



City of West Allis

Meeting Agenda

Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Thursday, December 14, 2023

5:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING

A. CALL TO ORDER

B. ROLL CALL

C. APPROVAL OF MINUTES

1. [23-0715](#) October 25, 2023 (draft minutes)

Attachments: [October 25, 2023 \(draft minutes\)](#)

D. NEW AND PREVIOUS MATTERS

- 2A. [23-0745](#) Conditional Use Permit for West Allis Food Truck Park, a proposed Restaurant, at 8443 W. Cleveland Ave.
- 2B. [23-0746](#) Site, Landscaping, and Architectural Design Review for West Allis Food Truck Park, a proposed Restaurant, at 8443 W. Cleveland Ave. (Tax Key No. 517-0346-000)
Attachments: [\(CUP-SLA\) West Allis Food Truck Park](#)
- 3A. [23-0747](#) Conditional Use Permit for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave.
- 3B. [23-0748](#) Site, Landscaping, and Architectural Design Review for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave. (Tax Key No. 454-0122-001)
Attachments: [\(CUP-SLA\) Bars & Rec - 6325 W Nat'l Ave.](#)
- 4A. [23-0749](#) Conditional Use Permit for Las Cazuelas Chilaquiles & Taco Bar, a proposed restaurant, at 6738 W. Greenfield Ave.
- 4B. [23-0750](#) Site, Landscaping, and Architectural Plans for Las Cazuelas Chilaquiles & Taco Bar, a proposed restaurant, at 6738 W. Greenfield Ave. (Tax Key No. 439-0001-014).
Attachments: [\(CUP-SLA\) Las Cazuelas - 6738 W Greenfield Ave.](#)

5. [23-0751](#) Certified Survey Map to combine the existing parcels at 7801 W. Greenfield Ave. and 14** S. 78th St. into 1 parcel. (Tax Key Nos. 452-0566-000 and 452-0567-000)
Attachments: [\(CSM\) 7801 W Greenfield Ave](#)
6. [23-0752](#) Ordinance to rezone the property located at 2211 S. 60th St. from RB to RC (Tax Key No. 475-0558-001)
Attachments: [\(ORD\) 2211 S 60th St](#)
7. [23-0753](#) Ordinance to Amend Section 19 of the West Allis Revised Municipal Code, relative to allowing certain animal services as limited uses and defining rummage sales.
Attachments: [\(ORD\) Zoning Code Updates](#)
8. [23-0754](#) Sign Plan Appeal for La Salsa, a proposed restaurant, at 8129 W. Greenfield Ave. (Tax Key No. 452-0358-000)
Attachments: [\(SIGN\) La Salsa - 8129 W Greenfield Ave.](#)
9. [23-0755](#) Comprehensive Plan update.
10. [23-0756](#) Project Tracking update.

E. ADJOURNMENT



All meetings of the Plan Commission are public meetings. In order for the general public to make comments at the committee meetings, the individual(s) must be scheduled (as an appearance) with the chair of the committee or the appropriate staff contact; otherwise, the meeting of the committee is a working session for the committee itself, and discussion by those in attendance is limited to committee members, the mayor, other alderpersons, staff and others that may be a party to the matter being discussed.

NOTICE OF POSSIBLE QUORUM

It is possible that members of, and possibly a quorum of, members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

NON-DISCRIMINATION STATEMENT

The City of West Allis does not discriminate against individuals on the basis of race, color, religion, age, marital or veterans' status, sex, national origin, disability or any other legally protected status in the admission or access to, or treatment or employment in, its services, programs or activities.

AMERICANS WITH DISABILITIES ACT NOTICE

Upon reasonable notice the City will furnish appropriate auxiliary aids and services when necessary to afford individuals with disabilities an equal opportunity to participate in and to enjoy the benefits of a service, program or activity provided by the City.

LIMITED ENGLISH PROFICIENCY STATEMENT

It is the policy of the City of West Allis to provide language access services to populations of persons with Limited English Proficiency (LEP) who are eligible to be served or likely to be directly affected by our programs. Such services will be focused on providing meaningful access to our programs, services and/or benefits.



City of West Allis Meeting Minutes Plan Commission

7525 W. Greenfield Ave.
West Allis, WI 53214

Wednesday, October 25, 2023

6:00 PM

City Hall, Room 128
7525 W. Greenfield Ave.

REGULAR MEETING (draft minutes)

A. CALL TO ORDER

B. ROLL CALL

Present 9 - Wayne Clark, Brian Frank, Eric Torkelson, Jessica Katzenmeyer, Dan Devine, Brandon Reinke, Kathleen Dagenhardt, David Raschka, Lisa Coons

Others Attending

Ald Weigel, Patrick Schloss, Dan Beyer, Sean Maher, Angie Tabrizi, Bob Monnat, Ken Peters, Adriane Davis

Staff

Steve Schaer, AICP, Manager of Planning and Zoning
Zac Roder, AICP, Lead Planner
Jack Kovnesky, Planner

C. APPROVAL OF MINUTES

1. [23-0676](#) September 27, 2023 (draft minutes)

Attachments: [September 27, 2023 \(draft minutes\)](#)

Katzenmeyer moved to approve this matter, Dagenhardt seconded, motion carried.

D. NEW AND PREVIOUS MATTERS

- 2A. [23-0680](#) Conditional Use Permit for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St.

Jack Kovnesky presented.

2A & 2B were taken together.

Clark moved to approve this matter, Frank seconded, motion carried.

- 2B. [23-0681](#) Site, Landscaping, and Architectural Design Review for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000)

Attachments: [\(CUP-SLA\) SoNa Lofts Phase 2- 6600 W Mitchell St.](#)

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for SoNa Lofts Phase 2, a proposed 5+ Unit Dwelling, at 6600 W. Mitchell St. (Tax Key No. 454-0656-000) subject to the following conditions:

1. *Revised Site, Landscaping, and Architectural plans submitted to show the*

following: a) at least 1 outdoor bicycle parking spaces and 10 indoor bicycle parking spaces to comply with Sec. 19.44 Vehicle Parking; b) show passageway from accessible parking stall to entrance door; c) additional design elements on the west façade for enhanced visual interest.

2. A surety bond or other form of security as required under Sec. 12.13(14) of the Revised Municipal Code in the amount of 125% of landscaping and screening shall be executed by the applicant prior to the issuing of a building permit.
3. Common Council approval of the Conditional Use permit.

Clark moved to approve this matter, Frank seconded, motion carried.

3A. [23-0682](#)

Conditional Use Permit for Checker's, a proposed Restaurant with accessory drive-through service, at 11013 W. Greenfield Ave.

Jack Kovnesky presented.

3A & 3B were taken together.

Raschka moved to approve this matter, Frank seconded, motion carried.

3B. [23-0683](#)

Site, Landscaping, and Architectural Design Review for Checker's, a proposed Restaurant with accessory drive-through service, at 11013 W. Greenfield Ave. (Tax Key No. 448-9993-009)

Attachments: [\(CUP-SLA\) Checker's- 11013 W Greenfield Ave.](#)

Recommendation: Approve the Site, Landscaping, and Architectural Design Review for Checker's, a proposed Restaurant with accessory drive-through service, at 11013 W. Greenfield Ave. (Tax Key No. 448-9993-009) subject to the following conditions:

(Item 1-2 are required to be satisfied prior to the issuance of permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (scheduled for November 14, 2023).
2. Submit revised site, landscaping, and architectural plans to the Planning & Zoning office to show the following: a) replace EIFS with higher quality building material; b) removal of 1 parking space to comply with Sec. 19.44(2); c) addition of outdoor bike rack to comply with Sec. 19.44(3); d) landscaping planting plan approved by City Forestry e) incorporate an internal pedestrian walkway across the parking area (per Festival site plan approval) and connecting properties to W. Greenfield Ave. from the new internal walkways.

Raschka moved to approve this matter, Frank seconded, motion carried.

4A. [23-0684](#)

Conditional Use Permit for Nico's Authentic Premium Pizza, a proposed Restaurant, at 9638 W. National Ave.

Zac Roder presented.

4A & 4B taken together.

Clark moved to approve this matter, Katzenmeyer seconded, motion carried.

4B. [23-0685](#)

Site, Landscaping, and Architectural Design Review for Nico's Authentic Premium Pizza, a proposed Restaurant, at 9638 W. National Ave. (Tax Key No. 479-0430-001)

Attachments: [\(CUP-SLA\) Nicos Authentic Premium Pizza - 9638 W National Ave](#)

Recommendation: Approval of the Site, Landscaping, and Architectural Design Review for Nico's Authentic Premium Pizza, a proposed Restaurant, at 9638 W. National Ave. (Tax Key No. 479-0430-001) subject to the following conditions:

1. *Landscaping maintenance in accordance with approved landscaping plan.*
2. *Repaint portions of façade showing significant wear.*
3. *Common Council approval of the Conditional Use Permit.*

Clark moved to approve this matter, Katzenmeyer seconded, motion carried.

5. [23-0686](#)

Site, Landscaping, and Architectural Design Review for Pan-Asia Supermarket, a proposed General Retail use, at 6900 W. Greenfield Ave. (Tax Key No. 439-0001-007)

Attachments: [\(SLA\) Pan-Asia Grocery - 6900 W Greenfield Ave.](#)

Steve Schaer presented.

Recommendation: Approval of the Site, Landscaping, and Architectural Design Review for Pan-Asia Supermarket, a proposed General Retail use, at 6900 W. Greenfield Ave. (Tax Key No. 439-0001-007) subject to the following conditions:

1. *Submit revised site, landscaping, and architectural plans to the Planning & Zoning office to show the following: a) a detail of the proposed exterior wood screens in steel frames on the facade; b) rooftop plan and screening material details; (c) cart corral details; (d) curb extension added along storefront pedestrian walkway near W. Greenfield Ave.*
2. *A driveway permit being applied for with City Engineering Department for work within the City Right-of-Way.*
3. *Signage plans being submitted for sign permit review.*

Frank moved to approve this matter, with curb extension design, Katzenmeyer seconded, motion carried.

6. [23-0687](#)

Sign appeal for Landmark Credit Union located at 9515 W. National Ave. (Tax Key No. 486-0099-001)

Attachments: [\(SIGN\) Appeal LCU - 9515 W National Ave.](#)

Steve Schaer presented.

Recommendation: Approval of the Sign appeal for Landmark Credit Union located at 9515 W. National Ave. (Tax Key No. 486-0099-001).

Raschka moved to approve this matter, Dagenhardt seconded, motion carried.

- 7. [23-0688](#) Comprehensive Plan update.

This matter was Discussed.

- 8. [23-0689](#) Project Tracking update.

This matter was Discussed.

- 9. [23-0690](#) Discussion: November/December Plan Commission meeting date.

This matter was Discussed.

E. ADJOURNMENT

There being no other business, a motion was made by Katzenmeyer, seconded by Frank to adjourn at 649 p.m.



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**STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, December 14, 2023
5:00 PM**

Watch: <https://www.youtube.com/user/westalliscitychannel>

2A. Conditional Use Permit for West Allis Food Truck Park, a proposed Restaurant use, at 8443 W. Cleveland Ave. (Tax Key No. 517-0346-000)

2B. Site, Landscaping, and Architectural Design Review for West Allis Food Truck Park, a proposed Restaurant use, at 8443 W. Cleveland Ave. (Tax Key No. 517-0346-000)

Overview and Zoning

The owners of Michael's Family Restaurant are proposing a food truck park on a vacant parking lot just west of the existing Michael's restaurant on the parcels at 8443 & 84** W. Cleveland Ave.

The planned concept would offer space for 6 food trucks along with a 3-season bar and coffee vendor stall. Outdoor seating and yard games are also provided on site. The targeted completion date for the project is April 1st with a tentative opening in Mid-April.

Hours: state within their application but subject to conditional use and licensing consideration are as follows:

Bar:

- Sunday-Thursday: 10am – 9pm
- Friday-Saturday: 10am – 11pm

Food Trucks:

- Sunday-Thursday: 11am – 8pm
- Friday-Saturday: 11am – 10pm

The property is zoned C-2 commercial district. Restaurants are Conditional Uses in the C-2 district.

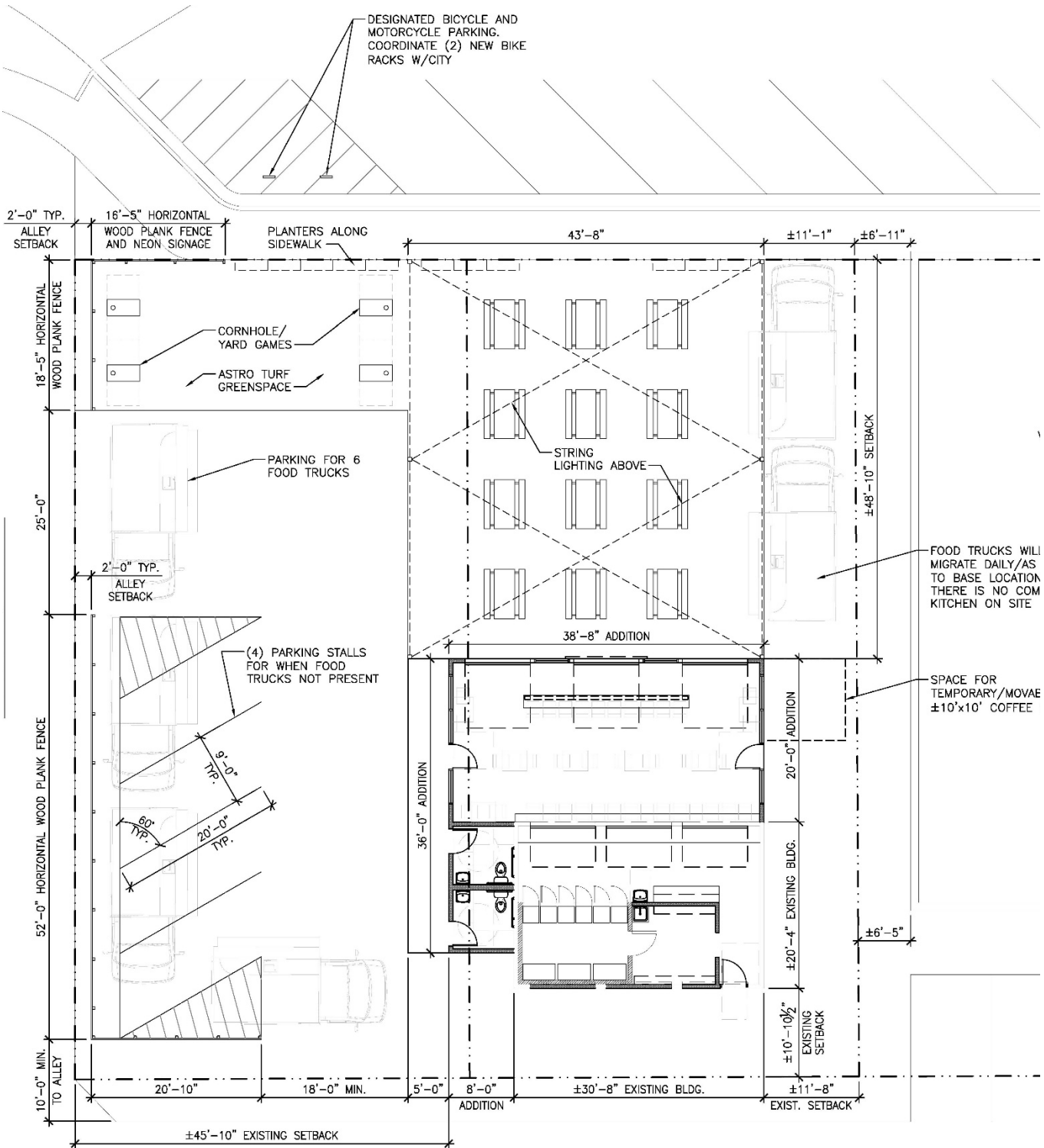




Site and Landscaping Plan:

The existing site is the space of a parking lot with a 3-car garage utilized for storage. The proposal shows the existing garage expanding with a 3-season room that will be utilized as a tavern with bar service and table seating. In between the existing parking lot and the tavern will be an outdoor seating area along with yard games situated upon astroturf. Two food trucks are placed in between the outdoor seating area and the existing building to the east of the lot. A temporary coffee stall is also shown in between the existing building and tavern. Access to the public alley for these two food trucks is hindered by the location of the proposed coffee stand. Another option for these two food trucks to maneuver in and out of their respective spaces is via temporary ramps into the front parking area. The property owner will be held responsible for potential damage to the sidewalk and parking area. To avoid these issues, staff recommends locating the coffee stand on a different area of the site. Four other food trucks are also shown on the site lining the alley on the west and south sides of the property. These four food trucks will access the site via the public alley. Electrical hook-ups are shown on the plan and will be required, providing power to food trucks.

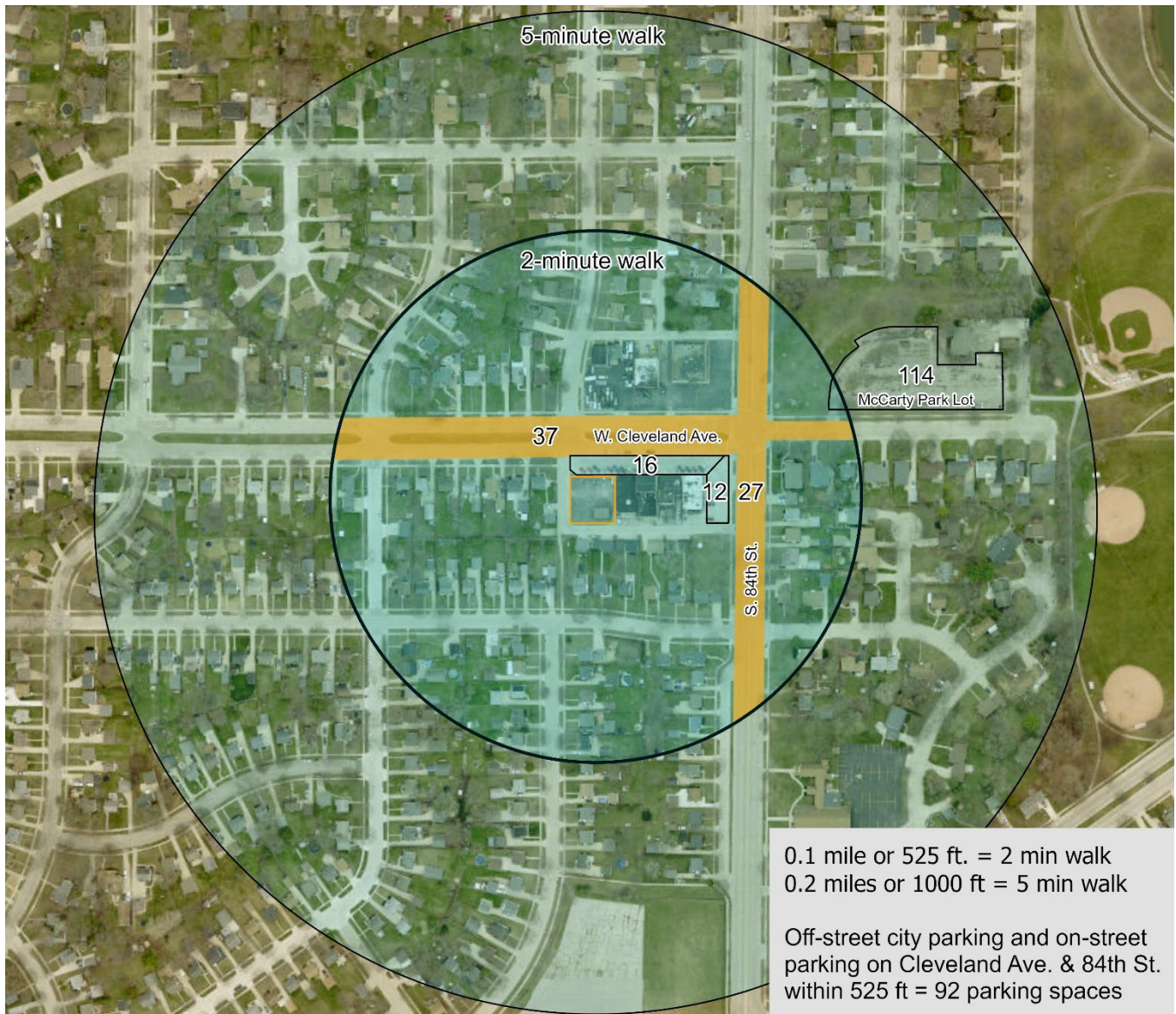
The existing use of the property offers minimal opportunities for natural landscaping. However, planters are shown along the sidewalk. Additionally, decorative elements such as patio style string lights across the outdoor seating area. A wood plank fence is shown buffering the food truck park from the public alley.



EXISTING ALLEY

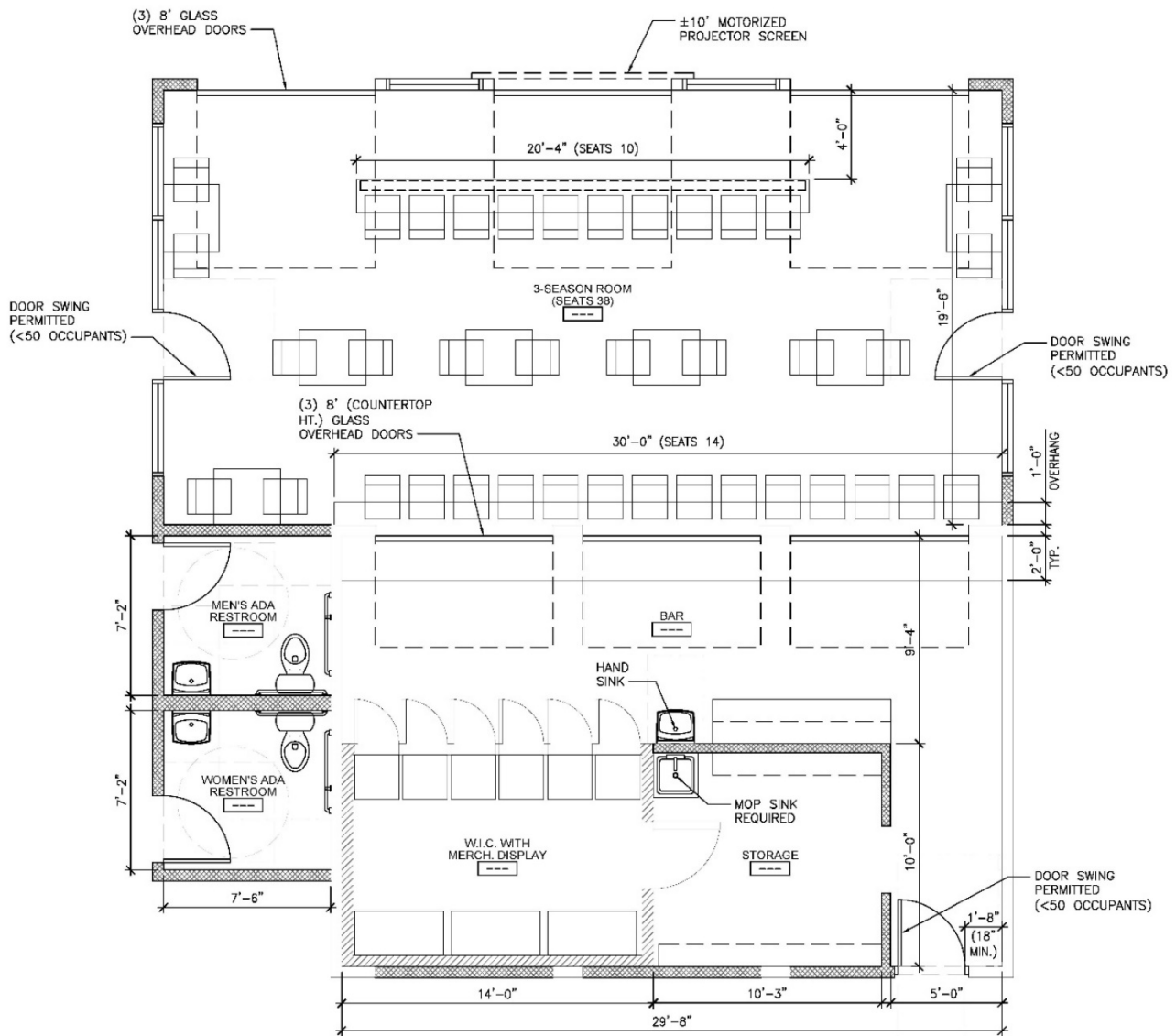
Parking

Two bicycle racks are shown in the existing parking lot to the north. Vehicle parking is not included with the project. However, the shared parking lot directly north of the parcels, street parking along W. Cleveland Ave. & S. 84th St., and the City owned parking lot on the southwest corner of 84th St. and Cleveland Ave. may be utilized. These parking areas equate to 92 parking stalls within a two-minute walk (0.1 miles) from the food truck park. Additional parking may be utilized within the McCarty Park parking lot, which has a capacity for 114 vehicles. The existing parking lot directly north is currently City right-of-way and could someday be considered for discontinuance/vacation.



Floor Plan

The existing garage is to be utilized primarily as storage area for the restaurant and tavern operations. A walk-in cooler is shown along with a general storage area and back of bar area. The expansion of the garage shows a 3-season room with table and bar seating. The expanded bar area is accessible by multiple doors. Additionally, two ADA restrooms are shown on the expanded portion of the proposed building.



FLOOR PLAN

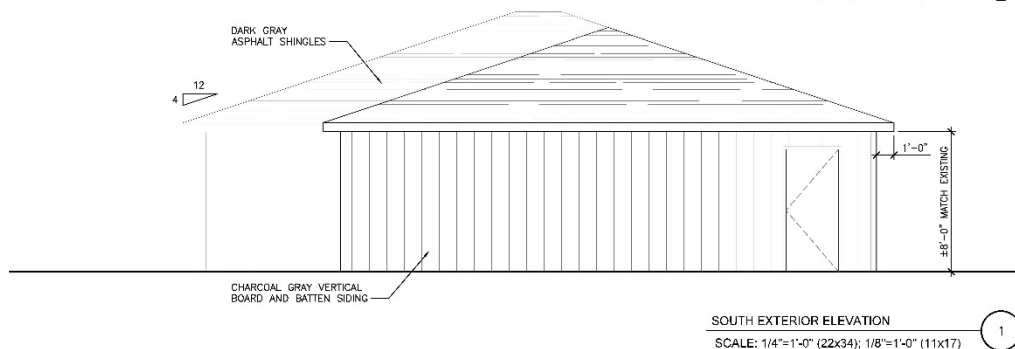
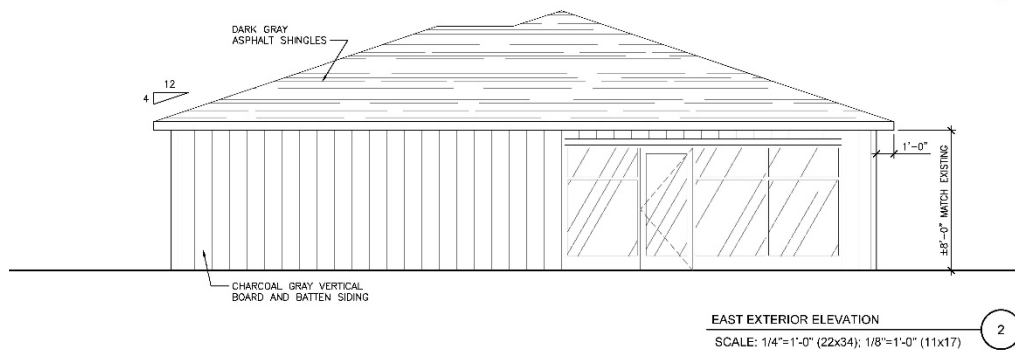
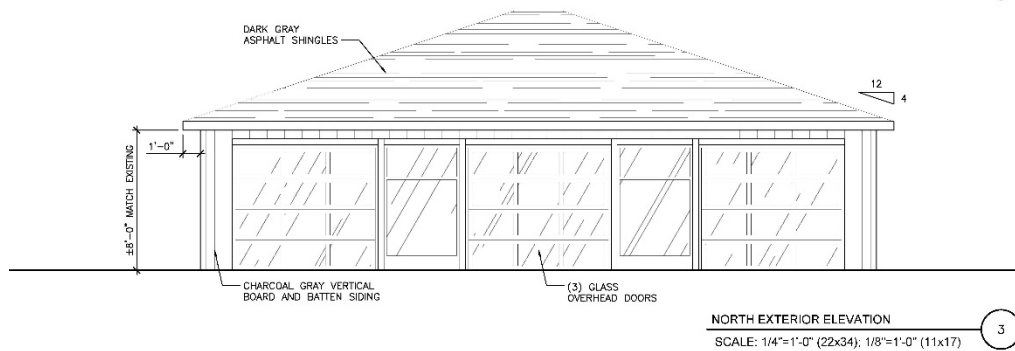
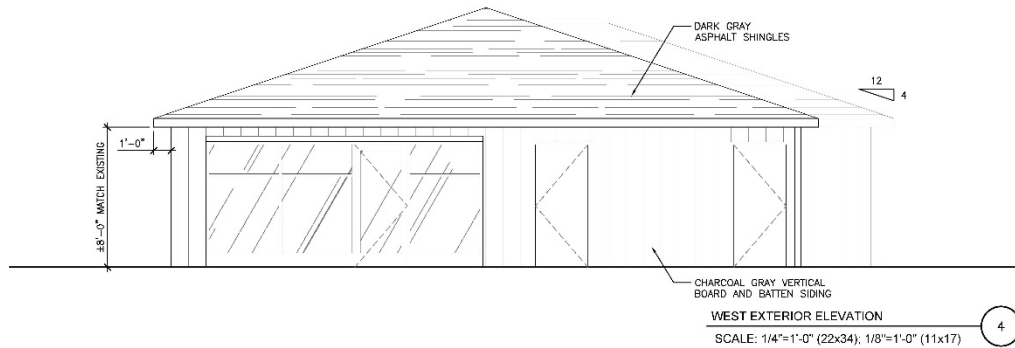
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



Architectural Plan

The proposed building expansion consists of a one-story building matching the height of the existing building. The north façade shows three glass overhead doors used for entrance to the bar area with large windows between them. The north façade is cornered with charcoal gray vertical board and batten siding that continues around the building. The west façade shows a continuation of the large windows along with a glass entry door. Two additional doors are shown for access to the bathrooms. The south façade facing the public alley shows siding along with one door. The east façade shows a glass entry door along with three large glass windows near the northern corner. Dark gray asphalt shingles cover the roof of the building, complementing the siding of the building.





Design Guidelines

The project is an adaptive reuse.

Recommendation: Common Council approval of the conditional use and approval of the Site, Landscaping, and Architectural Design Review for West Allis Food Truck Park, a proposed Restaurant use, at 8443 W. Cleveland Ave. (Tax Key No. 517-0346-000) subject to the following conditions:

(Item 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit.
2. Details on refuse location, frequency of pick-up by commercial hauler.
3. Electrical service being provided on site to support operations.
4. Submittal of a certified survey map to combine the parcels at 8443 W. Cleveland Ave. and 84** W. Cleveland Ave.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, December 14, 2023
5:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 3A. Conditional Use Permit for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave.
- 3B. Site, Landscaping, and Architectural Design Review for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave. (Tax Key No. 454-0122-001)

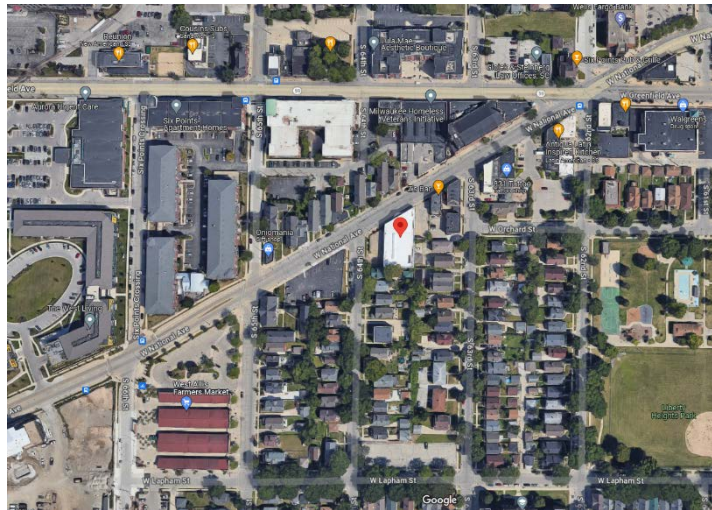
Overview and Zoning

Bars and Recreation is a group of activity bars offering immersive experiences with cutting-edge activities, creative drinks, and customer service. Bars and Rec has purchased the former Cas-Tech building at 6325 W. National Ave. in April of 2022.

The concept planned for the West Allis location would offer an entertainment destination for groups of 2-6 players per area, combinable for large groups of up to 50 (half the facility) or 100 (entire facility) playing at the same time. Playing areas can be reserved in blocks of 1.5 hours for small groups or 3+ hours for larger groups. Like all Bars & Rec facilities, the concept will be designed as a fully immersive experience including custom-built playing areas, equipment, and décor. The percentage of sales related to the types of business planned on site include 60% entertainment, 25% alcohol, 10% food, and 5% other/retail.



Existing building 6325 W. National Ave. built in 1948



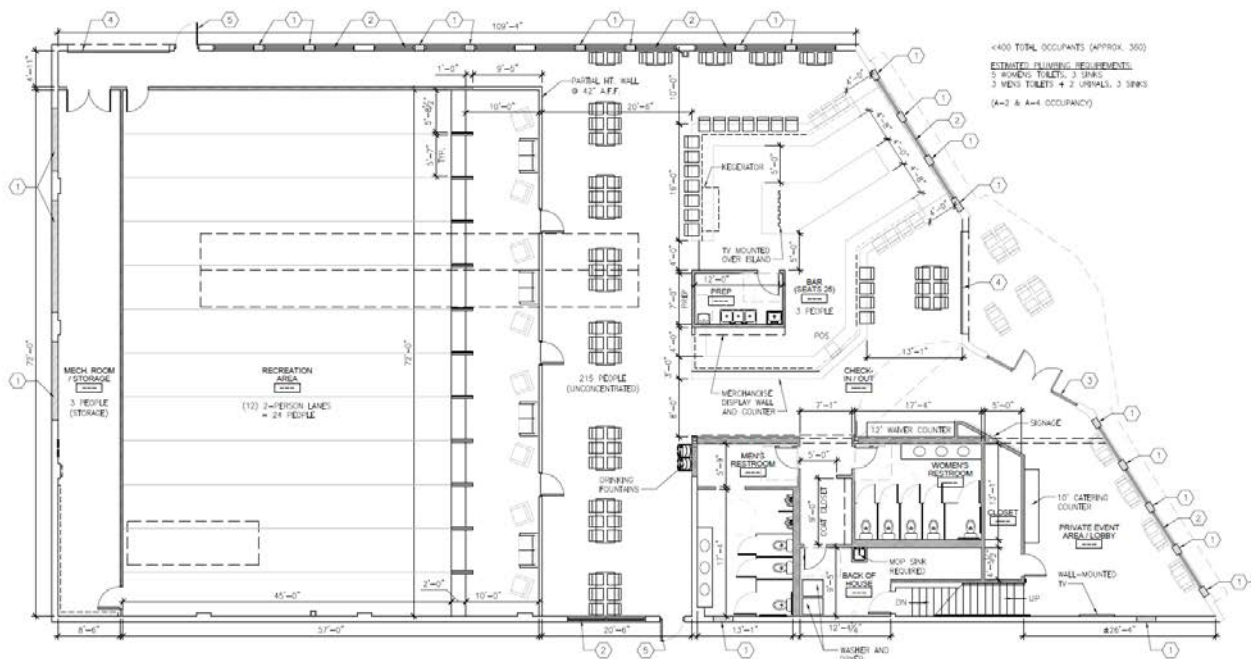
Hours: open to the public Wednesday-Sunday from approximately 4:00pm-midnight on weeknights, and 11:00am-1:00am on weekends. The establishment may also be open Mondays and Tuesdays after demand becomes more stable.

The property is zoned C-3 commercial district and while a tavern is considered a permitted use (and regulated under the existing class B license), the indoor recreation use is a conditional use within the C-3 commercial zoning district. The zoning definition of indoor recreation is a primary function of the business where individual customers and groups will assemble, typically by appointment, to play games of skill for entertainment purposes.

The project schedule ahead includes a public hearing being conducted first on December 12 @ 7pm, and then followed by Planning Commission on December 14 @ 5pm. It's a bit different from typical order, but with our end of year meeting schedule being limited, Planning has recommend advancing in this manner to expedite the public notice and participation process in advance of the Planning Commission. Plan Commission design review consideration being conducted on December 14th.

Bars and Recreation anticipates construction being commenced in the first quarter of 2024 with a soft opening contemplated in Spring. A project description provided by the applicant is included with this staff report.

Floor Plan - The overall building is about 12,450-sf which includes a nearly 1,600-sf mezzanine. Floor areas will be remodeled from their prior industrial use to include a customer lobby, bar, seating areas, entertainment/play area, and a mezzanine for special events.



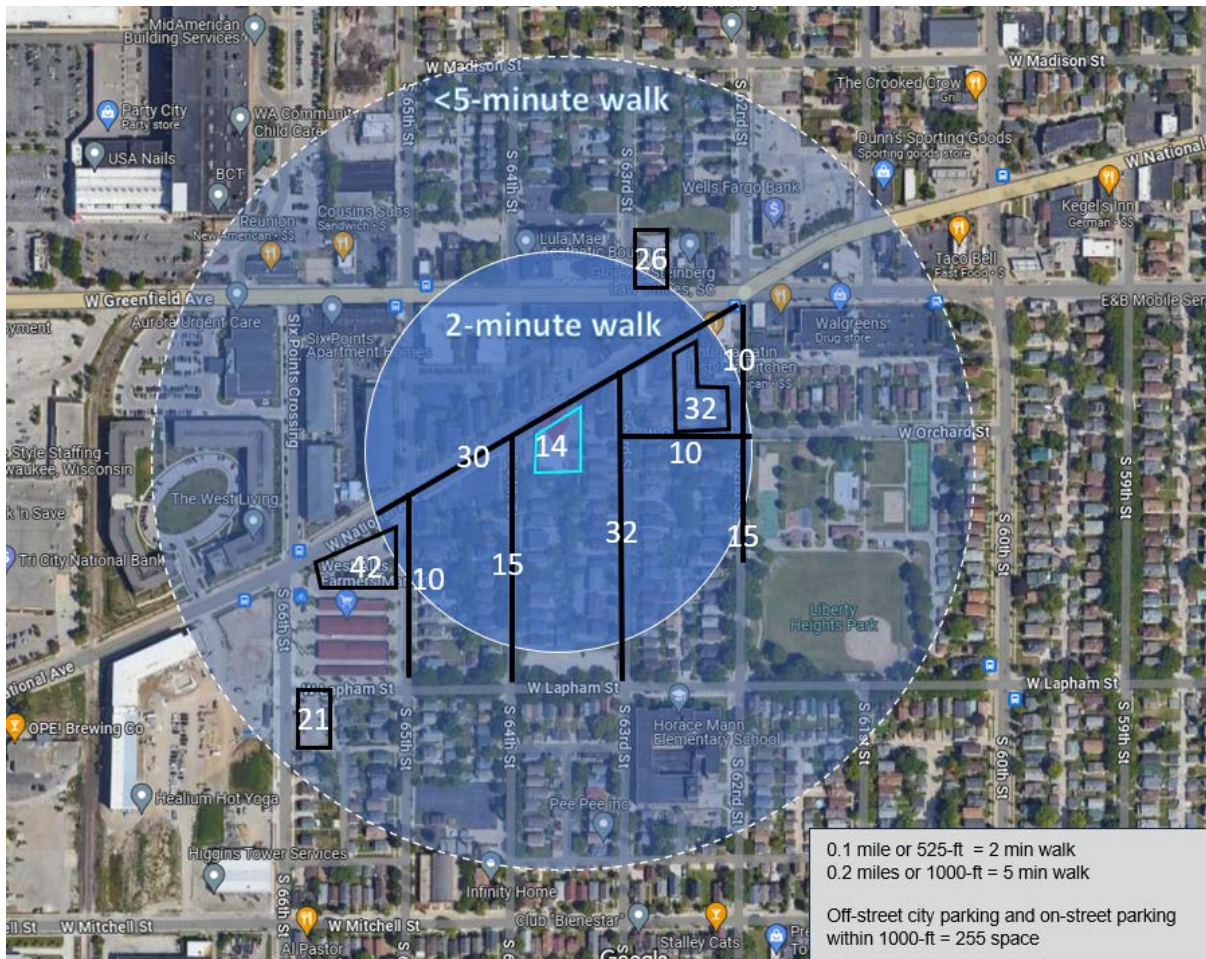
FIRST FLOOR PLAN

SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)



FLOOR PLAN KEYNOTES	
1	BLOCK INFILL EXISTING OPENING.
2	REPLACE EXISTING WINDOW.
3	NEW STOREFRONT ENTRANCE.
4	REPLACE EXISTING GARAGE DOOR.
5	PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.

The overall floor area from an occupancy standpoint will be about 360 people. The recreation area will feature 12, 2-person lanes (24 people) with adjacent viewing and seating area for 215 people (unconcentrated). The bar area seats 25, and additional seating will be located in the front lobby and a few tables are shown outside in front of the building. The mezzanine level will offer a special event area for 49 people. Staff notes that there are about 250 parking spaces within 1000-ft of the property. This includes city parking lots, the subject B&R property, and on-street parking.



Site and Landscaping

There are two accessory off-street parking lots on each side (east and west) of the building. The west lot will feature 6 parking spaces (includes one ADA stall) and is accessible from S. 64 St. and the east lot has 8 parking spaces and is accessible from W. National Ave.

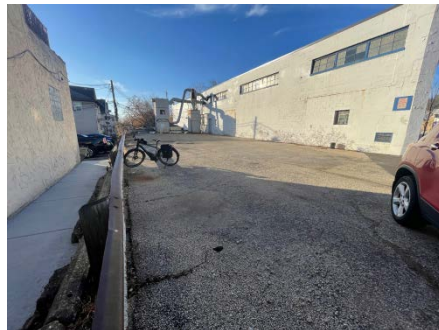
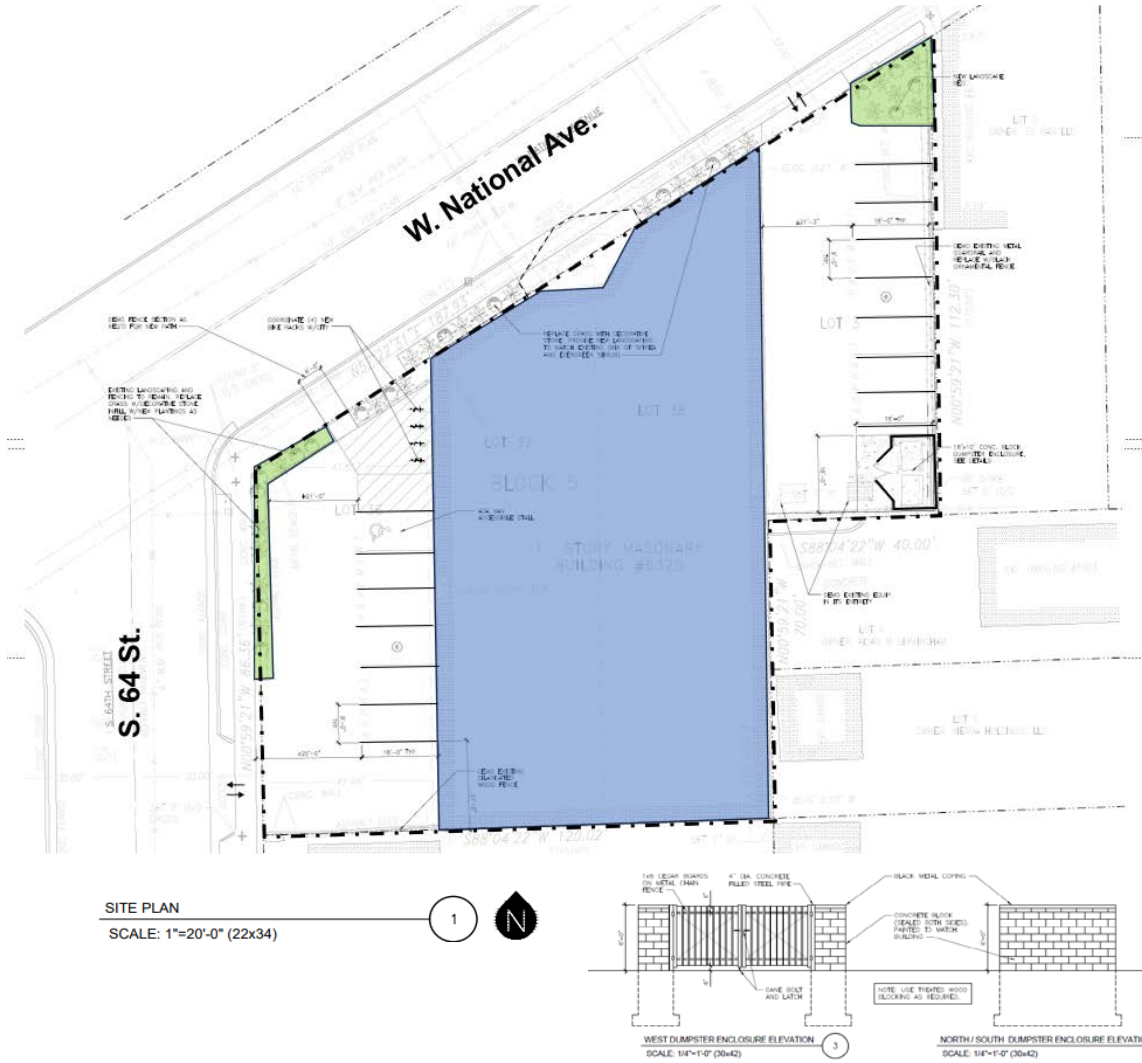
East parking lot - The existing guardrail along the east side of the property will be removed, and a new decorative black metal fence will be installed around the east and south perimeter of the parking lot. A new landscaping bed will also be installed at the NE corner of the property. Staff is recommending that the landscaping plan include a schedule to identify species and quantity on site.

West parking lot – The existing west parking lot features a black ornamental fence and landscaping. These features will remain but be modified to infill and freshen up the landscaping, and also to remove a section of fencing to allow for direct access to/from the front door of the building to the parking lot. An



old section of fencing and pipe railing on the very south end of the parking lot will be removed. On the north end of the parking lot near W. National Ave. 4 bike racks will be installed and also a new ADA parking space with accessible aisle.

The refuse area will be located on the east side of the building and enclosed within a 4-sided enclosure. A former Cas-Tech filtration system will be removed from the site (currently in the east parking area).



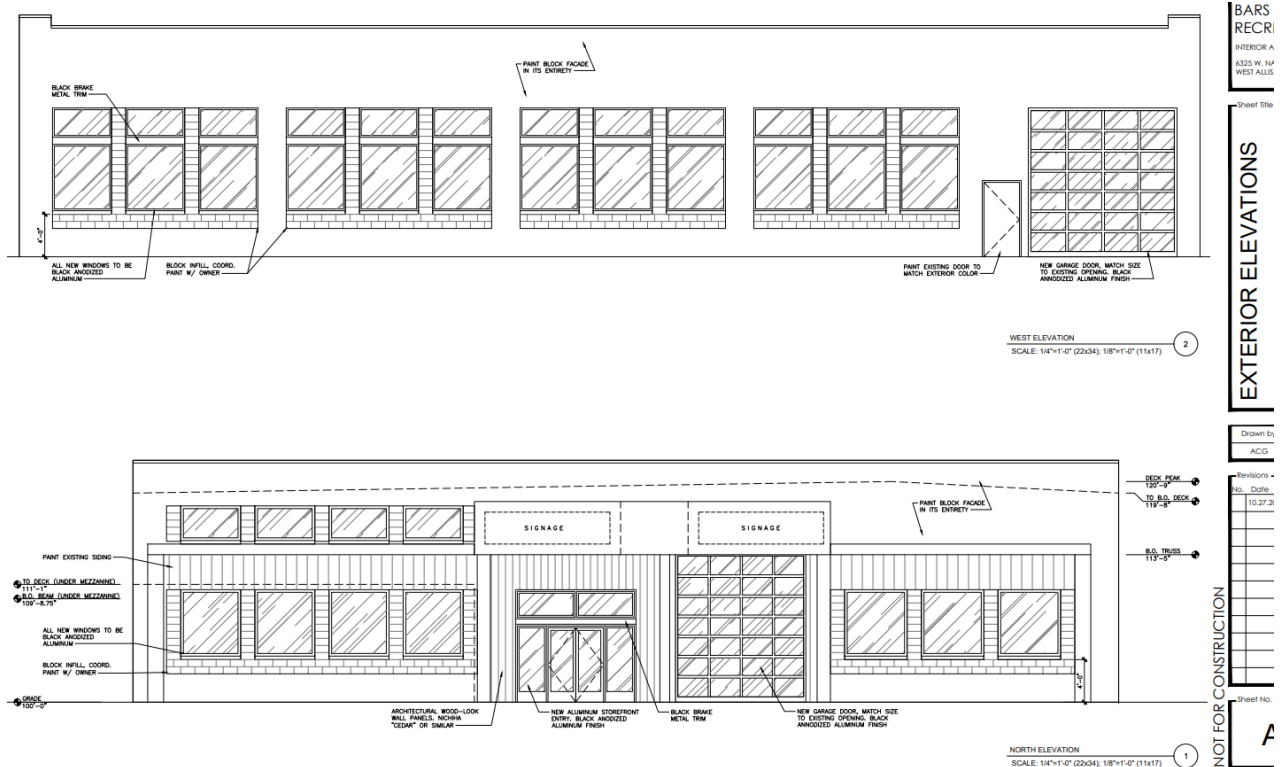
The redesigned W. National Ave. corridor streetscape was completed and reopened over the summer. The new public sidewalk fronts alongside the north side of the building, a new hardscaped terrace area, street trees, and curb extension are featured along the street frontage. The site/landscaping plan should reflect the new streetscape geometry. Any proposed outdoor seating areas will need to be located so as to not impede passage of pedestrian foot-traffic along the city sidewalk.



Architectural

Overall, the architectural presentation is a welcome change for this adaptive reuse of a former light industrial building. The following staff comment (also reflected in the recommendation):

- As proposed in the plan submittal, the existing window openings will be reduced in size to accommodate the new window systems. Staff isn't opposed to the removal of existing glass block but is recommending the applicant install a new window that fits the existing opening vs. cement block infill of openings (and smaller windows) on north and west facades. Our preference is to preserve existing opening size with a similar but more modern/energy efficient "shop window."



Exterior materials include repainting the overall building (cement block and metal siding), new business signage (upon existing projecting canopy/marquee), new windows, new siding materials within the main entry area ([nichiha](#) "cedar" or similar fiber cement product). The south and east elevations will offer infill of existing openings.



Recommendation: Common Council approval of the conditional use and approval the Site, Landscaping, and Architectural Design Review for Bars & Recreation, a proposed Recreation (indoor) and Tavern use, at 6325 W. National Ave. (Tax Key No. 454-0122-001), subject to the following conditions:

(Item 1-2 are required to be satisfied prior to the issuance of building permits associated with the proposed work reviewed by Plan Commission. Contractors applying for permits should be advised accordingly.)

1. Common Council approval of the Conditional Use Permit (Public Hearing December 12, 2023).
2. Revised site, landscaping, and architectural plans being submitted to the Planning and Zoning Office to show the following: (a) new windows that fit existing openings on north and west facades; (b) evaluate structural integrity of retaining wall and adjacent parking lot, abate any rodent issues, and repair/replace as necessary; (c) new metal fence details being provided; (d) site and landscaping plan revisions to accurately show W. National Ave. streetscape as built; (e) landscaping plan to include a schedule to identify species and quantity on site;.
3. Signage and exterior lighting plans being submitted to the Planning and Zoning Office for permit design review.

BARS & RECREATION - INTERIOR ALTERATION

6325 W. NATIONAL AVENUE | WEST ALLIS, WI 53214



Architect
259 South Street, Suite A
WAUKESHA, WI 53186
P: 833-380-6180

Project Info. — 23151

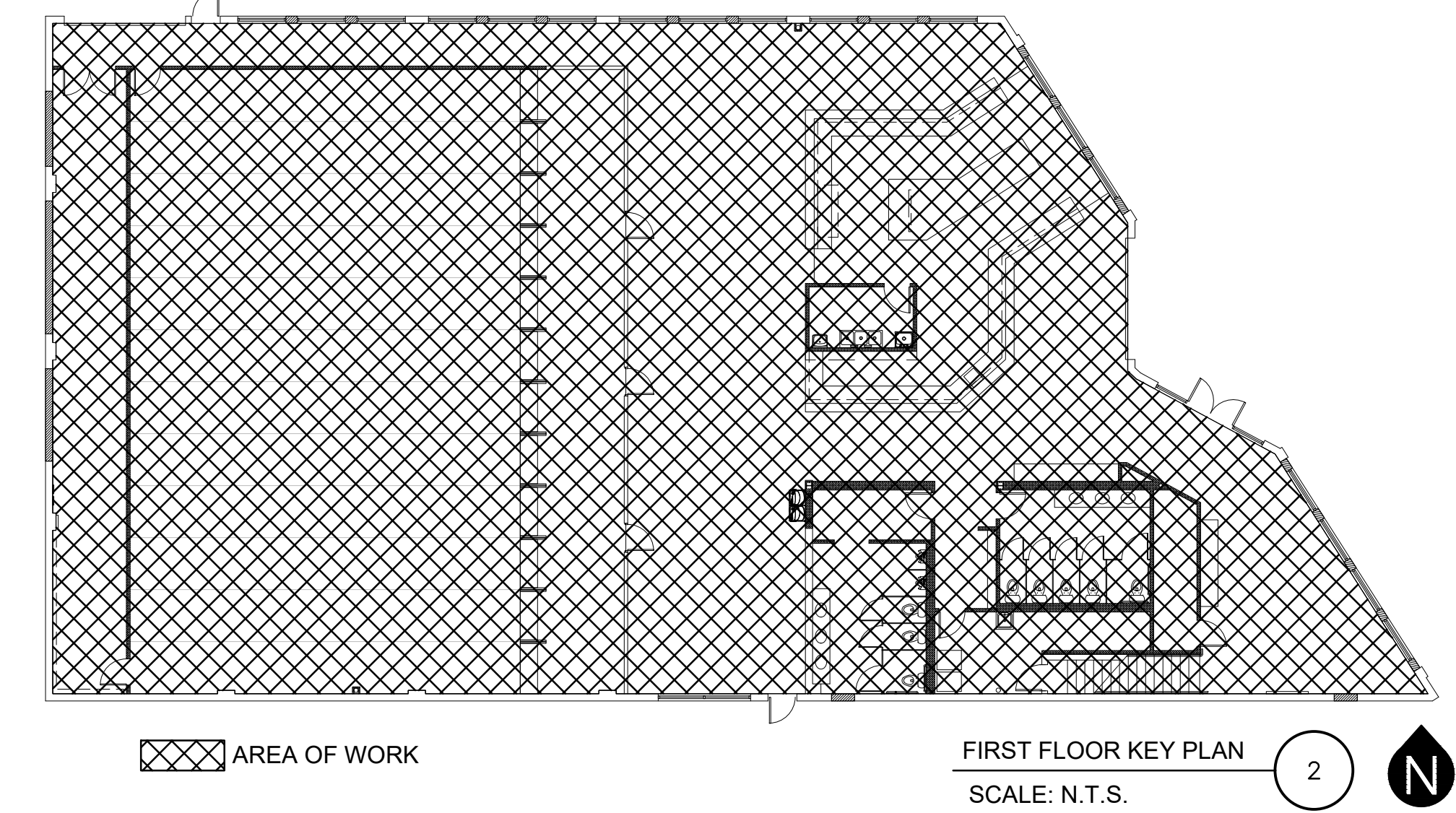
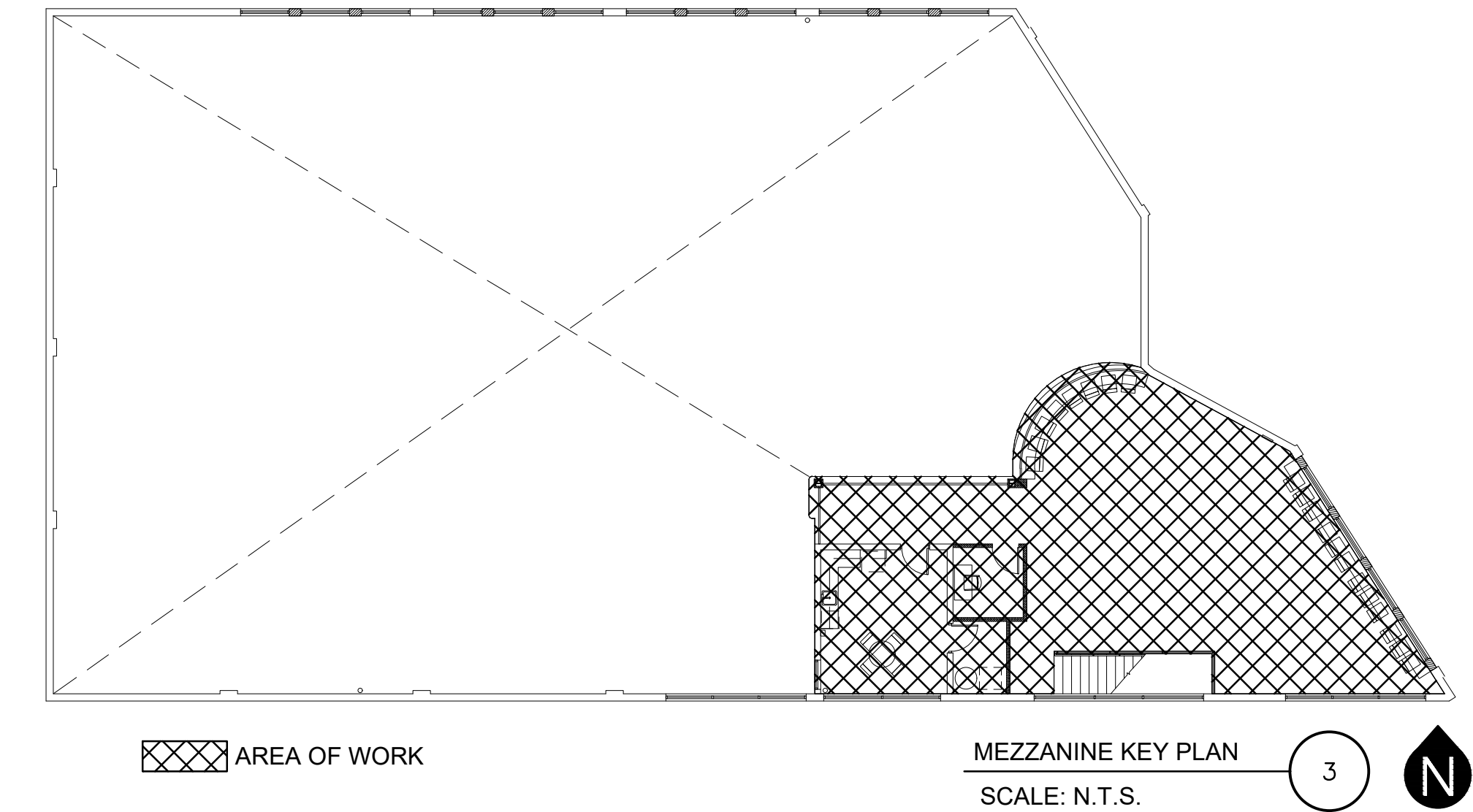
BARS & RECREATION

INTERIOR ALTERATION
6325 W. NATIONAL AVENUE
WEST ALLIS, MILWAUKEE 53214

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
T1.1	EGRESS PLANS (FORTHCOMING)
ARCHITECTURAL	
SP1.0	SITE PLAN AND SITE DETAILS
D1.0	DEMOLITION PLANS
A1.0	FIRST FLOOR PLAN
A1.1	MEZZANINE PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A4.0	ENLARGED FIRST FLOOR PLAN
A5.0	INTERIOR ELEVATIONS (FORTHCOMING)
A6.0	WALL, WINDOW, AND DOOR TYPES (FORTHCOMING)
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR.	
PROJECT NOTES	
ELECTRICAL NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.	
HVAC NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.	
PLUMBING NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.	

BUILDING CODE SUMMARY	
BASED ON THE:	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS)
	2015 INTERNATIONAL EXISTING BUILDING CODE
	2009 ANSI A117.1 ACCESSIBILITY CODE
	ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES.
AREA OF ALTERATION:	TOTAL AREA OF ALTERATION: 12,000 S.F. 10,200 S.F. (FIRST FLOOR) + 1,800 S.F. (MEZZANINE)
FIRE ALARM:	EXISTING TO REMAIN AS NEEDED FOR SPRINKLER SYSTEM
OCCUPANCY:	A-2 ASSEMBLY (BAR) & A-4 ASSEMBLY (INDOOR RECREATION)
OCCUPANCY SEPARATION:	NONE - NOT REQUIRED
CONSTRUCTION TYPE:	UNCHANGED - IIB ASSUMED
SPRINKLER SYSTEM:	FULLY SPRINKLERED
NUMBER OF FLOOR LEVELS:	1 STORY + MEZZANINE
ALTERATION LEVEL:	LEVEL 2
FLAME SPREAD & SMOKE INDEX:	CLASS C - ROOMS AND ENCLOSED SPACES
CODE EXCEPTION:	NONE REQUESTED

PROJECT CONTACT INFO	
OWNER: OWNER NAME OWNER ADDRESS CITY, WI ##### P: #####	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 PROJECT MANAGER: ASHLEY POLLEX
CONTRACTOR: CONTRACTOR NAME CONTRACTOR ADDRESS CITY, WI ##### P: #####	ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD



GENERAL NOTES	
1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.	
2. ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO OWNER'S FAILURE TO DISTRIBUTE ALL DOCS. SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.	
3. GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.	
4. SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.	
5. MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.	
6. ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTENANCE/OPERATION UPON OCCUPANCY.	
7. THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.	
8. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW. IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.	
9. ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.	

TYPICAL ABBREVIATIONS			
ABR: Above	B/O: By Others	DW: Dishwasher	FTD: Fasting
ACOUS: Acoustical	BD: Bottom Of	DN: Down	FND: Foundation
ADD: Additional	BR: Beam	DR: Door	FRM: Form (Incl. Ins)
ADH: Adhesive	CB: Cabinet	DR: Double Hung	FBD: Furnished by Others
ADJ: Adjacent	CAB: Cabinet	DS: Downspout	FUR: Furnish
AFI: Above Finish Floor	CALC: Calculation	DWR: Downspout	GA: Gage, Gouge
AGS: Aggregate	CD: Cabinet Door	DT: Drain Tile	GAL: Gallon
AKI: Authority Having Jurisdiction	CG: Corner Guard	DWG: Drawing	GL: Glass, Glazing
A/C: Air Conditioning	CIP: Cast-in-Place (Concrete)	D: Not Size	GI: Galvanized Iron
AL: Aluminum	CL: Centerline	DN: Down	GLB: Glue Laminated Beam
ALUM: Aluminum	CO: Clean Out	EA: East	GRD: Grade, Grading
ANCH: Anchorage	CONTR: Contract (or)	EL: Elevation	GRD: Grate, Grating
AN: Anchor Bolt	COORD: Coordinate	EQ: Equipment	GRD: Gravel, Gravel Board
ANOD: Anodized	CPT: Carpet	EQ: Equipment	GRD: Gravel, Gravel Board
APK: Approximate	CIP: Cast-in-Place	EQ: Equipment	GRD: Gravel, Gravel Board
APR: Apron	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
ARCH: Architect	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
ARCHITECT (Contractor)	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
ASPH: Asphalt	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
AUTO: Automatic	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
AV: Average	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
AW: Awaiting	CL: Centerline	EQ: Equipment	GRD: Gravel, Gravel Board
BSMT: Basement	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BM: Beam	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BL: Beveled	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLUM: Blumminous	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLK: Block	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLK: Blocking	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLW: Below	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLVD: Boulevard	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BTW: Between	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BD: Board	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BDI: Bottom	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BLDG: Building	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board
BR: Built Up Roofing	CONC: Concrete	EQ: Equipment	GRD: Gravel, Gravel Board



Sheet Title

TITLE AND CODE SHEET

Drawn by	Checked by
AMP	DMR

Revisions		
No.	Date	Description
10.27.2023	10.27.2023	PC Submittal
12.06.2023	12.06.2023	Revised PC Submittal

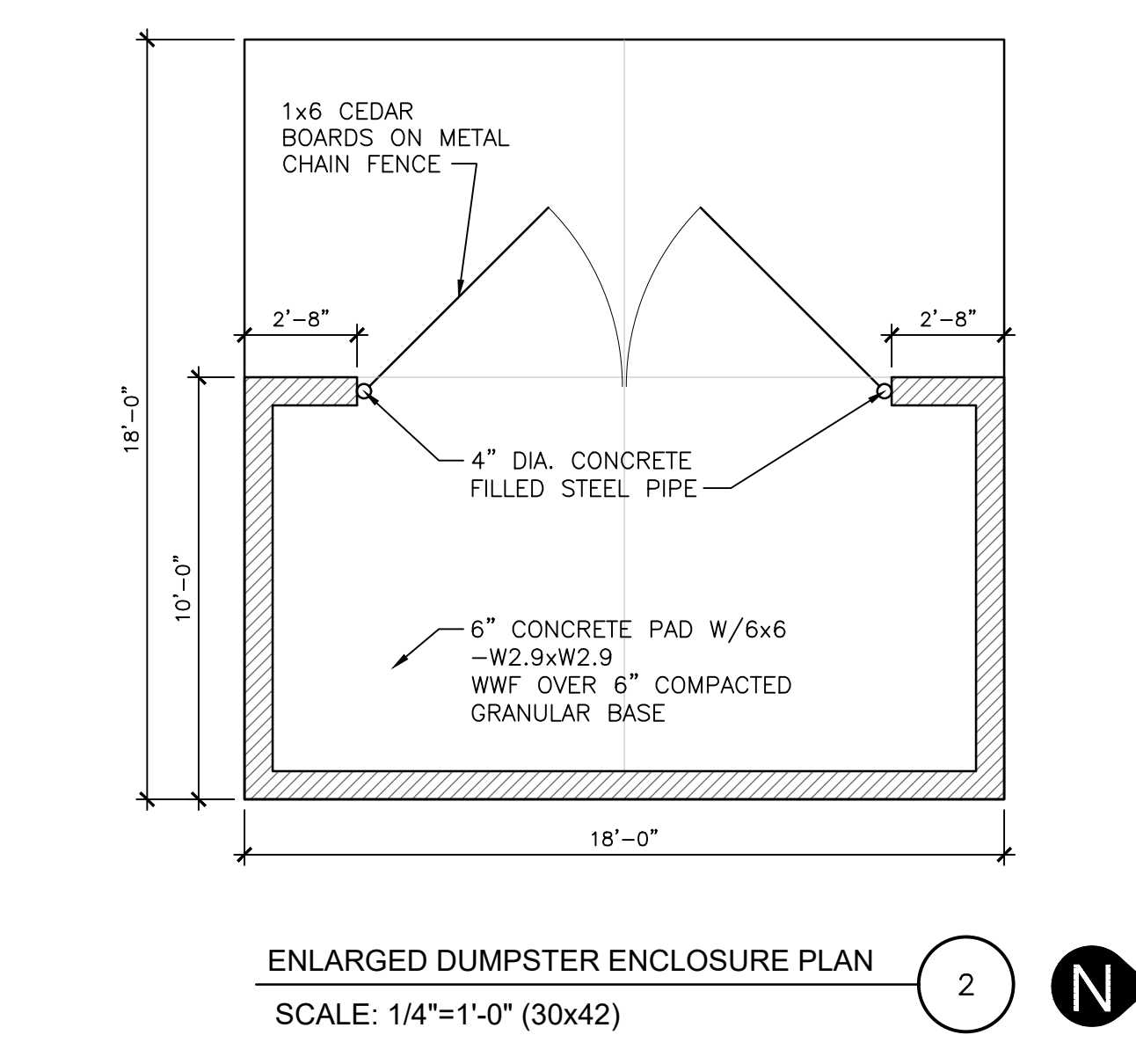
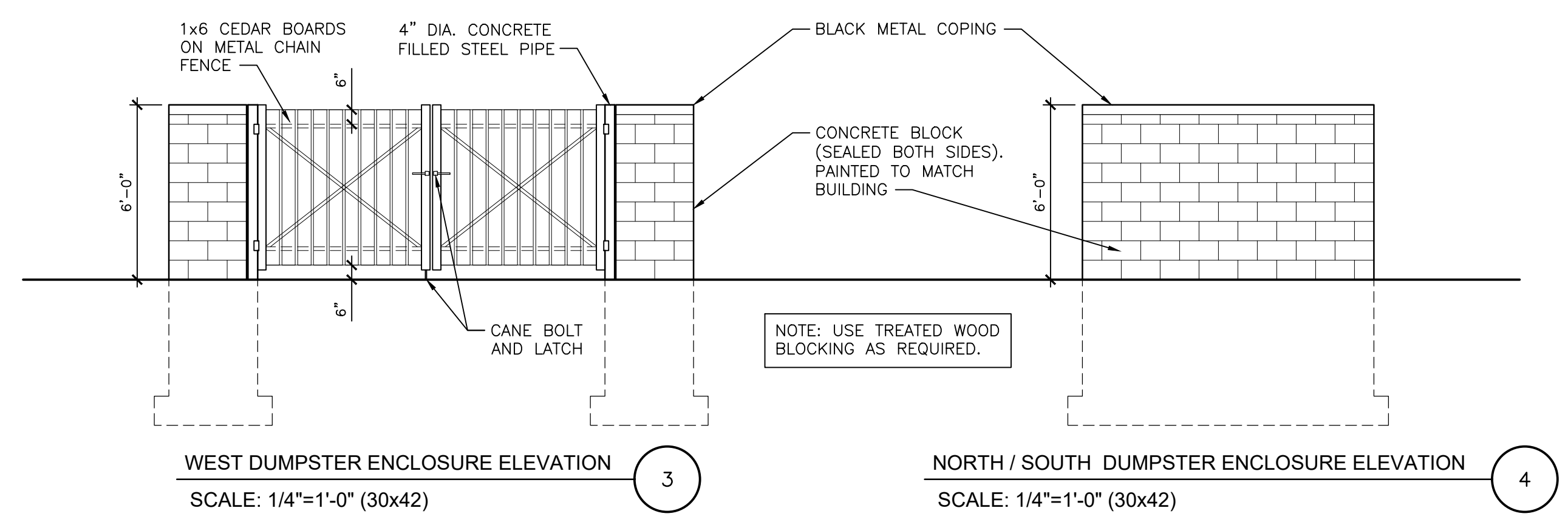
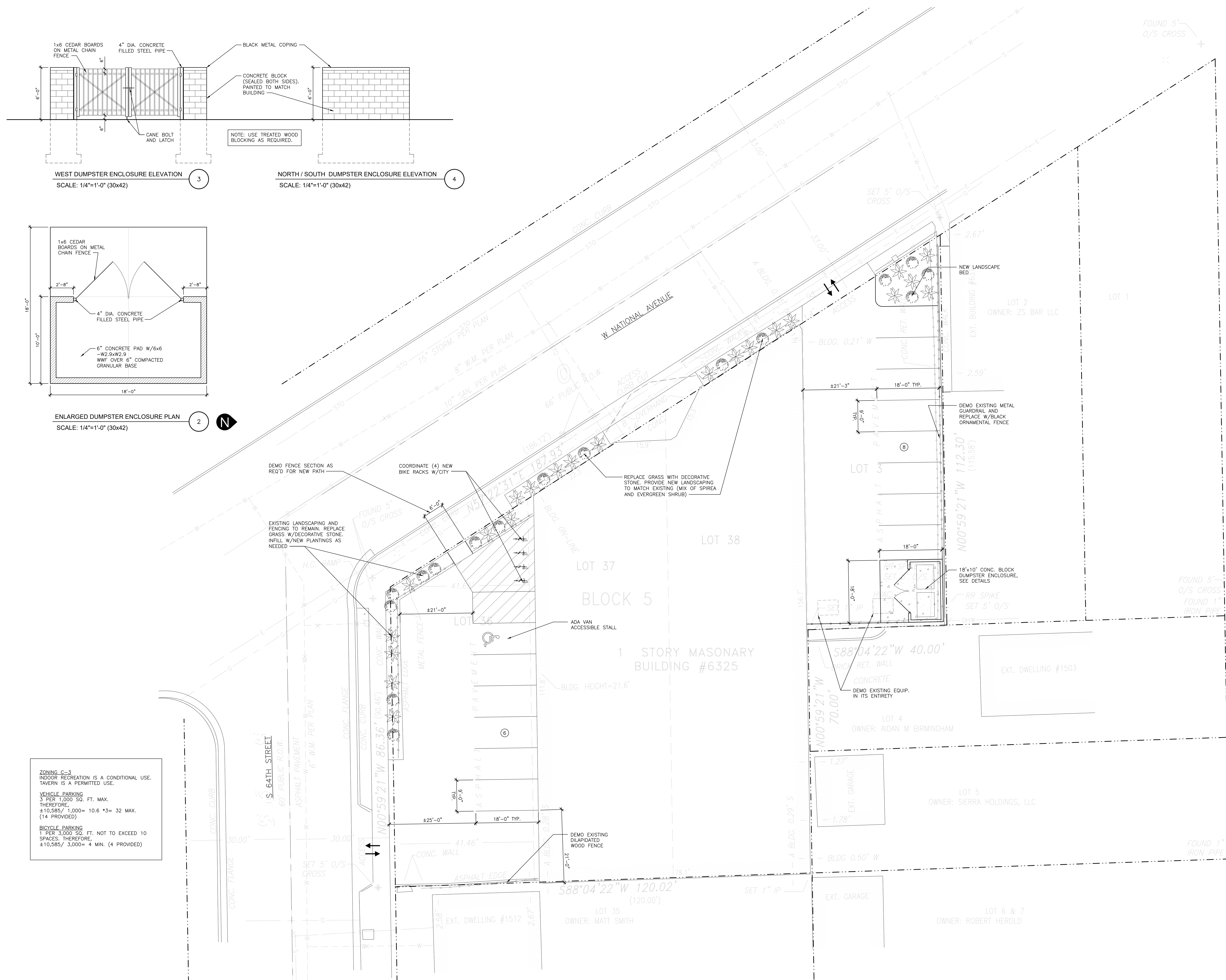
Sheet No.

T1.0

NOT FOR CONSTRUCTION

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ZONING C-3
INDOOR RECREATION IS A CONDITIONAL USE.
TAVERN IS A PERMITTED USE.

VEHICLE PARKING
3 PER 1,000 SQ. FT. MAX.
THEREFORE,
±10,585 / 1,000 = 10.6 * 3 = 32 MAX.
(14 PROVIDED)

BICYCLE PARKING
1 PER 3,000 SQ. FT. NOT TO EXCEED 10
SPACES. THEREFORE,
±10,585 / 3,000 = 4 MIN. (4 PROVIDED)

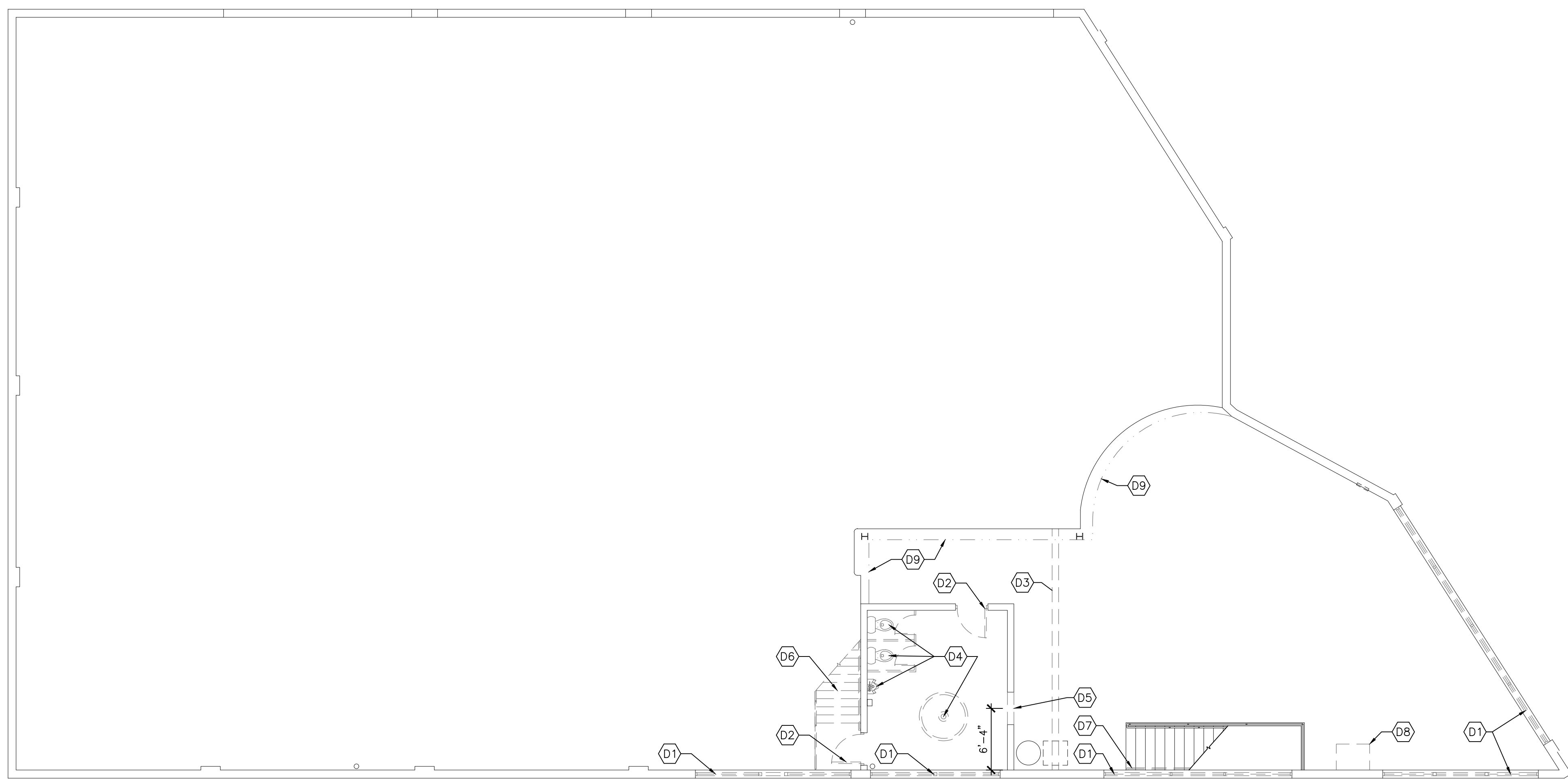
NOT FOR CONSTRUCTION

DEMOLITION KEYNOTES

- (D1) REMOVE EXISTING WINDOW AND FRAME.
- (D2) REMOVE EXISTING DOOR AND FRAME.
- (D3) REMOVE EXISTING COLUMNS AND OVERHEAD BEAM.
- (D4) REMOVE PLUMBING FIXTURES.
- (D5) DEMO WALL AS REQUIRED FOR NEW OPENING.
- (D6) DEMO EXISTING STAIRS IN THEIR ENTIRETY.
- (D7) REMOVE EXISTING HANDRAIL(S).
- (D8) DEMO EXISTING BRICK AND RE-ROUTE MECHANICAL SYSTEM AS REQUIRED. G.C. TO INVESTIGATE.
- (D9) DEMO EXISTING FENCING IN ITS ENTIRETY.

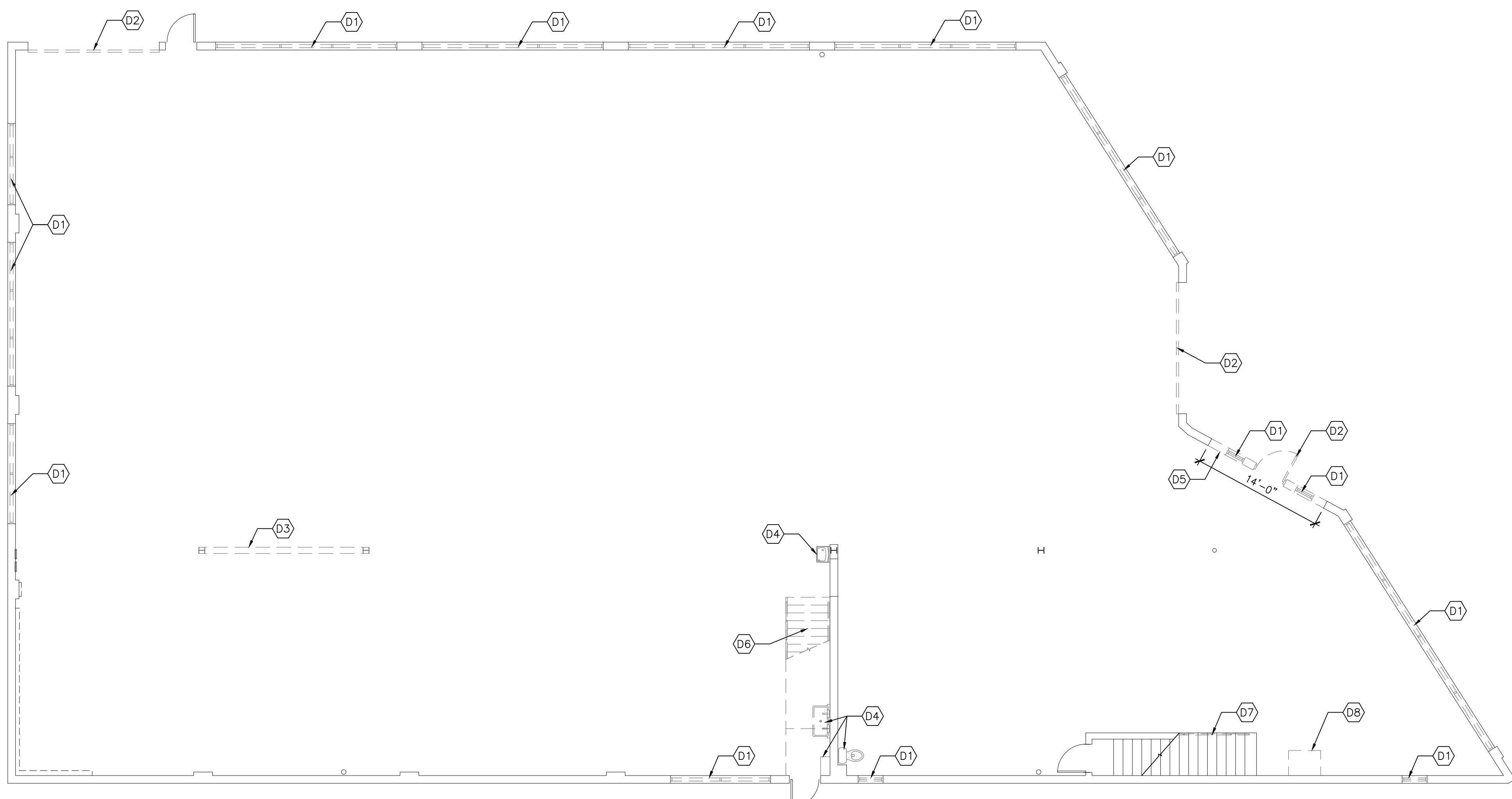
GENERAL DEMOLITION NOTES

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS SHALL BE INCLUDED AND VERIFIED WITH ARCHITECT IF NOT SPECIFIED ON DRAWINGS. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. G.C. TO COORDINATE WITH OWNER ANY SALVAGING AND RE-USING OF ANY REMOVALS.
3. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
4. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, LOAD BEARING CONSTRUCTION AND PARTITIONS, ETC. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT.
5. WHERE APPLICABLE, PATCH AND REPAIR AS REQUIRED EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS.
6. WHERE APPLICABLE, PATCH, REPAIR AND LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES.



MEZZANINE DEMOLITION PLAN
SCALE: 1/8"=1'-0" (30x42)

2



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0" (30x42)

1



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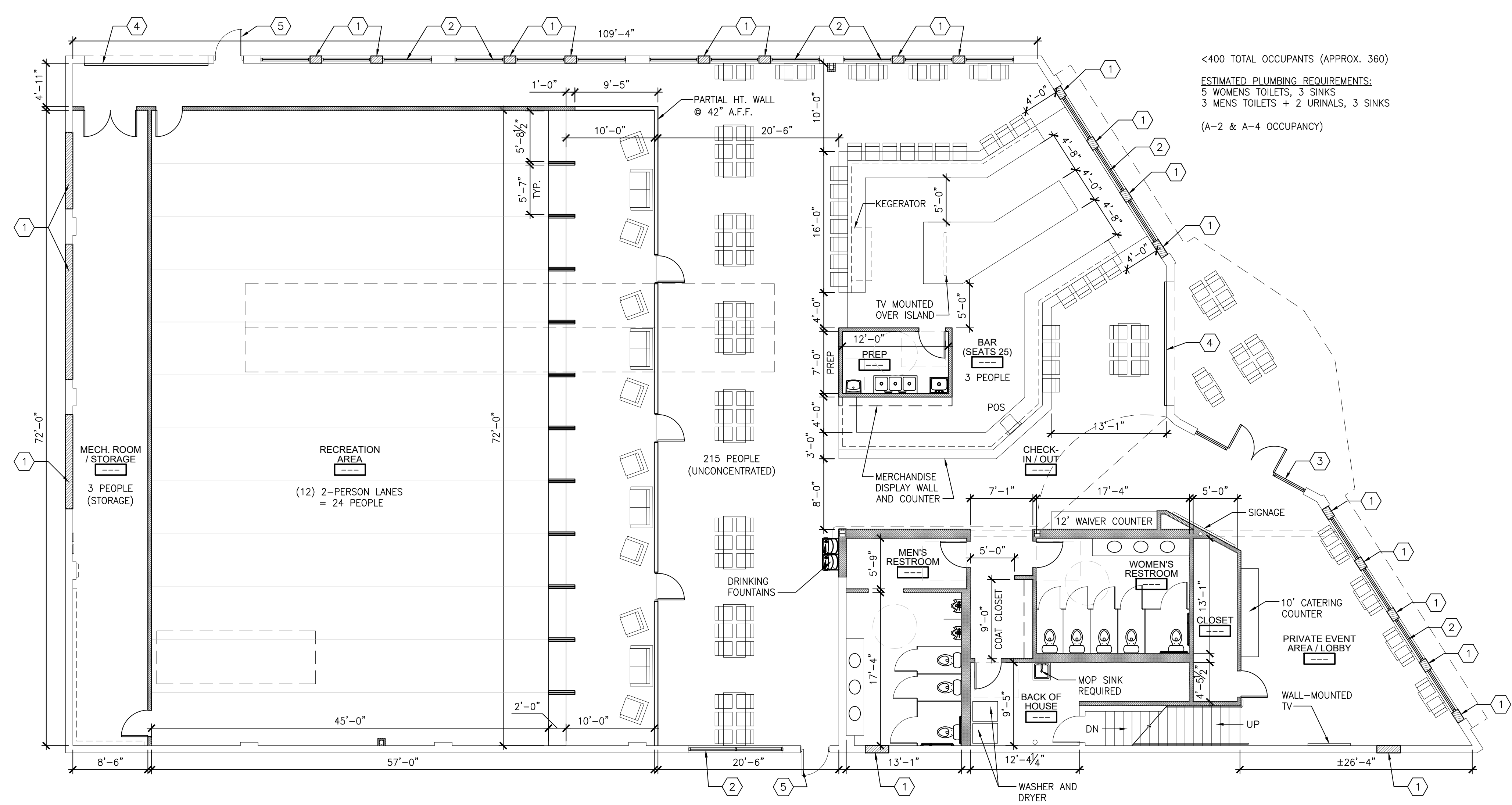
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12.06.2023		Revised PC Submittal

Sheet No.

D1.0

NOT FOR CONSTRUCTION

- FLOOR PLAN KEYNOTES**
- 1 BLOCK INFILL EXISTING OPENING.
 - 2 REPLACE EXISTING WINDOW.
 - 3 NEW STOREFRONT ENTRANCE.
 - 4 REPLACE EXISTING GARAGE DOOR.
 - 5 PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.



<400 TOTAL OCCUPANTS (APPROX. 360)
ESTIMATED PLUMBING REQUIREMENTS:
5 WOMENS TOILETS, 3 SINKS
3 MENS TOILETS + 2 URINALS, 3 SINKS
(A-2 & A-4 OCCUPANCY)

FIRST FLOOR PLAN

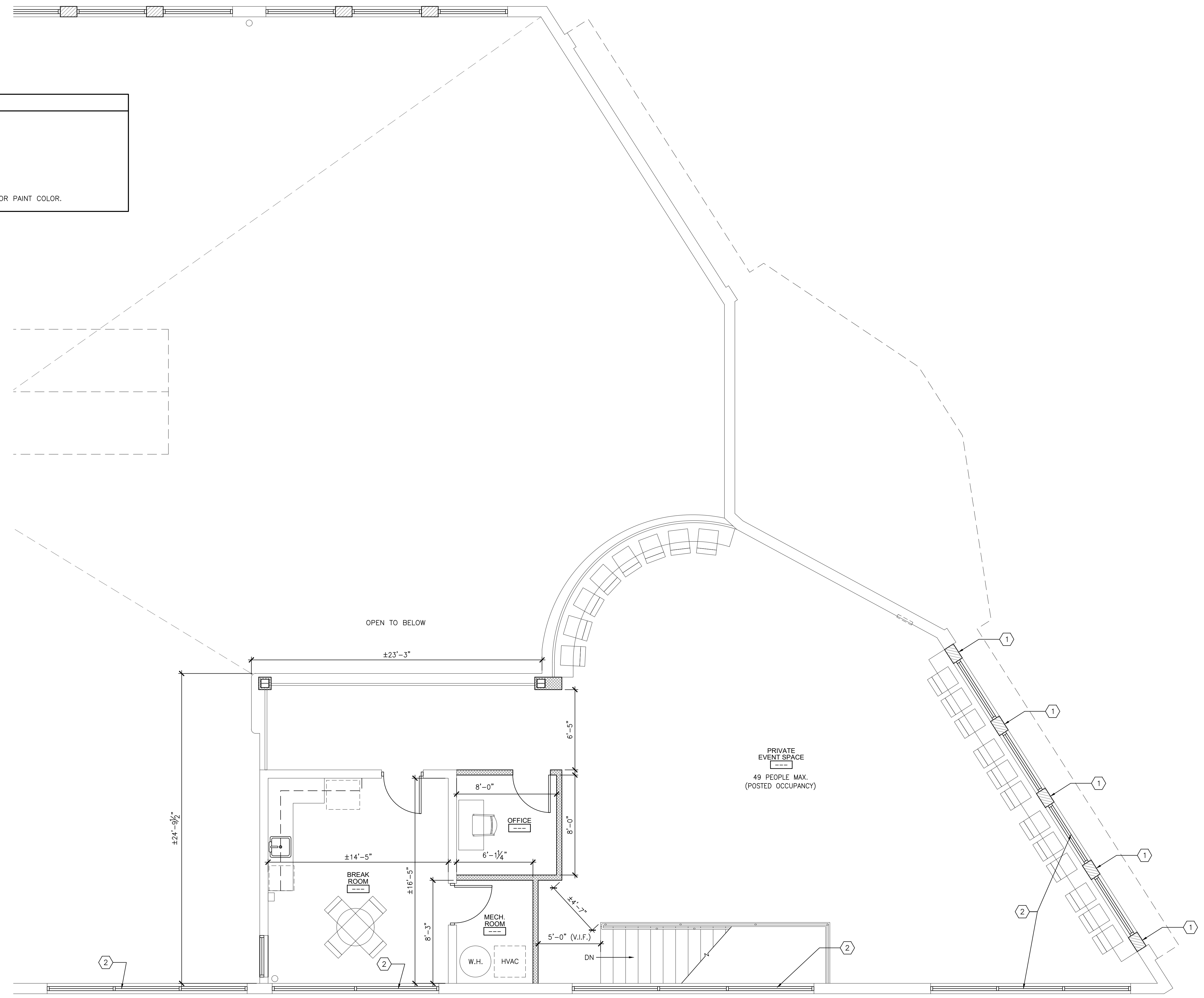
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Sheet No. **A1.0**

NOT FOR CONSTRUCTION

FLOOR PLAN KEYNOTES	
①	BLOCK INFILL EXISTING OPENING.
②	REPLACE EXISTING WINDOW.
③	NEW STOREFRONT ENTRANCE.
④	REPLACE EXISTING GARAGE DOOR.
⑤	PAINT EXISTING DOOR TO MATCH EXTERIOR PAINT COLOR.



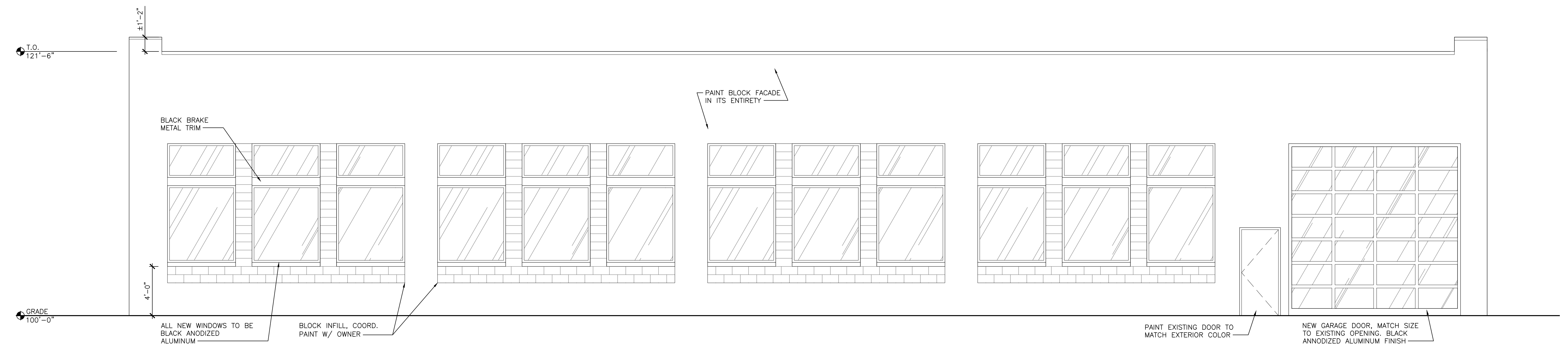
MEZZANINE PLAN

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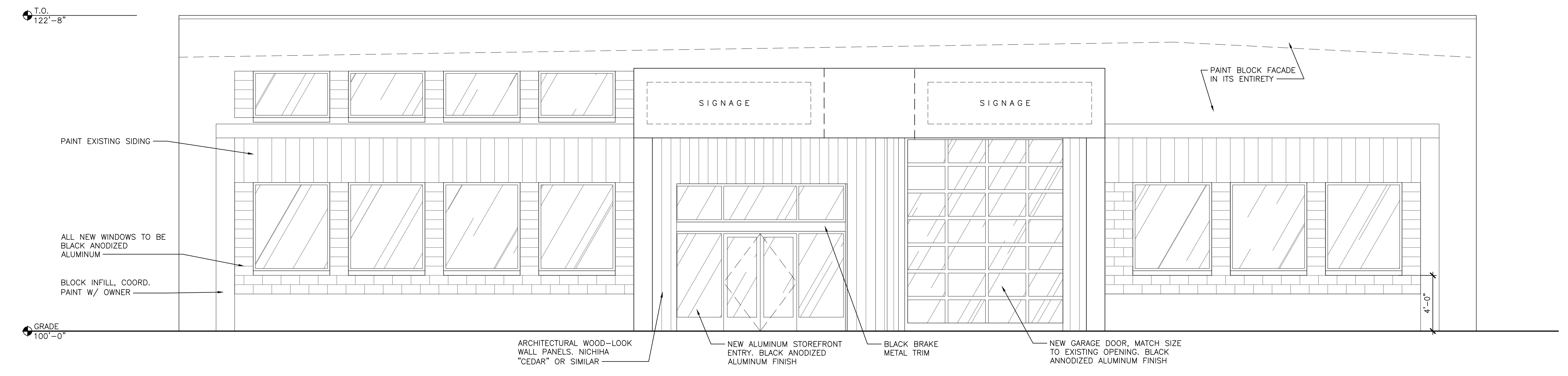
NOT FOR CONSTRUCTION

PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



WEST ELEVATION
SCALE: 1/4"=1'-0" (30x42)

2



NORTH ELEVATION
SCALE: 1/4"=1'-0" (30x42)

1

EXTERIOR ELEVATIONS

Drawn by	Checked by
AMP	DMR

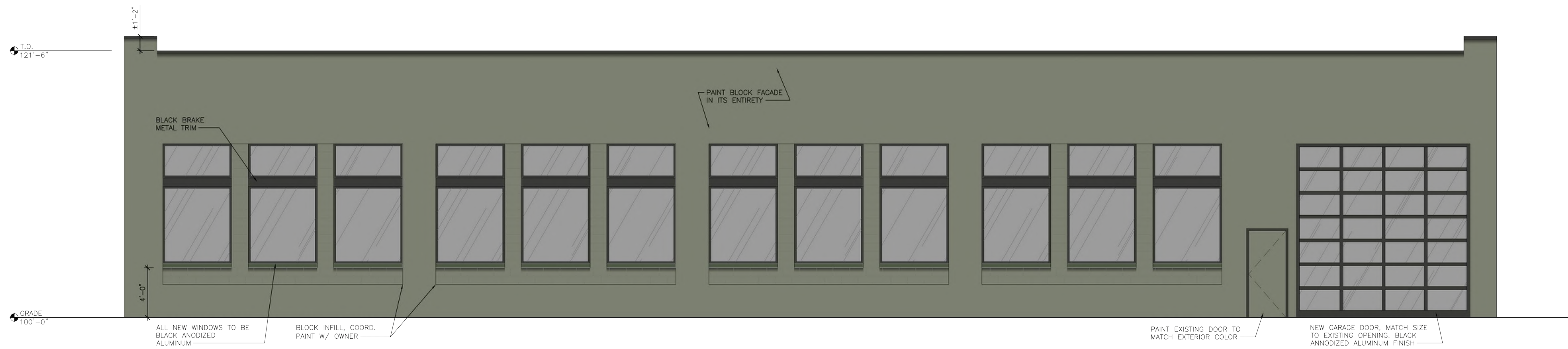
Revisions		
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12.06.2023		Revised PC Submittal

Sheet No.

A2.0

NOT FOR CONSTRUCTION

PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



WEST ELEVATION
SCALE: 1/4"=1'-0" (30x42)

2

EXTERIOR ELEVATIONS



NORTH ELEVATION
SCALE: 1/4"=1'-0" (30x42)

1

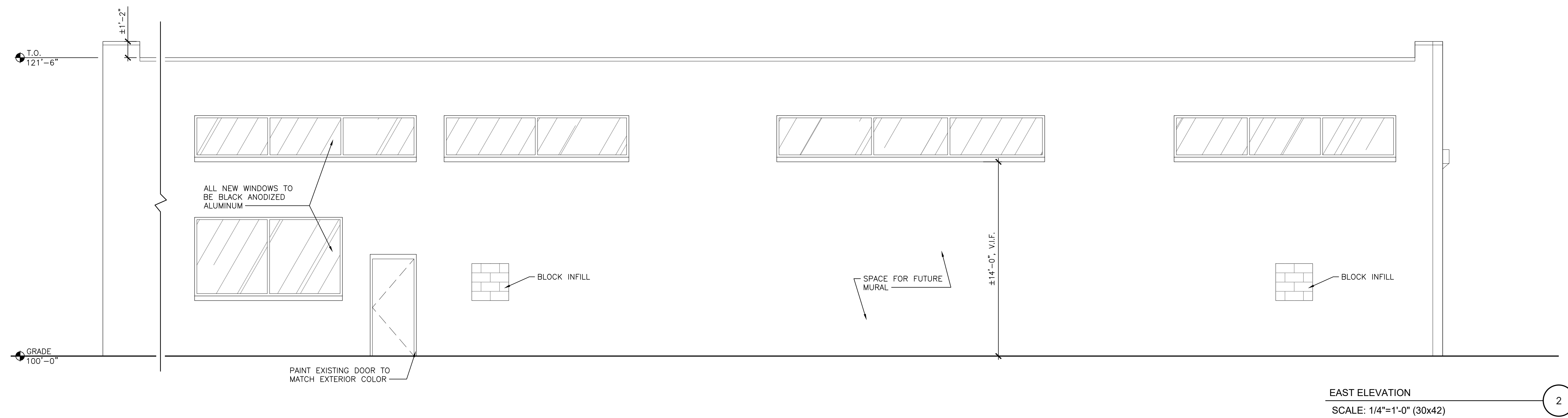
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2	12.06.2023	Revised PC Submittal

Sheet No.
A2.0

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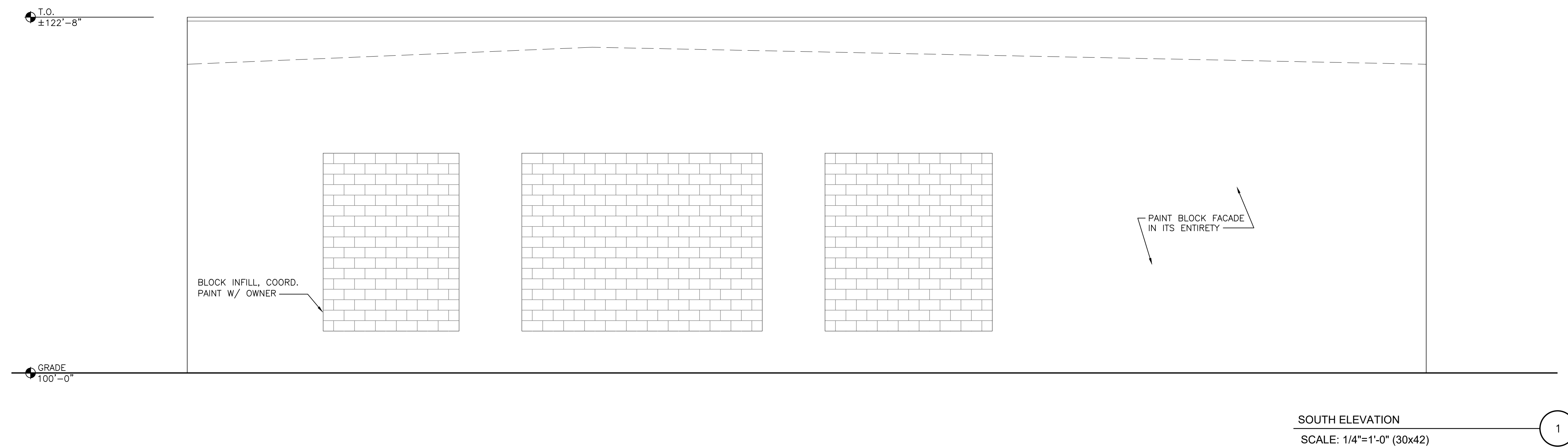
PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
SW 6440 "COURTYARD"	DARK GREEN ACCENT COLOR (MARQUEE & COLUMNS AT ENTRY)
SW 8917 "SHELL WHITE"	CREAM ACCENT COLOR (EXISTING VERTICAL SIDING AT ENTRY)



EXTERIOR ELEVATIONS

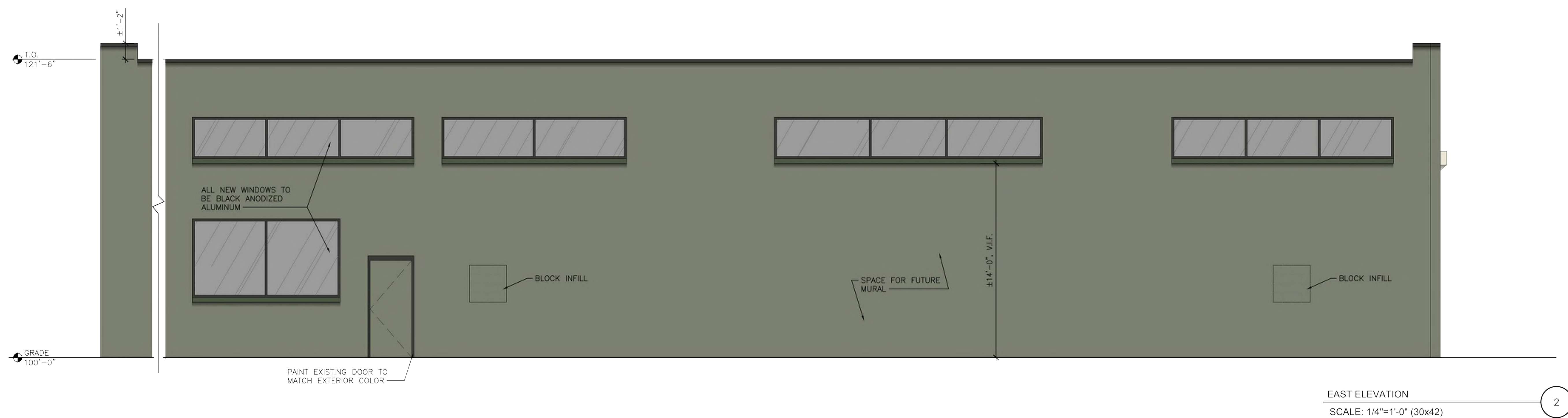
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PAINT COLOR SCHEME	
SW 6186 "DRIED THYME"	MAIN BUILDING COLOR
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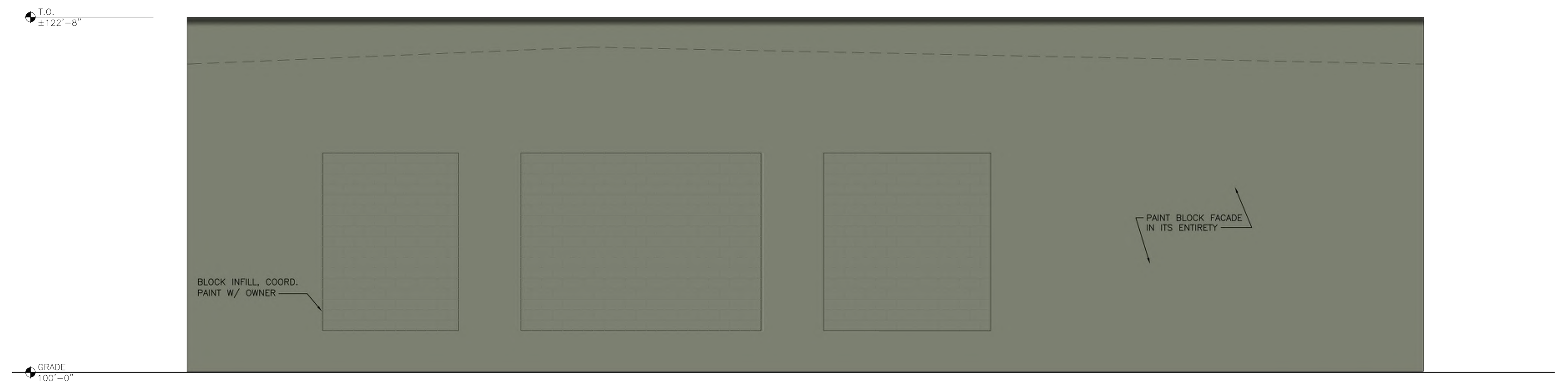


EAST ELEVATION
SCALE: 1/4"=1'-0" (30x42)

EXTERIOR ELEVATIONS

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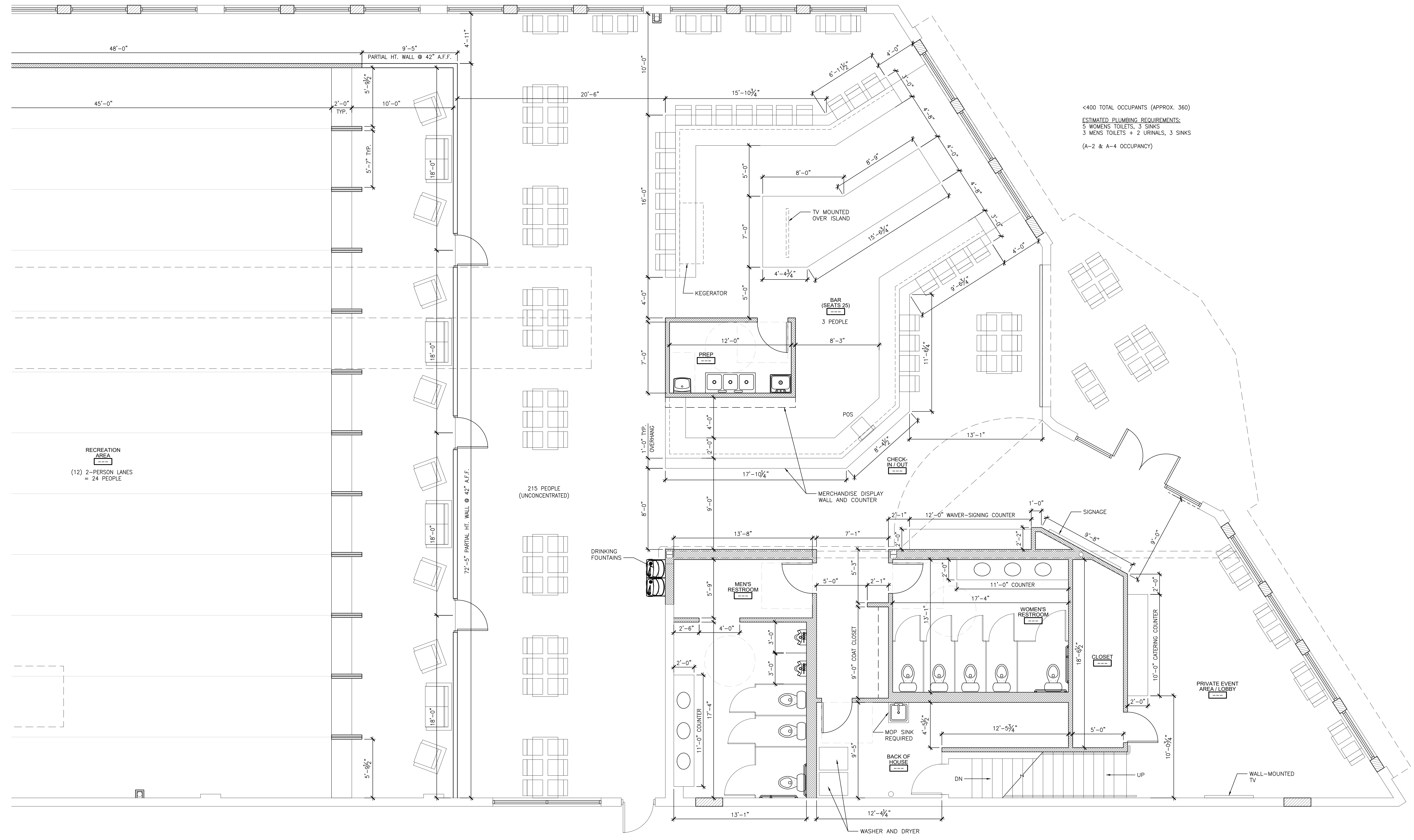
SOUTH ELEVATION
SCALE: 1/4"=1'-0" (30x42)

NOT FOR CONSTRUCTION

ENLARGED FIRST FLOOR PLAN

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<400 TOTAL OCCUPANTS (APPROX. 360)
ESTIMATED PLUMBING REQUIREMENTS:
5 WOMENS TOILETS, 3 SINKS
3 MENS TOILETS + 2 URINALS, 3 SINKS
(A-2 & A-4 OCCUPANCY)

RECREATION AREA
(12) 2-PERSON LANES
= 24 PEOPLE

215 PEOPLE
(UNCONCENTRATED)



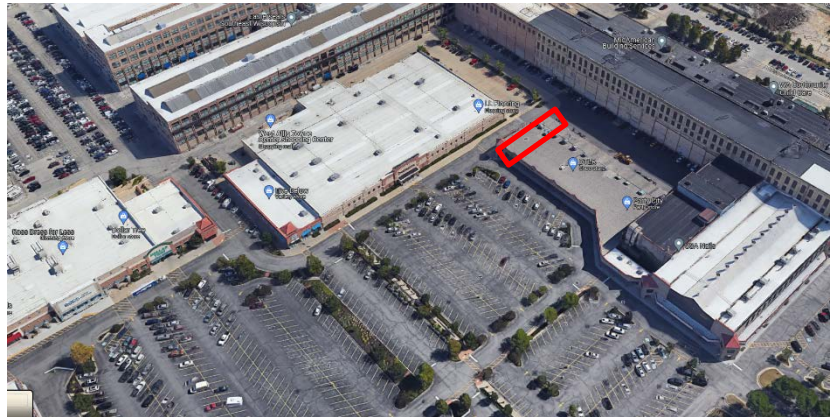
STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, December 14, 2023
5:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

- 4A. **Conditional Use Permit for Las Cazuelas Chilaquiles & Taco Bar, a proposed restaurant, at 6738 W. Greenfield Ave.**
- 4B. **Site, Landscaping, and Architectural Plans for Las Cazuelas Chilaquiles & Taco Bar, a proposed restaurant, at 6738 W. Greenfield Ave. (Tax Key No. 439-0001-014).**

Overview and Zoning

The property is part of the West Allis Towne Center and zoned C-3 commercial district. This project will establish a new 2,500-sf restaurant in an otherwise vacant storefront. Previously, this space was a Cousins Subs, so there is precedence for a food vendor at this location. Las Cazuelas will serve residents, shoppers visiting the West Allis Towne Center, and the community as a whole with authentic Mexican food. Dine-in and carryout options will be offered. Restaurants are considered [conditional use within the C-3](#) commercial zoning district.



The food menu is primarily focused on chilaquiles as well as all the derivatives of the main ingredients, like tacos and soups. Las Cazuelas aims to provide authentic Mexican food (with influences from the northern regions of Mexico) to local residents and visitors alike.

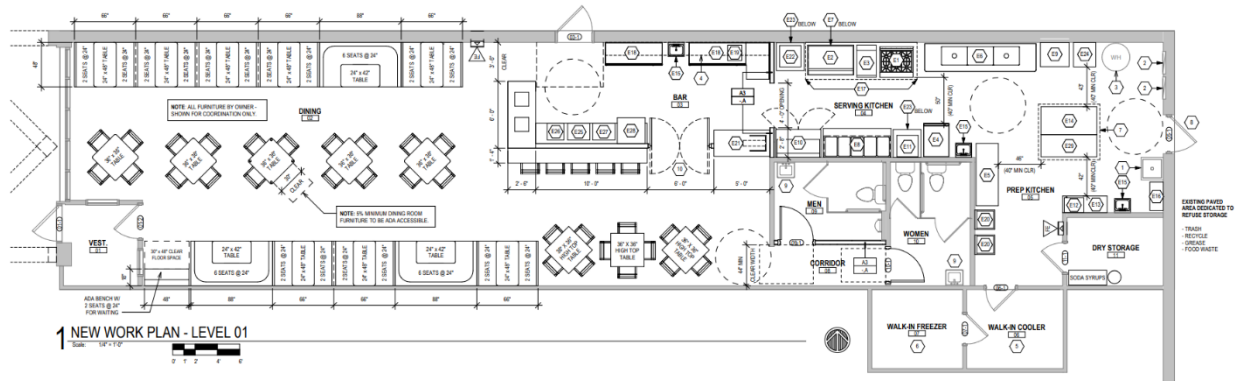
License needed: A class B liquor license will be needed as the new restaurant will serve alcohol (example: mixed drinks, margaritas, beer, and wine).

Staffing: The new restaurant is expected to employ 12 people.

Hours and Days of Operation: The restaurant will operate year-round with select closures for holidays. Sunday through Thursday from 11am to 9pm, and Friday and Saturday: 11 am to midnight. The establishment hours on Friday and Saturday may close sooner based on demand.

Timeline: Once all necessary approvals and permits have been received, the intent is to build out the restaurant quickly and open to the public within the first quarter of 2024.

Floor Plan - The existing building exterior to remain as is except for new exterior signage. The scope of this project is limited to an interior remodel of an existing storefront space, what used to be Cousins Subs but now sits vacant. Internal capacity for up to 99 people. All interior improvements will comply with relevant building codes. The restaurant will remain and/or improve accessibility throughout the interior spaces that serve the public. The floor plan and fixture layout is shown below.



Site, Landscaping, and Architecture – The new restaurant is part of the West Allis Towne Center and is regulated under an existing site/landscaping plan. There are no changes planned by the restaurant to significantly change the site at this time. There is an existing refuse area behind the building (to the east) that is screened. Deliveries would also take place behind the building as there is direct access to the kitchen from the east.

- The only restaurant amenity that might be added in the future would be some outside seating which is part of the staff recommendation to show the quantity and location on a site plan if desired. An extension of licensed premise application would need to be filed through our Clerk's Office.

Architecture – No changes planned to the exterior of the building other than signage which may be approved as part of the signage permit process.

Recommendation: Common Council approval of the conditional use and approval the Site, Landscaping, and Architectural Plans for Las Cazuelas Chilaquiles & Taco Bar, a proposed restaurant, at 6738 W. Greenfield Ave. (Tax Key No. 439-0001-014), subject to the following conditions:

1. Common Council approval of the Conditional Use Permit (December 12, 2023).
2. A revised site plan being submitted to the Planning and Zoning Office if exterior seating arrangements are planned.
3. Signage and exterior lighting plan being submitted to Planning Office for design review.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
 Thursday, December 14, 2023
 5:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

5. Certified Survey Map to combine the existing parcels at 7801 W. Greenfield Ave. and 14 S. 78th St. into 1 parcel. (Tax Key Nos. 452-0566-000 and 452-0567-000)**

Overview and Zoning

Pandya Network, a Dunkin' franchisee, purchased 7801 W. Greenfield Ave. and 14** S. 78th St. and is proposing a 2-tenant commercial building. The building would include a Dunkin' restaurant with accessory drive-through service and space for another restaurant tenant to be named later. The applicant anticipates construction would begin in February or March of 2024.

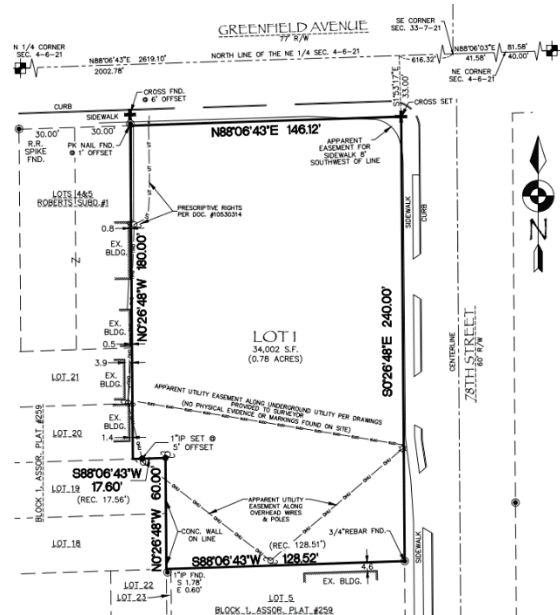
The owner is proposing to combine the parcels into a single parcel to satisfy a condition from its March 2023 Plan Commission approval.

7801 W. Greenfield Ave. is zoned C-2. Restaurants are a Conditional Use in the C-2 zoning district. Accessory Drive-Through Service is also Conditional Use in the C-2 district. The applicant obtained a Conditional Use Permit on April 18, 2023.



CSM

The proposed CSM would combine the 2 existing parcels into 1 lot. This lot would include a commercial building, parking lot with drive-through, and landscaping.



Recommendation: Approve the Certified Survey Map to combine the existing parcels at 7801 W. Greenfield Ave. and 14** S. 78th St. into 1 parcel. (Tax Key Nos. 452-0566-000 and 452-0567-000) subject to Common Council approval.



STAFF REPORT
WEST ALLIS PLAN COMMISSION
 Thursday, December 14, 2023
 5:00 PM

Watch: <https://www.youtube.com/user/westalliscitychannel>

6. Ordinance to rezone the property located at 2211 S. 60th St. from RB to RC (Tax Key No. 475-0558-001)

Overview

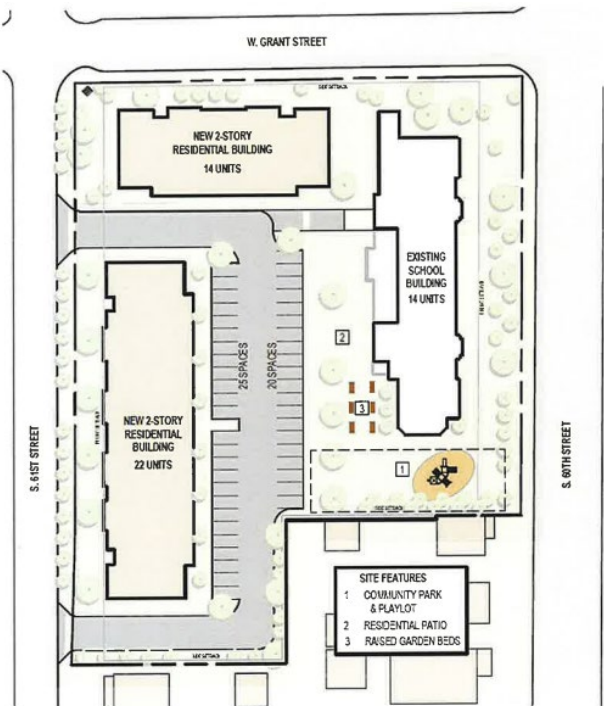
After closing due to consolidation, the West Allis-West Milwaukee School District is seeking to sell their property to a developer to redevelop the former Longfellow School property at 2211 S. 60th St. The School District created an RFP and ultimately selected Housing For All, an experienced real estate development team focused on creating and preserving high-quality affordable rental communities.

Proposal

Housing for All's conceptual proposal includes building 60 units of multi-family residential on the site. Fourteen (14) units would be within the preserved Longfellow school building, which would be preserved and remodeled to accommodate residential dwellings. Thirty-six (36) units would be built adjacent within 2 townhome style buildings on the same property. A play area would be preserved for public use.



The scope of the project includes the developer applying for WHEDA Tax Credits. To qualify for credits, the developer must show that the proposal conforms with zoning and must have a general site plan approval. The developer has conceptual plans, but will also return to the Plan Commission in Q1 of 2024 for more comprehensive site, landscaping and architectural plan design review.



Zoning

2211 S. 60th St. is presently zoned RB and allows 5+ Unit Dwellings as a Conditional Use, but the site does not conform to the RB district building size and location standards per [19.41](#). Specifically, the maximum lot width allowed in RB is 80’.

Upon recommendation by Planning staff, the School District is proposing to rezone the property to [RC residence district](#). The RC district would allow 5+ Unit Dwellings as a Permitted Use and the property would conform to the RC building size and location requirements (which does not have minimum lot width).

Analysis

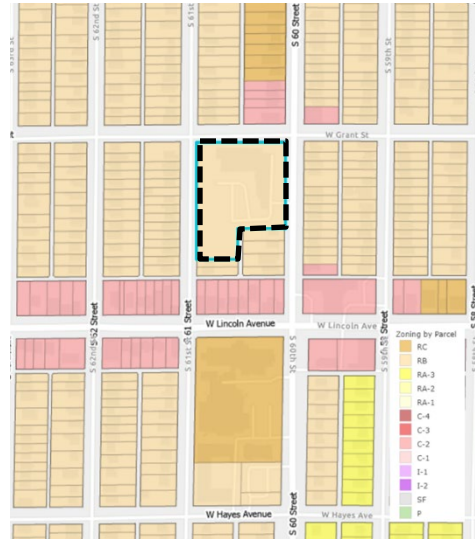
Staff supports the rezoning of this property from RB to RC as a compatible zoning district for the 60th Street corridor in the East Allis neighborhood. Rezoning will allow adaptive reuse to convert and preserve a portion of the former Longfellow school building while introducing new housing options to the remaining balance of the property. While the proposal received has served as a catalyst to consider rezoning, staff notes that rezoning the site to RC is also best to realize residential redevelopment in general for the existing 2.5-acre property. The existing school building is non-conforming as situated on the existing lot per the existing zoning district (RB) standards.

Higher density residential is suitable for the property: the parcel is located on a block between W. Grant St. and W. Lincoln Ave. and S. 60 St. and S. 61 St. adjacent to medium density residential uses and commercial uses.

The Future Land Use Map designates the land as Public and Semi Public. RC zoning would conform to this designation.

Recommendation: Approve the Ordinance to rezone the property located at 2211 S. 60th St. from RB to RC (Tax Key No. 475-0558-001) subject to Common Council approval.

Existing Zoning Map & Subject area of Rezoning RB to RC District



Future Land Use Map





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7. Ordinance to Amend Section 19 of the West Allis Revised Municipal Code, relative to allowing certain animal services as limited uses and defining rummage sales.

Overview

Since adopting the last minor zoning code updates October 3, 2023, Planning and Zoning staff identified several items that require revisions to allow for better implementation and alignment with the goals of the zoning code.

Animal Services

Increasingly, pets are being humanized in our society. More and more households are owning pets, particularly the young households and families which the city is trying to attract. Households that do have pets are also treating them differently. Demand for pet services is on the rise, and people want these services to be accessible. Ultimately, these changes are influencing the way in which animal services are regulated across the country.

In the proposed zoning code update, staff recommends several changes to better regulate animal services and allow for more animal services to be located closer to where people live. This primarily includes allowing certain uses to be allowed in commercial districts rather than solely in industrial districts. Proposed changes include:

- The broad use of “Animal Boarding” should be broken up and redefined. Several new uses should be specifically defined which were previously included in the same definition:
 - Animal Boarding = The use of a lot to shelter, feed, and care for animals for compensation but not within the practice of veterinary medicine under Wis. Stat. 97.02(6)
 - Animal Breeding = The use of a lot to allow animals to copulate for compensation; or birth the offspring of an animal for compensation
 - Animal Training = The use of a lot to teach animals, for compensation, to react in specific manners to a person’s commands
- The uses should be expanded to new districts as Limited Uses.

Service	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4	I-1	I-2	P	SF
Animal Boarding and Animal Breeding								L	L	L	P		
Animal Training						L	L	L	L	L	P		

- Limited Use criteria should be created which restricts activity to ensure activity is not detrimental to residential neighbors’ enjoyment of their property.
 - Commercial and I-1 Districts: Permitted if all activity takes place indoors and no noise from the activity is audible from a lot used for residential purposes

Rummage Sales

In recent months, certain examples of rummage type sales on non-residential properties have cropped up and exposed a gap in the code. To close this gap and regulate rummage sales as intended, staff recommends the following changes which would clearly define rummage sales and prevent these sales on non-residentially used lots:

- Define rummage sales in alignment with state statutes
 - Rummage Sales = The sale of tangible goods from a lot used for residential purposes only if, in a calendar year, the seller's total revenue from all sales on that lot does not exceed \$2,000 and goods are offered for sale not more than 5 days
- Add rummage sales to the accessory use table

Accessory Use	RA-1	RA-2	RA-3	RB	RC	C-1	C-2	C-3	C-4	I-1	I-2	P	SF
Rummage Sales	P	P	P	P	P	P	P	P	P	P	P		

Recommendation: Approve the Ordinance to Amend Section 19 of the West Allis Revised Municipal Code, relative to allowing certain animal services as limited uses and defining rummage sales subject to the following conditions Common Council approval.



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8. Sign Appeal for La Salsa, an existing restaurant use at 8129 W. Greenfield Ave. (Tax Key No. 452-0358-000)

Overview

La Salsa, an existing restaurant use, is applying for a Sign Plan Appeal to allow for additional signage area on an awning on the north façade of the existing building. Proposed for the north façade is an awning with a signage area of 29 sq. ft.. The west wall is currently comprised of painted grey brick. An existing projecting sign is also on the west façade.

A concept image of the proposed awning signage has been provided by the applicant. Shown on the proposed sign plan is the business logo along with text indicating the type of food sold at the business. The signage is placed on a red awning.

The area of the signage exceeds the maximum square footage allowed per Code. The maximum square footage for awning signage is 22.5 square feet based on the Sign Code. The proposed signage exceeds the maximum square footage by 6.5 square feet. Based on the appeal, Plan Commission has the authority to determine if the additional awnings on the front façade count towards area for the total signage square footage.



Recommendation: Recommend approval of the Signage Plan for La Salsa, an existing Restaurant use, at 8129 W Greenfield Ave. (Tax Key No. 452-0358-000) with the following condition:

1. Submittal of a Grant of Privilege submitted for awnings projecting over the right-of-way.