



Staff Report
West Allis Plan Commission
Wednesday, June 26, 2024
6:00 PM
Room 128 – City Hall – 7525 W. Greenfield Ave.

Watch: <https://www.youtube.com/user/westalliscitychannel>

4. **Revised Site, Landscaping, and Architectural Design Review for an accessory parking facility, at 9422-30 W. National Ave. submitted by John Fuchs and Nick Fuchs on behalf of Source One Enterprise LLC (Tax Key No. 479-0674-003).**

Overview and Zoning

The property at 9422-30 W. National Avenue is currently an undeveloped 0.2-acre parcel (formerly a vacant multi-tenant commercial building) with W. National Ave. street frontage and access. The former 7,000-sf building was neglected and has since been removed (the applicant received site plan approval as part of their initial demolition plan). In February Plan Commission granted conditional approval to construct an accessory parking lot for the Heartbreakers bar & entertainment club. Estimated project cost is around \$200,000. This property is zoned a C-2 and accessory parking lots are allowed in the C-2 district (per sec. [19.33/accessory use table](#) of the zoning ordinance). A certified Survey Map was subsequently approved in May by the Common Council as one of the pre-requisites to constructing a new parking lot. Tax Key 479-0676-004 at 9440 W National Ave, is owned by Source One Enterprise LLC, and tax key 479-0674-003, 9422-30 W. National Ave., is owned by the same (Source One Enterprises, LLC). Common ownership is necessary - Combining the lots would consolidate the two properties into one lot.

Revised Plans –The two lots will be combined via CSM once recorded with MKE Co. The revised plan still shows cross-access between the 9440 and 9422 site. Since changes are intended from what was approved by Plan Commission previously, the new plan is before Plan Commission for consideration.

City Engineering, Code Enforcement, and Planning staff met with the applicant's agent on site earlier this month to discuss a revised plan. The Plan revisions include changing the gradient of the property to match the east to the west. In other words, base material fill/soil will be added to increase the new



parking area pavement surface to match the existing level of pavement at the west side of the site



(9440 W. National Ave.). The fill will be graded to slope/drain from north to south. The added fill will eliminate the need for a retaining wall along the north property line as previously proposed.

A new retaining wall would instead be installed on the east side of the site along the abutting frontage with another commercial property owner. All stormwater runoff being captured on the south end of the site within a new catch basin.

Another change includes a revision to fencing/screening – New metal ornamental fencing with masonry piers would be installed along the W. National Ave. street frontage (south side of the site). Landscaping areas would also be installed in front of the new fence area as previously planned.

Along the north side of the property a new board on board wood fence would be installed to match the height of existing north fence (blending existing with new along the north side of the site).

On the east side of the site a new board on board wood fence would be installed along the top of the retaining wall, and gradually taper when nearing W. National Ave. maintaining vision angles for traffic exiting from the new parking area.



Recommendation: Approval of the revised Site, Landscaping, and Architectural plans are being prepared for an accessory parking facility, at 9422-30 W. National Ave. submitted by John

Fuchs and Nick Fuchs on behalf of Source One Enterprise LLC (Tax Key No. 479-0674-003), and subject to the following:

(Items to be completed prior to issuance of any building permits to construct a parking lot).

1. A revised Site and Architectural Plan being submitted to the Department of Development to show the following: (a) traffic pattern to be right out at National Avenue driveway. Driveway modifications and directional signage per City Engineer (no left turns in/out); (b) exterior building wall details (Heartbreakers bldg); (c) retaining wall and drainage plan being review by Engineering Department (d) eliminate the last parking stall near W. National Ave. on SE corner of property. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
2. Exterior lighting plan (location and fixture type).
3. Exterior brick details being (samples) submitted for consideration to repair the east wall of the building. Contact Steve Schaer, Manager of Planning and Zoning at 414-302-8466.
4. A [Street excavation permit](#) being applied for in OpenGov prior to work beginning. Any concrete work in the street right of way needs to be completed by a licensed and pre-qualified contractor within the City of West Allis. Contact Greg Bartelme at (414) 302-8367.

NEW PARKING LOT - SITE

9440 W. NATIONAL AVE. | WEST ALLIS, WI 53227

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
ARCHITECTURAL	
SP1.0 SP1.1	DEMO SITE PLAN, SITE PLAN SITE DETAILS
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR.	
PROJECT NOTES	
ELECTRICAL NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.	
HVAC NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.	
PLUMBING NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.	

BUILDING CODE SUMMARY	
BASED ON THE:	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/WI AMENDMENTS)
	2009 ANSI A117.1 ACCESSIBILITY CODE
AREA OF ALTERATION:	ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES.
FIRE ALARM:	---
OCCUPANCY:	---
OCCUPANCY SEPARATION:	---
CONSTRUCTION TYPE:	---
SPRINKLER SYSTEM:	---
NUMBER OF STORIES:	---
ALTERATION LEVEL:	---
FLAME SPREAD & SMOKE INDEX:	---
CODE EXCEPTION:	NONE

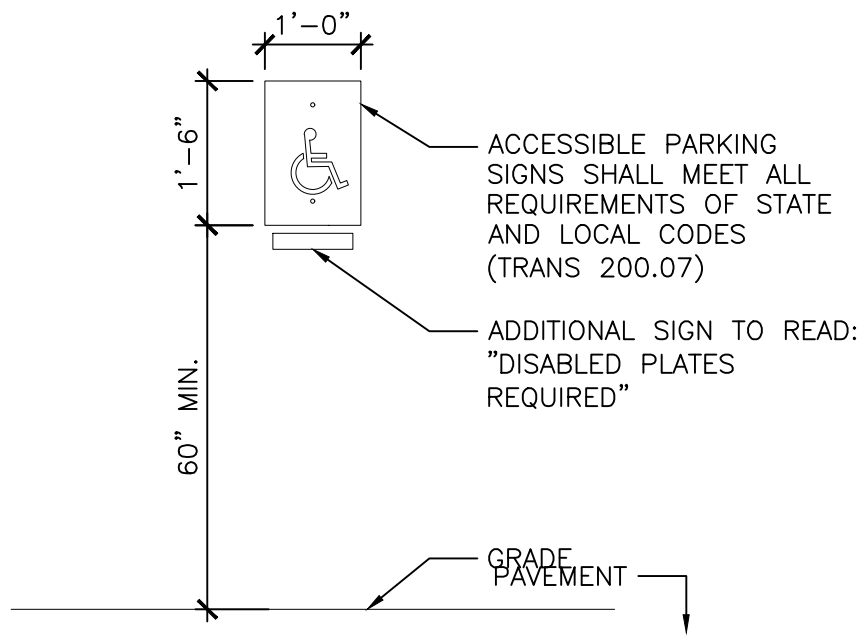
PROJECT CONTACT INFO	
OWNER: MILWAUKEE ENTERTAINMENT LLC 13500 WATERTOWN PLANK RD, STE 100 ELM GROVE, WI 53122 P: ###-###-####	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 PROJECT MANAGER: JEFF STOWE
ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD	
ICC A117.1-2009 - CHAPTER 5, GENERAL SITE & BUILDING ELEMENTS	
502.2, ACCESSIBLE PARKING SPACES FOR CARS SHALL BE 96" WIDE MINIMUM, VAN PARKING SPACES SHALL BE 132" WIDE MINIMUM 502.4, ACCESS AISLE TO BE ADJACENT TO CAR AND VAN PARKING SPACES 502.4.2, ACCESS AISLES SERVING CAR AND VAN PARKING SPACES SHALL BE 60" WIDE MINIMUM. 502.4.4, ACCESS AISLES SHALL BE MARKED TO DISCOURAGE PARKING IN THEM.	

Architect
259 South Street, Suite A WAUKESHA, WI 53186 p: 833-380-6180

Project Info. — 24066
New Parking Lot
Site
9440 W National Ave West Allis, WI

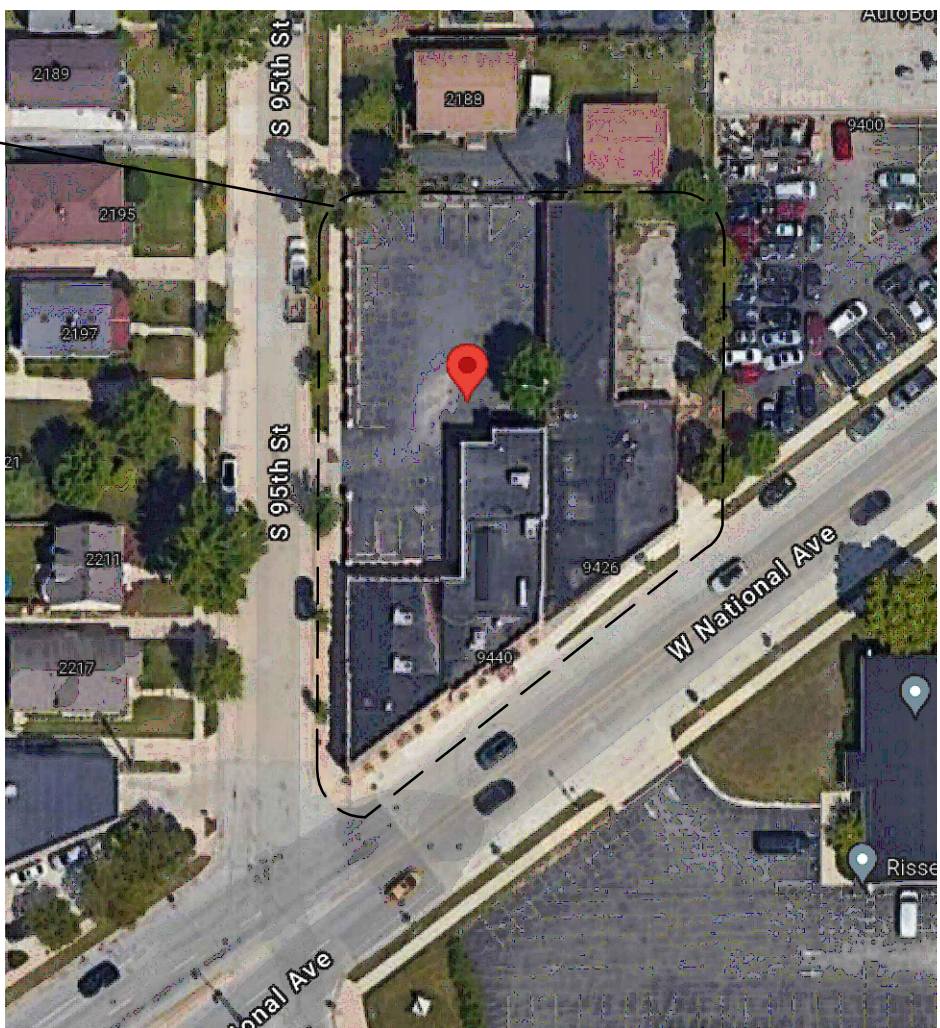
Sheet Title
TITLE AND CODE SHEET

GENERAL NOTES	
1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.	
2. ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS. SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.	
3. GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.	
4. SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.	
5. MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.	
6. ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPPERATION UPON OCCUPANCY.	
7. THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.	
8. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW, IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.	
9. ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.	



ACCESSIBLE PARKING SIGN
SCALE: 1/2"=1'-0" (22x34); 1/4"=1'-0" (11x17)

2



VICINITY MAP
SCALE: N.T.S.

1



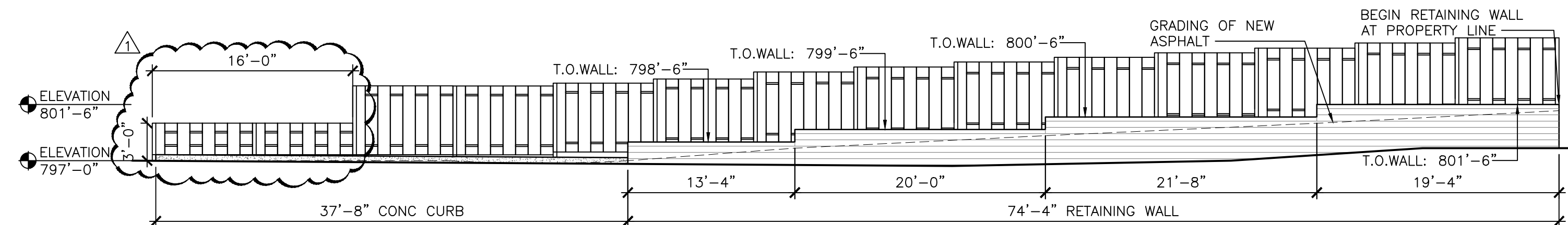
TYPICAL ABBREVIATIONS							
ABV: Above	B/O: By Others	DW: Dishwasher	FTG: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempered
ACOUS: Acoustical	BO: Bottom Of	DN: Division	FND: Foundation	LAM: Laminated(a)	O: Non-Operable Window	REG: Register	TK: Tight Knot
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(a), (ing)	LAV: Lavatory	OL: Operable Window	RE: Reinforced	T&G: Tongue and Groove
ADH: Adhesive		DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	OS: Obscure	REQ: Required	T/O: Top of
ADJ: Adjustable	CAB: Cabinet	DS: Downspout	FUR: Furred	L: Length	OBS: Obscure	RA: Return Air	TOC: Top of Concrete
AFB: Above Finish Floor	CALC: Calculation	DT: Drain Tile		LOA: Length Overall	OC: On Center	REV: Revision	TOW: Top of Wall
AGG: Aggregate	CD: Cabinet Door	DW: Drawing		LT: Light	OP: Opening	R: Rise	TB: Towel Bar
AHL: Authority Having Jurisdiction	CG: Corner Guard	DWG: Drawing		LF: Lineal Feet	OSB: Orientated Strand Board	RD: Rod	T: Tread
A/C: Air Conditioning	CIP: Cast-in-Place	D: Nail Size		LL: Live Load	OD: Outside Diameter	R&S: Rod and Shelf	TS: Tubular Steel
ALT: Alternate	CL: Centerline	EW: Each Way		LV: Laminated Veneer Lumber	RM: Room	RF: Roofing	TYP: Typical
ALUM: Aluminum	CO: Clean Out	E: East		LVR: Louver	PMT: Paint(ed)	UL: Underwriters Laboratory	UNF: Unfinished
ANC: Anchor, Anchorage	CONTR: Contract (or)	EL: Elevation		MFR: Manufacturer	PDB: Particle Board	UNF: Unfinished	UNL: Unless Noted Otherwise
AB: Anchor Bolt	COORD: Coordinate	ELEV: Elevation		MO: Masonry Opening	PRT: partition	VB: Vapor Barrier	VAR: Varnish
ANOD: Anodized	CRPT: Carpet	EQ: Equipment		MAX: Maximum	PVM: Pavement	VIF: Verify in Field	VRN: Veneer
APX: Approximate	CIP: Cast-in-place	EXC: Excavate		MAS: Masonry	PERF: Perforated(a)	VER: Vertical	VG: Vertical Grain
ARCH: Architect	CAS: Casement	EXH: Exhaust		MECH: Mechanic(a)	PLAS: Plaster	VIN: Vinyl Sheet	VIN: Vinyl Sheet
(architectural)	CB: Catch Basin	EXT: Existing		MC: Medicine Cabinet	PLAM: Plastic Laminat		
ASPH: Asphalt	CLG: Ceiling	EXT: Exterior		MED: Medium	PLYWD: Plywood		
AUTO: Automatic	CT: Ceramic Tile			MDF: Medium Density Fiberboard	PCC: Precast Concrete		
AVC: Avenue	CIR: Circle			MD: Member	PCF: Pounds Per Cubic Foot		
AVR: Average	CLR: Clear			MD: Medium Density Overlay	PLF: Pounds Per Linear Foot		
AWN: Awning	COL: Column			MB: Member	PSF: Pounds Per Square Foot		
	CONC: Concrete			MTL: Metal	PSI: Pounds Per Square Inch		
BSMT: Basement	CMU: Concrete Masonry Unit			FBD: Fiberboard	PBF: Prefabricated		
BM: Beam	CONSTR: CONSTRUCTION			FCB: Fiber Cement Board	PRF: Preformed		
BVL: Beveled	CONT: Continuous			FGI: Fiberglass	PT: Pressure Treated		
BITUM: Bituminous	CJT: Control Joint			FIN: Finish	PL: Property Line		
BLK: Block	CORR: Corrugated			INT: Interior	PH: Toilet Paper Hanger		
BLDG: Blocking	CUFF: Cubic Foot			INV: Invert	QTY: Quantity		
BLW: Below	CUYD: Cubic Yard			JNT: Joint	QT: Quarry Tile		
BLVD: Boulevard				JST: Joist	RAD: Radius		
BTW: Between				KD: Kiln Dried	REF: Reference		
BD: Board				KIT: Kitchen	RFL: Reflect(ed),(ive),(or)		
BDT: Bottom							
BLDG: Building							
BUR: Built Up Roofing							





06-18-2024 REVISED PER CITY

Drawn by	Checked by
JAJ	JMS

Revisions		
No.	Date	Description
	05.31.2024	Bid/Permit Set
△	06.18.2024	Revised per city

Sheet No.
T1.0



LANDSCAPE LEGEND				
SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE
A 	15	BERBERIS THUNBERGII 'ATROPURPUREA'	RED BARBERRY	24"
B 	15	SPIRAEA JAPONICA	GOLDFLAME SPIREA	24"
C 	13	BERBERIS THUNBERGII 'AUREA'	GOLDEN BARBERRY	24"
D 	6	GINKO BILOBA	GINKGO	8 FT.

ZONED C-2
SITE SF: 22,379 SF

GREEN SPACE CALCULATIONS
GREEN SPACE PROVIDED: 1,534 SF

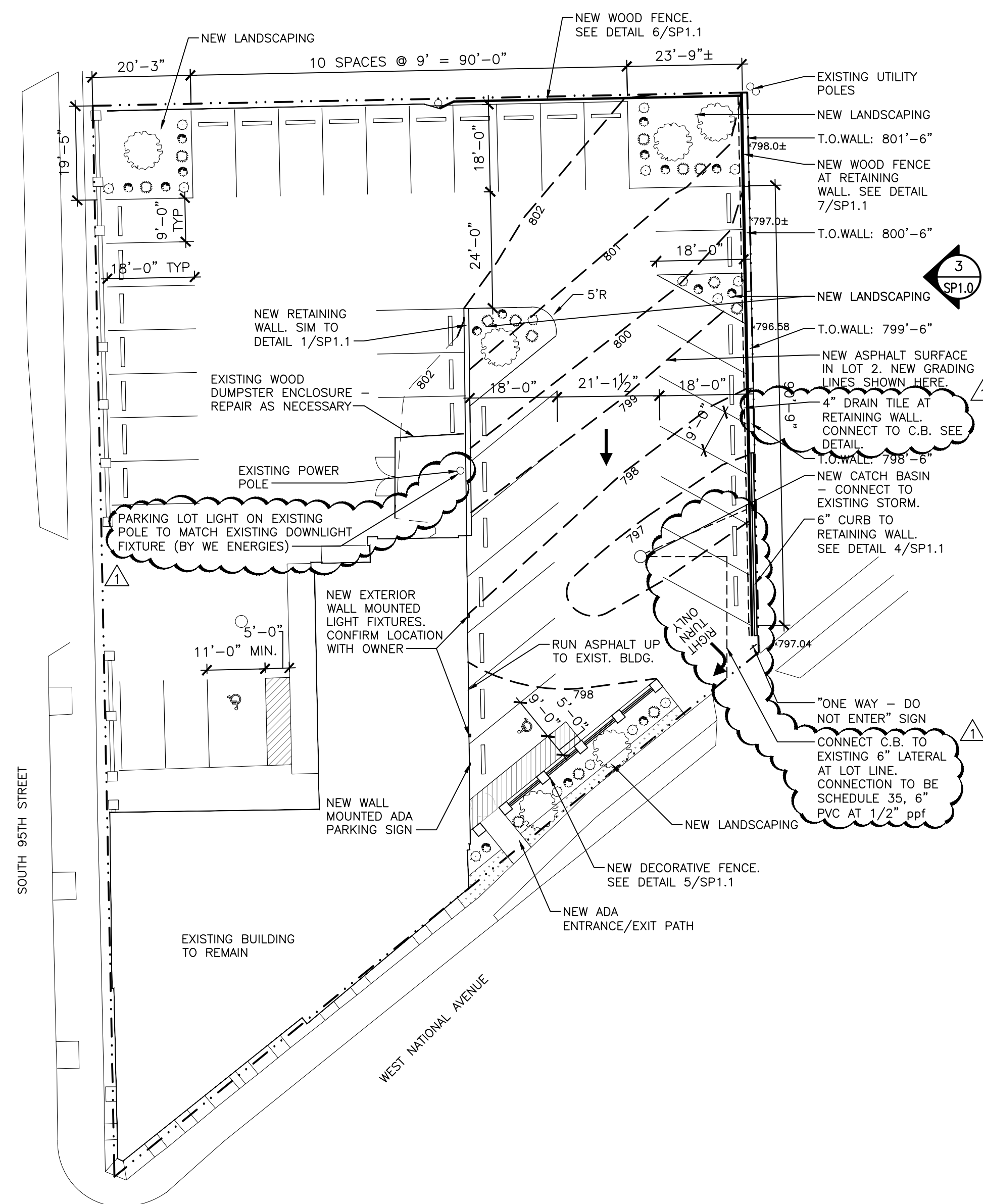
6.85% OF SITE IS GREEN SPACE

PARKING CALCULATIONS
38 PARKING STALLS PROVIDED,
INCLUDING (2) ADA STALLS

RETAINING WALL/FENCE ELEVATION

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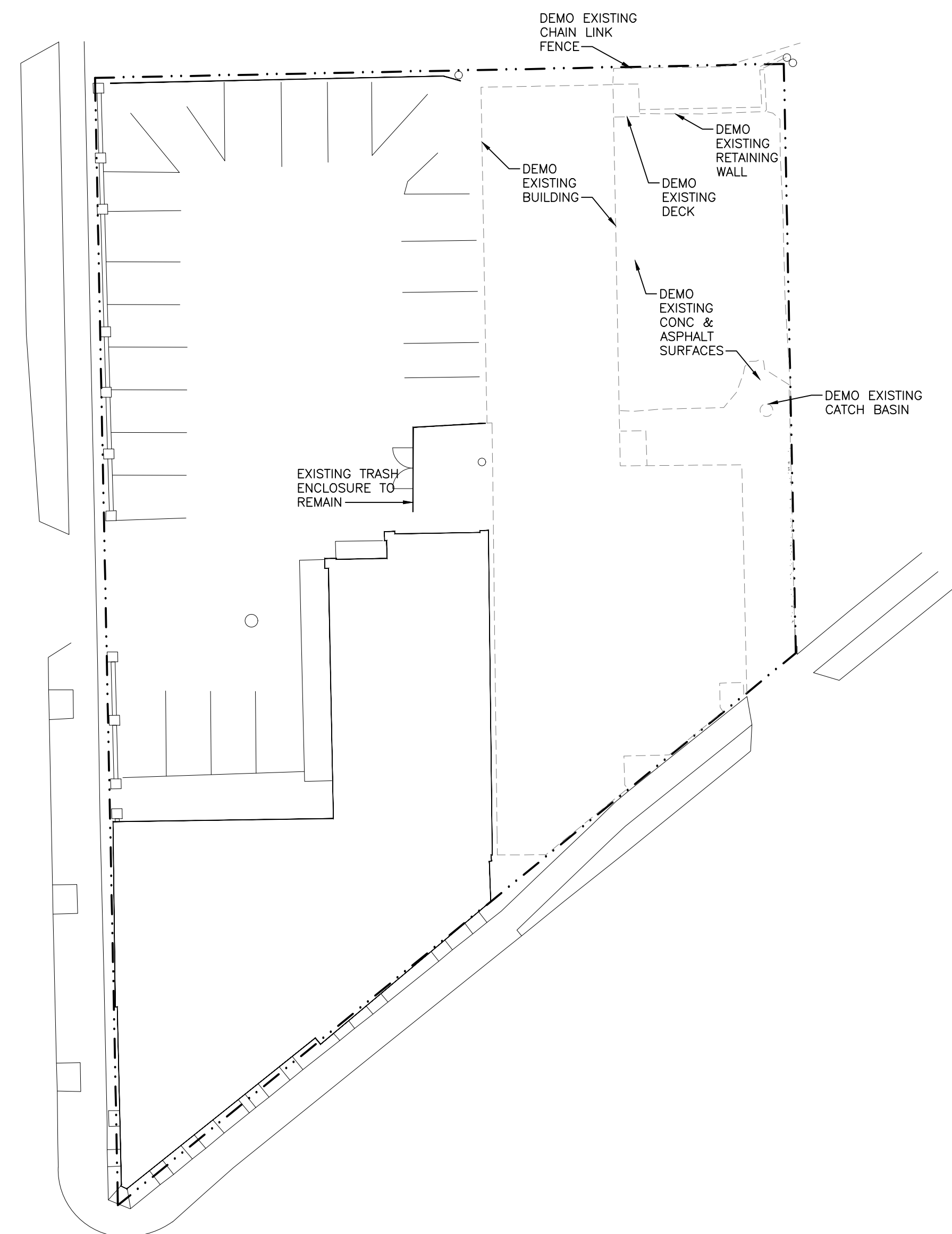
3



SITE PLAN

SCALE: 1"=20'-0" (22x34); 1"=40'-0" (11x17)

2



DEMO SITE PLAN

SCALE: 1"=20'-0" (22x34); 1"=40'-0" (11x17)

1



—Sheet Title —

DEMO SITE PLAN, SITE PLAN

Drawn by	Checked by
JAJ	JMS

—Revisions —

[illegible]

—Sheet No. —

SP1.0

06-18-2024 REVISED PER CITY

—Project Info.— 24066 —
New Parking Lot

Site
9440 W National Ave
West Allis, WI



259 South Street, Suite A
WAUKESHA, WI 53186
p: 833-380-6180

New Parking Lot

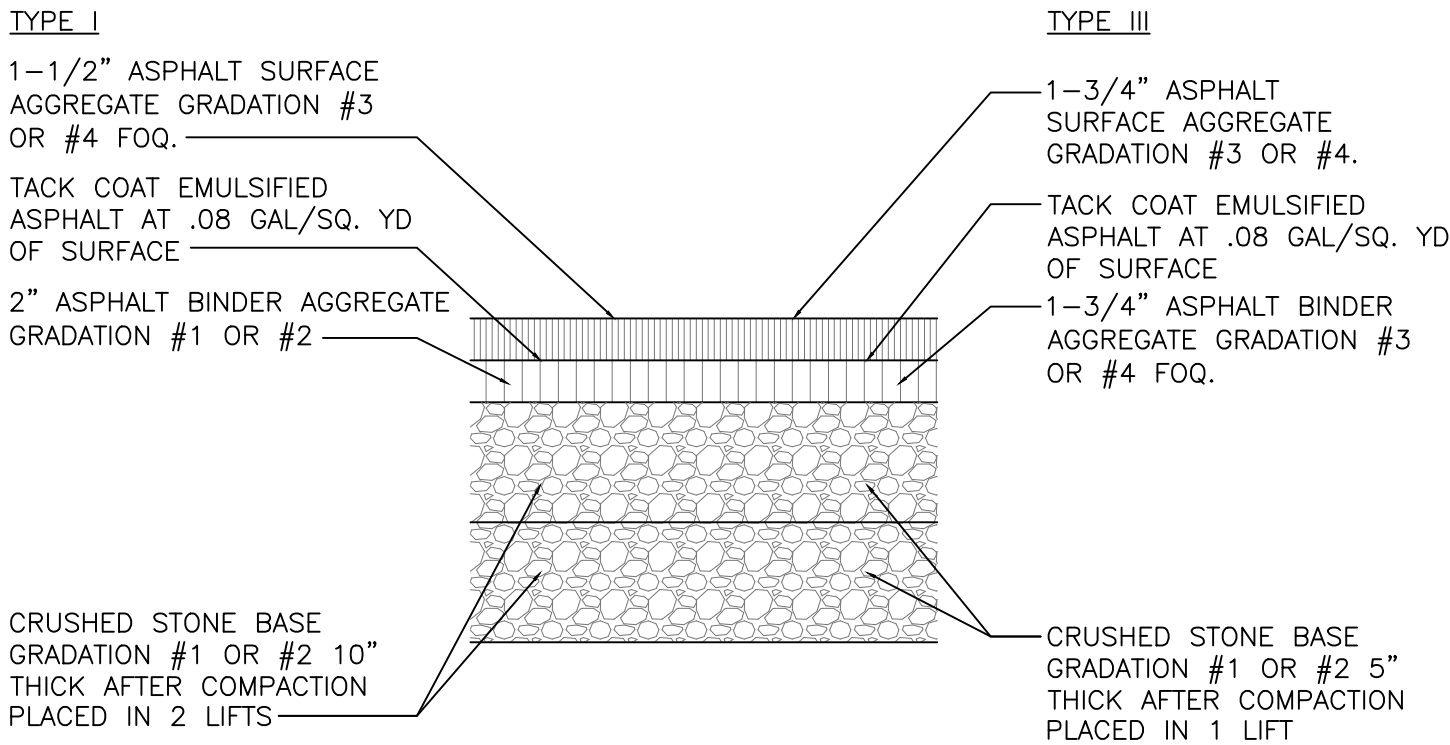
9440 W National Ave
West Allis, WI

SITE DETAILS

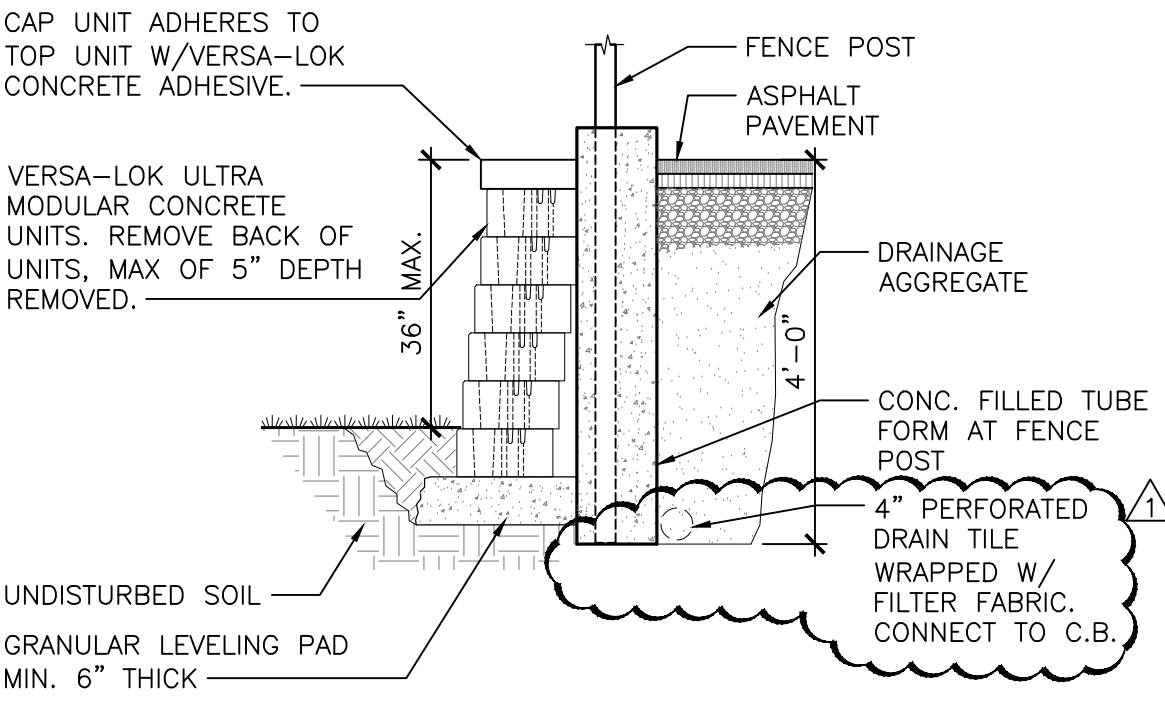
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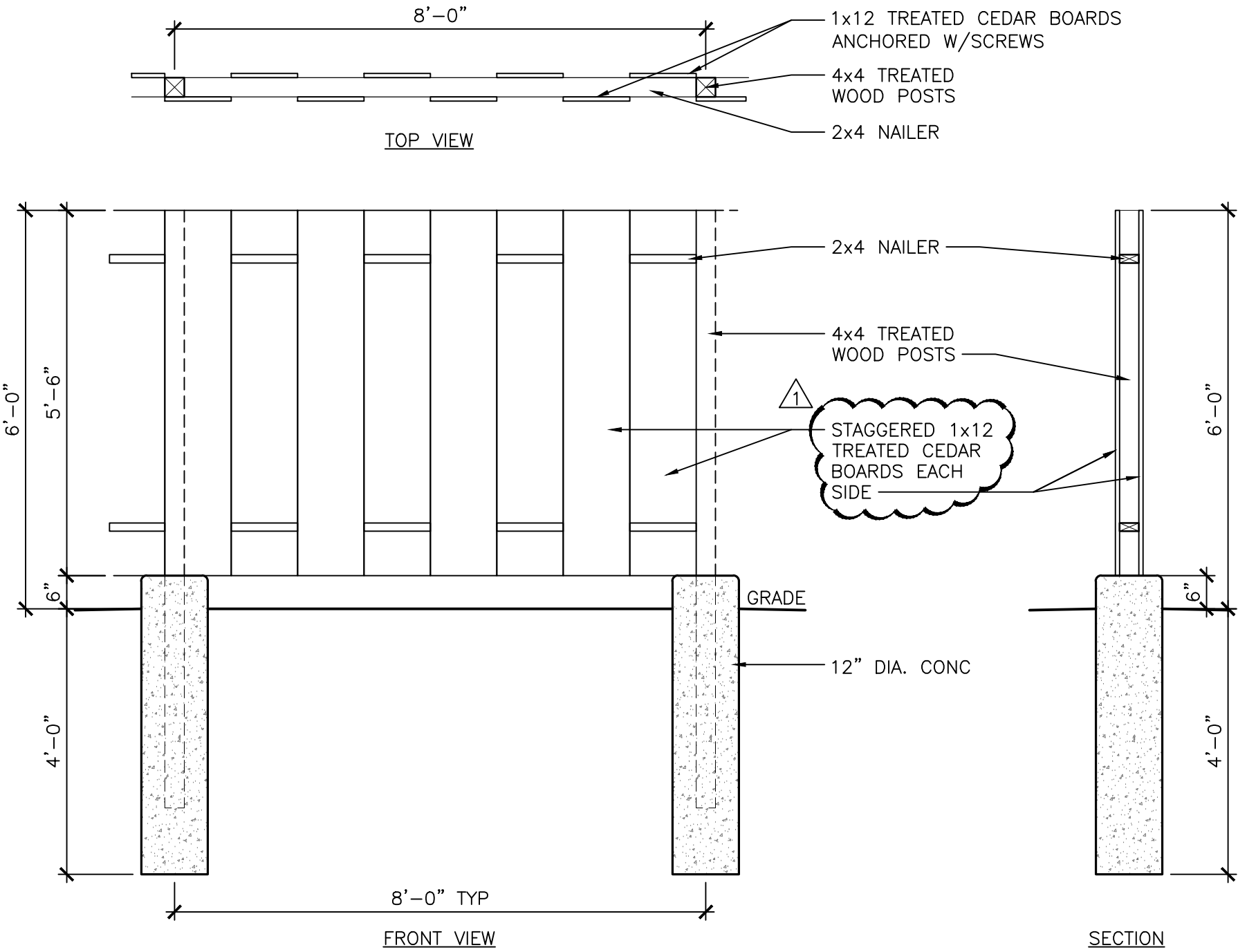
SP1.1



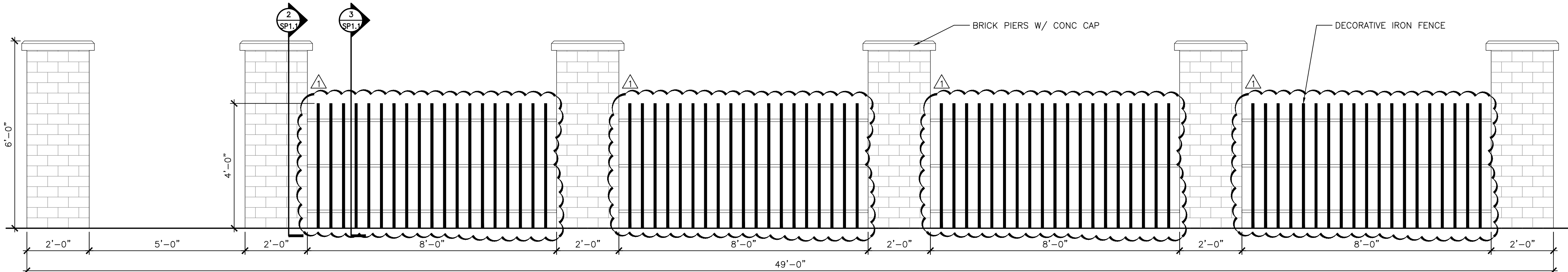
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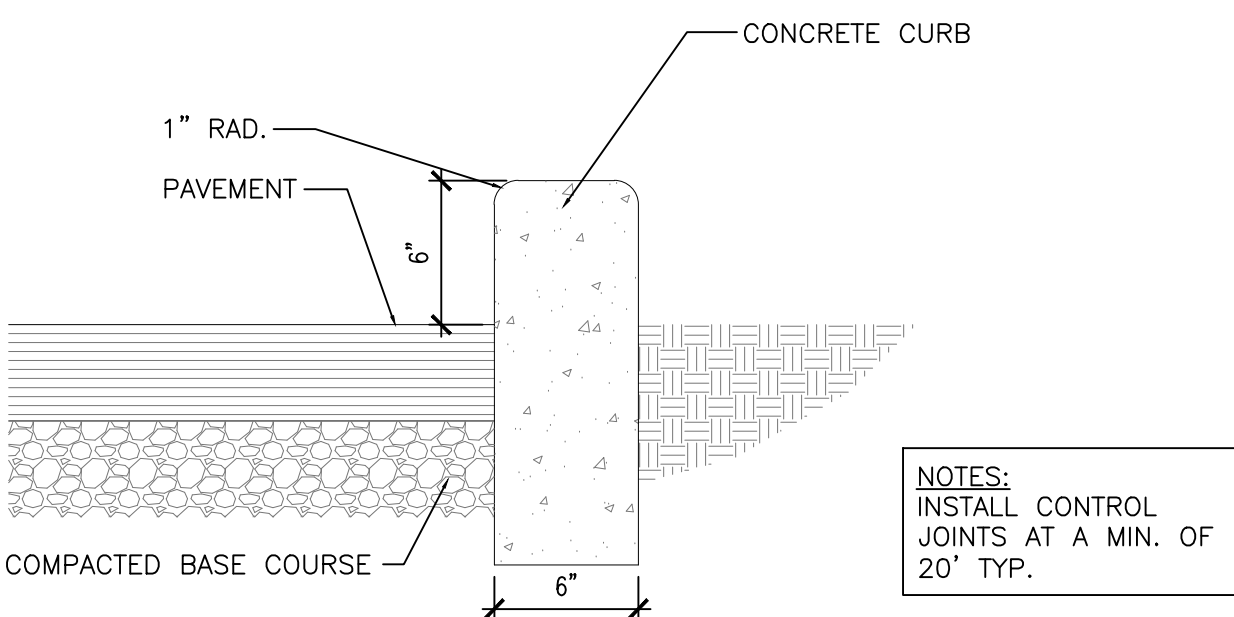
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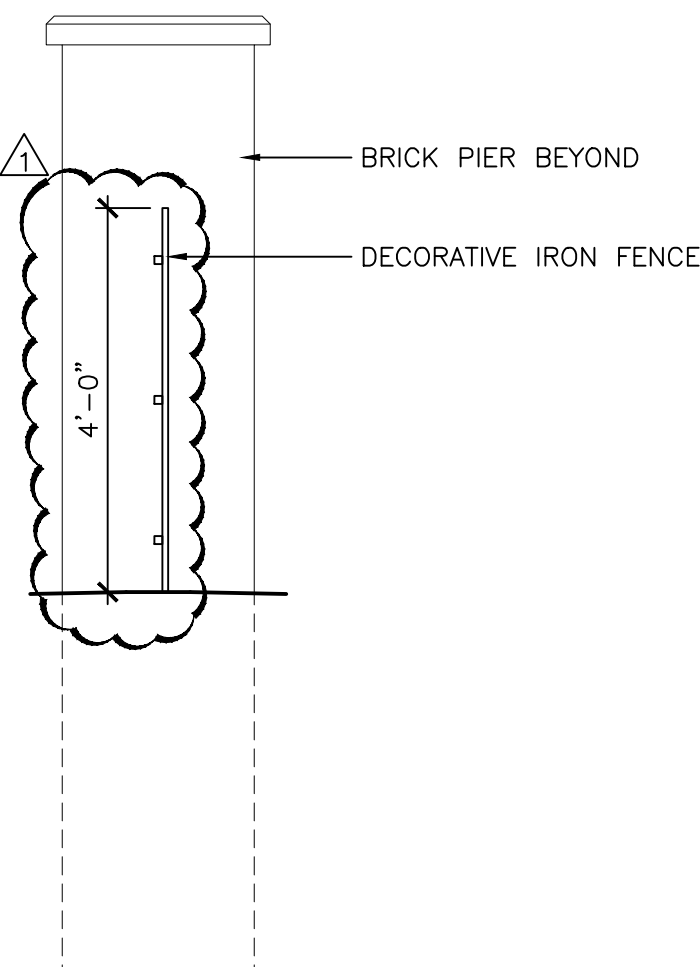
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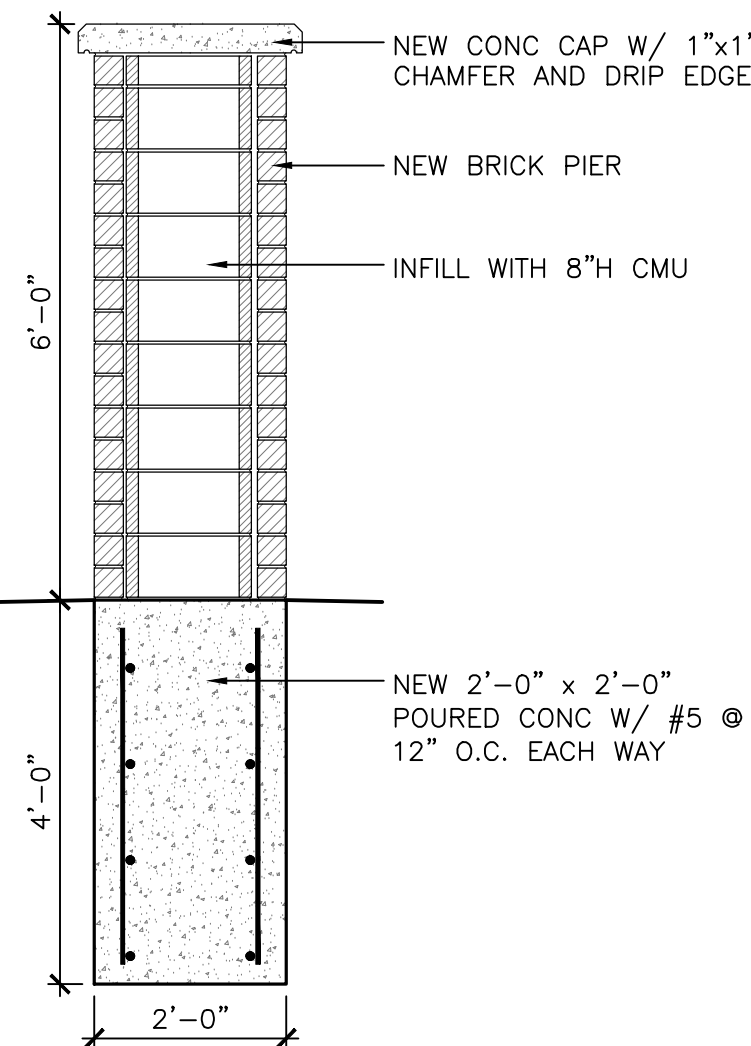
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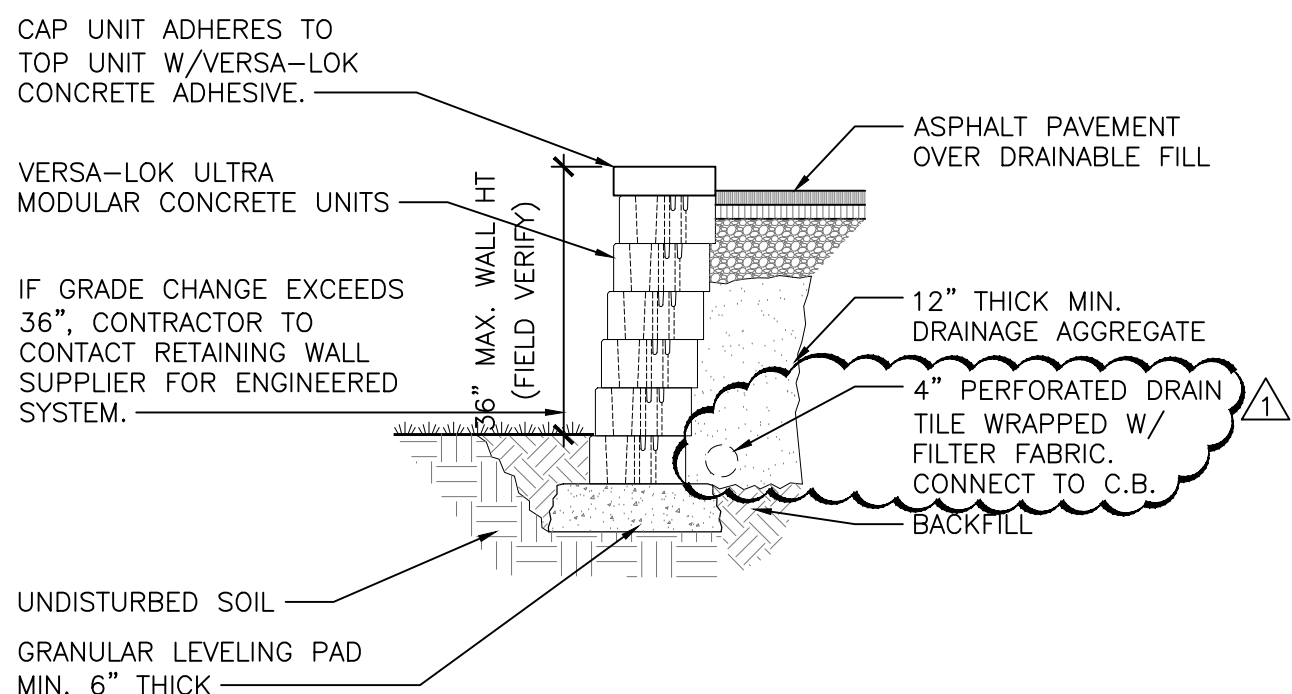
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