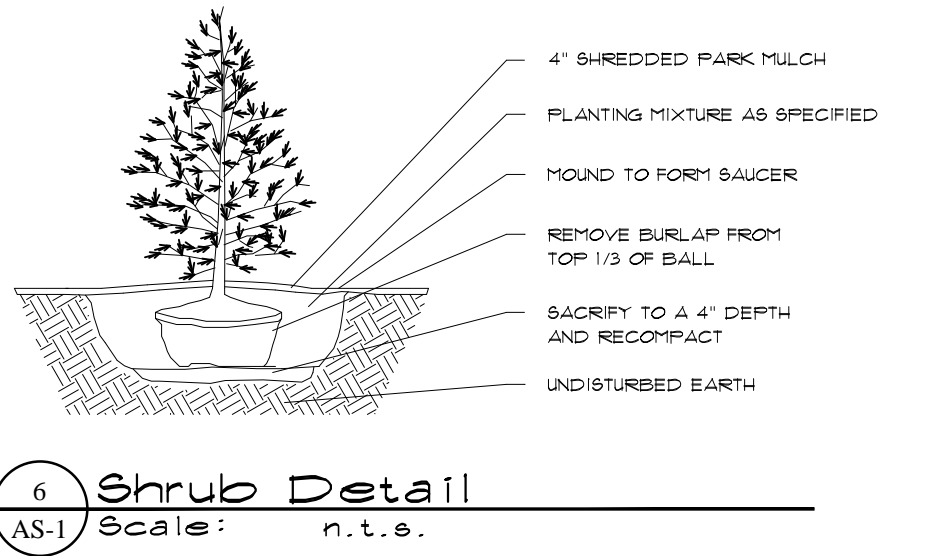
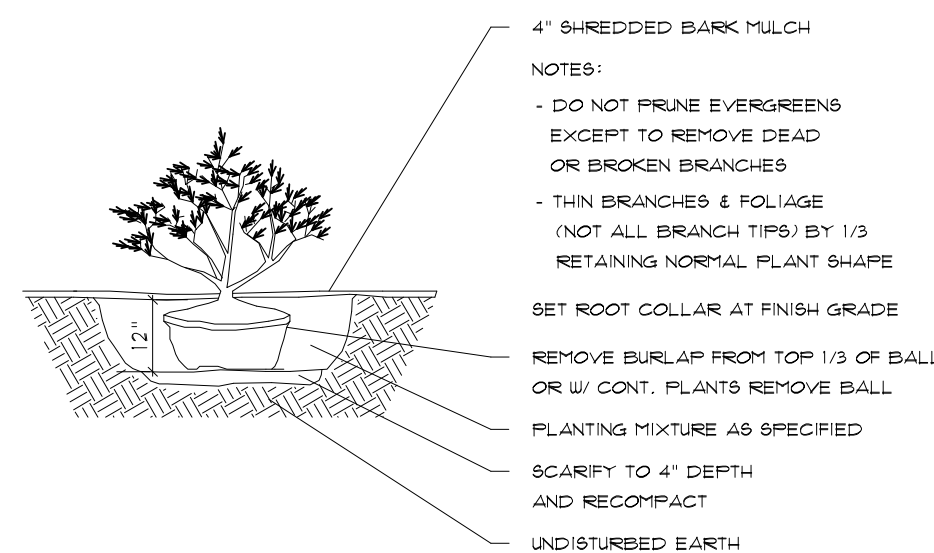


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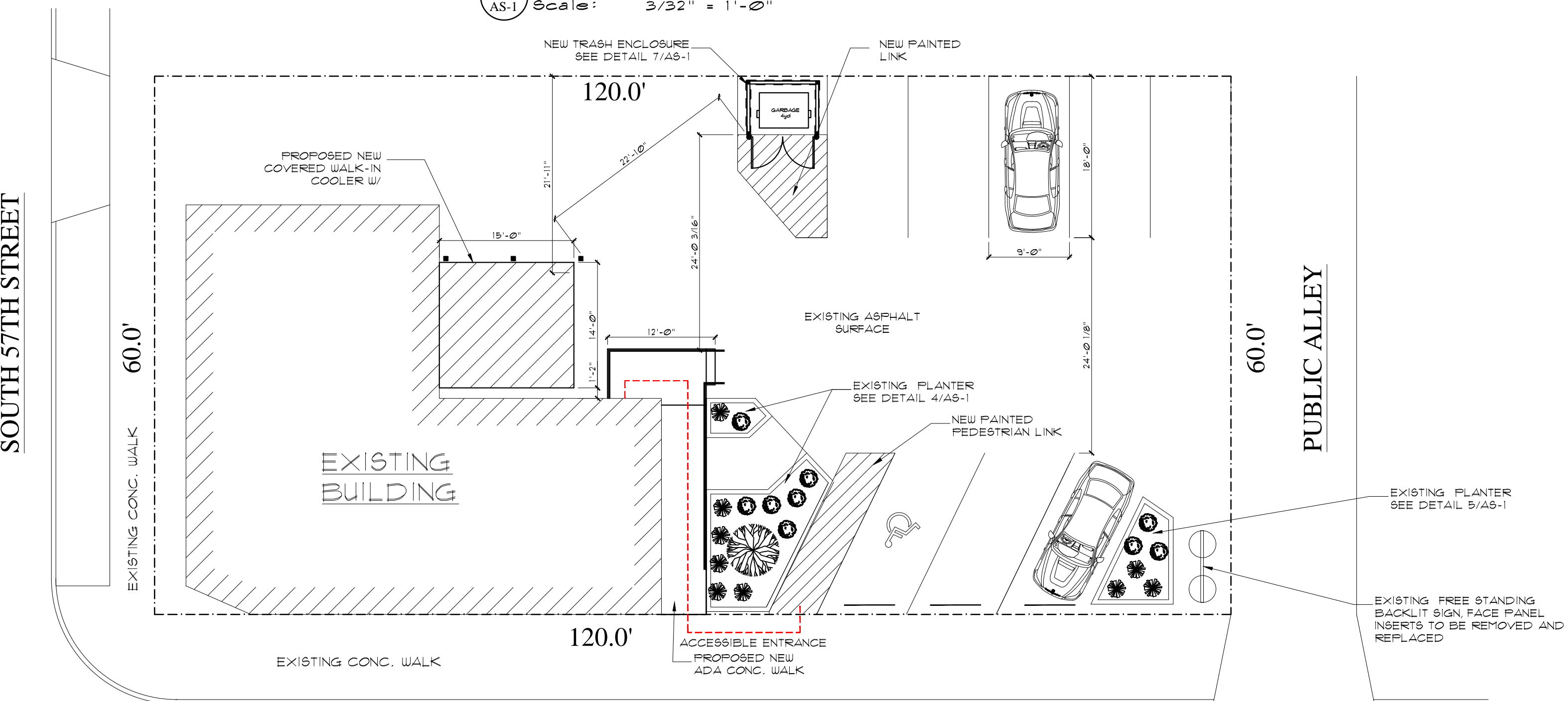
CONSTRUCTION DRAWINGS FOR
SUBMITTAL TO THE CITY OF
WEST ALLIS FOR PLAN REVIEW
AND CONSTRUCTION PERMIT
DATE: MARCH 31, 2026

LANDSCAPE PLANTING SCHEDULE

SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE
A	9	SYRINGA MEYERI	DWARF KOREAN LILAC	36"
B	9	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	36"
C	1	GINKGO BILOBA (MALE)	GINKGO	8 Ft.



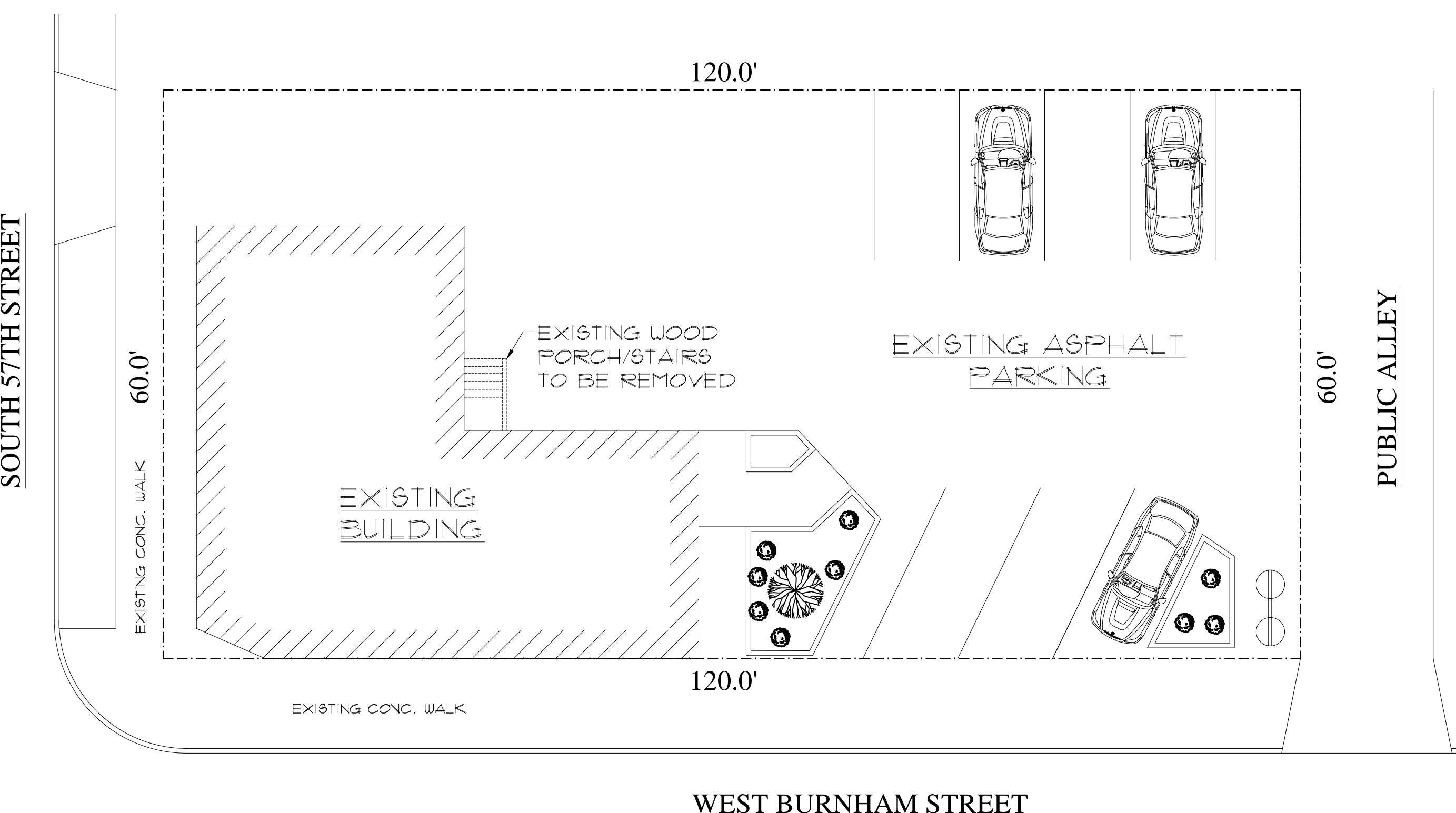
3 New Conc. Walk Section
AS-1 Scale: 3/32" = 1'-0"



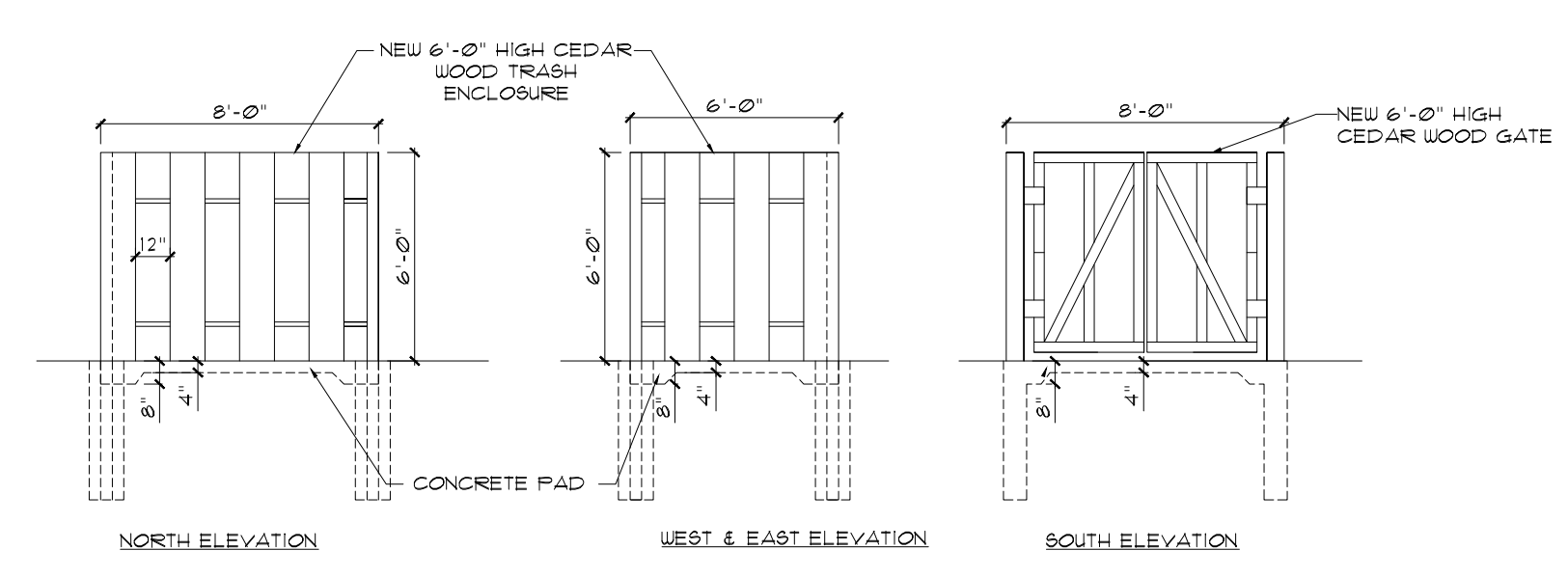
2 Existing Site Plan
AS-1 Scale: 3/32" = 1'-0"

4 Existing Planter
AS-1 Scale: 1/4" = 1'-0"

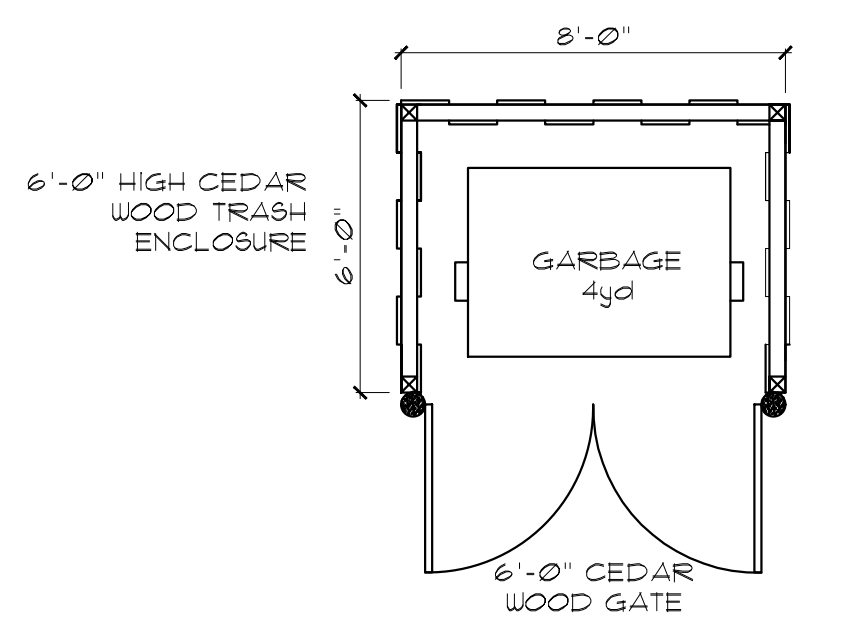
5 Existing Planter
AS-1 Scale: 1/4" = 1'-0"



1 Existing Site Plan
AS-1 Scale: 3/32" = 1'-0"



8 Trash Enclosure Elevations
AS-1 Scale: 3/8" = 1'-0"



7 Trash Enclosure Plan
AS-1 Scale: 1/4" = 1'-0"

- GENERAL NOTES**
- DRAWINGS REPRESENT DESIGN INTENT. MEANS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND VERIFICATION OF INFORMATION TO BE COORDINATED BY OTHERS. THE CONTRACTOR SHALL REPORT ANY UNCLEAR INFORMATION AND DISCREPANCIES WITH ARCH. DRAWINGS OR OTHER REQUIREMENTS PRIOR TO PROCEEDING.
 - THESE DRAWINGS ASSUME THE CONTRACTOR IS FAMILIAR WITH TYPE OF CONSTRUCTION SHOWN AND HAS WORKING KNOWLEDGE OF APPLICABLE CODES AND STANDARDS AND CORRECT INDUSTRY ACCEPTED PRACTICES.
 - ALL SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED INSPECTION. ALL REQUIRED INSPECTIONS SHALL BE PERFORMED BY THE BUILDING DEPARTMENT OR AN INSPECTION AGENCY.
 - PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MFR. RECOMMENDATIONS, CODE REQUIREMENTS, AND CORRECT INDUSTRY ACCEPTED PRACTICES, UNLESS NOTED OTHERWISE IN THESE DRAWINGS.
 - UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
 - THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN/BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.

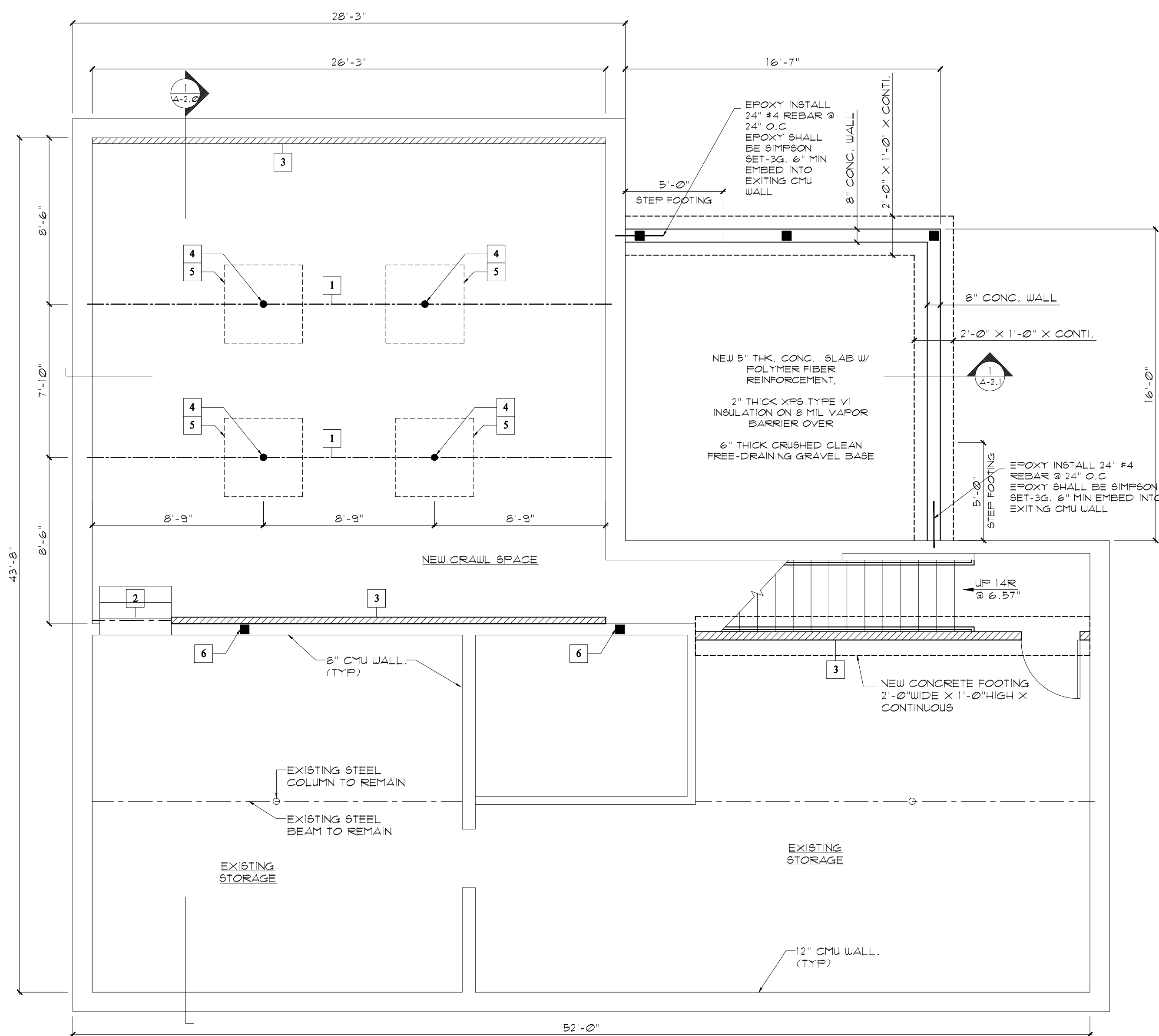
NO	DATE	DESCRIPTION
1	3/21/2026	NOTE #6 - REMOVAL OF COOLER COLUMNS

GENERAL DIMENSION NOTE:
DIMENSIONS ARE TYPICALLY
SHOWN TO FACE OF FINISHES

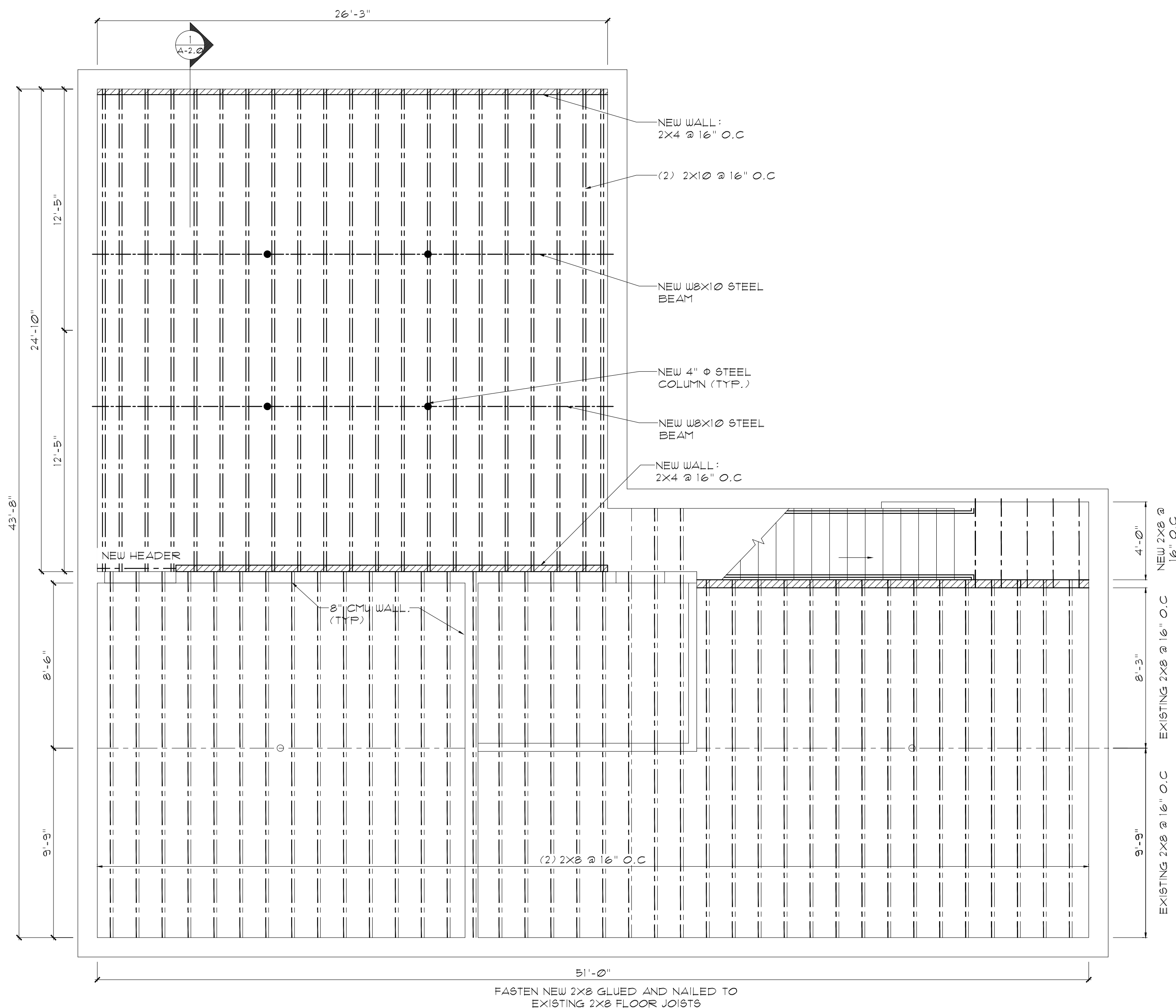
ALL FINISHES TBD, AND COORDINATED
BY OWNER & CONTRACTOR. ALL
DIMENSIONS TO BE VERIFIED IN FIELD
AND ADJUSTED AS NECESSARY.

NOTES

- 1 NEW W8 X 10 STEEL BEAM
- 2 NEW (2) 2X8 HEADER
- 3 NEW LOAD-BEARING WALL:
2X4 @ 16" O.C
- 4 NEW 4" Ø STEEL COLUMN
- 5 NEW 4'-0" X 4'-0" X 10"
CONC. FOOTING W/ (4) #5
REBAR BOTH WAYS
- 6 NEW 6X6 COLUMN RESTING ON
EXISTING CMU WALL.
EACH OF THE 2 CMU CLLS
CLOSEST TO THE POST SHALL
BE GROUTED SOLID AND
PROVIDE (1) CONTINUOUS #5
VERTICAL REINFORCING BARS



1 New Basement Floor Plan
A-1.1 Scale: 1/4" = 1'-0"

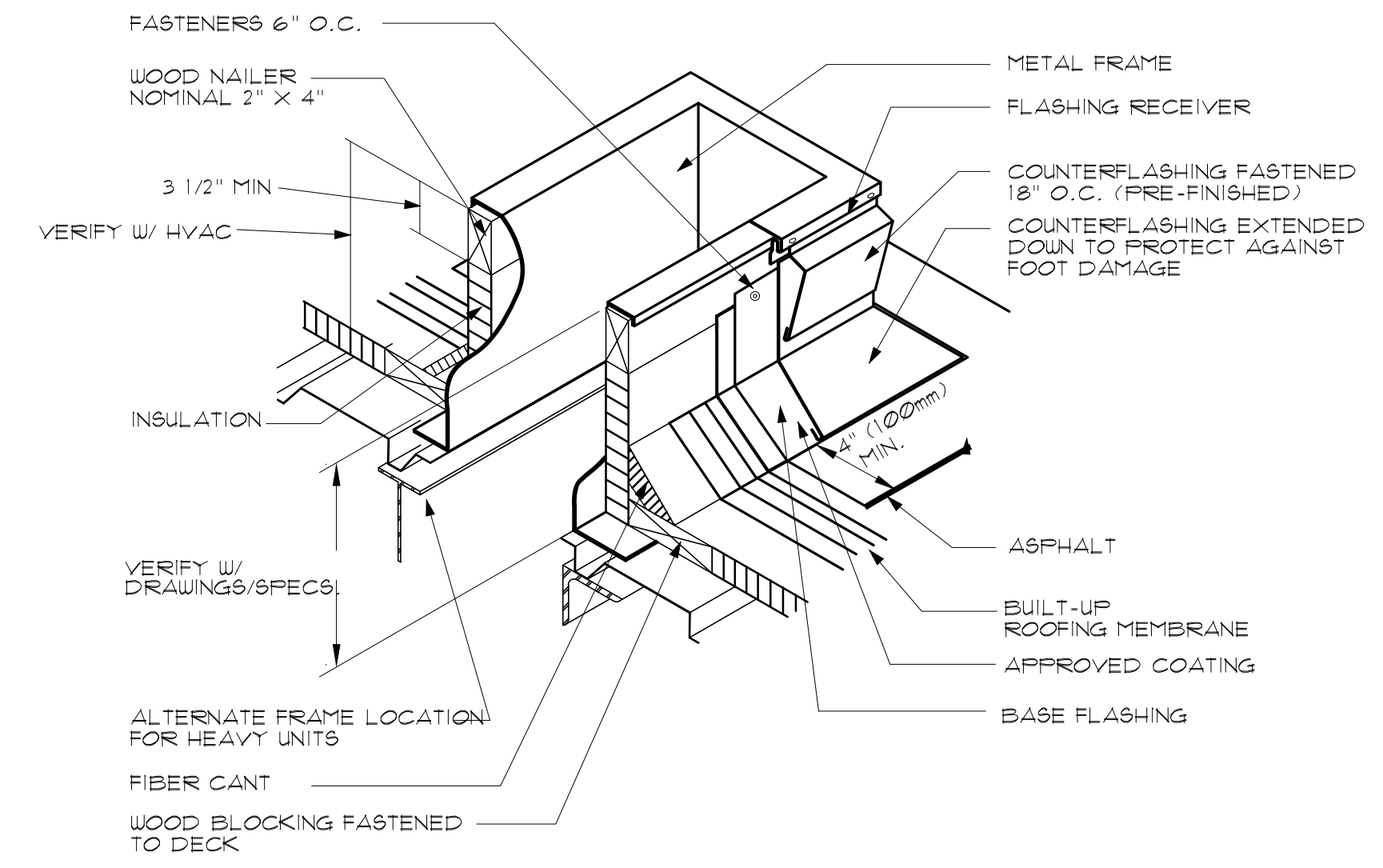


1 New First Floor Framing
A-1.1 Scale: 1/4" = 1'-0"

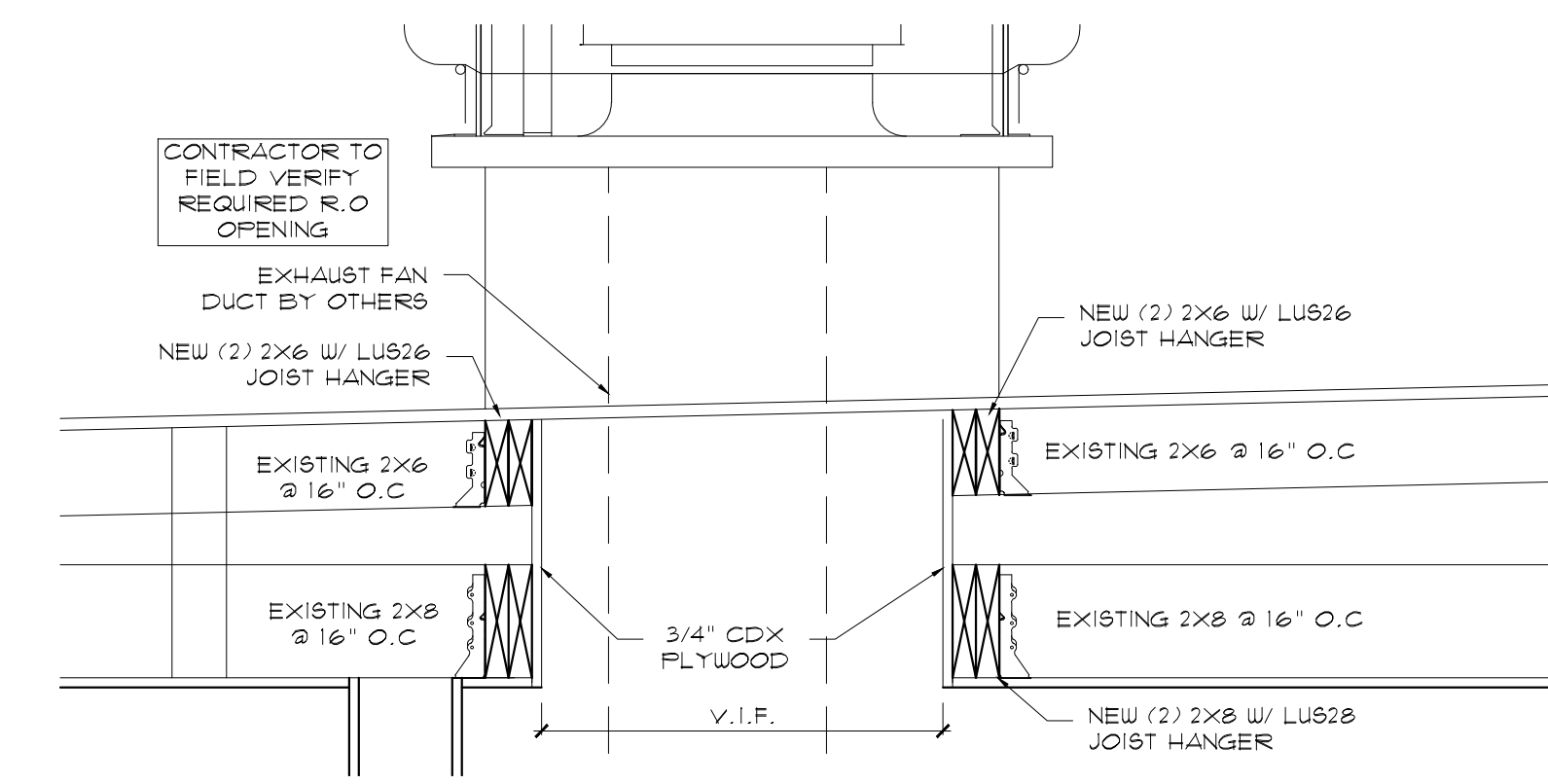
Revisions		
NO	DATE	DESCRIPTION
1	3/21/2026	
- REMOVAL OF COOLER COLUMNS		
- NEW LEDGER BOARD		

ROOF TOP EQUIPMENT	WEIGHT
A MAKE UP AIR UNIT:	800 LBS
MAU CURB:	100 LBS
B EXHAUST FAN:	350 LBS
EXHAUST FAN CURB:	50 LBS
C HOOD	600 LBS

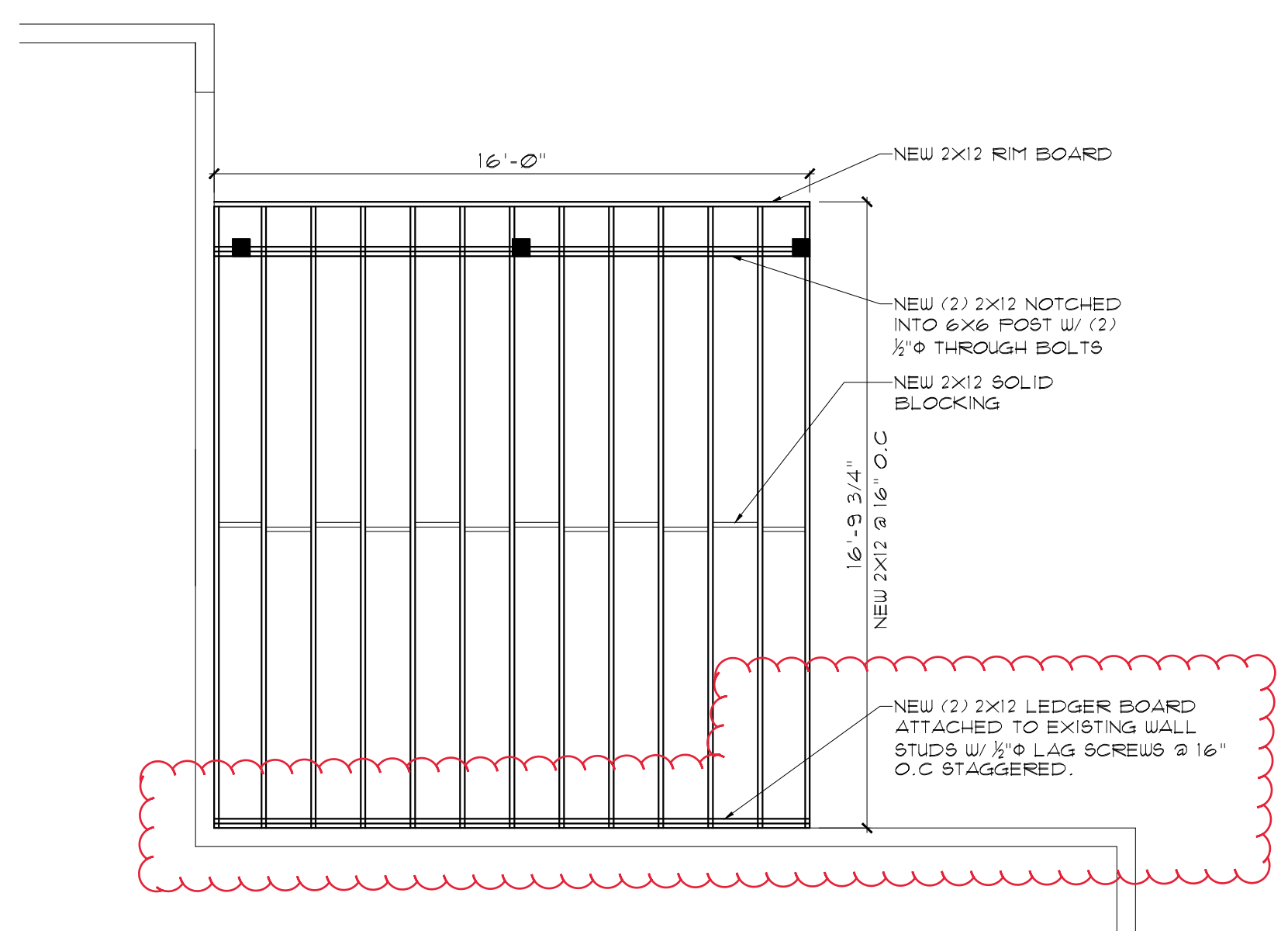
CONTRACTOR TO VERIFY ROOF TOP EQUIPMENT SIZE, WEIGHT AND QUANTITY.



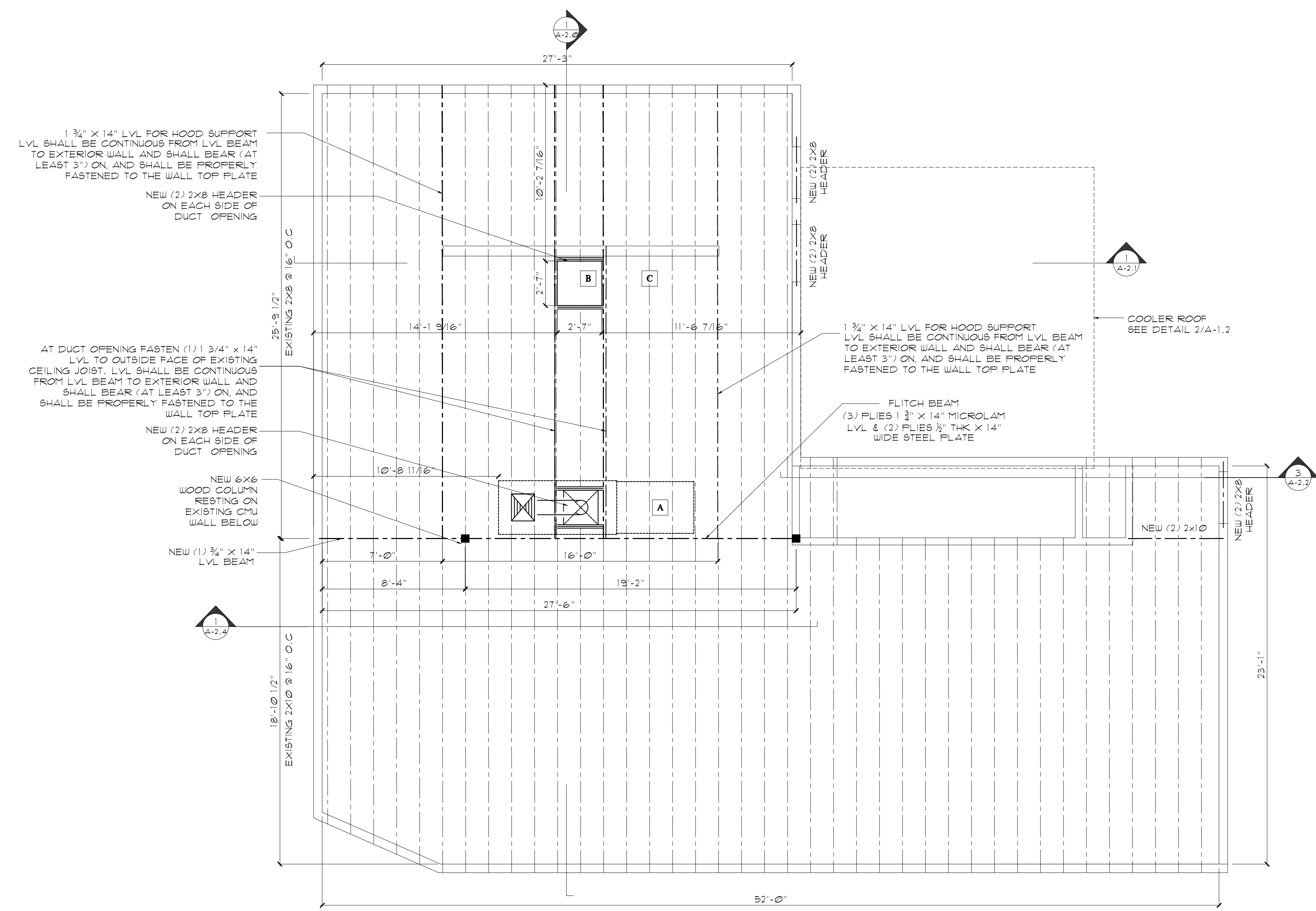
4 Roof Equip. Curb Detail
Scale: 1/4" = 1'-0"



3 New Exhaust Fan/ MAU Duct Opening typ.
Scale: 1/4" = 1'-0"



2 Cooler Roof Framing Plan
Scale: 1/4" = 1'-0"



1 New Roof Framing Plan
Scale: 1/4" = 1'-0"

NO.	ROOM NAME	FLOORING		WALL FINISHES								CEILING		REMARKS
		BASE	FLOOR	NORTH		SOUTH		EAST		WEST		MTL.	HT.	
	MENS	VB-1	CT-1	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	ACT-1	9'-0"	
	Womens	VB-1	CT-1	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	Gyp Bd	CT-1/PTI	ACT-1	9'-0"	
	Kitchen	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Dishwashing/Prep	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Bar	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	
	Dining	VB-1	LVT-1	Gyp Bd	PT-1	Gyp Bd	PT-1	Gyp Bd	PT-1	Gyp Bd	PT-1	Gyp Bd	10'-10"	
	Jan Closet	QT	QT	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	Gyp Bd	FRP	ACT-1	9'-0"	

Gyp Bd = GYPSUM BOARD
 VT = VINYL
 Ftd = PAINTED
 ACT = ACOUSTICAL CEILING TILE
 CT = CERAMIC TILE
 QT = QUARTZ TILE
 LVT = LUXURY VINYL TILE

NOTE:
 1.) CEILING AT RESTROOMS, PREP AREA, SALES AREA TO HAVE WASHABLE SURFACE, VINYL COATED ACT W/ ALUMINUM GRID
 2.) WET WALLS TO HAVE MOISTURE RESISTANT GYPSUM BOARD
 4.) INSTALL INTEGRATED TILE COVE BASE @ PREP AREA, DISHWASHING AREA, KITCHEN, BAR AREA, RESTROOMS
 5.) INSTALL FRP PANELS AT MOP SINK, PREP AREA, DISHWASHING AREA, KITCHEN, BAR AREA, (UP TO 6'-0" A.F.F. MIN.)
 6.) AT TILE WALLS USE 1/2" CEMENT BOARD BACKING

WALLS: COLOR TO BE SELECTED BY OWNER

ET-1: ONE COATED TINTED PRIMER TO MATCH WALL COLOR (PREPARED AND BACK ROLLED) AND TWO (2) COATS, EGGSHELL, OR EQUAL, LATEX PAINT (ROLLED)

FRP: MERLITE FIBER REINFORCED PLASTIC PANELS OR SIM. WITH SMOOTH FINISH. COLOR TO BE SELECTED BY OWNER.

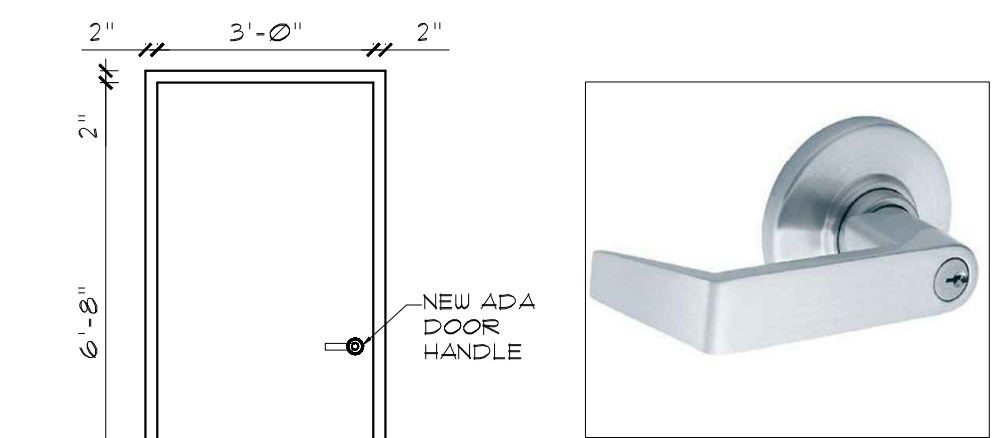
CL-1: PORCELAIN TILE 6" X 6" X 5/16", EPOXY GROUT-HAPEI KERAPOXY

FLOORING
 QT: 6X6 QUARTZ TILE W/ 4" INTEGRATED COVE BASE
 LVT-1: LUXURY VINYL TILE, COMMERCIAL GRADE. WEAR LAYER MUST BE EQUAL TO OR EXCEED 20 MIL AND THICKNESS MUST EQUAL TO OR GREATER THAN 5/16"

CEILING
 ACT-1: VINYL COVERED GMB, 24" X 24" X 1/2" W SQUARE EDGE FOR 3/16" TEE GRID, USG CLIMAPLUS WHITE VINYL STIPPLE PATTERN, OR EQUAL

NOTE: ALUMINUM ACT GRID IN KITCHEN, PREP AREA, DISHWASHING AREA & TOILET ROOMS.
 VERIFY ALL FINISHES WITH OWNER PRIOR TO ORDERING/INSTALLING

NOTES:
 A NON-HAND OPERATED FAUCET MUST BE INSTALLED AT ALL HAND WASH SINKS W/STELBOW BLADE HANDLES, PAPER TOWEL DISPENSERS OR OTHER APPROVED HAND DRYING DEVICE SHALL BE INSTALLED AT ALL HAND WASH SINKS
 HAND CLEANSER DISPENSER SHALL BE INSTALLED AT ALL HAND SINKS.
 PROVIDE COVER WASTE RECEPTACLE AT TOILET ROOMS
 LIGHTING SHALL BE SHATTER RESISTANT AND SHALL PROVIDE 50-FOOT CANDLES OF LIGHT IN THE FOOD PREPARATION.
 WORK SURFACE SHALL BE CONSTRUCTED OF A MATERIAL THAT IS DURABLE NONABSORBENT AND EASILY CLEANABLE (STAINLESS STEEL)
 FOOD STORAGE SHELVES SHALL STAINLESS STEEL OR COATED WITH VINYL.

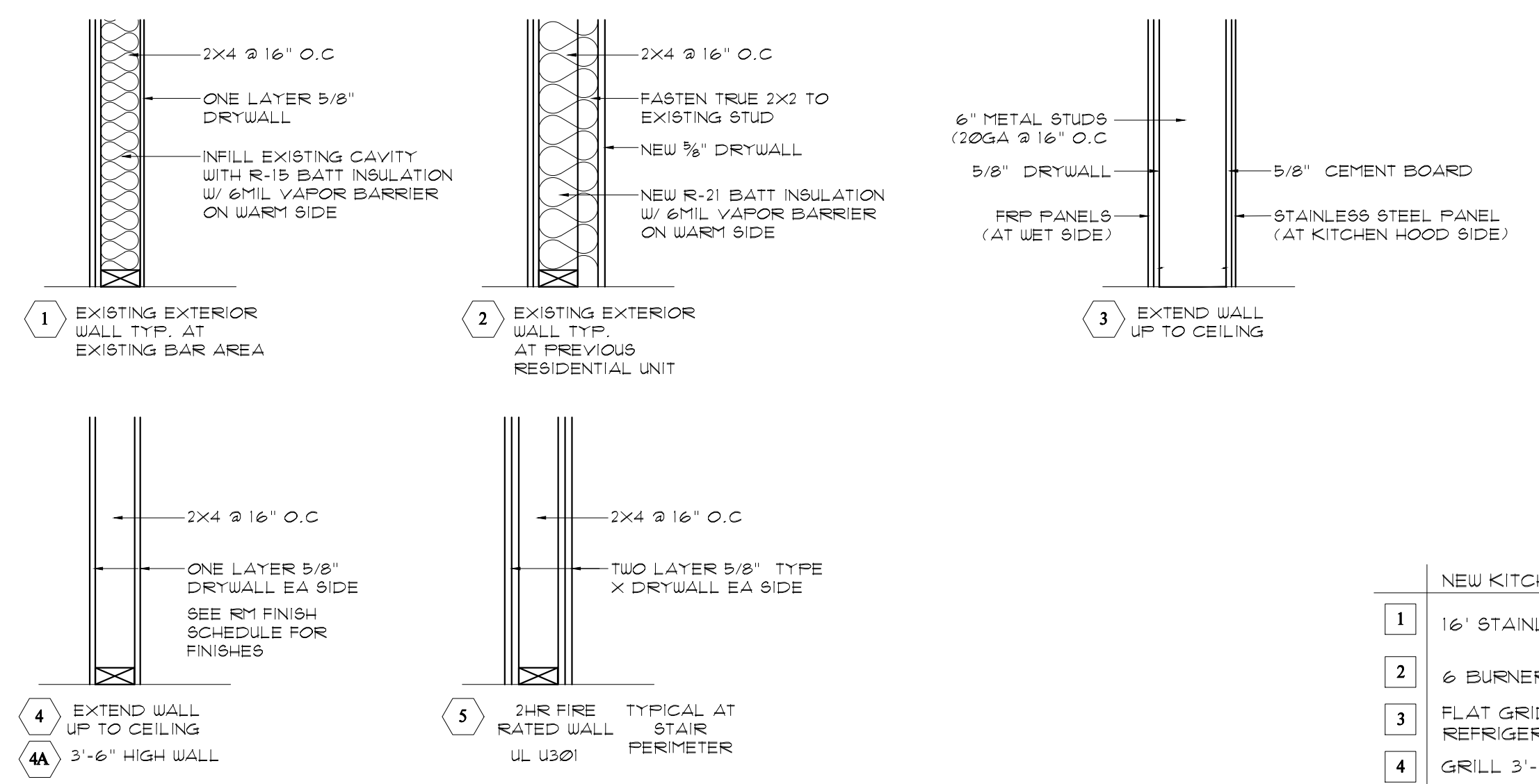
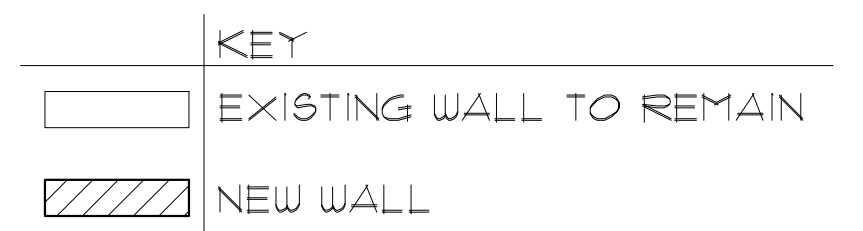


- 1 WOOD DOOR & FRAME
 - 1A 90 MIN FIRE RATED DOOR & FRAME
 - 2 HM DOOR & FRAME
- INSTALL ADA ACCESSIBLE HARDWARE @ ALL DOORS
 SCHLAGE RHEDEX GRADE 1 COMMERCIAL DOOR LEVER OR SIMILAR
- AT EXTERIOR DOORS PROVIDE SURFACE MOUNTED CLOSURE

4 Door Type
 A-1.3 Scale: 3/8" = 1'-0"

GENERAL DIMENSION NOTE:
 DIMENSIONS ARE TYPICALLY SHOWN TO FACE OF FINISHES

ALL FINISHES TBD, AND COORDINATED BY OWNER & CONTRACTOR. ALL DIMENSIONS TO BE VERIFIED IN FIELD AND ADJUSTED AS NECESSARY.



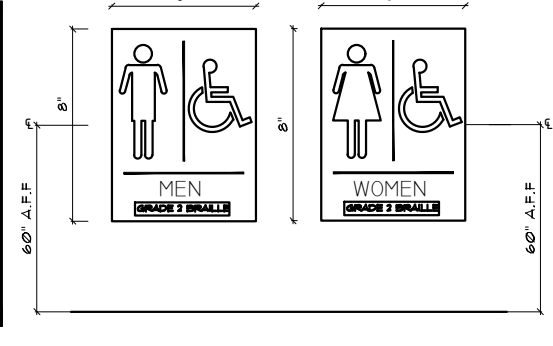
2 New Wall Types
 A-1.3 Scale: 1" = 1'-0"

- NEW KITCHEN EQUIPMENT LIST
- 16" STAINLESS STEEL HOOD
 - 6 BURNER RANGE
 - FLAT GRIDDLE 3'-0"
 - REFRIGERATED TABLE BELOW
 - GRILL 3'-0" W/ TABLE BELOW
 - FRYER 20"
 - HAND SINK
 - VEGETABLE SINK
 - 4 COMPARTMENT SINK
 - CHROME DISH RACK 14"x24"
 - REFRIGERATOR
 - STAINLESS STEEL

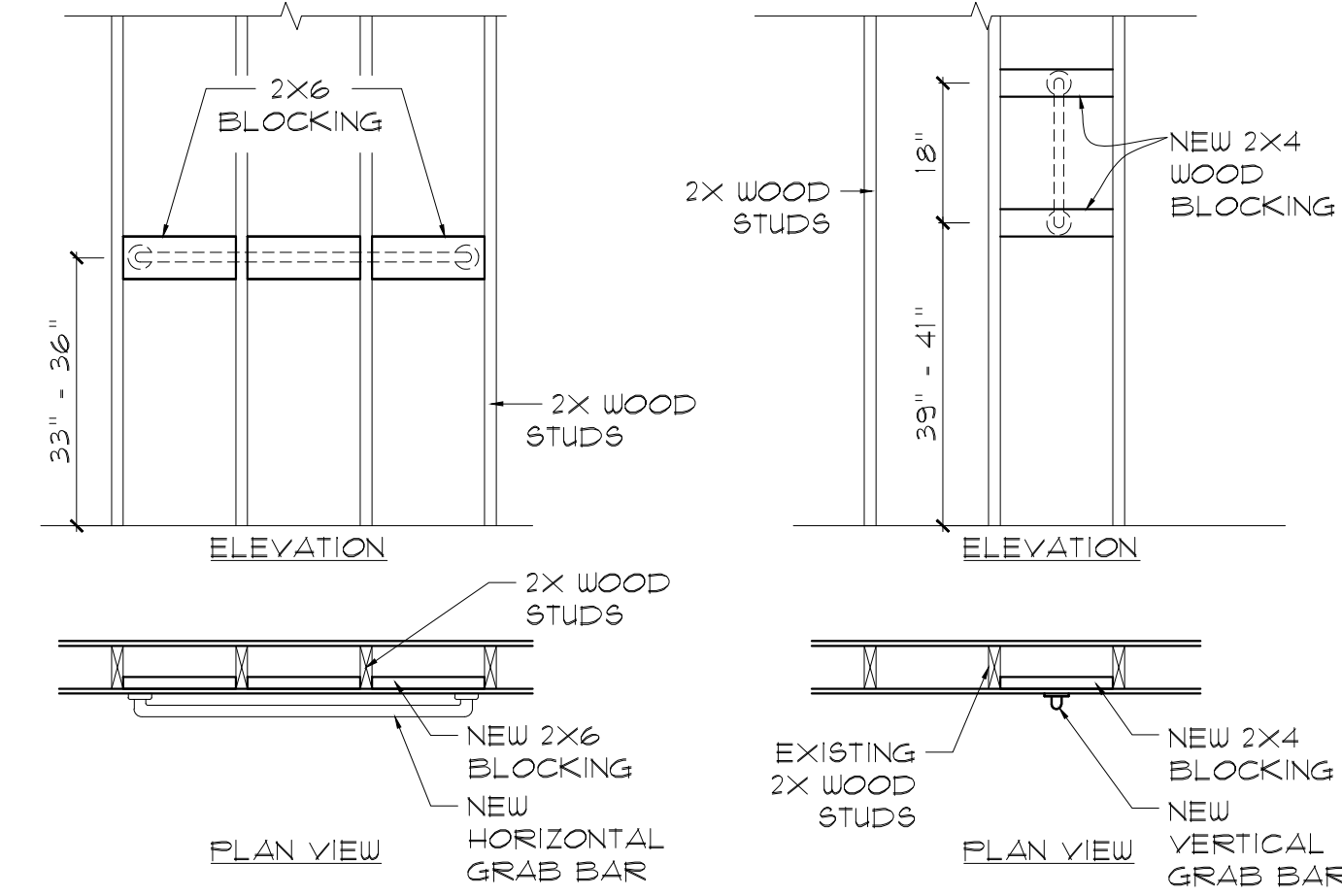
- NEW BAR EQUIPMENT LIST
- 4 COMPARTMENT UNDER COUNTER SINK
 - HAND SINK
 - ICE BIN
 - REFRIGERATOR WITH COUNTER
 - ICE MACHINE

GENERAL SIGN NOTES

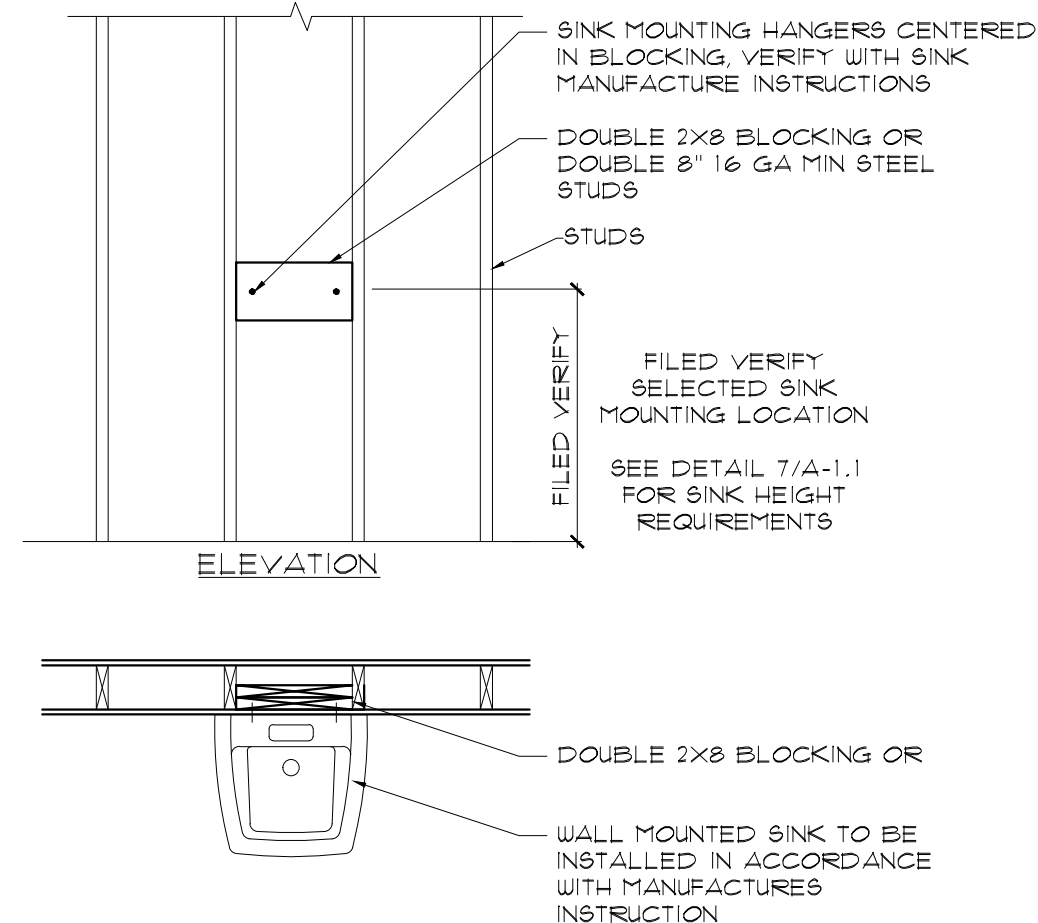
- ALL TEXT TO BE 5/8" HIGH 1/32" RAISED GRAPHICS UNLESS NOTED
- SIGNS SHALL BE INSTALLED ON LATCH SIDE OF DOOR. WHERE THERE IS NO WALL SPACE TO LATCH SIDE OF DOOR AND ON DOUBLE DOORS, SIGNS SHALL BE INSTALLED ON THE NEAREST ADJACENT WALL
- MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO CENTERLINE OF SIGN.



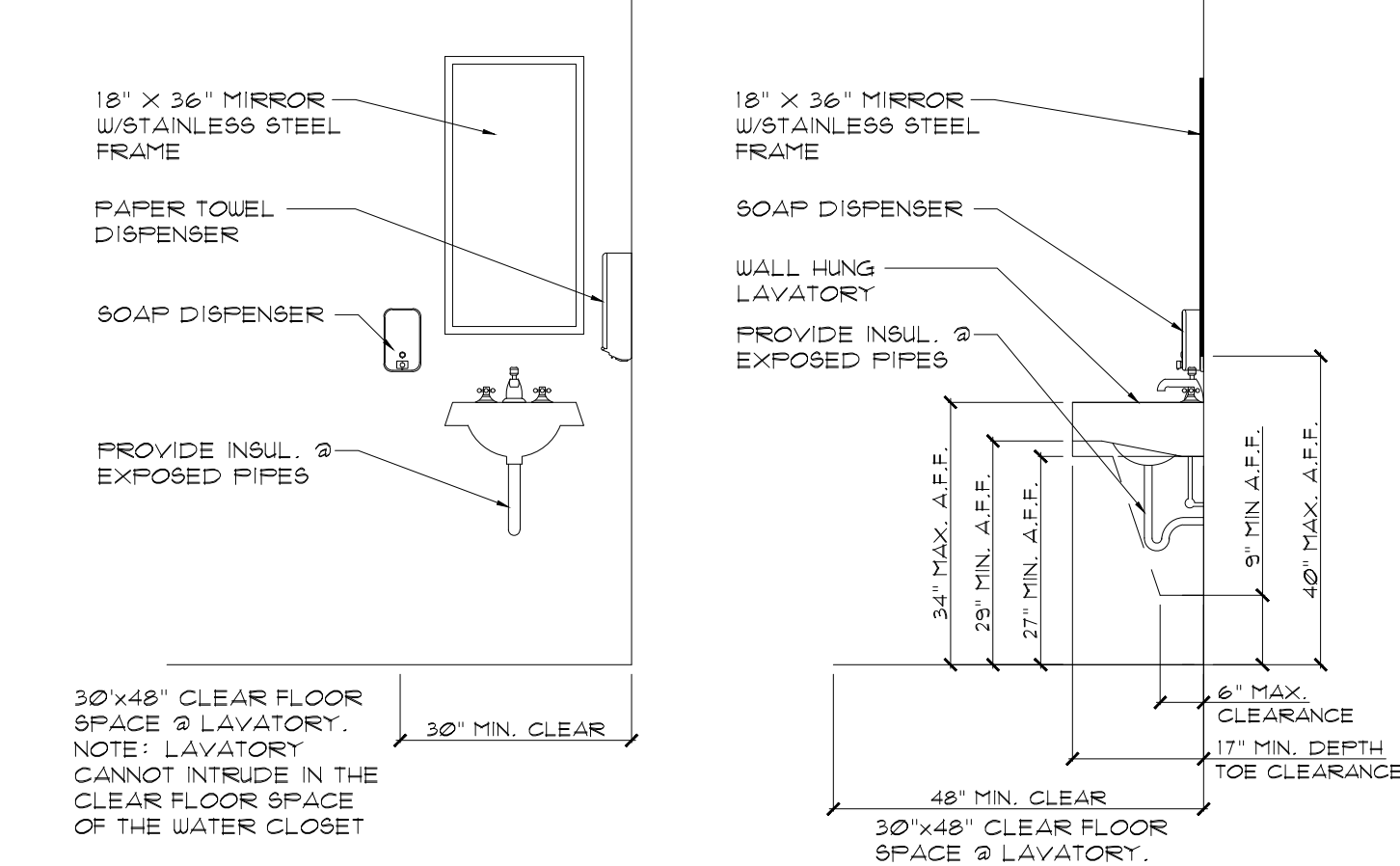
3 Restroom Sign
 A-1.3 Scale: N.T.S.



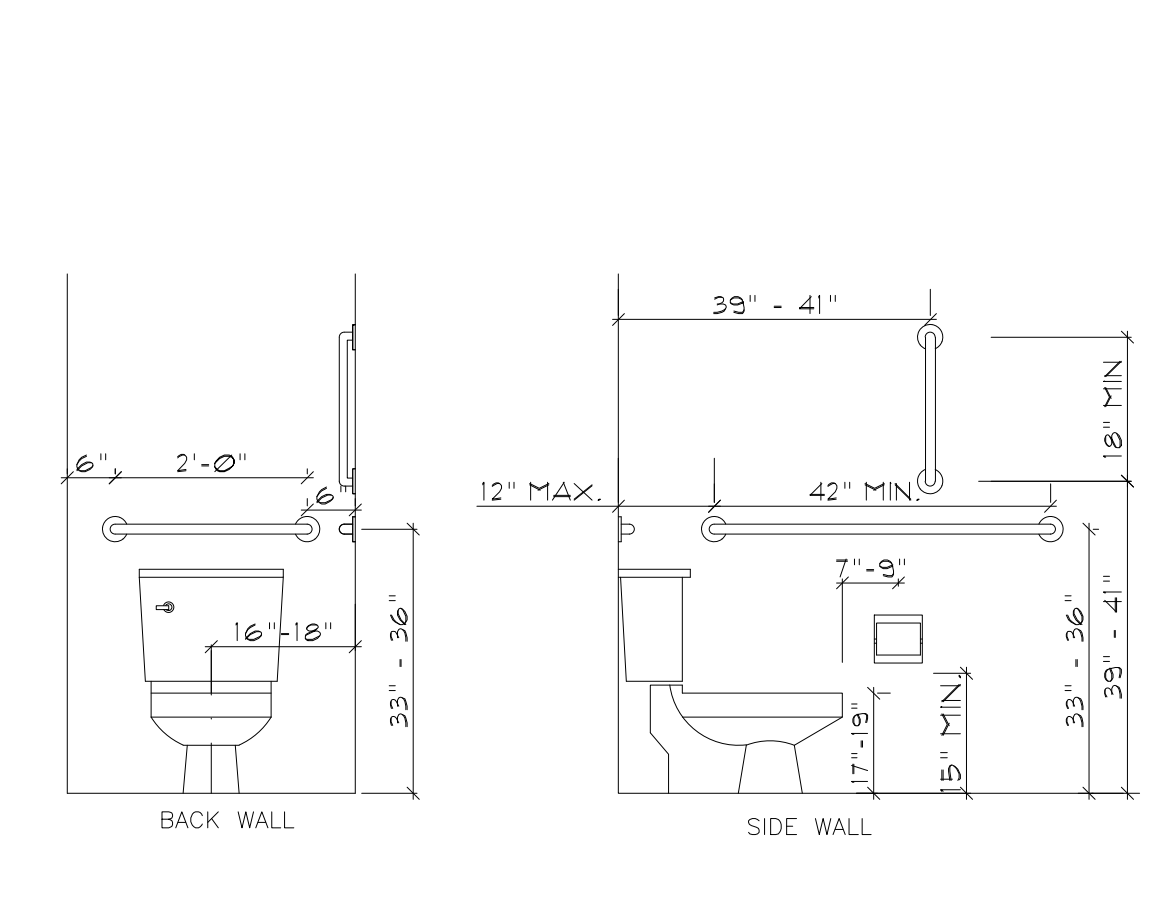
5 Grab Bar Blocking Detail
 A-1.3 Scale: 1/2" = 1'-0"



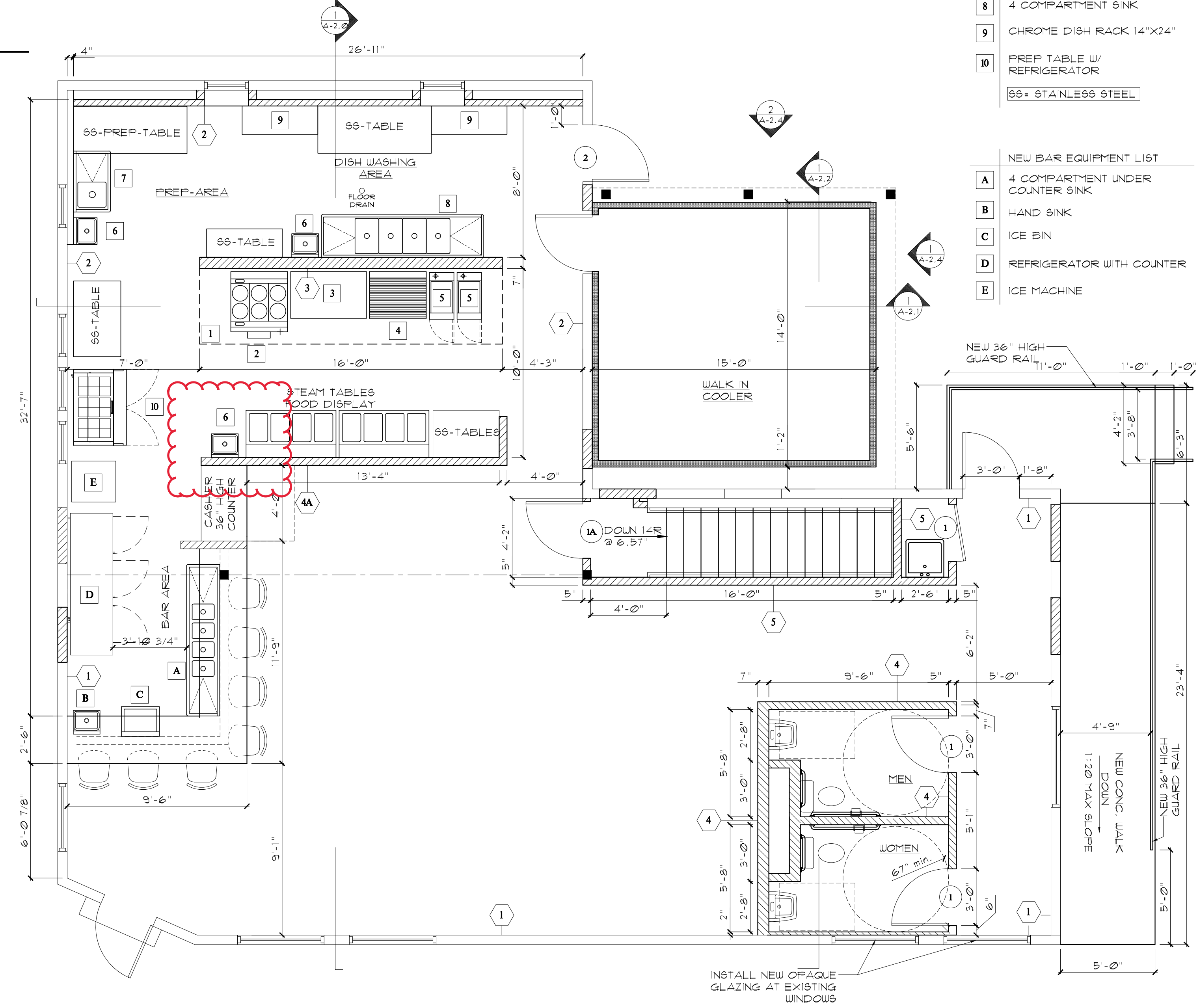
6 Sink Blocking Detail
 A-1.3 Scale: 1/2" = 1'-0"



7 ADA Sink Detail
 A-1.3 Scale: 1/2" = 1'-0"



8 ADA Toilet Detail
 A-1.3 Scale: 1/2" = 1'-0"



1 New First Floor Plan
 A-1.3 Scale: 1/4" = 1'-0"

Phone: 347-833-9762
 Email: contact@aurumarchitectura.com
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PROPOSED NEW RESTAURANT
 5632 W BURNHAM ST.
 WEST ALLIS, WI

JOB NO: AU 2025-19

NO	DATE	DESCRIPTION
1	3/21/2026	STAIRS LANDING
2	3/31/2026	BATHROOM DIMENSIONS
3	3/31/2026	DOOR #2 CLEARANCE
4	3/31/2026	ADA WALK STAIR DIMS.
5	3/31/2026	HAND SINK

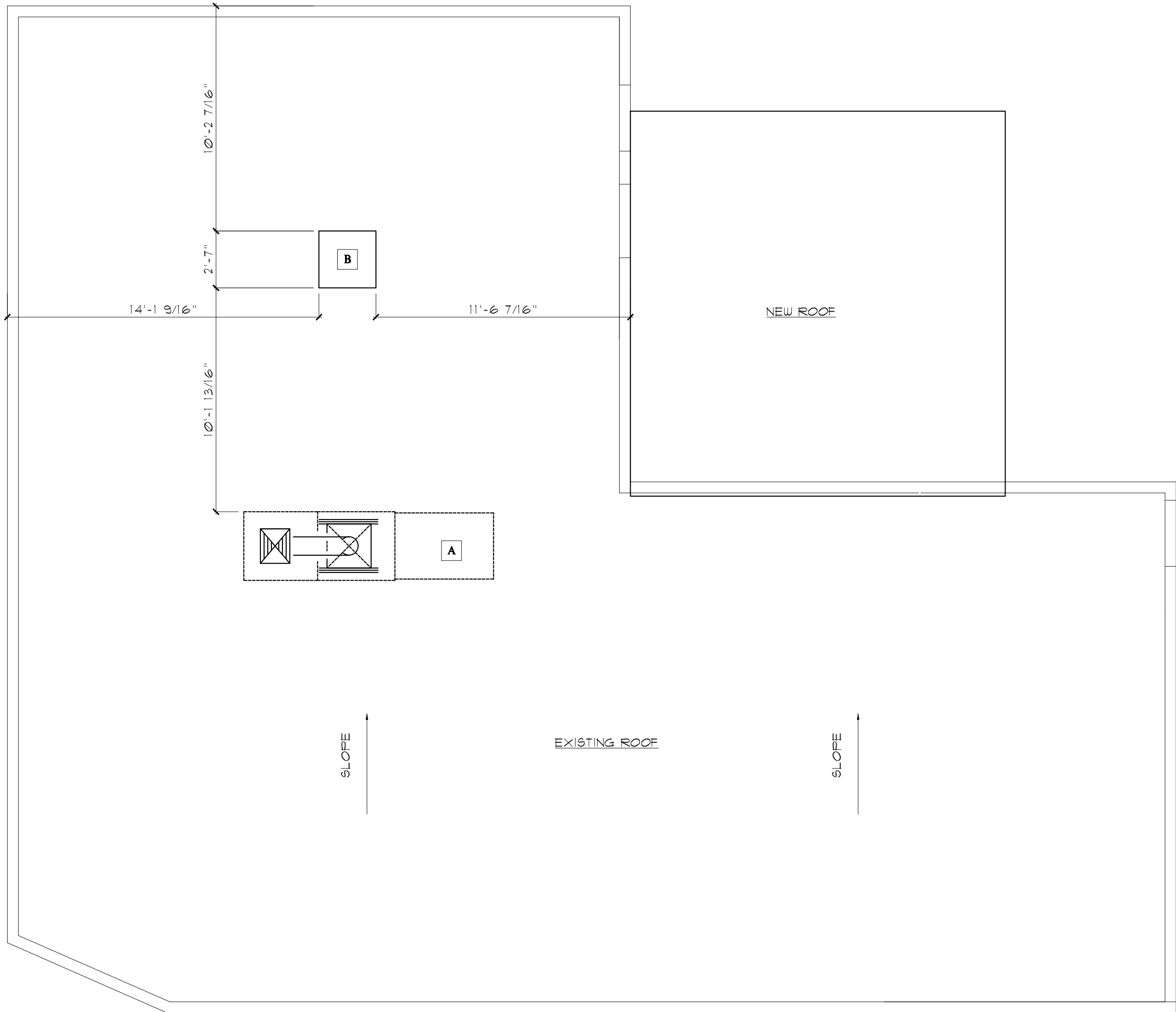
DATE: 03/02/2026
 DRAWN BY: R.A.
 SCALE: AS SHOWN

NOTE:
- VERIFY ALL FINISHES WITH OWNER PRIOR TO INSTALLATION
- USE VINYL COATED ACOUSTICAL CEILING TILE AT KITCHEN & RESTROOM W/ ALUMINUM GRID
- ELECTRICAL/ LIGHTING ARE FOR REFERENCE ONLY. ELECTRICAL CONTRACTOR SHALL SUBMIT DOCUMENTATION, CALCULATION, DATA TO LOCAL AUTHORITIES FOR APPROVALS

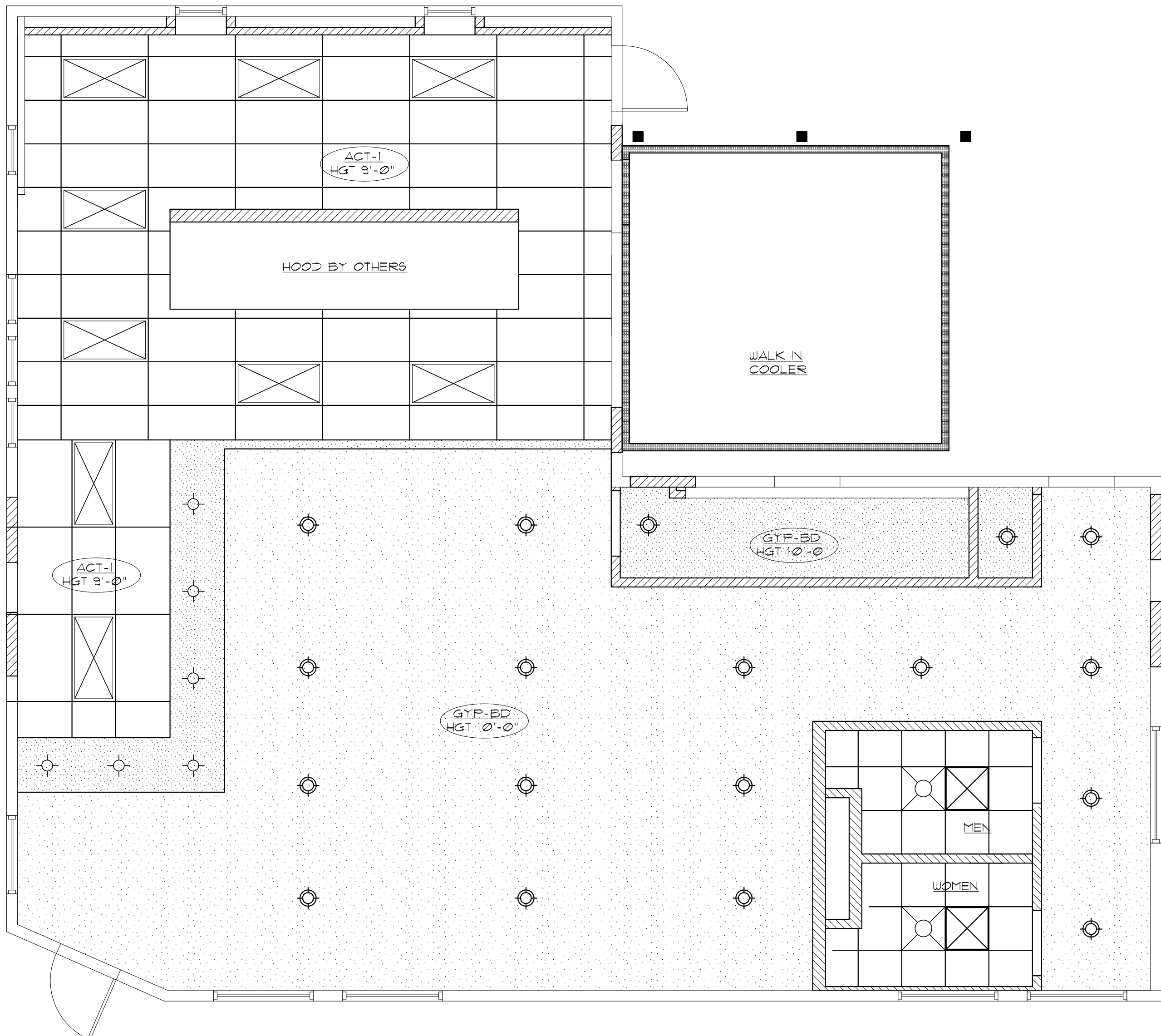
- RCP LEGEND
- PENDANT LIGHT FIXTURE
 - RECESSED LIGHT FIXTURE
 - 2X4 LIGHT FIXTURE
 - 2X2 LIGHT FIXTURE
 - 2X2 EXHAUST FAN
 - EXIT/ EMERGENCY LIGHT
 - 2X4 ACOUSTICAL CEILING TILE
 - 2X2 ACOUSTICAL CEILING TILE
 - GYPSUM BOARD

ROOF TOP EQUIPMENT	WEIGHT
A MAKE UP AIR UNIT:	800 LBS
MAU CURB:	100 LBS
B EXHAUST FAN:	350 LBS
EXHAUST FAN CURB:	50 LBS

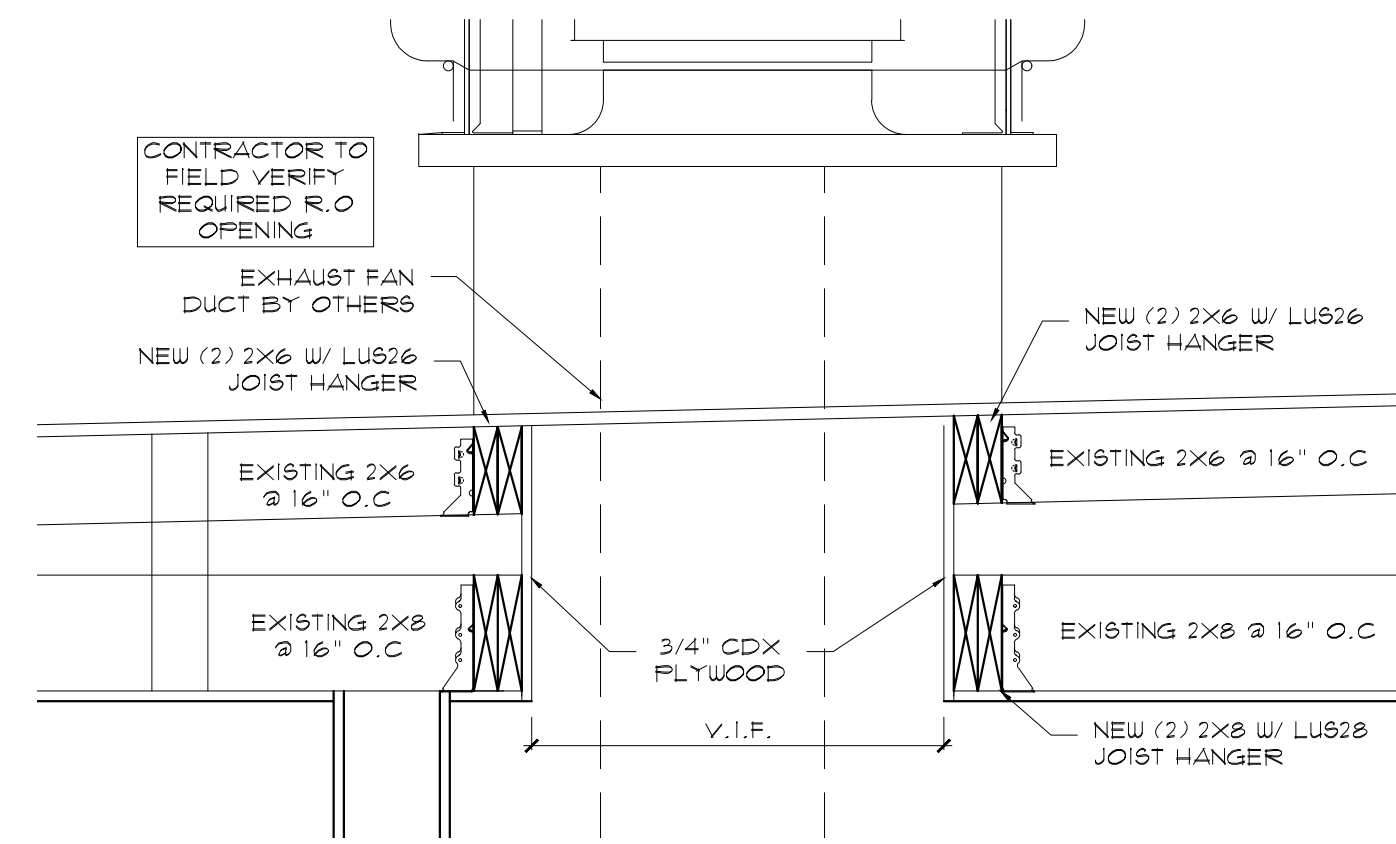
CONTRACTOR TO VERIFY ROOF TOP EQUIPMENT SIZE, WEIGHT AND QUANTITY.
VERIFY EQUIPMENT DISTANCE AWAY FROM PROPERTY LINE & AIR INTAKE PER IMC 2021
PROVIDE RAILING AS REQUIRED PER IMC 2021
MECHANICAL CONTRACTOR SHALL SUBMIT DOCUMENTATION, CALCULATION, DATA TO LOCAL AUTHORITIES FOR APPROVALS



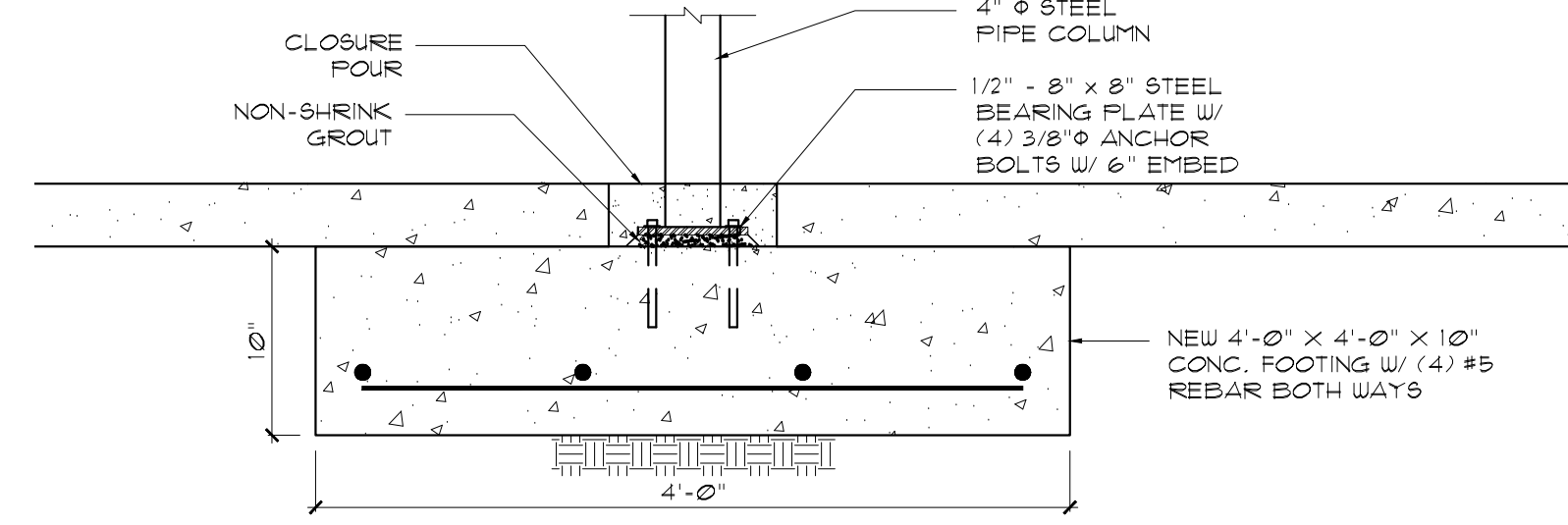
1 New Roof Plan
A-1.4 Scale: 1/4" = 1'-0"



2 New Reflected Ceiling Plan
A-1.4 Scale: 1/4" = 1'-0"



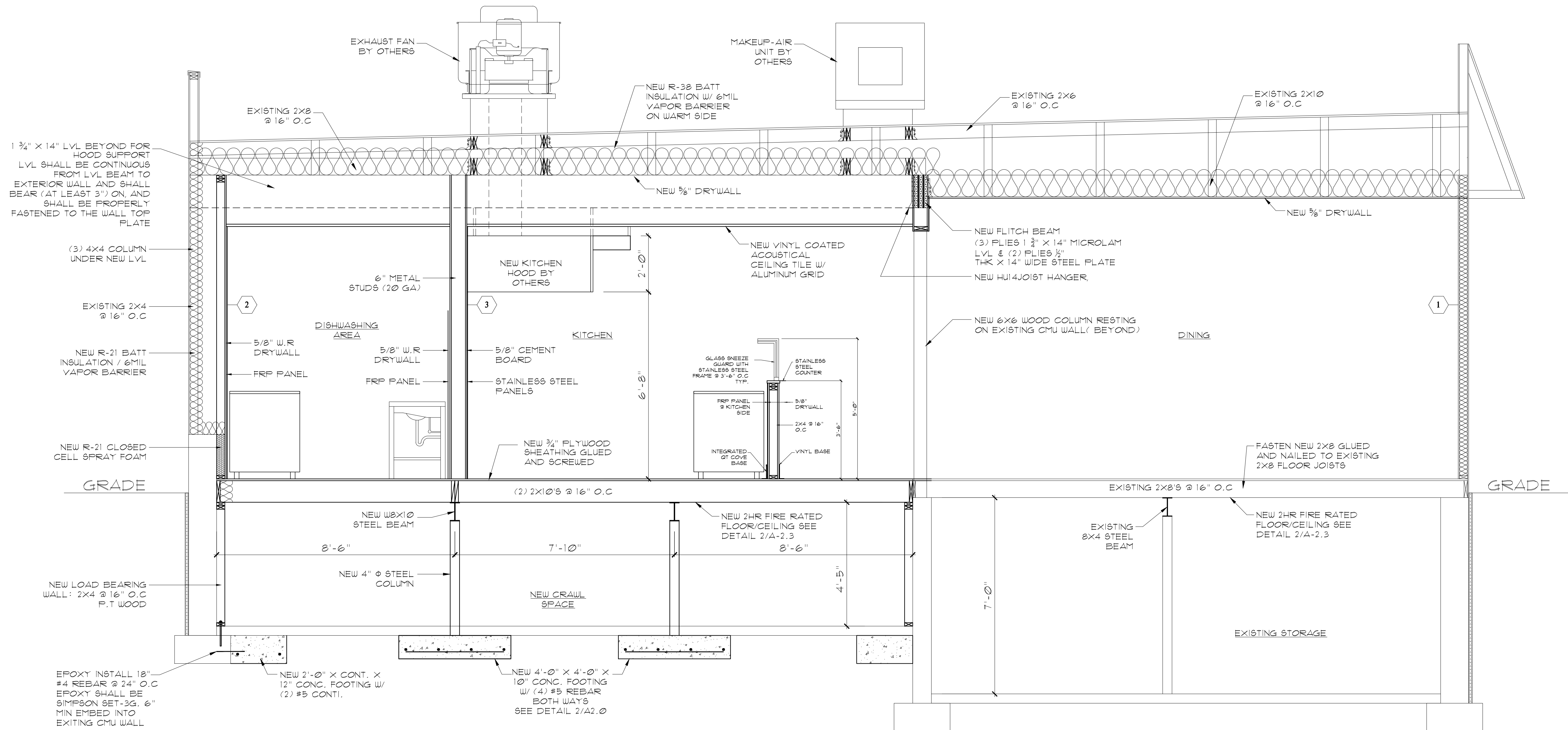
3 New Exhaust Fan/ MAU Duct Opening typ.
A-2.0 Scale: 1" = 1'-0"



2 New Footing Detail
A-2.0 Scale: 1" = 1'-0"

- PLUMBING NOTES**
- CAP WASTE VENT AND WATER PIPING WITHIN THE FLOOR AS REQUIRED FOR EXISTING FIXTURES TO BE REMOVED.
 - CONNECTION TO EXISTING WASTE, VENT AND WATER PIPING WITHIN THE WALL OR BELOW THE FLOOR AS REQUIRED.
 - PLUMBER TO COORDINATE CUTTING WITH GENERAL CONTRACTOR.
 - HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED TO PROTECT AGAINST CONTACT.
 - GENERAL CONTRACTOR TO PATCH AND REFINISH FLOORS, WALLS, AND CEILING TO MATCH EXISTING AND ADJACENT SURFACES.

- KEY NOTES**
- INSTALL NEW STAINLESS STEEL MIRROR @ 40" AFF
 - INSTALL NEW TOWEL DISPENSER @ 48" AFF
 - INSTALL NEW LAVATORY @ 34" AFF TO RIM AND INSTALL NEW SOAP DISPENSER @ 40" AFF
 - INSTALL NEW 3/8" GRAB BARS @ THE SIDES OF THE TOILET
 - INSTALL NEW TOILET PAPER DISPENSER @ 19" AFF
 - INSTALL NEW H.C TOILET @ 19" AFF TO THE RIM & @ 18" THE WALL
 - INSTALL NEW MECHANICAL EXHAUST IN TOILET ROOMS



1 New Building Section
A-2.0 Scale: 1/2" = 1'-0"

PROPOSED NEW RESTAURANT
5632 W BURNHAM ST.
WEST ALLIS, WI

JOB NO: AU 2025-19

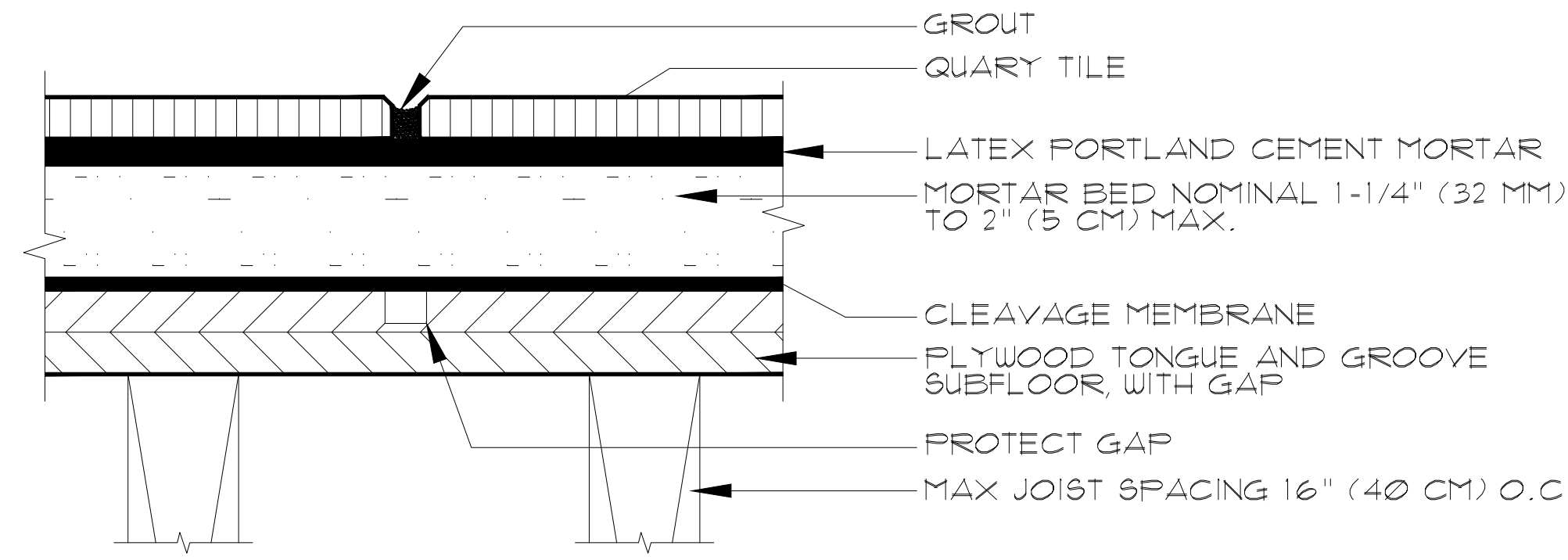
Revisions

NO	DATE	DESCRIPTION

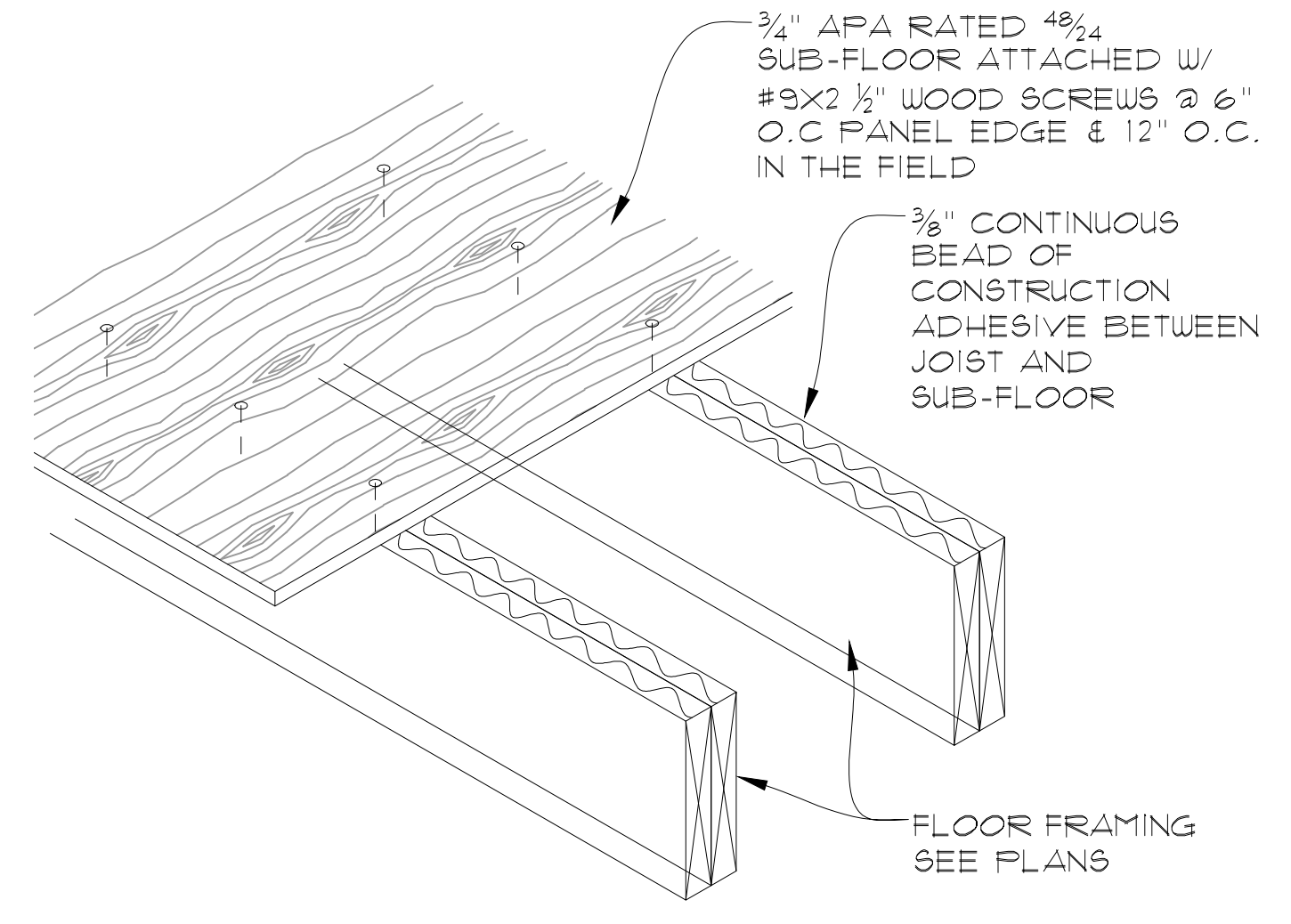
DATE: 03/02/2026

DRAWN BY: R.A.

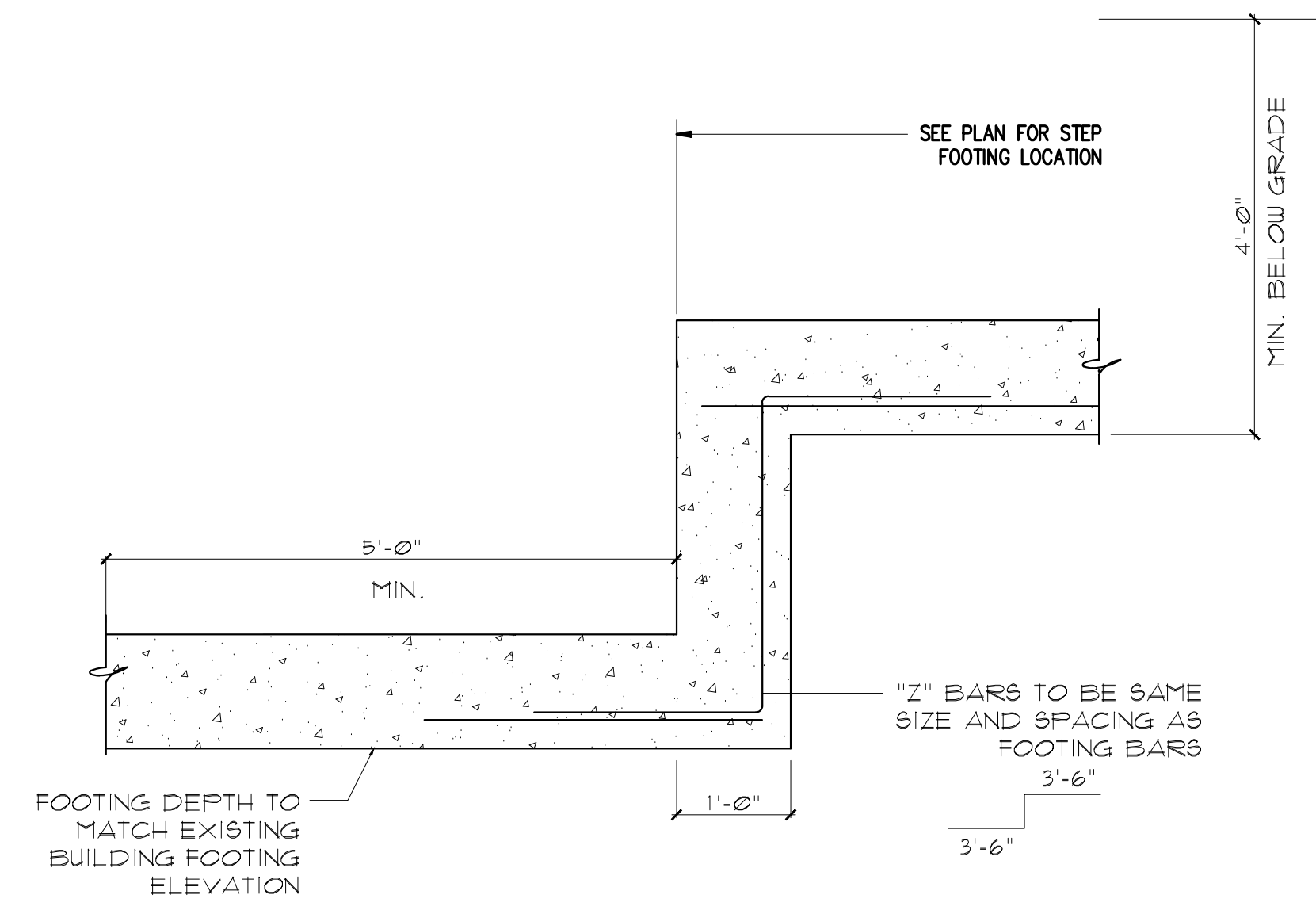
SCALE: AS SHOWN



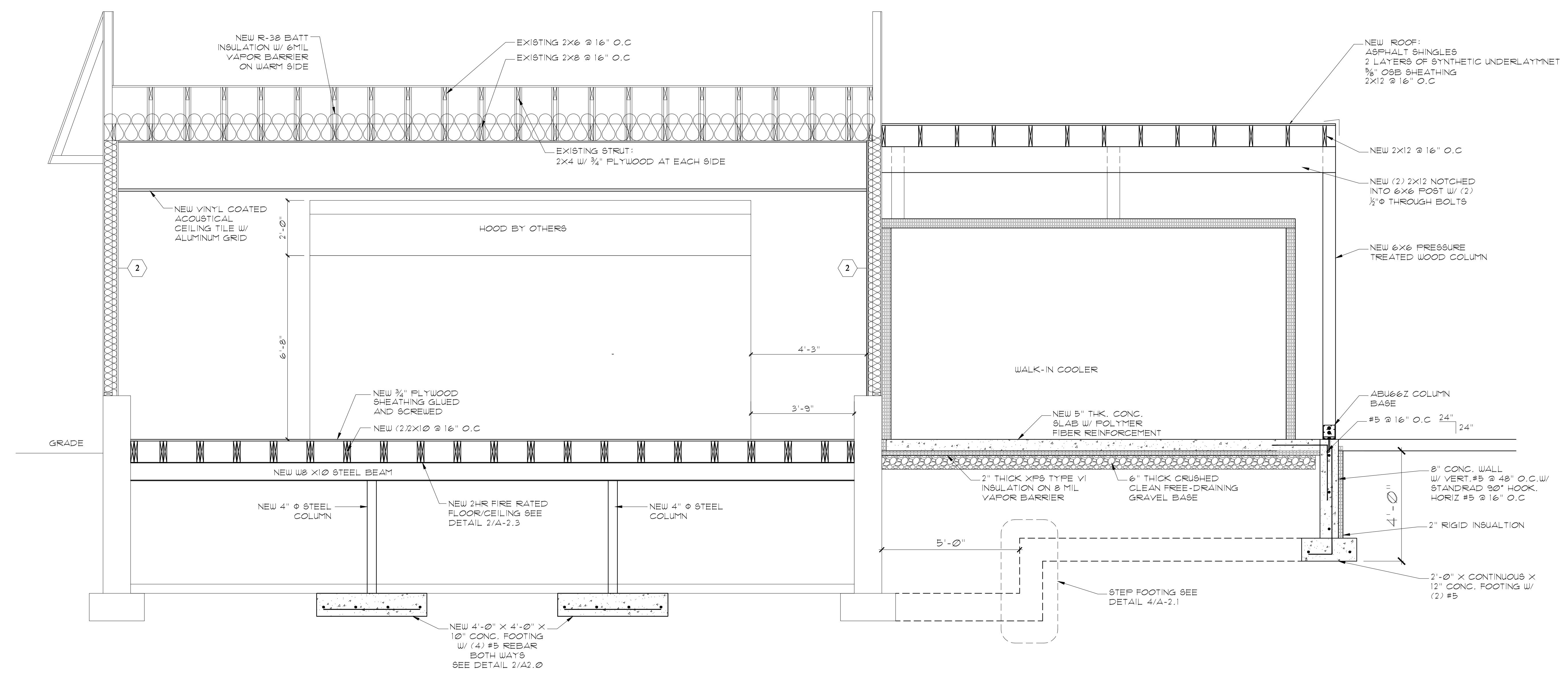
2 Floor Tile Detail
A-2.1 Scale: n.t.s.



3 Sub-Floor Detail
A-2.1 Scale: n.t.s.



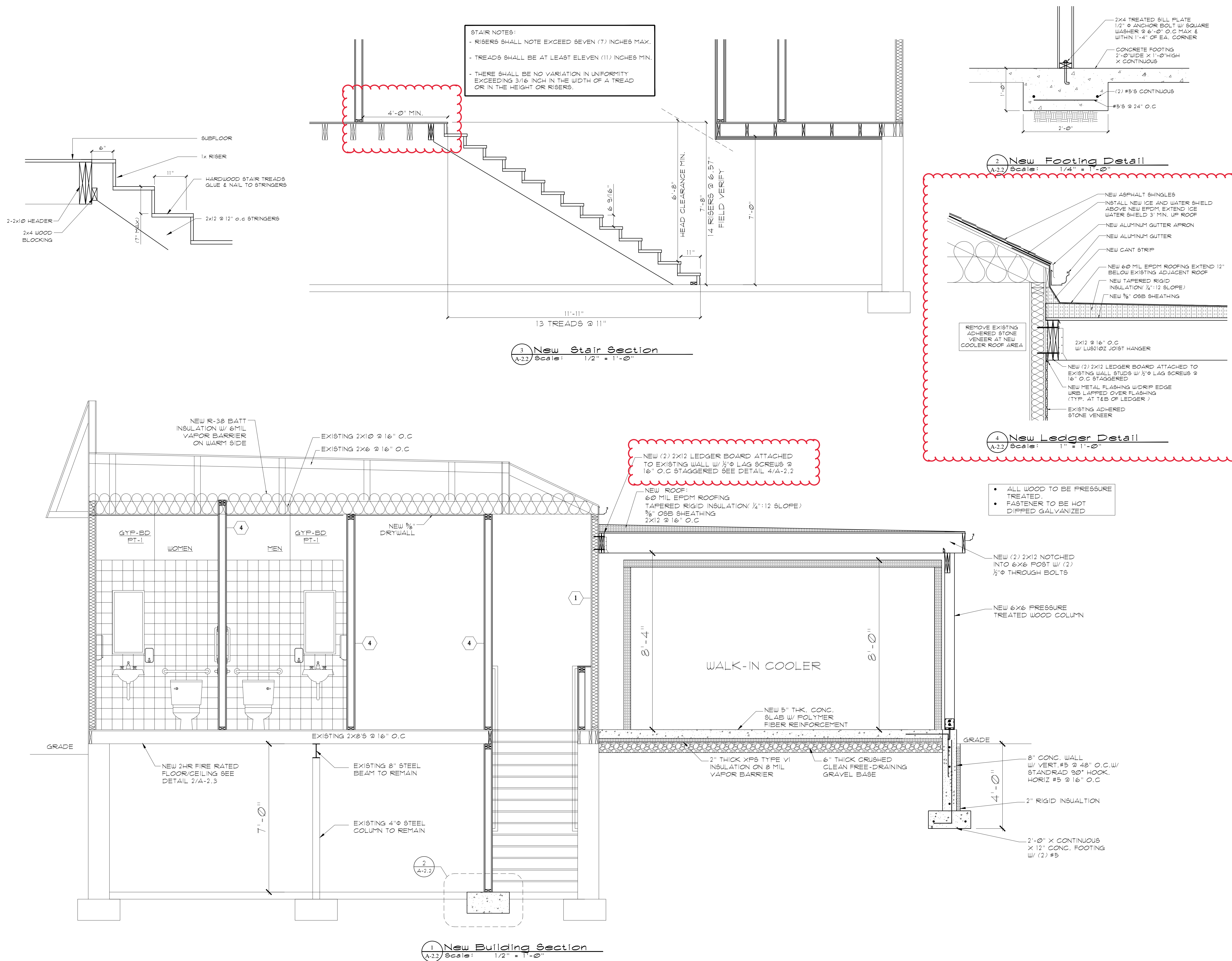
4 Step Footing Detail
A-2.1 Scale: n.t.s.

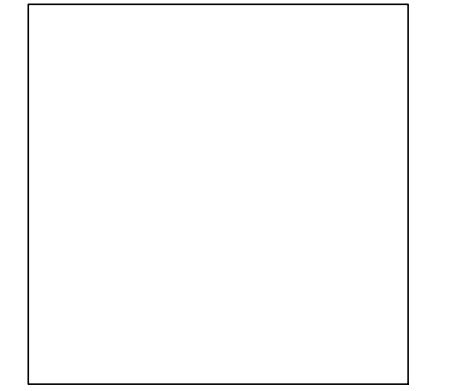


1 New Building Section
A-2.1 Scale: 1/2" = 1'-0"

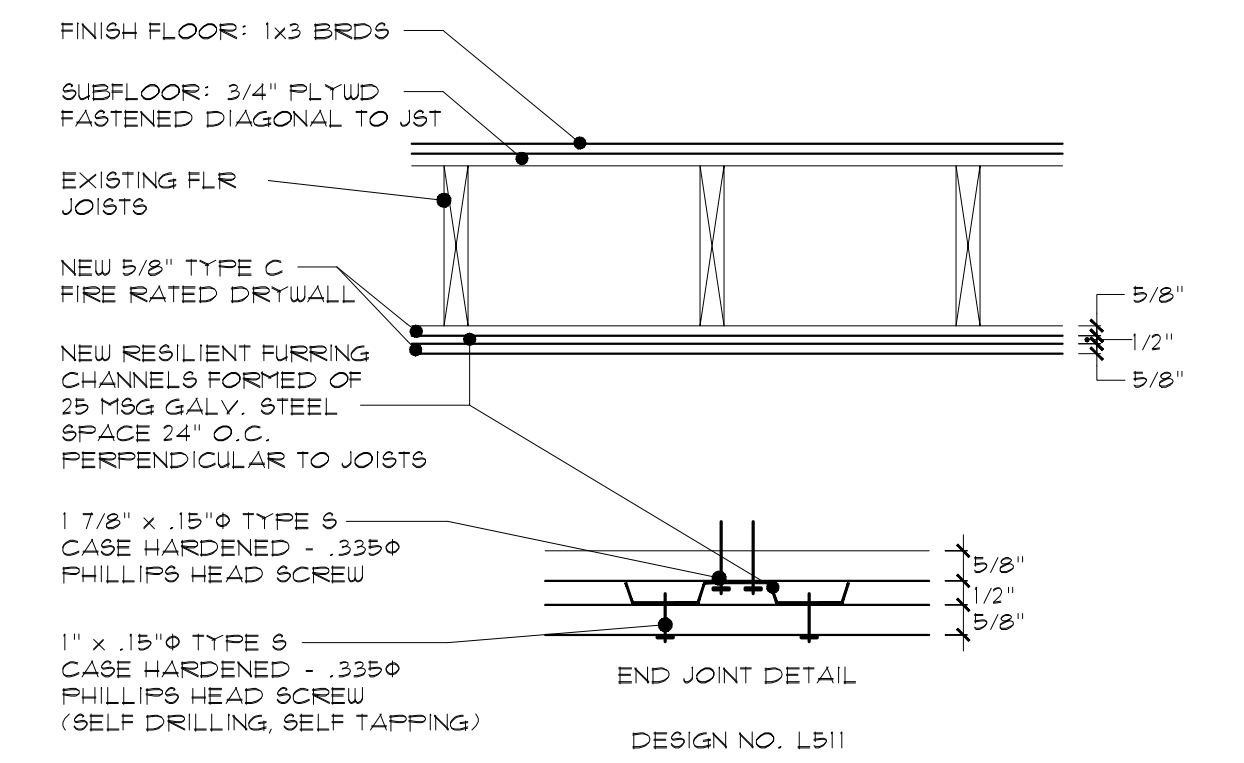
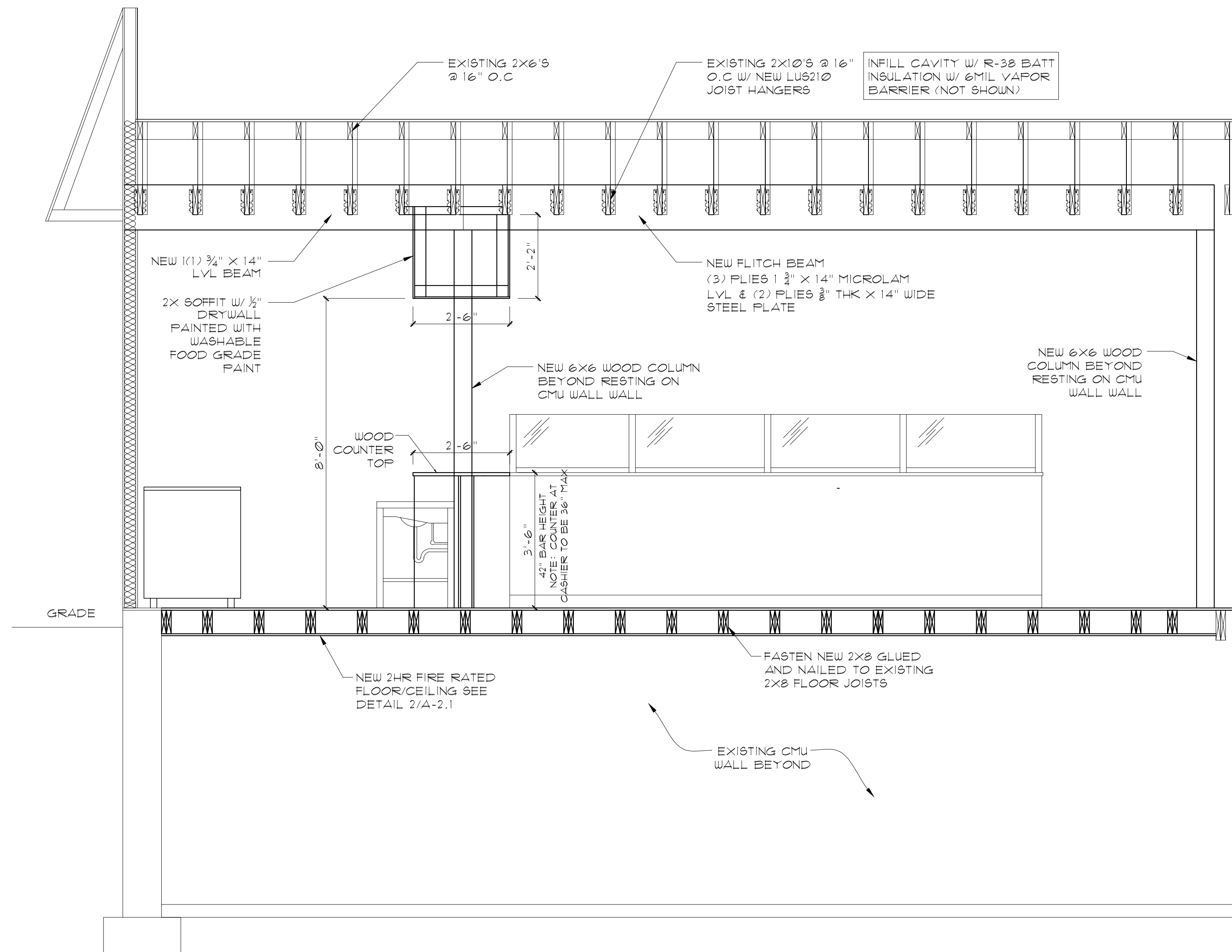
Revisions		
NO	DATE	DESCRIPTION

NO	DATE	DESCRIPTION
1	3/21/2026	- STAIRS LANDING - BATHROOM DIMENSIONS - LEDGER BOARD
2	3/31/2026	- LEDGER BOARD DETAIL





PROPOSED NEW RESTAURANT
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WEST ALLIS, WI



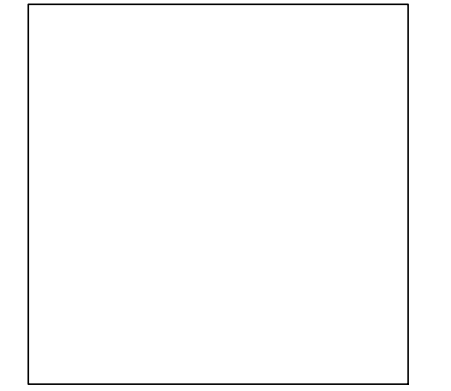
2 2HR Fire Rated Floor/Ceiling
A-2.3 Scale: 1" = 1'-0"

1 New Building Section
A-2.3 Scale: 1/2" = 1'-0"

JOB NO: AU 2025-19

Revisions		
NO	DATE	DESCRIPTION

DATE: 03/02/2026
DRAWN BY: R.A.
SCALE: AS SHOWN



PROPOSED NEW RESTAURANT
 5632 W BURNHAM ST.
 WEST ALLIS, WI

JOB NO: AU 2025-19

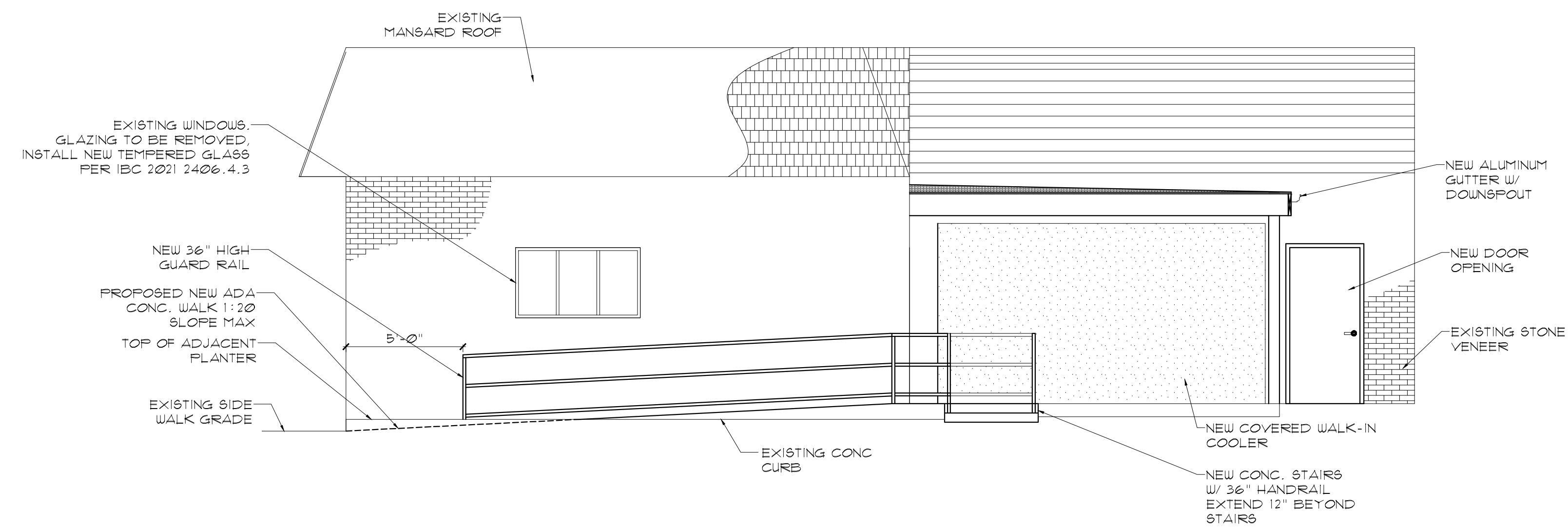
Revisions
NO DATE DESCRIPTION

NO	DATE	DESCRIPTION

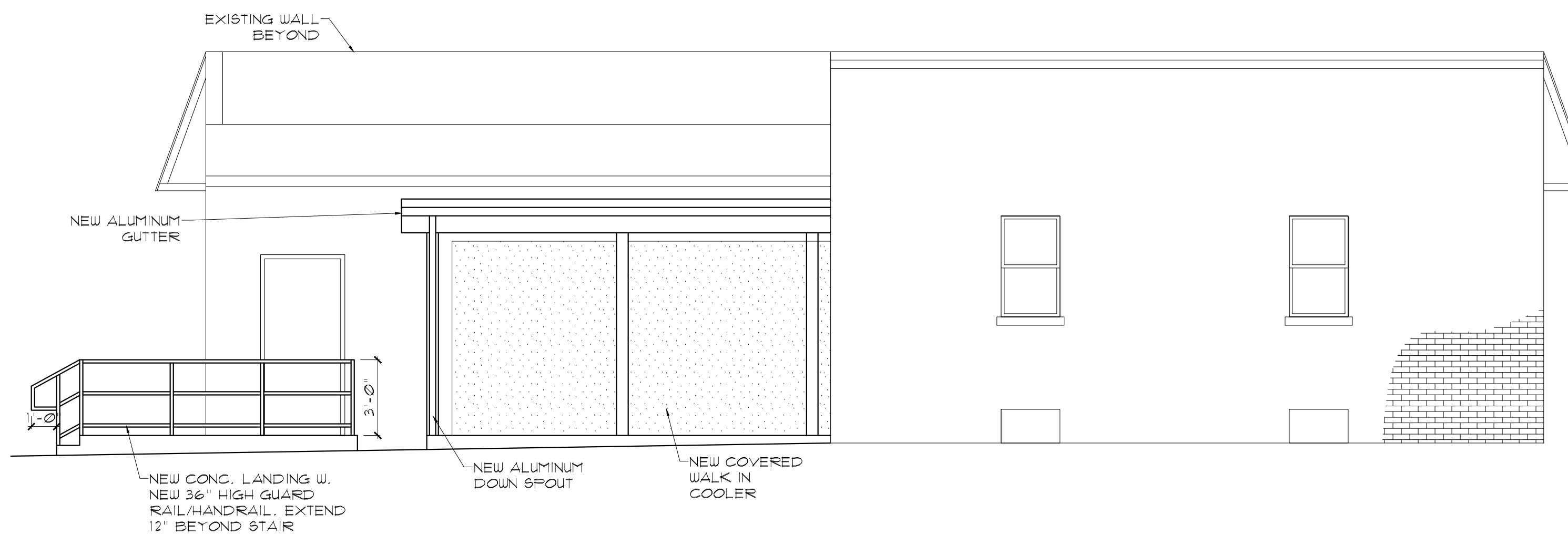
DATE: 03/19/2026

DRAWN BY: R.A.

SCALE: AS SHOWN



1 New East Elevation
A-2.4 Scale: 1/2" = 1'-0"



2 New North Elevation
A-2.4 Scale: 1/4" = 1'-0"

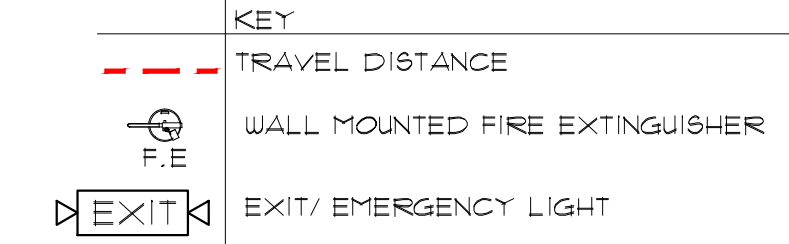
Revisions		
NO	DATE	DESCRIPTION

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:

- CLASS A: FLAME SPREAD INDEX 0-25;
SMOKE-DEVELOPED INDEX 0-450
- CLASS B: FLAME SPREAD INDEX 26-75;
SMOKE-DEVELOPED INDEX 0-450
- CLASS C: FLAME SPREAD INDEX 76-200;
SMOKE-DEVELOPED INDEX 0-450

NON-SPRINKLED

GROUP	INTERIOR EXIT STAIR WAYS, RAMP AND EXIT ACCESS STAIRWAYS AND RAMP	CORRIDOR AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP	ROOM AND ENCLOSED SPACES
GROUP A-2:	CLASS A	CLASS A	CLASS B



PROVIDE LED, SELF-LUMINOUS, OR BATTERY-BACKED EXIT SIGNS MEETING IBC 2021 REQUIREMENTS, WITH RED OR GREEN LETTERS, AND CONTINUOUS ILLUMINATION DURING POWER OUTAGES.

PROVIDE EMERGENCY EGRESS LIGHTING THAT ILLUMINATES THE MEANS OF EGRESS PER IBC 2021 AND NFPA 101, WITH A MINIMUM ILLUMINATION OF 1 FOOT-CANDLE, POWERED BY AN EMERGENCY POWER SOURCE, AND OPERATING FOR AT LEAST 90 MINUTES DURING POWER OUTAGES.

FIRE EXTINGUISHER NOTE:

- KITCHEN AREA: CLASS K
- DINING AREA: MINIMUM 2-A: BC RATING

BUILDING CODE SUMMARY

APPLICABLE CODES & STANDARDS:

2021 INTERNATIONAL BUILDING CODE (IBC) AS MODIFIED BY WI ADMIN CODE SPS362

CONSTRUCTION TYPE: V-B

OCCUPANCY CLASSIFICATION:

DESCRIPTION OF USE	OCCUPANCY CLASSIFICATION
RESTAURANT	GROUP-A-2

ALLOWABLE BUILDING HEIGHT PER IBC 2021 TABLE 504.3 :

FOR GROUP A-2, CONSTRUCTION TYPE V-B, NOT SPRINKLED = 40 MAX. HEIGHT
EXISTING BUILDING HEIGHT : 17'

ALLOWABLE NUMBER OF STORIES PER IBC 2021 TABLE 504.4 :

FOR GROUP A-2, CONSTRUCTION TYPE V-B, NOT SPRINKLED = 1 STORY
EXISTING BUILDING IS = 1 STORY

ALLOWABLE AREA PER IBC 2021 TABLE 506.2 :

FOR GROUP A-2, CONSTRUCTION TYPE V-B, NOT SPRINKLED = 6,000 SQ.FT.
EXISTING BUILDING GROSS AREA = 1,874 SQ.FT.

OCCUPANCY BASED ON FLOOR AREA SQ.FT. (IBC 2021 1004.5)

KITCHEN =	200 GROSS	512 SQFT (200 = 2.56 (3))
SEATING =	15 NET	600 SQFT (15 = 40)
BAR AREA =	7 NET	204 SQFT (7 = 29)

TOTAL OCCUPANTS: 72

EXIT REQUIREMENTS PER IBC 2021 SECTION 10005

FIRST FLOOR	
NORTH EAST - EXIT #1	- 34" CLEAR WIDTH
EAST - EXIT #2	- 34" CLEAR WIDTH
SOUTH WEST - EXIT #3	- 34" CLEAR WIDTH

1005.3.2:
72 OCCUPANTS X 0.2 = 14.4" (32" CLEAR WIDTH MINIMUM REQUIRED)

(102' / 2 = 510 OCCUPANTS
DOORS CAN HANDLE A CAPACITY OF 510 OCCUPANTS)

PER TABLE 1006.3 (FIRST FLOOR):
OCCUPANT LOAD PER STORY 1:500; MINIMUM 2 EXITS REQUIRED.

PER TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE:
OCCUPANCY B: 200 FEET WITH OUT SPRINKLER SYSTEM

PROVIDED:
FIRST FLOOR: 3 EXIT DOORS PROVIDED
EACH DOOR MEET REQUIRED WIDTH (32" MIN.)
TRAVEL DISTANCE DOES NOT EXCEED 200 FEET

PLUMBING FIXTURES REQUIRED PER IBC 2021 TABLE 2902.1

OCCUPANT LOAD 72

GROUP A-2 REQUIRED PLUMBING FIXTURES:

WC:	1 PER 75
Lavatories:	1 PER 200
Service Sink:	1

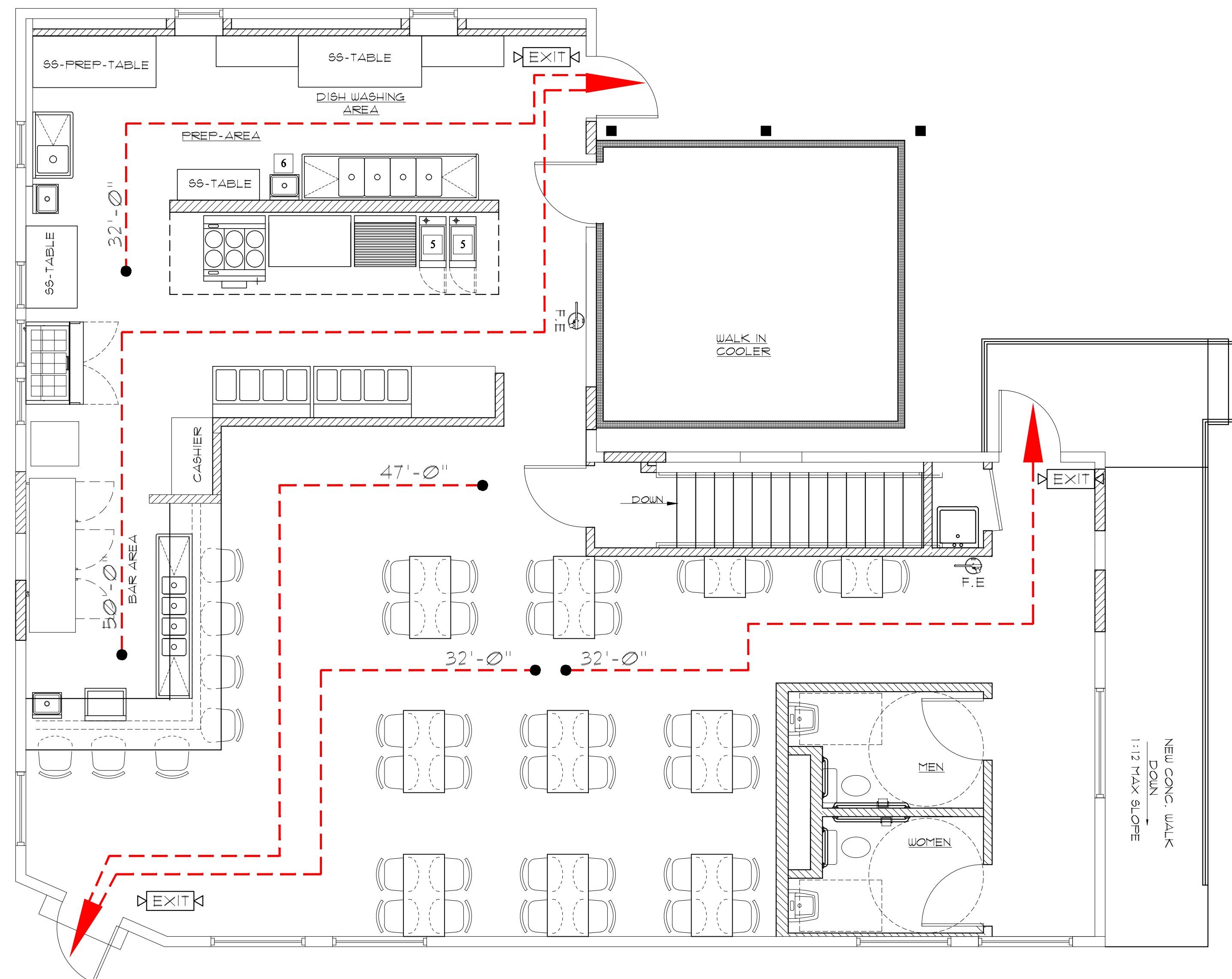
Calculate Fixtures for Group A-2 (72 occupants)

Fixture	Calculation	Required Fixtures
WC	3675 ÷ 481	1 (MALE) (1 FEMALE)
Lavatories	72 / 200 = 36	1

IBC 2902.2 SEPARATE FACILITIES:
SEPARATE FACILITIES SHALL BE PROVIDED FOR EACH SEX.

PLUMBING FIXTURES PROVIDED

- 2 ADA WATER CLOSETS
- 2 ADA LAVATORIES
- GLASS OF WATER WILL BE PROVIDED TO CUSTOMERS UPON REQUEST
- 1 SERVICE SINK IS PROVIDED



1 Life Safety Plan
A-3.0 Scale: 1/4" = 1'-0"