



**PLAN COMMISSION STAFF REPORT
WEDNESDAY, 10-22-25 @ 6PM
WEST ALLIS CITY HALL, ROOM 128
7525 W. GREENFIELD AVE.**

2A. Conditional Use Permit for a proposed Restaurant use, at 6601 W National Ave.

2B. Site, Landscaping, and Architectural Design Review for a proposed Restaurant use, at 6601 W National Ave (Tax Key No. 454-0653-001).

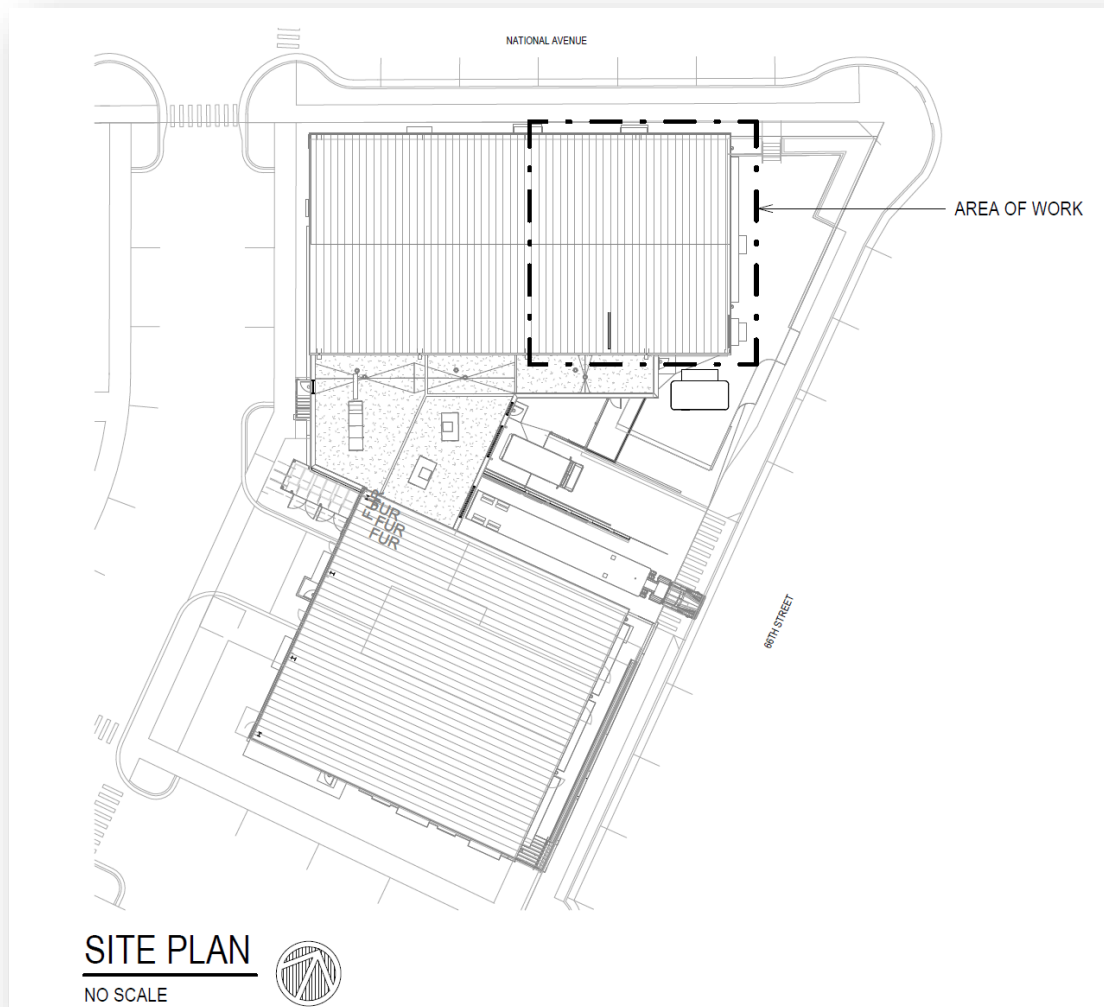
Overview and Zoning



Construction of Makers Row was substantially completed in 2023, the building consists of about 11,400 sq. ft. of newly constructed gray box commercial space.

The property owner/developer of Makers Row is Bob Monat/Mandel Group who has marketed the property for food-centric commercial space to the adjacent broader mixed-use development of SoNa Lofts (a 110-unit residential and commercial mixed use building to the west, and the West Living to the north). The West Allis Farmers Market is located directly across S. 66 St. and east of Makers Row. This location will help amplify the regional value of the West Allis Farmer's Market and create cross-marketing with high-draw, creative food venues. It will also make the area more attractive to residents who want more things to do within walking distance of their neighborhood. In other words, to keep people in the neighborhood longer to enjoy the local amenities and business that the area has to offer.

The developer/property owner has received letters of intent from tenants and is working with the prospective tenants that include include restaurants, catering,



food producers, and event space. Scope of work, cost estimates, and bank financing are in process.

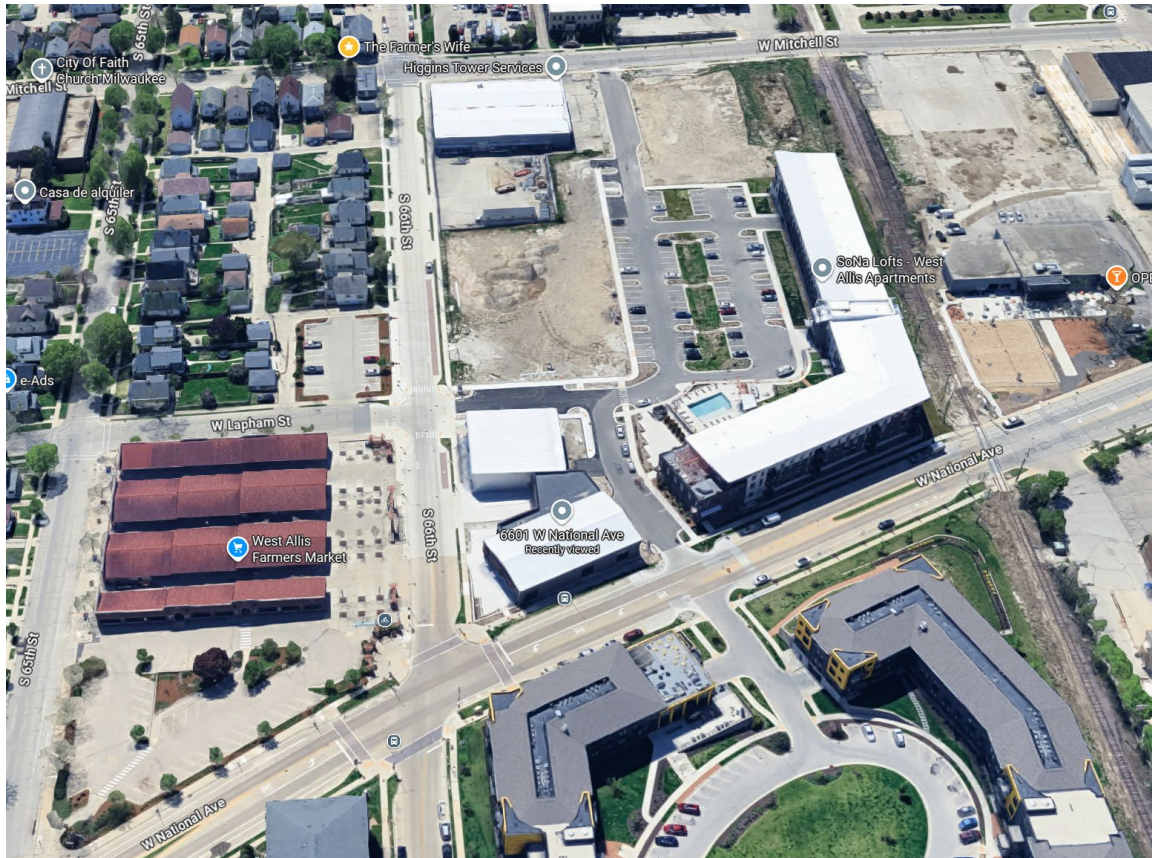
The emphasis for Makers Row has been to attract local and new businesses from the region looking to make their mark on the industry (creative destinations), not necessarily national chains. More details will be provided as tenants are signed and apply for food and alcohol licensing, but for the purposes of this conditional use is to offer general information tenant information of intended uses, a scope of work, tenant and landlord improvements.



Tenant - Restaurant and lounge. The subject property, 6601 W. National Ave., is zoned C-3. The intended tenant is a proposed small plate restaurant and craft cocktail lounge. Restaurants are considered conditional uses in the C-3 zoning district. The tenant will occupy about 4,000-sf of space within the Makers Row building. The majority of work will be interior build-out to finish the space.

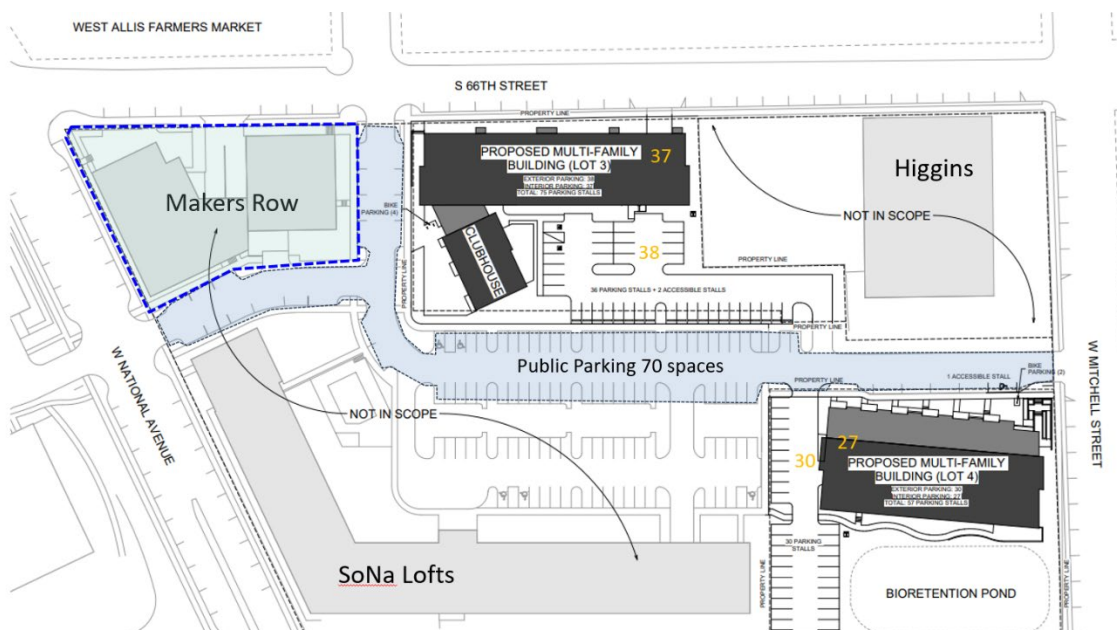
Expected hours of operation are 6am – state mandated closing time daily.

A public hearing has not yet been scheduled to come before the Common Council, but is being brought before Plan Commission for consideration of the use and tenant and landlord improvements.



Site and Landscaping Plan

The site and landscaping plan was previously approved in 2020, then built/developed in 2023 and designed to concentrate activity along street frontages



closest to the Farmer's Market and offer parking and building services within the interior of the site.



The existing buildings are located along the North and East edges of the lot. As designed, there is ample building setback from east property line to create space for future outdoor patio space. The floor plan shown below shows outdoor dining.

Parking and building services are located along the west side of the building, and also available within a shared parking area offering about 70 parking spaces west of lot 3 (the SoNa Phase 2 site). A service court directly behind the buildings will house trash collection and space for delivery vehicles. Additional off-street parking is available within the neighborhood (meaning a short walk). Parking will be open to the public, including for the Farmer's Market.

The overall development area including SoNa Lofts, SoNa Phase two (lots 3 and 4), and Makers Row site is accessed by existing driveway openings along S. 66 St., W. National Ave, and W. Mitchell St. Pedestrian walkways connect each property and all connect to city Right-of-Way/public sidewalks to improve walkability as common place for West Allis neighborhoods. While a landscaping plan was previously approved, staff is recommending that those details or any changes be refreshed and submitted in the form of an updated plan set.

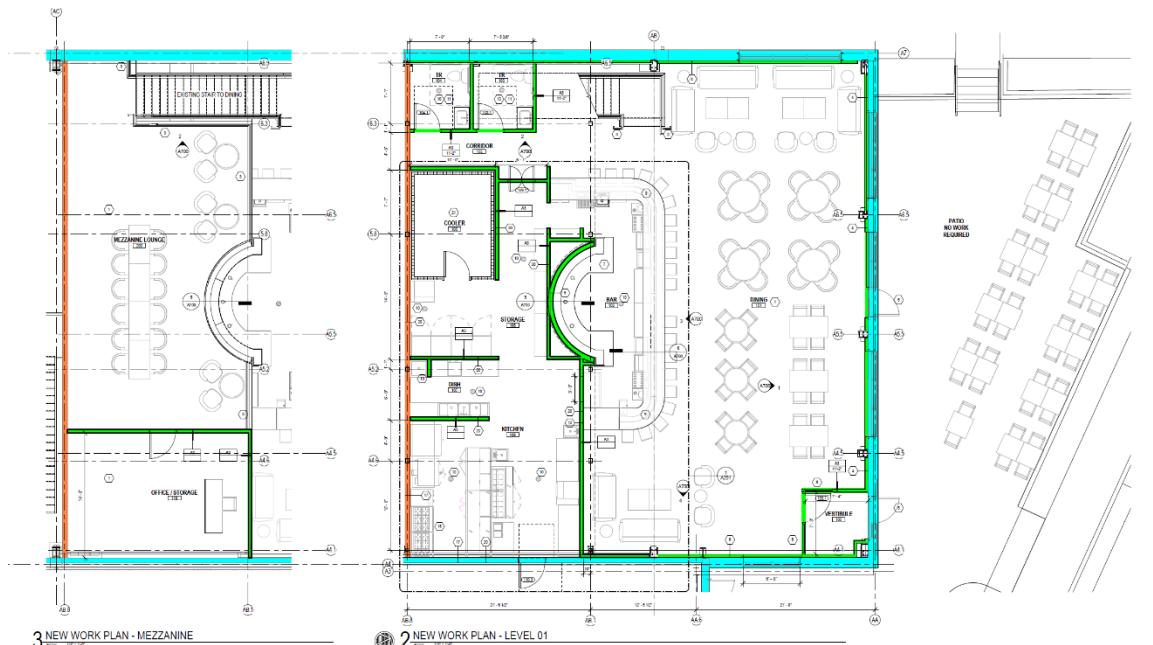
Architectural Plan

The existing 1-story building will be divided into potentially 4 tenant spaces, each with a different – but complementary tenant. The existing building includes a pre-engineered metal building. The work on the construction of the core and shell is

approximately 90% complete. The remaining balance will be completed prior to occupancy of each tenant space.



VIEW OF BAR FROM SOUTH



Clear, storefront-style glass is used prominently on the North and East façades.

Floor Plan

The property owner and tenant will be finish the interior space and will include buildout of approximately 4,000 square feet to include a large bar, small kitchen with exhaust hood and food preparation space, and two bathrooms. There will be additional dining space on the existing mezzanine as well as office and storage space.

Total seating for 116 (approx. 60 seats downstairs, 18 seats in the mezzanine, and 38 outdoor seats).

Recommendation: Common Council approval of the conditional use and approval of the Conditional use for a proposed restaurant, at 6601 W National Ave (Tax Key No. 454-0653-001), and approval of the site, landscaping, and architectural design review, subject to the following conditions:

(Item 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Schedule to be determined)
2. A revised site and landscaping plan being submitted to show the following: (a) details of the exterior building shell improvements, (b) site and landscaping plan details and changes/improvements (landscaping elements such as planter boxes, trellis', patio/seating details, walkways, or other features on the site); (c) refuse location and screening plan; (d) location of an outdoor bicycle racks in accordance with [WAMC 19.44](#).
3. Building permits being applied for with the Code Enforcement Department for review.
4. Signage and lighting plans being submitted for permit review.

MEMORANDUM

PROJECT: Makers' Row – [REDACTED] Interior Buildout
TO: General Contractors
SUBJECT: Scope of Work Narrative
PROJECT NUMBER: 2503-005
DATE: July 25, 2023

[REDACTED] Cocktail Lounge is looking to buildout the Grey Box space at the Makers Row Development in West Allis. The buildout will be in a space of approximately 4,000 square feet and will include a large bar, small kitchen with exhaust hood and food preparation space, and two bathrooms. There will be additional dining space on the Existing Mezzanine as well as an office and storage space.

The work included in this Scope Narrative is for the interior buildout of [REDACTED] only. The Makers Row development will provide the exterior core and shell for this buildout as part of a separate contract. [REDACTED] will be in Building A of the development which is a pre-engineered metal building. The work on the construction of the core and shell is approximately 90% complete, and drawings of the core and shell of the building will be available upon request.

PROPOSAL CONTENTS

- 1) Your proposal shall include a budget estimate that is based on the Conceptual Pricing Drawings and Scope Narrative. The scope outlined in the drawings and narrative is not complete and you are asked to use your experience in similar type projects to fill in some of the blanks that have not been detailed in the documents. Your estimate shall include:
 - a. Provide lump sum or percentage fee for preconstruction services (if any).
 - b. Provide a percentage fee for construction services.
 - c. Provide a detailed General Conditions budget based upon project scope and schedule.
 - d. Indicate anticipated staffing time for Project Manager and Superintendent (Hours/Week)
- 2) Provide budget pricing for all components of the work based on CSI divisions.

CONFIDENTIALITY

All respondents to this RFP as well as those parties serving as consultants to the submitting entity recognize that all information disclosed as part of this RFP process and project is to be held in strict confidence.

SCHEDULE

- | | |
|---|---|
| • Issue RFP for Conceptual Budget Pricing | July 25, 2025 |
| • GC Walk-thru | Wednesday August 6 th at 10:00am |
| • Conceptual Budget Pricing Due | Friday, August 22 nd @ 4:00 pm |
| • Construction Document Complete and Submitted for Permit | September 29, 2025 |
| • Building Permit Issued | October 15, 2025 |
| • Construction Start | October 28, 2025 |
| • Construction Complete | March 2026 |

SCOPE NARRATIVE

This Scope Narrative should be reviewed in conjunction with the following drawings:

T100 – TITLE SHEET
A003 – GENERAL INFORMATION AND PARTITION TYPES
A200 – NEW WORK PLANS & ROOM FINISH SCHEDULE
A201 – EQUIPMENT PLAN – BAR & KITCHEN

A300 – REFLECTED CEILING PLAN, FIRST FLOOR & MEZZANINE
A700 – INTERIOR ELEVATIONS, DETAILS & DOOR SCHEDULE

Work for the project includes the following:

DIVISION 01

- Provide Project Supervision, Management and Coordination as required for project to be completed in the schedule listed above.
 - On Site Superintendent as needed for Coordination of General Contractors Sub-Contractors to provide quality installation and construction of components.
 - Project Manager as needed to provide project management services including scheduling, shop drawings submittals, RFI's, Change Orders and Pay Applications.
- Include Permits required for Tenant Buildout.

DIVISION 03 CONCRETE

Included in Scope of Work of this Proposal

- None. It is anticipated that underground plumbing for the project will be completed prior to the Landlord pouring the slab of the space.

Work by Landlord and not in scope

- Provide and install new 5" concrete slab on grade with wire welded mesh reinforcing on 10 mil vapor barriers.
- Landlord to provide 6" crushed gravel base.
- Landlord to provide all concrete foundation systems.
- Landlord to provide concrete stoops at tenant entrances.

DIVISION 05 METALS

Included in Scope of Work of this Proposal

- Heavy Duty Countertop Brackets as required for support for kitchen and bar supports.
- Guardrail on stair and Mezzanine to be Stainless Steel cable rail with cables at 3" OC and steel pipe supports

Work by Landlord and not included in scope

- All steel related to building structure, Mezzanine Structure and exterior envelope bracing

DIVISION 06 WOOD & PLASTICS

Included in Scope of Work

- All Rough Carpentry related to the interior buildout of the project as needed for blocking.
 - Blocking to be Fire Treated
- Finish Carpentry:
 - Plywood Wall Panels (WD-1):
 - ¾ AC Sanded Plywood
 - Size: Rip to 2'-0" x 8'-0" panels
 - Provide 1x2 batten at vertical seams.
 - Panel is intended to be fastened directly on metal studs. Provide horizontal metal strapping or ¾" plywood strips (4" wide) at 32" OC vertically
 - Fasten WD-1 panels to horizontal furring with 2" minimum finishing nails. Nails can be left exposed.
 - Finishing: Plywood Panel will be stained, Espresso Color.
 - Plywood Wall Panels (WD-2):
 - ¾ AC Sanded Plywood
 - Size: Rip to 6" x 8'-0" panels
 - Provide 1x1 batten at vertical seams.

- Panel is intended to be fastened directly on metal studs. Provide horizontal metal strapping or ¾" plywood strips (4" wide) at 32" OC vertically
 - Fasten WD-2 panels to horizontal furring with 2" minimum finishing nails. Nails can be left exposed.
 - Finishing: Plywood Panel will be stained, Espresso Color.
- Back of house Cabinetry
 - PLAM-1 & PLAM 2: To be selected from Formica's standard line.
- Countertops:
 - Main Bar Countertop to be Polished Concrete.
 - Back Bar Countertop to be Solid Surface
 - Back of house countertops PLAM as indicated in the drawings

DIVISION 07 THERMAL AND MOISTURE

Included in Scope of Work of this Proposal

- Acoustical Insulation in GWB partitions in the following locations:
 - All Partitions at Kitchen and Bathrooms.

Work by Landlord and not included in scope

- All work related to the exterior envelope including exterior cladding, Exterior weather barrier system, exterior wall insulation, and roofing systems and roof insulation.

DIVISION 08 OPENINGS

Included in Scope of Work of this Proposal

- Interior Wood Doors and Hollow Metal Frames as indicated in the drawings
 - Wood doors to be flush, solid core wood doors, species to be White Birch.
 - Hollow Metal Frames to be fully welded, heavy duty frames.
- Service Door and Hollow Metal Frames as indicated in the drawings.
 - Service Door to be Eliason P11-Plus ABS Traffic Door. Door to have Plastic Laminate finish.
- Interior Aluminum Storefront systems for VESTIBULE (RM100) as indicated in the drawings.
 - Aluminum Storefront to be non-thermally broken, 4 ½" system with clear ¼" glass.

Work by Landlord and not included in scope

- All work related to the storefront windows and doors in the exterior wall.

DIVISION 09 FINISHES

Included in Scope of Work

- Interior Gyp Bd and metal studs at exterior wall where indicated on the drawings.
 - Note, Core and Shell Building is a Pre-engineered Metal Building with an exterior skin of insulated metal panels. These panels include the weather barrier, thermal insulation barrier, and interior vapor barrier, and can be left exposed as indicated in the drawings
- Gyp Bd soffits as shown on the attached drawings.
- Polished Concrete Floors as indicated in the drawings.
- Acoustical Tile Ceiling system as indicated in the attached drawings. Tile to be Armstrong Kitchen Zone or equivalent.
- Ceramic Tiling
 - CT-1: To be provided at Bathrooms, on wet wall of the bathrooms as indicated in the attached drawings and finish plan. Include a \$3.50/sf material cost for the ceramic tile. Provide 6" ceramic tile wall base on all walls.
- Epoxy Resinous Flooring
 - Sherwin Williams, Poly-Crete SLB or equal
- PT-2 Paint Finish
 - Lime-wash on gyp bd surface:
 - Keim, Color Wash Mineral Glaze or similar

- FRP to at walls as indicated in the attached drawings and finish plan

DIVISION 21 FIRE SUPPRESSION

Included in Scope of Work

- Fire Protection work is Design Build and the Design Build Contractor will be the designer of record for the Fire Protection Work, shall be licensed in the State of Wisconsin, and is responsible to sign and stamp all Fire Protection Drawings and Calculations.
- The project will have the fire sprinkler heads installed in a manner that works with the tenant spaces by the landlord.

Work by Landlord and not included in scope

- Wet sprinkler fire protection system installed and distributed through the Premises at the code-required distribution pattern for general commercial tenancy.
- Wet sprinkler fire protection system riser located at Landlord room, connected to water main with 6" main.

DIVISION 22 PLUMBING

Included in Scope of Work

- Plumbing work is Design Build and the Design Build Contractor will be the designer of record for the Plumbing Work, shall be licensed in the State of Wisconsin, and is responsible to sign and stamp all Plumbing Drawings and Calculations.
- Provide all underground plumbing as needed for tenant fixtures and equipment.
- Provide Rough-in and installation for all tenant supplied sinks, drains and equipment including tenant bathrooms.
- Provide hot water heater sufficient to meet the service requirements of plumbing fixtures within the Premises. Tenant water heater(s) will be separately metered and/or wired to Tenant's metered service by tenant.
- Provide and installation of gas piping as needed for all kitchen equipment and other Tenant furnished items requiring gas supply not included in Landlord's scope indicated below.
- Install grease interceptor sized for tenant's space as required by code.

Work by Landlord and not included in scope

- Sanitary sewer and domestic cold water service stubbed to the Premises.
- Plumbing and fixtures complete for common area bathrooms.
- A primary water heater will be installed by Landlord to serve the common area requirements of the Property.
- Maintenance hose bibs on exterior of building by Landlord
- Tenant premises will be served from a separate gas meter and gas service line stubbed to the Premises, furnished/installed by Landlord. Gas service will be stubbed into the Premises by Landlord.
- Sanitary sewer and domestic cold water service stubbed to the Premises by Landlord.

DIVISION 23 HVAC

Included in Scope of Work

- HVAC work for tenant is design build by GC's design build Mechanical contractor. The Mechanical Contractor will be the designer of record for the Mechanical Work, shall be licensed in the State of Wisconsin, and is responsible to sign and stamp all Mechanical Drawings and Calculations.
- Distribution of supply and return air from Landlord furnished Air Handling Units required for providing a temperate indoor environment for the spaces indicated in the drawings.
- Exhaust Hood for Tenant's Commercial Kitchen.
- Make up air unit installation and distribution as required by code for tenant supplied equipment. The make-up air unit will be located at the roof of Building B as indicated in the plans..
- Exhaust required for bathrooms.

Work by Landlord and not included in scope

- Gas-fired furnaces, integral air conditioning coils/condensers/compressors, energy recovery ventilator (if required by code) for fresh air intake, and related thermostatic control by Landlord.

DIVISION 26 ELECTRICAL

Included in Scope of Work

- Electrical work is Design Build and the Design Build Contractor will be the designer of record for the Electrical Work, shall be licensed in the State of Wisconsin, and is responsible to sign and stamp all Electrical Drawings and Calculations.
- Provide distribution and branch circuiting within the Premises, inclusive of breakers and panel modifications required based on Tenant's final plans and specifications prepared by Tenant's architect.
- Provide rough-in and distribution to each Tenant suite of building-standard telephone, data, video and similar low-voltage services by Landlord. WIFI systems, signal amplifiers and services shall be determined and borne by Tenant.

Lighting Requirements

- Provide lighting as shown on the RCP drawings included in the pricing drawings.
 - L1: Recessed Can
 - L2: Suspended Track Lighting – WAC Lighting Model 178 or similar with J Track.
 - L3: Decorative Pendant Light. Provide an allowance of \$150 for each fixture (not including labor).
 - L4: Decorative Pendant Light. Provide an allowance of \$150 for each fixture (not including labor).
 - L5: Decorative Pendant Light. Provide an allowance of \$150 for each fixture (not including labor).
 - L6: Decorative Pendant Light. Provide an allowance of \$150 for each fixture (not including labor).
 - L7: Cylindrical Pendant Light. Lithonia LDN4CYL or similar.
 - L8: Decorative Pendant Light. Provide an allowance of \$200 for each fixture (not including labor).
 - L9: Linear Pendant Fixture. Provide an allowance of \$300 for each fixture (not including labor).
- Electrical Contractor is responsible for the lighting design that meets the following light levels, and shall provide a photometric plan of all lighting for tenant buildout:
 - DINING & BAR: Average Light Level of 30 Footcandles. All lighting in Dining room to be dimmable.
 - SERVICE, KITCHEN AND WASHING: Average Light Level of 40 Footcandles.
 - STORAGE: Average Light Level of 30 Footcandles.
- Provide emergency lighting as required by code
- Provide 24 hour lighting for a total of 2 fixtures in the DINING and 1 fixture in the KITCHEN, on separate circuit.

Power Requirements

- Provide service to space from main panel in building's landlord room.
- Provide Rough-in power for all owner supplied kitchen equipment.
- Connect owner supplied kitchen equipment
- Provide power for tenant furnished signage including building mounted sign.
- Prior to installation, review locations of outlets and switches with owner. Provide Unit Cost for adding additional outlets to the project.
- Provide power for tenant furnished Make Up Air Units.

Work by Landlord and not included in scope

- Electrical panel with service to the Premises, terminating in a service panel with a main disconnect

- Distribution and branch circuiting will be provided for the mechanical, plumbing, ventilation and fire protection equipment indicated in the Landlord equipment lists, work scope descriptions and drawings.

DIVISION 32 SITEWORK

- There is no sitework as part of this interior buildout. All sitework is part of the Landlord's scope.

END OF NARRATIVE

RENDERINGS



VIEW OF BAR FROM NORTH



VIEW OF BAR FROM ENTRY



VIEW OF BAR FROM SOUTH

END OF SCOPE NARRATIVE

MAKER'S ROW -

TENANT SPACE ONE OF FOUR
6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

PRICING SET

07/24/2025

DBA PROJECT # 2503-005

OWNER:
MANDEL GROUP

CONTACT: ROBERT MONNAT
330 EAST KILBOURN AVENUE, SUITE 600
MILWAUKEE, WI 53202

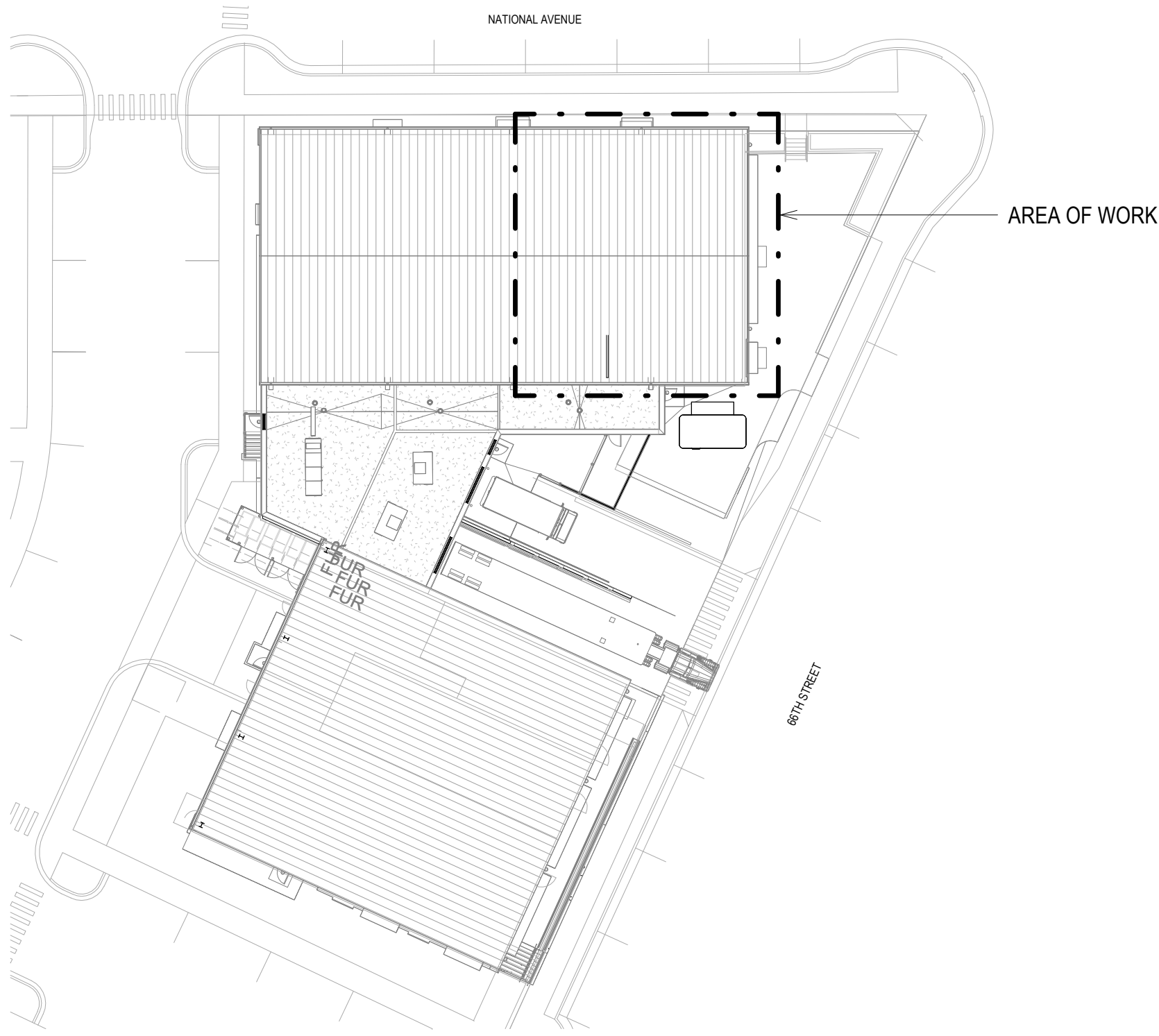
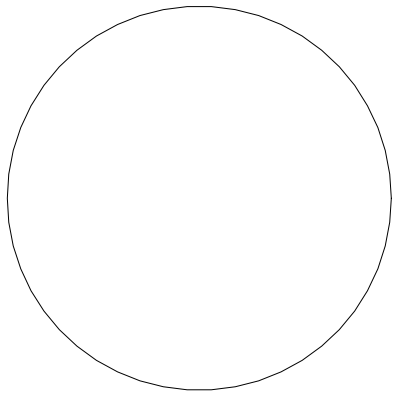
ARCHITECT:
DAN BEYER ARCHITECTS

CONTACT: DANIEL BEYER
225 EAST ST. PAUL AVENUE, SUITE 303
MILWAUKEE, WI 53202
TEL. (414) 239-8267

CONSTRUCTION MANAGER:
NAME

CONTACT:
ADDRESS
CITY
TEL.

SHEET INDEX	
T100	TITLE SHEET
ARCHITECTURAL	
A001	GENERAL INFORMATION AND PARTITION TYPES
A200	NEW WORK PLANS & ROOM FINISH SCHEDULE
A201	EQUIPMENT PLAN - BAR & KITCHEN
A300	REFLECTED CEILING PLAN - FIRST FLOOR & MEZZANINE
A700	INTERIOR ELEVATIONS, DETAILS, & DOOR SCHEDULE, FRAMES, & DETAILS



SITE PLAN
NO SCALE



VIEW 01

RENDERING IS ONLY TO GIVE GENERAL DESIGN INTENT ONLY AND MAY NOT REPRESENT FINAL DESIGN



VIEW 02

RENDERING IS ONLY TO GIVE GENERAL DESIGN INTENT ONLY AND MAY NOT REPRESENT FINAL DESIGN

DAN BEYER ARCHITECTS
225 E ST. PAUL AVE, STE 303
MILWAUKEE WI, 53202
414-239-8267

CONSULTANTS:

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MAKER'S ROW -

TENANT SPACE ONE OF FOUR
6600 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

SHEET TITLE
TITLE SHEET

REVISIONS:

SCALE VARIES

PROJECT NUMBER 2503-005

SET TYPE PRICING SET

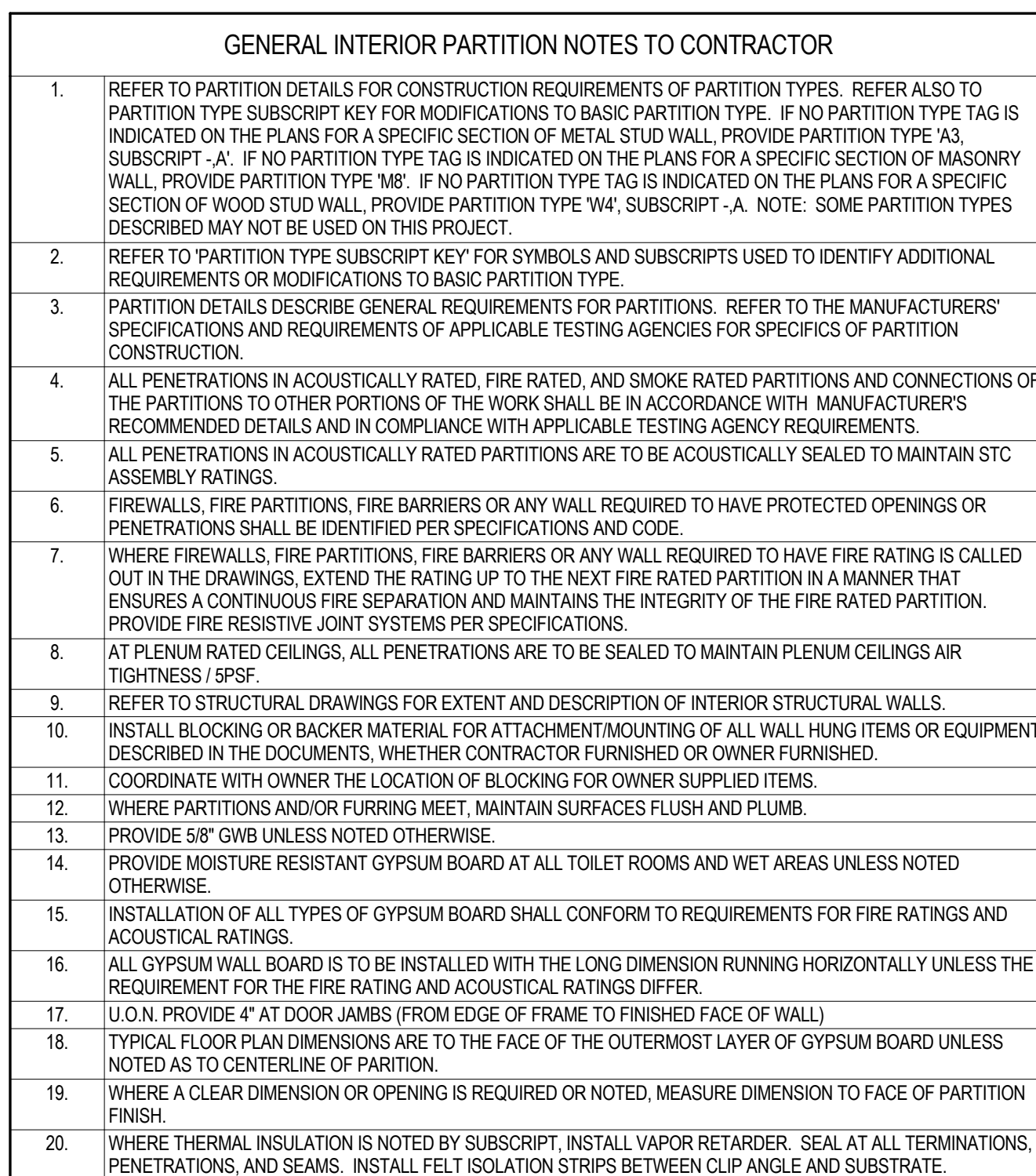
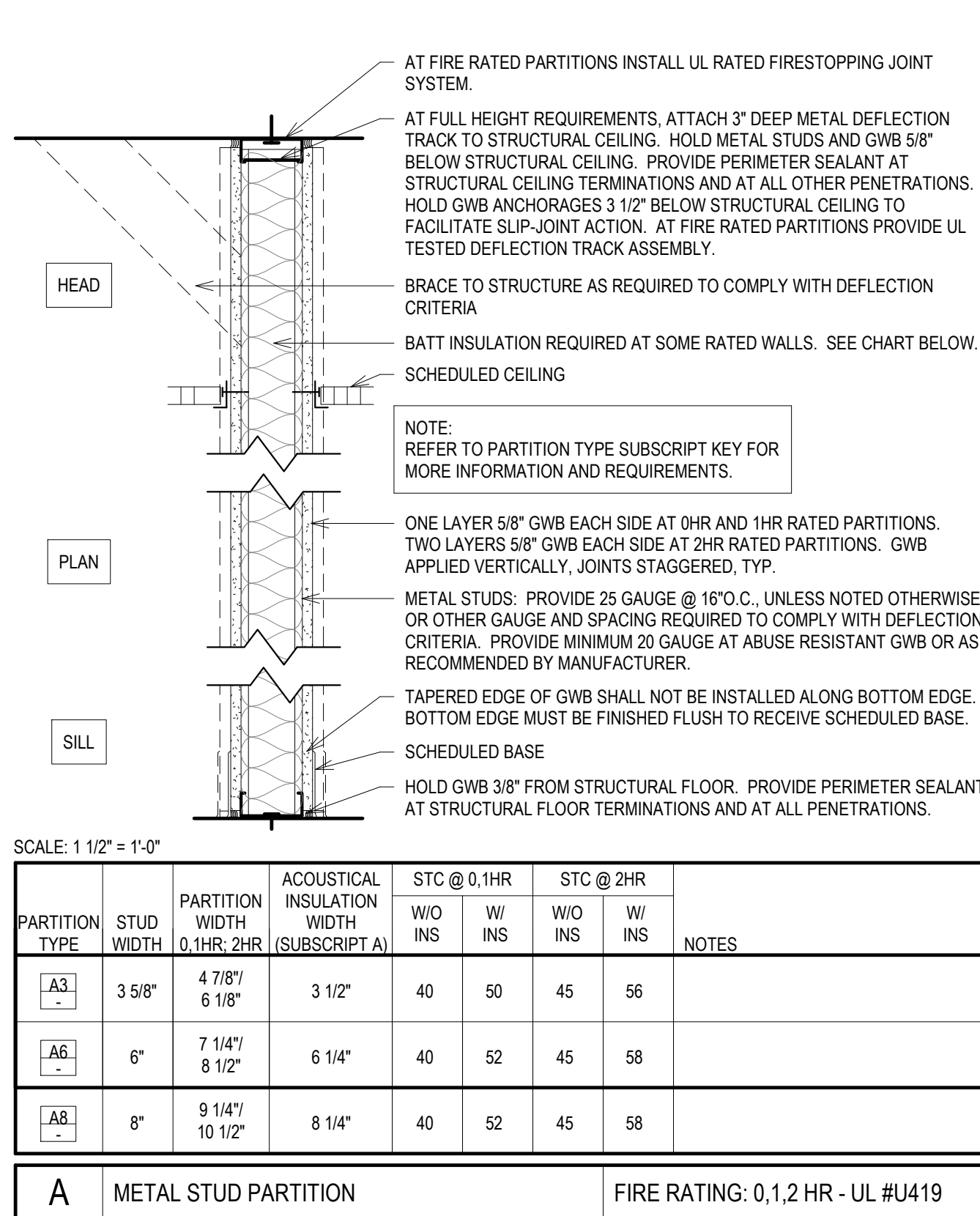
DATE ISSUED 07/24/2025

SHEET NUMBER T100

ABBREVIATION KEY:										
AB	AIR BARRIER	EIFS	EXTERIOR INSULATION FINISH SYSTEM	HB	HOSE BIBB	OC	ON CENTER	SMI	SIMILAR	
ACT	ACOUSTICAL CEILING TILE	HD	ELEVATION	HD	ELECTRIC HAND DRYER	OCG	OVERHEAD COILING DOOR	SNF	SANITARY NAPKIN DISPENSER	
AQJ	ADJUNCT	ELEC	ELECTRICAL	HMI	HOLLOW METAL DOORS AND FRAMES	OCG	OVERHEAD COILING GRILLE	SNV	SANITARY NAPKIN VENDER	
A.F.F.	ABOVE FINISHED FLOOR	ELEV	ELEVATOR	HP	HIGH POINT	OFD	OVERHEAD FABRIC DOOR	SOD	SECTIONAL OVERHEAD DOOR	
ALUM	ALUMINUM	EQU	EQUAL	HPC	HIGH PERFORMANCE COATINGS	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	SQF	SQUARE FOOT	
AP	ACCESS PANEL	EQUIP	EQUIPMENT	HR	HOUR	OFI	OWNER FURNISHED OWNER INSTALLED	SSE	SOLID SURFACE FABRICATION	
AWP	ACOUSTICAL WALL PANEL	ERF	EPOXY RESINIOUS FLOORING	IAW	INTERIOR ARCHITECTURAL WOODWORK	PC	PRECAST CONCRETE	SSG	STRUCTURAL SILICONE GLAZED	
BL	BORROWED LIGHT	ESS	EXTERIOR SOFFIT SYSTEM	INSUL	INSULATION	PC	PRECAST CONCRETE	SST	STAINLESS STEEL	
BLKG	BLOCKING	EST	ESTIMATION	IWP	IMPACT WALL PROTECTION	PEAB	PRE-ENGINEERED METAL BUILDING	STN	STONE	
BLKHD	BULK HEAD	EWS	EXTERIOR WALL SYSTEM	JAN	JANITOR	PLAM	PLASTIC LAMINATE	STA	STAIN	
B.O.	BOTTOM OF	EXJ	EXPANSION JOINT	JNT	JOINT	PPT	PRESSURE TREATED WOOD	STL	STONE TILE BASE	
BRG	BEARING	EXP	EXPOSED CONSTRUCTION	JST	JOIST	PRFIN	PRE-FINISHED	STC	SOUND TRANSMISSION CLASS	
BRZ	BRONZE	EXTG	EXISTING	JST	JOIST	PRT	PARTITION	STL	STEEL	
CH	COAT HOOK	FD	FLOOR DRAIN	LF	LINEAR FOOT	PS	PROJECTION SCREEN	STOR	STORAGE	
CHKBD	CHALKBOARD	FDN	FOUNDATION	LL	LIVE LOAD	P-S	CLOSET POLE AND SHELF	T	TREAD	
CJ	CONTROL CONSTRUCTION JOINT	FE	FIRE EXTINGUISHER	LLC	LINEAR METAL CEILING	PT	PAINT	TER	TOILET & BATH ACCESSORIES	
CL	CENTER LINE	FF	FINISHED END PANEL	LWC	LINEAR WOOD CEILING	PTD	PAPER TOWEL DISPENSER	TB	TERRAZO	
CLG	CEILING	FL	FLOOR MAT AND FRAME	LP	LOW POINT	Q	QUARRY TILE	T&G	TONGUE & GROOVE	
CLR	CLEARANCE / CLEAR	FLR	FLOOR	LWR	LOUVER	QTB	QUARRY TILE BASE	T.O.	TOP OF	
CMU	CONCRETE MASONRY UNIT	FRM	FRAME	LWC	LINEAR WOOD CEILING	R	RISER	T.O.	TOILET TAPER DISPENSERY	
CONC	CAST-IN-PLACE CONCRETE	FRP	FIBERGLASS REINFORCED POLYESTER	MAS	MASONRY	R	RADIUS	TR	TILE ROOM	
CONT	CONTINUOUS	FSTOP	FIRESTOPPING	MAT	MATERIAL	RAD	RADIUS	TWF	THROUGH WALL FLASHING	
CONTR	CONTRACTOR	FTG	FOOTING	MB	MOISTURE BARRIER	RD	ROOF DRAIN	TYP	TYPICAL	
CORR	CORROD	FWS	FOUNDATION WALL SYSTEM	MECH	MECHANICAL	REC	RECEIVED	UG	UNDER LAVATORY GUARD	
CPT	CARPET	GALV	GALVANIZED	MEP	MECHANICAL / ELECTRICAL / PLUMBING	REC	RECEIVED	UNO	UNLESS NOTED OTHERWISE	
CRK	CORK	GB	GRAB BAR	MET	METAL	REFER	REFERENCE	VDS	VISUAL DISPLAY SURFACES	
CS	COPING SYSTEM	GFI	GROUND FAULT INTERRUPTER	MIR	MIRROR	REQD	REQUIRED	VEST	VESTIBULE	
CTB	CERMIC TILE BASE	GFRP	GLASS FIBER REINFORCED CONCRETE	MKB	MARKER BOARD	RF	RESILIENT FLOOR SYSTEMS	VNR	VENEER	
CW	CURTAIN WALL SYSTEM	GLZ	GLASS GLAZING	MP	MANUFACTURED METAL PANEL	RF-WB	RESILIENT FLOOR WALL BASE	VTR	VENT THROUGH ROOF	
		GMU	GLASS MASONRY UNIT	MPC	METAL PAN CEILING	RS	ROUGH OPENING			
		G	GROUT	MR	MOISTURE RESISTANT	RVL	REVEAL			
DCS	DIAPER CHANGING STATION	GT	GLASS TILE	MTD	MOUNTED	S	SMOKE ALARM	WC	WALL COVERING	
DM	DIMENSION	GWB	GYPSSUM WALL BOARD	NTS	NOT TO SCALE	SC	SEALED CONCRETE	WO	WOOD	
DL	DEAD LOAD					SCD	SUNK CONTROL DEVICE	W	WINDOW	
DR	DOOR					SCH	SCHEDULE	WLP	WIND LOAD	
DS	DOWN SPOUT					SD	SOAP DISPENSER	WP	WOOD PANEL	
DWG	DRAWING					SF	SUBFLOOR	WRC	WATER PROOFING	
						SFTG	SUBFLOOR	WRT	WAST RECEPTAL	
								WT	WINDOW TREATMENT	

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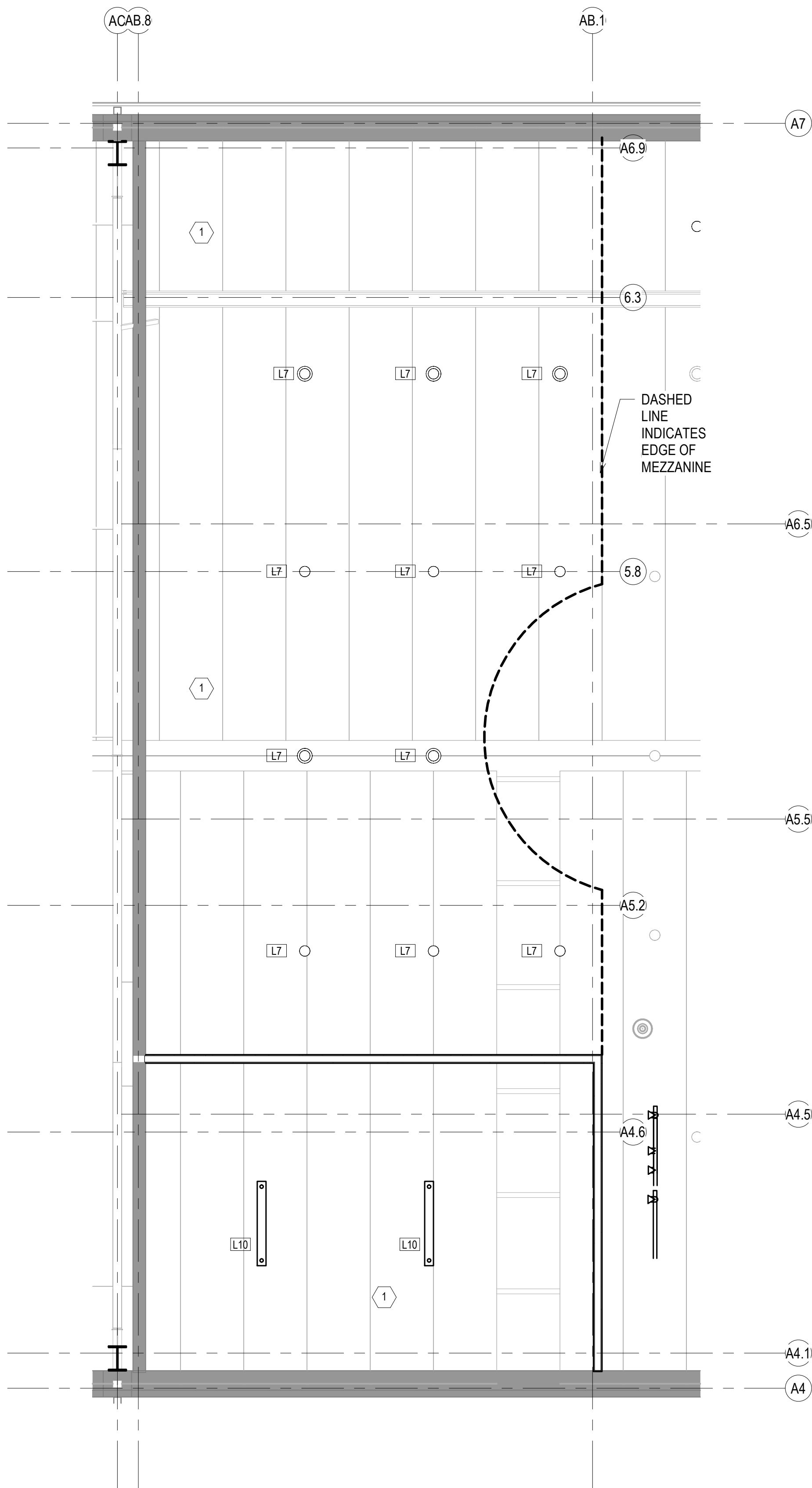


SHEET TITLE:
GENERAL INFORMATION AND PARTITION TYPES

SCALE	VARIES
PROJECT NUMBER	2503-005
SET TYPE	PRICING S
DATE ISSUED	07/24/2025
SHEET NUMBER	A00

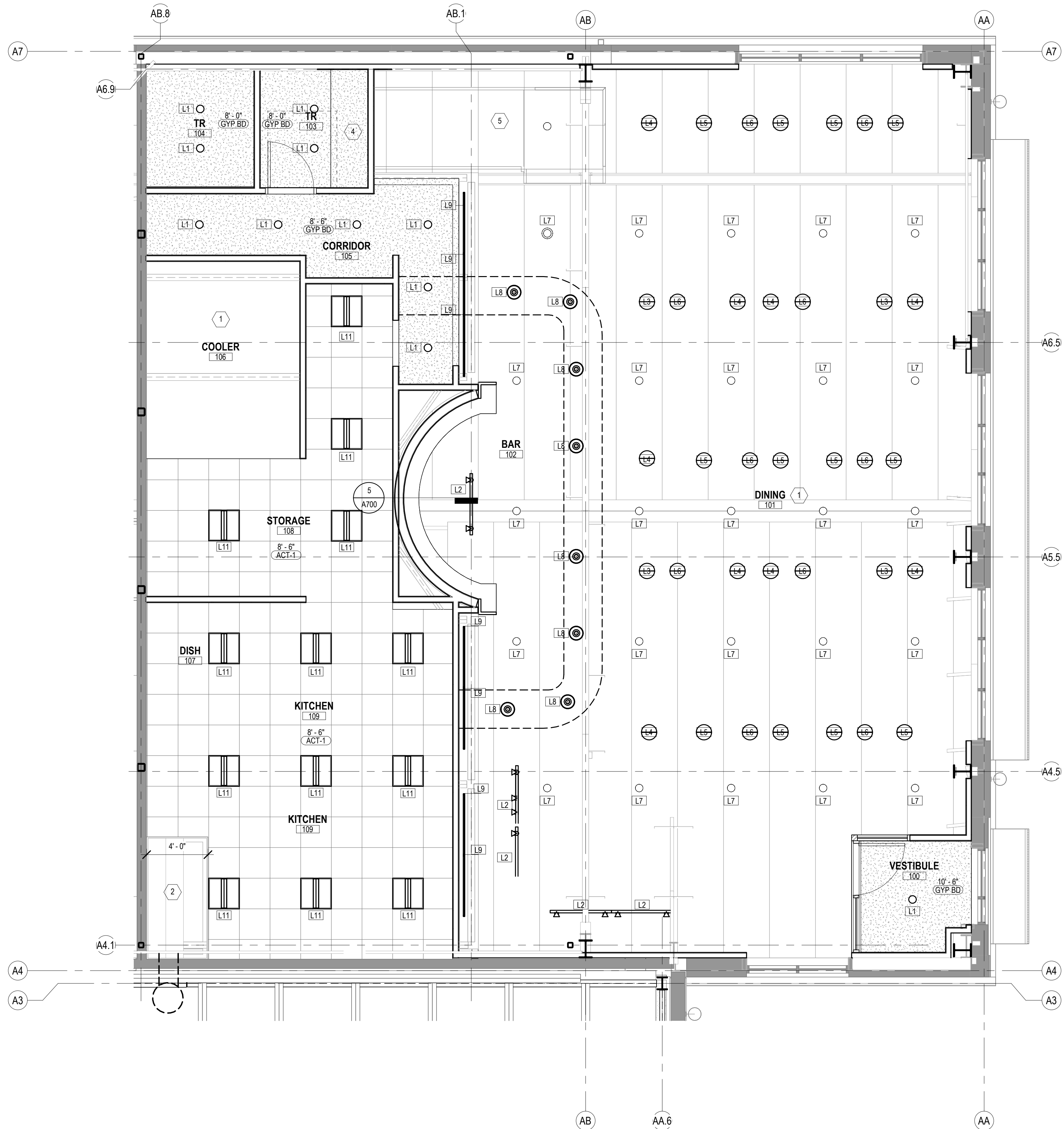
2 REFLECTED CEILING PLAN - MEZZANINE

Scale: 1/4" = 1'-0"



1 REFLECTED CEILING PLAN - LEVEL 01

Scale: 1/4" = 1'-0"



GENERAL REFLECTED CEILING PLAN NOTES TO CONTRACTOR	
1. THIS PLAN SHALL BE USED TO ESTABLISH THE LOCATIONS OF THE MAJOR CEILING PENETRATIONS INCLUDING: LIGHTING, HVAC, ACCESS PANEL, SPRINKLERS, SPEAKERS, ETC. SEE M.E.P. DRAWINGS FOR MORE SPECIFIC INFORMATION REGARDING EACH DISCIPLINE. IF CONFLICTS ARE DISCOVERED REGARDING LOCATION OF CEILING PENETRATIONS, CONTACT ARCHITECT FOR FURTHER INFORMATION.	
2. ALL DEVICES SHOWN IN CEILING TILE SHALL BE LOCATED IN THE CENTER OF THAT TILE UNLESS OTHERWISE NOTED.	
3. ALL DIMENSIONS TO CEILING FIXTURES ARE TO CENTER OF FIXTURE.	
REFLECTED CEILING PLAN KEY	
	GYPSUM WALL BOARD CEILING SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION
	2X2 ACOUSTICAL CEILING TILE SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION
	EXPOSED CEILING SEE ROOM FINISH SCHEDULE
	EXIT SIGN
	SUPPLY MECH DIFFUSER SEE MECHANICAL DRAWINGS
	MECH RETURN DIFFUSER SEE MECHANICAL DRAWINGS
	MECH EXHAUST SEE MECHANICAL DRAWINGS
LIGHT FIXTURE SCHEDULE	
SCHEDULE IS GENERIC LIGHTING LAYOUT TO BE USED FOR DESIGN INTENT ONLY. ELECTRIC DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR DESIGNING THE LIGHTING WITH ADEQUATE LIGHT LEVELS, AND FIXTURES THAT ARE APPROVED BY OWNER.	
L1	6" RECESSED LED CAN
L2	SUSPENDED TRACK LIGHTING
L3	8"-12" AMBER GLASS SPHERE PENDANT, DIMMABLE, HUNG 10' FROM FLOOR.
L4	8"-12" AMBER GLASS SPHERE PENDANT, DIMMABLE, HUNG 12' FROM FLOOR.
L5	8"-12" AMBER GLASS SPHERE PENDANT, DIMMABLE, HUNG 14' FROM FLOOR.
L6	8"-12" AMBER GLASS SPHERE PENDANT, DIMMABLE, HUNG 16' FROM FLOOR.
L7	6" SUSPENDED CAN LIGHT FIXTURE
L8	INDUSTRIAL STYLE PENDANT LAMP, 4' ABOVE BAR.
L9	LINEAR LIGHT ATTACHED TO EXPOSED MEZZANINE STRUCTURE, 4'.
L10	SUSPENDED LINEAR LIGHT, 4'
L11	2X2 LAY-IN FIXTURE
REFLECTED CEILING PLAN KEYNOTES	
SEE PROJECT GENERAL CONDITIONS AND SPECIFICATIONS ON SHEETS A001 AND A002 THAT ARE USED IN ASSOCIATION WITH THESE NOTES.	
REFLECTED CEILING PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
1	EXPOSED STRUCTURE.
2	EXHAUST HOOD, DUCT TO FLAT ROOF. MAKE UP AIR UNIT TO BE PLACED ON FLAT ROOF.
4	ANGLED CEILING, MATCH SLOPE OF STAIR ABOVE.
5	EXPOSED UNDERSIDE OF STAIR, PAINT EXPOSED STEEL.

DAN BEYER ARCHITECTS
225 E ST. PAUL AVE, STE 303
MILWAUKEE WI, 53202
414-239-8267

CONSULTANTS:

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

MAKERS' ROW -

TENANT SPACE ONE OF FOUR
6800 WEST NATIONAL AVENUE
WEST ALLIS, WISCONSIN

SHEET TITLE

REFLECTED CEILING PLAN - FIRST FLOOR & MEZZANINE

REVISIONS:

SCALE VARIES

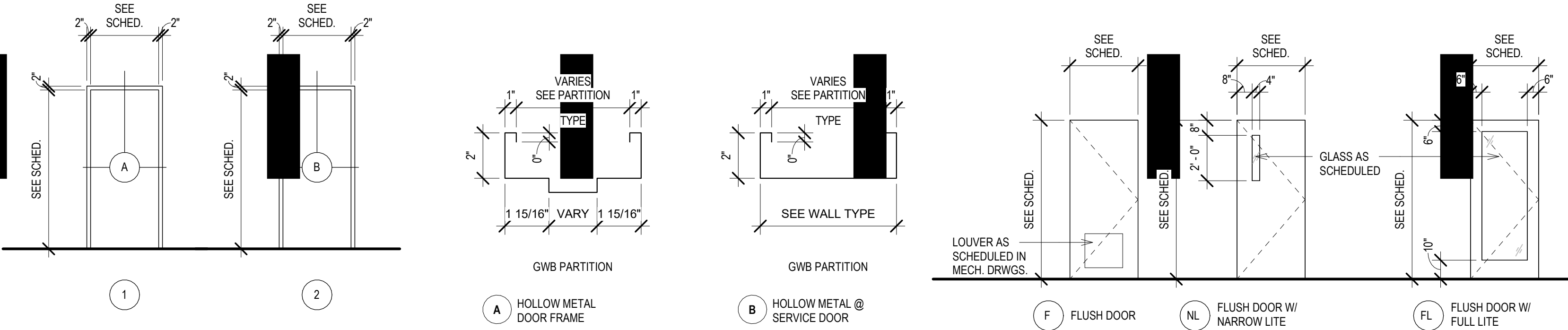
PROJECT NUMBER 2503-005

SET TYPE PRICING SET

DATE ISSUED 07/24/2025

SHEET NUMBER A300

DOOR AND FRAME SCHEDULE ABBREVIATIONS																	
ALUM GL HM	ALUMINUM GLASS HOLLOW METAL					FRP PREFIN PT	FIBER REINFORCED PLASTIC PRE-FINISHED PAINT					STL SST WD	STEEL STAINLESS STEEL WOOD DOOR				
DOOR AND FRAME SCHEDULE																	
DOOR NO.	ROOM NAME	LEAF QTY	WIDTH	HEIGHT	DOORS				FRAMES			DETAILS			FIRE RATING	HARDWARE GROUP	NOTES
					TYPE	MATERIAL	FINISH	GLASS	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL			
100.1	STORAGE VESTIBULE	(1)	3'-0"	7'-0"	F	ALUM	PREFIN	GL-1T	1	ALUM	PREFIN	--	--	--			
103.1	TR	(1)	3'-0"	7'-0"	F	ALUM	PREFIN		1	HM	PT						
104.1	TR	(1)	3'-0"	7'-0"	F	ALUM	PREFIN		1	HM	PT	6/A700	6/A700	6/A700			
109.1	STORAGE	(2)	3'-0"	7'-0"	NL	ALUM	--		2	HM	PT	6/A700	6/A700	6/A700			
110.3	KITCHEN	(1)	3'-0"	7'-0"	F	ALUM	PREFIN		1	HM	PT	6/A700	6/A700	6/A700			
110.18	MEZZANINE LOUNGE	(1)	3'-0"	7'-0"	F	ALUM	PREFIN		1	HM	PT						



FRAME TYPES

Scale: 1/4" = 1'-0"

DOOR FRAME PROFILES

Scale: 3" = 1'-0"

DOOR TYPES

Scale: 1/4" = 1'-0"

12 DOOR JAMB DETAILS

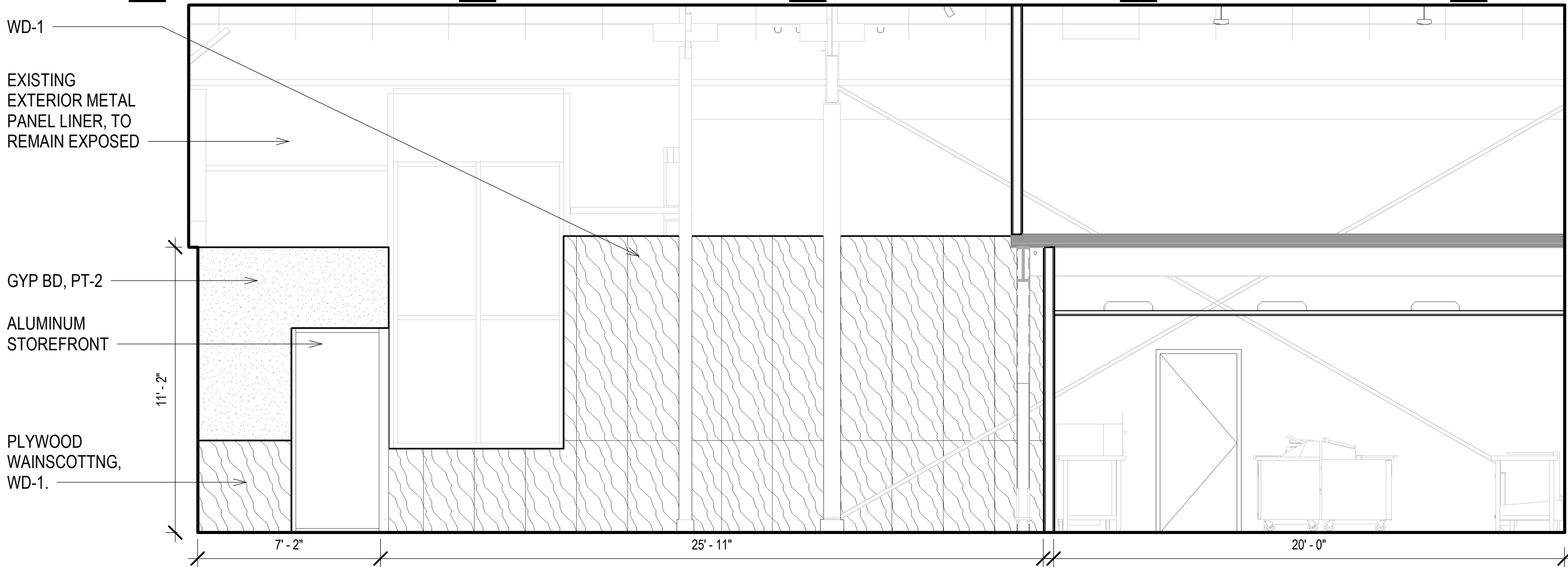
Scale: 1" = 1'-0"

5 SECTION @ SHELVING

Scale: 1/2" = 1'-0"

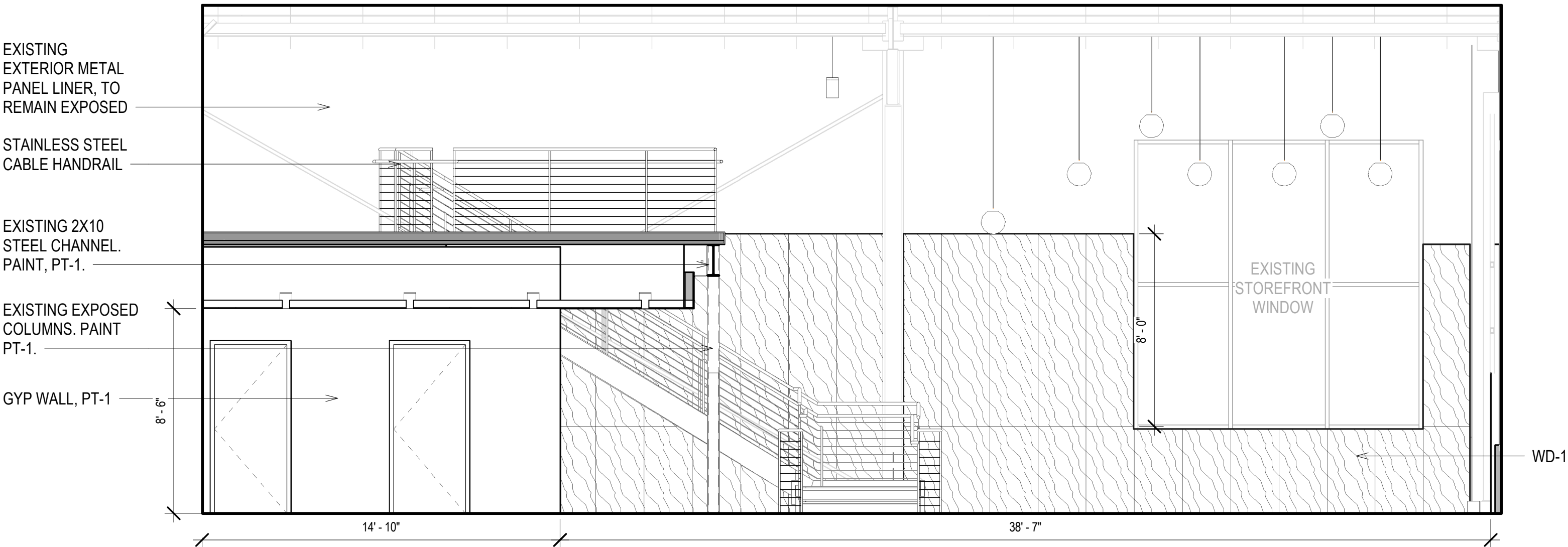
6 SECTION @ BAR

Scale: 1" = 1'-0"



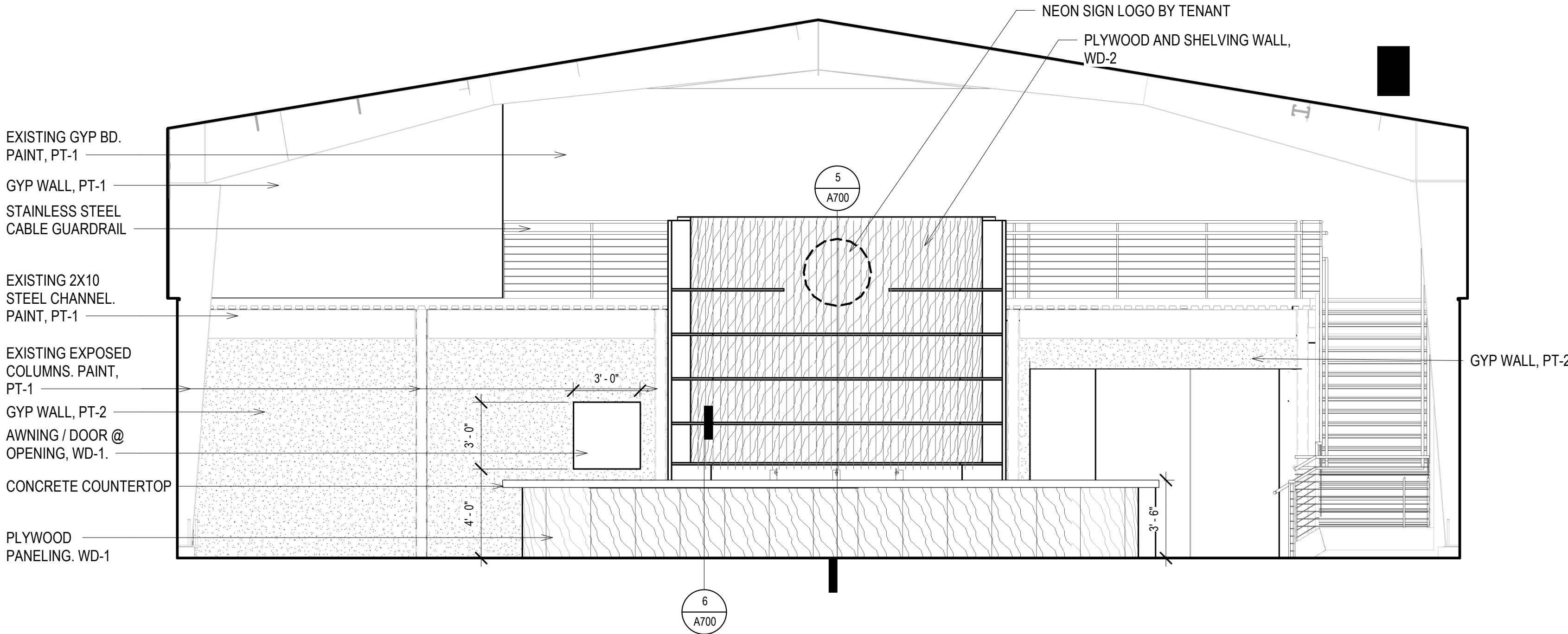
4 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



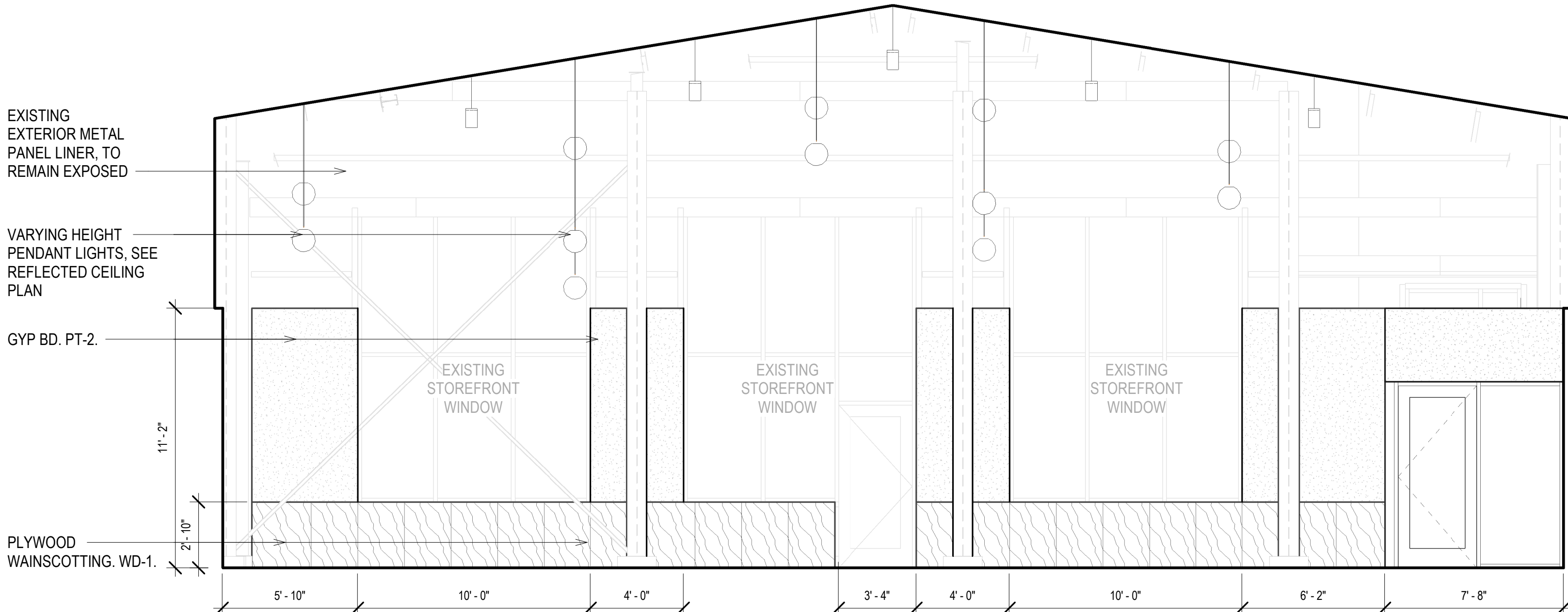
2 NORTH ELEVATION

Scale: 1/4" = 1'-0"



3 WEST ELEVATION

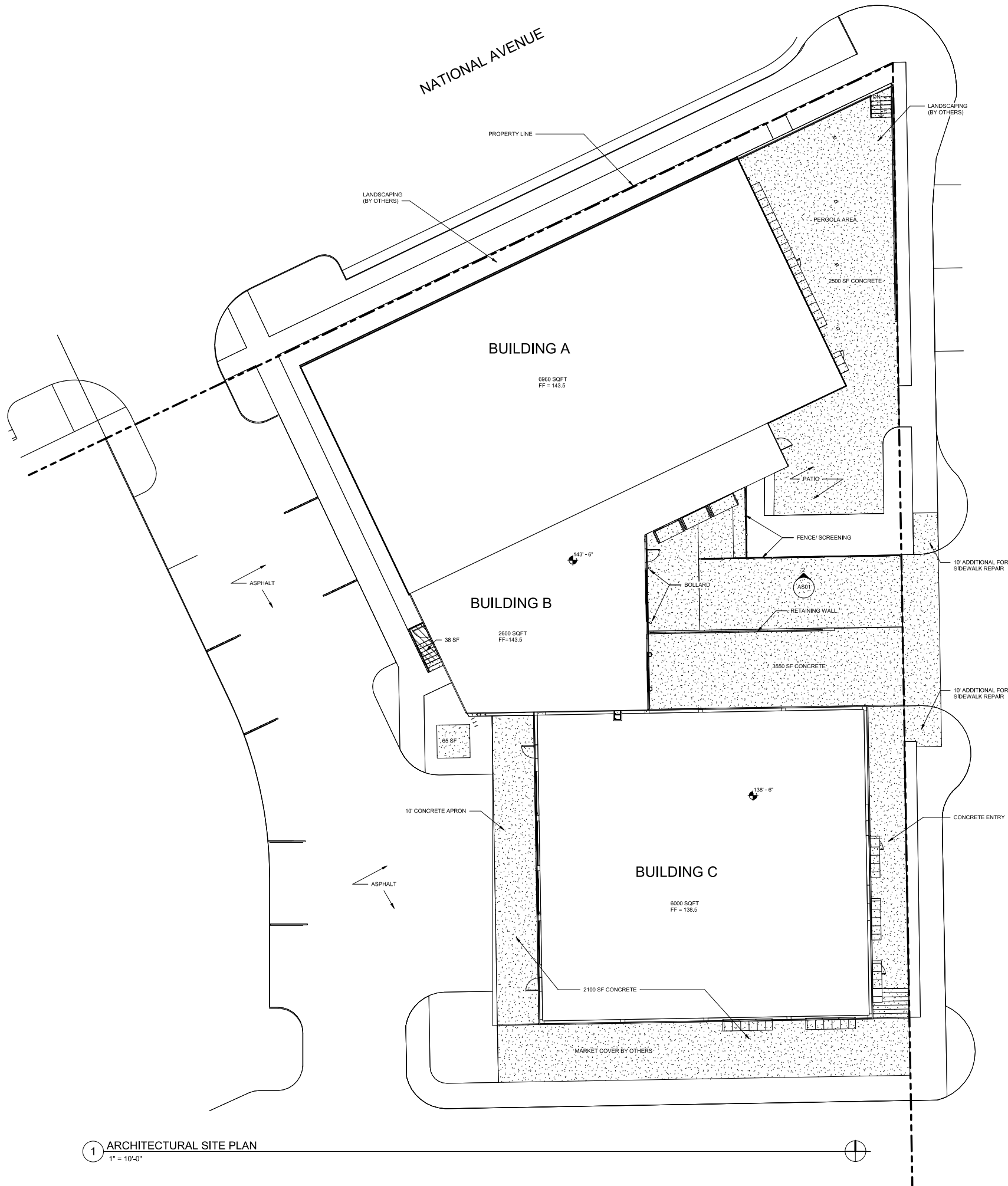
Scale: 1/4" = 1'-0"



1 EAST ELEVATION

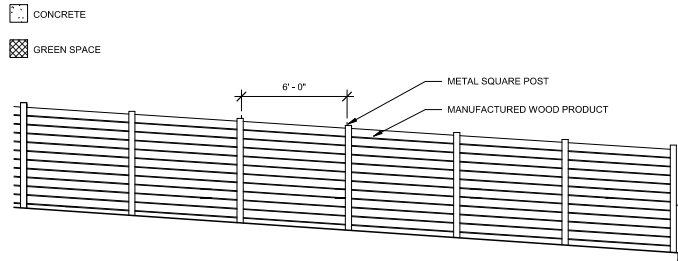
Scale: 1/4" = 1'-0"

Site, Landscaping, Architectural 2020 Plans----->>



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

ZONING	
ZONED:	C-3 West Allis Community Commercial District
MIN. BUILDING SETBACKS (FT):	FRONT & STREET YARD: NONE INTERIOR SIDE YARD: 10' REAR YARD: 10'



2 SCREENING DETAIL
1/4" = 1'-0"

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DESIGN / BUILD
2748 South 166th Street
New Berlin, WI 53151
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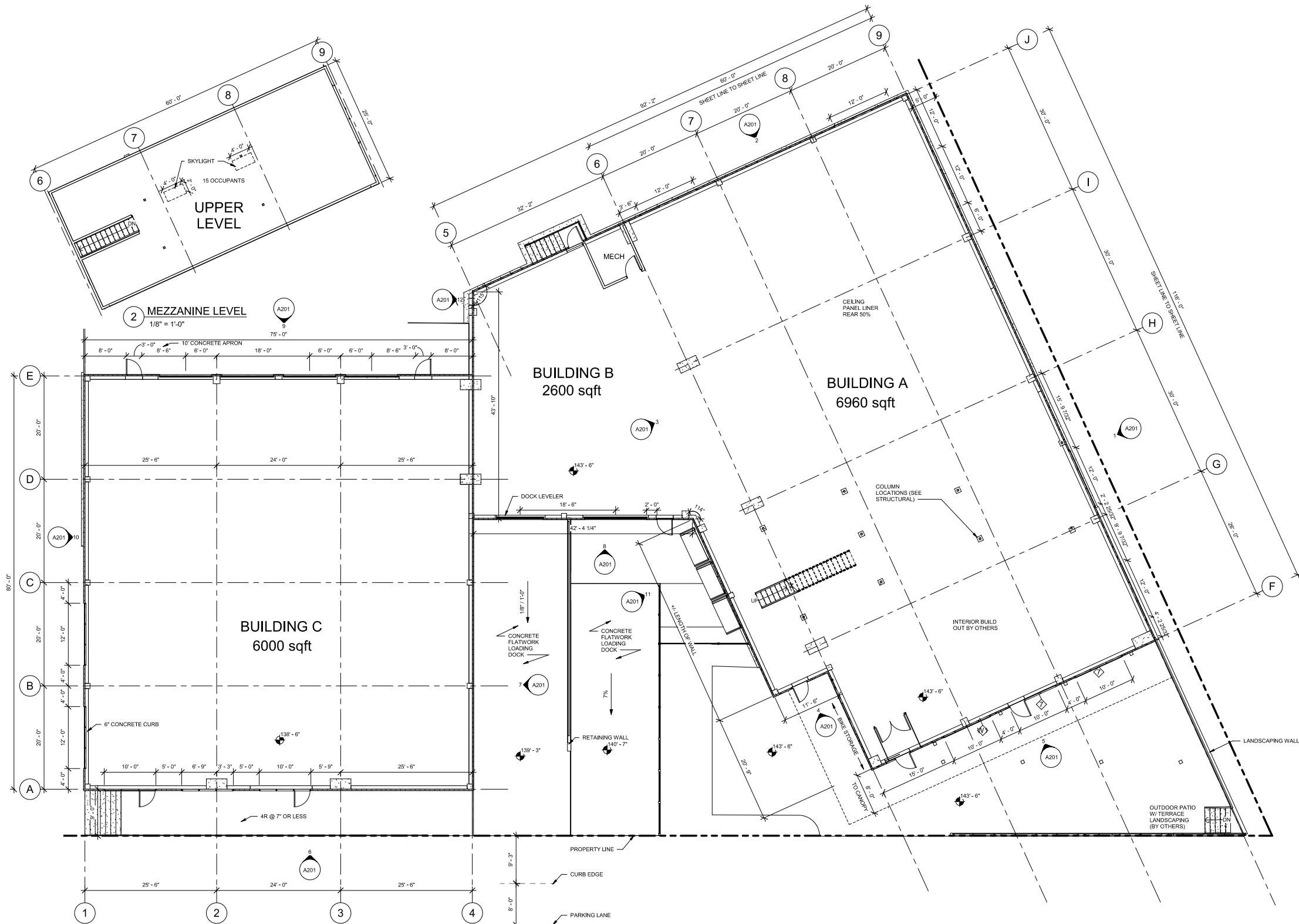


PROPOSED (ADDITION, REMODEL, NEW) BUILDING FOR:
Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

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AS01

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1 FLOOR PLAN
1/8" = 1'-0"

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PROPOSED BUILDING FOR:
Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

1/8" = 1'-0"

A101

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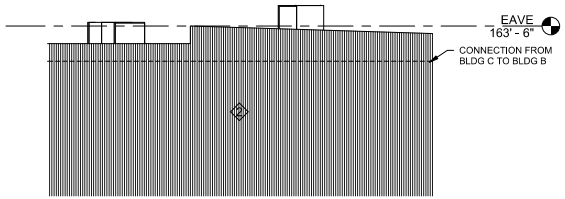
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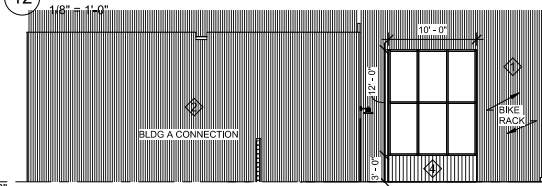
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ELEVATION KEY	MATERIAL / MANUFACTURER	COLOR (T.B.V)
1 METAL WALL PANEL (BLDG A)	7.2 INSUL RIB METL-SPAN METAL PANEL	DARK GREY METALLIC
2 METAL WALL PANEL (BLDG B)	FLAT METAL PANEL METL-SPAN	COR-TEN AZP RAW
3 METAL WALL PANEL (BLDG C)	VERTICAL MINIWAVE METAL PANEL	SILVER METALLIC
4 METAL WALL PANEL (BLDG A ACCENT)	7.2 INSUL RIB METL-SPAN METAL PANEL	DARK BROWN METALLIC
5 METAL WALL PANEL (BLDG C ACCENT)	VERTICAL MINIWAVE METAL PANEL	TBD
6 METAL COPING & CANOPIES	METAL	TO MATCH ASSOCIATED BUILDING
7 GLAZING	ALUMINUM STOREFRONT	TBD
8 ALZN (SILVER) FINISH (BLDG A & C)	BUTLER MR-24 ROOF	SILVER METALLIC

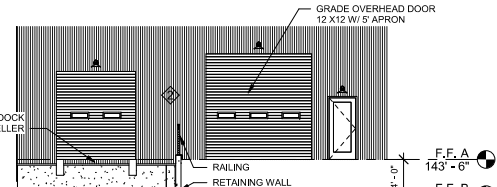
REVISIONS



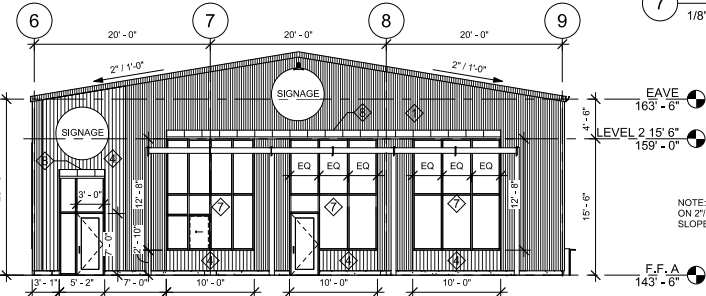
12 BLDG B SOUTH ELEVATION



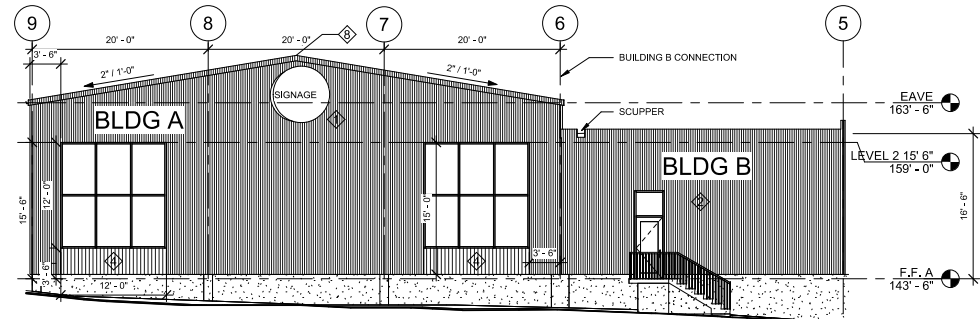
11 BLDG B SE ELEVATION



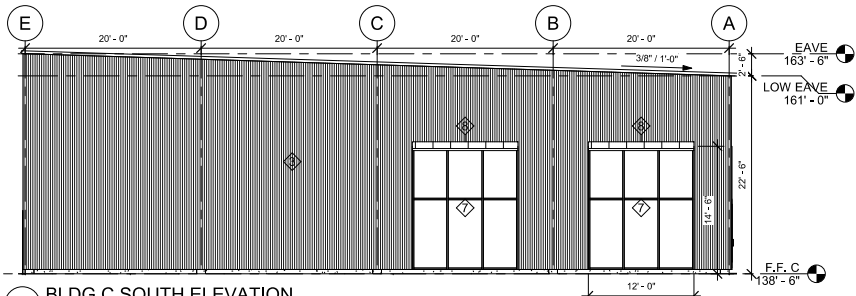
8 BLDG B EAST ELEVATION



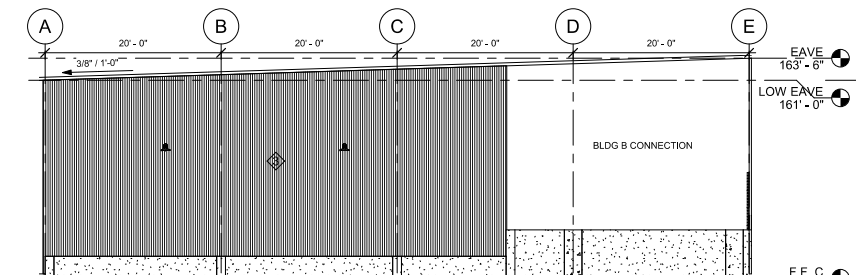
5 BLDG A EAST ELEVATION



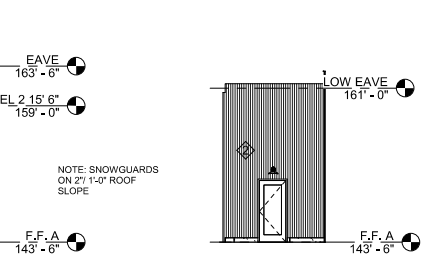
2 BLDG A & BLDG B WEST ELEVATION



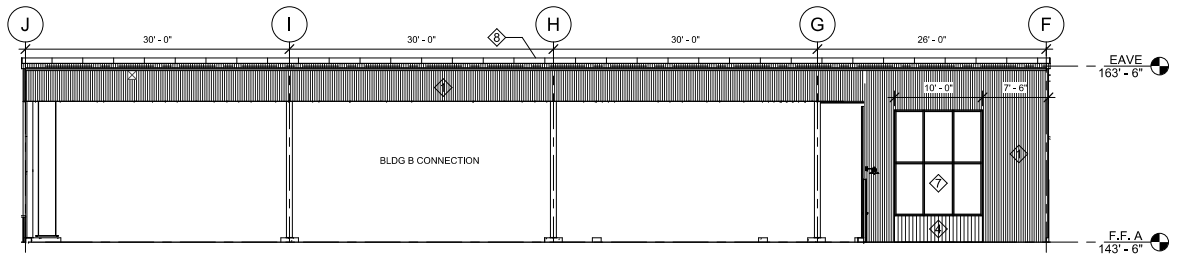
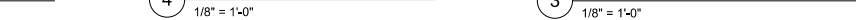
10 BLDG C SOUTH ELEVATION



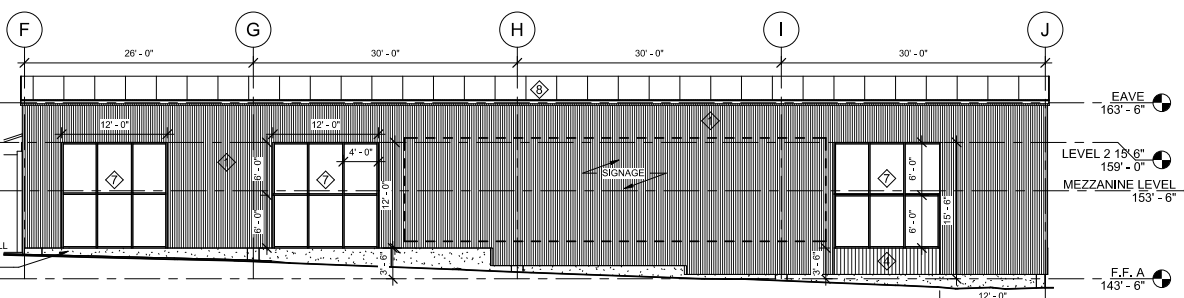
7 BLDG C NORTH ELEVATION



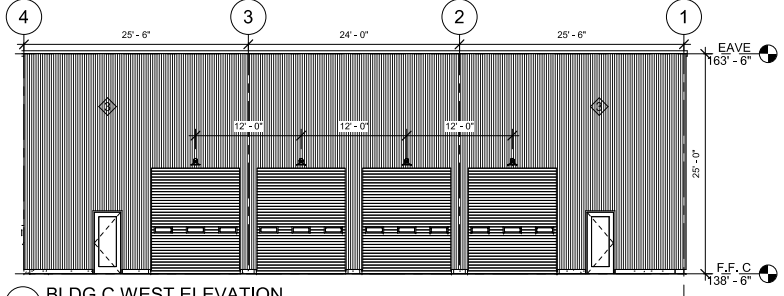
4 BLDG B NE ELEVATION



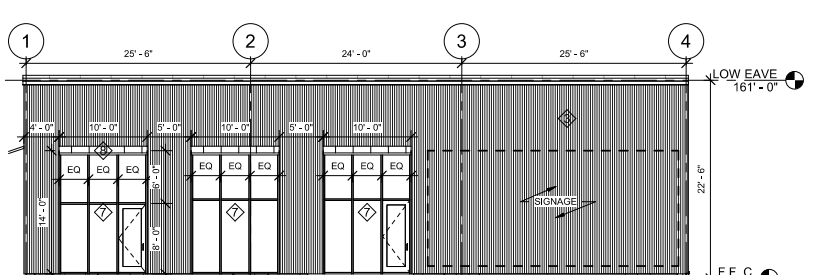
3 BLDG A SOUTH ELEVATION



1 BLDG A NORTH ELEVATION



9 BLDG C WEST ELEVATION



6 BLDG C EAST ELEVATION



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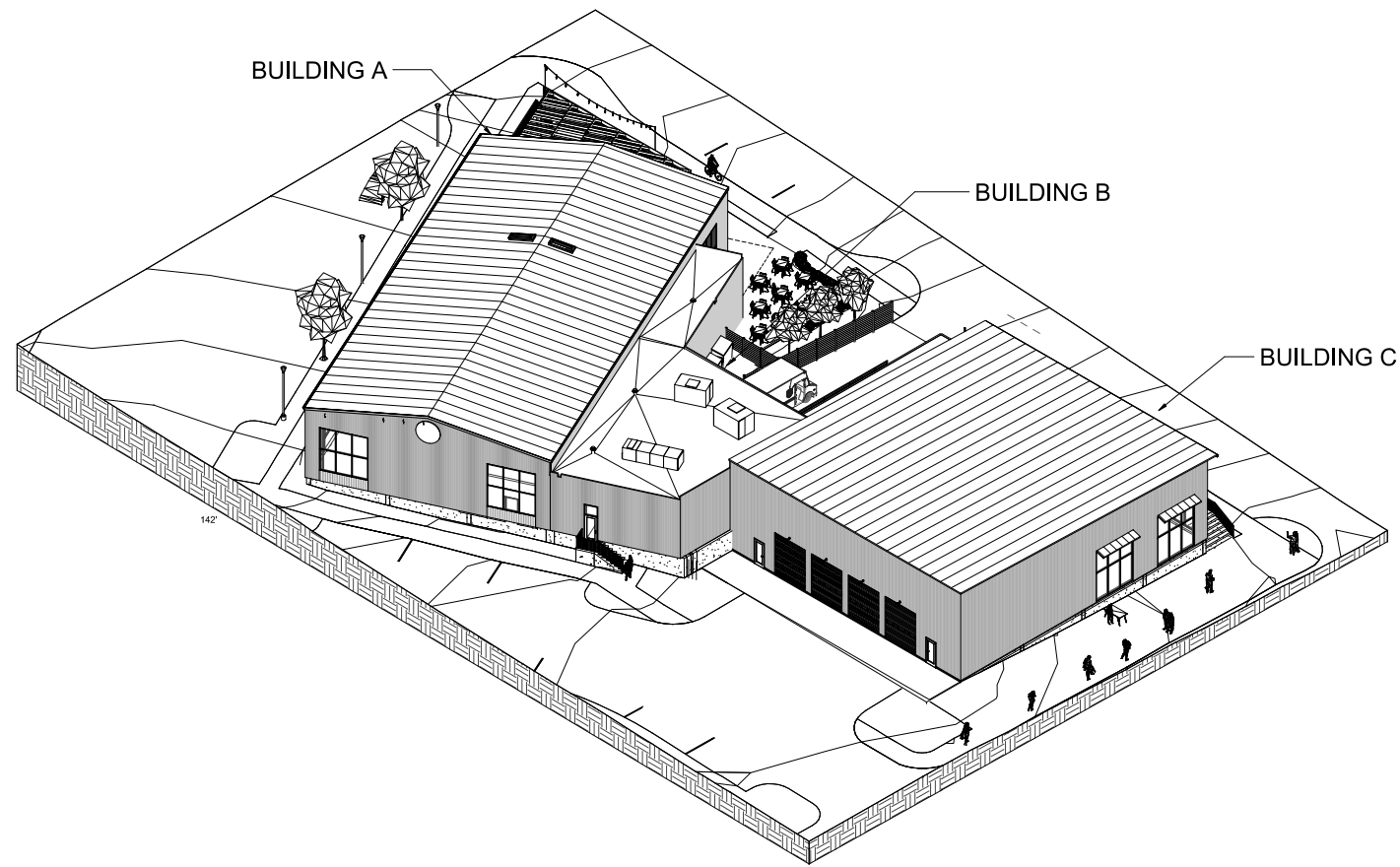


PROPOSED (ADDITION, REMODEL, NEW) BUILDING FOR:
Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

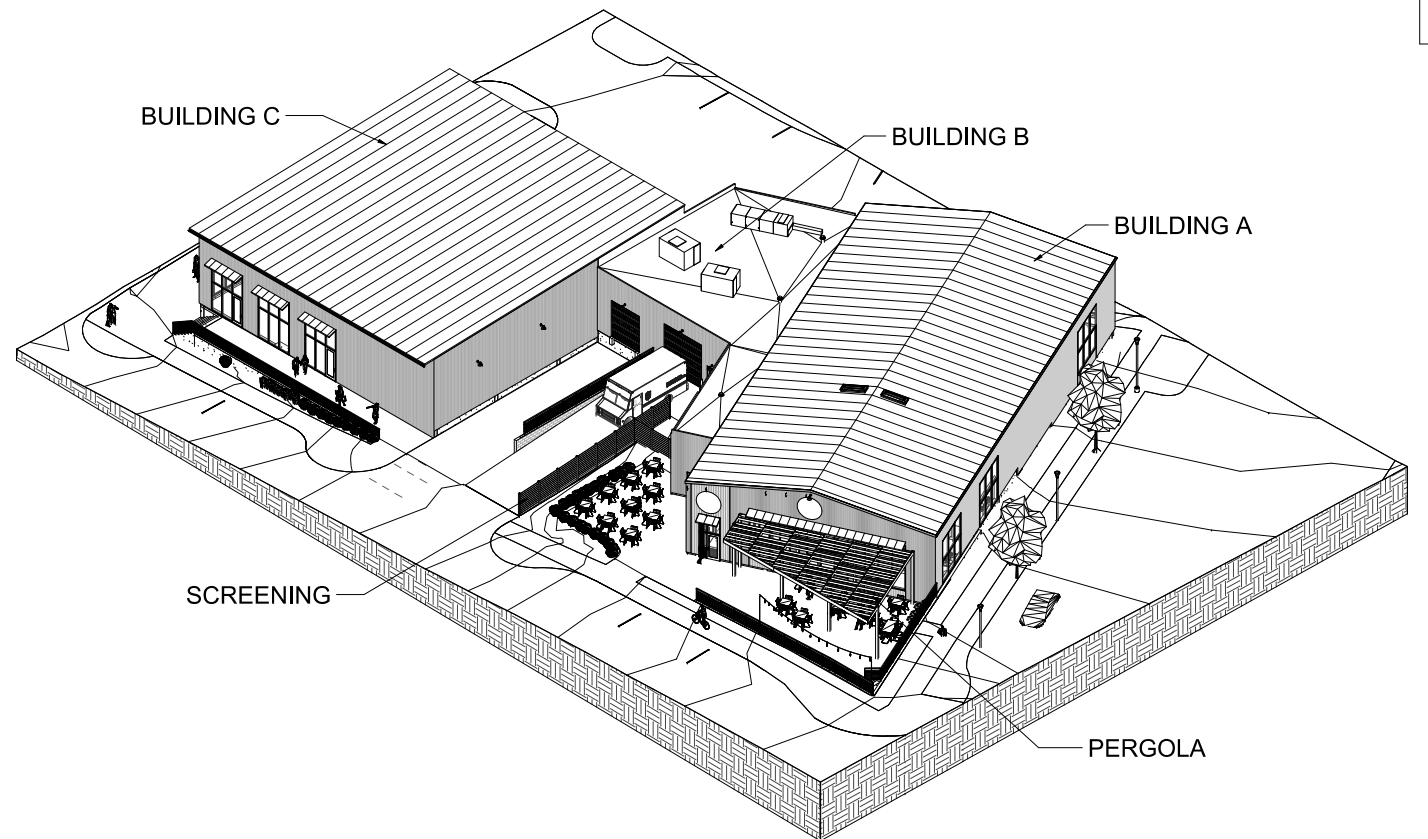
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A201

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2 OVERALL AXON REAR



1 OVERALL AXON

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DESIGN / BUILD
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New Berlin, WI 53151
TEL: (262) 788-4500
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Mandel - Maker's Row
6600 W. NATIONAL AVE. WEST ALLIS, WI

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ISSUE:	11/6/20 10:27
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CONSTRUCTION NO.	

A901

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VIEW FROM NATIONAL AVE. & S 66TH ST



VIEW FROM W. LAPHAM ST & S 66TH ST



VIEW FROM NATIONAL AVE

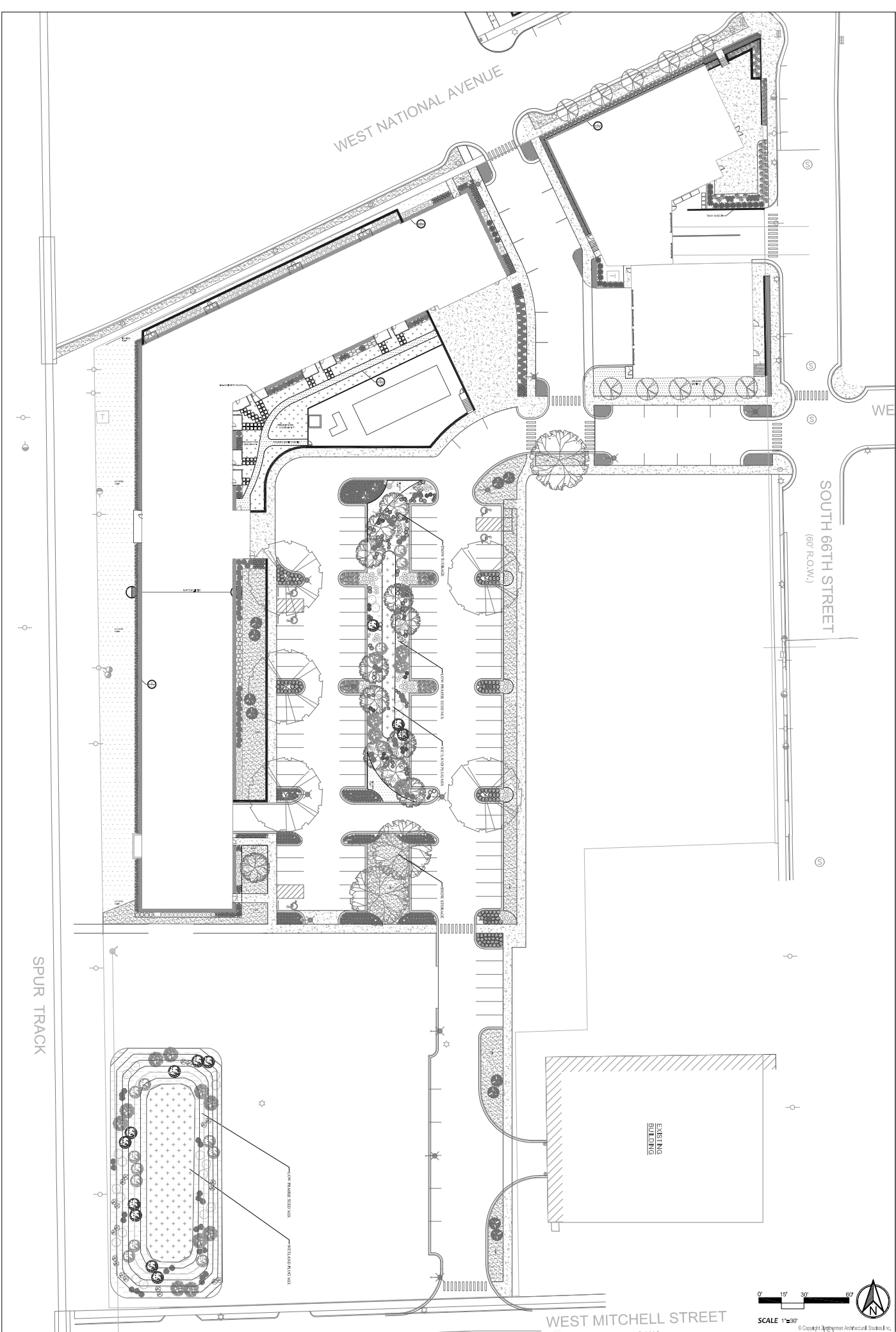
PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	BR	Betula nigra	River Birch	2" Cal.	B&B	3
	BW	Betula populifolia "Wattlespire"	Wattlespire Birch	2" Cal.	B&B	12
	C3	Carpinus caroliniana "J.N. Upright" TM	Flarefire American Hornbeam	2" Cal.	B&B	12
	QB	Quercus bicolor	Swamp White Oak	2" Cal.	B&B	5
	QR3	Quercus robur x alba "Cliffman Spruce"	Cliffman Spruce Oak	2" Cal.	B&B	10
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	JC3	Juniperus chinensis "Spartan"	Spartan Juniper	6" Ht.	B&B	27
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ah	Amaranthus hybridus	Arkansas Cuestar	1 gal.	Pot	135
	AS4	Asclepias syriaca	Common Milkweed	1 gal.	B&B	13
	Am8	Aster macrophyllus	Brilliant Aster	1 gal.	Pot	13
	CA2	Ceanothus americanus	New Jersey Tea	1 gal.	Pot	27
	EY	Eryngium yuccifolium	Rattlesnake Master	1 gal.	Pot	28
	EP2	Eupatorium purpureum "Little Joe"	Dwarf Joe-Pye Weed	1 gal.	Pot	17
	IV2	Iris virginica shrevei	Shreve's Iris	1 gal.	Pot	21
	NM	Nepeta maura "Walker's Low"	Walker's Low Catmint	1 gal.	Pot	421
	SR3	Solidago rugosa "Fireworks"	Windfall Goldenrod	1 gal.	Pot	22
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Am7	Aronia melanocarpa	Black Chokeberry	1.5" Ht.	B&B	62
	AM	Aronia melanocarpa "Morton" TM	Iroquois Beauty Black Chokeberry	1.5" Ht.	B&B	34
	CO2	Cephalanthus occidentalis	Buttonbush	1.5" Ht.	B,R	25
	CT2	Cornus paniculata	Dwarf Red-Tipped Dogwood	1.5" Ht.	B&B	39
	CG	Cornus racemosa	Gray Dogwood	1.5" Ht.	B&B	15
	Fx	Fothergilla x "Mount Airy"	Mount Airy Fothergilla	1.5" Ht.	Pot	126
	HK	Hypericum kalmianum	St. John's Wort	1.5" Ht.	Pot	96
	PO5	Physocarpus opulifolius "Dart's Gold"	Yellow Ninebark	1.5" Ht.	B&B	15
	PO2	Physocarpus opulifolius "Daiho"	Daiho Ninebark	1.5" Ht.	B&B	12
	SP	Salix purpurea "Nana"	Dwarf Arctic Willow	1.5" Ht.	Pot	103
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cm2	Carex muskingumensis	Palm Sedge	1 gal.	Pot	8
	PV3	Panicum virgatum "North Wind"	Northwind Switch Grass	1 gal.	Pot	142
	Sa	Sedum autumnale	Autumn Moor Grass	1 gal.	Pot	632
	SH	Sporobolus heterodactylus	Prairie Dropseed	1 gal.	Pot	869

LANDSCAPE NOTES

- The contractor is required to notify Diggers Hotline (811 or 800-242-8511) to have site marked at least 2 business days prior to digging.
- Contractor is required to confirm all plant quantities shown on Plant & Material List and landscape planting symbols and list any inconsistencies/concerns to General Contractor.
- Plantings must comply with standards as defined in American Standard of Nursery Stock - Z60.1 ANSI. The Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, and diseased, improperly transported, installed incorrectly or damaged. Any potential plant substitutions that are "B Grade" or "Park Grade" plant material must be approved by Landscape Architect.
- Plantings must be planted as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any deviations to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Plantings are to be watered comprehensively at the time of planting, through construction and upon completion of project as required. See planting specifications for clarifications.
- Topsoil ought to be placed to within 3" of finish grade by general / grading contractor during rough grading procedures. All parking lot islands if (applicable) to be backfilled with topsoil to a minimum depth of 18" and crown all planting islands and beds a minimum of 6" to allow proper drainage (unless otherwise specified).
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of shredded hardwood bark mulch.
- Mulching: perennial planting areas shall receive a 3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch.
- Manual Edging: All planting beds will be bordered with a 3" deep spade edge using a flat landscape spade or a mechanical edger. A clean definition between landscape beds and lawn is required. Bed lines are to be cut crisp, smooth.
- Aluminum Edging: to be placed in maintenance strip beds. For material and installation see plantings specification.
- Stone maintenance strip to be installed 3 inches deep above weed material with (aluminum) edging. Contractor to install maintenance strip 2-feet wide along building edge, where indicated and in compliance to plantings specification.
- Plant bed amendment composition: All perennial, groundcover and annual areas are required to receive a blend of soil amendments before installation. For mixtures and installation see plantings specification.
- Seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Formulate the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Erosion control actions are to be used in swales and on slopes in excess of 1:3 and where applicable. Means of installation may differ and are at the discretion of the Landscape Contractor on his/her responsibility to establish and warranty a smooth, uniform, quality turf.
- No-Mow seed areas: "No-Mow" fine fescue seed mix with annual rye nurse crop (available at Nursery 608-296-3679) or approved comparable mix from a reputable seed mix provider with landscape architect endorsement. Prepare seed bed and soil as specified in plantings specification.
- Native Low Prairie Seed Mix / Wetland Plug Mix: seed mixes as listed on the Plant and Material List or other seeding schedules outlined in naturalized seed spec. Prepare soil and seed bed as in item #12 above.
- The Landscape Contractor is accountable for the watering and maintenance of all landscape areas for a period of 90 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed. Work also includes weeding, edging, mulching, fertilizing, and trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is accountable to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative.

SPUR TRACK



zimmerman
ARCHITECTURAL STUDIOS, INC.

2122 W. Mount Vernon Avenue | Milwaukee, WI 53233 | zstudio.com
TELEPHONE (414) 476.9500
FACSIMILE (414) 476.8662

Developer/Owner:

Consultant:

Project:

SoNa Lofts

Location:
W. National Avenue
West Allis, WI 53214

Key Plan:

Sheet:

OVERALL
LANDSCAPE PLAN

Phase:

Planning Commission Submittal

Scale: 1"=30'

Revisions:

No.	Date	Description
1	11/06/20	Planning Commission Submittal

Date:

11/06/20

Project No:

200054_00

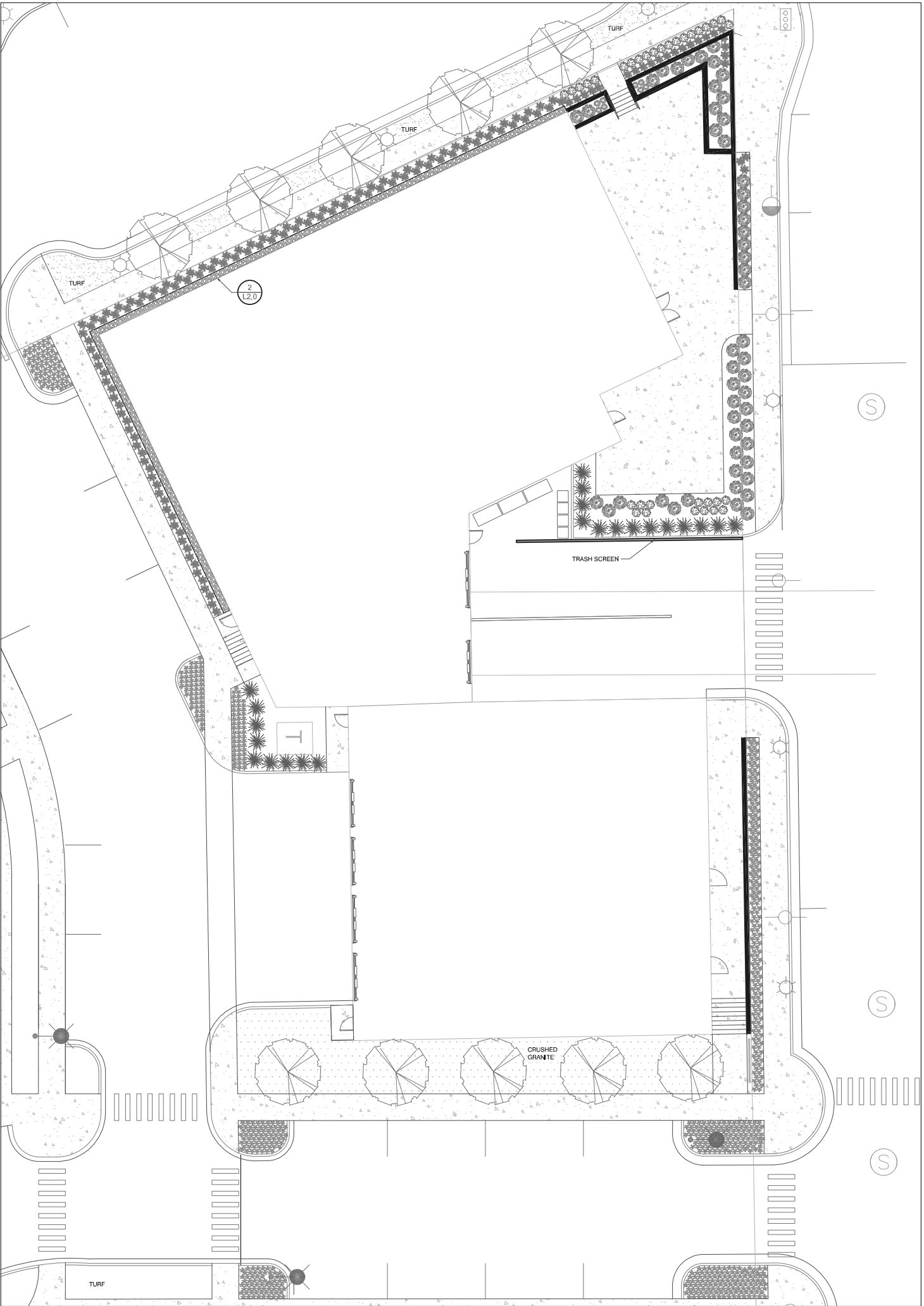
Sheet No:



L1.0

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	QR3	Quercus robur x alba "Crimson Spire"	Crimson Spire Oak	2,7' Cal.	B&B	10
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	JC3	Juniperus chinensis "Spartan"	Spartan Juniper	6' HT.	B&B	22
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	NM	Nepeta mussini "Walker's Low"	Walker's Low Catmint	1 gal.	Pot	33
DECIDUOUS SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	HK	Hypericum adpressum	St. John's Wort	1,5' HT.	Pot	52
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cm2	Carex muskingumensis	Palm Sedge	1 gal.	Pot	8
	PV3	Panicum virgatum "North Wind"	Northwind Switch Grass	1 gal.	Pot	141
	SH	Sporobolus heterodactylus	Prarie Dropseed	1 gal.	Pot	737



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Developer/Owner:

Consultant:

Project:

SoNa Lofts

Location:
W. National Avenue
West Allis, WI 53214

Key Plan:



Sheet:

VALENTINE COFFEE

Phase:

Planning Commission Submittal

Scale: 1"=10'

Revisions:

No.	Date	Description
1	11/06/20	Planning Commission Submittal

Date:

11/06/20

Project No:

200054.00

Sheet No:

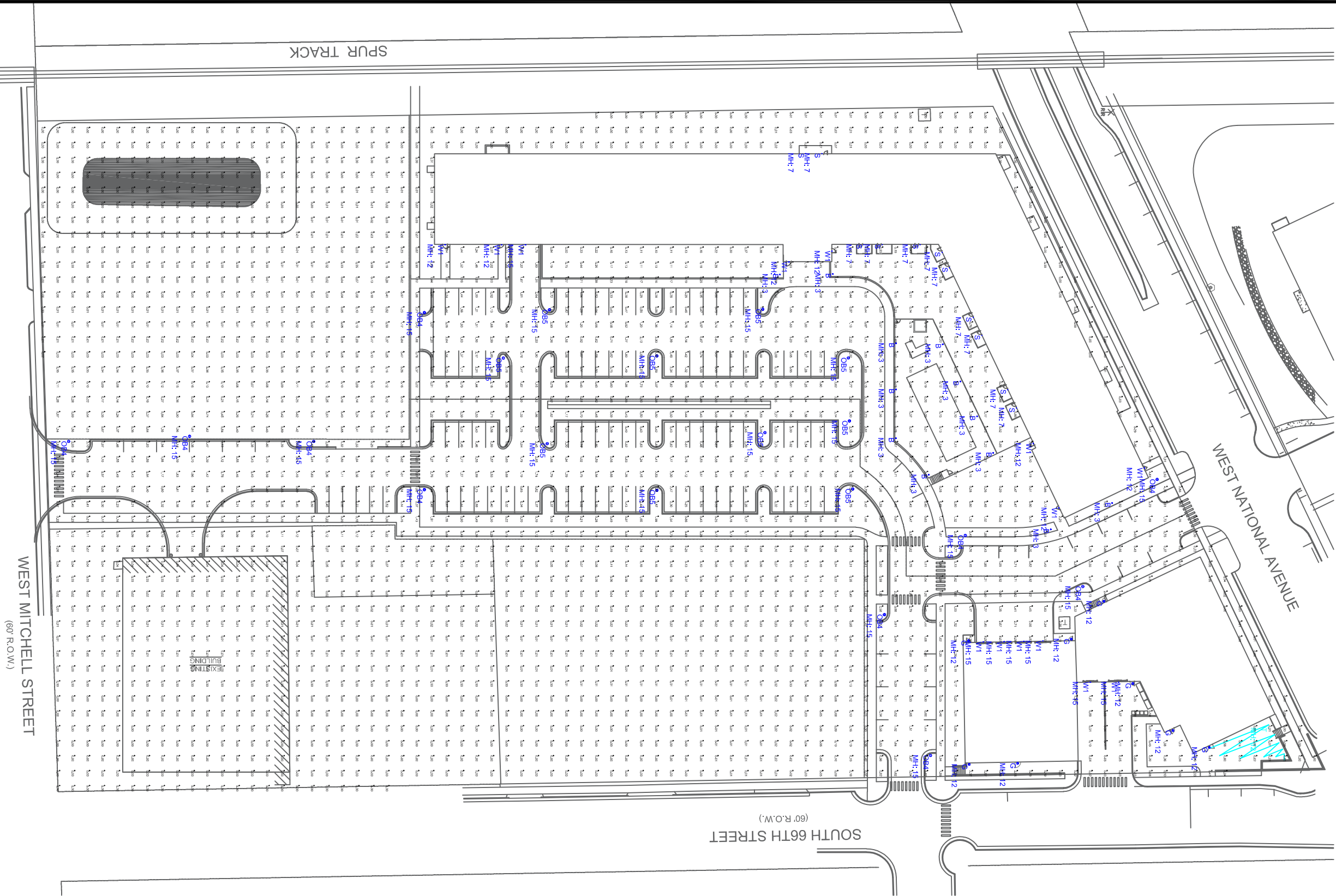
0' 5' 10' 20'
SCALE 1"=10'
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L1.1

REVISIONS		#	DATE	COMMENTS

DRAWN BY : AD	DATE :NOV 5, 2020	SCALE : 1" = 70'- 0"

SONA
WEST ALLIS, WISCONSIN
LIGHTING LAYOUT



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	illuminance	Fc	0.51	4.64	0.00	N.A.	N.A.
PARKING AREA	illuminance	Fc	1.34	4.0	0.2	6.70	20.00

Luminaire Schedule									
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens	
12	B	SINGLE	0.950	KUZCO	EB3036-xx	11	132	562	
8	G	SINGLE	0.950	BASELITE	W516-53-E1-14W LED-KK	12.9792	103.8336	1019	
10	OB4	SINGLE	0.950	LITHONIA	RADPT P3 xxK ASY (13FT POLE 2FT BASE)	53.6184	536.184	6918	
10	OB5	SINGLE	0.900	LITHONIA	RADPT P3 xxK SYM (13FT POLE 3FT BASE)	53.6184	536.184	7302	
11	S	SINGLE	0.950	KUZCO	EW35404-BK	11.6	127.6	243	
1	T	SINGLE	0.010	TIVOLI	LITESPHERE	11.6	11.6	243	
14	W1	SINGLE	0.950	LITHONIA	WPX1 LED P1 xxK Mvolt	11.47	160.58	1568	