



STAFF REPORT
WEST ALLIS PLAN COMMISSION
Wednesday, January 28, 2026
6:00 PM

- 5. Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 69** W. Beloit Rd. (Tax Key No. 489-0038-000)**
- 6. Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 6901 W. Beloit Rd. (Tax Key No. 489-0037-000).**

Overview & Zoning

The subject area consists of two properties formerly privately owned and operated by a tavern/Czars Bar at the southwest corner of S. 69 St. and W. Beloit Rd. The property was foreclosed upon by Milwaukee County and the City eventually took ownership in 2024 and subsequently demolished the former tavern using CDBG/Community Development Block Grant funding (to complete slum and blight removal activity of a vacant tavern) with the intent of building an affordable home on one of the properties.

The CDA/Community Development Authority directed staff to seek bids to develop a single-family home on the property. Bids came back very high at about \$416,000 which exceeded the federal subsidy limit established by HUD/Housing and Urban Development. CDA directed staff to seek other alternatives and at the same time Habitat for Humanity was also seeking to expand their scope outside of the City of Milwaukee.



The property is zoned C-2 — “Intended for a mix of uses in close proximity to residential areas that are compatible with the neighborhood scale.” Residential single-dwelling unit uses are considered permitted within this zoning district, provided that the proposed construction meets the building size and location requirements of the RB district under [WAMC 19.41](#). Conversations with the architect for this project have revealed that this is not the first iteration of this project. The final design of this single-family home conversion was intentionally selected to maintain the original look of the home while seamlessly incorporating an addition to the back of the building to match other existing homes in the neighborhood.

Milwaukee Habitat’s strategic plan calls for doubling new home construction by 2028 and we’re pleased that in 2026 we’ll meet this goal by building 40 new homes in Milwaukee County. The two homes in West Allis are the first built by Milwaukee Habitat outside of the city of Milwaukee. These two West Allis homes represent efforts to expand access to affordable homeownership to more neighborhoods and provide prospective homebuyers with more choice.

The deliverable will be two new construction homes completed and sold to qualified homeowners through Milwaukee Habitat for Humanity’s lending partners. Habitat selects families and then pairs them with an affordable mortgage. The minimum income of the homebuyers will be around \$60K per year and can go up to 80% of the median income. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage.

Timeline

Start of excavation: August 2026

Framing: September 2026

Certificate of Occupancy: May 2027

Sale of home: Fall 2027

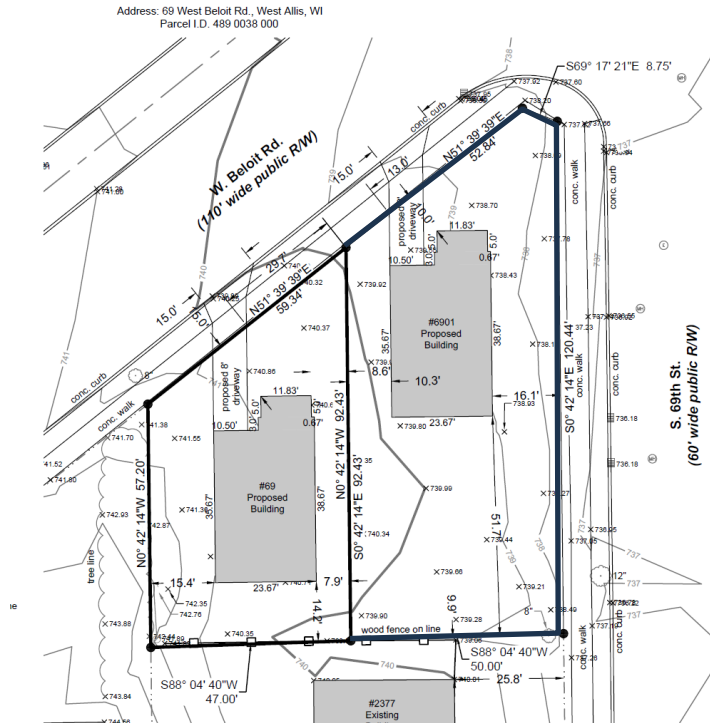
Please refer to the Scope of Work and Plan set delivered by Habitat for Humanity at the end of this report. A summary of the scope and plans is provided below.

Site Plan

Two properties include: 6901 W. Beloit Rd. (this was the lot where former Czars bar was mainly situated). Tax Key: 489-0037-000 lot size of 5462.840 (parcel shape is irregular).

6900 Block W. Beloit Rd. Tax Key: 489-0038-000, the lot size is 3433.830 (parcel shape is irregular)

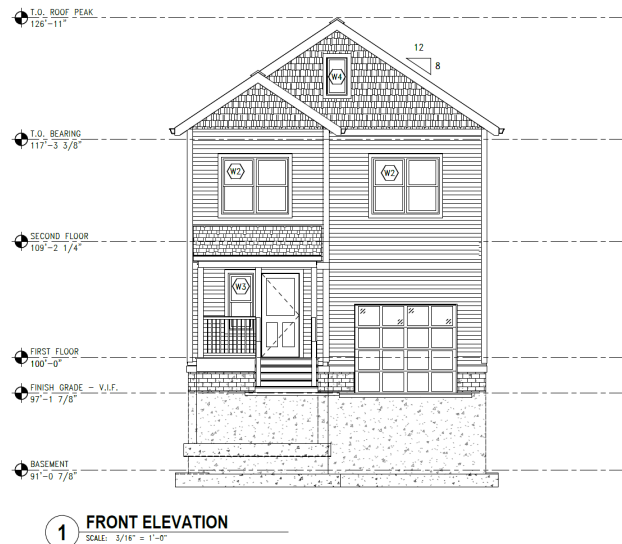
Each lot will be developed with a single-family home. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage. Building setbacks in accordance with the Zoning District requirements. Front yard setback 10-ft, Side yard setbacks 3-ft, Rear yard setback 10-ft. Each property will feature a walkway to the front door, a paved patio area behind the building, driveway into the attached garage, and lawn area.



Architectural & Floor Plan

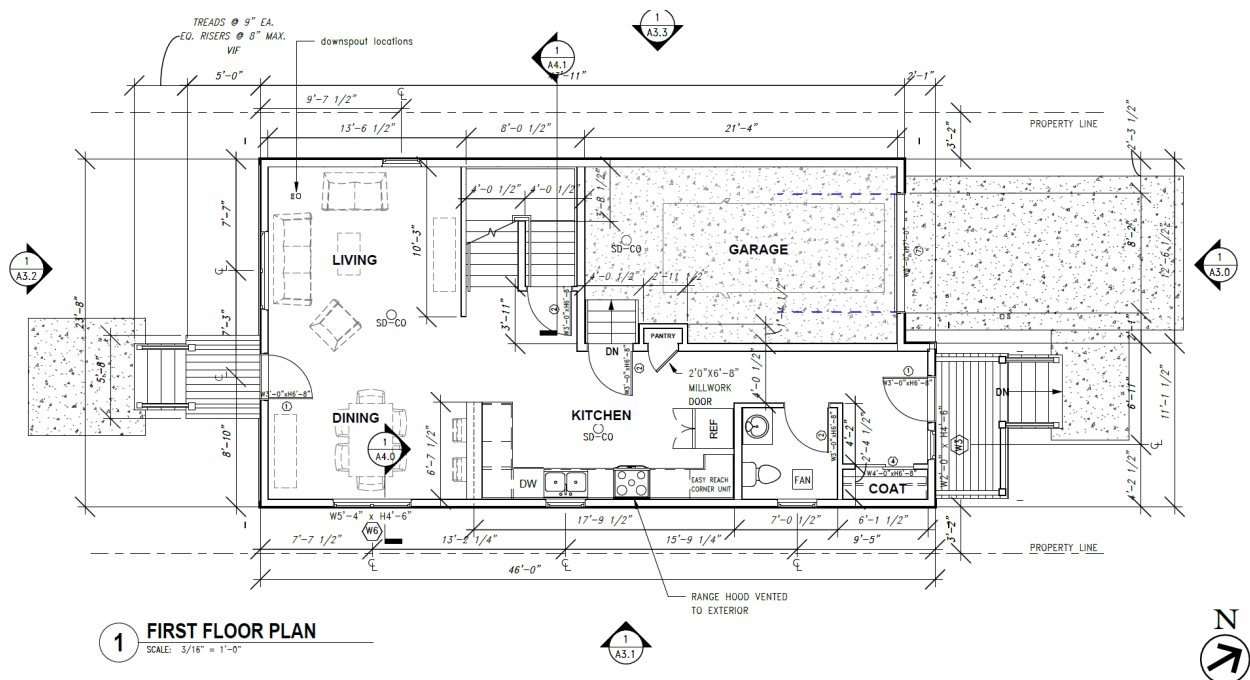
The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage. The exterior is proposed to feature vinyl siding and the roof will be a dimensional asphalt shingle.

The height of the basement will be the 8' nominal height. It would be suitable for someone to choose to use the space for storage or a rec room, but not a bedroom as it doesn't have an egress. If having an egress for a future one bedroom in the basement is important to future owners, it could be added then.



Habitat International guidance is to not build garages except by code requirements or necessity. Habitat had made an exception for West Allis and building homes with a one car garage. They are not able to build a plan with a 2-car garage.

- As part of the review process staff have previously recommended Habitat include a front porch, attached garage, shake style siding within the gable areas, and increase the setback of the buildings to allow space for a vehicle to be parked in front of the garage door. Habitat incorporated these features into the plans before the Plan Commission.
- As part of our staff's recommendation to the Plan Commission, we are recommending exterior color finish details of the building features (exterior siding, trim, porch/deck railings, roof). Additionally, a small roof over the rear door is also recommended.
- Any work done in the City's Right of Way will require permits. The concrete contractor will need to be licensed and bonded and approved by the City.
- Necessary permits to make utility connections will be required as well as driveway permits.



Recommendation: Approval of the Site, Landscaping, and Architectural Design Review for a proposed single-family Habitat for Humanity home at 69** W. Beloit Rd. (Tax Key No. 489-0038-000) and for a proposed single-family Habitat for Humanity home at 6901 W. Beloit Rd. (Tax Key No. 489-0037-000), subject to the following conditions:

1. Revised Site and Architectural plans being submitted to the City Planning Department to show the following: (a) exterior color finish material details of the building features (exterior siding, trim, porch/deck railings, roof); (b) a roof over the rear door (of note there some of the pages submitted show a rear roof overhanging the rear door); (c) at the base of the buildings any exposed concrete above grade being insulated.
2. Any work done in the City's Right of Way will require permits through our [Engineering Department](#). Driveway permits will be required. The concrete contractor will need to be licensed and bonded and approved by the City. Contact Greg Bartelme City Engineering at (414) 302-8367 with any questions.
3. Necessary permits to make [utility connections](#) will be required. Contact City Department of Public Works/Water Division at (414) 302-8830 with questions.

Milwaukee Habitat for Humanity West Allis Project 2026

Deliverable

The deliverable will be two new construction homes completed and sold to qualified homeowners through Milwaukee Habitat for Humanity's lending partners. Habitat selects families and then pairs them with an affordable mortgage. The minimum income of the homebuyers will be around \$60K per year and can go up to 80% of the median income. The homes are the same plan of 4 bedrooms and 1.5 bathrooms. Each home is two stories with a basement and a total of around 1670 finished sq feet with a one car attached garage.

The homes will be sold with a lasting affordability deed restriction. The set home price is anticipated to be \$250,000 per home. With Habitat's lending partnerships, currently offering rates at around 3.25 APR, we expect the monthly payment including taxes and insurance to be around \$1500/month. As part of the homeownership process, family partners participate in a minimum of 200 hours of sweat equity working on their own and others homes, participating in additional financial counseling, and assisting within the community.

Milwaukee Habitat's 2023 strategic plan calls for doubling new home construction by 2028 and we're pleased that in 2026 we'll meet this goal by building 40 new homes in Milwaukee County. The two homes in West Allis are the first built by Milwaukee Habitat outside of the city of Milwaukee. These two homes represent efforts to expand access to affordable homeownership to more neighborhoods and provide prospective homebuyers with more choice.

Habitat's model pairs volunteer powered labor with philanthropic support turning donated time and resources into safe, affordable homes. This blend lowers construction costs while inviting communities and donors to become hands-on partners in lasting change. Public support and funding further sustain the work by expanding resources, elevating awareness, and enabling more families to be served.

Timeline

Start of excavation: August 2026

Framing: September 2026

Certificate of Occupancy: May 2027

Sale of home: Fall 2027

Hours of Operation: Tuesday - Saturday 8am - 5pm

Plat of Survey

Lot 1, in Block 3, in Assessors Plat No. 266, being a part of the Northwest 1/4 and Northeast 1/4 of Section 10, Town 6 North, Range 21 East, in the City of West Allis, Milwaukee County, Wisconsin. EXCEPT that part thereof bounded and described as follows: Commencing at the Northeast corner of said Lot 1, said point being 446.4 feet West of and 2,232.7 feet North of the Southeast corner of said 1/4 Section; thence South 51°47' West on and along a line which is 33 feet Southeasterly of and parallel to the center lines of West Beloit Road, 63.50 feet to the Northwest corner of said Lot 1; thence South 0° 07' East and parallel to the West line of South 69th Street, 27.96 feet to a point, thence North 51°47' East on and along a line which is 55 feet Southeasterly of the center line of West Beloit Road, 53.50 feet to a point; thence South 69° 10' East 8.75 feet to a point in the West line of South 69th Street; thence North 0° 07' West along the West line of South 69th Street, 37.96 feet to the place of beginning.

Address: 6901 West Beloit Rd., West Allis, WI
Parcel I.D. 489 0037 000

LEGEND

- PROPERTY LINE
- CHAIN LINK FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TREE LINE
- MANHOLE
- HYDRANT
- WATER VALVE
- UTILITY POLE
- REBAR FOUND/SET
- DECIDUOUS TREE
- LIGHT POLE

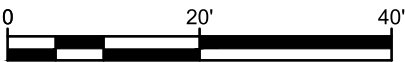
Proposed Yard Grade: 740.0'
Proposed Top of Foundation: 741.5'

Prepared for:
Milwaukee Habitat for Humanity, Inc.
3726 N. Booth Street
Milwaukee, WI 53212
Attn: Eric Neeb



Bearings are referenced to Wisconsin State Plane
Coordinate System, South Zone

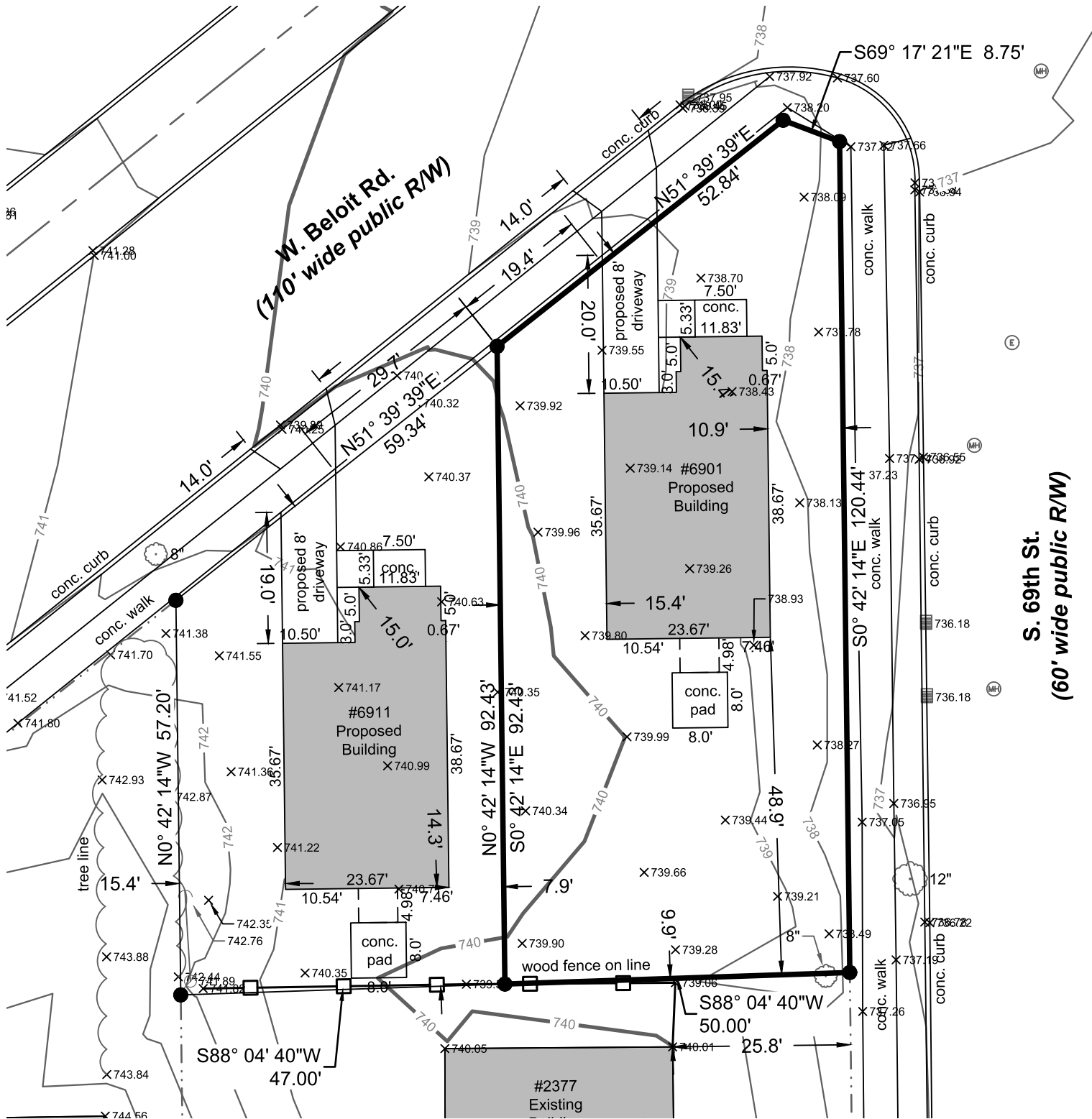
Datum for the project is USGS NAVD88.



I, Kevin A. Slotke, Professional Land Surveyor, certify that I have surveyed the above described property to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, it's exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.



Kevin A. Slotke, P.L.S. 2503 December 30th, 2025



THE SIGMA GROUP
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210

12/15/2025 1:59:11 PM
C:\Users\bora.topllari\OneDrive - Milwaukee Habitat For Humanity, Inc\Desktop\WEST ALLIS ATTACHED GARAGE\R23_MHFH 4 Bed
Garage_CENTRALWest Allis_bora.topllariR8RDXD.rvt

4-BED HOUSE W-GARAGE

DATE: DECEMBER 15, 2025

PROJECT NUMBER:

PROJECT CONTACTS

OWNER

MILWAUKEE HABITAT FOR HUMANITY
3726 N Booth St
Milwaukee, WI 53212
Phone: (414) 316-5623
Contact: Chris Garrison
Email: cgarrison@milwaukeehabitat.org

SHEET INDEX

A4.4 SITE PLAN
CS COVER SHEET

ARCHITECTURAL

CS2 PROJECT INFO AND CODE SHEET
A1.0 BASEMENT FLOOR PLAN
A1.1 FIRST FLOOR PLAN
A1.2 SECOND FLOOR PLAN
A1.3 ROOF PLAN
A3.0 FRONT ELEVATION
A3.1 LEFT SIDE ELEVATION
A3.2 REAR ELEVATION
A3.3 RIGHT SIDE ELEVATION
A4.0 TYPICAL WALL SECTION
A4.1 STAIR SECTION

Revisions:

Sheet Name:
COVER SHEET

Date: 12/15//2025
Drawn By: BORA TOPLLARI
Project No.:
Sheet No.

CS



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Milwaukee Habitat for Humanity

3726 N Booth St
Milwaukee Wisconsin
53212

Phone:414.562.6100

SINGLE FAMILY

4-BED HOUSE W-GARAGE

No.	Description	Date

PROJECT INFO AND COVER SHEET		
Project number		A0.0
Date	12/15/25	
Drawn by	AWB	
Checked by	Checker	
		Scale

BUILDING INFORMATION AND CODE ANALYSIS

GOVERNING CODE ANALYSIS

WISCONSIN UNIFORM DWELLING CODE (UOC), CHS. SPS 320-325 OF THE WISCONSIN ADMINISTRATIVE CODE AND ITS ADOPTED REFERENCES AND REVISIONS

4-BEDROOM MODEL WITH GARAGE - SINGLE FAMILY DWELLING

STORIES: TWO STORIES WITH UNFINISHED BASEMENT
HEIGHT MINIMUM = 27'-0" TO PEAK

SQ. FT: BASEMENT = 691 SF GROSS
FIRST FLOOR = 684 SF GROSS
SECOND FLOOR = 857 SF GROSS
TOTAL FINISHED SPACE = 2,231 SF

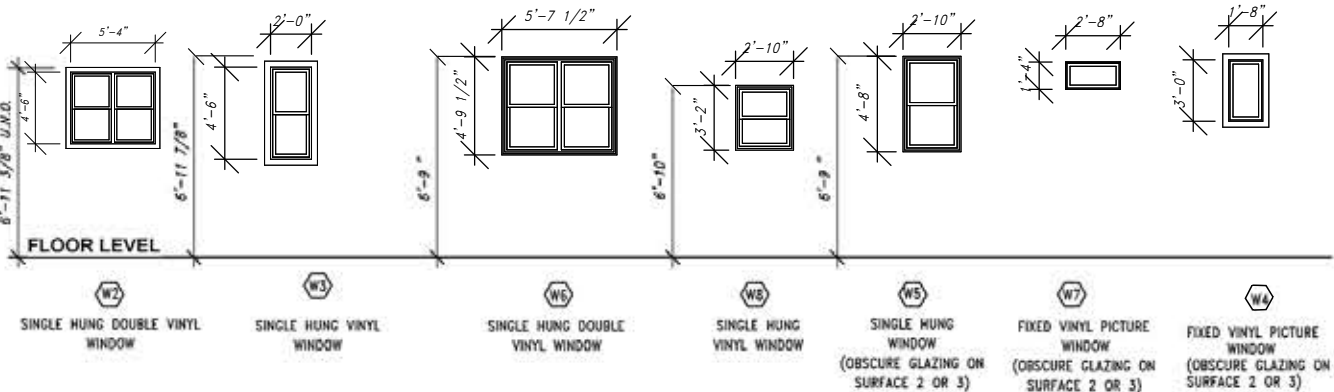
PROJECT DESCRIPTION

NEW CONSTRUCTION TWO-STORY SINGLE-FAMILY DWELLING FOR 50'-0" MINIMUM WIDTH LOTS PER CITY OF WEST ALLIS ZONING CODE OF ORDINANCES 295 SUBCHAPTER 5 RESIDENTIAL DISTRICTS.

ABBREVIATIONS

CONC	CONCRETE
D	DRYER
DIA	DIAMETER
DS	DOWNSPOUT
EA	EACH
ELEC	ELECTRICAL PANEL
EQ	EQUAL
FD	FLOOR DRAIN
INSUL	INSULATION
MAX	MAXIMUM
MFR	MANUFACTURE(R)(D)
MIN	MINIMUM
OC	ON CENTER
SUMP	SUMP PUMP
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
W	WASHER
WATER	WATER MAIN
WH	WATER HEATER

WINDOW LEGEND



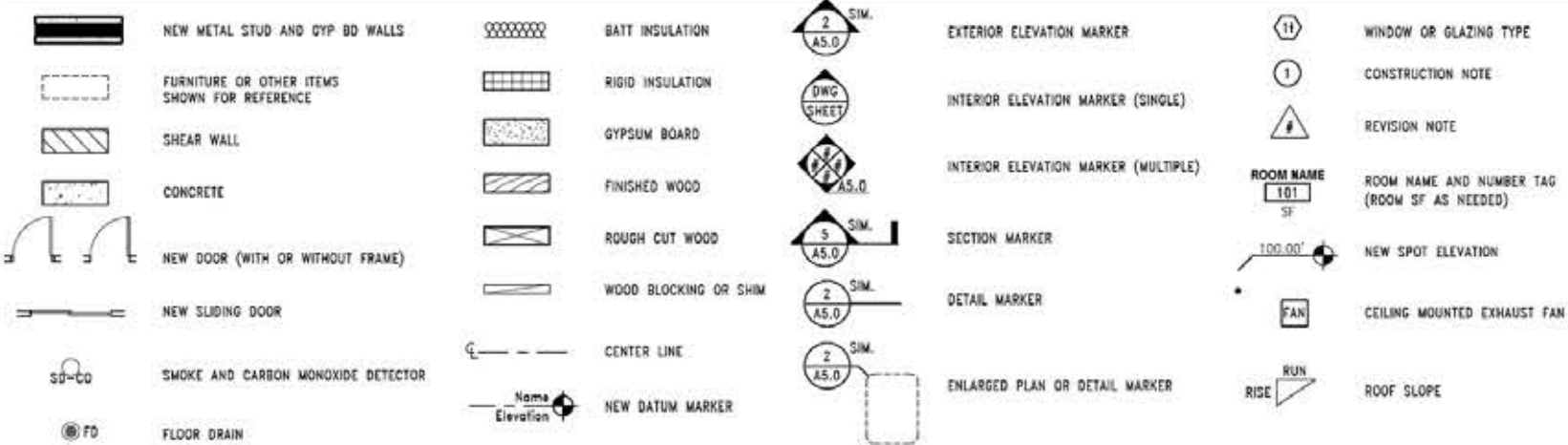
OPENING HEADER SCHEDULE

- HEADER AT OPENINGS UP TO 3'-0" WIDE
(2) 2x10 W/ (1) 2x6 TRIMMER JACK STUD AND
(1) 2x6 KING STUD AT EACH END
- FIRST FLOOR HEADER AT OPENINGS UP TO 6'-0" WIDE
(3) 2x10 W/ (2) 2x8 TRIMMER JACK STUDS AND
(1) 2x6 KING STUD AT EACH END
- SECOND FLOOR HEADER AT OPENINGS UP TO 6'-0" WIDE
(3) 2x10 W/ (2) 2x6 BEARING STUDS AND
(1) 2x6 KING STUD AT EACH END
- (2) 2x HEADERS TO INCLUDE 2-1/2" FOAM SPACERS

GLAZING PERFORMANCE REQS.

WINDOWS SHALL MEET ENERGY CONSERVATION REQUIREMENTS OF WISCONSIN SPS 322.36 AND 322.37 (AIR LEAKAGE). ALL WINDOWS TO BE DOUBLE-GLAZED INSULATED UNITS. MAXIMUM WINDOW ASSEMBLY U-FACTOR IS U=0.35 FOR OPERABLE WINDOWS AND U=0.35 FOR FIXED UNITS.

LEGEND



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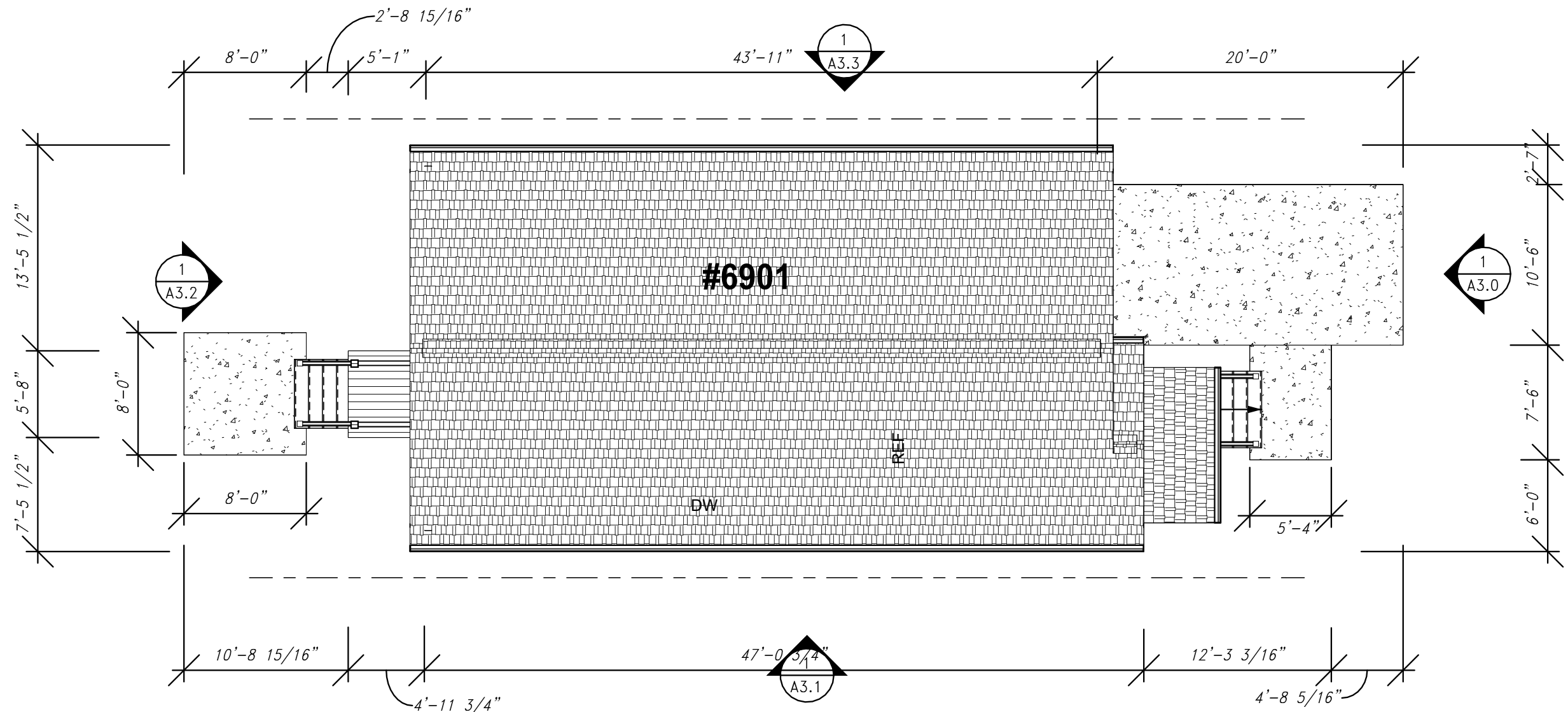
Phone:414.562.6100

SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

PROJECT INFO AND COVER SHEET

Project number		A0.1
Date	12/15/25	
Drawn by	AWB	
Checked by	Checker	
		Scale



1 SITE PLAN
SCALE: 1/8" = 1'-0"



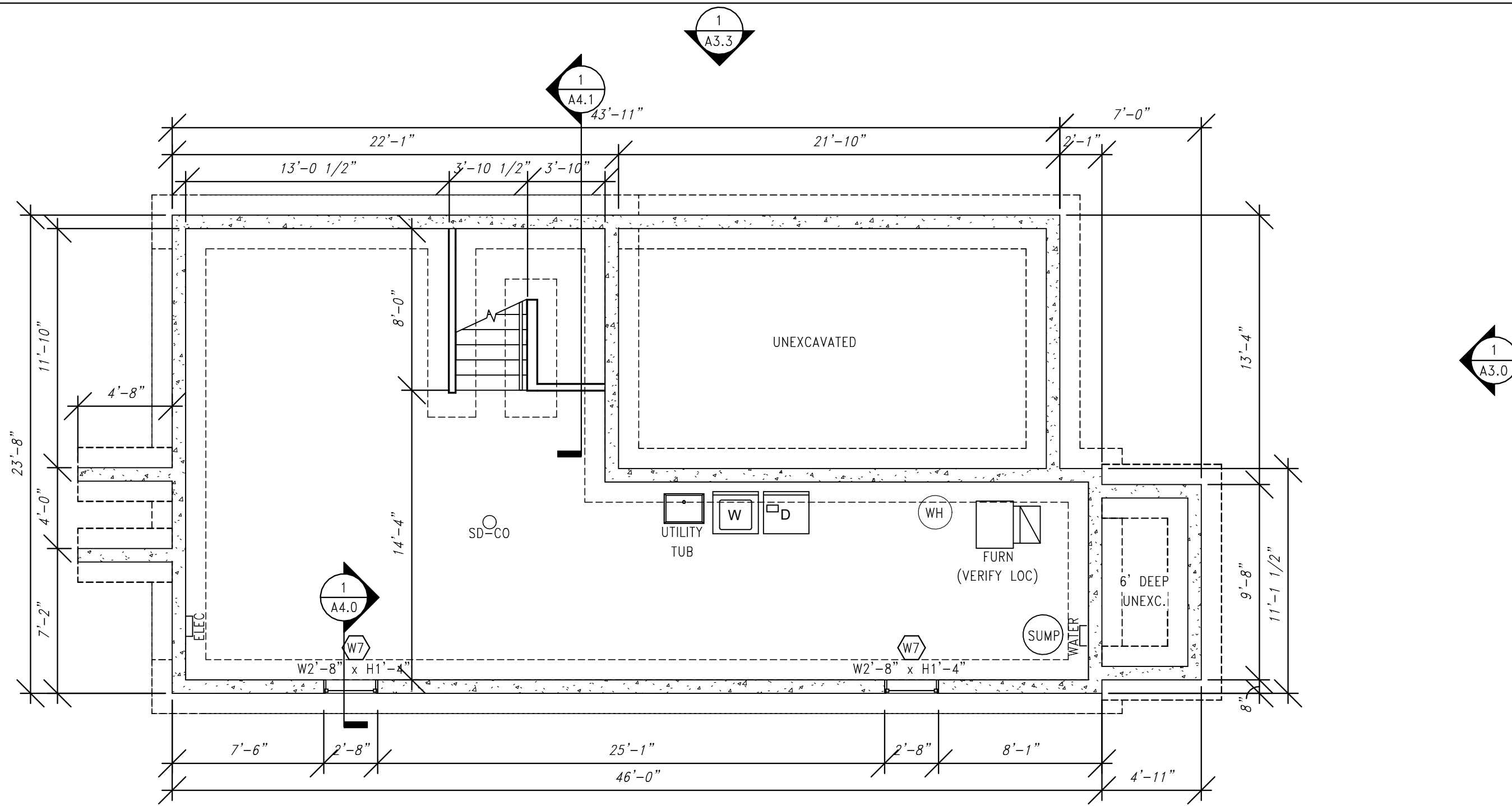
No.	Description	Date

SITE PLAN

Project number
Date 12/15/2025
Drawn by BORA T
Checked by Checker

A4.4

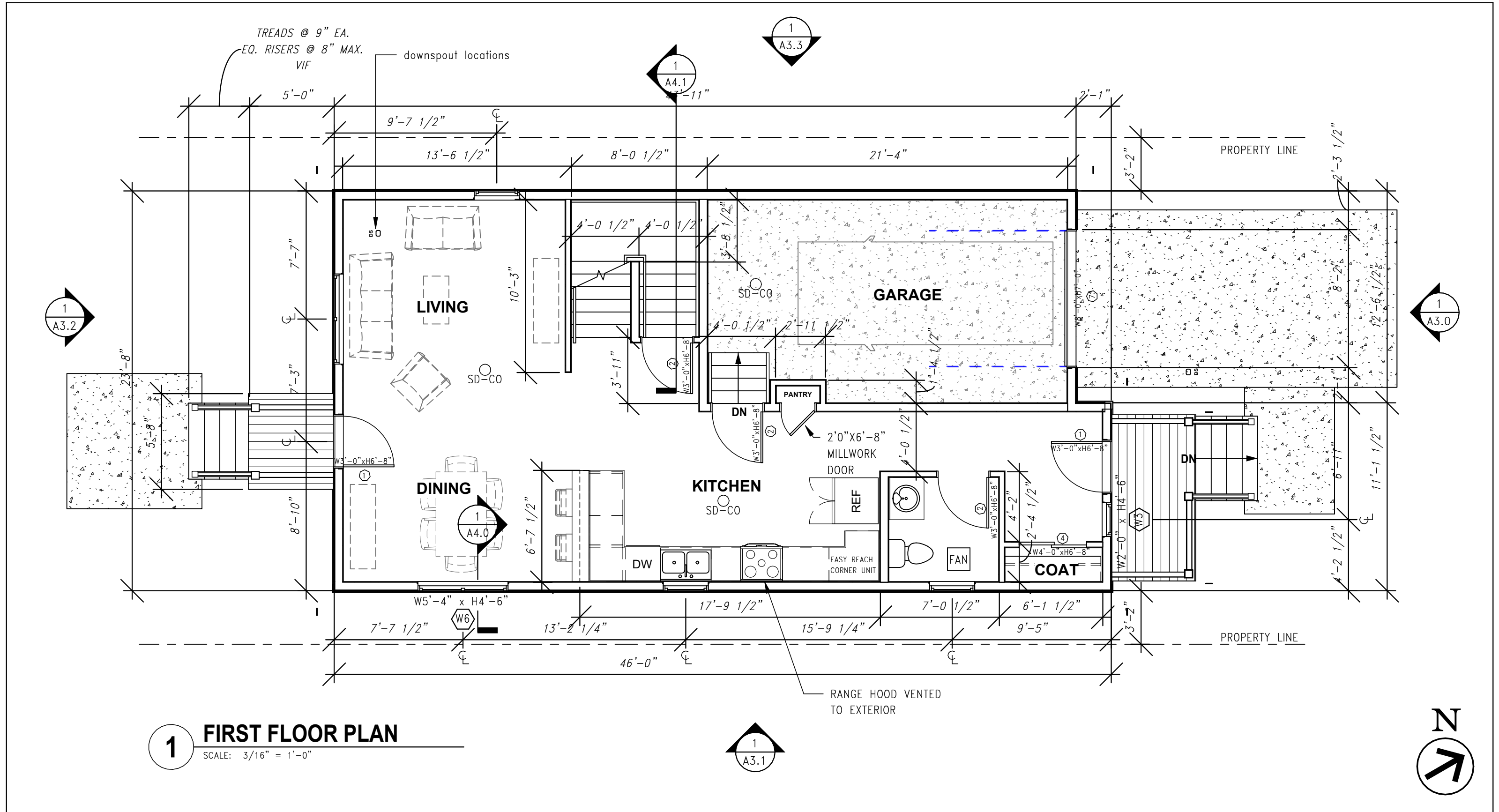
Scale 1/8" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"



No.	Description	Date



1 FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



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SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

FIRST FLOOR PLAN

Project number _____

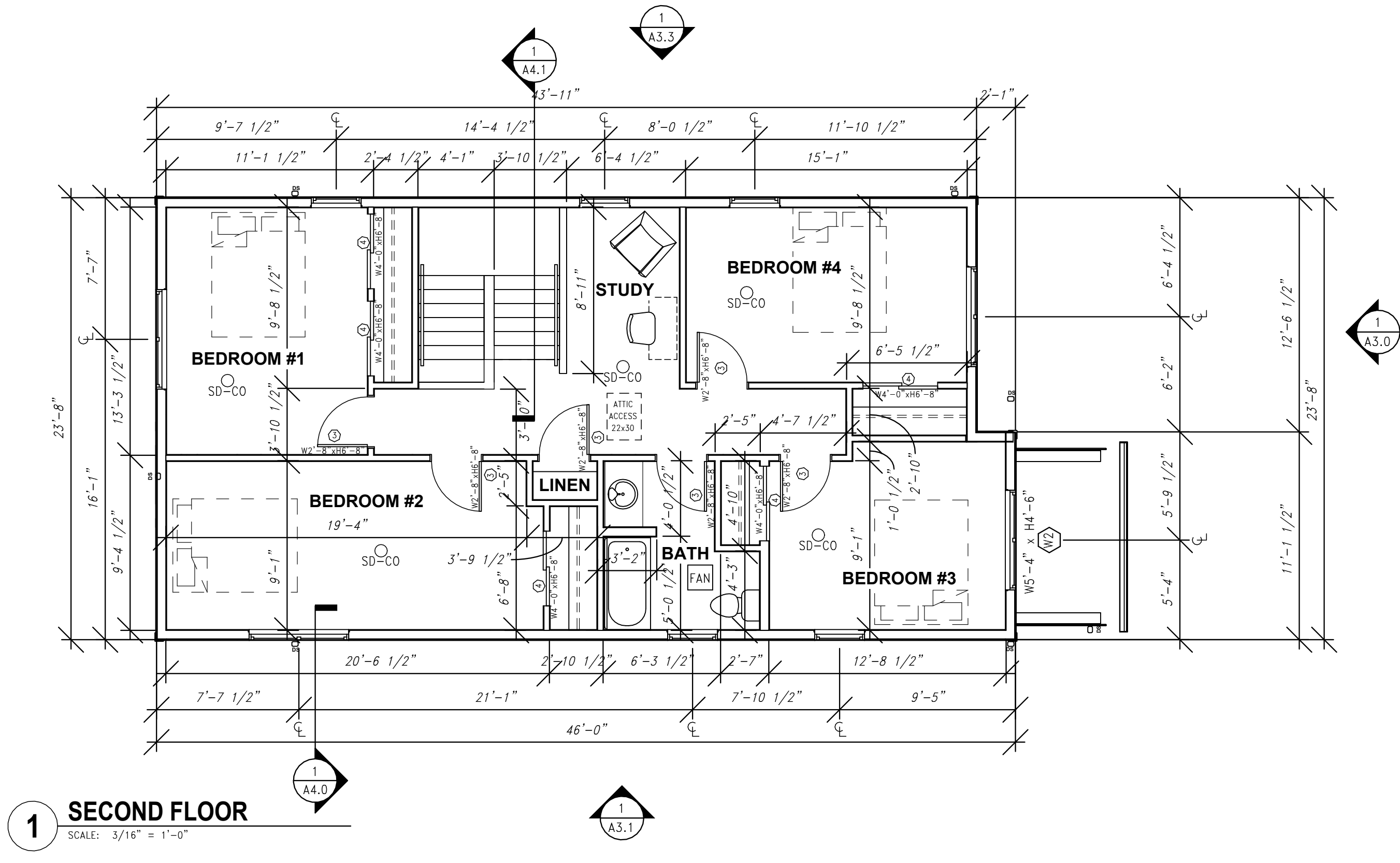
Date 12/15/2025

Drawn by Bora Topllari

Checked by Checker

A1.1

Scale 3/16" = 1'-0"



1 SECOND FLOOR
SCALE: 3/16" = 1'-0"

**SINGLE FAMILY
4-BED HOUSE W-GARAGE**

No.	Description	Date

SECOND FLOOR PLAN		
Project number		A1.2
Date 12/15/2025		
Drawn by Bora Topllari		
Checked by Checker		
		Scale 3/16" = 1'-0"

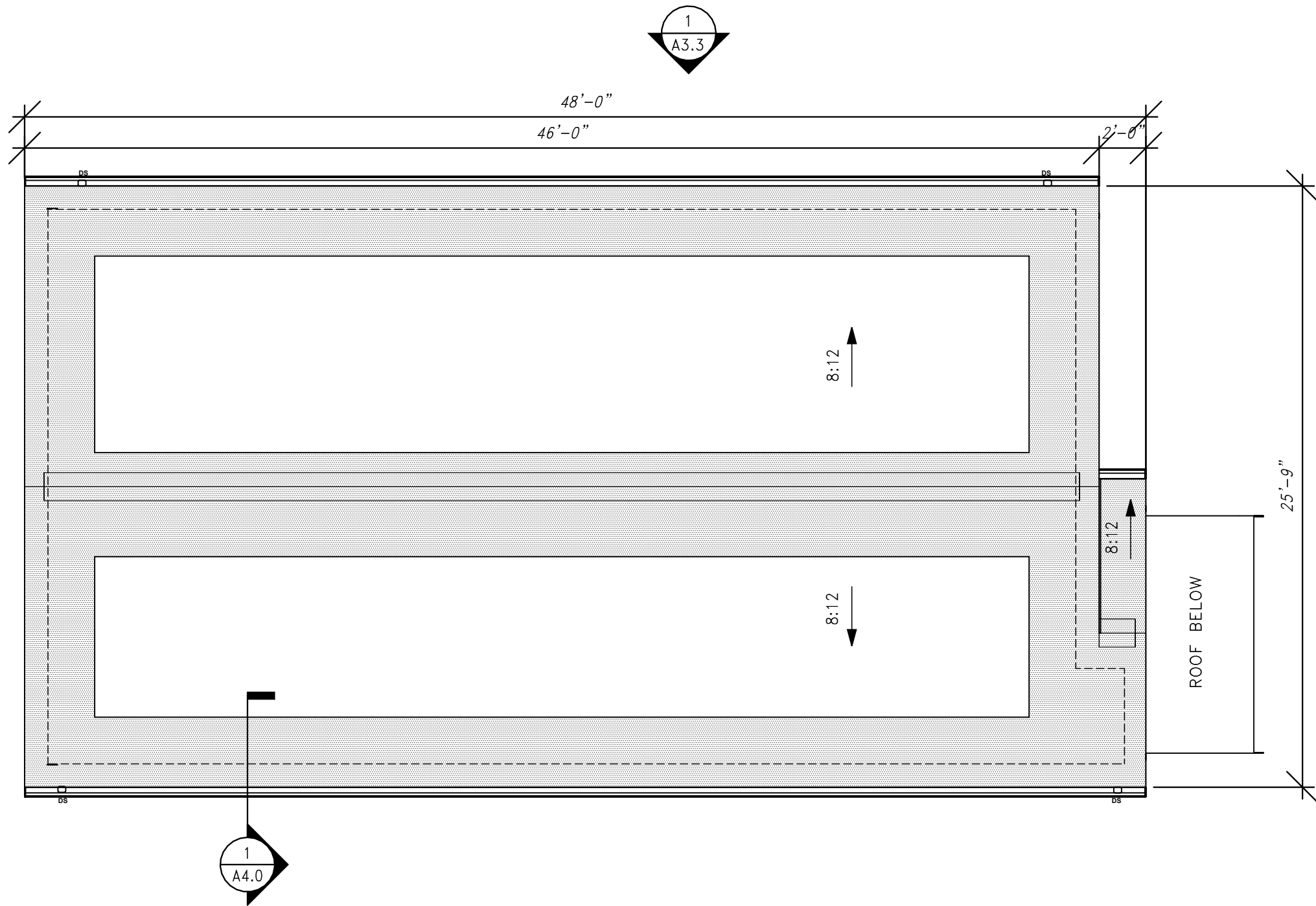


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Milwaukee Wisconsin
53212

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1 ROOF PLAN
SCALE: 3/16" = 1'-0"

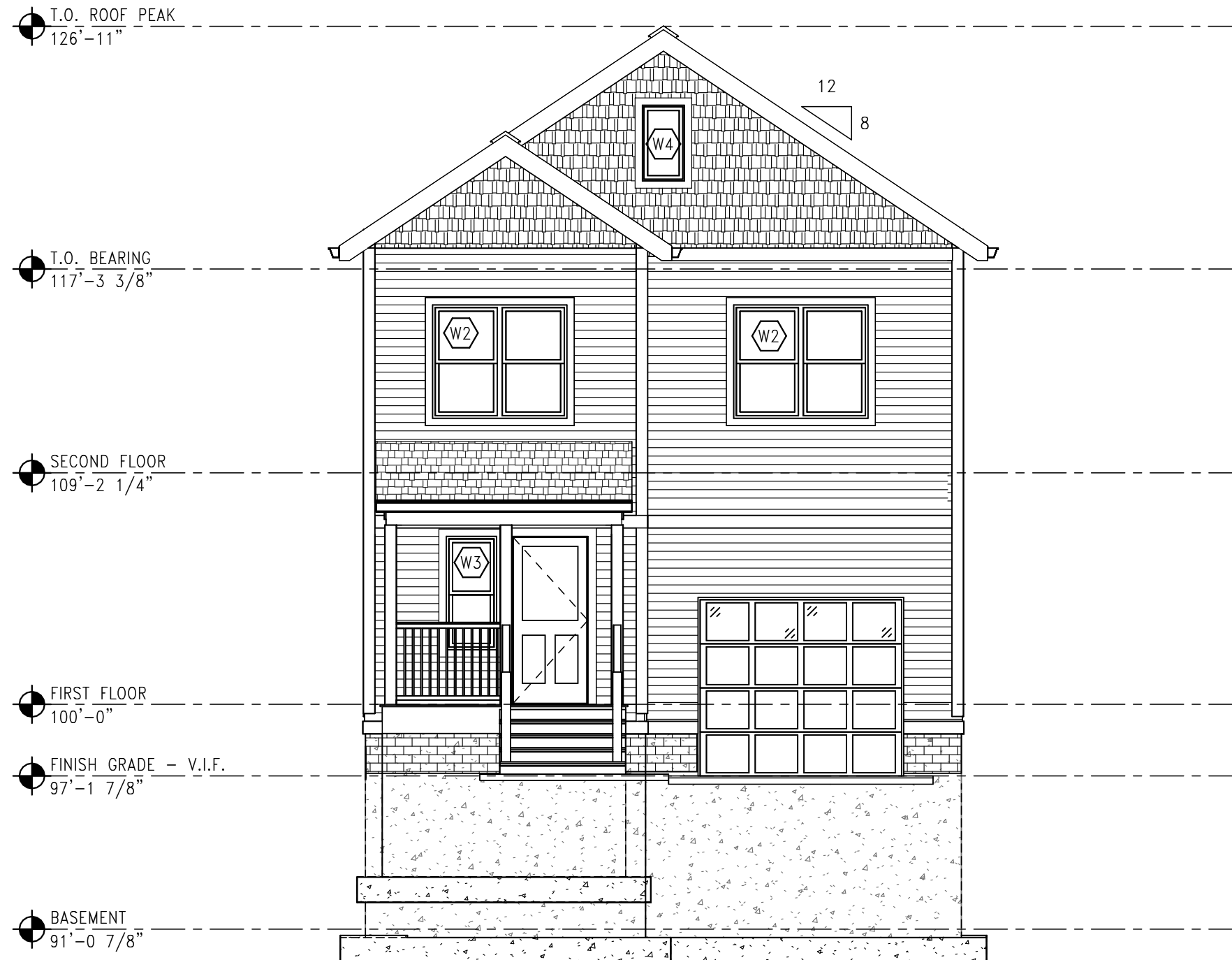
SINGLE FAMILY 4-BED HOUSE W-GARAGE

No.	Description	Date

ROOF PLAN

Project number _____
Date 12/15/2025
Drawn by AWB
Checked by _____ Checker _____

A1.3
Scale 3/16" = 1'-0"



1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



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Milwaukee Wisconsin
53212

Phone:414.562.6100

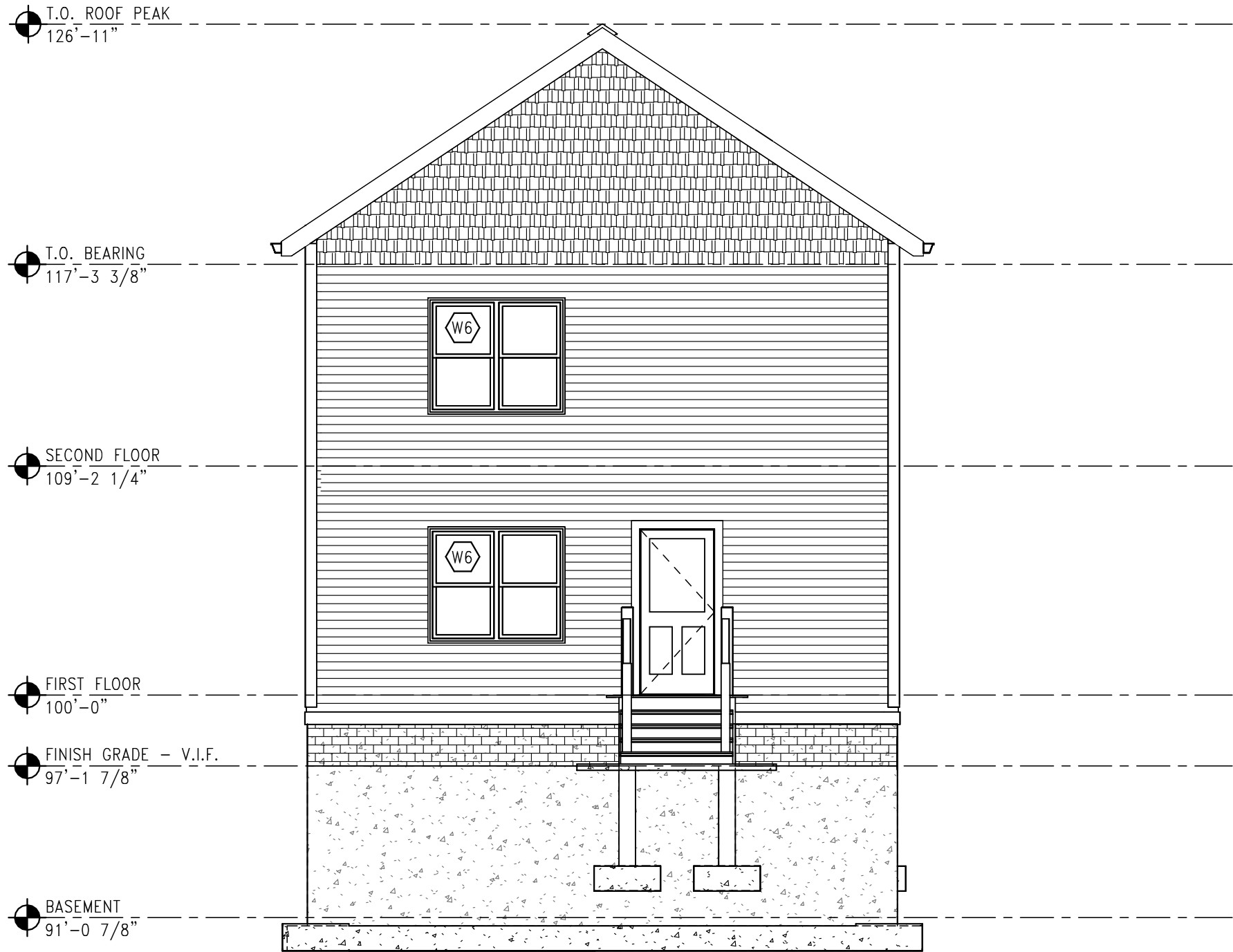
SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

FRONT ELEVATION

Project number	A3.0
Date 12/15/2025	
Drawn by Bora Topllari	
Checked by Checker	

Scale 3/16" = 1'-0"



1 REAR ELEVATION
SCALE: 3/16" = 1'-0"



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Phone:414.562.6100

SINGLE FAMILY
4-BED HOUSE W-GARAGE

No.	Description	Date

REAR ELEVATION

Project number
Date12/15/2025
Drawn byBora Topllari
Checked byChecker

A3.2
Scale 3/16" = 1'-0"

T.O. ROOF PEAK
126'-11"

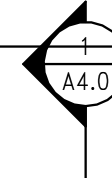
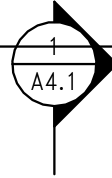
T.O. BEARING
117'-3 3/8"

SECOND FLOOR
109'-2 1/4"

FIRST FLOOR
100'-0"

FINISH GRADE - V.I.F.
97'-1 7/8"

BASEMENT
91'-0 7/8"



1

RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



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Milwaukee Wisconsin
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Phone: 414.562.6100

SINGLE FAMILY 4-BED HOUSE W-GARAGE

No.	Description	Date

RIGHT SIDE ELEVATION

Project number		A3.3
Date	12/15/2025	
Drawn by	Bora Topllari	
Checked by	Checker	
Scale		3/16" = 1'-0"



1 LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

SINGLE FAMILY 4-BED HOUSE W-GARAGE

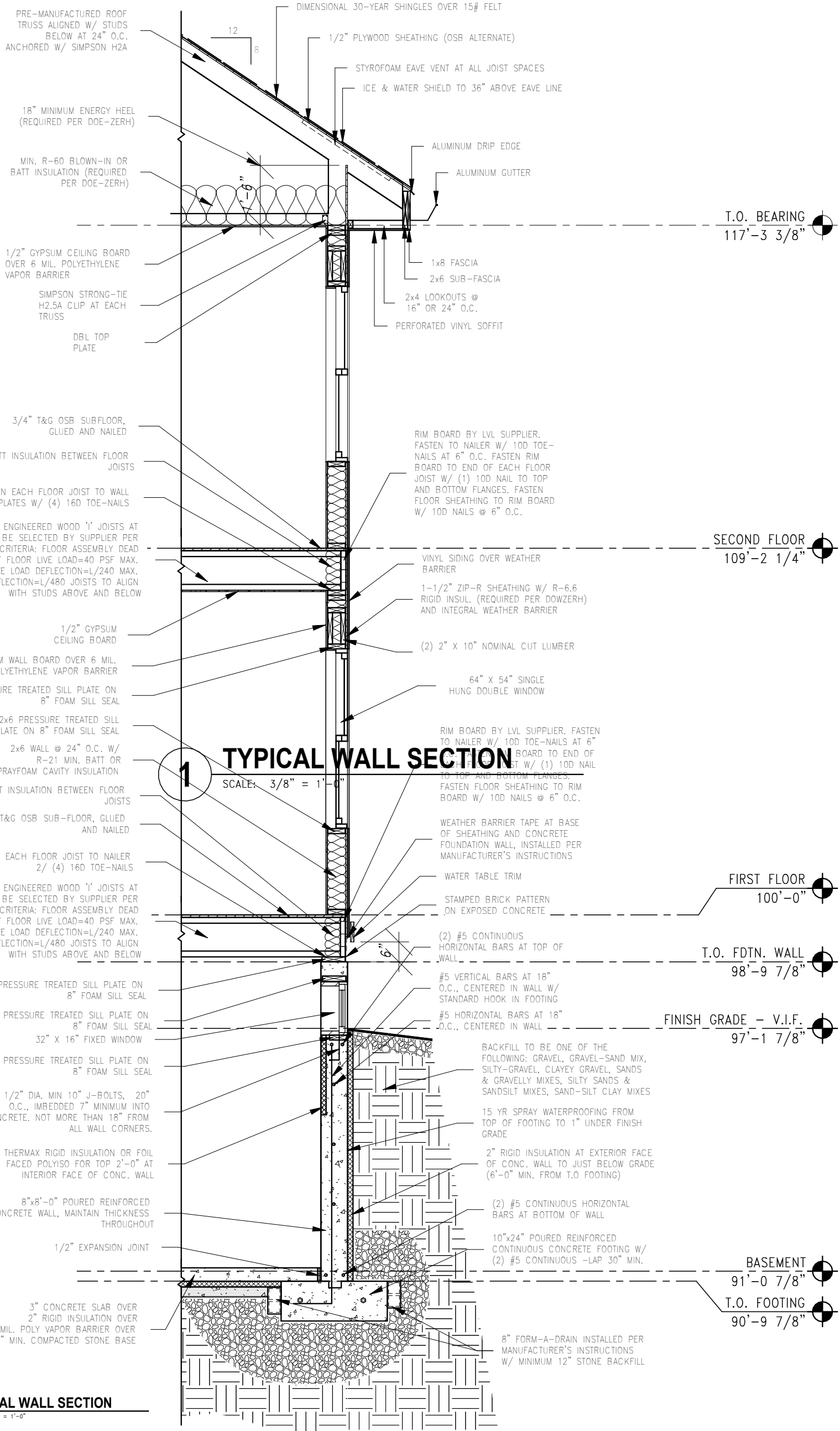
No.	Description	Date

LEFT SIDE ELEVATION

Project number _____
Date 12/15/2025
Drawn by Bora Topllari
Checked by Checker

A3.1

Scale 3/16" = 1'-0"



STRUCTURAL NOTES:

All construction is intended to meet or exceed the Wisconsin Residential Building Code (Comm. 20 – 25). Refer to this code for any typical connections, member size, or detail not specifically shown.

Truss designer to use 30-9-9 @ 15% for minimum loadings and shall include required unbalanced loads and shall anticipate drift loads as required. Truss designer shall be responsible for all truss to truss connection designs. SIMPSON H5 TIES MUST BE USED AT THE END OF EVERY TRUSS.

Provide two studs minimum at all beam bearing locations.

Install all TJI joists in accordance with the manufacturers instructions. Provide all required accessories and hardware including bridging, rim joists and blocking.

LOADS:

- Roof Snow: 30 psf
- Reduced Snow Load: 27.23 psf (slopes 8/12 or steeper)
- Roof Dead Load: 18 psf
- Floor Live Loads: 40 psf
- Second Floor Dead Load: 18 psf (includes ceramic tile)
- First Floor Dead Load: 10 psf
- Wind Load: 20 psf
- Wind Uplift: 20 psf
- Soil Pressure: 2000 psf presumed (contractor to verify)
- Frost Protection: 48" min.

GENERAL NOTES:

- Provide handrail at every stairway of more than (3) risers for the full length of the stairway (interior or exterior).
- Provide guardrails on all decks more than 24" from grade or finish floor (interior or exterior).
- Provide tempered safety glazing on all windows near stairs or within a bathroom.
- Install interconnected smoke detectors hardwired with battery backup as required per code.
- Provide pressure treated lumber for all exterior framing or framing in contact with concrete or exposed to weather elements.
- Provide all bathrooms with exhaust fan with minimum capacity of 50CFM per minute.
- Provide security hardware at windows as required per Ch 217 – Milwaukee Code of Ordinances.
- Provide proper discharge of downspouts per all applicable codes.

MATERIALS:

- Concrete Strength: 3000 psi @ 48 days.
- Wood Members: SPF#2 or better.
- Provide treated lumber at all locations in contact with concrete or soil.
- Steel Beams: A992 Grade 50 Steel
- Columns: Steel Tube Grade 46 Steel
- Base Plates: A36 Grade Steel
- Anchor Bolts: A36 or Expansion type.



3726 N Booth St

Milwaukee Wisconsin

53212

Phone:414.562.6100

SINGLE FAMILY

4-BED HOUSE W-GARAGE

No.	Description	Date

TYPICAL WALL SECTION		
Project number		A4.0
Date	12/15/25	
Drawn by	AWB	
Checked by	Checker	Scale

Lasting Affordability

Overall Understanding of Lasting Affordability

The purpose is to keep housing affordable for future generations of low- and moderate-income households.

In order to maintain long term affordability the homes will have resale restrictions. Milwaukee Habitat acts as the Program Manager and controls the resale of the home including a requirement to sell to another income-eligible buyer (or to Milwaukee Habitat) for a restricted resale price determined in accordance with the resale formula in the Covenant.

Key Details

99 Year Deed Restriction

- At the end of the 99 year deed restriction the current owner can re-sign a new deed document OR the Program Manager will calculate what the resale value is and the homeowner can pay or receive funds based on the appraisal

Resale

- If selling to a non-family member, must sell to a first time homebuyer who makes 80% or less of the median household income. With an exception made to go up to 120% if the home doesn't sell after six months
- With written permission from the Program Manager, after the homeowner's death the house may be transferred to a spouse or the child/children.
- The maximum resale amount is a simple 2% increase in value per year. However:
 - The seller may be eligible for a Capital Improvements Credit for an increase in sales value for some large home improvement projects such as adding a room or additional garage space. To be eligible for the credit for this and other major upgrades, the homeowner must work with the Program Manager prior and during the time the work is completed.
- Milwaukee Habitat as the Program Manager has the right of first offer to purchase the home
- At sale, a home inspection will be conducted and the homeowner may be required at the discretion of the Program Manager to repair items or to have those repairs paid for out of the home sale proceeds.

Other provisions of the deed

- The home may not be leased or rented.
- The owner must occupy the home for at minimum 8 months of each year.
- This may keep the homeowner from obtaining a home equity loan, debt consolidation loan, car loan or a similar loan that would use the home as collateral.

Property Taxes

Lasting affordability through deed-restricted homes affects property taxes because resale limits reduce a property's **market value**. Since assessments are based on fair market value, assessors typically use the **restricted** value rather than the price of comparable market-rate homes.

Key implications include:

1. **Assessment Matches Restrictions:**

Homes with long-term affordability requirements are assessed at their restricted resale value, ensuring fair taxation that reflects legally enforceable limits. Milwaukee Habitat's deed restrictions allows for a simple 2% increase in value from the sales price per year and so it's expected that the property tax assessment would increase at that rate per year.

2. **Stable Tax Base:**

Although these homes generate less tax revenue per unit, their values are more stable over time, contributing predictability to the municipal tax base.

3. **Limited Fiscal Impact:**

Long Term affordable units typically represent a small portion of local housing, so the reduction in total taxable value is modest while community benefits are substantial.

4. **Supports Municipal Goals:**

Long-term affordability advances goals like workforce stability, reduced displacement, and predictable housing costs, which can indirectly lower municipal service burdens.

5. **Improves Public Understanding:**

Communicating that lower assessments reflect legal restrictions—not a tax exemption—helps maintain transparency and trust.

Budget for Homes

Project Budget: West Allis (S 69th St & Beloit Rd)			
2 new construction units built in 2026/2027			
Model: front-facing one car garage			
<i>as of 12/17/25</i>			
	1 UNIT	2 UNITS	
USES	Amount	Amount	Notes
Production Costs			\$360,000/home
Hard costs	305,000	610,000	
Construction staff costs	55,000	110,000	
	\$360,000	\$720,000	
SOURCES	Amount	Amount	Notes
City of West Allis			\$75,000/home
HOME funds	75,000	150,000	2 homes * \$75,000/home
Additional Public Support			\$0/home
None	0	0	
Private Philanthropy			\$20,000/home
Financial donations	20,000	40,000	2 homes * \$20,000/home (in kind, contributions, grants & events)
Home Sales			\$250,000/home
Sales revenue (i.e. first mortgage)	250,000	500,000	2 homes * \$150,000/home
Down payment assistance - West Allis	5,000	10,000	2 homes * \$5,000/home (direct to homebuyer)
Down payment assistance - FHLBChicago	10,000	20,000	2 homes * \$10,000/home (direct to homebuyer)
	\$360,000	\$720,000	
	\$0	\$0	Revenue (SOURCES) less Expense (USES)

Note: The building design attached on site plan may have the foundation height adjusted based on driveway height and length.